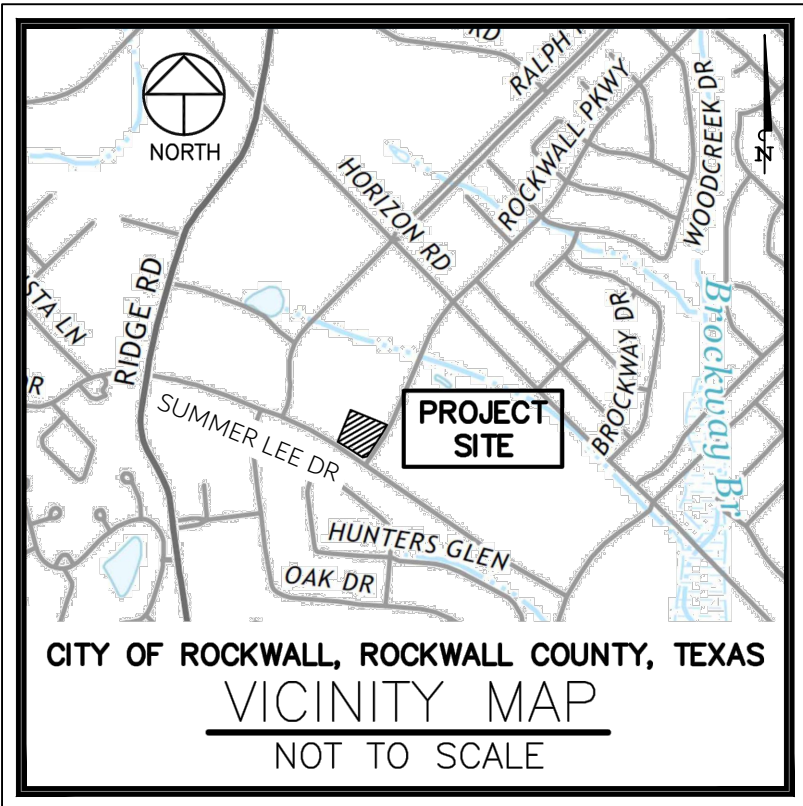


CIVIL PLANS FOR  
CAPPS, HODGES, & MORGAN  
LOT 5, BLOCK B  
HORIZON RIDGE ADDITION  
ROCKWALL, TX

CITY FILE NO.: E2022-021



SHEET LIST TABLE		
SHEET NUMBER	SHEET TITLE	REVISION DATE
C-0	COVER	2/15/2024
	FINAL PLAT	
	SURVEY	
SP-1	SITE PLAN	2/15/2024
C-1	GENERAL NOTES	2/15/2024
C-2	CITY GENERAL NOTES (1 OF 2)	2/15/2024
C-3	CITY GENERAL NOTES (2 OF 2)	2/15/2024
C-4	EROSION CONTROL PLAN	2/15/2024
C-5	EROSION CONTROL DETAILS	2/15/2024
C-6	DIMENSION CONTROL AND PAVING PLAN	2/15/2024
C-7	GRADING PLAN	2/15/2024
C-8	EXISTING DRAINAGE AREA MAP	2/15/2024
C-9	PROPOSED DRAINAGE AREA MAP	2/15/2024
C-10	DETENTION POND CALCULTIONS	2/15/2024
C-11	STORM DRAIN PLAN	2/15/2024
C-12	STORM DRAIN PROFILES (1 OF 2)	2/15/2024
C-13	STORM DRAIN PROFILES (2 OF 2)	2/15/2024
C-14	UTILITY PLAN	2/15/2024
C-15	SEWER LINE PROFILES	2/15/2024
C-16	CONSTRUCTION DETAILS	2/15/2024
C-17	CITY CONSTRUCTION DETAILS	2/15/2024
C-18	CITY CONSTRUCTION DETAILS	2/15/2024
C-19	UNDERGROUND DETENTION DETAILS	2/15/2024
C-20	UNDERGROUND DETENTION DETAILS	2/15/2024
LP-1	LANDSCAPE PLAN	2/15/2024
LP-2	LANDSCAPE DETAILS	2/15/2024
LP-3	LANDSCAPE DETAILS	2/15/2024
TD-1	TREE DISPOSITION PLAN	2/15/2024
TD-2	TREE DISPOSITION SPECIFICATION	2/15/2024
	***REFERENCE SHEET ONLY***	
	ONSITE DRAINAGE AREA MAP	12/15/2005
	STORM SEWER PLAN	12/15/2005

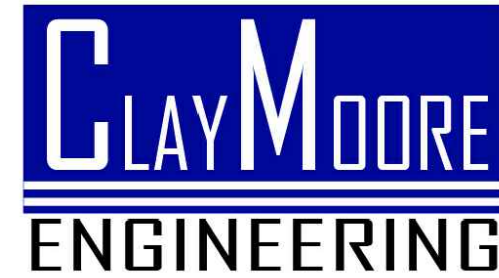
PLAN SUBMITTAL LOG	
DESCRIPTION	SUBMITTAL DATE
1ST SUBMITTAL	5/25/2022
2ND SUBMITTAL	7/13/2022
3RD SUBMITTAL	9/9/2022
4TH SUBMITTAL	9/26/2022
5TH SUBMITTAL	10/6/2022
6TH SUBMITTAL	12/12/2022
7TH SUBMITTAL	1/4/2023
ISSUED FOR CONSTRUCTION	2/22/2023
RECORD DRAWINGS	2/15/2024

STOP!  
CALL BEFORE YOU DIG

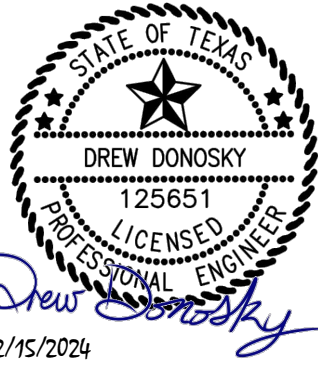


811  
1-800-344-8377

ENGINEER



TEXAS REGISTRATION #14199  
1903 CENTRAL DRIVE  
SUITE #406  
BEDFORD, TX 76092  
PH. 817.281.0572  
FAX 817.281.0574  
CONTACT: DREW DONOSKY, PE  
EMAIL: DREW@CLAYMOOREENG.COM



These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

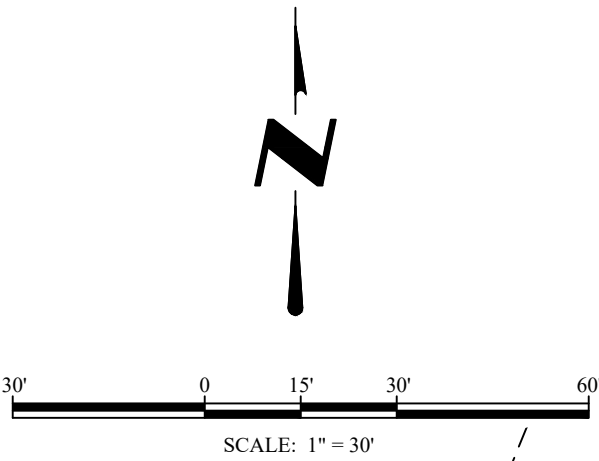
By: Drew Donosky Date: 2/15/2024

CAPPS, HODGES, & MORGAN, LOT 5 / BLOCK B , ROCKWALL, TX



SURVEYOR'S NOTES:

1. Bearings and distances are based on Texas State Plane Coordinate System, Texas North Central Zone 4202 North American Datum of 1983 (NAD 83) (U.S. Foot) with a combined scale factor of 1.000146135.
2. This property lies within Zone "X" of the Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, map no. 48397C0040L, dated September 26, 2008, via scaled map location and graphic plotting.
3. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
4. The purpose of this plat is to add easements to a platted lot.
5. Property owner to be responsible for all maintenance, repair and replacement for all drainage systems including detention system.
6. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit thereof issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
7. Property Owner shall be responsible for maintaining, repairing and replacing all systems within the drainage and detention easements.



LOT 11, BLOCK B  
HORIZON RIDGE  
ADDITION  
CAB. F, PG. 251  
P.R.R.C.T.

24' ACCESS & UTILITY EASEMENT  
CAB. F, PG. 251  
P.R.R.C.T.

10' UTILITY EASEMENT  
CAB. E, PAGE 117  
P.R.R.C.T.

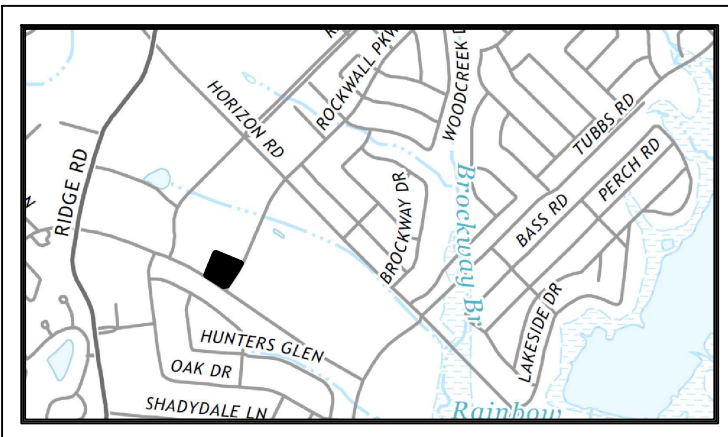
25' BUILDING SETBACK LINE  
CAB. F, PG. 159-160  
P.R.R.C.T.

TO CITY OF  
ROCKWALL  
BENCHMARK NO. 7  
N75°40'23"W,  
1610.67'

**POINT OF  
BEGINNING**

**L=161.04', R=2822.35'  
Δ=3°16'09"  
N58°13'13"W~161.01'**

BLOCK E  
FOXCHASE PHASE 5  
CAB. D, PG. 110  
P.R.R.C.T.



VICINITY MAP  
NOT TO SCALE

**LOT 12, BLOCK B  
54,582 SF  
1.253 Acres**

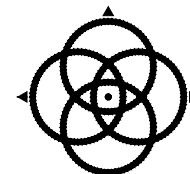
LOT 5, BLOCK B  
HORIZON RIDGE ADDITION  
CAB. F, PG. 130  
P.R.R.C.T.  
CHM REAL ESTATE, LLC  
INST. NO.  
20210000027224,  
O.P.R.R.C.T.

ENGINEER

Claymoore Engineering  
1903 Central Drive, Suite 406  
Bedford, Texas 76021

OWNER/DEVELOPER

CHM Real Estate, LLC  
740 Wilford Way,  
Heath, Texas 75032



**WINDROSE**  
LAND SURVEYING | PLATTING

1955 LAKEWAY DRIVE, SUITE 220 | LEWISVILLE, TX 75057 | 214.217.2544  
FIRM REGISTRATION NO. 10194331 | WINDROSESERVICES.COM

DRAWN BY: G.L.C. DATE: 07/15/2022 CHECKED BY: M.P. JOB NO.: D56655  
Last Revision Date: 12/12/2022

**FINAL PLAT  
HORIZON RIDGE ADDITION  
LOT 12, BLOCK B**

Being a Replat of Lot 5, Block B  
1.253 Acres (54,582 SF)

as recorded in Cab. F, Page 130, P.R.D.C.T.  
City of Rockwall, Rockwall County, Texas

City Case No: P2022-057

-- 2022 --

PAGE 1 OF 2



MARK TORRES  
2/15/2024 1:59 PM  
Z:\PROJECTS\PROJECTS 2022-056 APEX MORGAN ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG  
LAST SAVED: 2/15/2024 1:44 PM

These drawings have been revised to show those changes during the construction process reported by the contractor to Clay Moore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: Drew Donosky Date: 2/15/2024

**VARIANCE REQUEST:**  
1. TO ALLOW DRIVEWAY SPACING ALONG SUMMER LEE DRIVE TO BE LESS THAN 200'.

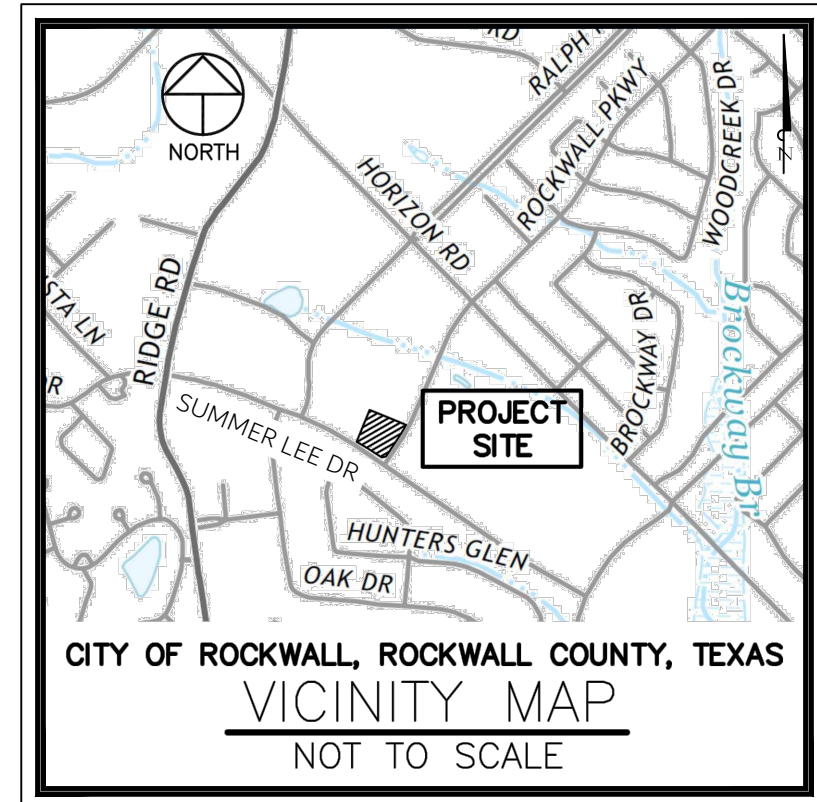
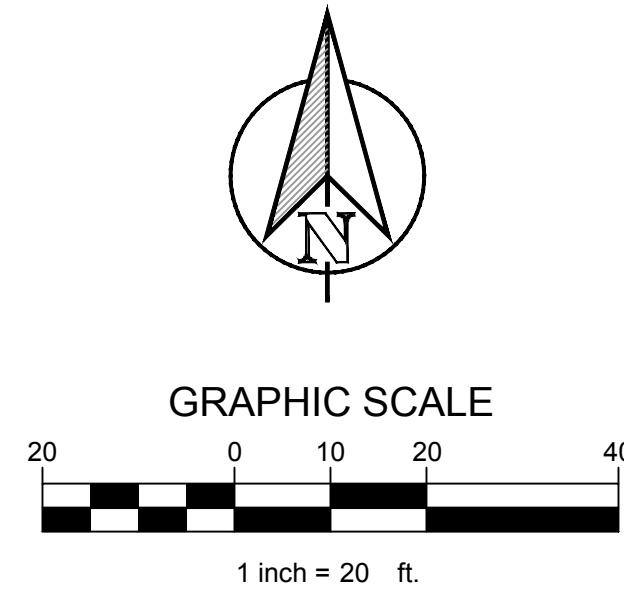
PARKING DATA TABLE	
PARKING REQUIRED	57 SPACES
MEDICAL OFFICE BUILDING: 1 SPACE PER 200 SF (11,250SF/200)	
PARKING PROVIDED	65 SPACES TOTAL
STANDARD PARKING SPACE	60 SPACES TOTAL
ADA PARKING SPACE	5 SPACES TOTAL

**BENCHMARKS**

SITE BENCHMARK NO. 1: BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 12 FEET EAST, AND 5 FEET SOUTH OF A POWER POLE LOCATED NEAR THE SOUTHERNMOST SOUTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION: 554.31'

SITE BENCHMARK NO. 2: BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 40 FEET EAST, AND 62 FEET NORTH OF A SANITARY SEWER MANHOLE COVER LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION: 543.99'

SITE DATA TABLE	
SITE AREA	1.253 AC (54,583 SF)
LEGAL DESCRIPTION	LOT 5, BLOCK B HORIZON RIDGE ADDITION
EXISTING ZONING	PLANNED DEVELOPMENT (PD-9)
PROPOSED USE	MEDICAL OFFICE BUILDING
PROPOSED BUILDING AREA	11,250 SF
PROPOSED BUILDING HEIGHT	18' - 00"
LOT COVERAGE	20.61%
FLOOR AREA RATIO	0.20 : 1
PERVIOUS AREA	12,233 SF
IMPERVIOUS AREA	42,350 SF
PERCENT IMPERVIOUS	77.60%



LEGEND	
	6" HEAVY DUTY CONCRETE PAVEMENT
	5" LIGHT DUTY CONCRETE PAVEMENT
	7" DUMPSTER CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPERTY LINE
	FULL-DEPTH SAWCUT
	EASEMENT LINE
	PARKING COUNT
	LIGHT POLES

CONSTRUCTION SCHEDULE	
①	SAW CUT FULL DEPTH EXISTING PAVEMENT
②	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	CURB & GUTTER
④	PROPOSED PEDESTRIAN RAMP
⑤	HANDICAP SYMBOL
⑥	PAVEMENT STRIPING
⑦	HANDICAP SIGN
⑧	PROPOSED SIDEWALK
⑨	"NOT AN ACCESSIBLE ROUTE" SIGN

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
  - AN EXTRA SACK OF CEMENT PER CUBIC YARD IS REQUIRED FOR ALL HAND POURS.
  - ALL RIGID PAVEMENT WITHIN THE CITY RIGHT-OF-WAY OR UNDER A FIRE LANE SHALL BE PER CITY STANDARDS AND DETAILS.
  - DUMPSTER ENCLOSURE MUST INCLUDE A OIL/WATER SEPARATOR, SELF LATCHING GATE AND BE FACED WITH MATERIALS MATCHING THE BUILDING STRUCTURE.

APPROVED: \_\_\_\_\_  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

CASE # : SP2022-009

CAPPS, HODGES, & MORGAN

OWNER:  
DR. CAPPS, DR. HODGES & DR. MORGAN  
CHM REAL ESTATE, LLC  
740 WILFORD WAY, HEATH, TX 75032  
PHONE: 972-771-9500  
EMAIL: CHADJCAPPS@GMAIL.COM

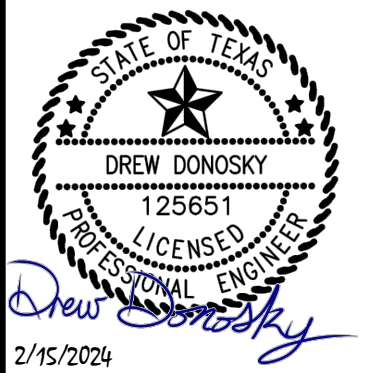
APPLICANT:  
JEFF KILBURG  
APEX DESIGN BUILD  
9550 W. HIGGINS RD., SUITE 170, ROSEMONT, IL 60018  
PH: 847-288-0100  
EMAIL: RAQUELLE@APEXDESIGNBUILD.NET

SURVEYOR  
WINDROSE LAND SURVEYING  
220 ELM STREET, SUITE #200  
LEWISVILLE, TX 75057  
PH: 214.217.2544

CONTACT NAME: MARK N. PEEPLES  
LEGAL DESCRIPTION:  
LOT 5, BLOCK B,  
HORIZON RIDGE ADDITION

CITY: ROCKWALL STATE: TEXAS

COUNTY: ROCKWALL SURVEY: E. TEAL SURVEY ABSTRACT NO: 207



CAPPS, HODGES & MORGAN  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75032  
SP2022-009

SITE PLAN

DESIGN: MKT  
DRAWN: MKT  
CHECKED: ASD  
DATE: 2/15/2024

SHEET  
SP-1

File No. 2020-021







PLOTTED BY: MARK TORRES  
 PLOT DATE: 2/15/2024 1:59 PM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-056 APEX MORGAN ROCKWALL\CADD\SHEETS\C-3 CITY GENERAL NOTES.DWG  
 LAST SAVED: 2/15/2024 1:45 PM



1. All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
2. Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
3. All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
4. No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

1. All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
2. All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

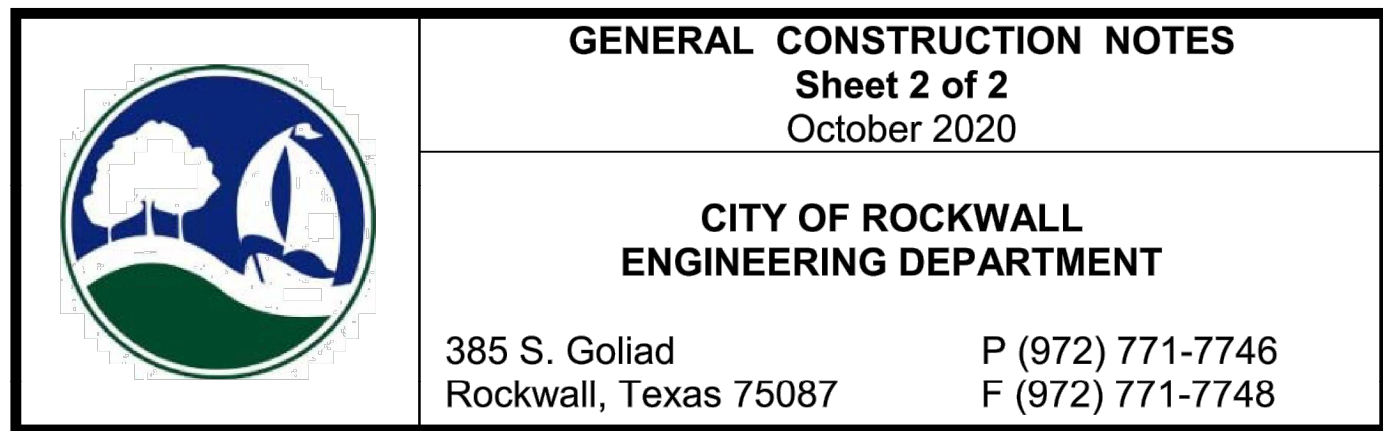
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

3. Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 times longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
4. No sand shall be allowed under any paving.
5. All concrete mix design shall be submitted to the City for review and approval prior to placement.
6. Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
7. All curb and gutter shall be integral (monolithic) with the pavement.
8. All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
9. All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
10. All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
11. All public sidewalks shall be doveled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
12. All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
13. Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
14. All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
15. Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
16. All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
17. CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
18. CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
19. CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

1. The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
2. All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
3. Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
4. All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
5. All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
6. All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
7. All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
8. All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.

1. All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
2. All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
3. All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
4. All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
5. No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

1. Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
2. After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
3. Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
4. Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
5. The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
6. Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."



These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.





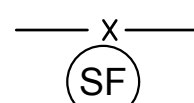
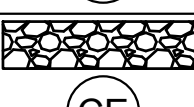
By: Crew Donosky Date: 2/15/2024



PLOTTED BY: MARK TORRES



1 inch = 20 ft

LEGEND	
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF CONSTRUCTION
	SILT FENCE
	CONSTRUCTION ENTRANCE

ACREAGE SUMMARY	
ONSITE DISTURBED AREA	1.25 AC
OFFSITE DISTURBED AREA	0.09 AC
TOTAL DISTURBED AREA	1.34 AC

## BENCHMARKS

SITE BENCHMARK NO. 1 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 12 FEET EAST, AND 5 FEET SOUTH OF A POWER POLE LOCATED NEAR THE SOUTHERNMOST SOUTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION: 554.31'

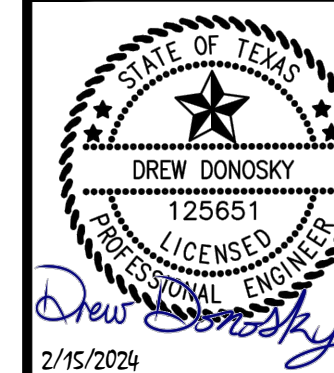
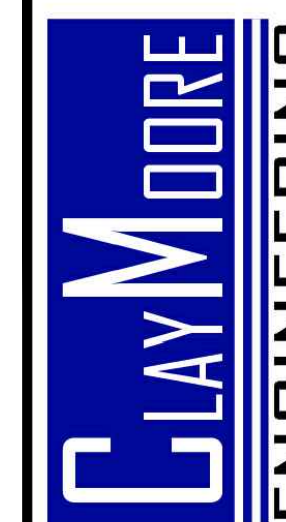
SITE BENCHMARK NO. 2 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 40 FEET EAST, AND 62 FEET NORTH OF A SANITARY SEWER MANHOLE COVER LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.  
ELEVATION: 543.99'



These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: Steve Donock Date: 2/15/2024

TEXAS REGISTRATION #14199



**CAPPS, HODGES & MORGAN**  
**1200 SUMMER LEE DRIVE**  
**ROCKWALL, TX 75032**  
**SP2022-009**

[illegible]

# EROSION CONTROL PLAN

DESIGN:	MK
DRAWN:	MK
CHECKED:	ASD
DATE:	2/15/202

SHEET  
C-4

File No.	2020-021
----------	----------



PLOTTED BY: MARK TORRES  
 PLOT DATE: 2/15/2024 2:00 PM  
 LOCATION: C:\PROJECTS\PROJECTS\2022-086 APEX MORGAN ROCKWALL\CADD\SHEETS\C-5 EROSION CONTROL DETAILS.DWG  
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### STANDARD EROSION CONTROL GENERAL NOTES

- EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF ROCKWALL.
- IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
- IF OFF-SITE BORROW OR SPOILS SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOILS AREAS ARE CONSIDERED PART OF EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
- CONTRACTOR SHALL HAVE A COPY OF THE SWPPP ON SITE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.Q. STORM WATER POLLUTION PREVENTION REQUIREMENTS.

### EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING:

#### PHASE 1 - DEMOLITION/GRADING

- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON GRADING AND EROSION CONTROL PLAN, NOTES, AND DETAIL SHEETS.
- BEGIN CLEARING AND GRADING OF SITE.
- SEED AND REVEGETATE SLOPES WHERE SHOWN.

#### PHASE 2 - UTILITIES

- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- INSTALL STORM DRAINS AS SPECIFIED ON PLAN SHEETS.
- INSTALL INLET PROTECTION.

#### PHASE 3 - PAVING

- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE. REMOVE AS NEEDED TO PAVE.
- STABILIZE SUBGRADE.
- PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
- REMOVE TEMPORARY CONSTRUCTION ENTRANCE.
- MAINTAIN INLET PROTECTION.

#### PHASE 4 - LANDSCAPING AND SOIL STABILIZATION

- REVEGETATE LOT AND PARKWAYS
- LANDSCAPE CONTRACTOR SHALL REVEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
- REMOVE EROSION CONTROL DEVICES WHEN GROUND COVER ESTABLISHED.

### B.M.P. MAINTENANCE SCHEDULE

TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT:

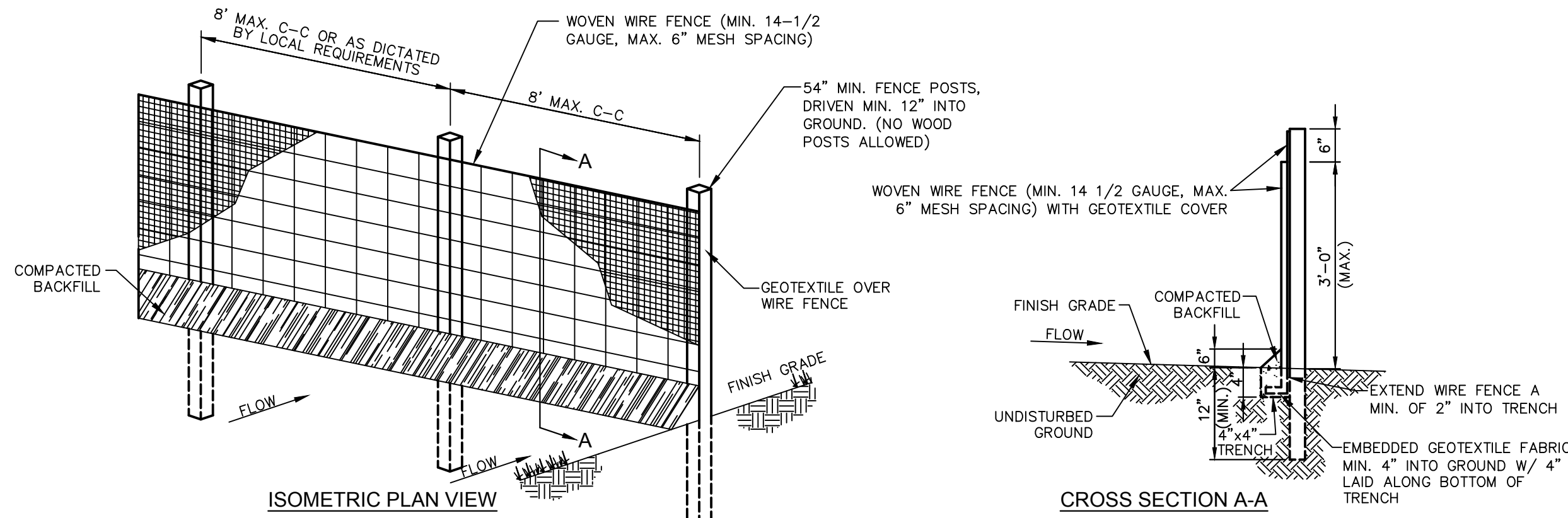
INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE STONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASH DOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.

SILT FENCE:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE. INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.

INLET PROTECTION:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. SEDIMENT SHALL BE REMOVED FROM THE STORAGE AREA WHEN SEDIMENT DEPTH HAS BUILT UP TO ONE-HALF THE DESIGN DEPTH. IF DE-WATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE SURROUNDING THE INLET. CLEAN THE STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.

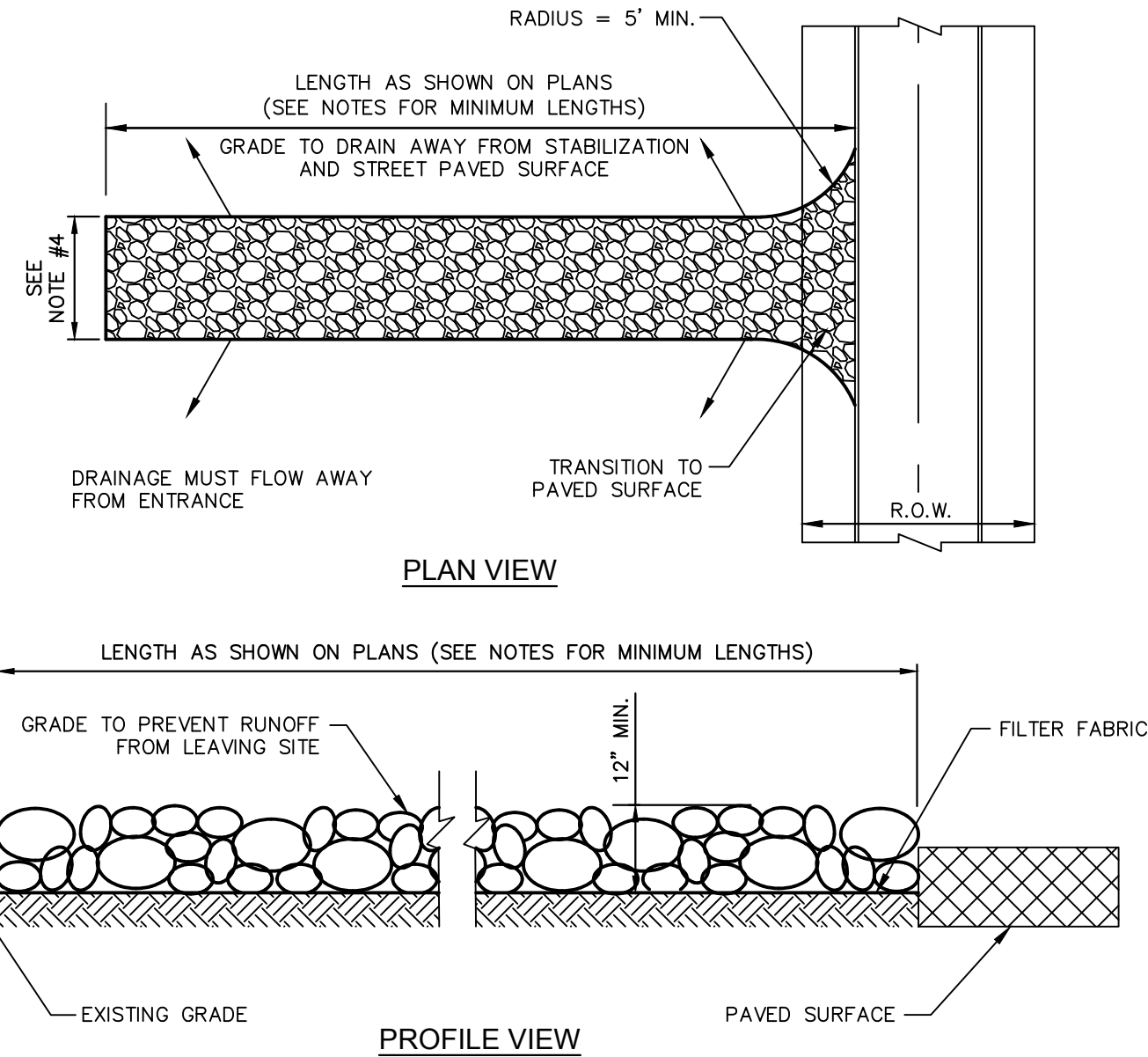


- NOTE:
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
  - GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN.
  - COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  - ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE

### SILT FENCE DETAIL (SF)

N.T.S.

