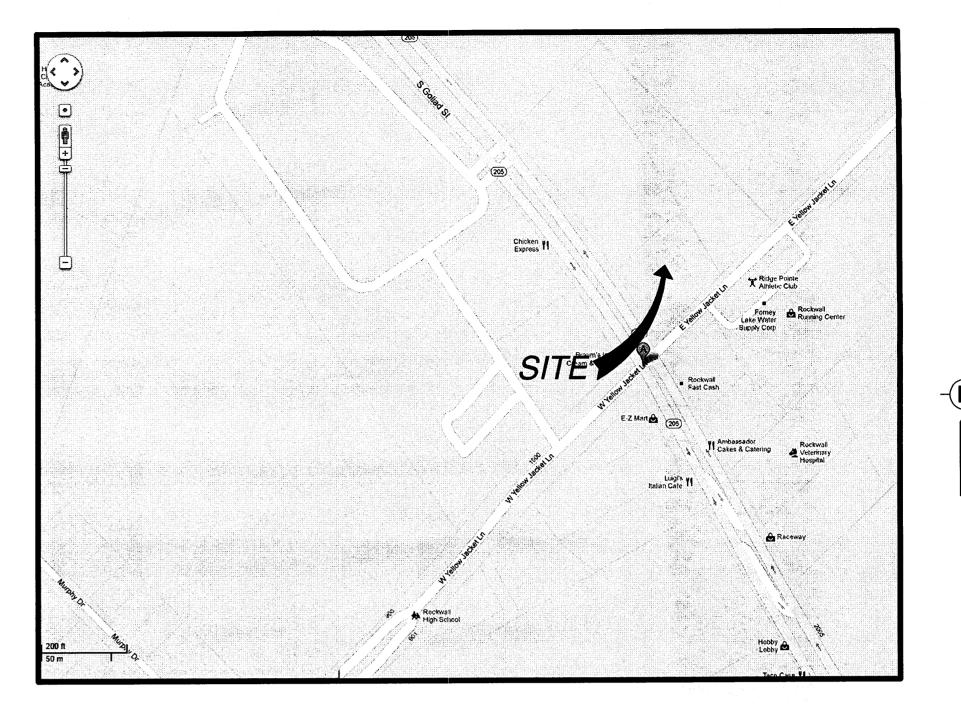
7-ELEVEN

AS-BUILT S. GOLIAD ST & YELLOW JACKET LN ROCKWALL, TX 75087 ROCKWALL COUNTY



VICINITY MAP

GENERAL NOTES

- CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES
- CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
- 4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
- 5. NO REVISION SHALL BE MADE TO THESE PLANS WITH OUT THE APPROVAL OF THE ENGINEER OF RECORD AND THE CITY OF ROCKWALL.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- 7. ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE. (NCTOG STANDARDS ARE 3RD EDDITION)
- 8. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

FLOOD NOTE

THIS SITE IS NOT IN ANY PRESENTLY ESTABLISHED FLOODWAY OR FLOODPLAIN AS SHOWN IN THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 48113C0340 J DATED AUGUST 23, 2001.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND

SHEET LIST

- C0.0 COVER SHEET C0.1 DEMOLITION PLAN
- C1.0 SITE PLAN
- C2.0 GRADING PLAN
- C2.1 PRE DEVELOPED DRAINAGE MAP
- C2.2 POST DEVELOPED DRAINAGE MAP
- C2.3 STORM SEWER PROFILE
- C3.0 EROSION & SEDIMENT CONTROL PLAN

- C7.0 DETAIL SHEET
- C7.1 DETAIL SHEET
- C7.2 DETAIL SHEET **AS-BUILT SURVEY**

C4.0 UTILITY PLAN

CONTACTS

DEVELOPER 7-ELEVEN 1722 ROUTH ST. **DALLAS, TX 75201** PH. (972) 828-8997

ENGINEER, ARCHITECT & MEP HARRISON FRENCH & ASSOC. 809 S.W. "A" ST, SUITE # 201 BENTONVILLE, AR 72712 PH. (479) 273-7780

PLANNING & ZONING DEPARTMENT SUSTAINABLE DEVELOPMENT & CONSTRUCTION CITY OF ROCKWALL 385 S. GOLIAD STREET ROCKWALL, TX 75087 PH. (972) 771-7745 ROBERT LACROIX, AICP

BUILDING DEPARTMENT BUILDING PLANS EXAMINER CITY OF ROCKWALL BUILDING INSPECTIONS 385 S. GOLIAD STREET ROCKWALL, TX 75087 PH. (972) 771-7709 JOHN ANKRUM

HEALTH DEPARTMENT HEALTH INSPECTOR CITY OF ROCKWALL - HEALTH SERVICES 385 S. GOLIAD STREET ROCKWALL, TX 75087 PH. (214) 202-1202 KELLY KIRKPATRICK

TRAFFIC ENGINEERING TRAFFIC ENGINEER CITY OF ROCKWALL 385 S. GOLIAD STREET **ROCKWALL, TX 75087** PH. (972) 771-7746 CHUCK TODD

FIRE DEPARTMENT FIRE MARSHAL CITY OF ROCKWALL - FIRE DEPARTMENT 305 E. BOYDSTUN AVE. ROCKWALL, TX 75087 PH. (972) 771-7770 ARIANA HARGROVE STORMWATER - DRAINAGE **ENGINEER** CITY OF ROCKWALL 385 S. GOLIAD STEEET ROCKWALL, TX 75087 PH. (972) 771-7746 **AMY WILLIAMS**

SANITARY SEWER & WATER SERVICE **ENGINEER** CITY OF ROCKWALL 385 S. GOLIAD STREET ROCKWALL, TX 75087 PH. (972) 771-7746 CHUCK TODD

ELECTRIC ONCOR AREA PLANNER PH. (972) 551-6712 PHIL DICKERSON

TELEPHONE VERIZON CUSTOMER SERVICE REP 1616 WOODALL RODGERS FWY, SUITE 6C-006 **DALLAS, TX 75202** PH. (800) 483-4000 **EDWARD**

LEGAL DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE B.J.T. SURVEY, ABSTRACT NO. 255 IN THE CONVEYED TO AZRA BAZARGANI BY INDEPENDENT EXECUTOR'S SPECIAL WARRANTY DEED RECORDED IN INSTRUMENT NO. 2011-00450450, DEED RECORDS, ROCKWALL TEXAS BY DEED RECORDED IN INSTRUMENT NO. 2007-00378310, DEED RECORDS AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD SET WITH YELLOW CAP STAMPED "TXHS"AT THE BEGINNING OF A CORNER CLIP AT THE INTERSECTION OF THE NORTHWEST LINE OF YELLOW JACKET LANE (A VARIABLE WIDTH RIGHT-OF-WAY) AND THE NORTHEAST LINE OF S. GOLIAD STREET (STATE HIGHWAY NO. 205)(A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE NORTH 82 DEGREES 06 MINUTES 27 SECONDS WEST, ALONG SAID CORNER CLIP. A DISTANCE OF 27.92 FEET TO AN "X" SET FOR CORNER IN THE NORTHEAST LINE OF SAID S. GOLIAD STREET, SAID POINT BEING IN A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2,917.29 FEET, A DELTA OF 03 DEGREES 10 MINUTES 41 SECONDS, AND A CHORD THAT BEARS NORTH 31 DEGREES 38 MINUTES 54 SECONDS WEST, A DISTANCE OF 161.80 FEET;

THENCE ALONG THE NORTHEAST LINE OF SAID S. GOLIAD STREET AND SAID CURVE TO THE LEFT. AN ARC LENGTH OF 161.82 FEET TO A TX DOT MONUMENT FOUND AT THE THE SOUTH CORNER OF A TRACT OF LAND CONVEYED TO HORACE LEE WILLIAMS, JR. BY DEED RECORDED IN INSTRUMENT NO. 2010-00439213, DEED RECORDS, ROCKWALL COUNTY, TEXAS.

THENCE NORTH 45 DEGREES 39 MINUTES 30 SECONDS EAST, LEAVING THE NORTHEAST LINE OF SAID S. GOLIAD STREET AND ALONG THE SOUTHEAST LINE OF SAID WILLIAMS TRACT, PASSING A 1 INCH IRON PIPE FOUND AT THE EAST CORNER OF SAID WILLIAMS TRACT AT A DISTANCE OF 203.24 FEET, SAID POINT BEING AN EXTERIOR ELL CORNER IN THE SOUTHWEST LINE OF LOT 6, BLOCK 1, FIRST UNITED METHODIST CHURCH ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET G, SLIDE 345, PLAT RECORDS, ROCKWALL COUNTY, TEXAS, AND CONTINUING FOR A TOTAL DISTANCE OF 206.32 FEET TO A 1/2 INCH IRON ROD FOUND AT AN INTERIOR ALL CORNER IN THE SOUTHWEST LINE OF SAID LOT 6:

THENCE SOUTH 29 DEGREES 55 MINUTES 28 SECONDS EAST, ALONG THE SOUTHWEST LINE OF SAID LOT 6, PASSING A 1/2 INCH IRON ROD FOUND AT THE SOUTH CORNER OF SAID LOT 6 AT A DISTANCE OF 175.25 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 185.92 FEET TO A 1/2 INCH IRON ROD FOUND IN THE NORTHWEST LINE OF SAID YELLOW JACKET LANE;

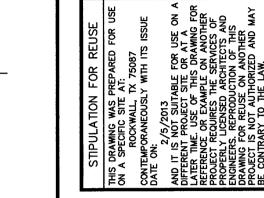
THENCE SOUTH 45 DEGREES 42 MINUTES 23 SECONDS WEST, ALONG THE NORTHWEST LINE OF SAID YELLOW JACKET LANE, A DISTANCE OF 178.49 FEET TO THE POINT OF BEGINNING AND CONTAINING 36,255 SQUARE FEET OR 0.83 ACRES OF LAND.

BENCHMARK

PROJECT BENCHMARK:

MONUMENT NO - R005-1, CITY OF ROCKWALL GEODETIC MONUMENT LOCATED ON CONCRETE MEDIAN AT THE INTERSECTION OF SUMMIT RIDGE DRIVE AND FM 740 (ELEVATION - 578.6314')

> TO THE BEST OF OUR KNOWLEDGE HARRISON FRENCH & ASSOCIATES, LTD, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING INFORMATION PROVIDED BY TEXAS HERITAGE SURVEYING, LLC AND INFORMATION PROVIDED BY THE CONTRACTOR.



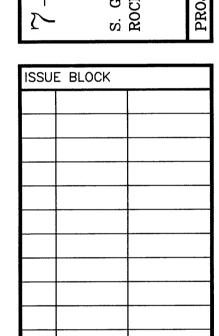
INTERIOR

HARRISON FRENCE

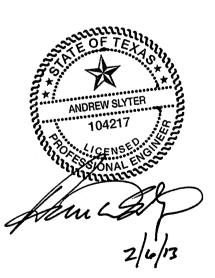
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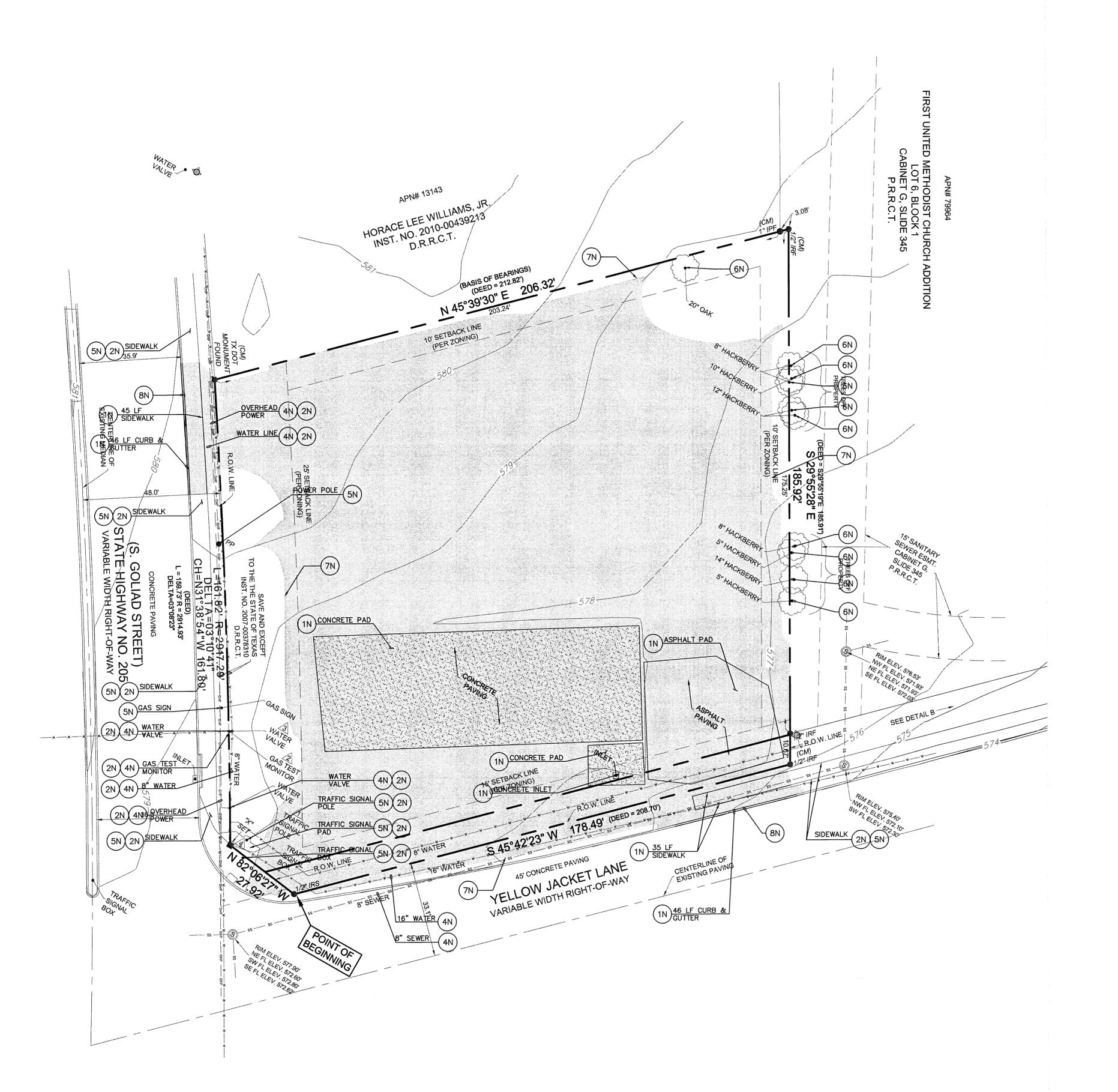


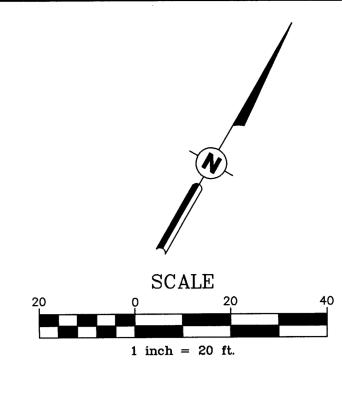
TEXAS COA #F-8576

> **COVER** SHEET

AS-BUILT

SHEET: C0.0





EXISTIN	G		
WTR CLF MH T GM FIR SIR FC PT P/P UP G BP	WATER CHAINLINK FENCE MAN HOLE TELEPHONE GAS METER FOUND IRON ROD SET IRON ROD FENCE CORNER POWER & TELEPHONE POWER POLE UNDERGROUND POWER GAS BUMPER POLE	LT SD FL WM BL CO FH SS	LIGHT POLE STORM DRAIN FIRELANE WATER METER BUILDING LINE CLEAN OUT FIRE HYDRANT SANITARY SEWER
FOC	FIBER OPTIC CABLE		

GENERAL DEMOLITION NOTES

- THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
- 2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
- 3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
- 4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
- THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM OPERATION ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
- 6. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND AVOID ANY PROPERTY DAMAGE DURING
- 7. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY

NECESSARY UTILITIES DURING CONSTRUCTION.

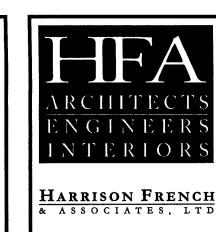
PIPES, TANKS, ETC.

- 9. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, GRAVEL FILLS, TREE ROOTS,
- 10. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
- 11. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
- 12. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE INCURRED TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROTECT EXISTING ADJACENT STRUCTURES, PAVEMENT, UTILITIES, LANDSCAPE, ETC. FROM DAMAGE DURING CONSTRUCTION.
- 13. DEMOLITION AND REMOVAL OF UNDERGROUND STORAGE TANKS, FUELING DISPENSERS, AND FUELING RELATED APPURTENANCES SUCH AS SUPPLY LINES SHALL BE REMOVED AND DISPOSED OF PER LOCAL, STATE, AND FEDERAL REQUIREMENTS. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF SUPPLY LINES AND APPURTENANCES AND REMOVE PER REQUIREMENTS. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM
- 14. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.

○ NOTES

- 1N. EXISTING TO BE REMOVED
- 2N. EXISTING TO REMAIN 3N. EXISTING TO BE RELOCATED
- 4N. PROTECT EXISTING UTILITIES
- 5N. PROTECT EXISTING STRUCTURES 6N. PROTECT EXISTING LANDSCAPE
- 7N. LIMITS OF DISTURBANCE (33,279SF)
- 8N. SAWCUT LINE

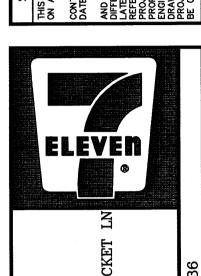
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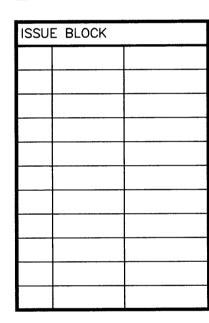


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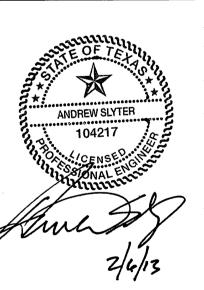
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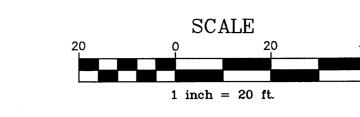


TEXAS COA #F-8576

DEMOLITION PLAN

AS-BUILT

SHEET: C0.1



ZONING	COMMERCIAL	
USE	CONVENIENCE STORE	
ZONING REQUIREMENTS	REQUIRED	PROVIDED
LOT		
MINIMUM LOT AREA	10,000 SF	+-36,254 SF
MINIMUM LOT WIDTH	N/A	183'
PERCENT OF OPEN SPACE	10% or 3,625 SF	26% or 9,373 SF
PERVIOUS VS IMPERVIOUS	10% PER. 90% IMPER.	26% PER. 74% IMPER.
SETBACKS		
FRONT YARD	25"	25'
SIDE YARD	15'	15'
REAR YARD	10'	10'
PARKING	0	0
LANDSCAPE	20' FRONT, 3' SIDES BACK	20' FRONT, 3' SIDES BAC
BUILDING		
SIZE		3,010 SF
HEIGHT		
FLOOR AREA RATIO		0.83
PARKING		
STALL SIZE	9'X18'	9'X20'
RATIO	1/250SF	4.31/1000SF
SPACES	12	13
HANDICAP SPACES	1	1

NOTE: TABLE INFORMATION IS BASED ON THE SITE INVESTIGATION REPORT BY LEND LEASE DATED JULY 15TH, 2011.

EXISTING LEGEND

FIBER OPTIC CABLE

	ING LEGEND		
WTR CLF MH T GM FIR SIR	WATER CHAINLINK FENCE MAN HOLE TELEPHONE GAS METER FOUND IRON ROD SET IRON ROD	LT SD FL WM BL CO	LIGHT POLE STORM DRAIN FIRELANE WATER METER BUILDING LINE CLEAN OUT
FC PT P/P UP G BP	FENCE CORNER POWER & TELEPHONE POWER POLE UNDERGROUND POWER GAS BUMPER POLE	FH SS	FIRE HYDRANT SANITARY SEWER

PROPOSED	
	PROPERTY LINE
	CURBING
•	BUILDING CONTROL POINT
맘	LIGHTING PER LIGHTING PLAN
#	PARKING COUNT
E	ELECTRIC METER

GENERAL SITE NOTES

- 1. UNLESS OTHERWISE SHOWN, ALL CURB RADII SHALL BE 2' OR 10'.
- 2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 3. ALL CURBING SHALL BE TYPE B PER DETAIL TYPE B CURB, UNLESS OTHERWISE NOTED. CURB WITHIN TXDOT RIGHT OF WAY MUST BE CONSTRUCTED AS PER THE TXDOT STANDARD ATTACHED.
- 4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
- 5. CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION AND DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- 6. CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- 8. ALL SIGNS SHALL BE PER MUTCD.
- 9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D.
- 10. NO SAND UNDER PAVING. USE NCTCOG 3RD EDITION DETAIL WITH CITY OF ROCKWALL REVISIONS FOR ALL CONCRETE JOINT DETAILS.



- 1N. 4' PAINTED STRIPES @ 45°, 2' ON CENTER (SEE PLAN FOR COLOR)
 5N. TAPER CURB TO MATCH EXISTING
- 7N. AIR AND VACUUM MACHINE (PER FUELING PLANS) 8N. FUELING VENT PIPES (PER FUELING PLANS)
- 9N. TRANSFORMER PAD 10N. UNDERGROUND STORAGE TANKS (PER FUELING PLANS)
- 11N. FUELING CANOPY (PER FUELING PLANS) 13N. DUMPSTER PAD

14N. LIGHTING (PER LIGHTING PLAN)

12D. FIRE LANE STRIPING

DETAILS

SEE SHEET C7.0 { SIDEWALK (PUBLIC SIDEWALK MIN 4" 3,000 PSI) (MIN. 5.5 SACK MIX IF HAND PLACED)

CONSTRUCTED AS PER THE ATTACHED TXDOT STANDARD.