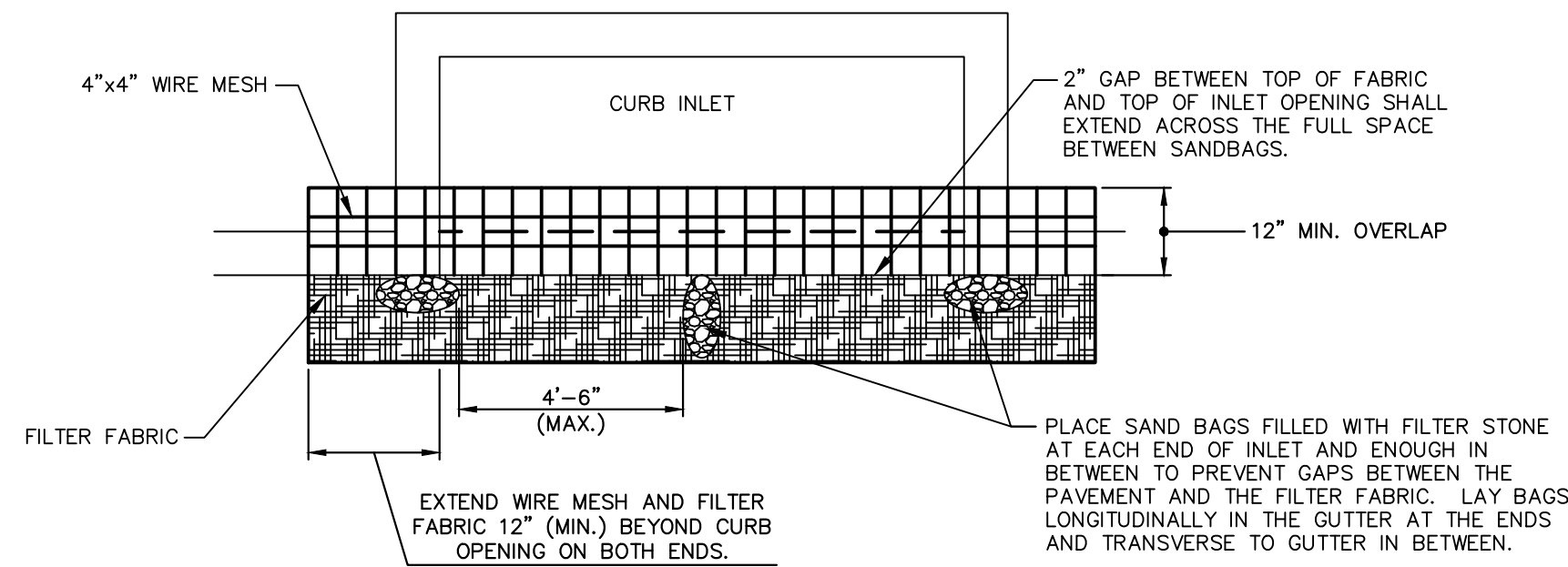
- POSTS: STEEL EITHER T OR U TYPE.  
FENCE: WOVEN WIRE, 14-1/2 GA.  
6" MAX. MESH OPENING  
FABRIC: 1. AMOCO 1198  
2. BELTECH 810  
3. MIRAFI 130X  
4. LINC GTF 190  
5. SI 915 SC



### STABILIZED CONSTRUCTION ENTRANCE DETAIL (CE)

N.T.S.

- NOTES:
- STONE SHALL BE 4 TO 6 INCH DIAMETER CRUSHED ROCK, NO CRUSHED PORTLAND CEMENT CONCRETE ALLOWED.
  - LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
  - STONE LAYER THICKNESS SHALL NOT BE LESS THAN 12"
  - THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS. INCHES.
  - WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
  - THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



### CURB INLET PROTECTION DETAIL (IP)

N.T.S.

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By: *Drew Donosky* Date: 2/15/2024



**CAPPS, HODGES & MORGAN**  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75082  
SP2022-009

### EROSION CONTROL DETAILS

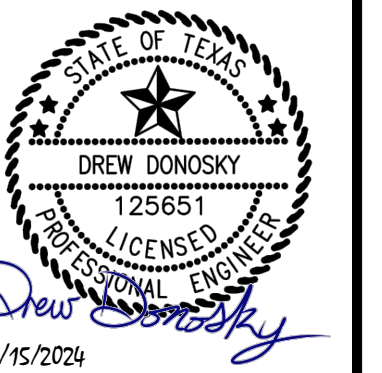
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File No. 2020-021





**CAPPS, HODGES & MORGAN**  
**1200 SUMMER LEE DRIVE**  
**ROCKWALL, TX 75032**  
**SP2022-009**

CONSTRUCTION SCHEDULE	
①	SAW CUT FULL DEPTH EXISTING PAVEMENT
②	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	CURB & GUTTER
④	PROPOSED PEDESTRIAN RAMP
⑤	HANDICAP SYMBOL
⑥	PAVEMENT STRIPING
⑦	HANDICAP SIGN
⑧	PROPOSED SIDEWALK
⑨	"NOT AN ACCESSIBLE ROUTE" SIGN

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
  3. AN EXTRA SACK OF CEMENT PER CUBIC YARD IS REQUIRED FOR ALL HAND POURS.
  4. ALL RIGID PAVEMENT WITHIN THE CITY RIGHT-OF-WAY OR UNDER A FIRE LANE SHALL BE PER CITY STANDARDS AND DETAILS.
  5. DUMPSTER ENCLOSURE MUST INCLUDE A OIL/WATER SEPARATOR, SELF LATCHING GATE AND BE FACED WITH MATERIALS MATCHING THE BUILDING STRUCTURE.

## BENCHMARKS

SITE BENCHMARK NO. 1 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 12 FEET EAST, AND 5 FEET SOUTH OF A POWER POLE LOCATED NEAR THE SOUTHERNMOST SOUTHEAST CORNER OF THE SUBJECT PROPERTY.  
ELEVATION: 554.31'

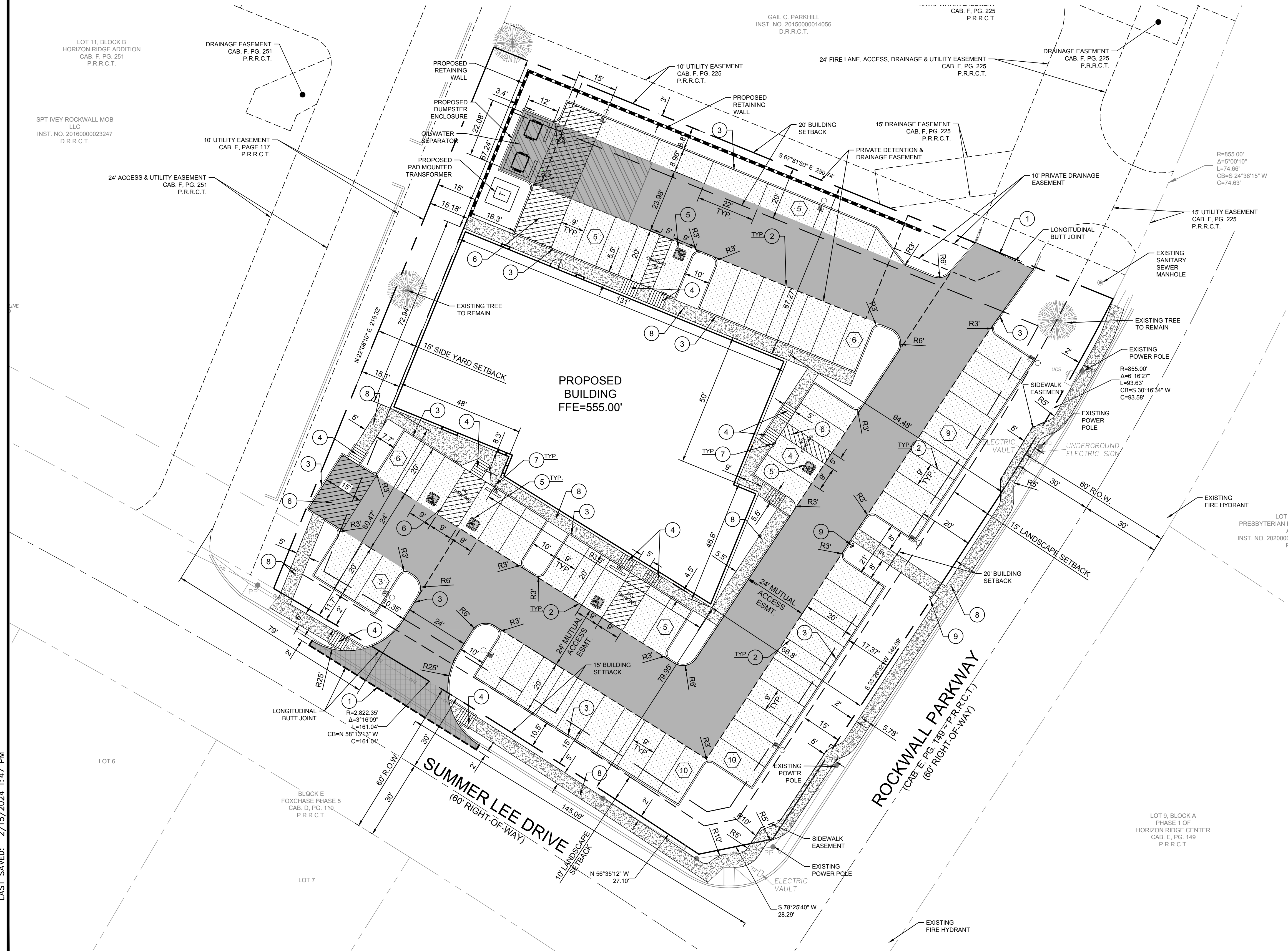
SITE BENCHMARK NO. 2 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 40 FEET EAST, AND 62 FEET NORTH OF A SANITARY SEWER MANHOLE COVER LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.  
ELEVATION: 543.99'

These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: Drew Donasky Date: 2/15/2024

# DIMENSIONAL CONTROL AND PAVING PLAN

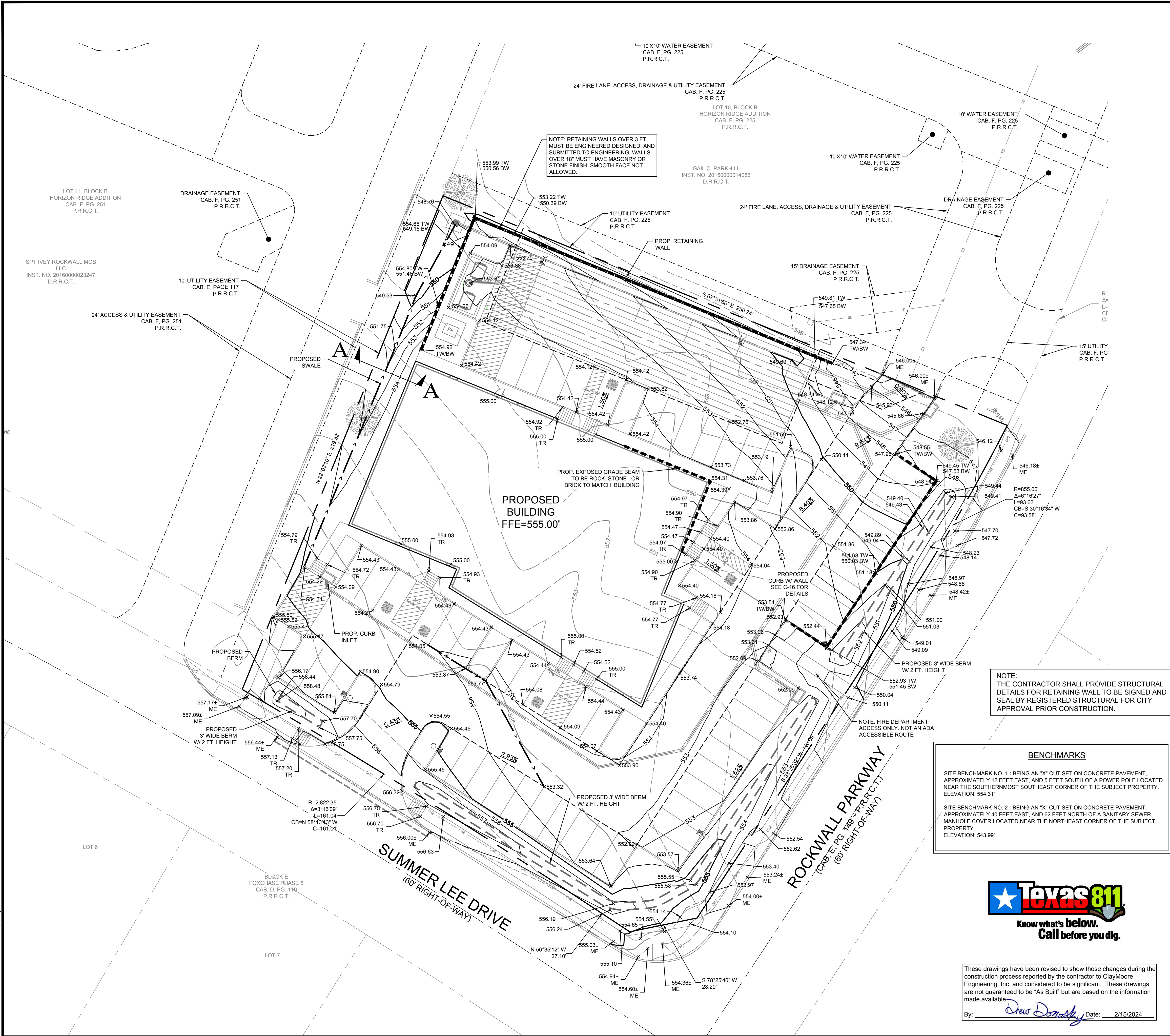
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File No.	2020-021



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PLOTTED BY: MARK TORRES  
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 LAST SAVED: 2/15/2024 11:48 AM



LEGEND	
100	EXISTING CONTOUR
100	PROPOSED CONTOUR
---	FULL-DEPTH SAWCUT
x699.50	PROPOSED GRADE (TOP OF PAVEMENT)
ME	MATCH EXISTING
TR	TOP OF RAMP
TW	TOP OF WALL
BW	BOTTOM OF WALL

- NOTES:
- ALL SPOT ELEVATIONS ARE TO TOP OF PAVING UNLESS OTHERWISE NOTED.
  - EXISTING UTILITIES WERE OBTAINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER FOR ANY DISCREPANCIES WITH THIS PLAN.
  - MAXIMUM SLOPE IN LANDSCAPE AREAS ARE NOT TO EXCEED 3:1.
  - ALL CURB HEIGHTS ARE 6-INCHES UNLESS NOTED OTHERWISE.
  - REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT. REF: STRUCTURAL PLANS, SPECIFICATIONS, AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD PREPARATION CRITERIA.
  - THE CONTRACTOR SHALL CONSTRUCT ALL BARRIER FREE RAMPS PER CITY OF ROCKWALL, TX AND ADA STANDARDS. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
  - GRADING OF ALL HANDICAPPED SPACES AND ROUTES IS TO CONFORM TO LOCAL, STATE, AND FEDERAL GUIDELINES.
  - CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
  - NO WALL IN EASEMENTS.
  - WALLS 3' OR TALLER TO BE DESIGNED (STAMPED & SEALED) BY A LICENSED STRUCTURAL ENGINEER.

**BENCHMARKS**

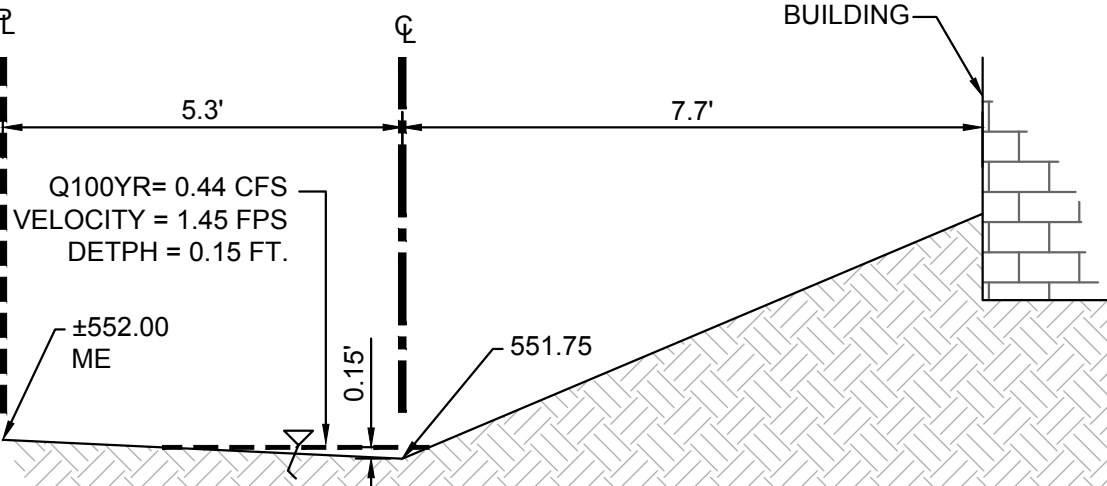
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SITE BENCHMARK NO. 2: BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 40 FEET EAST, AND 82 FEET NORTH OF A SANITARY SEWER MANHOLE COVER LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION: 543.99'



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By: Drew Donosky Date: 2/15/2024



**SECTION A-A  
SWALE DETAIL**  
N.T.S.

TEXAS REGISTRATION #14199  
**CLAYMOORE**  
**ENGINEERING**  
1903 CENTRAL DR. SUITE #405  
ROCKWALL, TX 75087  
PHONE: (972) 281-0022  
WWW.CLAYMOORE-ENG.COM

2/15/2024  
Drew Donosky

**CAPPS, HODGES & MORGAN**  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75082  
SP2022-009

No.	DATE	REVISION	BY

**GRADING PLAN**

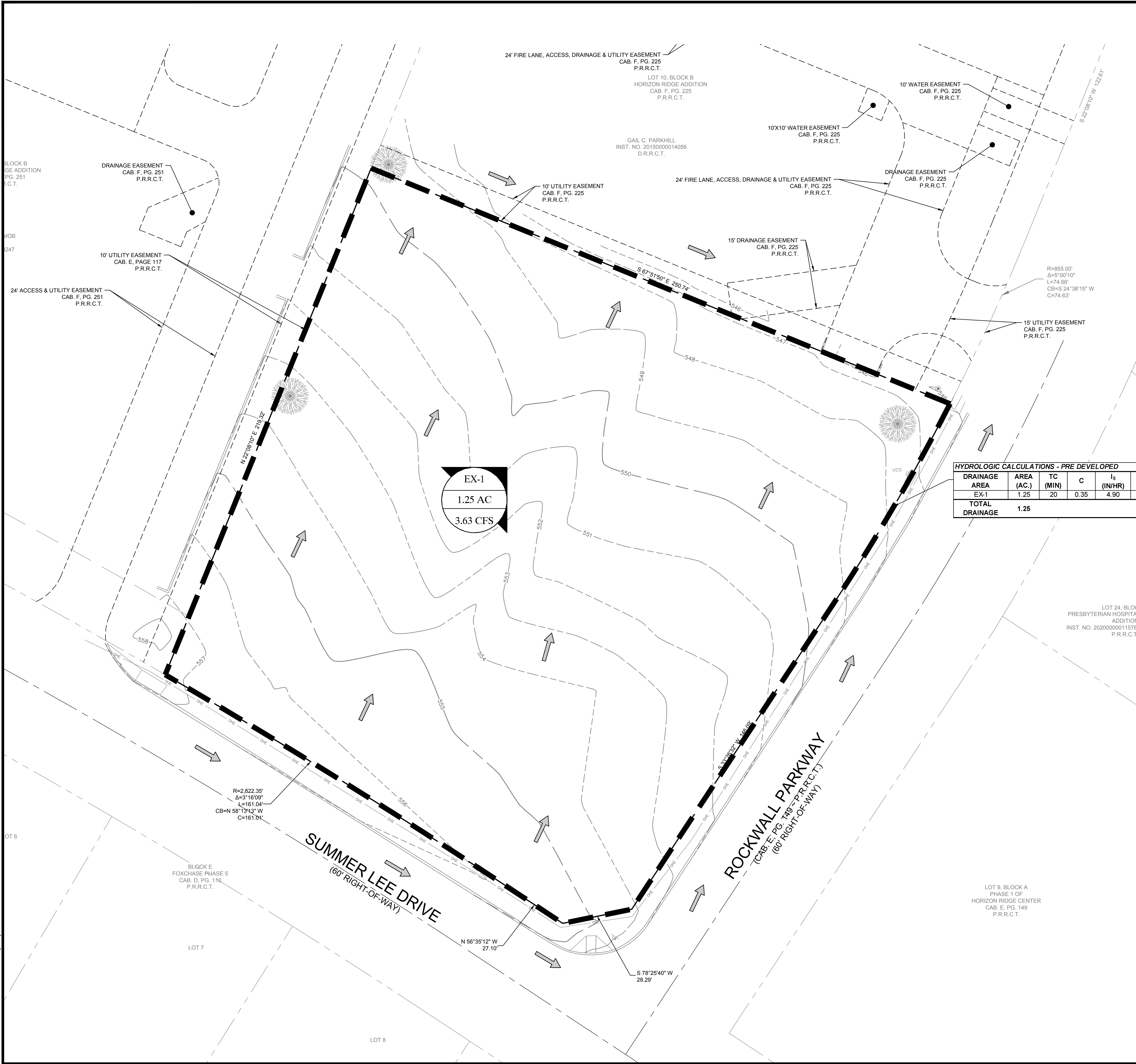
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File No. 2020-021



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PLOT DATE: 2/15/2024 12:00 PM  
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LEGEND	
	- DRAINAGE AREA - DRAINAGE AREA IN ACRES - FLOW FOR DRAINAGE AREA IN CFS
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

**FLOODPLAIN NOTE**

ACCORDING TO MAP NO. 48397C0040L, DATED SEPTEMBER 26, OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X".

HYDROLOGIC CALCULATIONS - PRE DEVELOPED											
DRAINAGE AREA	AREA (AC.)	TC (MIN)	C	I <sub>s</sub> (IN/HR)	Q <sub>s</sub> (CFS)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	I <sub>25</sub> (IN/HR)	Q <sub>25</sub> (CFS)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)
EX-1	1.25	20	0.35	4.90	2.14	5.90	2.58	6.60	2.89	8.30	3.63
TOTAL DRAINAGE	1.25				2.14				2.89		3.63
SHEET FLOW TO NORTH OF PROPERTY											

**BENCHMARKS**

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By: *Drew Donosky* Date: 2/15/2024

TEXAS REGISTRATION #14199

**CLAYMOORE ENGINEERING**

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STATE OF TEXAS  
DREW DONOSKY  
LICENSED PROFESSIONAL ENGINEER  
2/15/2024

**CAPPS, HODGES & MORGAN**  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75032  
SP2022-009

No.	DATE	REVISION	BY

EXISTING DRAINAGE AREA MAP

C-8

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DATE:	2/15/2024

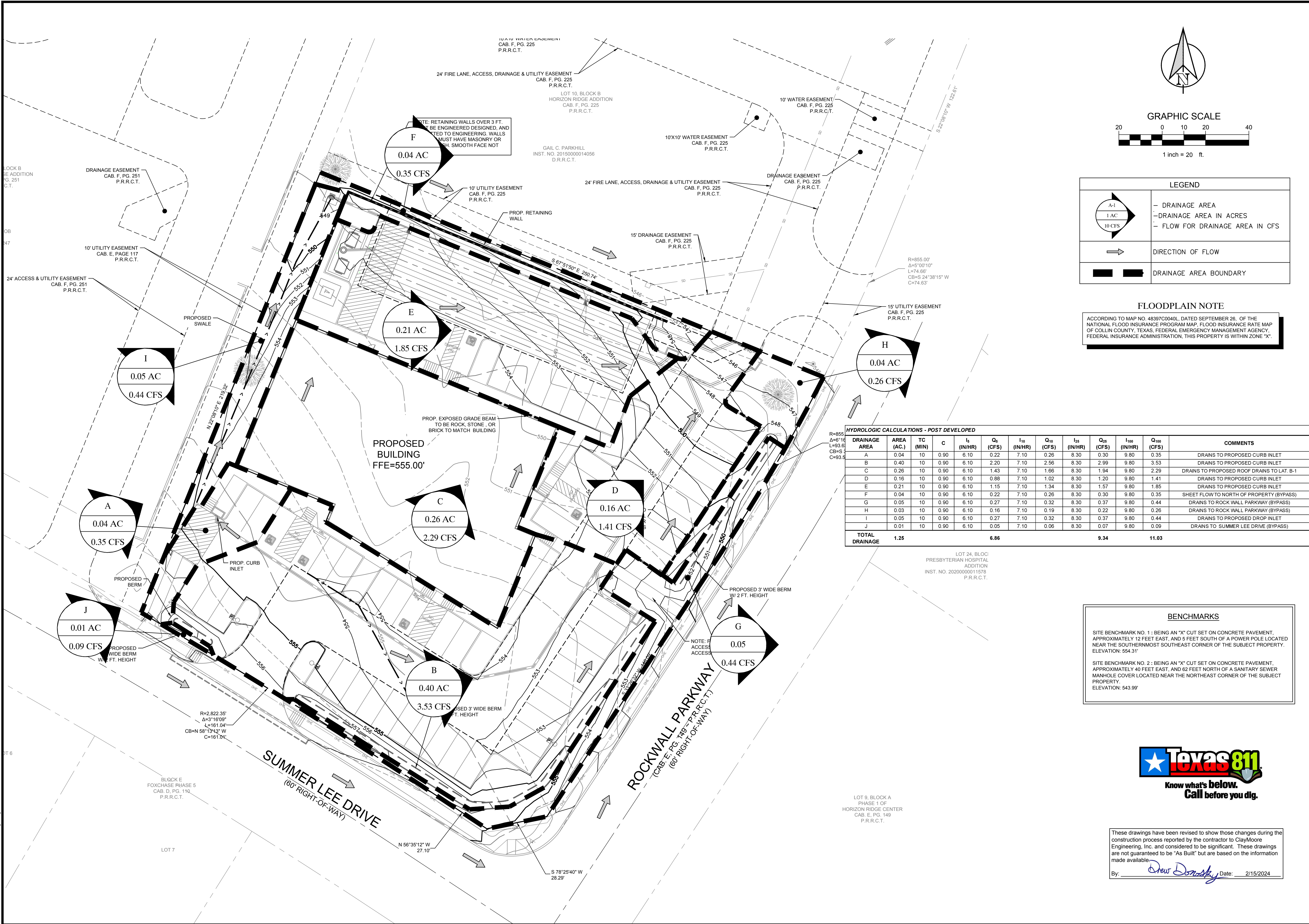
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File No. 2020-021



MARK TORRES  
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TEXAS REGISTRATION #14199  
**CLAY MOORE**  
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STATE OF TEXAS  
DREW DONOSKY  
125651  
LICENSED PROFESSIONAL ENGINEER  
2/15/2024

**CAPPS, HODGES & MORGAN**  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75032  
SP2022-009

PROPOSED DRAINAGE  
AREA MAP

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File No. 2020-021



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Pond - Drainage / Detention Calculations (100 YEAR EVENT)  
 Modified Rational Method

Required Storage Volume	12,375 cubic-feet 0.284 acre-feet
Provided Storage Volume	12,375 cubic-feet 0.284 acre-feet

Onsite Existing Conditions	
Area	1.25 acres
Time (Tc)	20 minutes
C value	0.35
I-100yr	8.30 in/hr
Q100yr	3.63 cfs
Q100yr	1.15 cfs
Q100yr	2.48 cfs
Q100yr	2.48 cfs

Existing Runoff	
Area Bypassing Pond (Areas F,G,H, & J)	
Allowable Release Rate	
Proposed Release Rate	

Onsite Prop Conditions Pond	
Area	1.12 acres
Time (Tc)	10 minutes
C value	0.90
I-100yr	9.80 in/hr
Q100yr	9.88 cfs

Total Drainage On-Site Area	
Developed Runoff	

Runoff per Storm Event - Developed				
Time (min.)	I-100yr	C value	Area (ac)	Runoff (cfs)
10	9.80	0.90	1.12	9.88
15	9.00	0.90	1.12	9.07
20	8.30	0.90	1.12	8.37
30	6.90	0.90	1.12	6.96
35	6.40	0.90	1.12	6.45
40	5.80	0.90	1.12	5.85
50	5.00	0.90	1.12	5.04
60	4.50	0.90	1.12	4.54
70	4.00	0.90	1.12	4.03
80	3.70	0.90	1.12	3.73
90	3.50	0.90	1.12	3.53
100	3.40	0.90	1.12	3.43
110	3.20	0.90	1.12	3.23

Inflow per Storm Event		
Storm Event	Runoff	Inflow (ft <sup>3</sup> /s)
10	9.88	5,927
15	9.07	8,165
20	8.37	10,040
30	6.96	12,519
35	6.45	13,548
40	5.85	14,031
50	5.04	15,120
60	4.54	16,330
70	4.03	16,934
80	3.73	17,902
90	3.53	19,051
100	3.43	20,563
110	3.23	21,289

Max Allowable Outflow per Storm Event				
Storm	Time	Release	Outflow (ft <sup>3</sup> /s)	
10	20	2.48	1,489	
15	25	2.48	1,861	
20	30	2.48	2,233	
30	40	2.48	2,978	
35	45	2.48	3,350	
40	50	2.48	3,722	
50	60	2.48	4,466	
60	70	2.48	5,211	
70	80	2.48	5,955	
80	90	2.48	6,699	
90	100	2.48	7,444	
100	110	2.48	8,188	
110	120	2.48	8,933	

Detention Volume Required				
Storm	Inflow	Outflow	Storage (ft <sup>3</sup> )	Storage (acre-ft)
10	5,927	1,489	4,438	0.102
15	8,165	1,861	6,304	0.145
20	10,040	2,233	7,807	0.179
30	12,519	2,978	9,542	0.219
35	13,548	3,350	10,198	0.234
40	14,031	3,722	10,309	0.237
50	15,120	4,466	10,654	0.245
60	16,330	5,211	11,119	0.255
70	16,934	5,955	10,979	0.252
80	17,902	6,699	11,203	0.257
90	19,051	7,444	11,607	0.266
100	20,563	8,188	12,375	0.284
110	21,289	8,933	12,356	0.284

Pond -Drainage / Detention Calculations (25 YEAR EVENT)  
 Modified Rational Method

Required Storage Volume	10,033 cubic-feet 0.230 acre-feet
Provided Storage Volume	10,033 cubic-feet 0.230 acre-feet

Onsite Existing Conditions	
Area	1.25 acres
Time (Tc)	20 minutes
C value	0.35
I-25yr	6.60 in/hr
Q25yr	2.89 cfs
Q25yr	0.97 cfs
Q25yr	1.92 cfs
Q25yr	1.92 cfs

Existing Runoff	
Area Bypassing Pond (Areas F,G,H, & J)	
Allowable Release Rate	
Proposed Release Rate	

Onsite Prop Conditions Pond	
Area	1.12 acres
Time (Tc)	10 minutes
C value	0.90
I-25yr	8.30 in/hr
Q25yr	8.37 cfs

Total Drainage On-Site Area	
Developed Runoff	

Runoff per Storm Event - Developed				
Time (min.)	I-25yr	C value	Area (ac)	Runoff (cfs)
10	8.30	0.90	1.12	8.37
15	7.40	0.90	1.12	7.46
20	6.70	0.90	1.12	6.75
30	5.50	0.90	1.12	5.54
35	5.00	0.90	1.12	5.04
40	4.70	0.90	1.12	4.74
50	4.00	0.90	1.12	4.03
60	3.50	0.90	1.12	3.53
70	3.30	0.90	1.12	3.33
80	3.10	0.90	1.12	3.12
90	2.90	0.90	1.12	2.92
100	2.70	0.90	1.12	2.72
110	2.50	0.90	1.12	2.52

Inflow per Storm Event		
Storm Event	Runoff	Inflow (ft <sup>3</sup> /s)
10	8.37	5,020
15	7.46	6,713
20	6.75	8,104
30	5.54	9,979
35	5.04	10,584
40	4.74	11,370
50	4.03	12,096
60	3.53	12,701
70	3.33	13,971
80	3.12	14,999
90	2.92	15,785
100	2.72	16,330
110	2.52	16,632

Max Allowable Outflow per Storm Event				
Storm	Time	Release	Outflow (ft <sup>3</sup> /s)	
10	20	1.92	1,151	
15	25	1.92	1,438	
20	30	1.92	1,726	
30	40	1.92	2,301	
35	45	1.92	2,589	
40	50	1.92	2,876	
50	60	1.92	3,452	
60	70	1.92	4,027	
70	80	1.92	4,602	
80	90	1.92	5,177	
90	100	1.92	5,753	
100	110	1.92	6,328	
110	120	1.92	6,903	

Detention Volume Required				
Storm	Inflow	Outflow	Storage (ft <sup>3</sup> )	Storage (acre-ft)
10	5,020	1,151	3,869	0.089
15	6,713	1,438	5,275	0.121
20	8,104	1,726	6,378	0.146
30	9,979	2,301	7,678	0.176
35	10,584	2,589	7,995	0.184
40	11,370	2,876	8,494	0.195
50	12,096	3,452	8,645	0.198
60	12,701	4,027	8,674	0.199
70	13,971	4,602	9,369	0.215
80	14,999	5,177	9,822	0.225
90	15,785	5,753	10,033	0.230
100	16,330	6,328	10,002	0.230
110	16,632	6,903	9,729	0.223

Pond - Drainage / Detention Calculations (10 YEAR EVENT)  
 Modified Rational Method

Required Storage Volume	8,997 cubic-feet 0.207 acre-feet
Provided Storage Volume	8,997 cubic-feet 0.207 acre-feet

Onsite Existing Conditions	
Area	1.25 acres
Time (Tc)	20 minutes
C value	0.35
I-100yr	5.90 in/hr
Q10yr	2.58 cfs
Q10yr	0.83 cfs
Q10yr	1.75 cfs
Q10yr	1.75 cfs

Existing Runoff	
Area Bypassing Pond (Areas F,G,H, & J)	
Allowable Release Rate	
Proposed Release Rate	

Onsite Prop Conditions Pond	
Area	1.12 acres
Time (Tc)	10 minutes
C value	0.90
I-10yr	7.10 in/hr
Q10yr	7.16 cfs

Total Drainage On-Site Area	
Developed Runoff	

Runoff per Storm Event - Developed				
Time (min.)	I-10yr	C value	Area (ac)	Runoff (cfs)
10	7.20	0.90	1.12	7.26
15	6.50	0.90	1.12	6.55
20	5.80	0.90	1.12	5.85
30	4.75	0.90	1.12	4.79
35	4.50	0.90	1.12	4.54
40	4.00	0.90	1.12	4.03
50	3.45	0.90	1.12	3.48
60	3.00	0.90	1.12	3.02
70	2.80	0.90	1.12	2.82
80	2.60	0.90	1.12	2.62
90	2.50	0.90	1.12	2.52
100	2.40	0.90	1.12	2.42
110	2.30	0.90	1.12	2.32
120	1.62	0.90	1.12	1.63

Inflow per Storm Event		
Storm Event	Runoff	Inflow (ft <sup>3</sup> /s)
10	7.26	4,355
15	6.55	5,897
20	5.85	7,016
30	4.79	8,618
35	4.54	9,526
40	4.03	9,677
50	3.48	10,433
60	3.02	10,886
70	2.82	11,854
80	2.62	12,590
90	2.52	13,608
100	2.42	14,515
110	2.32	15,301
120	1.63	11,757

Max Allowable Outflow per Storm Event				
Storm	Time	Release	Outflow (ft <sup>3</sup> /s)	
10	20	1.75	1,051	
15	25	1.75	1,313	
20	30	1.75	1,576	
30	40	1.75	2,102	
35	45	1.75	2,364	
40	50	1.75	2,627	
50	60	1.75	3,152	
60	70	1.75	3,678	
70	80	1.75	4,203	
80	90	1.75	4,728	
90	100	1.75	5,254	
100	110	1.75	5,779	
110	120	1.75	6,305	
120	130	1.75	6,830	

Detention Volume Required				
Storm	Inflow	Outflow	Storage (ft <sup>3</sup> )	Storage (acre-ft)
10	4,355	1,051	3,304	0.076
15	5,897	1,313	4,583	0.105
20	7,016	1,576	5,440	0.125
30	8,618	2,102	6,517	0.150
35	9,526	2,364	7,161	0.164
40	9,677	2,627	7,050	0.162
50	10,433	3,152	7,281	0.167
60	10,886	3,678	7,209	0.165
70	11,854	4,203	7,651	0.176
80	12,580	4,728	7,851	0.180
90	13,608	5,254	8,354	0.192
100	14,515	5,779	8,736	0.201
110	15,301	6,305	8,997	0.207

Pond -Drainage / Detention Calculations (5 YEAR EVENT)  
 Modified Rational Method

Required Storage Volume	7,257 cubic-feet 0.167 acre-feet
Provided Storage Volume	7,257 cubic-feet 0.167 acre-feet

Onsite Existing Conditions	
Area	1.25 acres
Time (Tc)	20 minutes
C value	0.35
I-5yr	4.90 in/hr
Q5yr	2.14 cfs
Q5yr	0.71 cfs
Q5yr	1.43 cfs
Q5yr	1.43 cfs

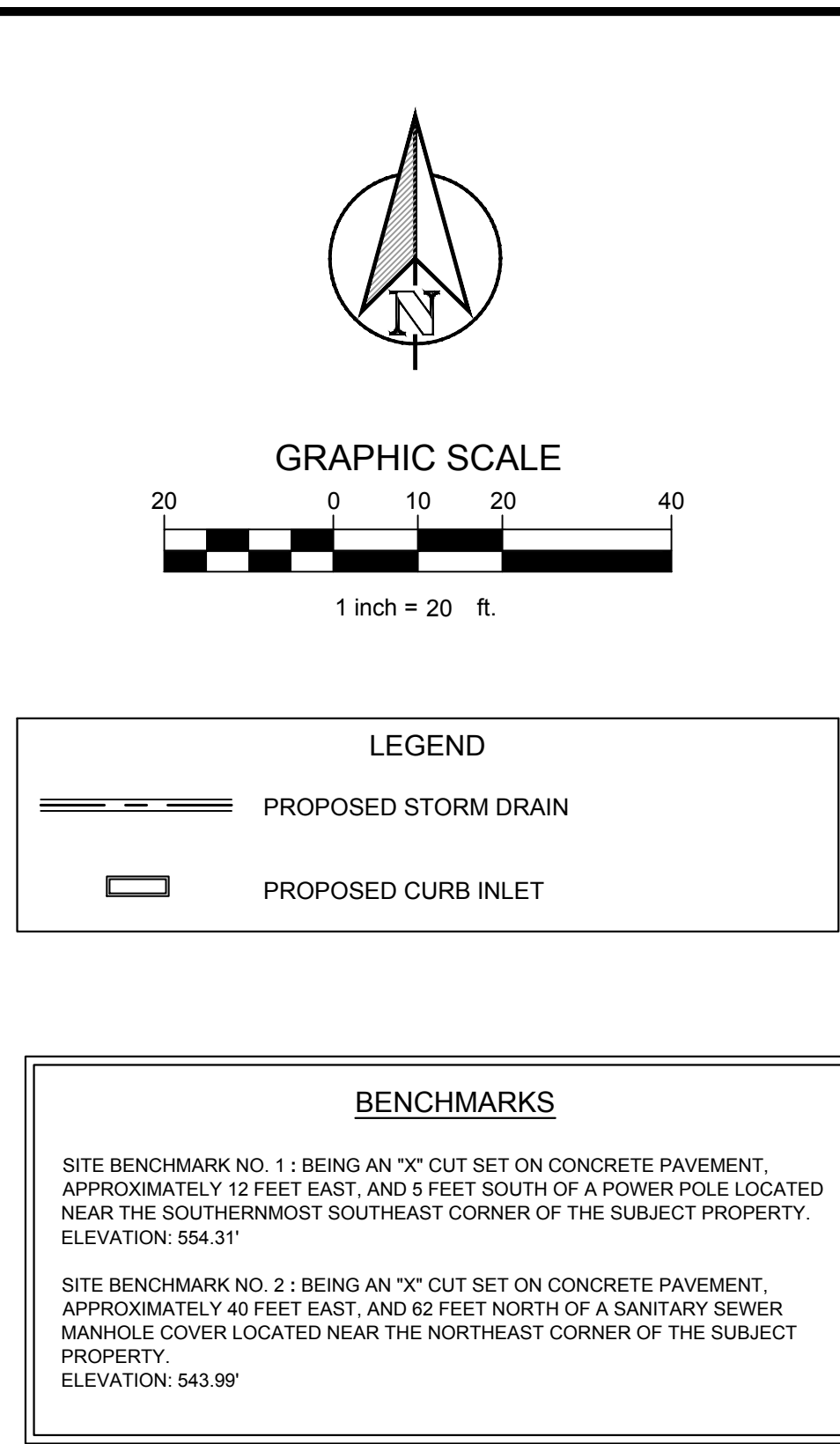
Existing Runoff	
Area Bypassing Pond (Areas F,G,H, & J)	
Allowable Release Rate	
Proposed Release Rate	

Onsite Prop Conditions Pond	
Area	1.12 acres
Time (Tc)	10 minutes
C value	0.90
I-5yr	6.10 in/hr
Q5yr	6.15 cfs

Total Drainage On-Site Area	
Developed Runoff	

Runoff
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By: Drew Donohue, Date: 2/15/2024



**CAPPS, HODGES & MORGAN**  
**1200 SUMMER LEE DRIVE**  
**ROCKWALL, TX 75032**  
**SP2022-009**

	No.	DATE	REVISION	BY

# STORM DRAIN PLAN

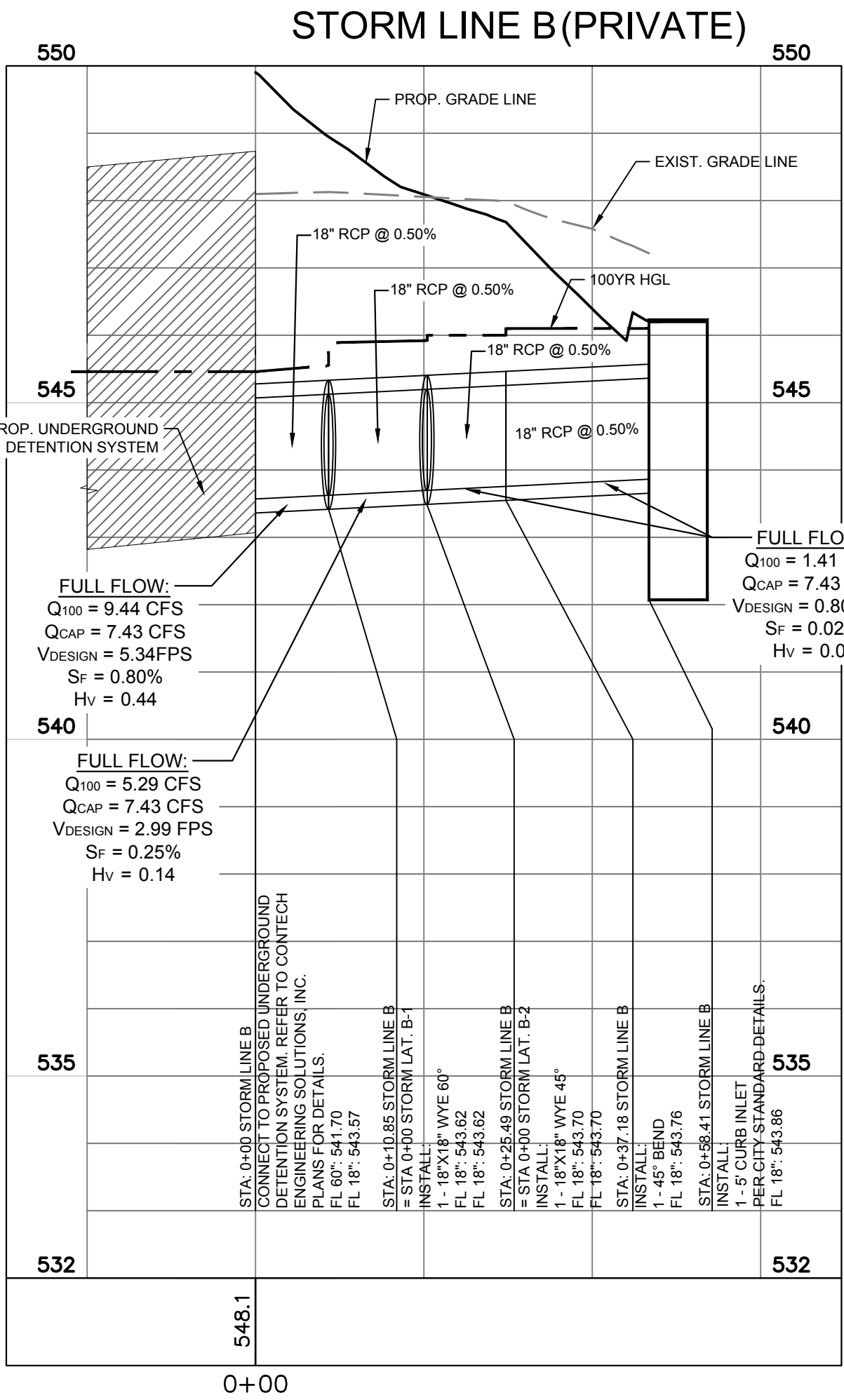
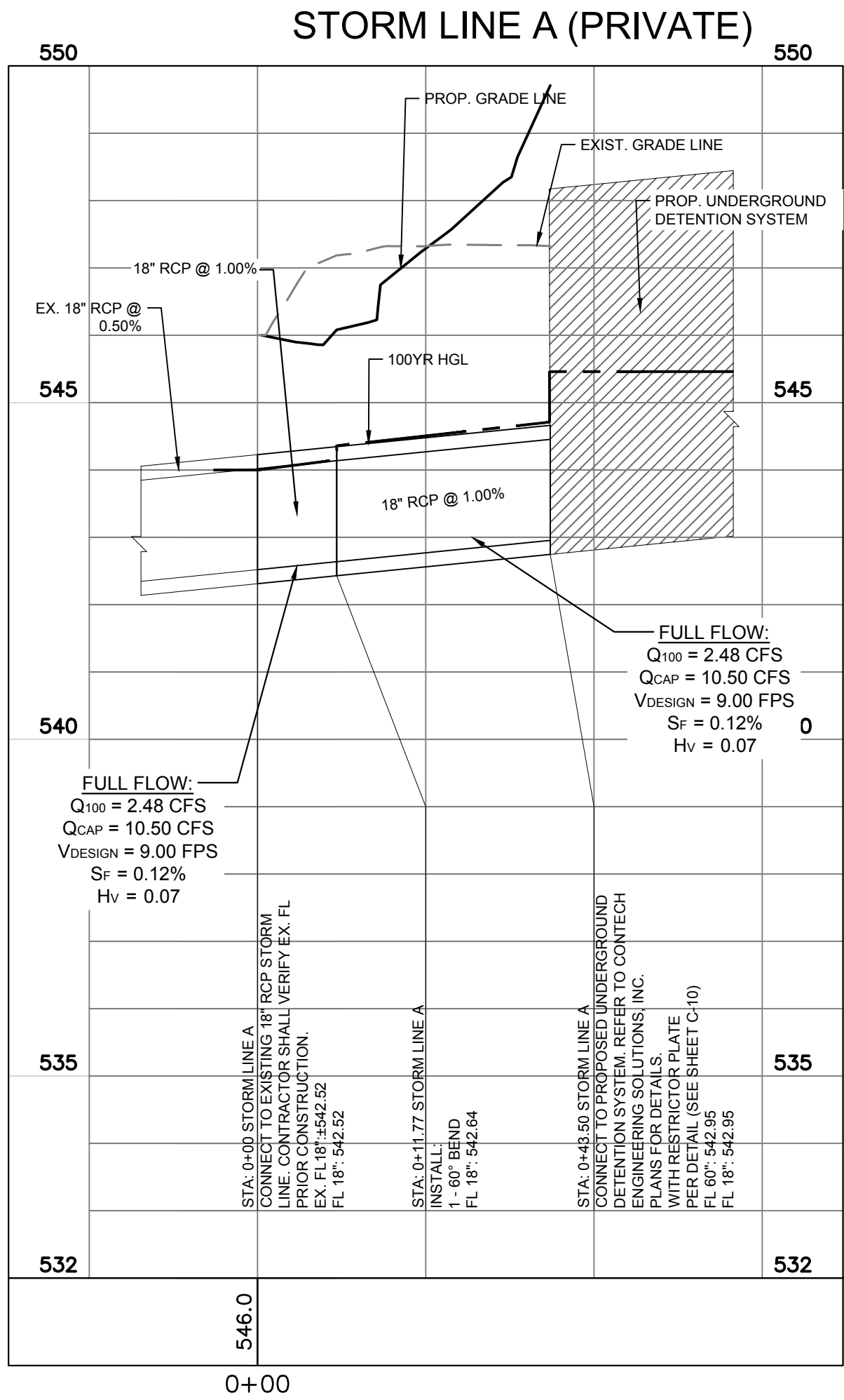
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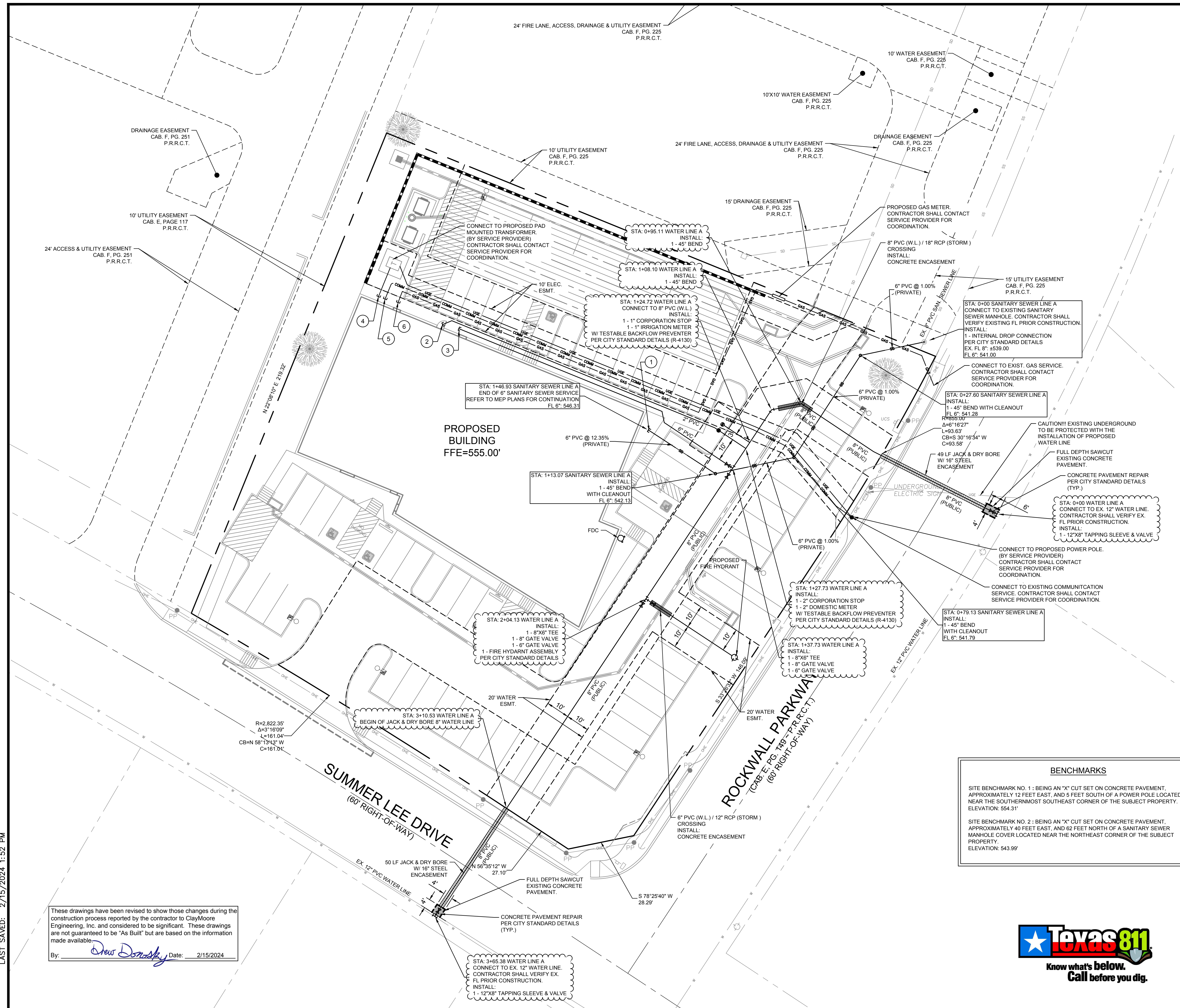
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LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING OVERHEAD ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED METER
	PROPOSED VALVE
	PROPOSED PLUG
	PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED BENDS

CONSTRUCTION SCHEDULE	
①	SANITARY SEWER CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE
②	DOMESTIC WATER CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE
③	FIRE CONNECTION SEE MEP PLANS FOR CONTINUATION OF SERVICE.
④	ELECTRICAL SERVICE CONNECTION SEE MEP PLANS FOR CONTINUATION OF SERVICE.
⑤	COMMUNICATION SERVICE CONNECTION SEE MEP PLANS FOR CONTINUATION OF SERVICE.
⑥	GAS SERVICE CONNECTION SEE MEP PLANS FOR CONTINUATION OF SERVICE.

- NOTES**
1. CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.

FRANCHISE UTILITY NOTES:

1. THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
2. THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY THE REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
3. THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTORS UNIFORMITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.

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630 CENTRAL DR. SUITE #406  
DALLAS, TX 75201



**CAPPS, HODGES & MORGAN**  
**1200 SUMMER LEE DRIVE**  
**ROCKWALL, TX 75032**  
**SP2022-009**

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# UTILITY PLAN

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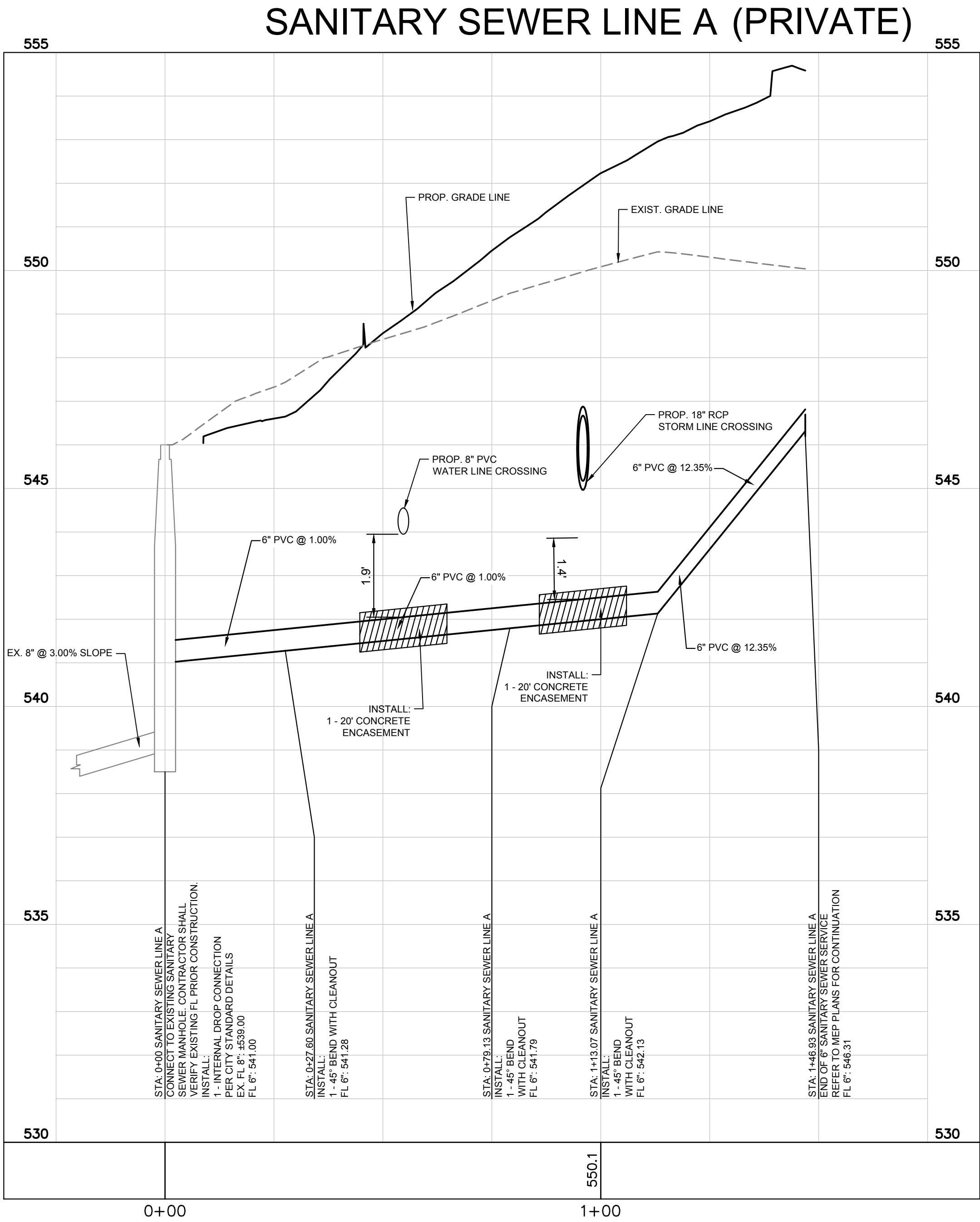
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C-14

File No. 2020-021



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These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: *Drew Donosky* Date: 2/15/2024

**BENCHMARKS**

SITE BENCHMARK NO. 1 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 12 FEET EAST, AND 5 FEET SOUTH OF A POWER POLE LOCATED NEAR THE SOUTHERNMOST SOUTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION: 554.31'

SITE BENCHMARK NO. 2 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 40 FEET EAST, AND 62 FEET NORTH OF A SANITARY SEWER MANHOLE COVER LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION: 543.99'



TEXAS REGISTRATION #14199  
  
 1903 CENTRAL DR. SUITE #405  
 ROCKWALL, TX 75087  
 PHONE (972) 281-0022  
 WWW.CLAYMOORE.COM

2/15/2024  
*Drew Donosky*

**CAPPS, HODGES & MORGAN**  
 1200 SUMMER LEE DRIVE  
 ROCKWALL, TX 75032  
 SP2022-009

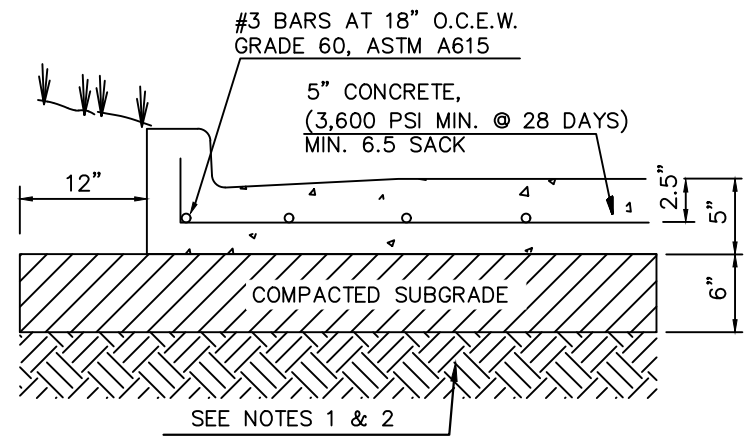
No.	DATE	REVISION	BY

**SANITARY SEWER PROFILES**

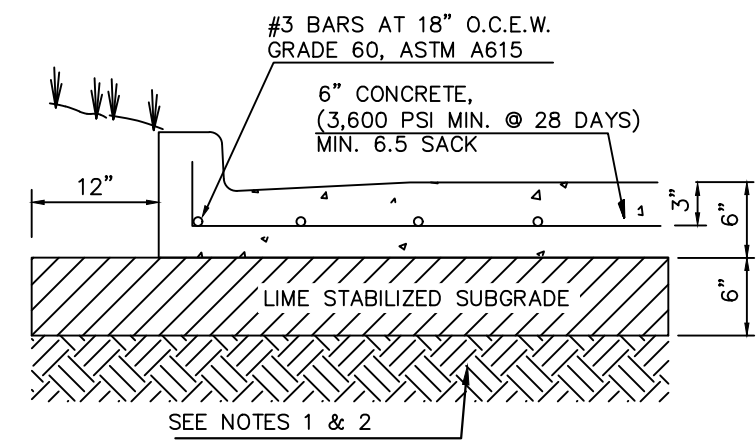
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File No.	2020-021



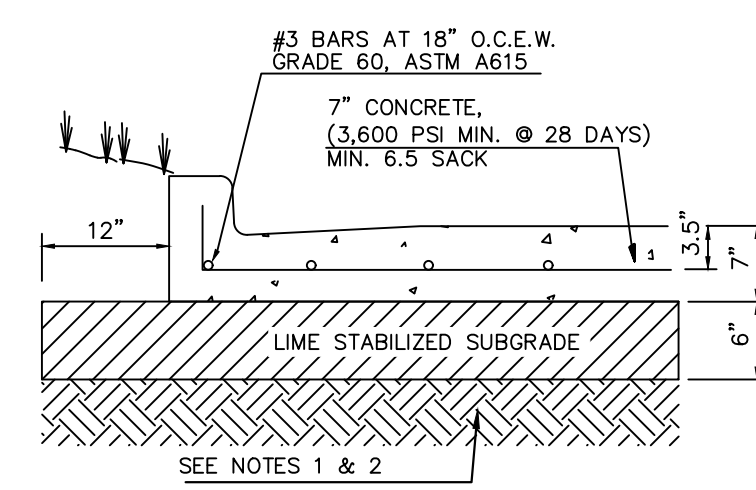
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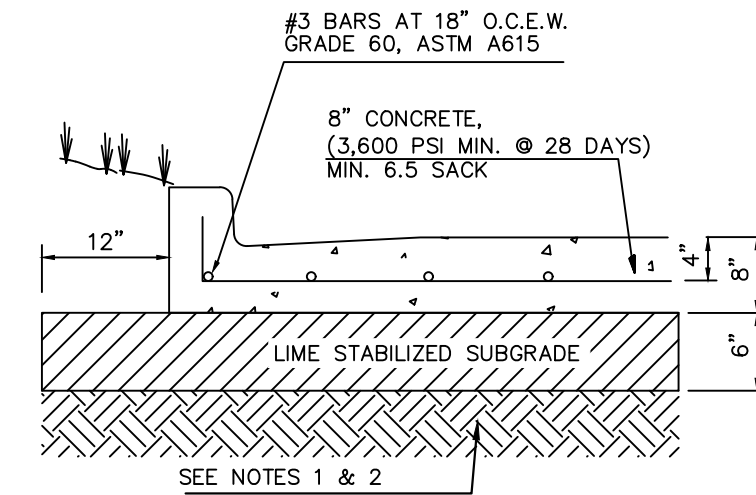
LIGHT DUTY  
 CONCRETE PAVING



HEAVY DUTY  
 CONCRETE PAVING



DUMPSTER AREA  
 CONCRETE PAVING



PUBLIC DRIVEWAY  
 CONCRETE PAVING

GENERAL PAVING NOTES

1. PER GEOTECHNICAL REPORT REFERENCE NO. G220849 PREPARED BY ALPHA TESTING DATED MAY 5,2022. SUBGRADE SPECIFICATIONS AND REQUIREMENTS ARE AS FOLLOWS.