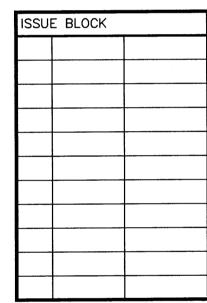
9D. HEAVY DUTY CONCRETE PAVING (FIRELANE TO BE A MIN. 6" 3,600 PSI CONCRETE. MIN. 6.0 SACK MIX FOR MACHINE PLACE, MIN 6.5 FOR HAND PLACE.) 10D. SIGN BASE SUPPORTS 11D. CURB AND GUTTER

13D. ADA RAMPS (TRUNCATED DOME PLATES TO MATCH EXISTING CITY PLATES) PEDESTRIAN RAMPS ON SH 205 MUST BE

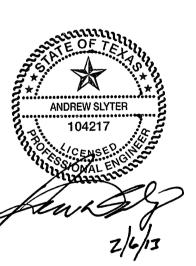
INTERIOR HARRISON FRENCH

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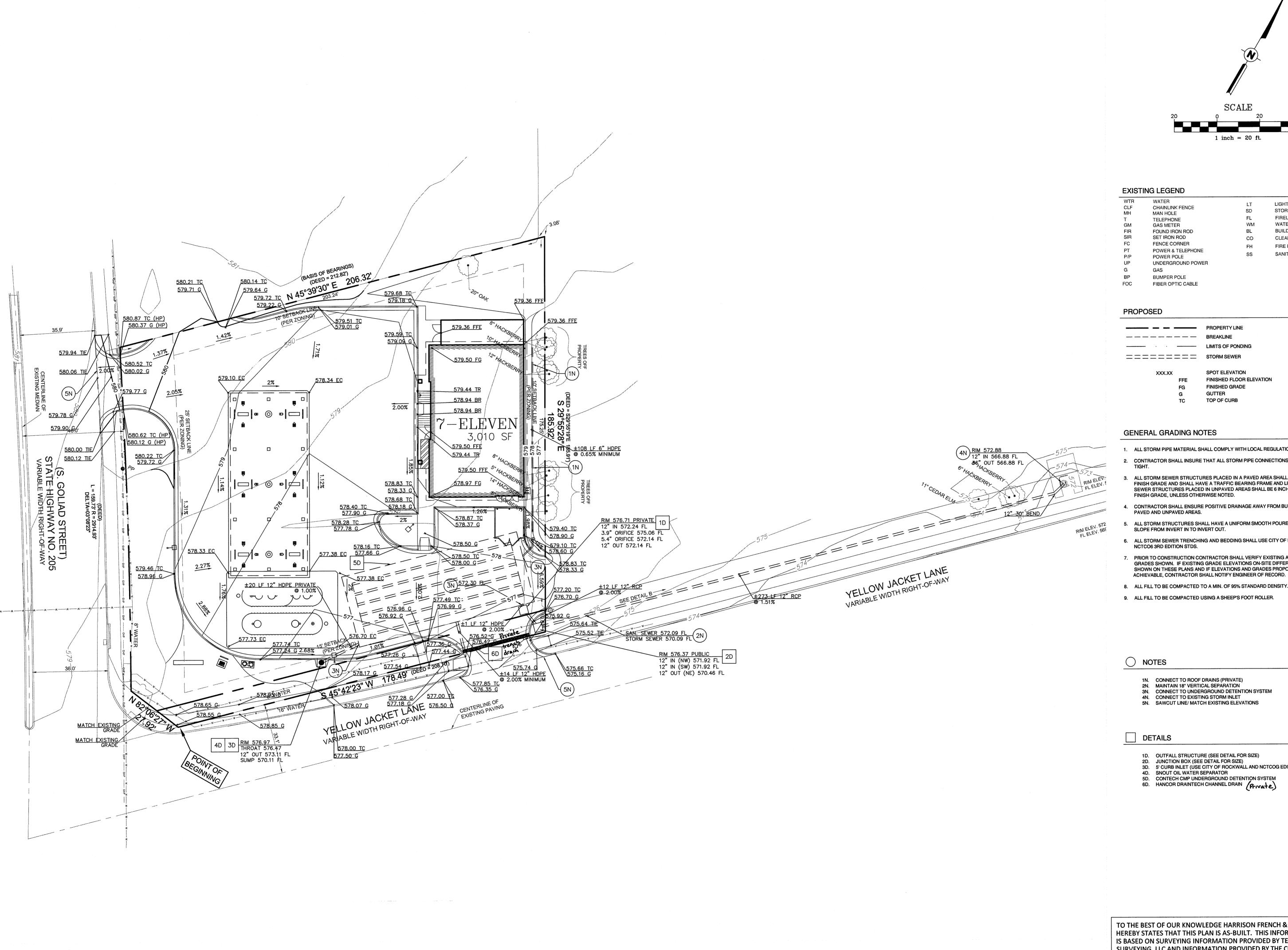
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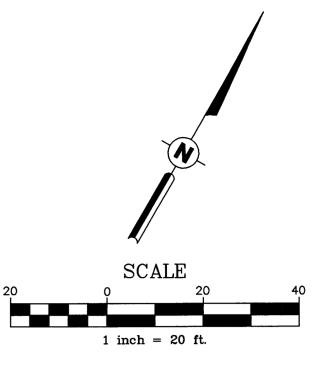
PLAN

AS-BUILT

SHEET:

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	III G LLGLIID		
WTR CLF MH T	WATER CHAINLINK FENCE MAN HOLE TELEPHONE	LT SD FL	LIGHT POLE STORM DRAIN FIRELANE
GM	GAS METER	WM	WATER METER
FIR	FOUND IRON ROD	BL	BUILDING LINE
SIR	SET IRON ROD	CO	CLEAN OUT
FC	FENCE CORNER	FH	FIRE HYDRANT
PT P/P	POWER & TELEPHONE POWER POLE	SS	SANITARY SEWER
UP	UNDERGROUND POWER		
G	GAS		
DD	DUMBED DOLE		

PROPERTY LINE
BREAKLINE
LIMITS OF PONDING
STORM SEWER
SPOT ELEVATION
FINISHED FLOOR ELEVATION
FINISHED GRADE
GUTTER
TOP OF CURB

- 1. ALL STORM PIPE MATERIAL SHALL COMPLY WITH LOCAL REGULATIONS.
- 2. CONTRACTOR SHALL INSURE THAT ALL STORM PIPE CONNECTIONS ARE WATER
- ALL STORM SEWER STRUCTURES PLACED IN A PAVED AREA SHALL BE FLUSH WITH FINISH GRADE AND SHALL HAVE A TRAFFIC BEARING FRAME AND LID. ALL STORM SEWER STRUCTURES PLACED IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE, UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR PAVED AND UNPAVED AREAS.
- 5. ALL STORM STRUCTURES SHALL HAVE A UNIFORM SMOOTH POURED MORTAR SLOPE FROM INVERT IN TO INVERT OUT.
- 6. ALL STORM SEWER TRENCHING AND BEDDING SHALL USE CITY OF ROCKWALL AND
- 7. PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED GRADES SHOWN. IF EXISTING GRADE ELEVATIONS ON-SITE DIFFER FROM THOSE SHOWN ON THESE PLANS AND IF ELEVATIONS AND GRADES PROPOSED ARE NOT
- 8. ALL FILL TO BE COMPACTED TO A MIN. OF 95% STANDARD DENSITY.
- 9. ALL FILL TO BE COMPACTED USING A SHEEP'S FOOT ROLLER.
- 1N. CONNECT TO ROOF DRAINS (PRIVATE)2N. MAINTAIN 18" VERTICAL SEPARATION
- 3N. CONNECT TO UNDERGROUND DETENTION SYSTEM
- 4N. CONNECT TO EXISTING STORM INLET 5N. SAWCUT LINE/ MATCH EXISTING ELEVATIONS
- 1D. OUTFALL STRUCTURE (SEE DETAIL FOR SIZE)
- 2D. JUNCTION BOX (SEE DETAIL FOR SIZE)
- 3D. 5' CURB INLET (USE CITY OF ROCKWALL AND NCTCOG EDITION STDS.) 4D. SNOUT OIL WATER SEPARATOR
- 5D. CONTECH CMP UNDERGROUND DETENTION SYSTEM
 6D. HANCOR DRAINTECH CHANNEL DRAIN

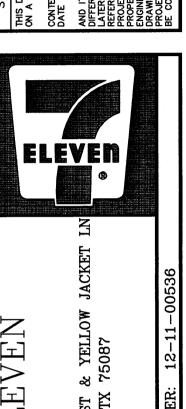
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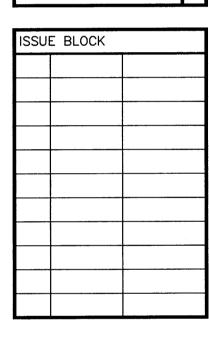
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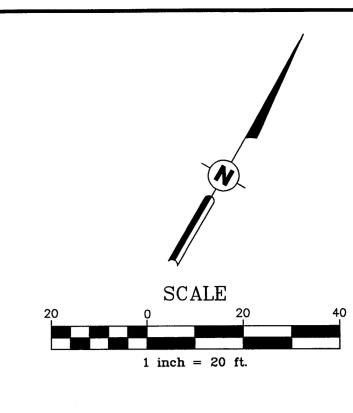


TEXAS COA #F-8576

> GRADING PLAN

AS-BUILT

SHEET: C2.0



EXISTING LEGEND

EXISTIN	G LEGEND		
WTR CLF MH T GM FIR SIR FC PT P/P UP G BP FOC	WATER CHAINLINK FENCE MAN HOLE TELEPHONE GAS METER FOUND IRON ROD SET IRON ROD FENCE CORNER POWER & TELEPHONE POWER POLE UNDERGROUND POWER GAS BUMPER POLE FIBER OPTIC CABLE	LT SD FL WM BL CO FH SS	LIGHT POLE STORM DRAIN FIRELANE WATER METER BUILDING LINE CLEAN OUT FIRE HYDRANT SANITARY SEWER

PROPOSED

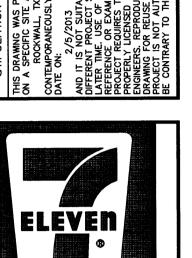
 PROPERTY LINE
 DRAINAGE AREA
 FLOW ARROW



HARRISON FRENCH
& ASSOCIATES, LTD

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AND IT IS NOT SUITABLE FOR USE ON A
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LATER TIME. USE OF THIS DRAWING FOR
REFERENCE OR EXAMPLE ON ANOTHER
PROJECT REQUIRES THE SERVICES OF
PROPERLY LICENSED ARCHITECTS AND
ENGINEERS. REPRODUCTION OF THIS
DRAWING FOR REUSE ON ANOTHER
PROJECT IS NOT AUTHORIZED AND MAY
BE CONTRARY TO THE LAW.