6.8.2 Portland Cement Concrete (PCC) Pavement

Following subgrade preparation as recommended in Section 6.8.1, the following PCC (reinforced) pavement sections are recommended in Table B.

TABLE B Recommended PCC Pavement Sections		
Paving Areas and/or Type	Subgrade Thickness, Inches	PCC Thickness, Inches
Parking Areas Subjected Exclusively to Passenger Vehicle Traffic	Scarified and Compacted, 6	5
Drive Lanes, Fire Lanes, Areas Subject to Light Volume Truck Traffic	Lime Modified, 6	6
Dumpster Traffic Areas, Areas Subject to Moderate Volume Truck Traffic	Lime Modified, 6	7

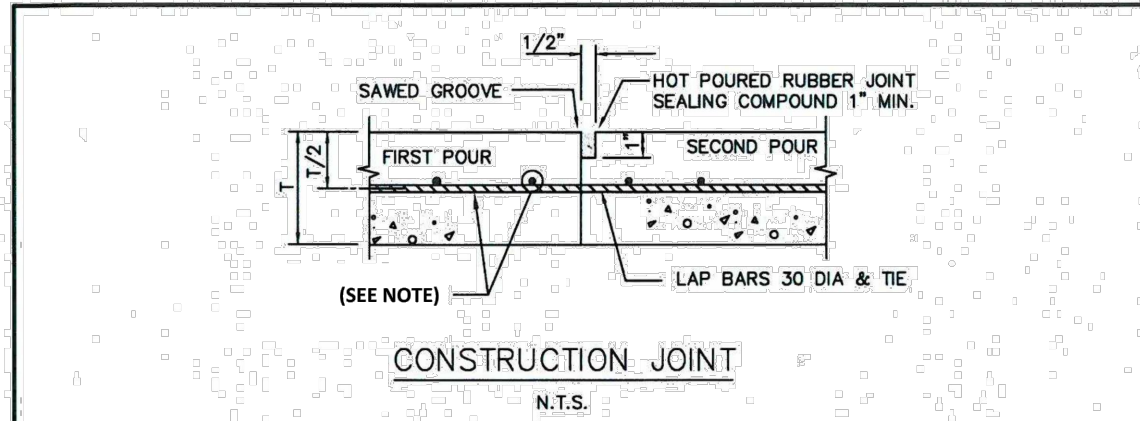
ALTERNATIVELY, LIME TREATMENT OF THE PAVEMENT SUBGRADE COULD BE ELIMINATED BY INCREASING THE PCC THICKNESS IN THE PAVEMENT SECTIONS PRESENTED TABLE B BY 1 INCH. PRIOR TO CONSTRUCTION OF PAVEMENT ON UNTREATED CLAY SUBGRADE SOIL, THE EXPOSED SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF AT LEAST 6 INCHES AND COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND WITHIN THE RANGE OF -1 TO +3 PERCENTAGE POINTS OF THE MATERIAL'S OPTIMUM MOISTURE CONTENT.

2. FOR PREPARATION OF PAVEMENT SUBGRADE, FILL PLACED BELOW FINISHED SUBGRADE ELEVATION IN FILL AREAS IN ALL AREAS TO BE PAVED SHALL BE COMPACTED TO THE RANGE OF 95 TO 98 PERCENT OF ASTM D698 (STANDARD PROCTOR) MAXIMUM DENSITY AT A MOISTURE CONTENT AT LEAST 3% ABOVE OPTIMUM.

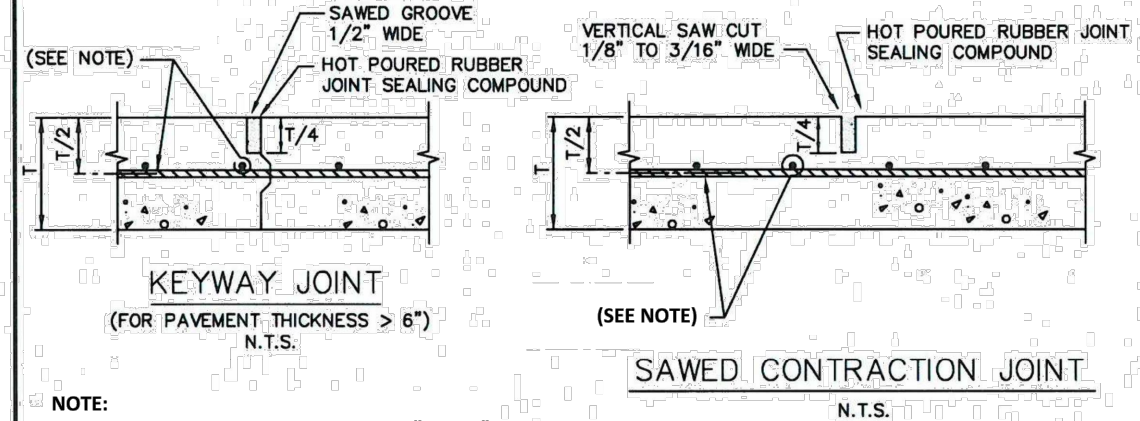
3. CONCRETE SHALL HAVE A MINIMUM 3,600 PSI (MIN. 6.5 SACK) COMPRESSIVE STRENGTH FOR HEAVY DUTY AND DUMPSTER AREA AND 3,600 PSI (MIN. 6.5 SACK) FOR STANDARD DUTY AT 28 DAYS. JOINTS IN CONCRETE PAVING SHALL BE FORMED AT A MAXIMUM OF 15 FEET. CONCRETE SHALL INCLUDE AIR ENTRAINMENT OF 5.0±1.0 PERCENT. ALL OTHER JOINT SPACING SHALL BE INSTALLED PER PROJECT SPECIFICATIONS.

4. ALTERNATIVELY, LIME TREATMENT OF THE PAVEMENT SUBGRADE COULD BE ELIMINATED BY INCREASING THE PCC THICKNESS IN THE PAVEMENT SECTIONS PRESENTED TABLE B BY 1 INCH. PRIOR TO CONSTRUCTION OF PAVEMENT ON UNTREATED CLAY SUBGRADE SOIL, THE EXPOSED SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF AT LEAST 6 INCHES AND COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND WITHIN THE RANGE OF -1 TO +3 PERCENTAGE POINTS OF THE MATERIAL'S OPTIMUM MOISTURE CONTENT.

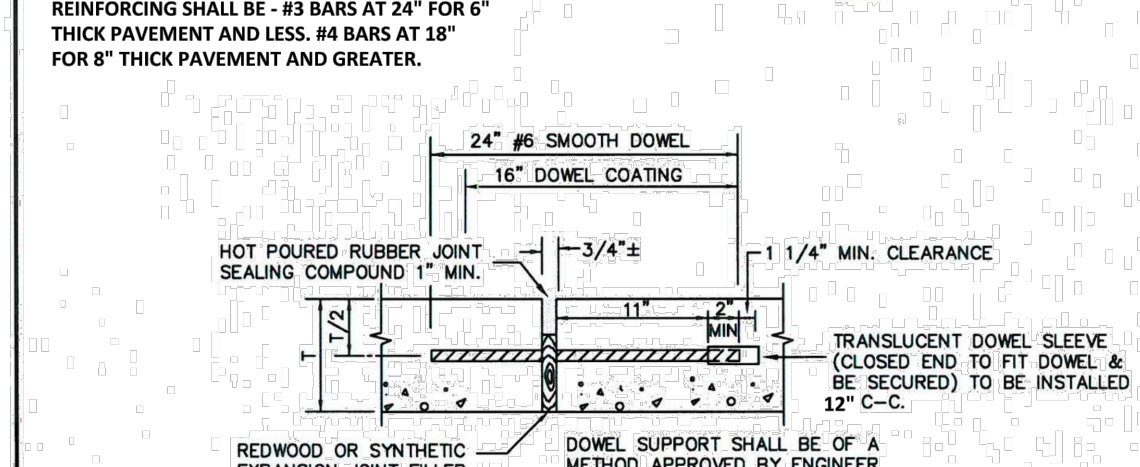
5. JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING.



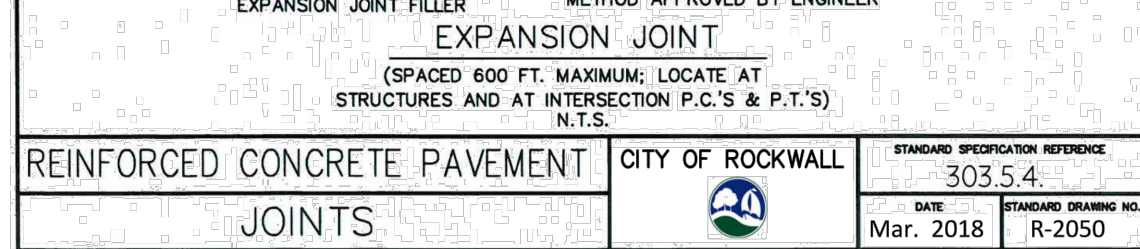
CONSTRUCTION JOINT  
 N.T.S.



KEYWAY JOINT  
 (FOR PAVEMENT THICKNESS > 6")  
 N.T.S.



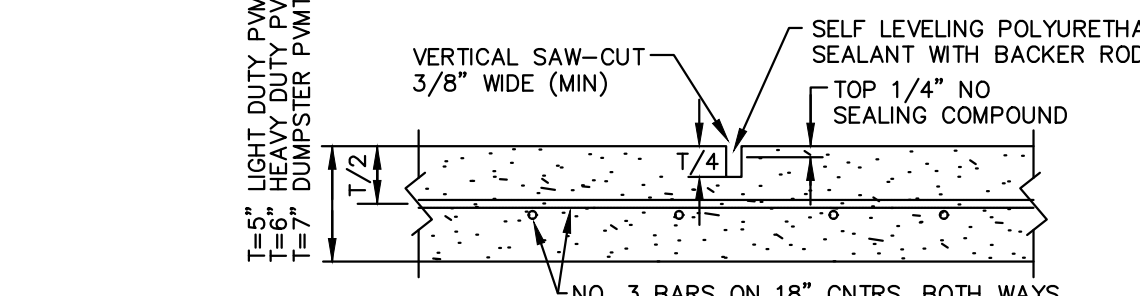
SAWED CONTRACTION JOINT  
 N.T.S.



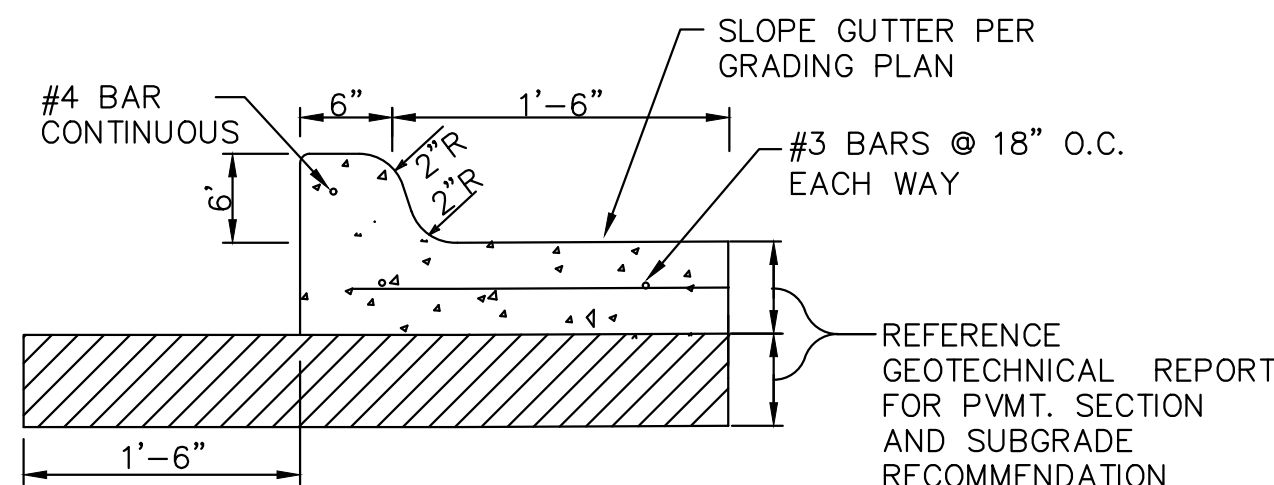
EXPANSION JOINT  
 (SPACED 600 FT. MAXIMUM; LOCATE AT STRUCTURES AND AT INTERSECTION P.C.'S & P.T.'S)  
 N.T.S.



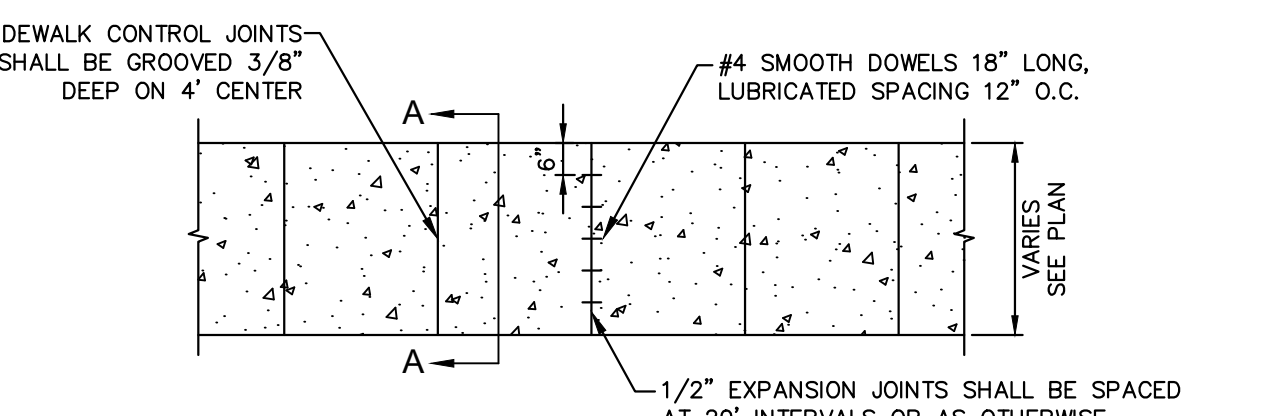
REINFORCED CONCRETE PAVEMENT  
 JOINTS



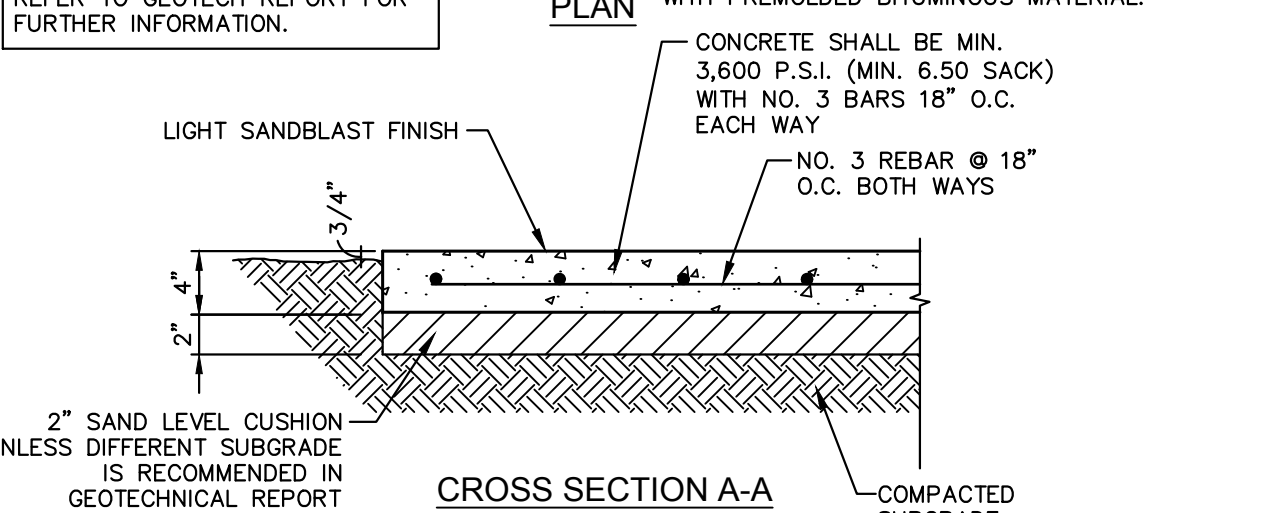
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CONCRETE CURB AND GUTTER DETAIL  
 SCALE: NONE



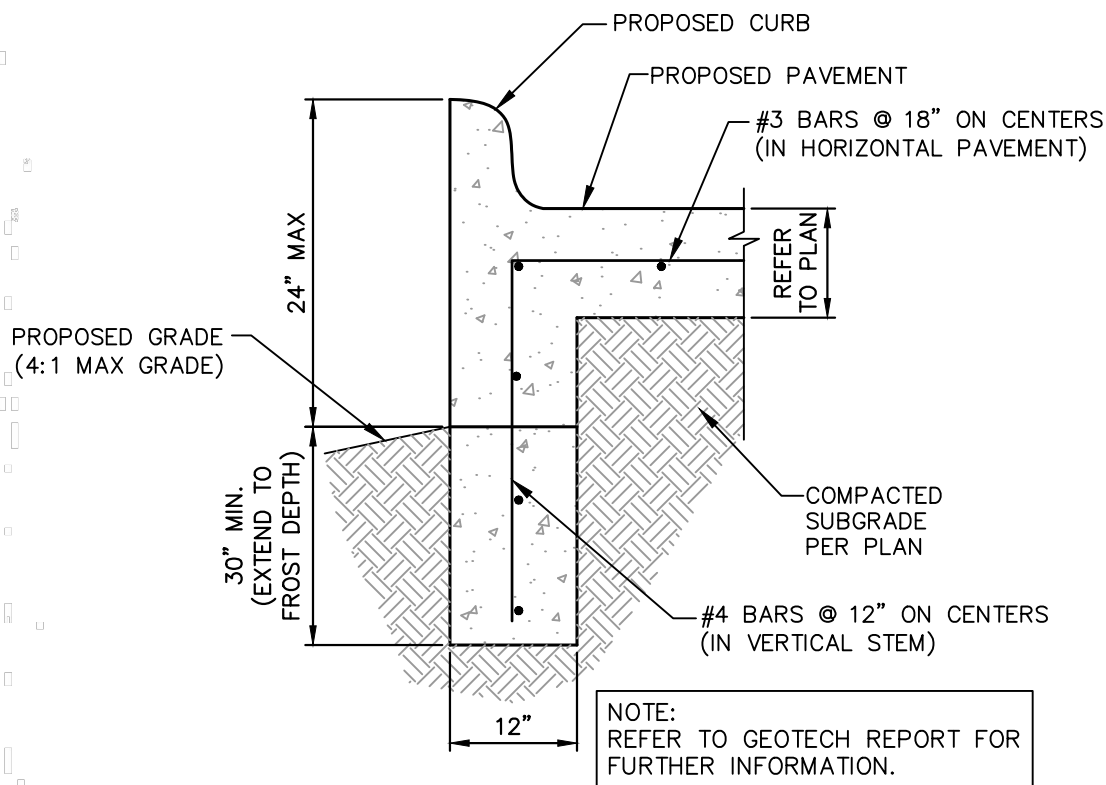
PRIVATE CONCRETE SIDEWALK DETAIL  
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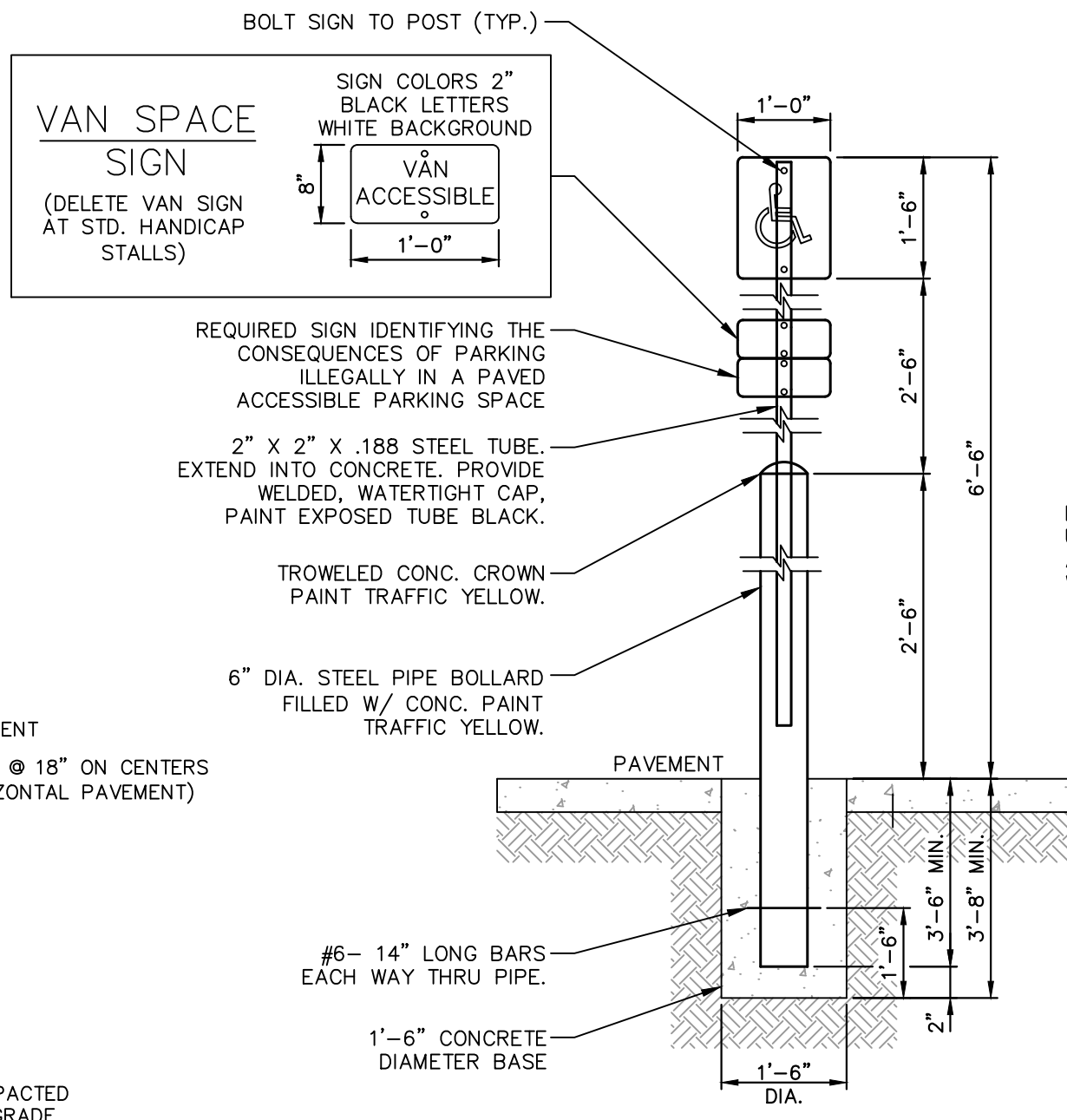
HANDICAPPED PARKING DETAIL  
 N.T.S.

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By: Drew Donosky Date: 2/15/2024

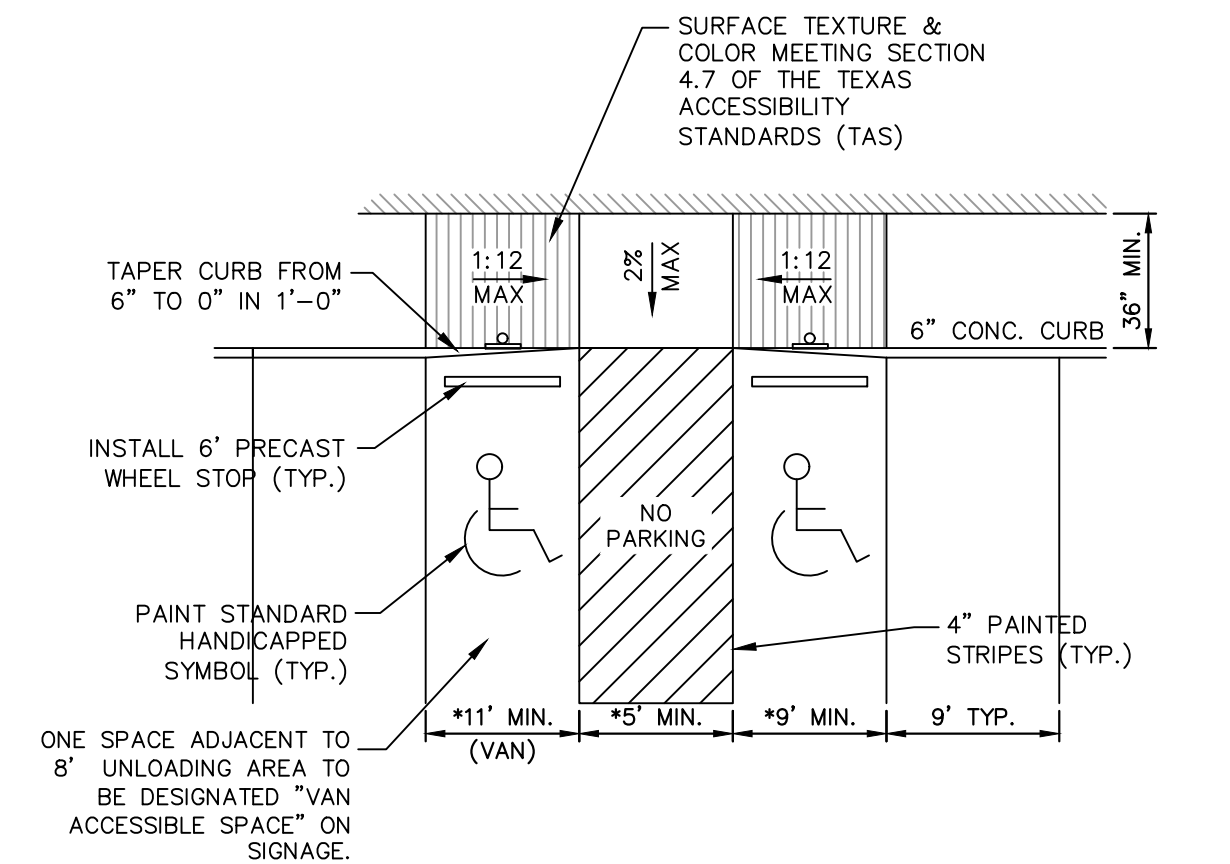


CURB WITH WALL DETAILS



- NOTES:  
 1. SIGN COLORS  
 1.1. BACKGROUND: WHITE  
 1.2. SYMBOL: BLUE  
 2. PROVIDE SIGNAGE AT END OF STALL AT LOCATIONS W/ ACCESSIBLE DESIGNATION TO ACT AS BUMPER STOP.  
 3. 1'-0"x1'-6"x .080" ALUM. HANDICAPPED PARKING SIGN. SIGN TO READ "RESERVED PARKING" W/ IDENTIFICATION SYMBOL. BOLT TO STEEL TUBE W/ 3/8" CADIUM PLATED BOLTS, NUTS & WASHERS.  
 4. HANDICAP SIGNAGE TO BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF LICENSING AND REGULATION TEXAS ACCESSIBILITY STANDARDS (TAS) PER 4.6.4

"HANDICAPPED PARKING" SIGN POST DETAIL  
 N.T.S.

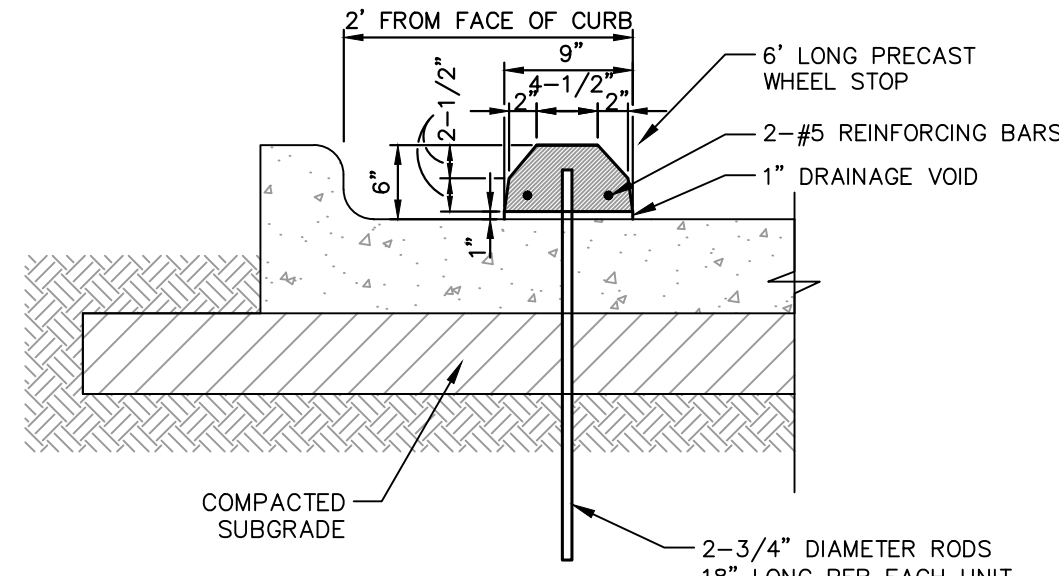


- NOTES:  
 1. \* DIMENSIONS MAY VARY REFER TO DIMENSIONAL CONTROL PLAN  
 2. SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL STATE AND LOCAL REGULATIONS.  
 3. MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 5% WITH A MAXIMUM CROSS FALL SLOPE OF 2%. THE FIRST FIVE FEET FROM THE DOOR IS NOT TO EXCEED 2% IN ANY DIRECTION.  
 4. HANDICAPPED SIGNS, INSTALL 2' FROM BACK OF CURB (TYP. EACH SPACE). SIGNAGE TO BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF LICENSING AND REGULATION TEXAS ACCESSIBILITY STANDARDS (TAS) PER 4.6.4  
 5. THE WORDS "NO PARKING" ARE REQUIRED TO BE PAINTED ON ANY ACCESSIBLE AISLES ADJACENT TO THE PARKING SPACE. MINIMUM LETTER HEIGHT OF 12" AND MINIMUM STROKE WIDTH IS 2". CENTERED IN AISLES.