GOLIAD ST & YELLOW JACKET LN

CKWALL, TX 75087

OUT MINDED. 19, 11,00696

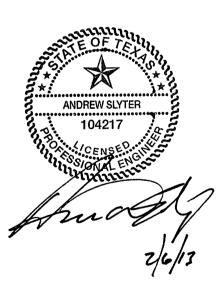
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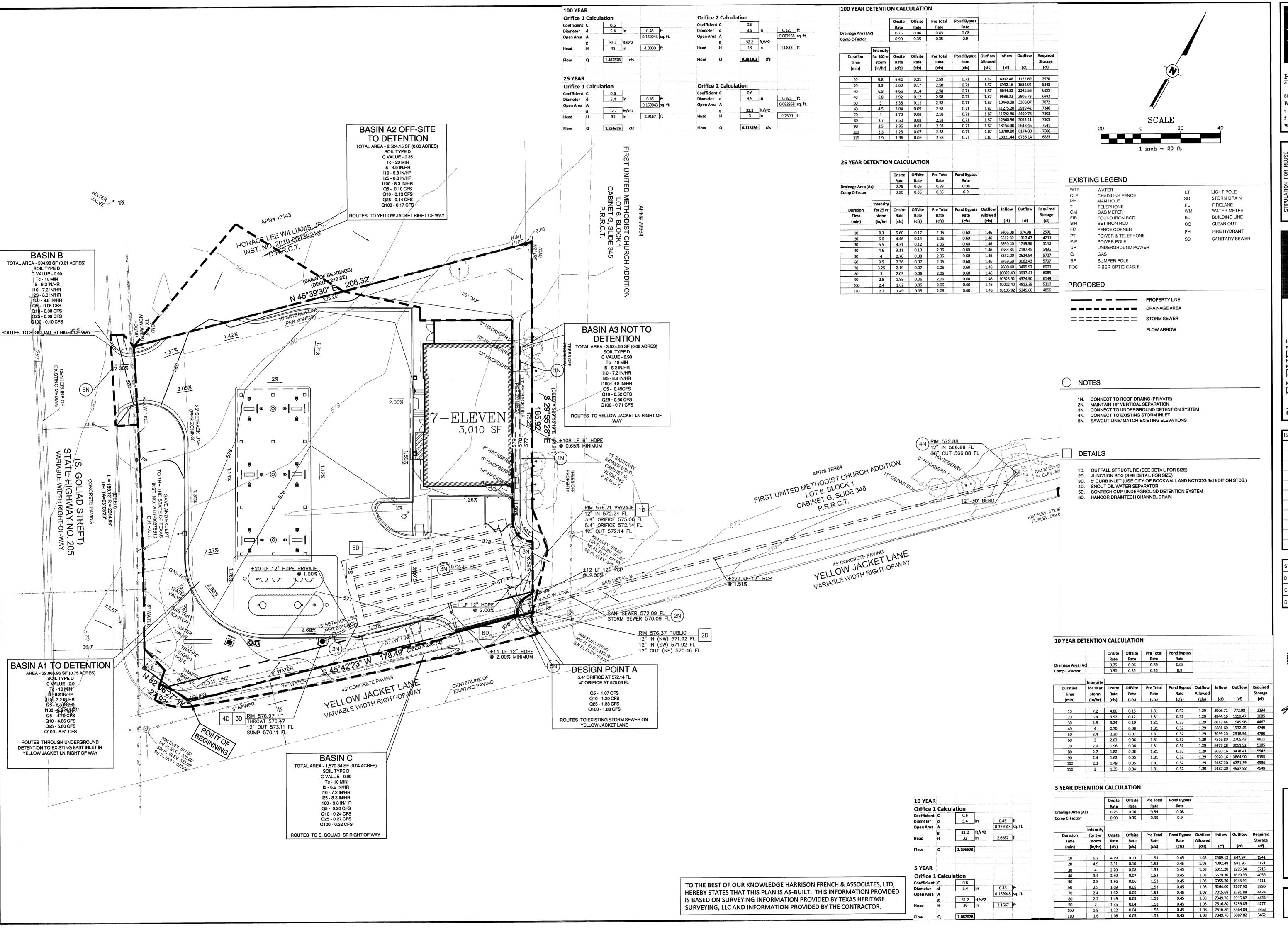
TEXAS COA #F-8576

PRE DEVELOPED DRAINAGE MAP

AS-BUILT

SHEET: **C2.1**

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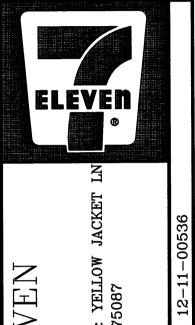


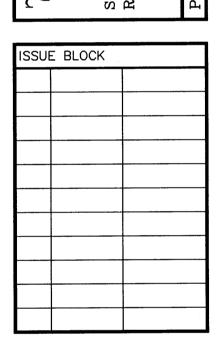
ENGINEER INTERIOR

HARRISON FRENCE

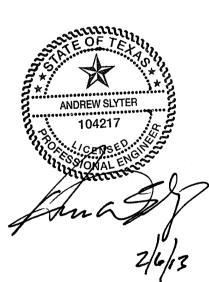
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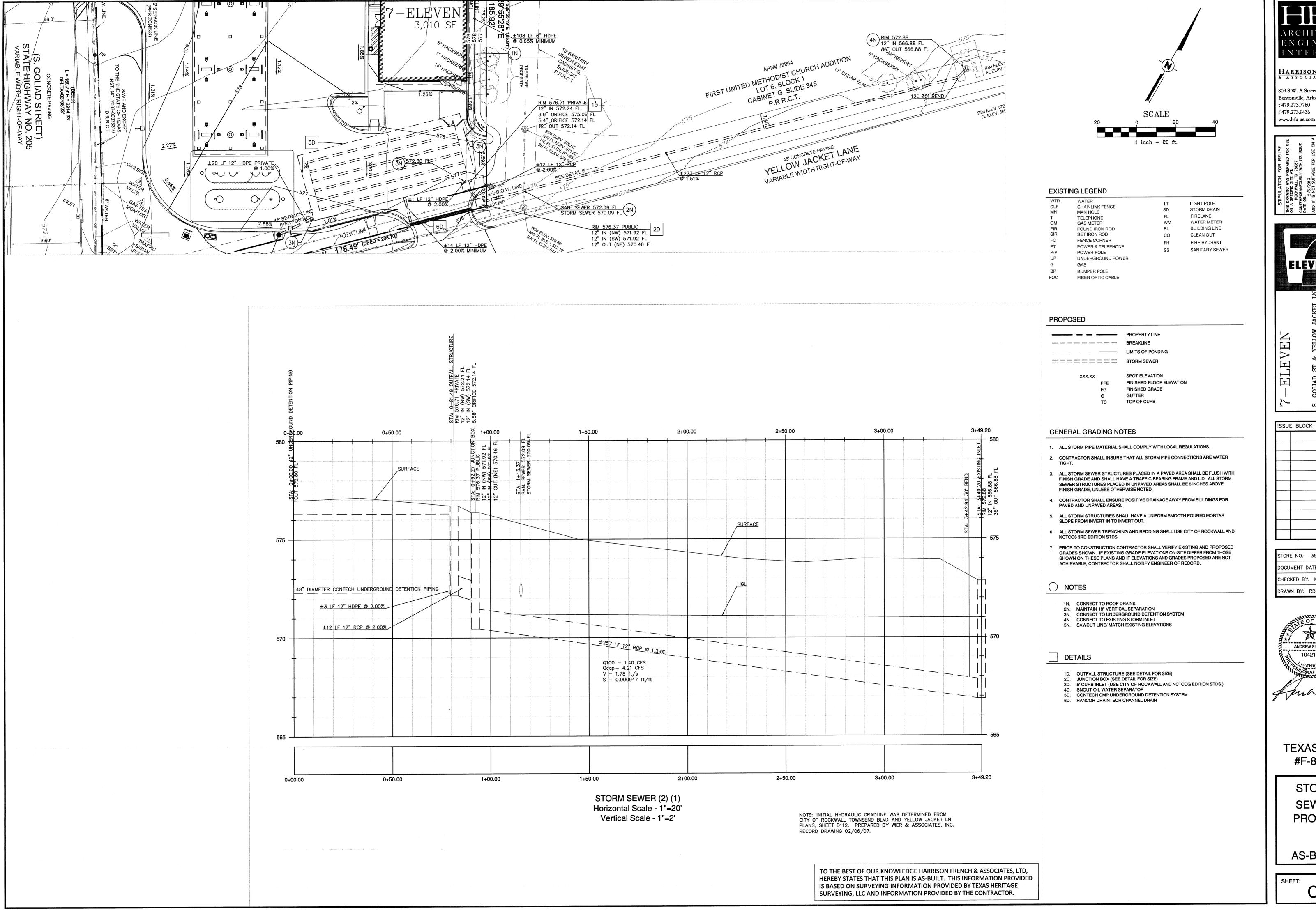
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TEXAS COA #F-8576

POST **DEVELOPED** DRAINAGE **AS-BUILT**

SHEET:



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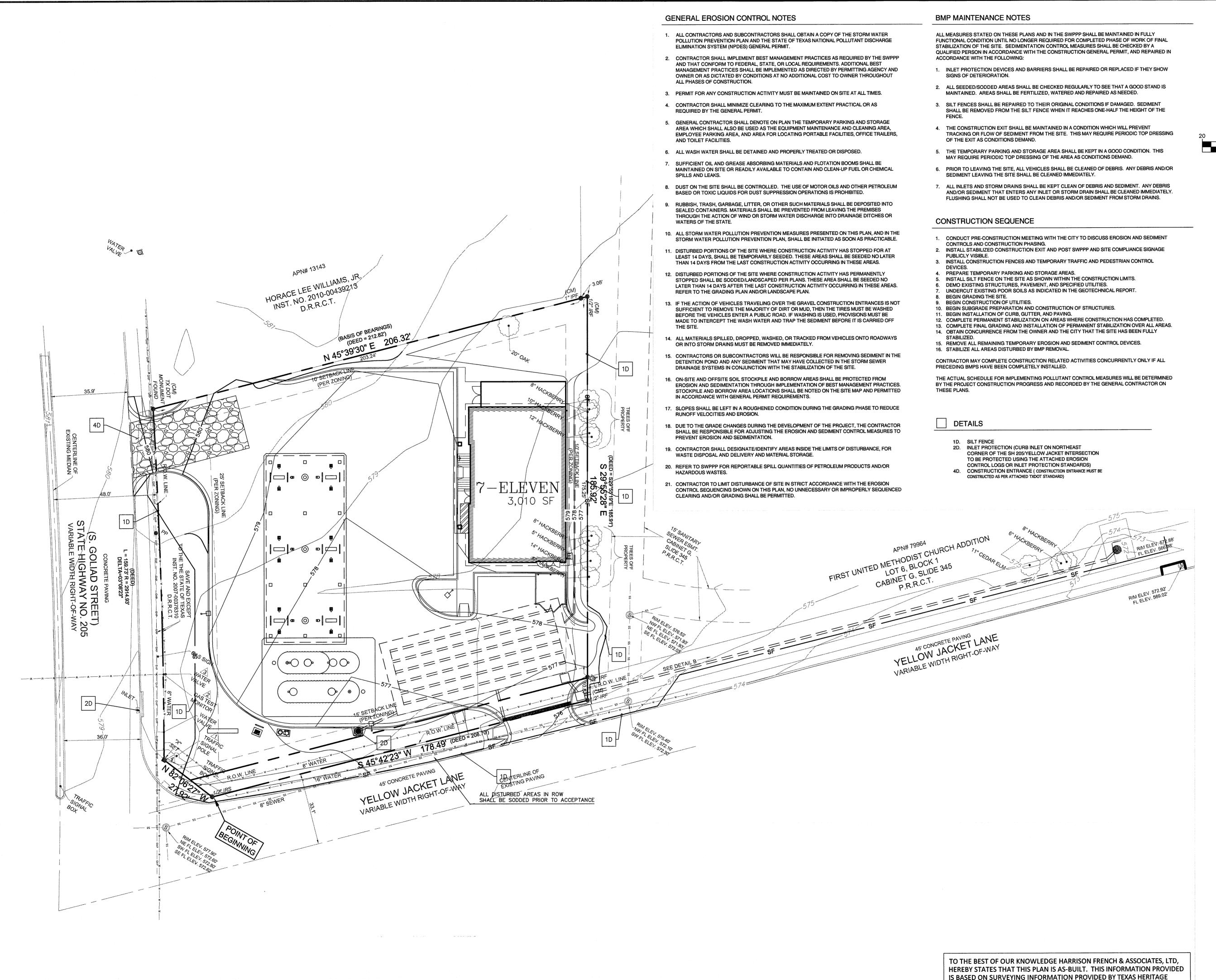
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TEXAS COA #F-8576