HANDICAPPED PARKING DETAIL  
 N.T.S.

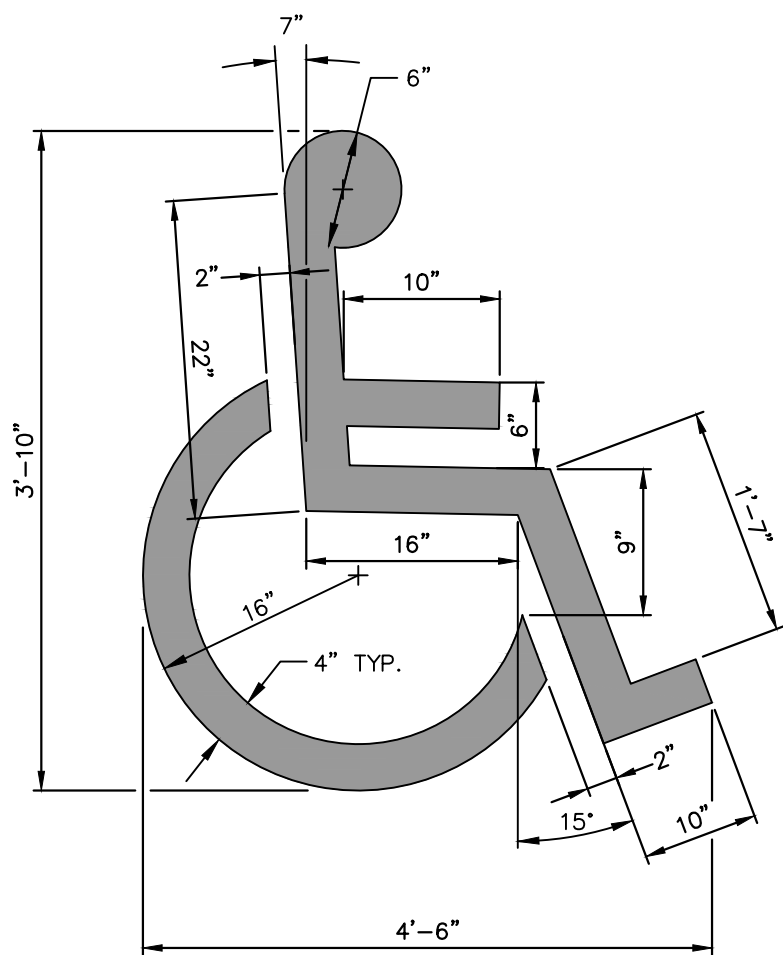
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By: Drew Donosky Date: 2/15/2024



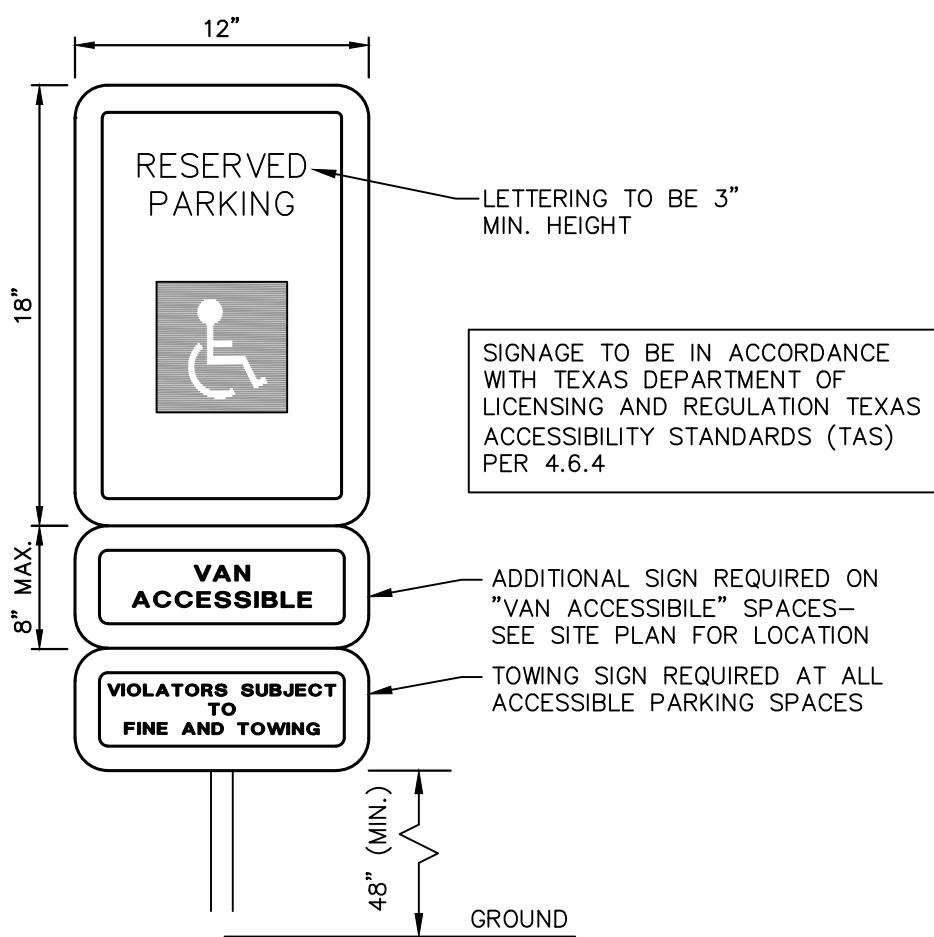
NOTE:  
 UNLESS OTHERWISE SHOWN, ALL SITE DIMENSIONS ARE TO FACE OF CURB WHERE PRECAST CONC. WHEEL STOP IS SPECIFIED.

PRECAST CONCRETE WHEEL STOP DETAIL  
 N.T.S.



- NOTE:  
 1. ALL TRAFFIC MARKINGS TO BE THERMOPLASTIC AS PER DIMENSIONS SHOWN.

HANDICAPPED PARKING SYMBOL DETAIL  
 N.T.S.



- NOTES:  
 1. A SIGN IDENTIFYING THE CONSEQUENCES OF PARKING ILLEGALLY IN A PAVED ACCESSIBLE PARKING SPACE MUST AT A MINIMUM:  
 1.1. STATE "VIOLATORS SUBJECT TO FINE AND TOWING" IN A LETTER HEIGHT OF AT LEAST 1 INCH;  
 1.2. BE MOUNTED ON A POLE, POST, WALL OR FREESTANDING BOARD;  
 1.3. BE NO MORE THAN EIGHT (8) INCHES BELOW A SIGN REQUIRED BY TEXAS ACCESSIBILITY STANDARDS, 506.6;  
 1.4. AND BE INSTALLED SO THAT THE BOTTOM EDGE OF THE SIGN IS NO LOWER THAN 48 INCHES AND NO HIGHER THAN 80 INCHES ABOVE GROUND LEVEL.

DISABLED SIGN DETAIL  
 N.T.S.

TEXAS REGISTRATION #14199

CLAYMOORE  
 ENGINEERING

STATE OF TEXAS  
 DREW DONOSKY  
 125651  
 LICENSED PROFESSIONAL ENGINEER  
 2/15/2024

CAPPS, HODGES & MORGAN  
 1200 SUMMER LEE DRIVE  
 ROCKWALL, TX 75082  
 SP2022-009

NO.	DATE	REVISION	BY

PRIVATE CONSTRUCTION  
 DETAILS

DESIGN: MKT  
 DRAWN: MKT  
 CHECKED: ASD  
 DATE: 2/15/2024

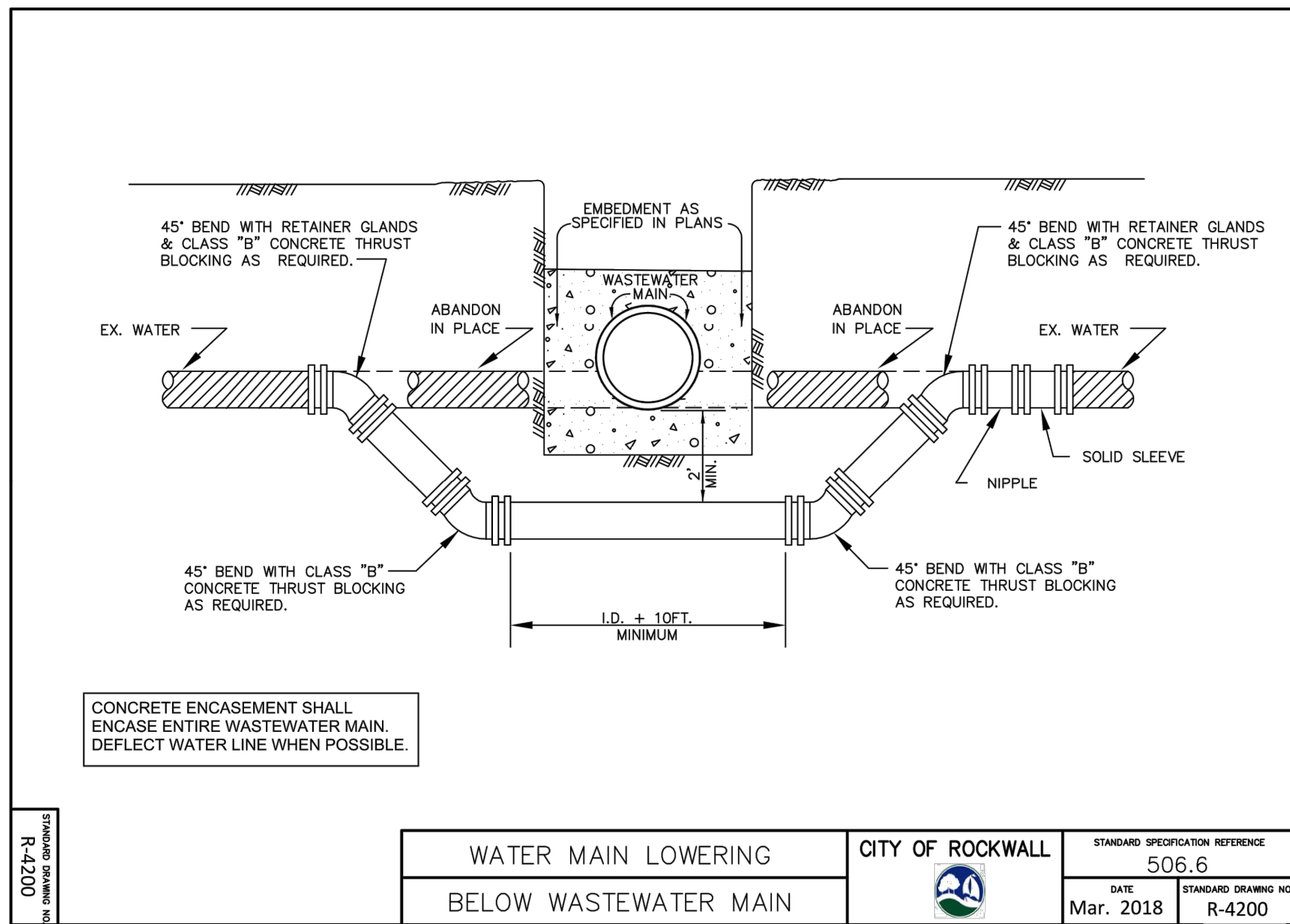
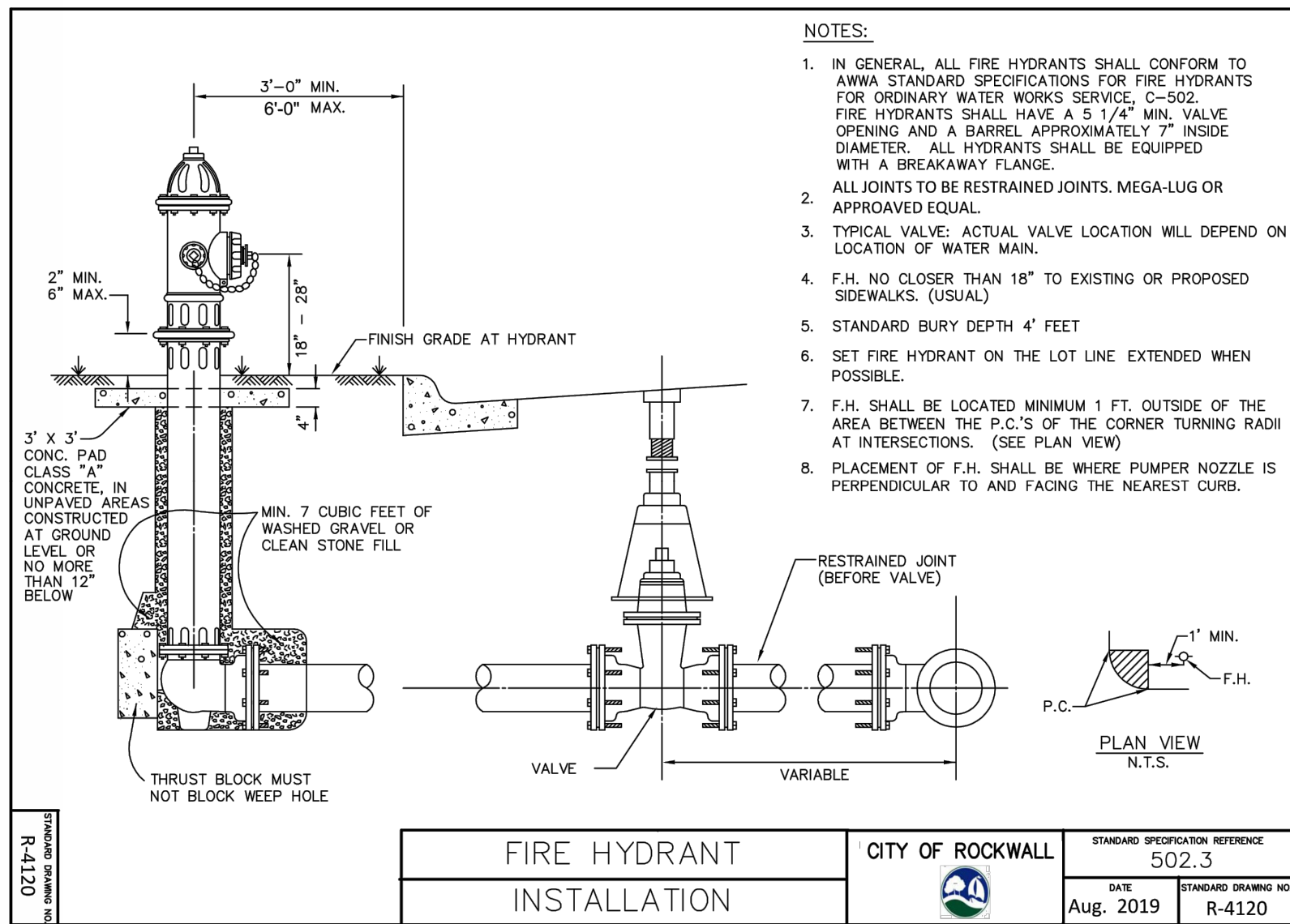
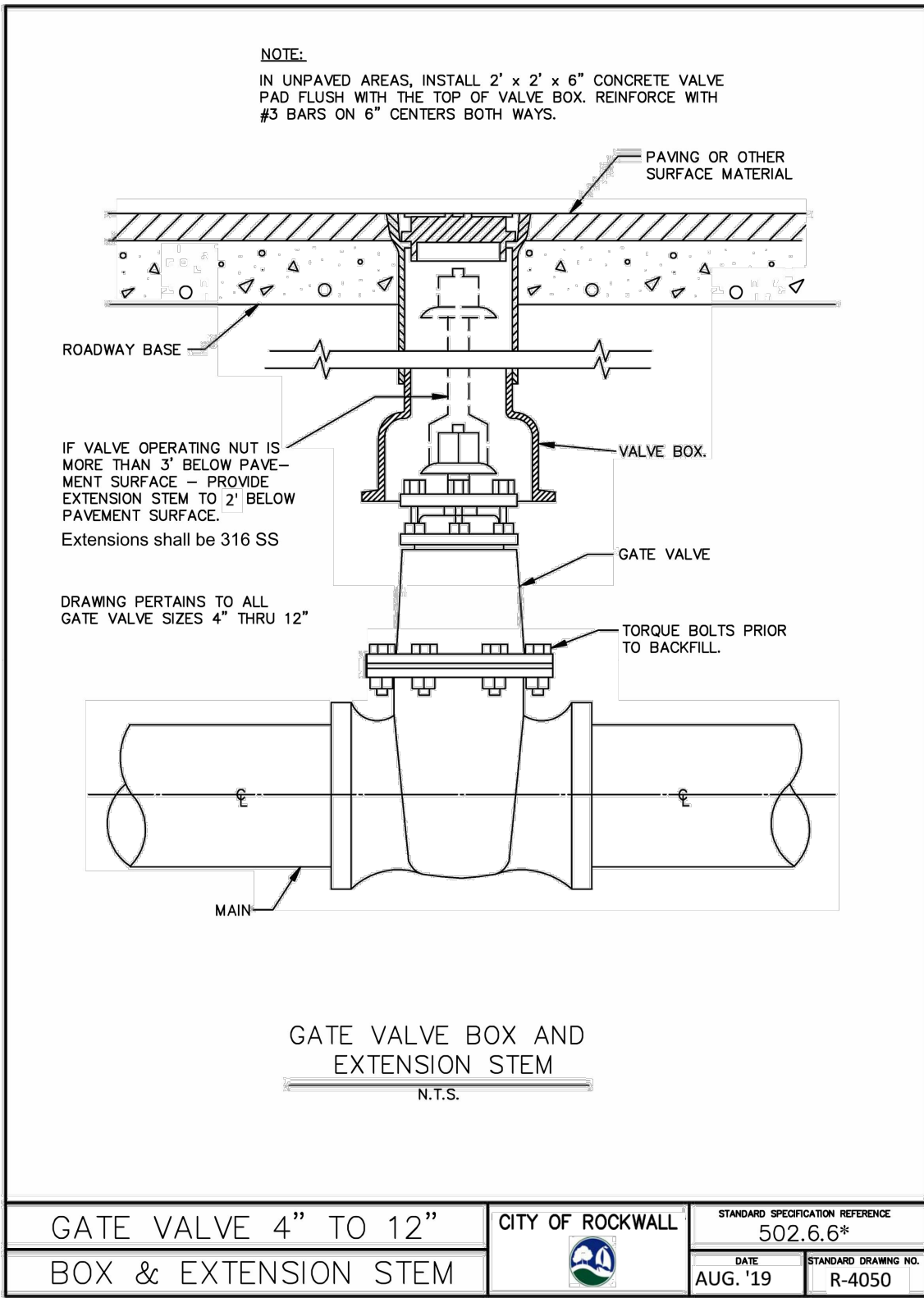
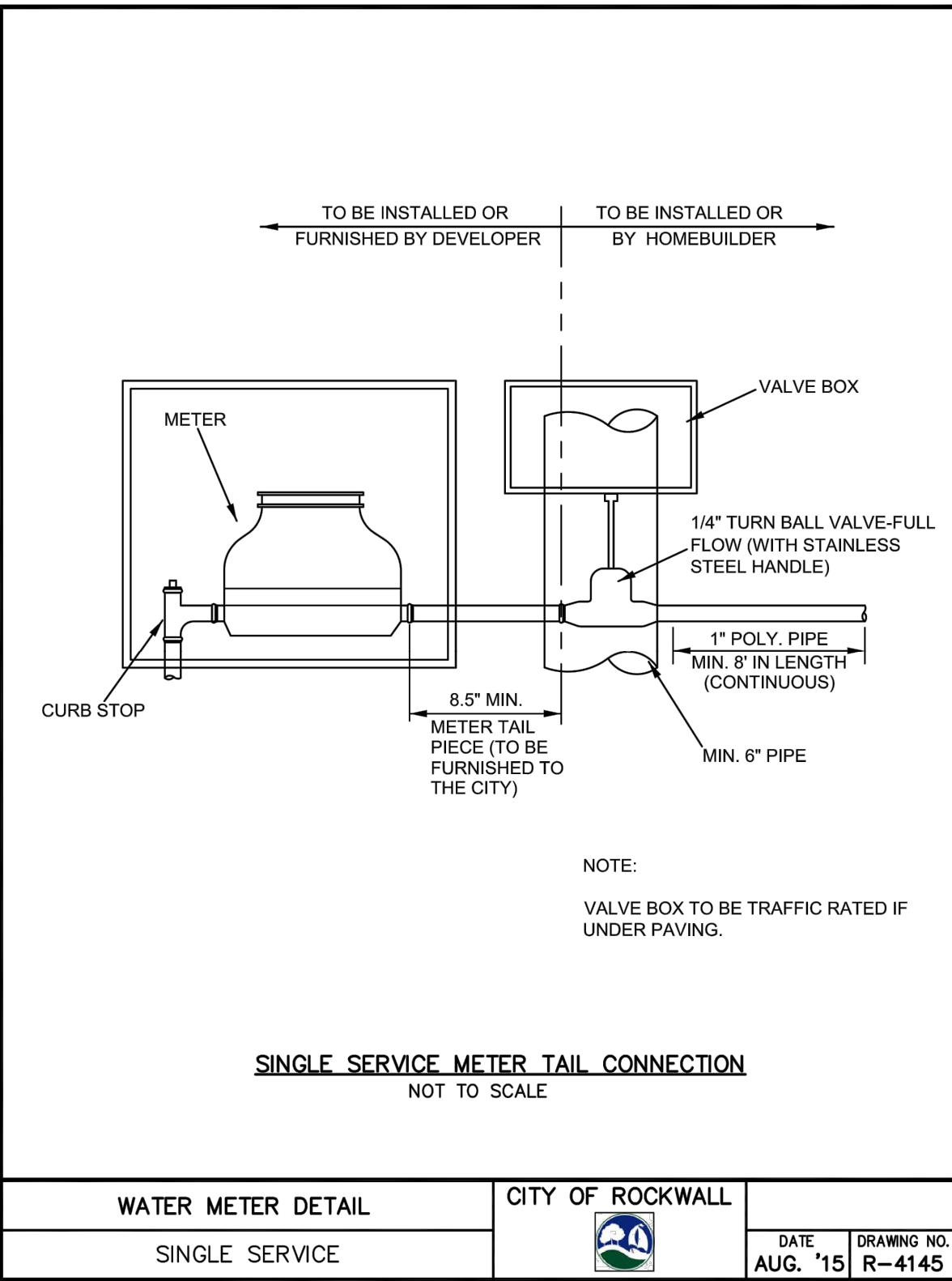
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C-16

File No. 2020-021

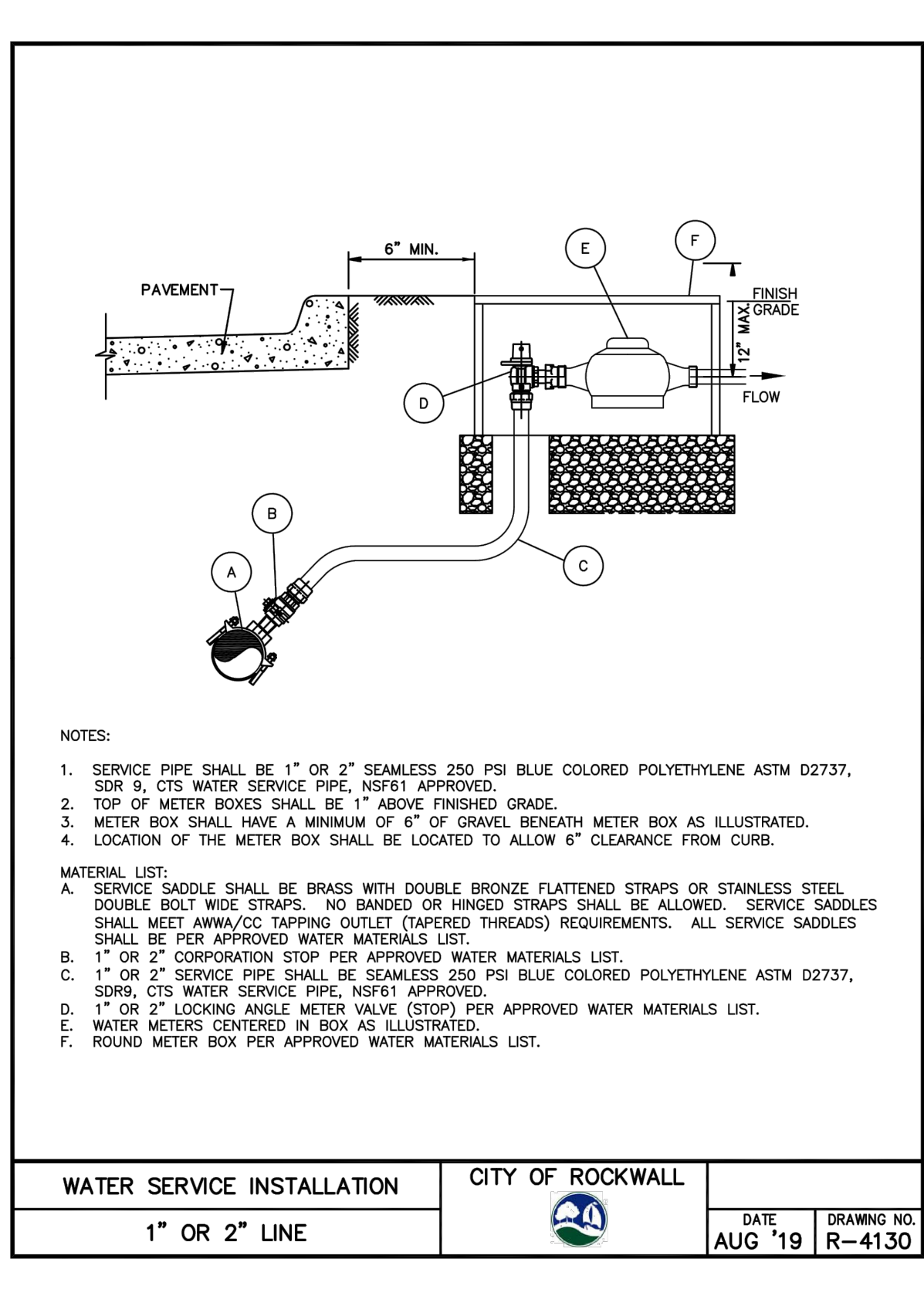
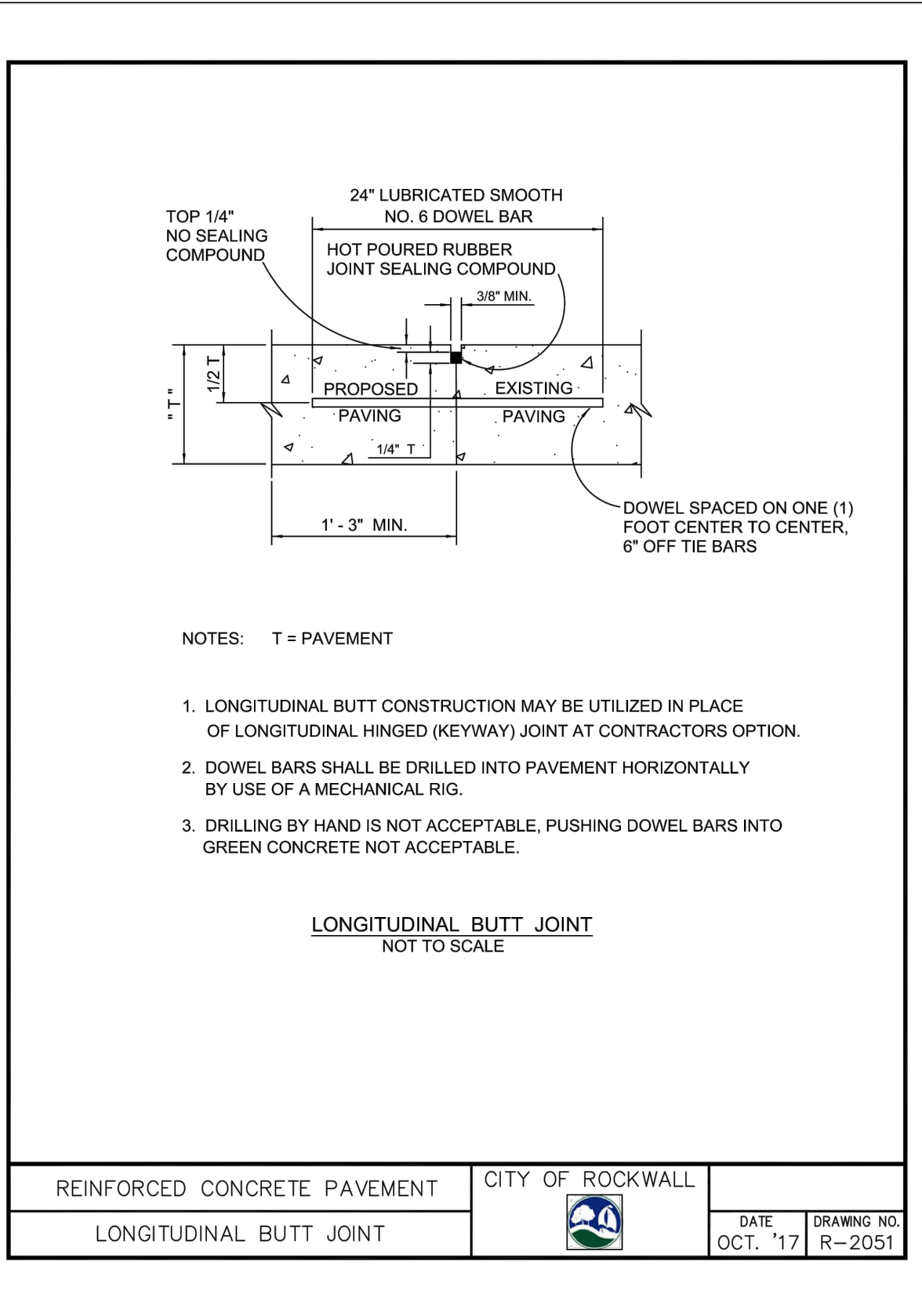
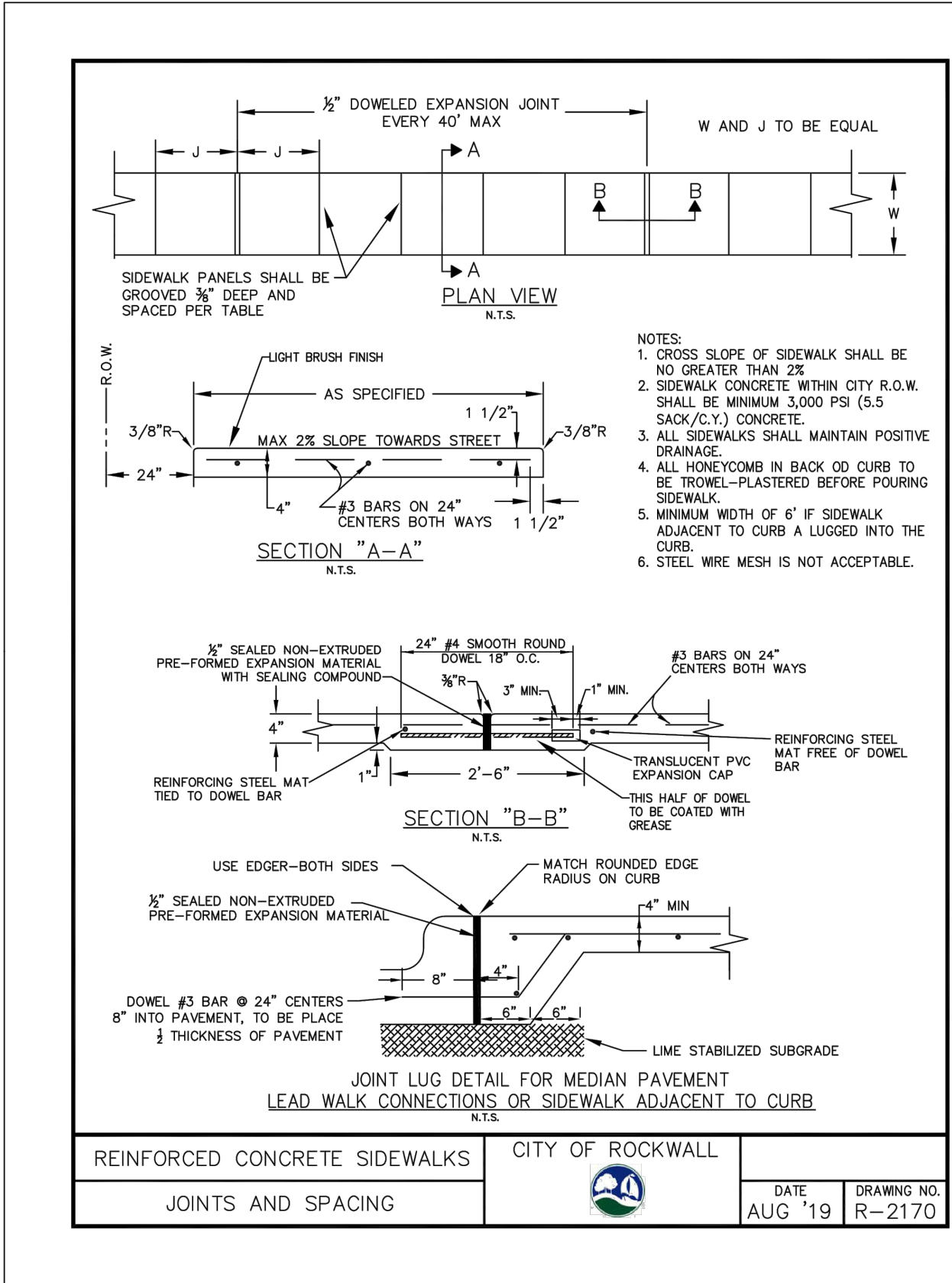


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These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: Drew Donosky Date: 2/15/2024



TEXAS REGISTRATION #14199  
  
 1980 CENTRAL DR., SUITE #403  
 ROCKWALL, TX 75087  
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2/15/2024  
 Drew Donosky

**CAPPS, HODGES & MORGAN**  
 1200 SUMMER LEE DRIVE  
 ROCKWALL, TX 75032  
 SP2022-009

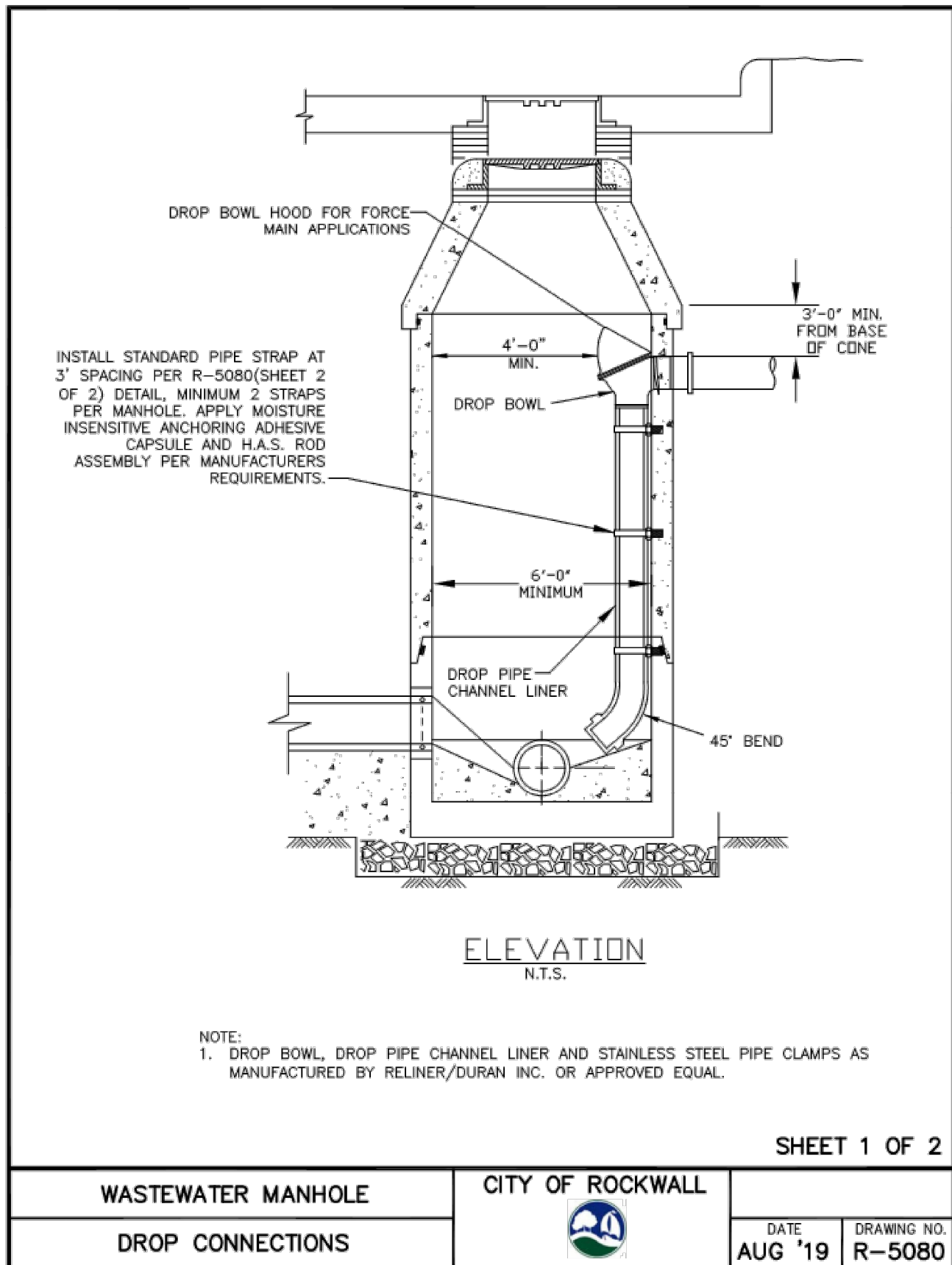
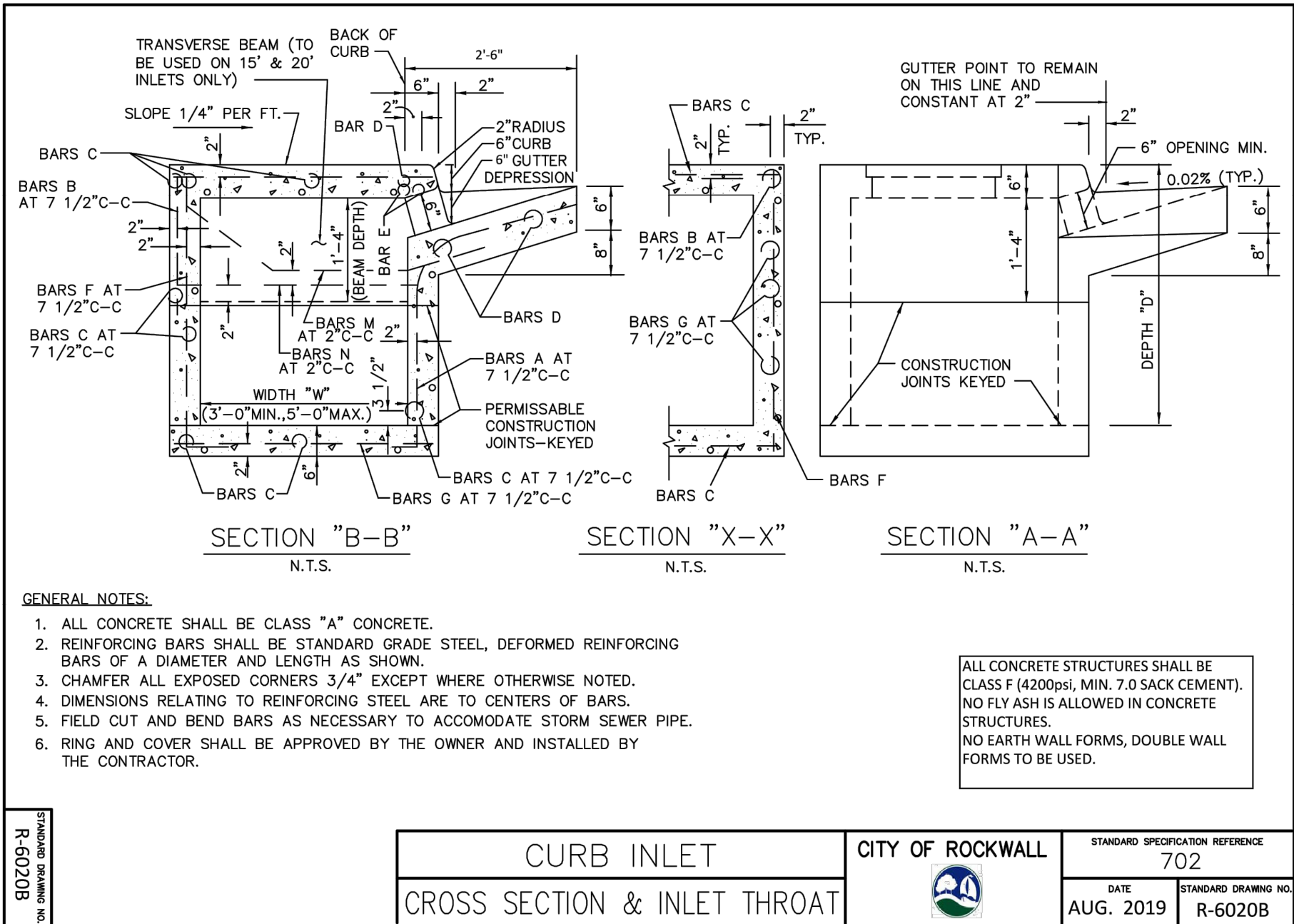
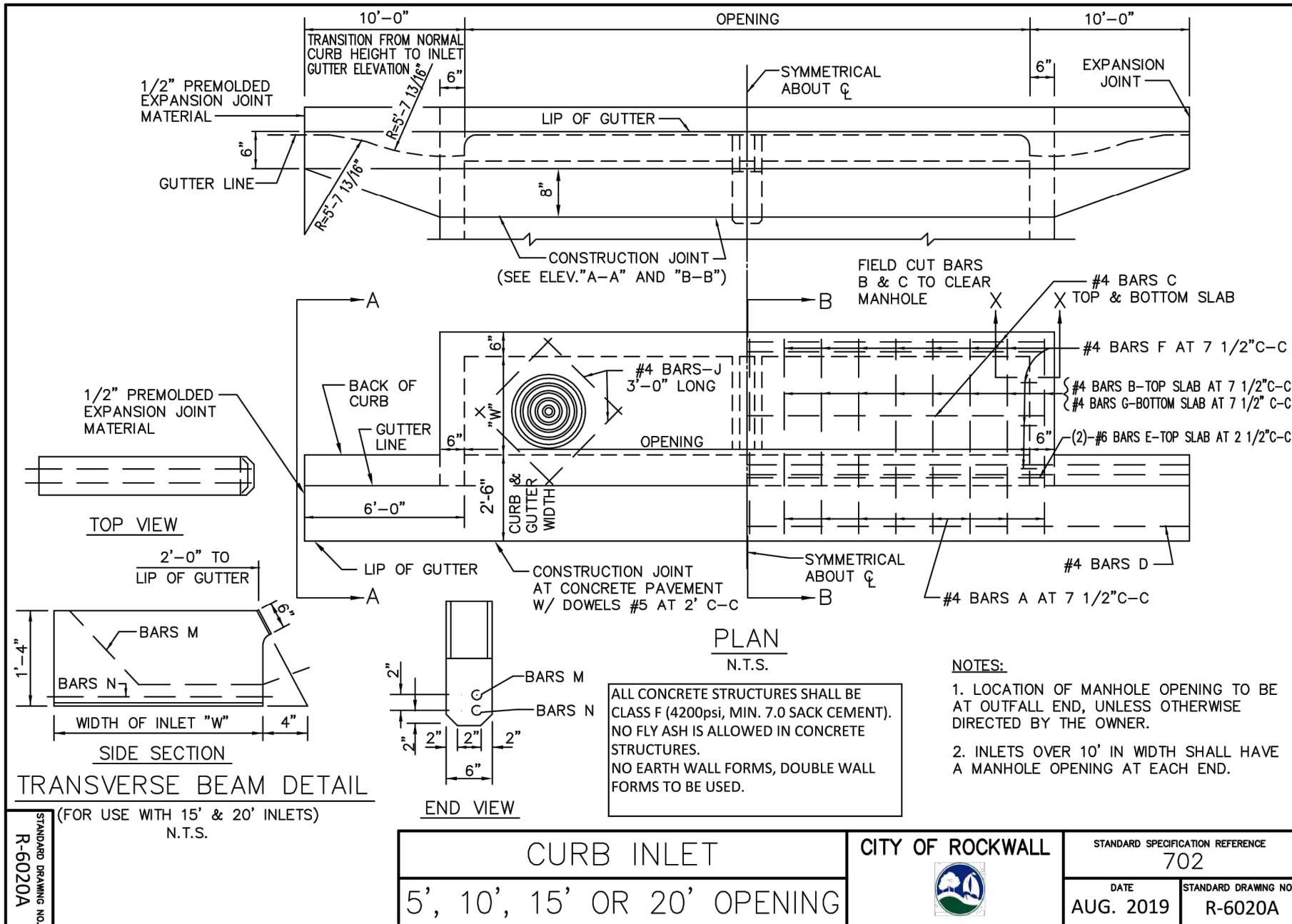
NO.	DATE	REVISION	BY

CITY CONSTRUCTION DETAILS  
 C-17

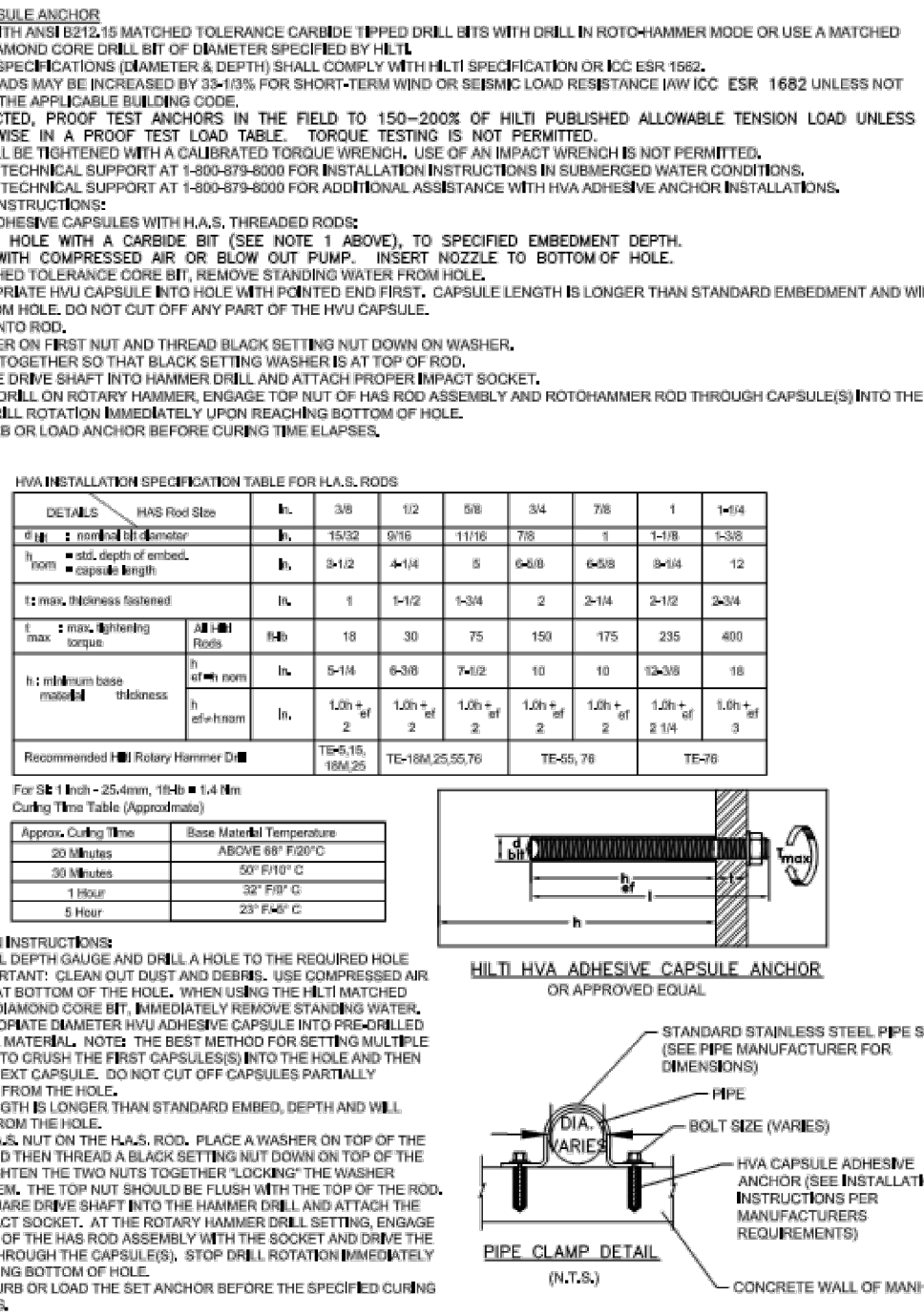
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 CHECKED: ASD  
 DATE: 2/15/2024  
 SHEET  
 C-17  
 File No. 2020-021



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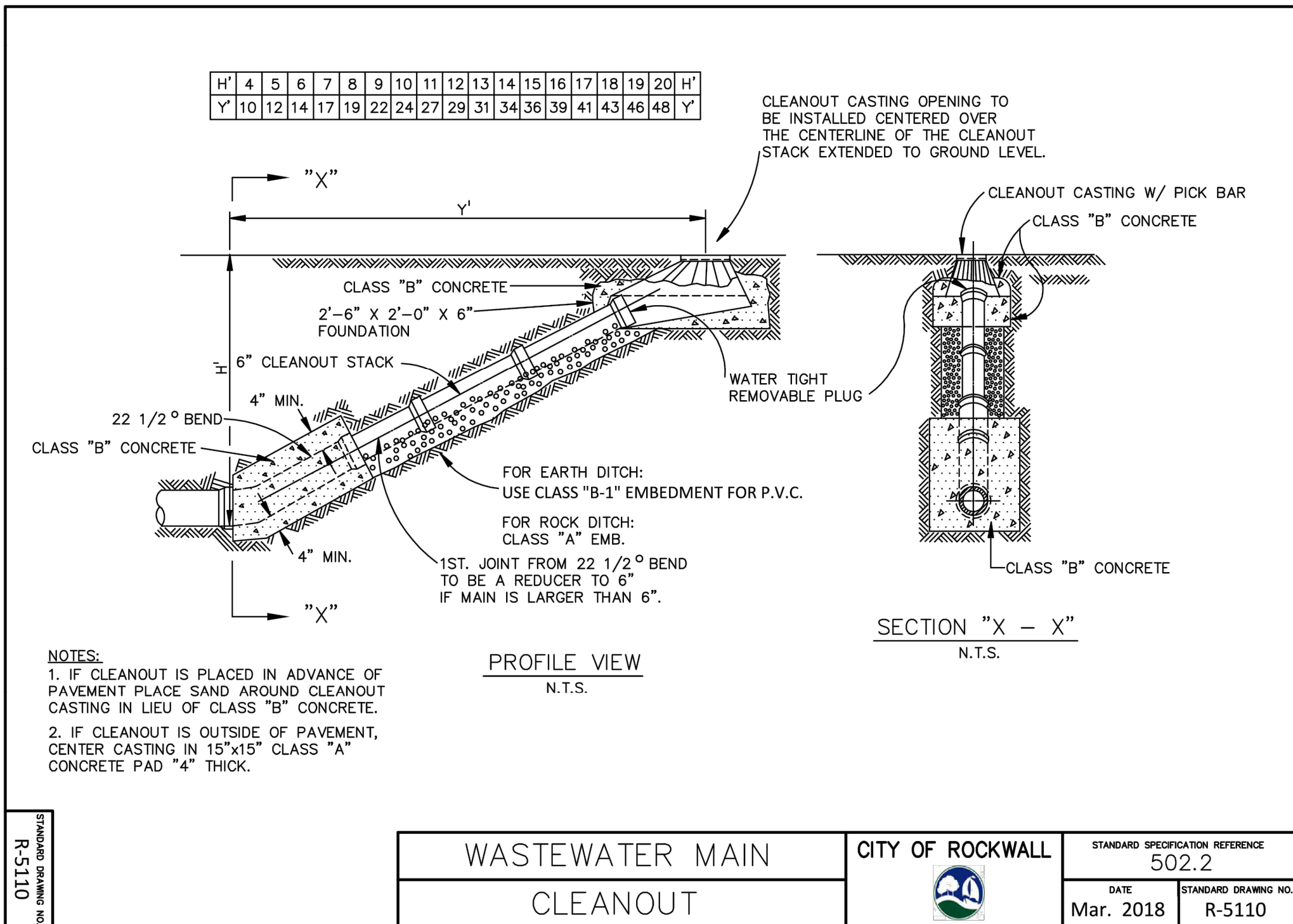
Page 331



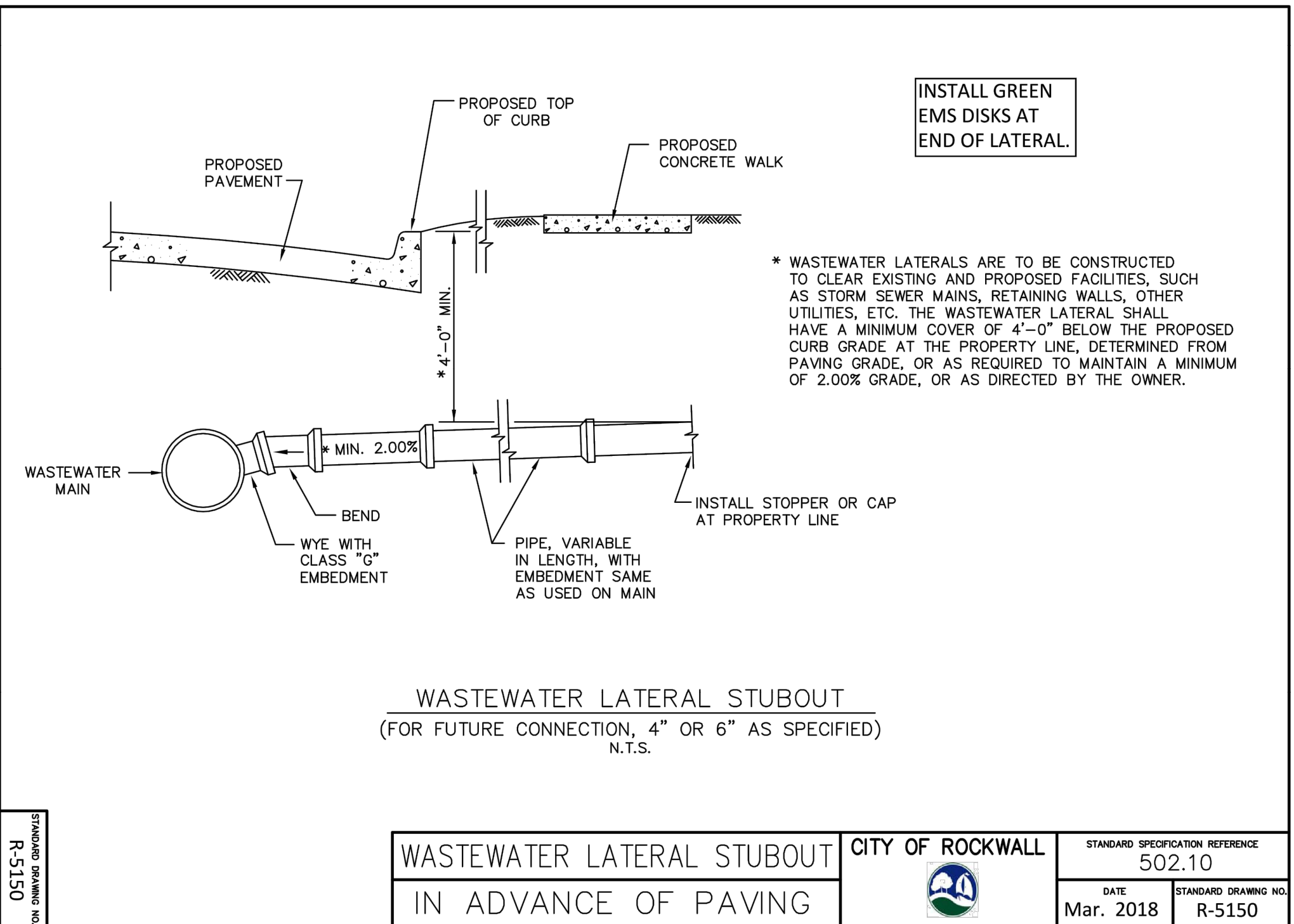
SHEET 2 OF 2

WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE	DRAWING NO.
DROP CONNECTIONS		AUG '19	R-5080

Page 332



WASTEWATER MAIN	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
CLEANOUT		502.2
		DATE: Mar. 2018
		STANDARD DRAWING NO. R-5110



WASTEWATER LATERAL STUBOUT	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
IN ADVANCE OF PAVING		502.10
		DATE: Mar. 2018
		STANDARD DRAWING NO. R-5150

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By: *Drew Donosky* Date: 2/15/2024

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1900 CENTRAL DR., SUITE #400  
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STATE OF TEXAS  
 DREW DONOSKY  
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*Drew Donosky*  
 2/15/2024

**CAPPS, HODGES & MORGAN**  
 1200 SUMMER LEE DRIVE  
 ROCKWALL, TX 75082  
 SP2022-009

CITY CONSTRUCTION DETAILS  
 No. DATE REVISION BY

DESIGN: MKT  
 DRAWN: MKT  
 CHECKED: ASD  
 DATE: 2/15/2024  
 SHEET  
**C-18**  
 File No. 2020-021



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THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (P4) PAGES INCLUDING THE FOLLOWING:

- PIPE STORAGE = 12,861 CF
- MAINLINE PIPE GAGE = 16
- WALL TYPE = SOLID
- DIAMETER = 60"
- FINISH = ALT2
- CORRUGATION = 2 2/3x1/2

CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_

MARK	DATE	REVISION DESCRIPTION	BY

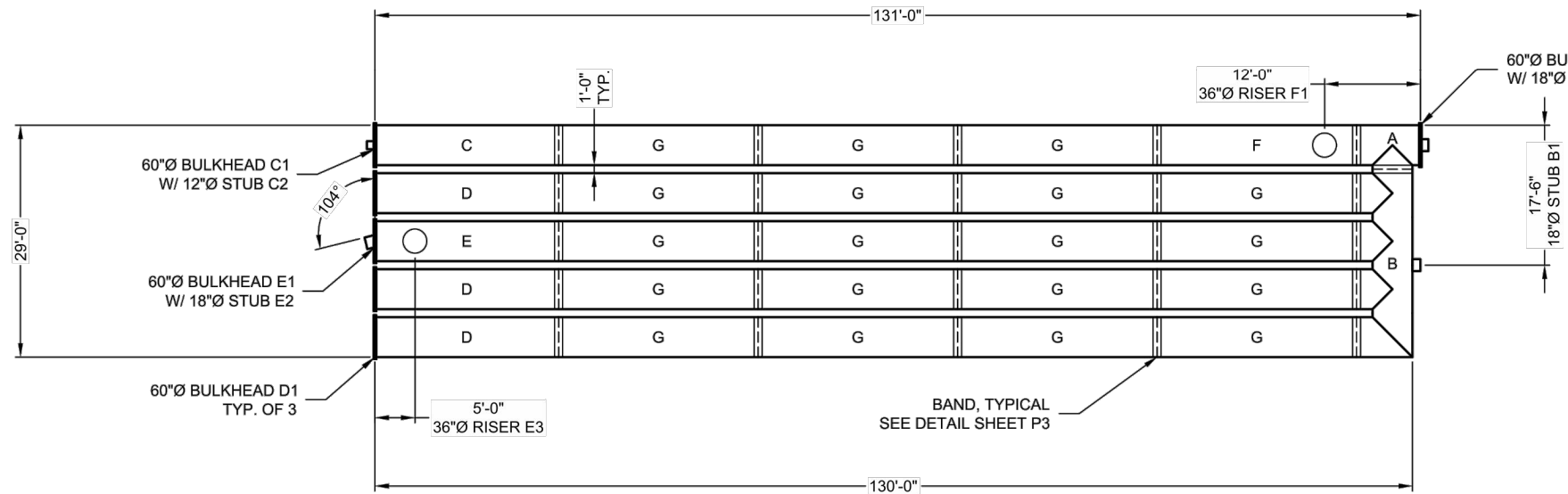
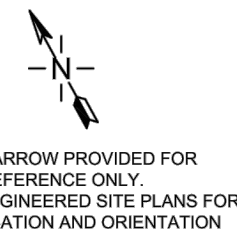
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60"Ø UNDERGROUND DETENTION SYSTEM - 711900-010  
CAPPS, HODGES & MORGAN  
ROCKWALL, TX  
SITE DESIGNATION: UNDERGROUND DETENTION

PROJECT NO.	REQ. NO.	DATE
711900	010	7/15/2022
DESIGNED: MJK	DRAWN: MJK	
CHECKED: TMB	APPROVED: MJK	
SHEET NO. P1	OF P4	

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**STUB INFORMATION**

PIECE	STUB INVERT	SYSTEM INVERT
18"Ø STUB A2	541.56	541.56
18"Ø STUB B1	542.20	541.70
12"Ø STUB C2	544.35	542.60
18"Ø STUB E2	544.47	542.72

**RISER INFORMATION**

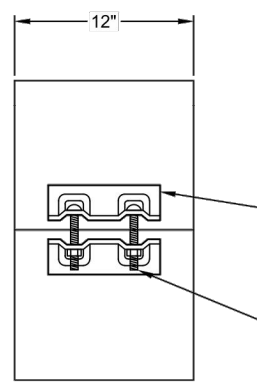
PIECE	RIM ELEV.	SYSTEM INVERT
36"Ø RISER E3	TBD	542.65
36"Ø RISER F1	TBD	541.65

**NOTES**

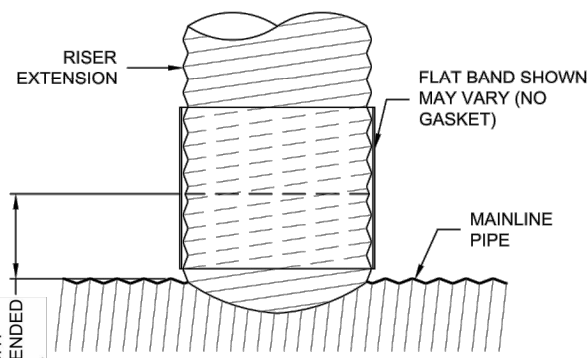
- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
- ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD (EOR) PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2 2/3" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE AS REQUIRED, BY CONTRACTOR.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ACCESS CASTINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE NOT SUPPLIED BY CONTECH.