> STORM SEWER **PROFILE**

AS-BUILT



1 inch = 20 ft.

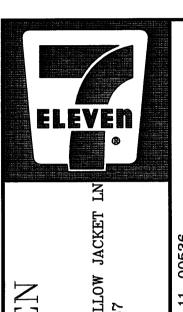
SURVEYING, LLC AND INFORMATION PROVIDED BY THE CONTRACTOR.

INTERIOR

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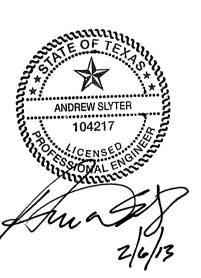
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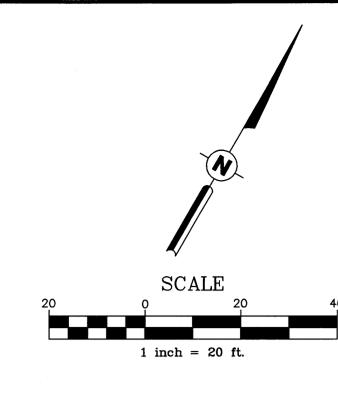


TEXAS COA #F-8576

EROSION & SEDIMENT CONTROL PLAN

AS-BUILT

C3.0





EXISTIN	G LEGEND		
WTR CLF MH F GM FIR BIR FC PT P/P JIP G BP	WATER CHAINLINK FENCE MAN HOLE TELEPHONE GAS METER FOUND IRON ROD SET IRON ROD FENCE CORNER POWER & TELEPHONE POWER POLE UNDERGROUND POWER GAS BUMPER POLE	LT SD FL WM BL CO FH SS	LIGHT POLE STORM DRAIN FIRELANE WATER METER BUILDING LINE CLEAN OUT FIRE HYDRANT SANITARY SEWER
OC	FIBER OPTIC CABLE		

PROPOSED

	PROPERTY LINE
	PROPOSED EASEMENT
X"W	WATERLINE
X"SS	SANITARY SEWER LINE
UGE&T	UNDERGROUND ELECTRIC & TELEPHONE
	STORM SEWER
	SEWER STUB OUT
•	SEWER CLEAN OUT
E	ELECTRIC METER
\overline{W}	WATER METER

GENERAL UTILITY NOTES

- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 2. ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTILLATION.
- 3. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
- 4. ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
- 5. ALL TRENCHING AND BEDDING SHALL BE PER THE CITY OF ROCKWALL AND
- NCTCOG 3RD EDITION STDS.
- 6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING
- 7. ALL THRUST BLOCKING SHALL BE PER THE VERTICAL AND HORIZONTAL THRUST BLOCKING DETAILS.
- 8. ALL SANITARY SEWER CLEAN-OUTS SHALL BE PER THE CITY OF ROCKWALL AND NCTCOG 3RD EDITION STDS.

○ NOTES

- 2N. MAINTAIN 18" VERTICAL SEPARATION 3N. 45° BEND 4N. 90° BEND
- 9N. CONNECT TO BUILDING 12N. GATE VALVE 13N. BACKFLOW PREVENTOR
- 14N. CONNECT TO EXISTING WATER LINE (PER CITY OF ROCKWALL)
- 15N. CONNECT TO EXISTING MANHOLE
- 16N. CONNECT TO EXISTING MANFIOLE

 16N. CONNECTION TO 8" EXTENSION BY OTHERS

 17N. CONNECT TO EXISTING ELECTRICAL SERVICE. (PER ONCOR ELECTRIC)

 18N. CONNECT TO EXISTING TELEPHONE SERVICE PER VERIZON
- 20N. ELECTRIC METER 21N. 1" WATER METER (WITH DOUBLE CHECK AND BACKFLOW PREVENTOR)

DETAILS

1D. CLEANOUT (PER CITY OF ROCKWALL AND NCTCOG 3RD EDITION STANDARDS 6D. FIRE HYDRANT (PER CITY OF ROCKWALL STANDARDS)

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FL. = 574.04 1D

10 L.F. 4" PVC © 2.83%

FL. = 572.60 1D DOUBLE CLEAN OUT

PROPOSED UTILITY POLE

('SN) SEE DETAIL B - - -

FL. = 572.32 (15N)

CONTRACTOR TO FIELD

VERIFY ELEVATION PRIOR TO

S. 40 CONNECTION

-ELEVEN

8 L.F. 4" PVC @ 2.83%

YELLOW JACKET LANE
VARIABLE WIDTH RIGHT-OF-WAY

APPROXIMATE LOCATION OF EXISTING
16" WATER MAIN. BASED ON FIELD
INFORMATION PROVIDED BY UTILITY

CONTRACTOR

FIRE HYDRANT

IN GRASS IN

ROW

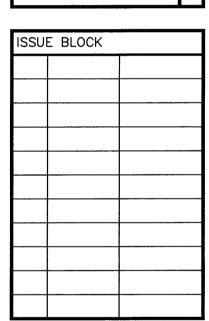
TO INSTALL



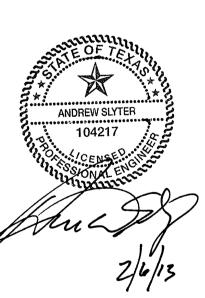
HARRISON FRENCE

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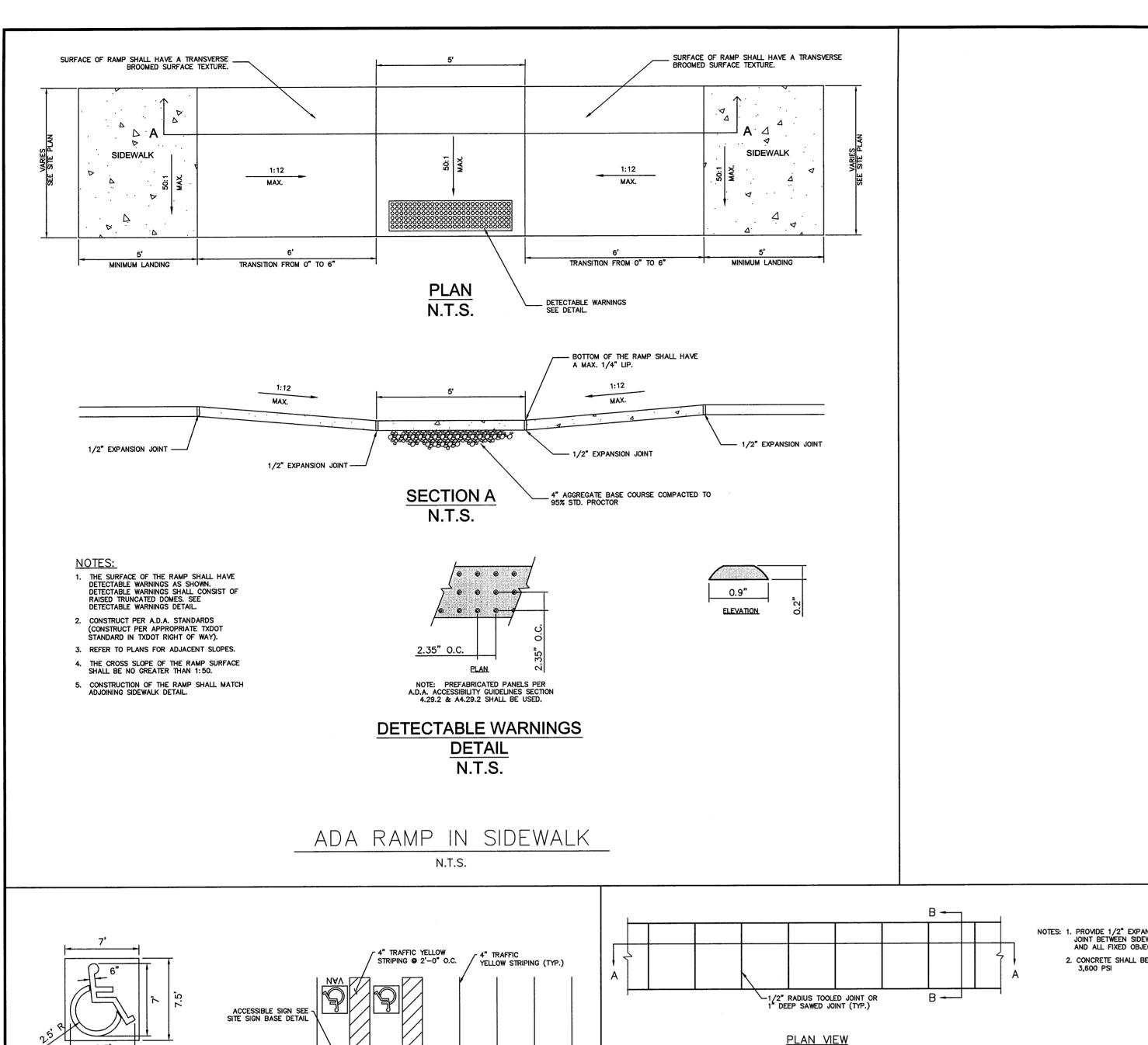


TEXAS COA #F-8576

> UTILITY PLAN

AS-BUILT

C4.0



DIMENSION CHART

 $A = 90^{\circ}$

ВС

9' 20'

W R WR 20' 30' 30'MIN. 25' 20' 30'MIN. 30' 10' 30'MIN.