**ASSEMBLY**

SCALE: 1" = 20'  
 PIPE STORAGE: 12,861 CF  
 LOADING: H20  
 PIPE INV. = 541.56+0.80%±



CONNECTION DETAIL  
7 1/2" TECHCO SHOWN - MAY VARY

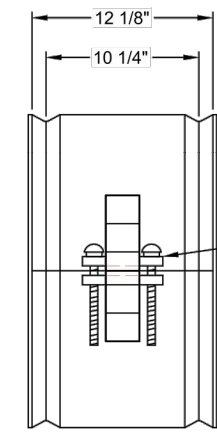


ELEVATION VIEW  
OF CMP AND RISER

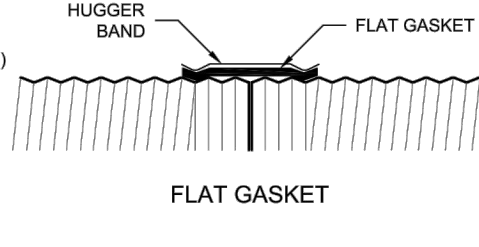
**PLAIN END CMP RISER PIPE**

- GENERAL NOTES:
- DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.
  - JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 28.4.2.4.
  - BAND MATERIAL AND GAGE TO BE SAME AS RISER MATERIAL.
  - IF RISER HAS A HEIGHT OF COVER OF 10' OR MORE, USE A SLIP JOINT.
  - BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
    - 12" THRU 48" 1-PIECE
    - 54" 2-PIECES
  - ALL RISER JOINT COMPONENTS WILL BE FIELD ASSEMBLED.
  - MANHOLE RISERS IN APPLICATIONS WHERE TRAFFIC LOADS ARE IMPOSED REQUIRE SPECIAL DESIGN CONSIDERATIONS.
  - DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

**12" RISER BAND DETAIL**  
NOT TO SCALE



CONNECTION DETAIL  
(SBBS)



**2 2/3"x1/2" RE-ROLLED END HEL-COR PIPE**

- GENERAL NOTES:
- JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 28.4.2.4.
  - BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
  - BANDS ARE SHAPED TO MATCH THE PIPE-ARCH WHEN APPLICABLE.
  - BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
    - 12" THRU 48" 1-PIECE
    - 54" THRU 96" 2-PIECES
    - 102" THRU 144" 3-PIECES
  - BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
  - ALL CMP IS RE-ROLLED TO HAVE ANNUAL END CORRUGATIONS OF 2 2/3"x1/2"
  - DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
  - ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

**H-12 HUGGER BAND DETAIL**  
NOT TO SCALE

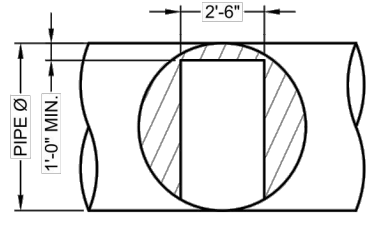
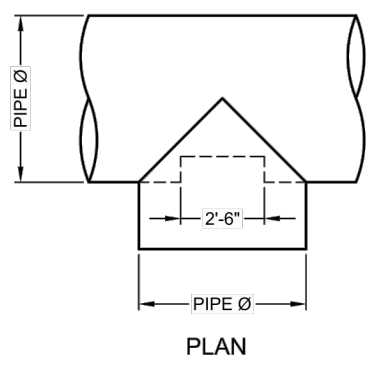
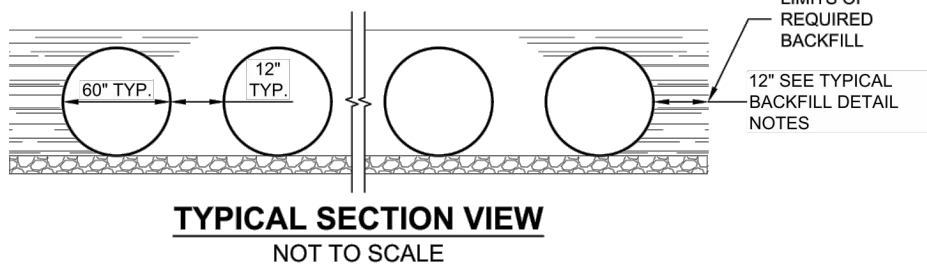
MARK	DATE	REVISION DESCRIPTION	BY

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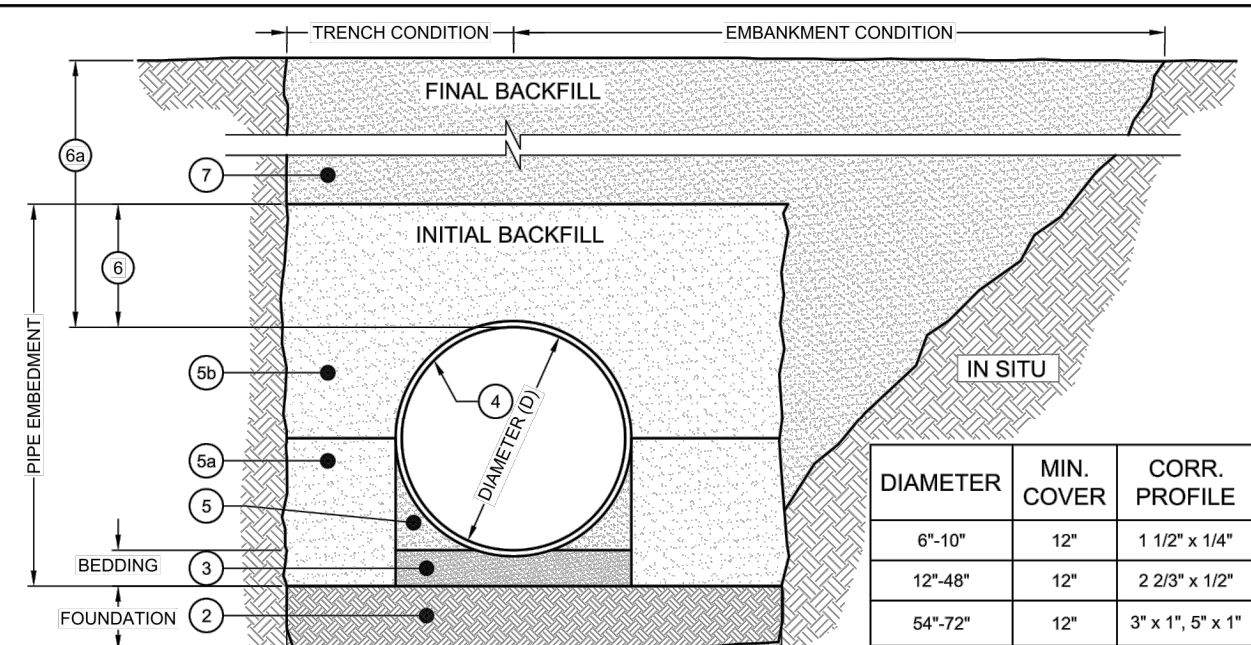
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CMP DETENTION SYSTEMS  
CONTECH  
PROPOSAL  
DRAWINGS

60"Ø UNDERGROUND DETENTION SYSTEM - 711900-010  
CAPPS, HODGES & MORGAN  
ROCKWALL, TX  
SITE DESIGNATION: UNDERGROUND DETENTION

PROJECT NO.	REQ. NO.	DATE
711900	010	7/15/2022
DESIGNED: MJK	DRAWN: MJK	
CHECKED: TMB	APPROVED: MJK	
SHEET NO. P3	OF P4	



48"Ø TO 60"Ø FITTING REINFORCEMENT  
MAY BE REQUIRED BASED ON HEIGHT OF  
COVER AND LIVE LOAD CONDITION  
**TYPICAL MANWAY DETAIL**  
NOT TO SCALE



**BACKFILL REQUIREMENTS FOLLOW THE GUIDELINES OF AASHTO LRFD BRIDGE DESIGN (SEC 12) AND CONSTRUCTION (SEC 26)**

- MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE.  
THE MINIMUM TRENCH WIDTH (12.6.6.1):  
PIPE ≤ 12": D + 16"  
PIPE > 12": 1.5D + 12"
- MINIMUM EMBANKMENT WIDTH (IN FEET) FOR INITIAL FILL ENVELOPE (12.6.6.2):  
PIPE < 24": 3.0D  
PIPE 24" - 144": D + 40"  
PIPE > 144": D + 100"
- THE FOUNDATION UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (26.5.2).
- BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF TWICE THE CORRUGATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORRUGATION DEPTH (26.5.1, 26.5.3).
- CORRUGATED STEEL PIPE (CSP / HEL-COR), DIAMETERS 18" - 72"
- HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION (26.5.4).
- INITIAL BACKFILL SHALL BE WELL GRADED CRUSHED ROCK UP TO SPRINGLINE OF PIPE.
- BACKFILL PLACED ABOVE THE SPRINGLINE TO MEET AASHTO A-1, A-2 OR A-3 CLASSIFICATION, OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (T 99). MAXIMUM PARTICLE SIZE NOT TO EXCEED 3" (12.4.1.2). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT LIFTS NOT EXCEED AN 8" UNCOMPACTED LIFT HEIGHT TO PREVENT UNEVEN LOADING, AND THE LESSER OF 1/3 THE DIAMETER OR 24" AS THE MAXIMUM DIFFERENTIAL SIDE-TO-SIDE (26.5.4).
- SAND BACKFILL (AASHTO A-3 OR APPROVED EQUAL) TO BE PLACED FROM SPRINGLINE TO 12" ABOVE PIPE. INITIAL BACKFILL ABOVE MAY INCLUDE ROAD BASE MATERIAL (AND RIGID PAVEMENT IF APPLICABLE).
- TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT (12.6.3.3).
- FINAL BACKFILL MATERIAL, SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD (26.5.4.1).

- NOTES:
- GEOTEXTILE SHOULD BE CONSIDERED FOR USE TO PREVENT SOIL MIGRATION INTO VARYING SOIL TYPES (PROJECT ENGINEER).
  - FOR MULTIPLE BARRIL INSTALLATIONS THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE PIPE DIA./2 BUT NO LESS THAN 12" OR 36" FOR PIPE DIAMETERS 72" AND LARGER. CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING (TABLE C12.6.7.1).

**TYPICAL BACKFILL DETAIL**  
NOT TO SCALE

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MARK	DATE	REVISION DESCRIPTION	BY

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60"Ø UNDERGROUND DETENTION SYSTEM - 711900-010  
CAPPS, HODGES & MORGAN  
ROCKWALL, TX  
SITE DESIGNATION: UNDERGROUND DETENTION

PROJECT NO.	REQ. NO.	DATE
711900	010	7/15/2022
DESIGNED: MJK	DRAWN: MJK	
CHECKED: TMB	APPROVED: MJK	
SHEET NO. P2	OF P4	

These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: *Drew Donosky* Date: 2/15/2024

TEXAS REGISTRATION #14199



**CAPPS, HODGES & MORGAN**  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75032  
SP2022-009

NO.	DATE	REVISION	BY

UNDERGROUND  
DETENTION DETAILS

DESIGN: MKT  
 DRAWN: MKT  
 CHECKED: ASD  
 DATE: 2/15/2024

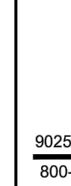
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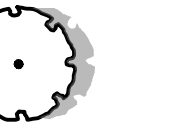


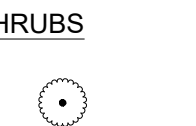
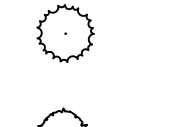

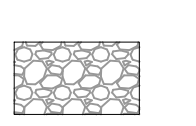
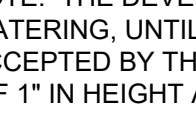


By: *Drew Donosky* Date: 2/15/2024



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PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	7	ULMUS CRASSIFOLIA CEDAR ELM USE FOR MITIGATION	5" CAL	12' HT MIN.
	8	QUERCUS VIRGINIANA LIVE OAK USE FOR MITIGATION	5" CAL	12' HT MIN.
	9	MAGNOLIA GRAND, 'LITTLE GEM' LITTLE GEM MAGNOLIA USE FOR MITIGATION	5" CAL	12' HT MIN.
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	9	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS, 2" OVERALL	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	117	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	30" HT @ PLANTING
	32	JUNIPERUS VIRGINIANA 'SKYROCKET' SKYROCKET JUNIPER	4'-6" HT	
	20	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	9,965 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	
	936 SF	2"-4" TEXAS COBBLE, 4"-6" DEEP, INSTALL OVER PERMEABLE WEED BARRIER FABRIC		

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

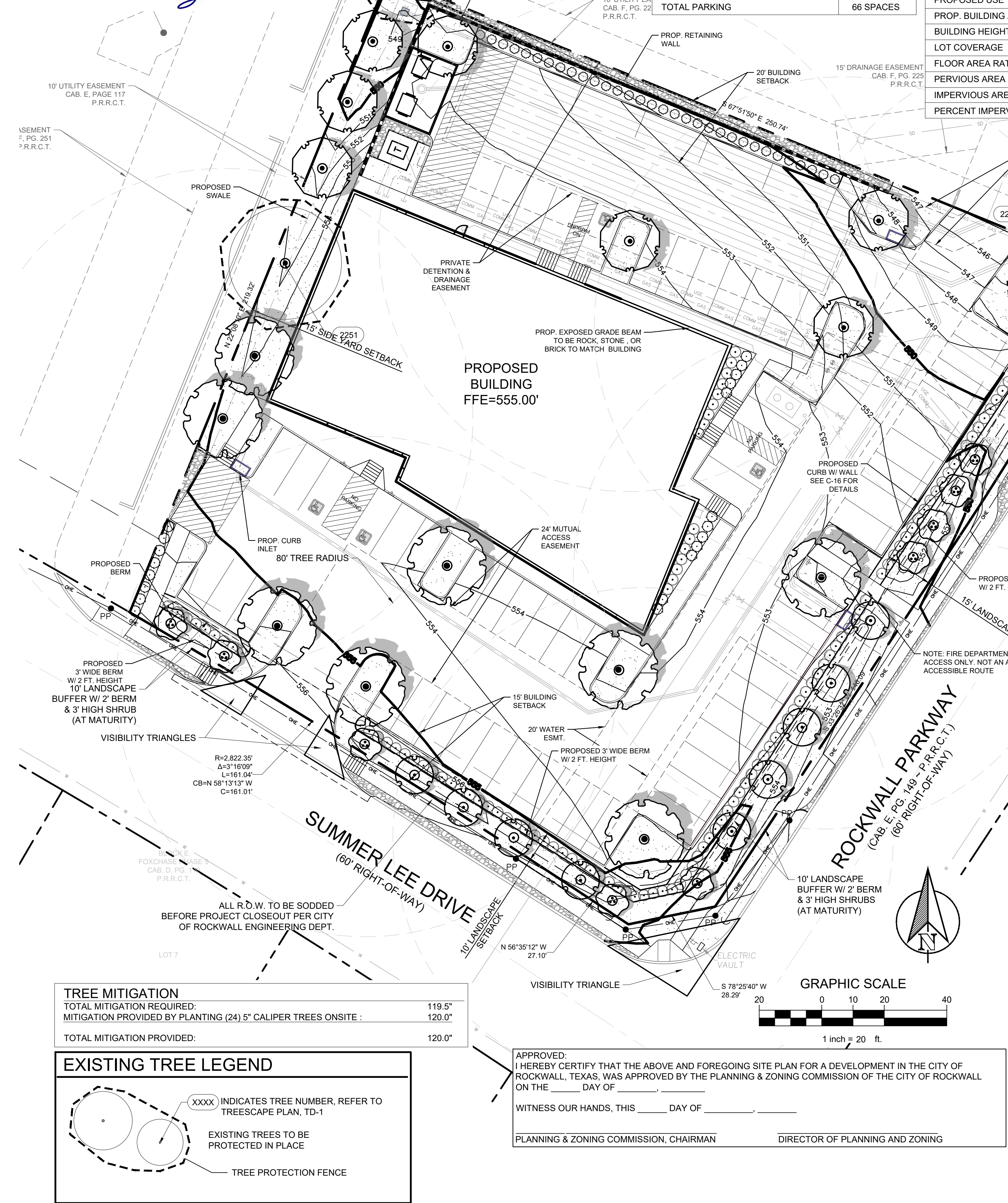
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
SUMMER LEE DR.: ±188' STREET FRONTAGE PROVIDED 10' BUFFER:	188 / 50 = 3.76 (4) CANOPY & (4) ACCENT TREES REQ. 8 ACCENT TREES W/ 30" HIGH SHRUBS, NO CANOPY TREES DUE TO OVERHEAD POWER LINES
ROCKWALL PARKWAY.: ±240' STREET FRONTAGE PROVIDED 10' BUFFER:	240 / 50 = 4.8 (5) CANOPY & (5) ACCENT TREES REQ. 10 ACCENT TREES W/ 30" HIGH SHRUBS, NO CANOPY TREES DUE TO OVERHEAD POWER LINES
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
05.03 LANDSCAPE REQUIREMENTS - PD-9 DIST.	
TOTAL SITE AREA:	±54,582.5 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	10,916.5 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±12,102 SF (22%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA:	±26,363 SF / 1,318 SF REQ. LANDSCAPING
PROPOSED PARKING LOT LANDSCAPING:	±2,627 SF (9.9%) (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES REQ. INTERNAL TO PARKING AREAS 66 / 10 = 6.6 (7) LG. CANOPY TREES REQ. 7 NEW LG. CANOPY TREES + 1 EXIST. TREE PROVIDED REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PARKING SPACES:	

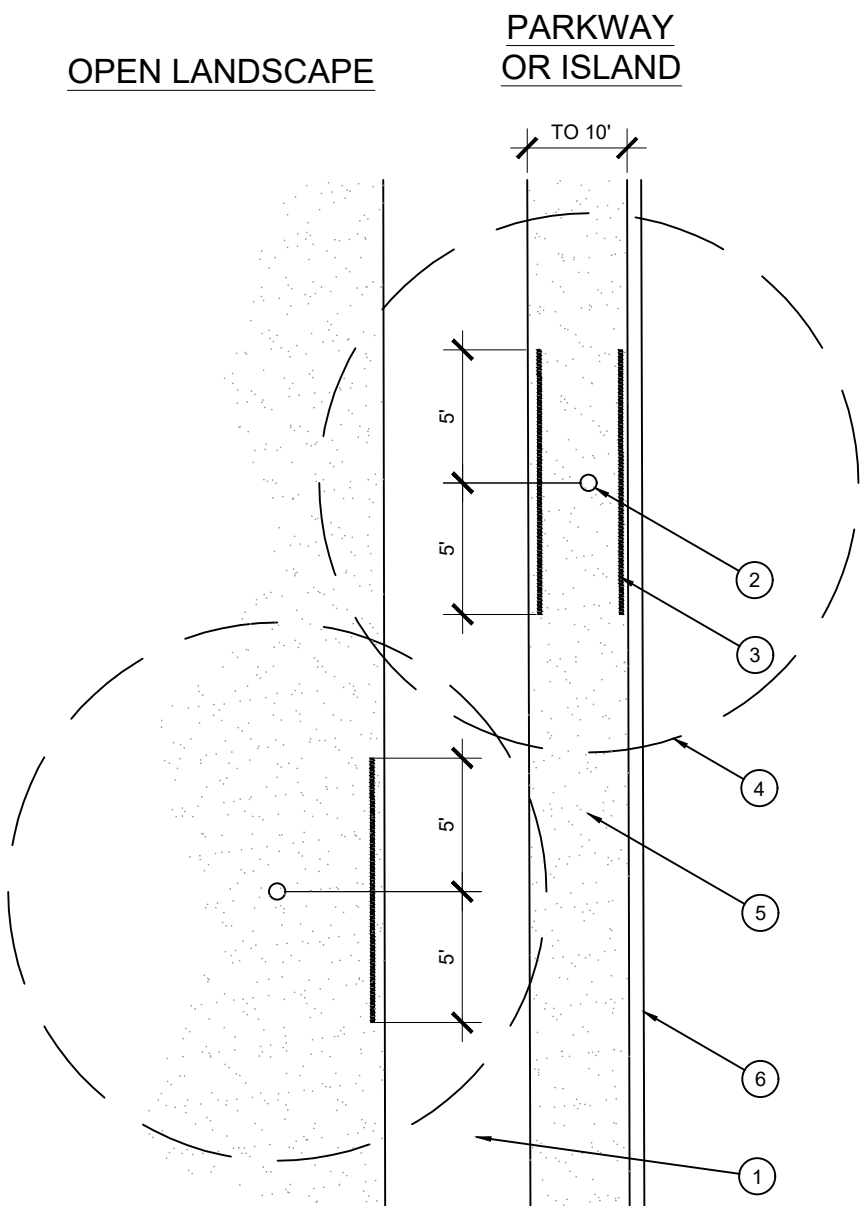
These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: *Drew Donosky* Date: 2/15/2024

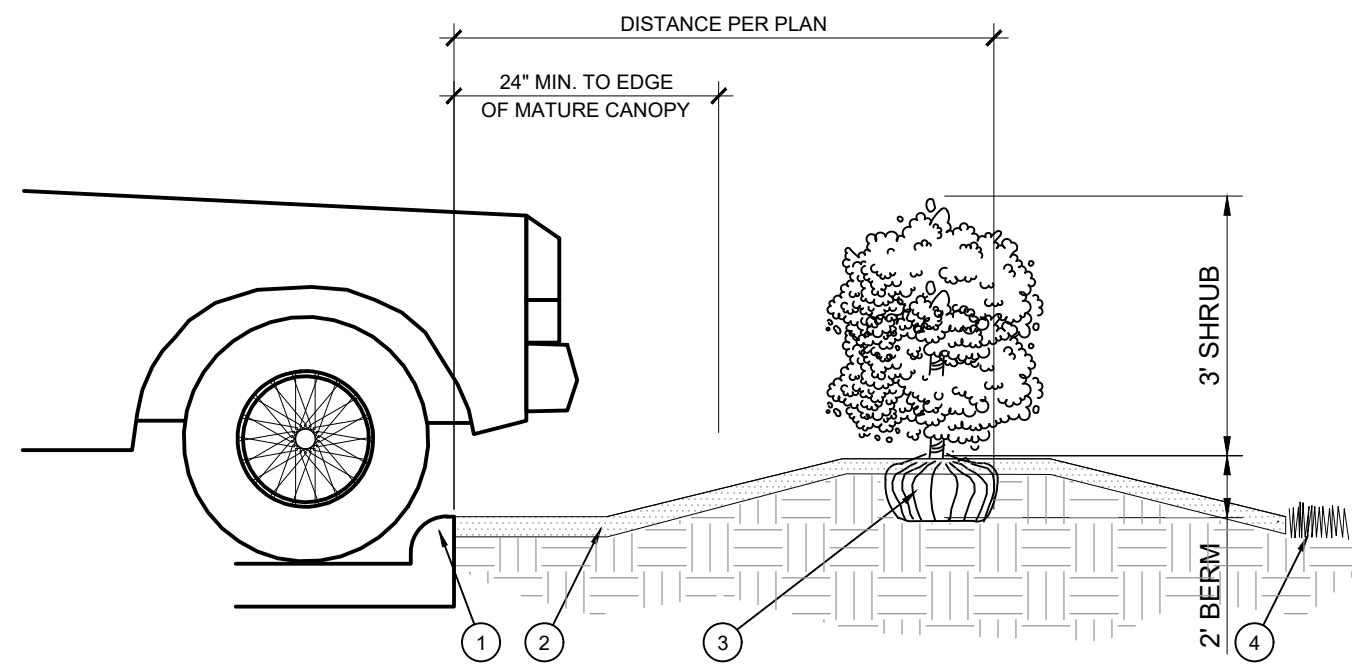




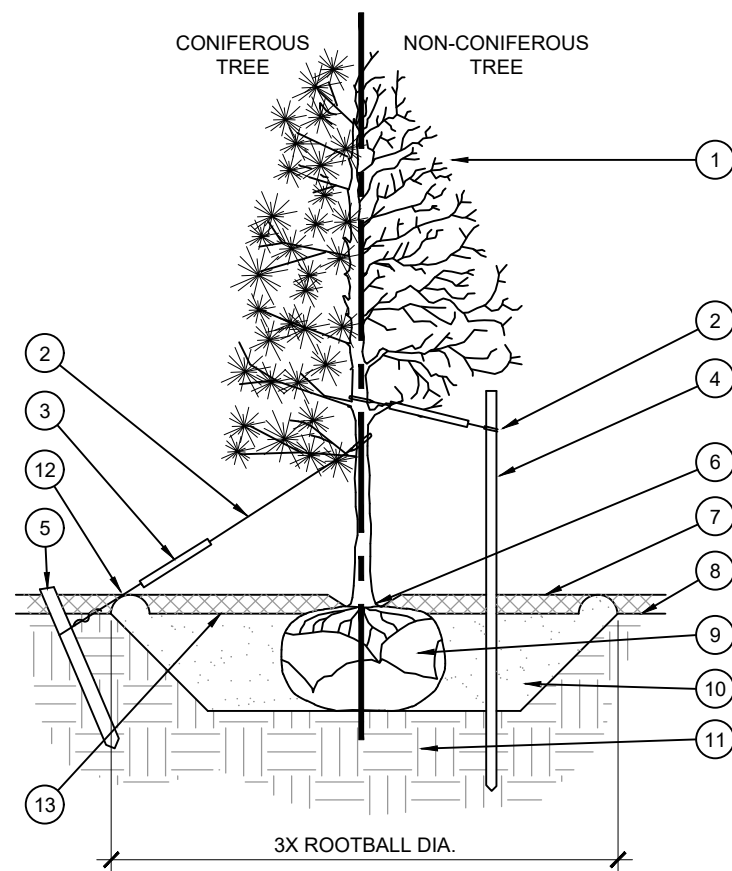
PLOTTED BY: DARCY BRANDON  
PLOT DATE: 10/6/2022 9:24 AM  
C:\USERS\DARCY\DOCUMENTS\DELA\PROJECTS\2022\EDG\MORGAN MOB - ROCKWALL, TX\MORGAN ROCKWALL\_LP\_2022-09-26.DWG  
LAST SAVED: 10/6/2022 9:24 AM



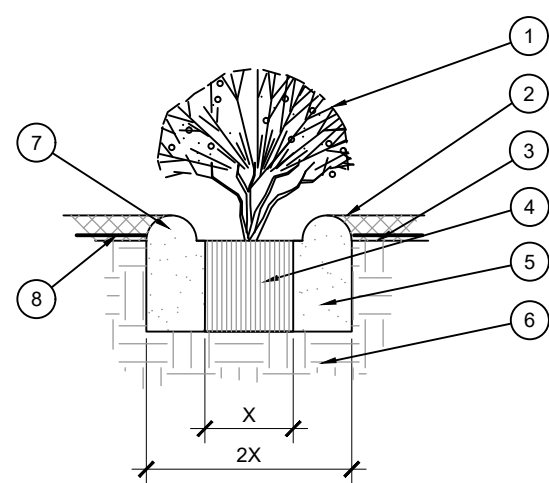
D ROOT BARRIER - PLAN VIEW  
SCALE: NOT TO SCALE



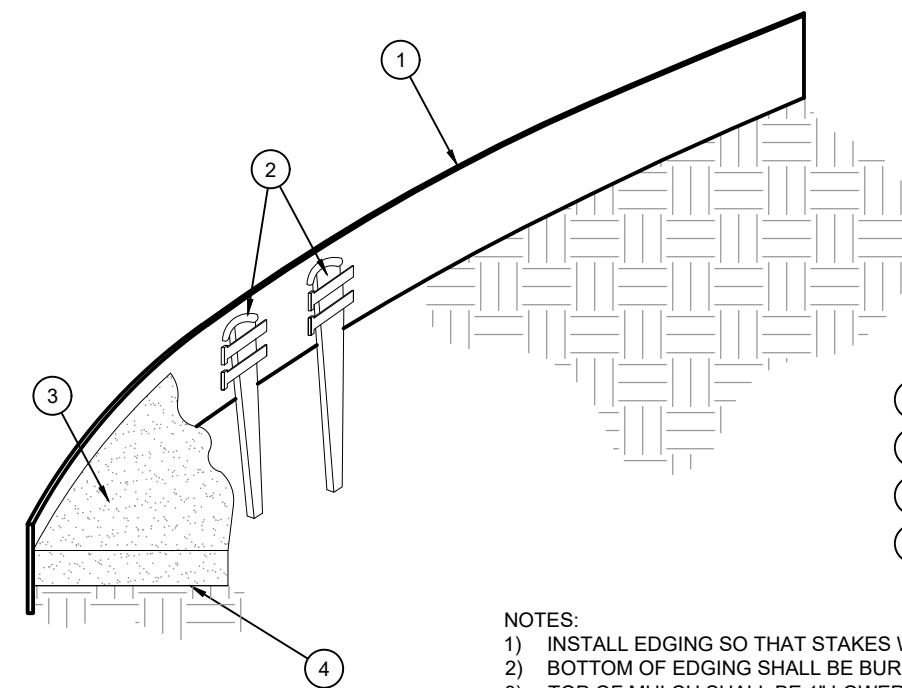
E PLANTING AT PARKING AREA  
SCALE: NOT TO SCALE



A TREE PLANTING  
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING  
SCALE: NTS



C STEEL EDGING  
SCALE: NOT TO SCALE

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

### GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNERS REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

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By: Drew Donusky Date: 2/15/2024

CASE # : SP2022-009

CAPPS, HODGES, & MORGAN

OWNER:  
DR. CAPPS, DR. HODGES & DR. MORGAN  
CHM REAL ESTATE, LLC  
740 WILFORD WAY, HEATH, TX 75032  
PHONE: 972-771-9500  
EMAIL: CHADJCAPPS@GMAIL.COM

APPLICANT:  
JEFF KILBURG  
APEX DESIGN BUILD  
9550 W. HIGGINS RD., SUITE 170, ROSEMONT, IL 60018  
PH: 847-288-0100  
EMAIL: RAQUELLE@APEXDESIGNBUILD.NET

SURVEYOR  
WINDROSE LAND SURVEYING  
220 ELM STREET, SUITE #200  
LEWISVILLE, TX 75057  
PH: 214.217.2544  
CONTACT NAME: MARK N. PEEPLES

LEGAL DESCRIPTION:  
LOT 5, BLOCK B,  
HORIZON RIDGE ADDITION

CITY:  
ROCKWALL  
STATE:  
TEXAS

COUNTY:  
ROCKWALL  
SURVEY:  
E. TEAL SURVEY  
ABSTRACT NO.  
207

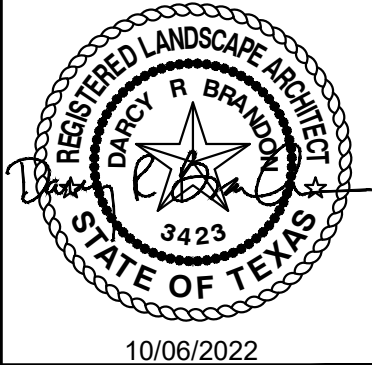
TEXAS REGISTRATION #14199

**EVERGREEN**  
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**CAPPS, HODGES & MORGAN**  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75032  
SP2022-009

LANDSCAPE PLANTING  
DETAILS & NOTES

DESIGN: MKT  
DRAWN: MKT  
CHECKED: ASD  
DATE: 05/24/2022

SHEET  
**LP-2**  
File No. 2020-021



## GENERAL

- ## PRODUCTS

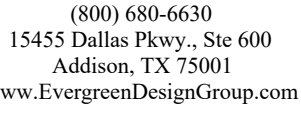
- ## METHODS

1. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPE) AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE.
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS EARTH STAKES AND PLANTING TIES OR OTHER ACCESSORIES (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCING NARROW EXISTING TRENCHES
- a. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR SHAPE AROUND THE CRIP LIP LINE OF THE TREE WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5" ABOVE THE AVERAGE GRADE AT THE TRUNK).
- b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS... NO MACHINE EXCAVATION OR REMOVAL OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
- c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER... WHERE TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS... WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST.
- d. CLOSE ALL TRENCHES WITHIN THE CRITICAL ROOT ZONE WITHIN 24 HOURS.
- e. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
3. REMOVE ANY CLUMPING SOIL FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL REMOVE ANY CLUMPING SOIL FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL REMOVE ANY CLUMPING SOIL FROM THE BOTTOM OF THE HOLE.
4. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT OF THE ROOTBALL.
5. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
6. COVER THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE... ROCKS LARGER THAN 1" DIA. AND ALL OTHER CLUMPING SOIL SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL... SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.
7. IMPORTED TOPSOIL SHALL BE USED FOR ALL EXCAVATION AND COMPOSTION IN THE ON-SITE SOIL.
8. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT... SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR.
9. CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS. THE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
- a. 1"-2" TREES TWO STAKES PER TREE
- b. 2-1/2" - 4" TREES THREE STAKES PER TREE
- c. TREES OVER 4" CALIPER GUY AS NEEDED
- d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
- e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE.
8. COVER THE INTERIOR OF THE WATERING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING
1. DEPTH THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE DEPTH, BACKFILL AROUND THE PLANT WITH MULCH AENED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE BARRIER BARS FROM MOVING.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. WHEN INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS, MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST INSPECTION BY THE OWNER.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE CONTRACTOR'S PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEFORE FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTINGS (ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO SALTILTY PARTS AND/OR PLANTING PERIOD AND DUE TO THE GUARANTEES FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO SALTILTY PARTS AND/OR PLANTING PERIOD AND DUE TO THE GUARANTEES FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE 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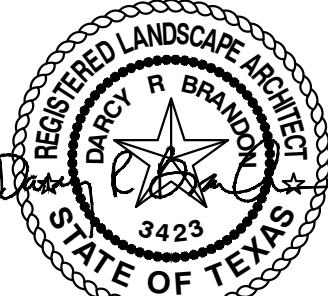
WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING &amp; ZONING COMMISSION, CHAIRMAN

**DIRECTOR OF PLANNING AND ZONING**



**CLAYMOORE**  
**ENGINEERING**



10/06/2022

**CAPPS, HODGES & MORGAN**  
**1200 SUMMER LEE DRIVE**  
**ROCKWALL, TX 75032**  
**SP2022-009**

[illegible]

## LANDSCAPE PLANTING SPECIFICATIONS

CASE # : SP2022-009

CAPPS, HODGES, & MORGAN

**OWNER:**  
DR. CAPPS, DR. HODGES & DR. MORGAN  
CHM REAL ESTATE, LLC  
740 WILFORD WAY, HEATH, TX 75032  
PHONE: 972-771-9500  
EMAIL: CHADJCAPPS@GMAIL.COM

APPLICANT:

JEFF KILBURG  
APEX DESIGN BUILD  
9550 W. HIGGINS RD., SUITE 170, ROSEMONT, IL 60018  
PH: 847-288-0100  
EMAIL: RAQUELLE@APEXDESIGNBUILD.NET

SURVEYOR

CONTACT NAME: MARK N. PEEPLES

**DESCRIPTION:**  
BLOCK B,  
EDGE ADDITION

STATE:  
TEXAS

ABSTRACT NO.