W = WDTH (feet) OF FIRE LANE
R = RADIUS NECESSARY TO ACCOMMODATE
FIRE VEHICLES
WR = TURNING RADIUS PAVEMENT WIDTH

NO PARKING FIRE LANE

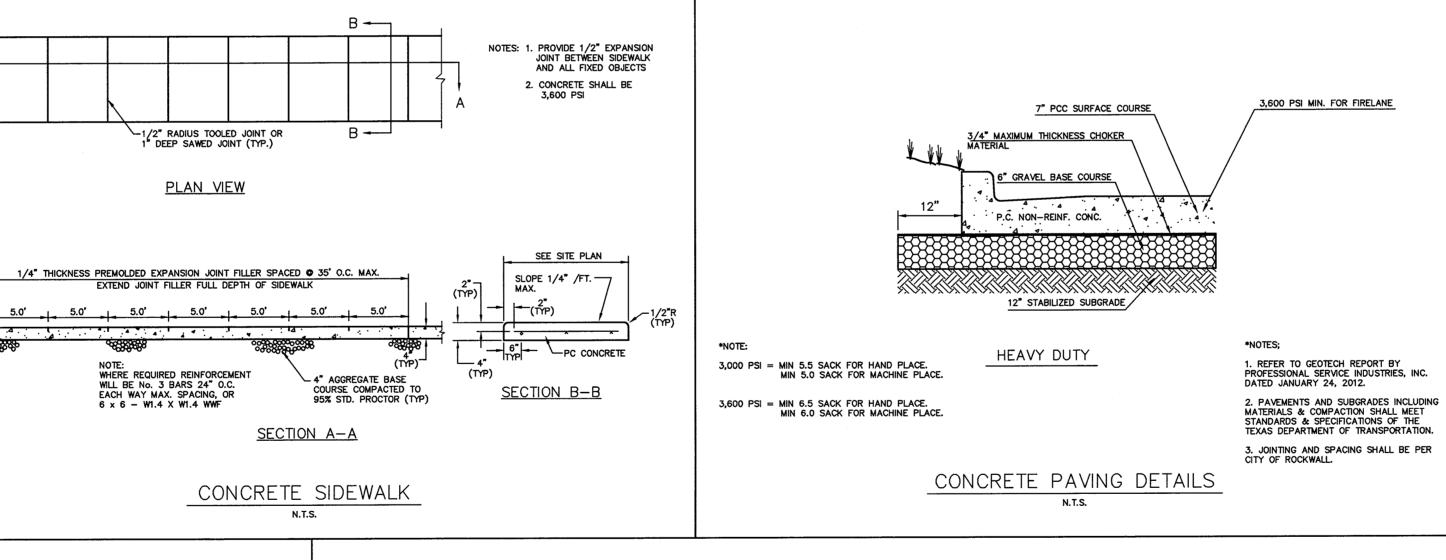
NO PARKING FIRE

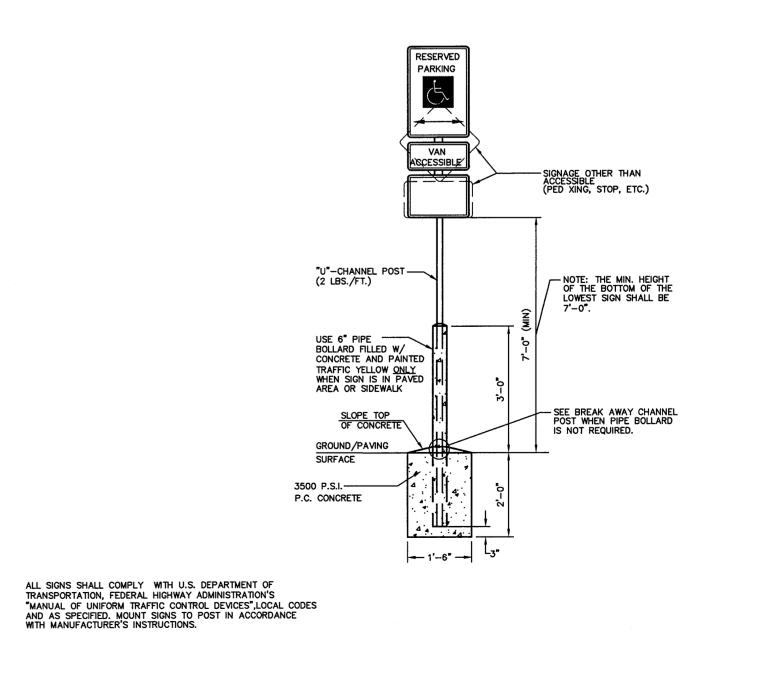
FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON THE TOP EDGE OF THE SIDEWALK ABUTTING THE PAVED DRIVE OR AS SPECIFIED BY LOCAL REQUIREMENTS.

FIRE LANE MARKING

NO PARKING FIRE

NO PARKING FIRE LANE





SITE SIGN BASE DETAILS

5/16" Ø STANDARD GALVANIZED OR ZINC PLATED SQUARE OR HEX. HEAD MACHINE BOLT WITH NUT.

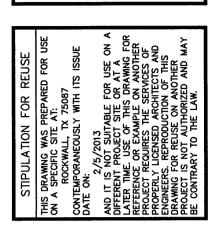
PLAN VIEW

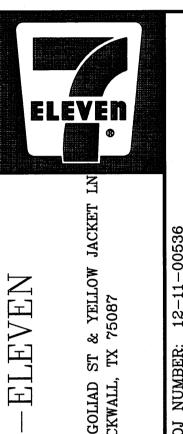
BREAK AWAY CHANNEL POST



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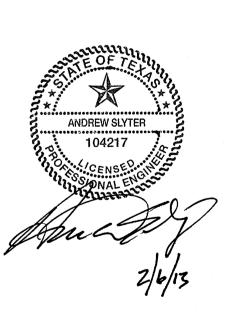




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PARTIAL ELEVATION



TEXAS COA #F-8576

> **DETAIL** SHEET

AS-BUILT

ACCESSIBLE PARKING SYMBOL

1. SEE SITE PLAN FOR COMPLETE STRIPING

4. ALL COLORS AS SHOWN OR BY LOCAL CODES.

2. THIS IS FOR REFERENCE AND DIMENSION CONTROL ONLY. 3. ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS OTHERWISE NOTED.

LOCATED AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY VAN LETTERING

TRAFFIC YELLOW ACCESSIBLE SYMBOL
AND LETTERING

1. GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE AND LONGITUDINAL

CONSTRUCT PER APPROPRIATE TXDOT STANDARD IN TXDOT RIGHT OF WAY.

P.C. CONCRETE PAVING
SEE PAVING DETAILS FOR
PAVEMENT SECTIONS, SUBBASE,
SUBGRADE AND COMPACTION
REQUIREMENTS.