207

ESIGN: MKT

RAWN:	MKT
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CHECKED: ASD

DATE: 05/24/2022

SHEET

# LP-3

File No.	2020-021
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TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
- (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS.
- (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES.
- (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE. NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

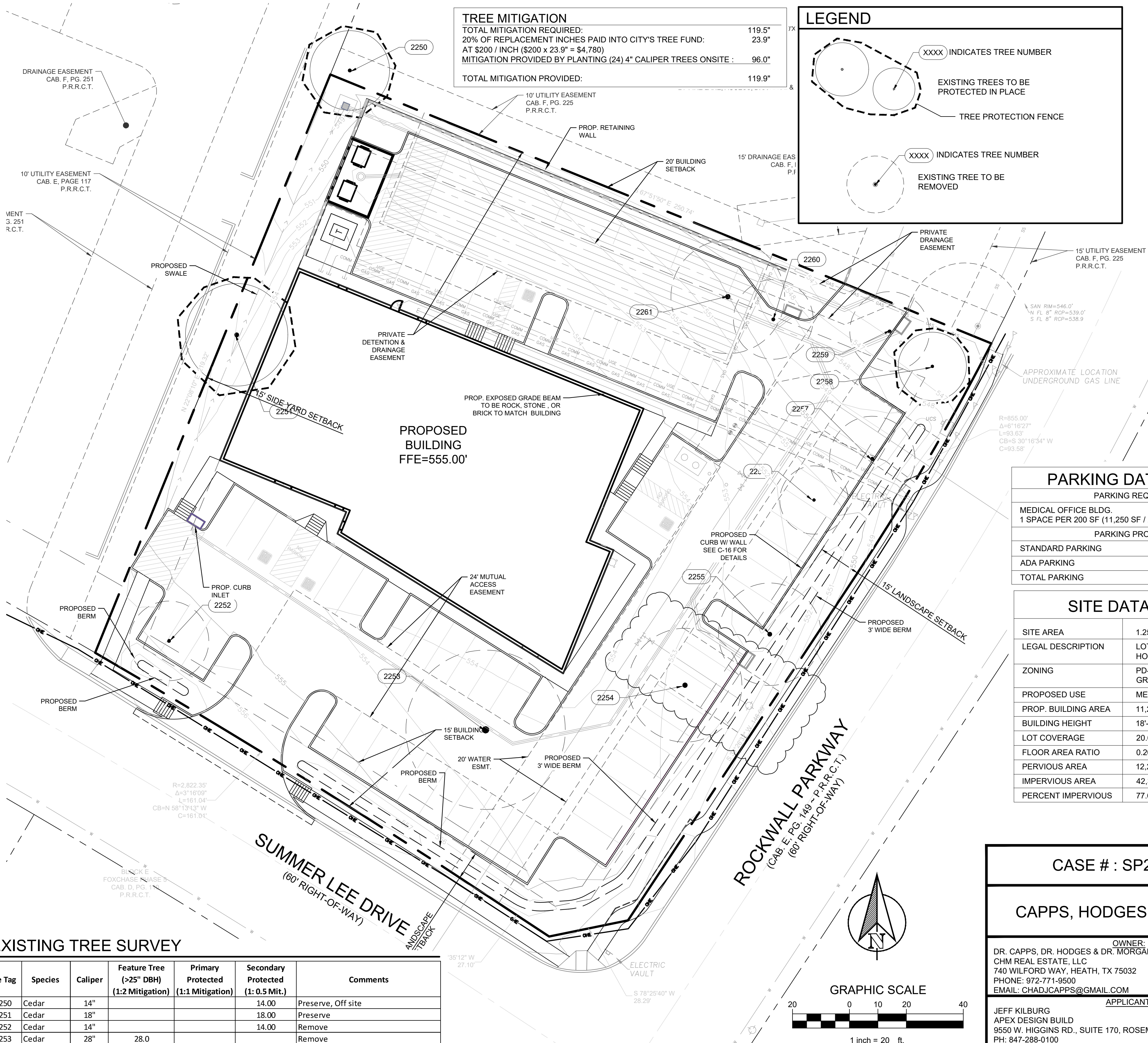
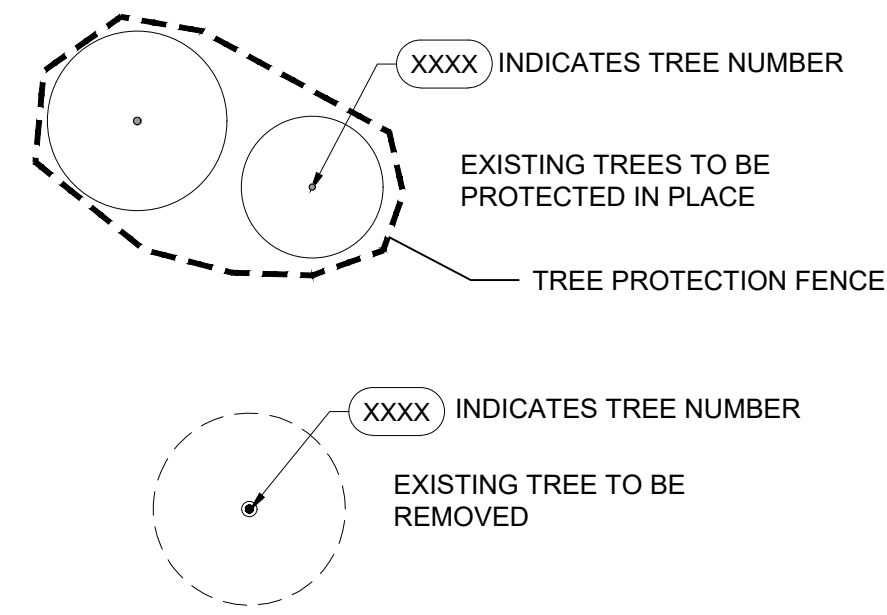
By: Drew Donosky Date: 2/15/2024

EXISTING TREE SURVEY

Tree Tag	Species	Caliper	Feature Tree (>25" DBH) (1:2 Mitigation)	Primary Protected (1:1 Mitigation)	Secondary Protected (1:0.5 Mit.)	Comments
2250	Cedar	14"			14.00	Preserve, Off site
2251	Cedar	18"			18.00	Preserve
2252	Cedar	14"			14.00	Remove
2253	Cedar	28"	28.0			Remove
2254	Cedar	20"			20.00	Remove
2255	Cedar	18"			18.00	Remove
2256	Cedar	12"			12.00	Remove
2257	Cedar	10" x 2			15.00	Remove
2258	Cedar	12"			12.00	Preserve
2259	Cedar	14"			14.00	Remove
2260	Cedar	14"			14.00	Remove
2261	Cedar	20"			20.00	Remove
TOTALS			28.0		157.00	
TOTAL REMOVED			28.0		127.00	
TOTAL MITIGATION			56.0		63.50	
TOTAL MITIGATION FOR SITE					119.5	

TREE MITIGATION	
TOTAL MITIGATION REQUIRED:	119.5"
20% OF REPLACEMENT INCHES PAID INTO CITY'S TREE FUND:	23.9"
AT \$200 / INCH (\$200 x 23.9" = \$4,780)	
MITIGATION PROVIDED BY PLANTING (24) 4" CALIPER TREES ONSITE :	96.0"
TOTAL MITIGATION PROVIDED:	119.9"

LEGEND



PARKING DATA TABLE

PARKING REQUIRED	
MEDICAL OFFICE BLDG. 1 SPACE PER 200 SF (11,250 SF / 200)	57 SPACES
PARKING PROVIDED	
STANDARD PARKING	62 SPACES
ADA PARKING	4 SPACES
TOTAL PARKING	66 SPACES

SITE DATA TABLE

SITE AREA	1.253 AC / 54,583 SF
LEGAL DESCRIPTION	LOT 5, BLOCK B HORIZON RIDGE ADDITION
ZONING	PD-9 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	MEDICAL OFFICE BLDG.
PROP. BUILDING AREA	11,250 SF
BUILDING HEIGHT	18'-00"
LOT COVERAGE	20.61%
FLOOR AREA RATIO	0.20:1
PERVIOUS AREA	12,233 SF
IMPERVIOUS AREA	42,350 SF
PERCENT IMPERVIOUS	77.60%

CASE # : SP2022-009

CAPPS, HODGES, & MORGAN

OWNER:  
DR. CAPPS, DR. HODGES & DR. MORGAN  
CHM REAL ESTATE, LLC  
740 WILFORD WAY, HEATH, TX 75032  
PHONE: 972-771-9500  
EMAIL: CHADJCAPPS@GMAIL.COM

APPLICANT:  
JEFF KILBURG  
APEX DESIGN BUILD  
9550 W. HIGGINS RD., SUITE 170, ROSEMONT, IL 60018  
PH: 847-288-0100  
EMAIL: RAQUELLE@APEXDESIGNBUILD.NET

SURVEYOR  
WINDROSE LAND SURVEYING  
220 ELM STREET, SUITE #200  
LEWISVILLE, TX 75057  
PH: 214.217.2544

CONTACT NAME: MARK N. PEEPLES

LEGAL DESCRIPTION:

LOT 5, BLOCK B,  
HORIZON RIDGE ADDITION

CITY:  
ROCKWALL

STATE:  
TEXAS

COUNTY:  
ROCKWALL

SURVEY:  
E. TEAL SURVEY

ABSTRACT NO.  
207

DESIGN: MKT

DRAWN: MKT

CHECKED: ASD

DATE: 05/24/2022

SHEET

TD-1

File No. 2020-021

TEXAS REGISTRATION #14199

EVERGREEN  
DESIGN GROUP  
(800) 680-6630  
15455 Dallas Pkwy., Ste 600  
Addicks, TX 75001  
www.EvergreenDesignGroup.com



CAPPS, HODGES & MORGAN  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75032  
SP2022-009

TREESCAPE PLAN



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TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

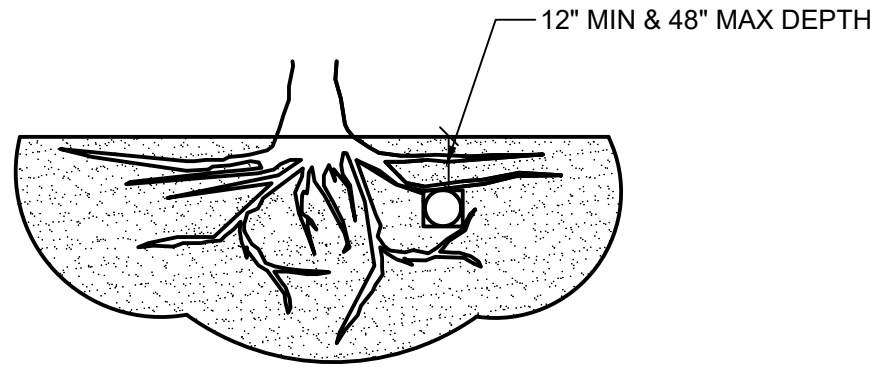
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

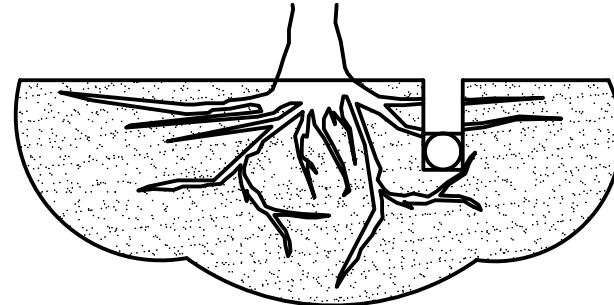
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



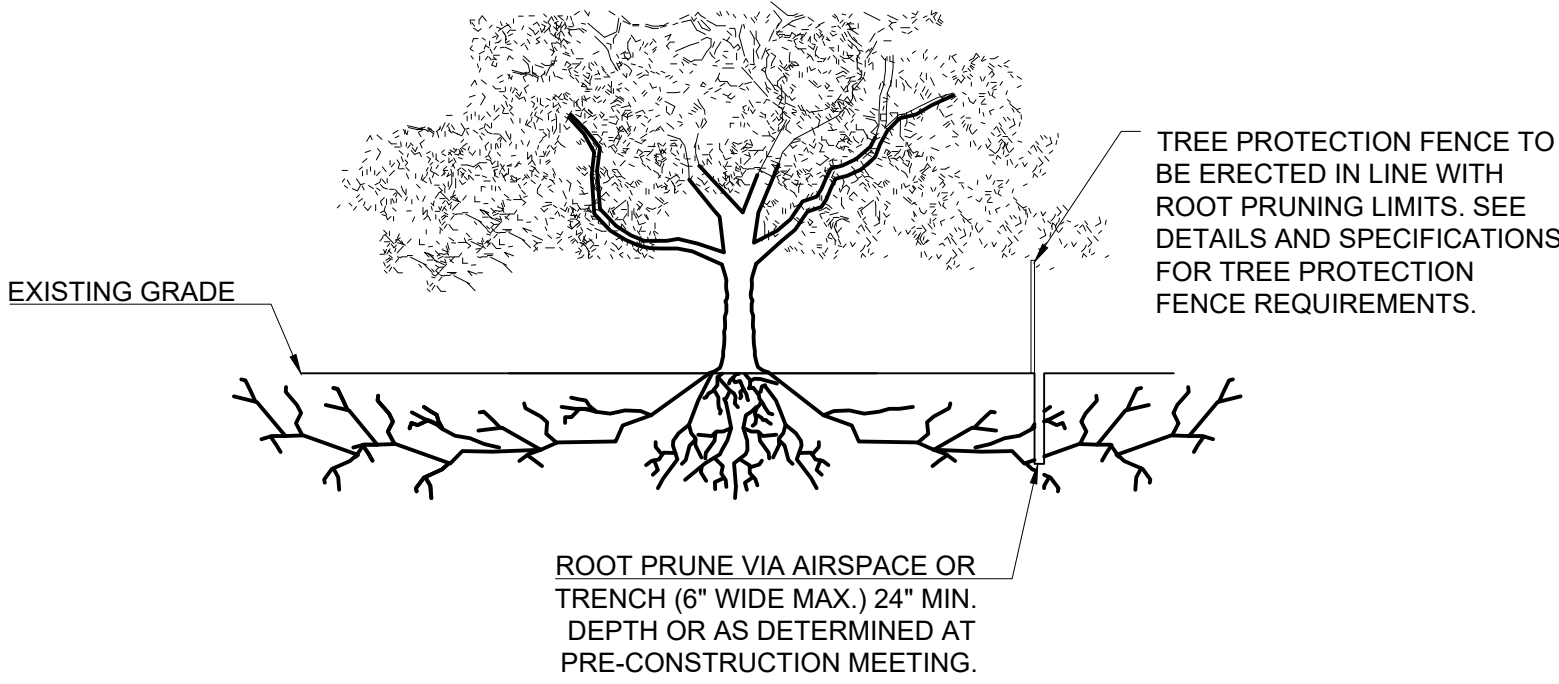
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE

SCALE: NOT TO SCALE

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



ROOT PRUNING DETAIL

SCALE: NOT TO SCALE

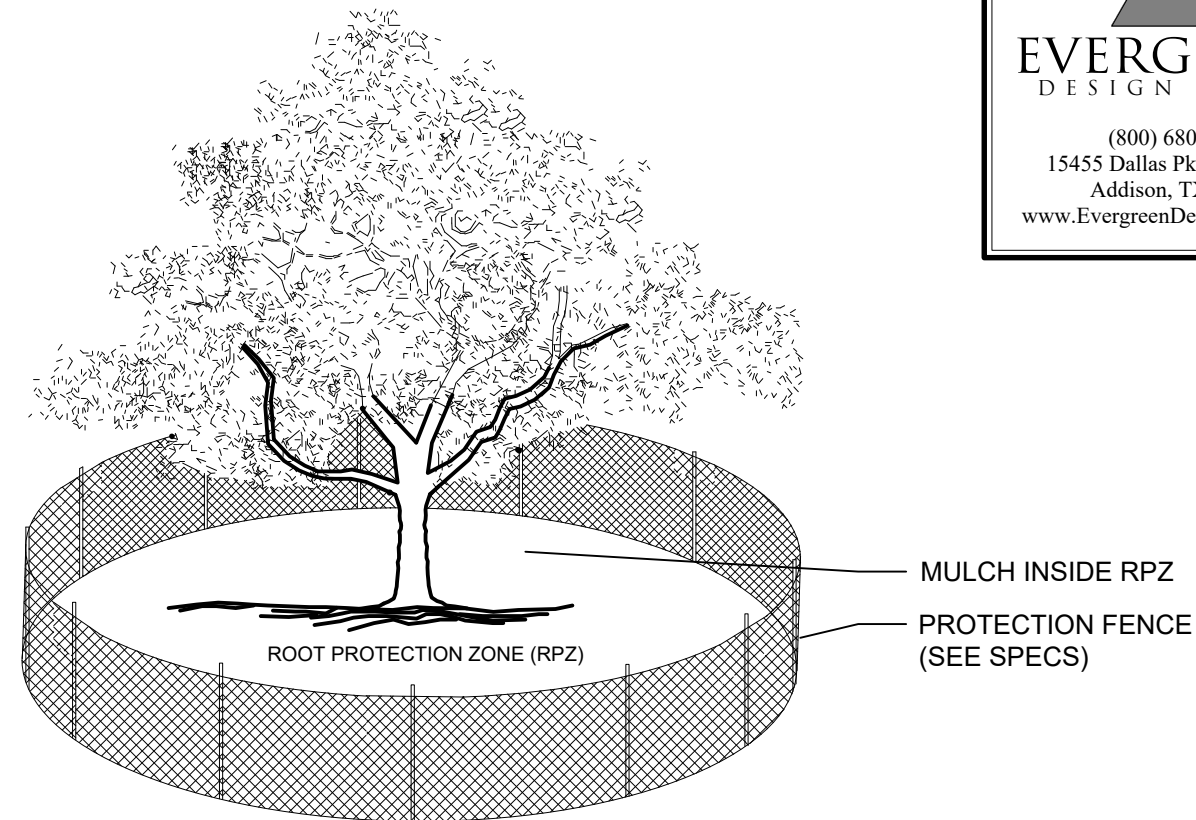
These drawings have been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. These drawings are not guaranteed to be "As Built" but are based on the information made available.

By: *Drew Donosky* Date: 2/15/2024

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

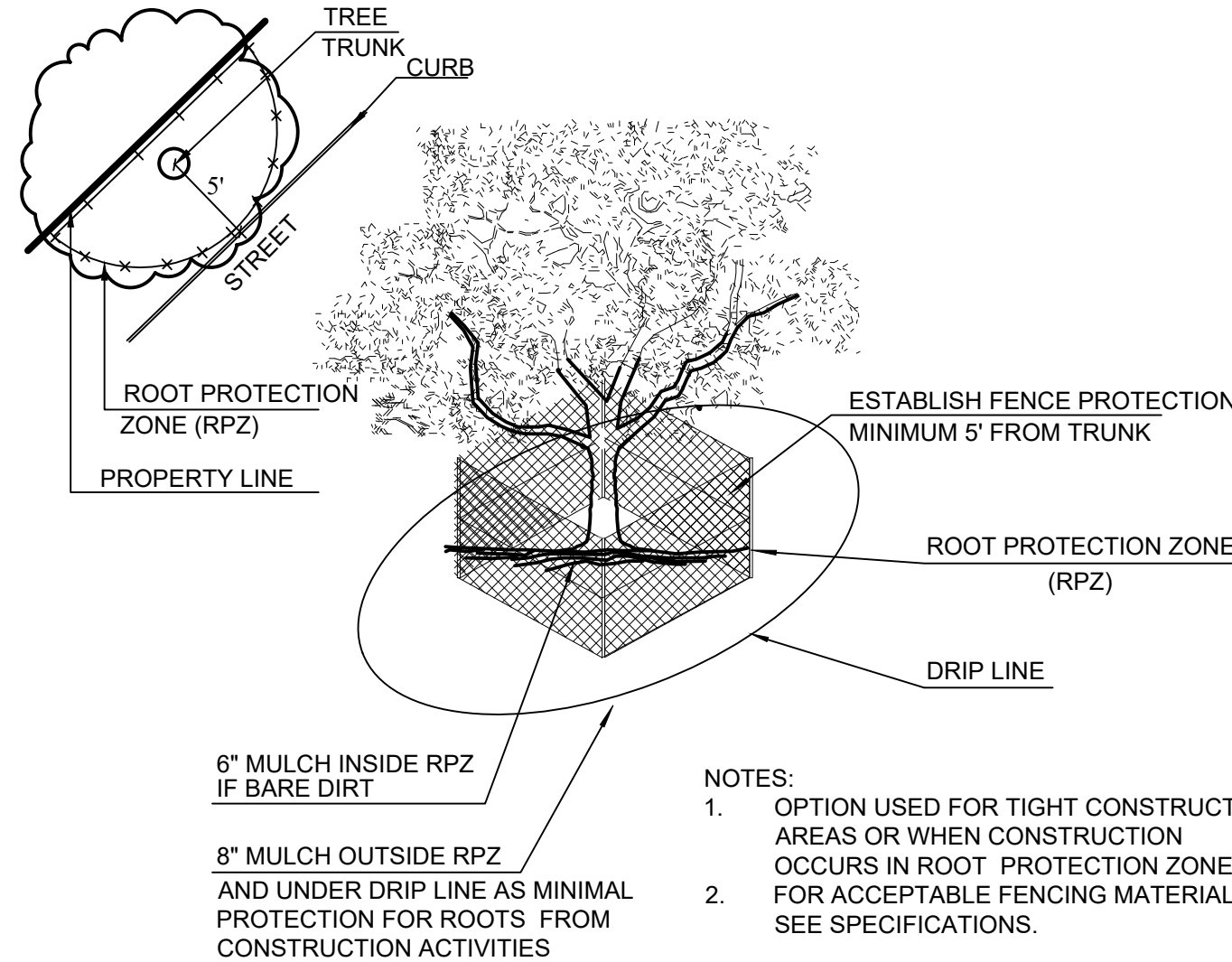


NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

TREE PROTECTION FENCE

SCALE: NOT TO SCALE



NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

TREE PROTECTION FENCE - TIGHT CONSTRUCTION

SCALE: NOT TO SCALE

CASE # : SP2022-009

CAPPS, HODGES, & MORGAN

OWNER:  
DR. CAPPS, DR. HODGES & DR. MORGAN  
CHM REAL ESTATE, LLC  
740 WILFORD WAY, HEATH, TX 75032  
PHONE: 972-771-9500  
EMAIL: CHADJCAPPS@GMAIL.COM

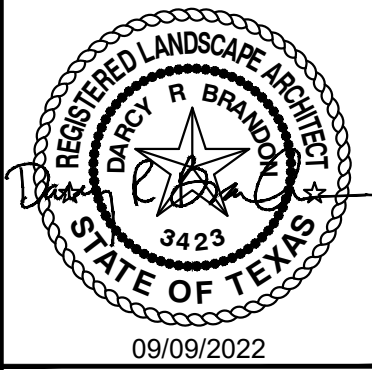
APPLICANT:  
JEFF KILBURG  
APEX DESIGN BUILD  
9550 W. HIGGINS RD., SUITE 170, ROSEMONT, IL 60018  
PH: 847-288-0100  
EMAIL: RAQUELLE@APEXDESIGNBUILD.NET

SURVEYOR  
WINDROSE LAND SURVEYING  
220 ELM STREET, SUITE #200  
LEWISVILLE, TX 75057  
PH: 214.217.2544  
CONTACT NAME: MARK N. PEEPLES

LEGAL DESCRIPTION:  
LOT 5, BLOCK B,  
HORIZON RIDGE ADDITION

CITY: ROCKWALL STATE: TEXAS  
COUNTY: ROCKWALL SURVEY: E. TEAL SURVEY ABSTRACT NO. 207

TEXAS REGISTRATION #14199



CAPPS, HODGES & MORGAN  
1200 SUMMER LEE DRIVE  
ROCKWALL, TX 75032  
SP2022-009

NO.	DATE	REVISION	BY

TREESCAPE PLAN  
SPECS & DETAILS

DESIGN: MKT  
DRAWN: MKT  
CHECKED: ASD  
DATE: 05/24/2022

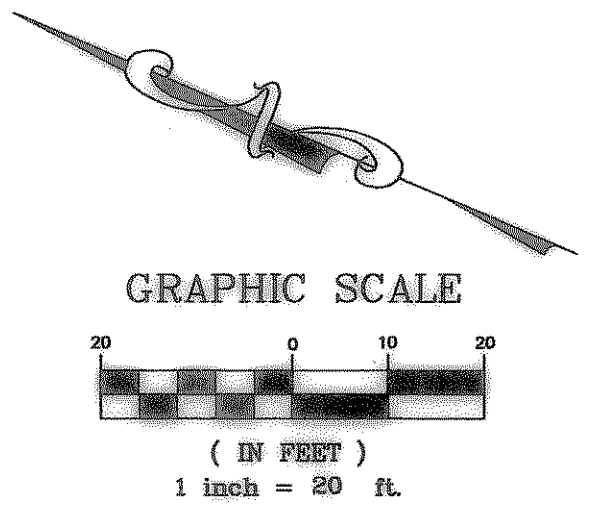
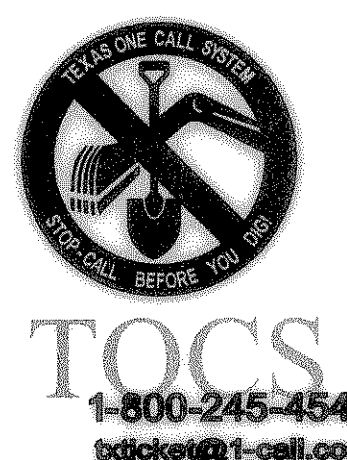
SHEET  
TD-2  
File No. 2020-021







BENCHMARK:  
BOX CUT IN NW CURB RETURN AT  
THE INTERSECTION OF WESTWOOD  
AND ROCKWALL PARKWAY.  
ELEVATION = 537.56



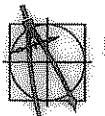
STORM SEWER NOTES

1. THE EXISTENCE AND LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN (MAIN LINES, NO LATERAL OR SERVICES SHOWN) ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO TRENCHING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE RESPECTIVE AGENCIES AND COORDINATING THE LOCATION AND MARKING OF ALL FRANCHISE AND CITY UTILITIES PRIOR TO CONSTRUCTION.
2. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE CITY OF ROCKWALL STANDARD SPECIFICATIONS.
3. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN TWO (2) YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE WATER, STORM SEWER & SANITARY SEWER IN PUBLIC EASEMENTS.
4. TOP RIM ELEVATIONS OF ALL STORM SEWER MANHOLES AND INLETS SHALL BE COORDINATED WITH TOP OF PAVEMENT, TOP OF CURB OR FINISHED GRADE. THE CONTRACTOR SHALL SET ALL UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACEMENT OF PERMANENT PAVEMENT.
5. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES. AS AN ALTERNATE, THE OWNER RESERVES THE RIGHT TO PAY THE INSPECTION FEES DIRECTLY TO THE CITY.
6. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.

RELEASED FOR CONSTRUCTION  
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
REMAINS WITH THE DESIGN ENGINEER. THE CITY  
OF ROCKWALL, IN REVIEWING AND RELEASING  
PLANS FOR CONSTRUCTION, ASSUMES NO  
RESPONSIBILITY FOR ADEQUACY OR ACCURACY  
OF DESIGN.

CITY \_\_\_\_\_ DATE \_\_\_\_\_

RECORD DRAWING  
RECORD INFORMATION PROVIDED BY HANING  
CONSTRUCTION COMPANY, PARIS, TEXAS  
ELEVATION VERIFICATION PERFORMED BY dMAC  
SURVEYING & MAPPING, INC, DENTON, TEXAS

REV.	DATE	REMARKS	BY
STORM SEWER PLAN			
OPEN IMAGING OF ROCKWALL			
CITY OF ROCKWALL, TEXAS			
 RKM Consulting Engineers, Inc. phone (214) 432-0070 14673 Midway Road, Ste 203 Addison, Texas 75001 fax (214) 432-8069 Copyright © 2005 RKM Consulting Engineers, Inc.			
CHECKED	DESIGN	DRAWN	JOB
RKM	RKM	RKM	1012-001
DATE	SCALE	SHEET	
12/14/05	1" = 20'	10	OF 16