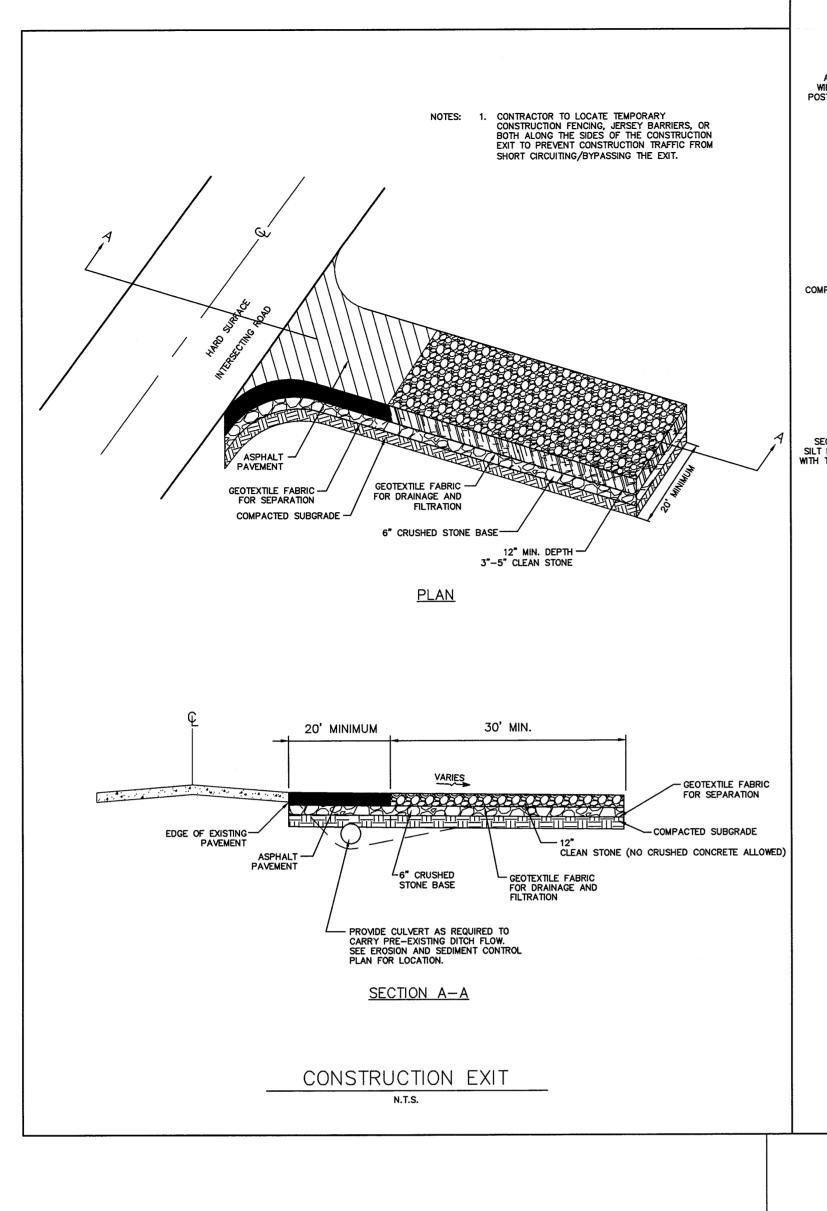
TYPE "B" INTEGRAL

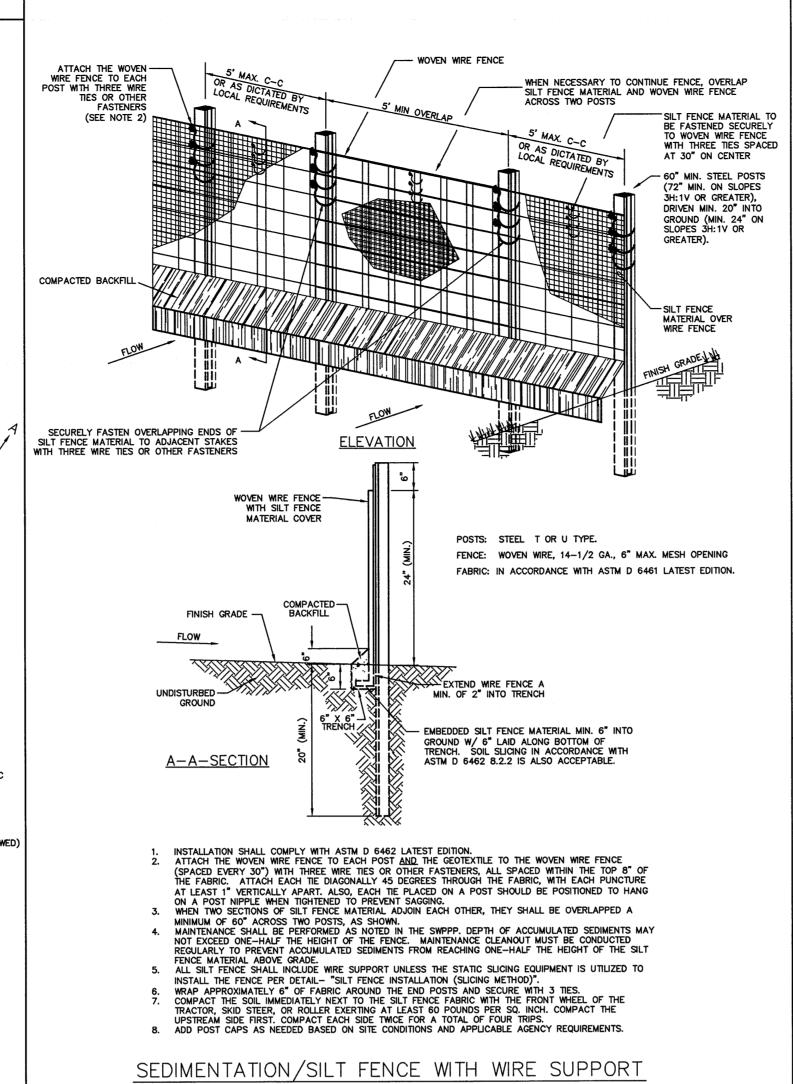
CURB AND GUTTER

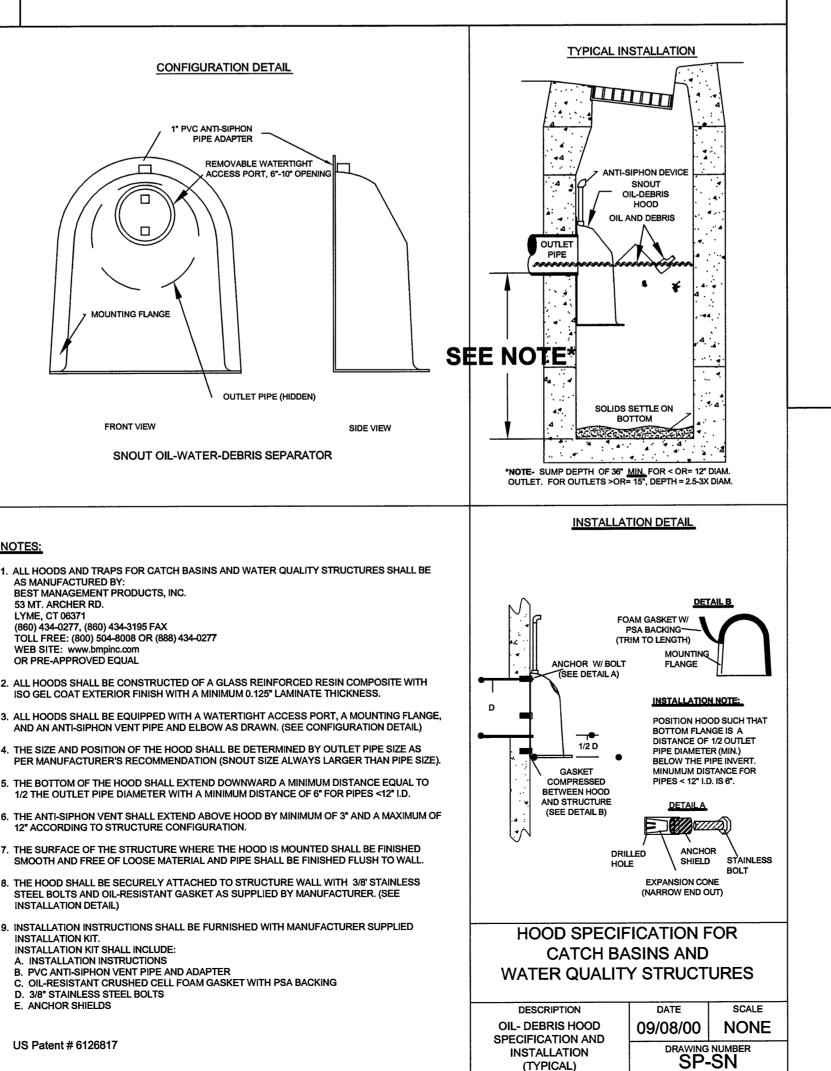
N.T.S.

PARKING LOT STRIPING

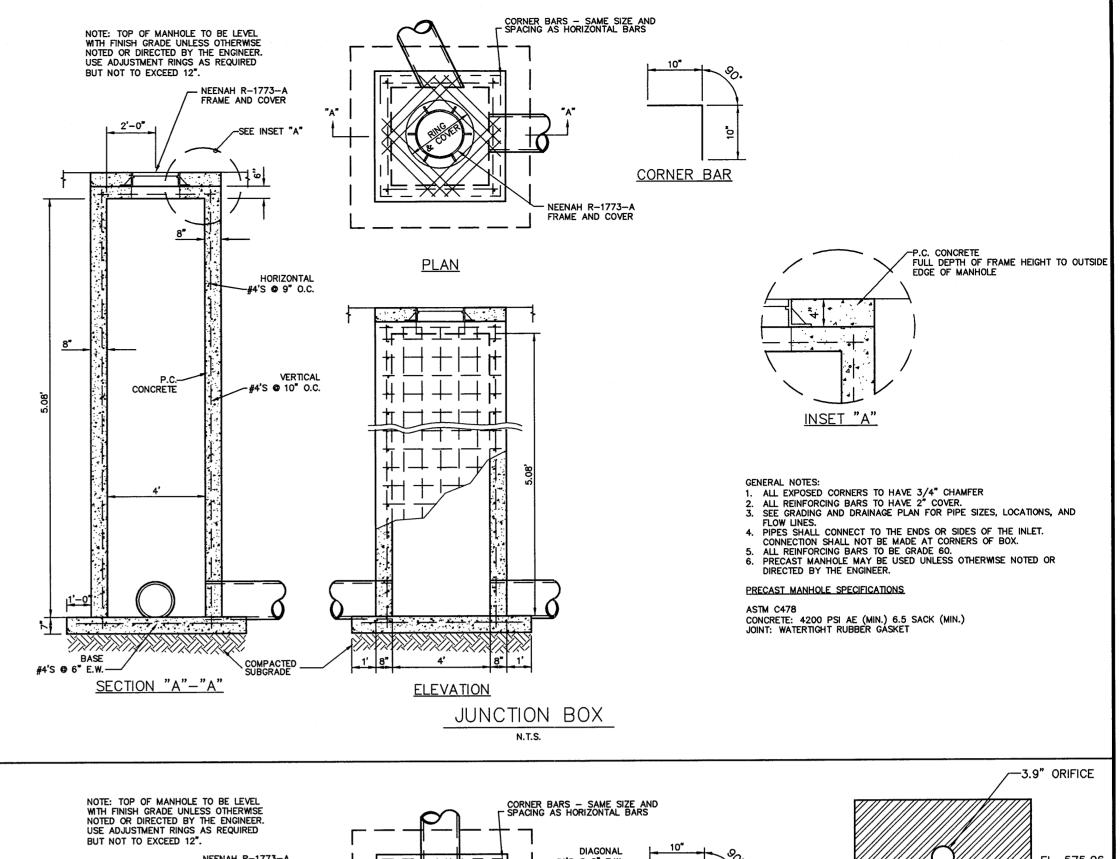
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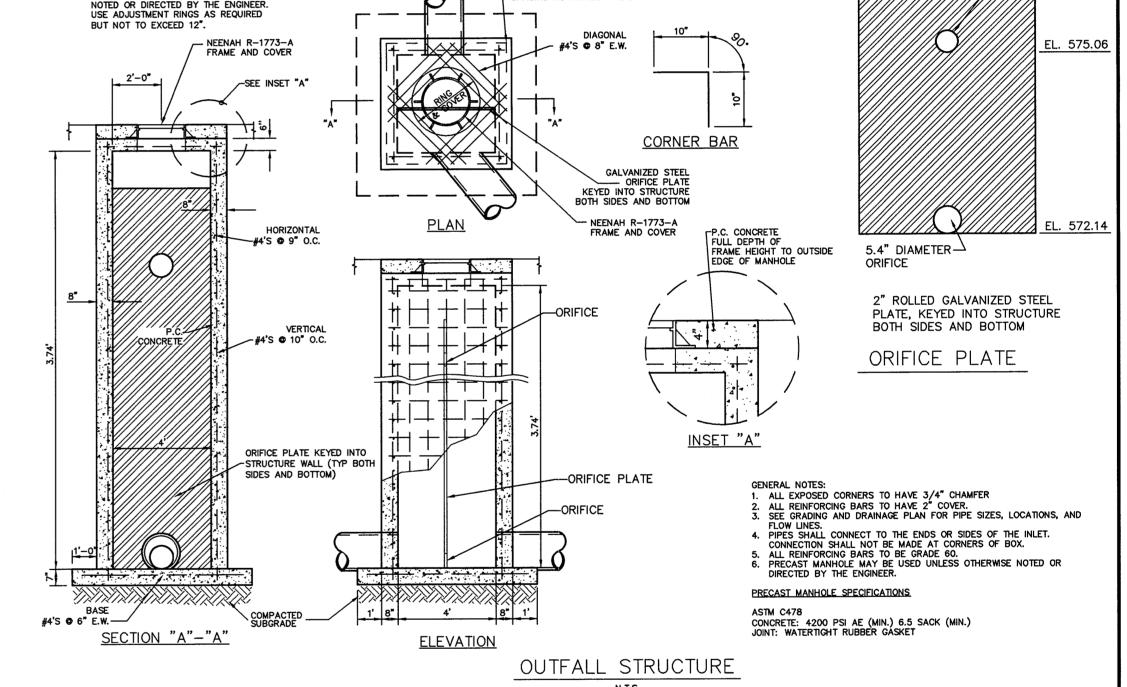


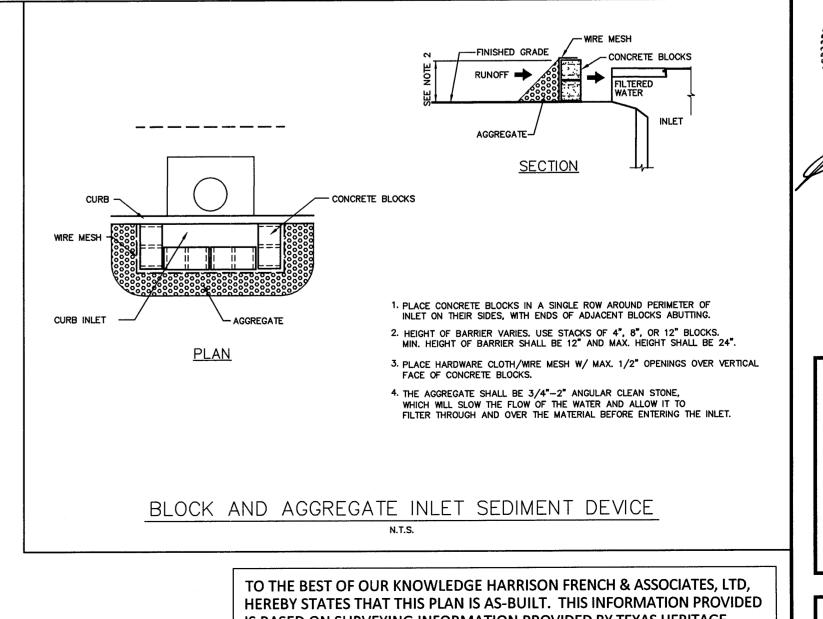




(TYPICAL)





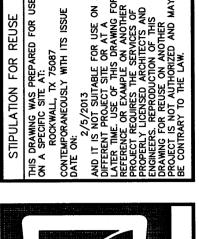


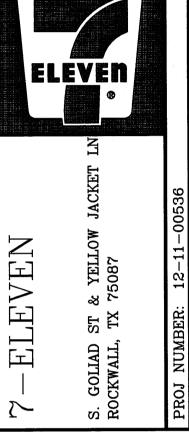
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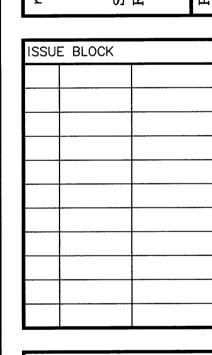
ENGINEERS INTERIOR

HARRISON FRENCI & ASSOCIATES, LT

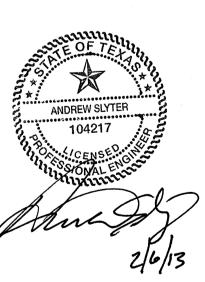
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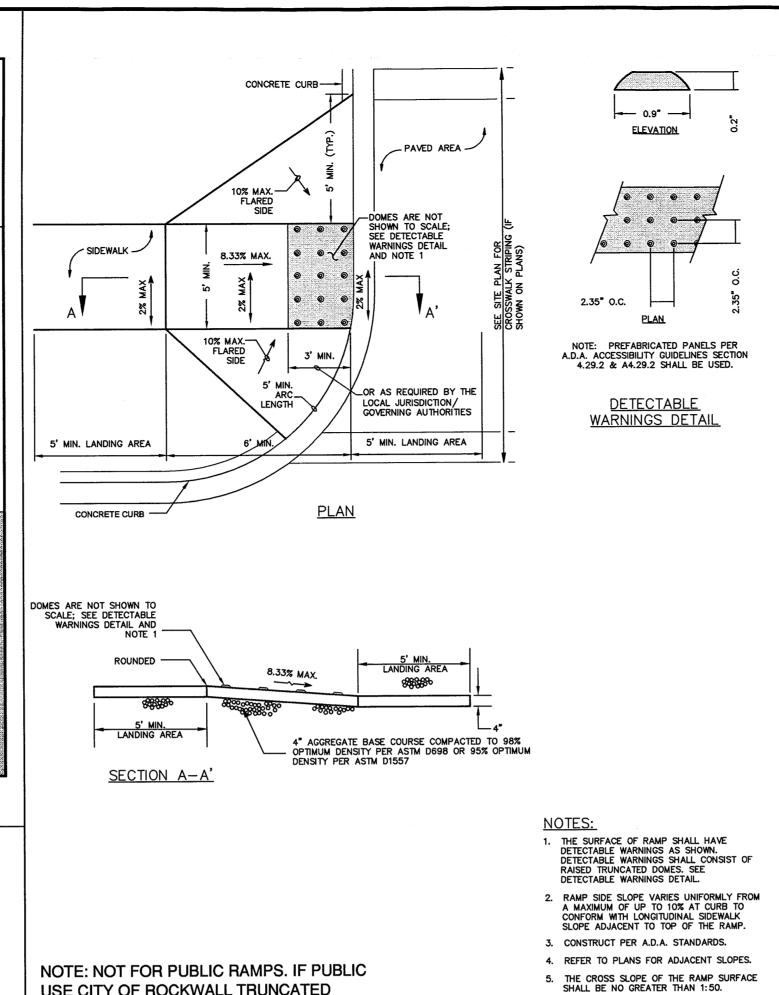
TEXAS COA #F-8576

> DETAIL SHEET

AS-BUILT

SHEET:

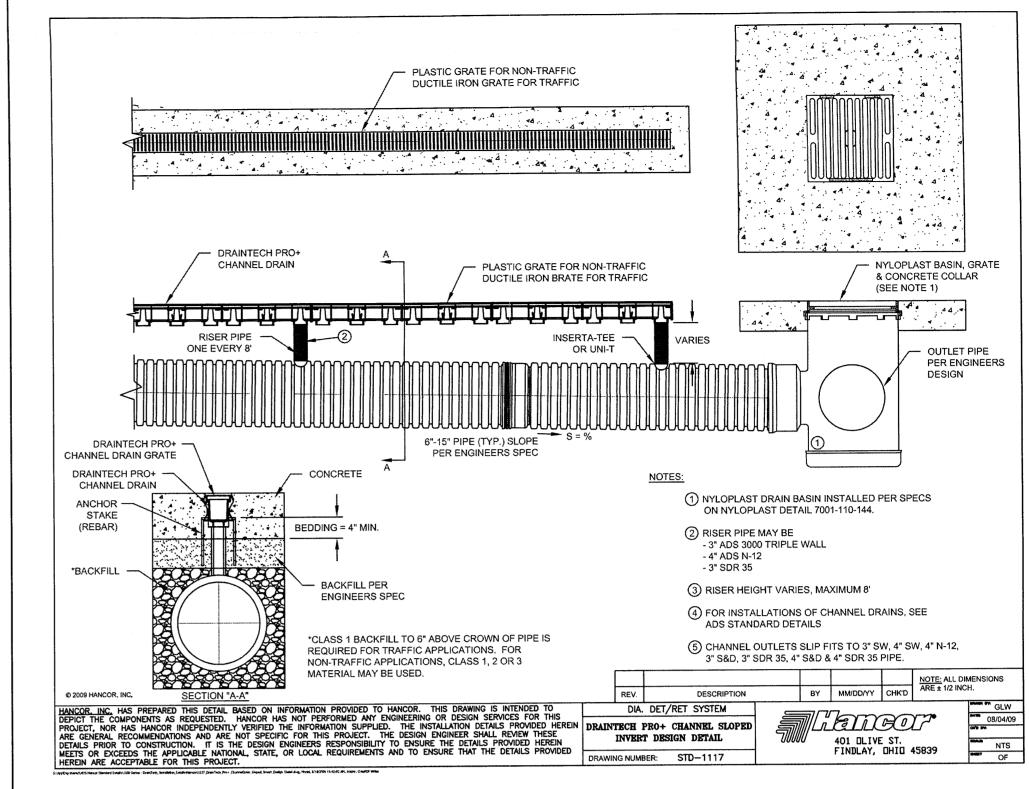
© 2007 CONTECH Stormwater Solutions

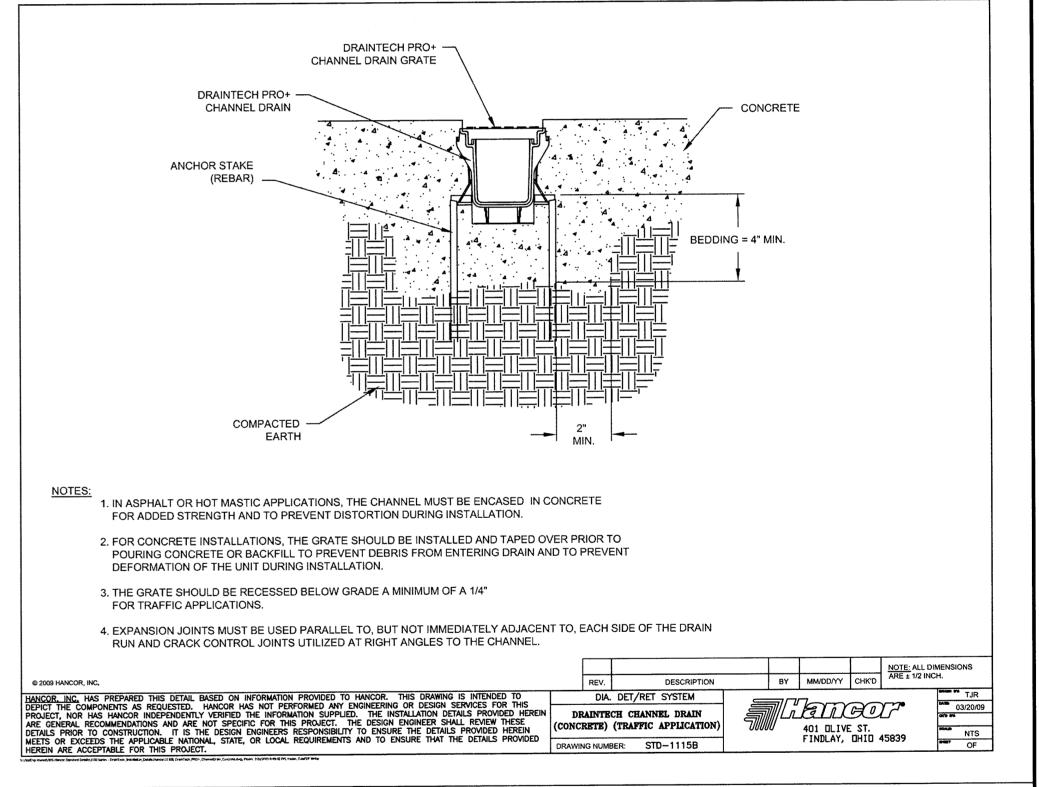


ADA CORNER RAMP IN SIDEWALK

USE CITY OF ROCKWALL TRUNCATED

DOME PLATE DETAL.

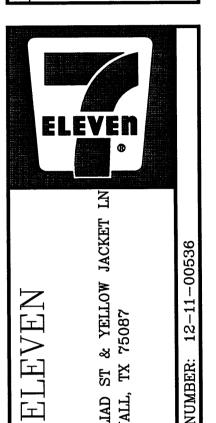


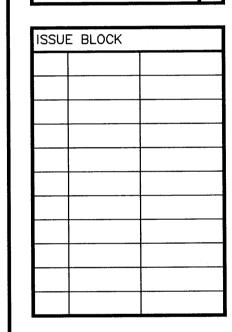


ENGINEER INTERIOR HARRISON FRENCH

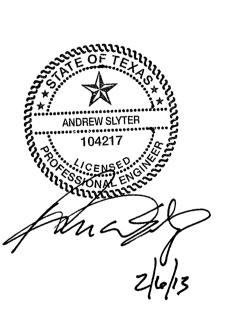
& ASSOCIATES, LTI

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TEXAS COA #F-8576

SHEET

AS-BUILT

SHEET: