

PROJECT: FIRST BAPTIST CHURCH PARKING ADDITION SOUTH GOLIAD STREET (STATE HIGHWAY NO. 205) LOT 1R, BLOCK M, SANGER BROTHERS ADDITION ROCKWALL, TEXAS

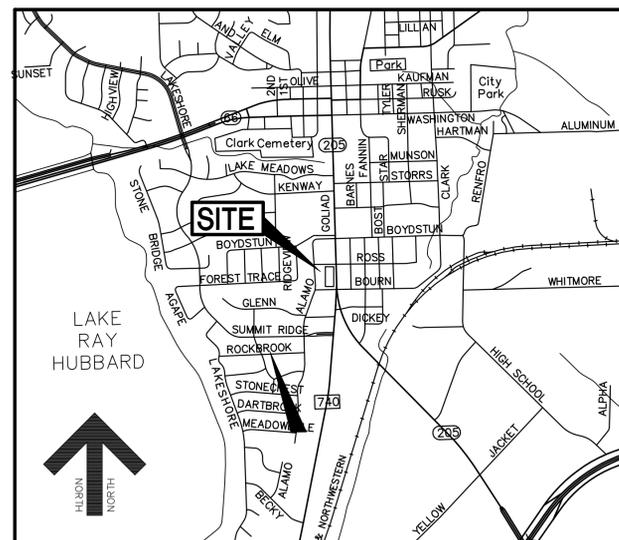
MAY - 2016

OWNER:
FIRST BAPTIST CHURCH OF ROCKWALL
610 SOUTH GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-8459
ATTN: DON FRENCH
EMAIL: don@firstrockwall.org

PREPARED FOR:
CARROLL ARCHITECTS
750 E. INTERSTATE 30, SUITE 110
ROCKWALL, TEXAS 75087
PHONE: (972) 732-6085
ATTN: JEFF CARROLL
EMAIL: jc@carrollarch.com

JDJR	ENGINEERS AND CONSULTANTS, INC.
	TSBPE REGISTRATION NUMBER F-8527
ENGINEERS • SURVEYORS • LAND PLANNERS	
2500 Texas Drive Suite 100 Irving, Texas 75062	
Tel 972-252-5357 (JDJR) Fax 972-252-8958	

THE POSTED SPEED LIMIT
FOR S.H. 205 IS 40 MPH



LOCATION MAP

SCALE: 1"=1500'
MAPSCO NO. 20C-U

SHEET INDEX

- COVERSHEET
- PLAT
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- C2 SITE DEMOLITION PLAN
- C3 EXISTING DRAINAGE AREA MAP
- C4 GRADING, DRAINAGE AND PAVING PLAN
- C5 DETENTION CALCULATIONS
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- C7 EROSION CONTROL PLAN
- C8A SITE DETAILS
- C8B SITE DETAILS
- L1 TREE PRESERVATION PLAN
- L2 LANDSCAPE PLAN

TXDOT DETAILS

- TRAFFIC CONTROL PLAN STANDARD SHEET TCP(1-4)-12
- BARRICADE AND CONSTRUCTION STANDARDS BC(1)-07 THRU BC(12)-07

THE STANDARD SHEETS, SPECIFICALLY IDENTIFIED IN THIS INDEX OF SHEETS, HAVE BEEN SELECTED BY ME OR UNDER MY RESPONSIBLE SUPERVISION AS BEING APPLICABLE TO THIS PROJECT.

James Dewey, Jr. DATE: MAY 18, 2016
JAMES DEWEY, JR., P.E.
REGISTERED PROFESSIONAL ENGINEER NO. 61480



BY SEALING AND SIGNING THESE PERMIT PLANS AS A PROFESSIONAL CIVIL ENGINEER LICENCED TO PRACTICE IN THE STATE OF TEXAS, I CERTIFY THAT THE PROPOSED DRIVEWAY OR PUBLIC STREET CONNECTION(S) TO THE STATE ROADWAY MEETS OR EXCEEDS THE MINIMUM STOPPING SIGHT DISTANCE REQUIRED FOR A DESIGN SPEED OF 60 MILES PER HOUR, BASED ON THE MOST RECENT TXDOT DESIGN MANUAL REQUIREMENTS.

NOTES:

- ALL CONSTRUCTION WITHIN THE STATE RIGHT OF WAY WILL REQUIRE COMPLIANCE TO TXDOT STANDARD SPECIFICATIONS, STANDARD PLANS, AND TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- SPECIFICATIONS ADOPTED BY THE TEXAS DEPARTMENT OF TRANSPORTATION, MARCH 1, 1993, AND SPECIFICATION ITEMS LISTED AND DATED AS FOLLOWS SHALL GOVERN ON THIS PROJECT. FOR ALL WORK WITHIN THE STATE RIGHT OF WAY.

"AS-BUILT"
THIS AS-BUILT DRAWING IS BASED ON INFORMATION OBTAINED FROM BUILDING CONTRACTORS DURING CONSTRUCTION AS PROVIDED TO JDJR ENGINEERS & CONSULTANTS, INC. JDJR ENGINEERS & CONSULTANTS, INC. DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THESE RECORDS.

REVISIONS:	
4-5-16	CITY COMMENTS
5-3-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS FIRST BAPTIST CHURCH OF ROCKWALL is the owner of a tract of land situated in the B. J. T. LEWIS SURVEY ABSTRACT NO. 255, in the City of Rockwall, Rockwall County, Texas, and being part of Lots 1, 2, 3, and 4 in Block M of SANGER BROTHERS ADDITION, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Volume Q, Page 100, Plat Records, Rockwall County, Texas, and all of Lot 5 in Block M of SANGER BROTHERS ADDITION, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 27, Plat Records, Rockwall County, Texas, being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found at the southwest corner of said Lot 5, same being the intersection of the north line of W. Bourn Street with the east line of a 20 foot wide alley;

THENCE North 00 degrees 46 minutes 42 seconds West, along the said east line of 20 foot alley for a distance of 400.00 feet to a point for corner in the south line of W. Ross Street (50 foot right-of-way), same being the northwest corner of said Lot 5, from which a 1/2 inch iron rod found bears North 00 degrees 46 minutes 42 seconds West, a distance of 0.35 feet;

THENCE North 89 degrees 34 minutes 58 seconds East, along said south line of W. Ross Street for a distance of 177.08 feet to a 5/8 inch iron rod with yellow cap stamped "JDJR" set at the north end of a corner clip at the intersection of the said south line of W. Ross Street with the west line of S. Goliad Street (State Highway 205, a variable width right of way);

THENCE South 45 degrees 50 minutes 06 seconds East, along said corner clip and the said west line of S. Goliad Street for a distance of 29.87 feet to a 5/8 inch iron rod with yellow cap stamped "JDJR" set for corner at the south end of said corner clip;

THENCE South 00 degrees 50 minutes 53 seconds East, along the said west line of S. Goliad Street for a distance of 78.62 feet to a 5/8 inch iron rod with yellow cap stamped "JDJR" set for corner;

THENCE South 89 degrees 39 minutes 21 seconds West, along the said west line of S. Goliad Street for a distance of 1.13 feet to a 5/8 inch iron rod with yellow cap stamped "JDJR" set for corner;

THENCE South 00 degrees 50 minutes 53 seconds East, along the said west line of S. Goliad Street for a distance of 279.92 feet to a 1/2 inch iron rod with yellow cap stamped "JDJR" set for corner at the north end of a corner clip;

THENCE South 44 degrees 00 minutes 41 seconds West, along said corner clip and the said west line of S. Goliad Street for a distance of 28.71 feet to the end of said corner clip at the intersection of the said west line of S. Goliad Street with the said north line of W. Bourn Street;

THENCE South 89 degrees 34 minutes 58 seconds West, along the said north line of W. Bourn Street for a distance of 177.31 feet to the POINT OF BEGINNING, and containing a computed area of 1.8046 Acres (78,607.46 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as SANGER BROTHERS ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the SANGER BROTHERS ADDITION have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. The property owner shall be responsible for all maintenance, repair and replacement of all detention/drainage systems.

1. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

Witness our hands at Rockwall County, Texas, this 25 day of August 2016

FIRST BAPTIST CHURCH OF ROCKWALL

Don French
Business Administrator

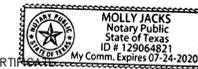
STATE OF TEXAS

COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Don French, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of the said FIRST BAPTIST CHURCH OF ROCKWALL, that they were duly authorized to perform the same by appropriate resolution of the board of directors of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE the 25 day of August, 2016

Molly Jacks
Notary Public
and for the State of Texas



NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, GEARY BAILEY, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Geary Bailey
GEARY BAILEY RPLS NO. 4573



Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
09/29/2016 10:37:48 AM
\$100.00
20160000017153



COPY

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission, Chairman

Date 8/31/2016 2016

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 25 day of August, 2016.

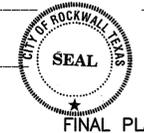
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 28 day of Sept, 2016

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer



FINAL PLAT

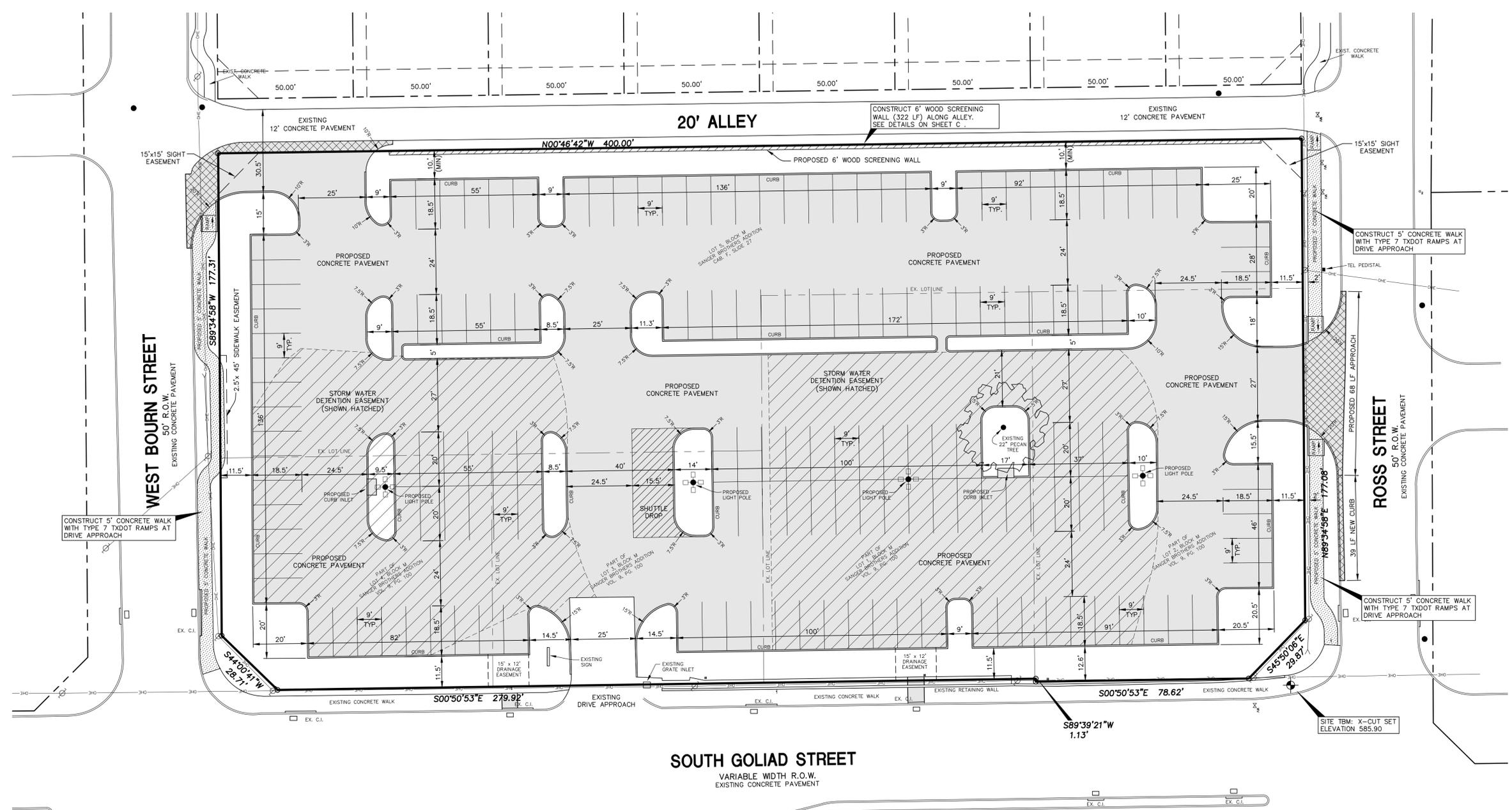
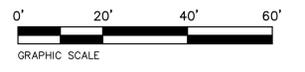
LOT 14, BLOCK M, SANGER BROTHERS ADDITION

BEING A REPLAT OF LOTS 1, 2, 3, 4 AND 5 BLOCK M, SANGER BROTHERS ADDITION AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS BEING 1 LOT TOTALING 1.8046 ACRES

MAY 2016
CASE NO.: P2016-026

Table with 2 columns: Date/Scale and Drawn/Checked. Includes JDJR logo and contact information for Engineers and Consultants, Inc.

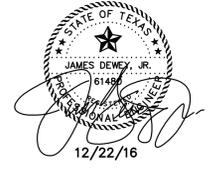
OWNER:
FIRST BAPTIST CHURCH OF ROCKWALL
610 SOUTH GOLIAD STREET
ROCKWALL, TEXAS 75087



"AS-BUILT"
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ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

REVISIONS:	
2-3-16	CITY COMMENTS
4-05-16	CITY COMMENTS
5-3-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



ACCESSIBILITY NOTES:

1. ALL ACCESSIBLE PARKING AREAS, ROUTES, RAMPS, ETC. SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TEXAS ACCESSIBILITY STANDARDS (TAS).
2. ALL SIDEWALK RAMPS AND/OR CURB RAMPS SHOWN SHALL HAVE A MAXIMUM VERTICAL RISE OF 6" WITH A MAXIMUM RUNNING SLOPE OF 1:12 (8.33%) AND BE CONSTRUCTED IN ACCORDANCE WITH TAS SECTIONS 4.7 AND 4.8.
3. ALL ACCESSIBLE ROUTES (EXCEPT FOR THE SIDEWALK AND CURB RAMPS) SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:50 (2%).
4. ALL ACCESSIBLE PARKING SPACES AND ISLES SHALL HAVE A MAXIMUM SLOPE IN ANY DIRECTION OF 1:50 (2%). REFER TO ARCHITECTURAL PLANS FOR DETAILS OF MARKINGS, SIGNS, ETC.

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL STANDARD SPECIFICATIONS, GENERAL DESIGN STANDARDS AND NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, 3RD EDITION, SPECIFICATIONS (AS AMENDED BY CITY OF ROCKWALL).
2. A PAY ITEM FOR TRENCH SAFETY SYSTEMS THAT MEET REGULATIONS FOR EXCAVATING, TRENCHING, AND SHORING CONTAINED IN SUB PART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS SHALL BE INCLUDED IN THE OWNER/CONTRACTOR CONTRACT AGREEMENT IN ACCORDANCE WITH H. B. 665.
3. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE SHOWN.

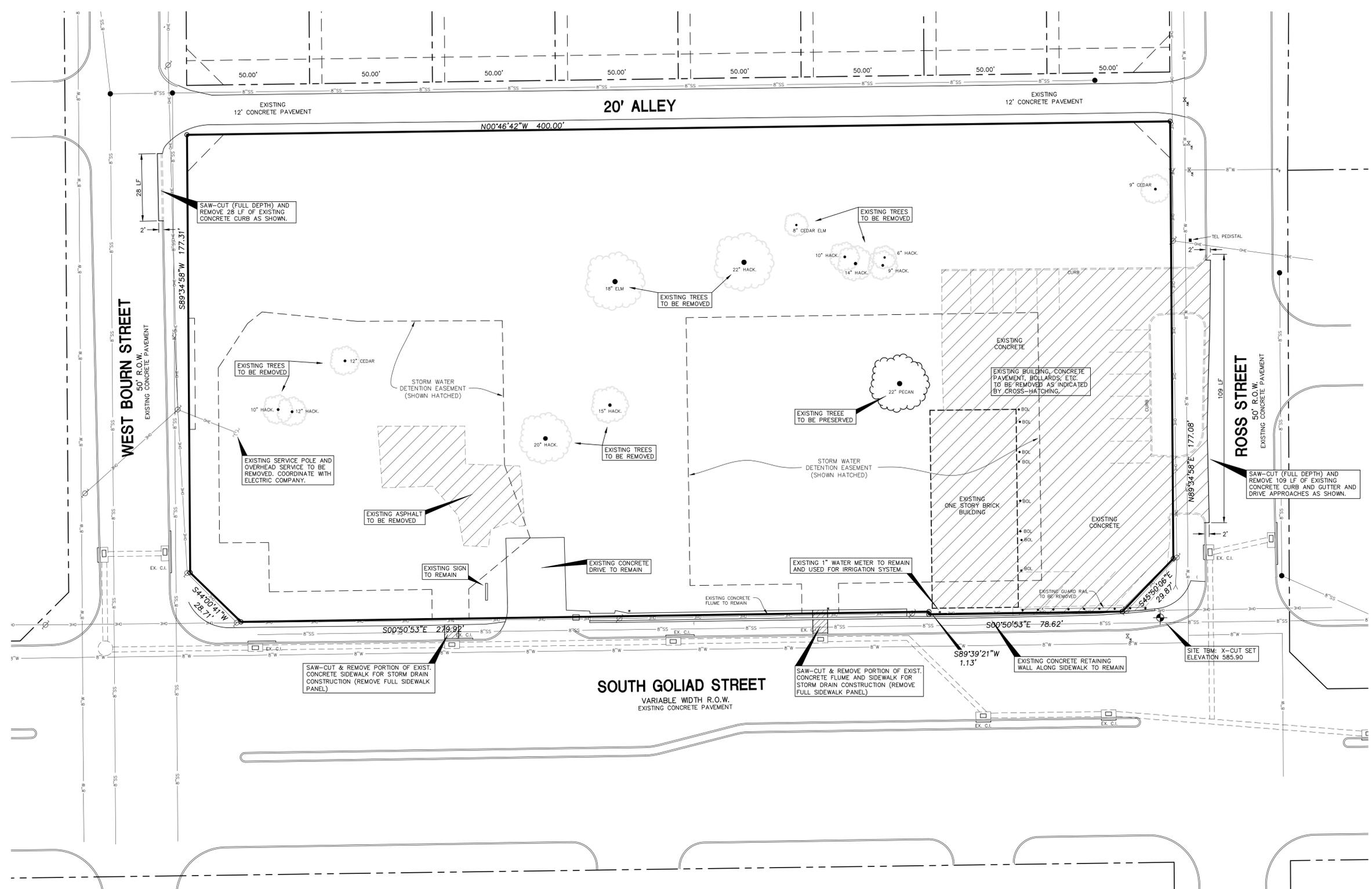
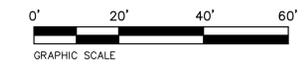
LEGEND

- PROPOSED CONCRETE PAVEMENT (6" 3000 PSI, MINIMUM 5.5 SACK, ON COMPACTED SUBGRADE)
- PROPOSED CONCRETE PAVEMENT (6" 3,600 PSI, MINIMUM 6.5 SACK, ON COMPACTED SUBGRADE)
- PROPOSED CONCRETE WALK (4" 3000 PSI, MINIMUM 5.5 SACK, ON COMPACTED SUBGRADE)

SHEET TITLE:
SITE DIMENSIONAL CONTROL PLAN
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

PREPARED BY:
JDR ENGINEERS & CONSULTANTS, INC.
 TSBPCE REGISTRATION NUMBER F-8527
 ENGINEERS • SURVEYORS • LAND PLANNERS
 2500 Texas Drive Suite 100 Irving, Texas 75062
 Tel 972-252-5357 Fax 972-252-8858

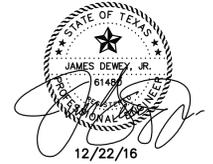
DATE: DEC. 22, 2015 DRAWN BY: SAS SHEET NO.
 SCALE: 1" = 20' CHECKED BY: JDRJ C1 OF 8



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REVISIONS:	
4-05-16	CITY COMMENTS
5-03-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



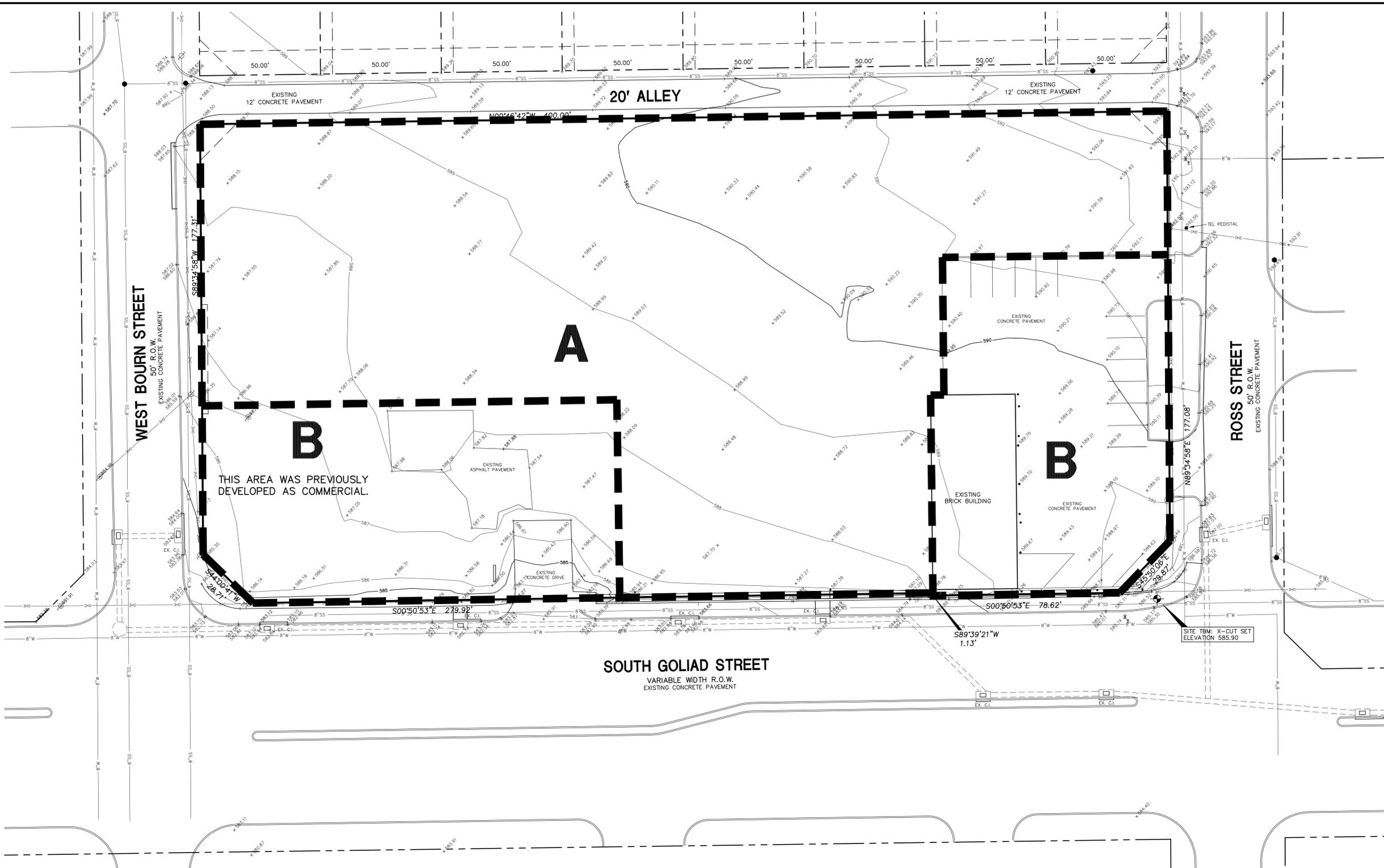
GENERAL NOTES:

- DEMOLITION CONTRACTOR TO BE FAMILIAR WITH ALL PROPOSED CONSTRUCTION PLANS BEFORE ANY SITE DEMOLITION COMMENCES.
- COORDINATE ALL SITE DEMOLITION WITH THE OWNER AND UTILITY COMPANIES.
- THE LOCATION OF ALL UNDERGROUND FACILITIES AS INDICATED ON THE PLANS ARE TAKEN FROM PUBLIC RECORDS. JDJR ENGINEERS & CONSULTANTS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SUCH RECORDS AND DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN OR ARE LOCATED PRECISELY AS INDICATED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHEATHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.
- NOTIFY JDJR ENGINEERS & CONSULTANTS IF ANY UNDERGROUND UTILITIES ARE NOT IN THE LOCATIONS INDICATED ON THESE PLANS (HORIZONTALLY AND VERTICALLY) OR CONFLICT WITH ANY PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS.
- THE DRAWINGS SHOW THE EXTENT OF THE DEMOLITION. HOWEVER, IT IS IMPRACTICAL TO NOTE EVERY DEMOLITION ITEM, THEREFORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE IN THEIR CONTRACT COSTS TO REMOVE ALL NECESSARY ITEMS TO MAKE WAY FOR NEW CONSTRUCTION.

SHEET TITLE:
SITE DEMOLITION PLAN
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

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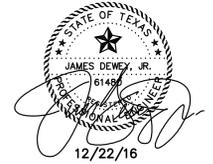
DATE: DEC. 22, 2015	DRAWN BY: SAS	SHEET NO.
SCALE: 1" = 20'	CHECKED BY: JDJR	C2 OF 8



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REVISIONS:	
4-05-16	CITY COMMENTS
5-03-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



PRE DEVELOPMENT DRAINAGE DATA													
AREA NO.	ACRES	C	T _c MIN	I ₅ IN/HR	Q ₅ CFS	I ₁₀ IN/HR	Q ₁₀ CFS	I ₂₅ IN/HR	Q ₂₅ CFS	I ₁₀₀ IN/HR	Q ₁₀₀ CFS	COMMENTS	
A	1.18	0.35	20	4.90	2.02	5.90	2.44	6.60	2.73	8.30	3.43	EXISTING UNDEVELOPED AREA	
B	0.62	0.90	20	4.90	2.73	5.90	3.29	6.60	3.68	8.30	4.63	EXISTING OR PREVIOUSLY DEVELOPED AREA	
TOTAL EXIST. FLOW (A)	1.80	0.54			4.75		5.73		6.41		8.06	TOTAL EXISTING FLOW FROM SITE	

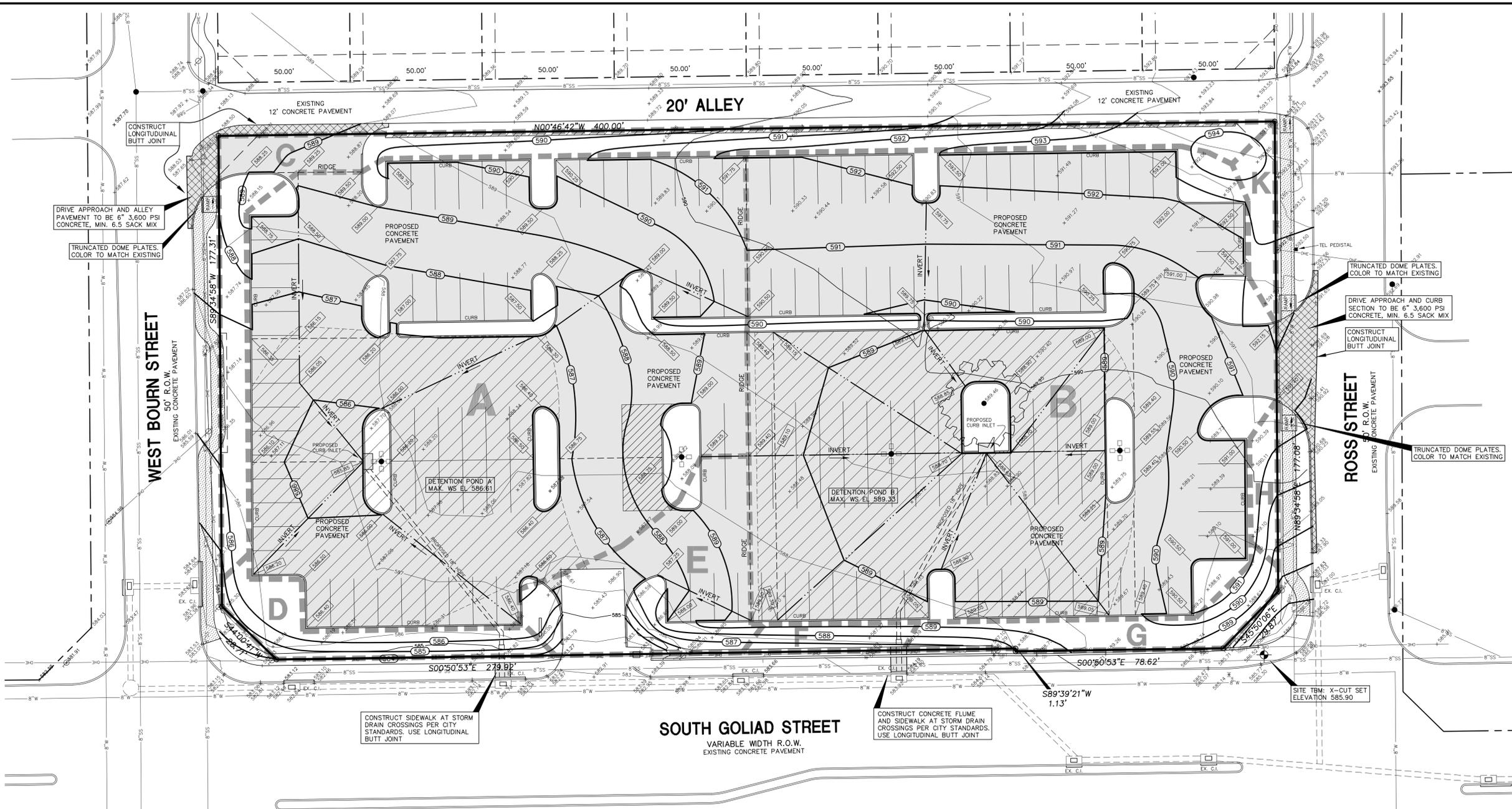
LEGEND

- 624 — EXISTING CONTOUR LINE
- + 480.25 EXISTING SPOT ELEVATION
- — — DRAINAGE AREA DIVIDE LINE

SHEET TITLE:
EXISTING DRAINAGE AREA MAP
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

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DATE: DEC. 22, 2015 DRAWN BY: SAS SHEET NO.
 SCALE: 1" = 20' CHECKED BY: JDRJ **C3** OF **8**

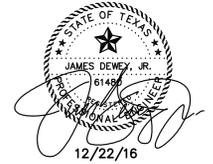


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BENCH MARK: CITY CONTROL MONUMENT NO. R005-1 WEST MEDIAN OF SUMMIT RIDGE DRIVE AT F.M. 740 ELEVATION 578.63
 SITE TBM: X-CUT SET IN CONCRETE WALK AT THE NORTH WEST CORNER OF THIS PROPERTY. ELEVATION 585.90

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REVISIONS:	
4-05-16	CITY COMMENTS
5-03-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



12/22/16

- GENERAL NOTES:**
1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS, GENERAL DESIGN STANDARDS AND NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, 3RD EDITION, SPECIFICATIONS (AS AMENDED BY CITY OF ROCKWALL).
 2. ALL SPOT ELEVATIONS ADJACENT TO CURBS ARE GUTTER ELEVATIONS UNLESS OTHERWISE SHOWN.
 3. ALL SITE PAVING TO BE DONE IN ACCORDANCE TO CITY SPECIFICATIONS AND THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
 4. ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO CITY SPECIFICATIONS AND THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
 5. BARRICADING & TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS IN THE TEXAS MANUAL OF UNIFORM CONTROL DEVICES AND THE CITY OF CARROLLTON REQUIREMENTS.

- EXISTING UTILITIES NOTES:**
1. THE LOCATION OF ALL UNDERGROUND FACILITIES AS INDICATED ON THE PLANS ARE TAKEN FROM PUBLIC RECORDS. JDR ENGINEERS & CONSULTANTS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SUCH RECORDS AND DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN OR ARE LOCATED PRECISELY AS INDICATED.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 3. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.
 4. NOTIFY JDR ENGINEERS & CONSULTANTS IF ANY UNDERGROUND UTILITIES ARE NOT IN THE LOCATIONS INDICATED ON THESE PLANS (HORIZONTALLY AND VERTICALLY) OR CONFLICT WITH ANY PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS.

- ACCESSIBILITY NOTES:**
1. ALL ACCESSIBLE PARKING AREAS, ROUTES, RAMPS, ETC. SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TEXAS ACCESSIBILITY STANDARDS (TAS).
 2. ALL SIDEWALK RAMPS AND/OR CURB RAMPS SHOWN SHALL HAVE A MAXIMUM VERTICAL RISE OF 6" WITH A MAXIMUM RUNNING SLOPE OF 1:12 (8.33%) AND BE CONSTRUCTED IN ACCORDANCE WITH TAS SECTIONS 4.7 AND 4.8.
 3. ALL ACCESSIBLE ROUTES (EXCEPT FOR THE SIDEWALK AND CURB RAMPS) SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:50 (2%).
 4. ALL ACCESSIBLE PARKING SPACES AND ISLES SHALL HAVE A MAXIMUM SLOPE IN ANY DIRECTION OF 1:50 (2%). REFER TO ARCHITECTURAL PLANS FOR DETAILS OF MARKINGS, SIGNS, ETC.
 5. ALL FACILITIES CONSTRUCTED ON STATE RIGHT-OF-WAY SHALL CONFORM TO STATE AND FEDERAL ACCESSIBILITY STANDARDS. APPROVAL AND FINAL INSPECTION BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION MAY BE NECESSARY. THE GRANTEE IS RESPONSIBLE FOR COORDINATION AND/OR PERMITTING AND WITH THESE ENTITIES. TxDOT MAY REQUIRE EVIDENCE OF COORDINATION.

LEGEND

	624	EXISTING CONTOUR LINE		PROPOSED CONCRETE PAVEMENT (6" 3000 PSI, MINIMUM 5.5 SACK, ON COMPACTED SUBGRADE)
	+ 480.25	EXISTING SPOT ELEVATION		PROPOSED CONCRETE PAVEMENT AT GUTTER (TOP OF CURB IS 6" OR 0.5" HIGHER UNLESS SHOWN OTHERWISE)
	618	PROPOSED CONTOUR LINE		PROPOSED CONCRETE WALK (4" 3000 PSI, MINIMUM 5.5 SACK, ON COMPACTED SUBGRADE)
		INVERT OR FLOWLINE		INDICATES LIMITS OF DETENTION PONDING AREAS
		DRAINAGE AREA DIVIDE LINE		

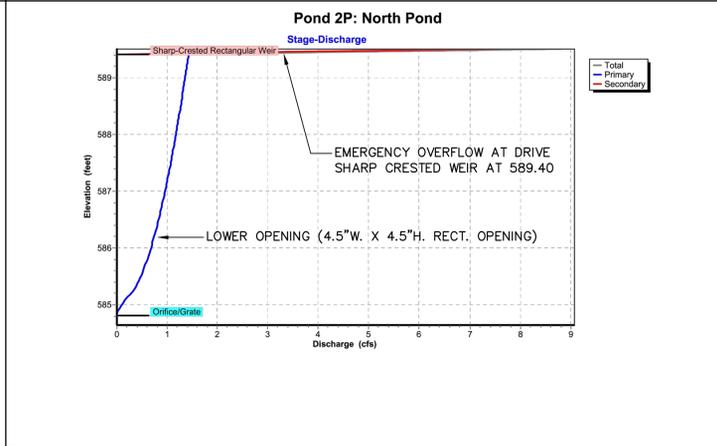
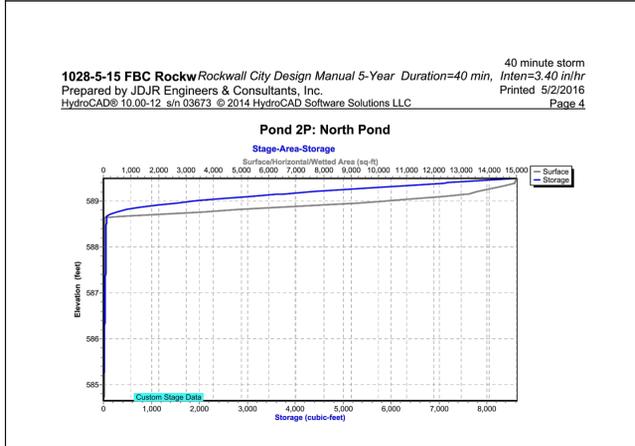
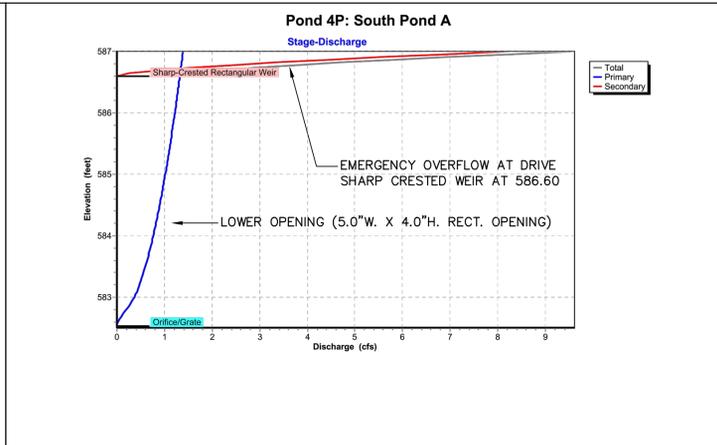
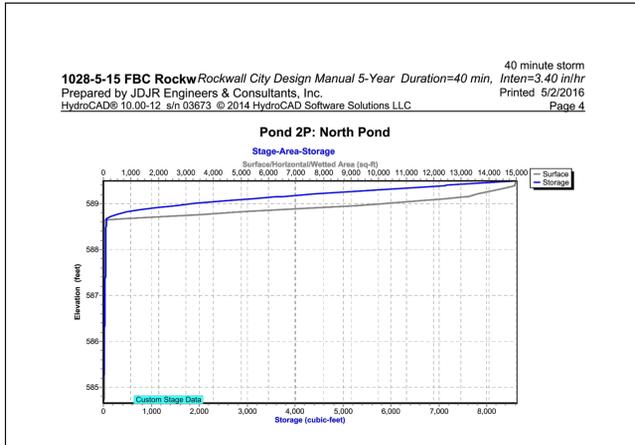
SHEET TITLE:
GRADING, DRAINAGE AND PAVING PLAN
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

PREPARED BY:
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DATE: DEC. 22, 2015 DRAWN BY: SAS SHEET NO.
 SCALE: 1" = 20' CHECKED BY: JDRJ C4 of 8

STAGE - STORAGE CURVES

STAGE - DISCHARGE CURVES



POND A (SOUTH POND) SUMMARY FOR 100-YR. MAX. STORM

40 minute storm
 1028-5-15 FBC Roc Rockwall City Design Manual 100-Year Duration=40 min, Inten=5.80 in/hr
 Prepared by JDJR Engineers & Consultants, Inc. Printed 5/2/2016
 HydroCAD® 10.00-12 s/n 03673 © 2014 HydroCAD Software Solutions LLC Page 58

Summary for Pond 4P: South Pond A
 Inflow Area = 0.680 ac, 0.00% Impervious, Inflow Depth = 3.48" for 100-Year event
 Inflow = 3.58 cfs @ 0.17 hrs, Volume= 0.197 af
 Outflow = 1.40 cfs @ 0.77 hrs, Volume= 0.197 af, Atten= 61%, Lag= 35.9 min
 Primary = 1.32 cfs @ 0.77 hrs, Volume= 0.197 af
 Secondary = 0.07 cfs @ 0.77 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Peak Elev= 586.61' @ 0.77 hrs Surf.Area= 11,883 sf Storage= 5,050 cf

Plug-Flow detention time= 32.7 min calculated for 0.197 af (100% of inflow)
 Center-of-Mass det. time= 32.9 min (57.9 - 25.0)

Volume	Invert	Avail. Storage	Storage Description
#1	582.50'	9,696 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf. Area (sq-ft)	Inc. Store (cubic-feet)	Cum. Store (cubic-feet)
582.50	0	0	0
582.55	15	0	0
585.85	15	49	50
586.00	1,125	85	135
586.20	6,415	754	889
586.40	11,005	1,742	2,631
586.60	11,880	2,289	4,920
587.00	12,000	4,776	9,696

Device	Routing	Invert	Outlet Devices
#1	Primary	582.52'	5.0' W x 4.0' H Vert. Orifice/Grate C= 0.600
#2	Secondary	586.60'	10.0' long Sharp-Crested Rectangular Weir 2 End Contractions

Primary OutFlow Max=1.32 cfs @ 0.77 hrs HW=586.61' (Free Discharge)
 1=Orifice/Grate (Orifice Controls 1.32 cfs @ 9.54 fps)

Secondary OutFlow Max=0.04 cfs @ 0.77 hrs HW=586.61' (Free Discharge)
 2=Sharp-Crested Rectangular Weir (Weir Controls 0.04 cfs @ 0.34 fps)

POND B (NORTH POND) SUMMARY FOR 100-YR. MAX. STORM

40 minute storm
 1028-5-15 FBC Roc Rockwall City Design Manual 100-Year Duration=40 min, Inten=5.80 in/hr
 Prepared by JDJR Engineers & Consultants, Inc. Printed 5/2/2016
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Summary for Pond 2P: North Pond
 Inflow Area = 0.780 ac, 0.00% Impervious, Inflow Depth = 3.48" for 100-Year event
 Inflow = 4.11 cfs @ 0.17 hrs, Volume= 0.226 af
 Outflow = 1.41 cfs @ 0.78 hrs, Volume= 0.226 af, Atten= 66%, Lag= 36.4 min
 Primary = 1.41 cfs @ 0.78 hrs, Volume= 0.226 af
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Peak Elev= 589.33' @ 0.78 hrs Surf.Area= 14,444 sf Storage= 6,072 cf

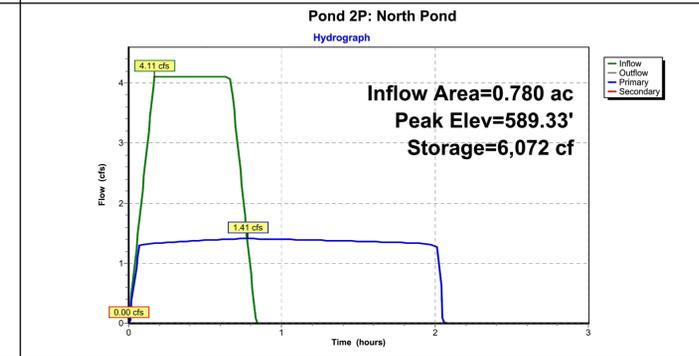
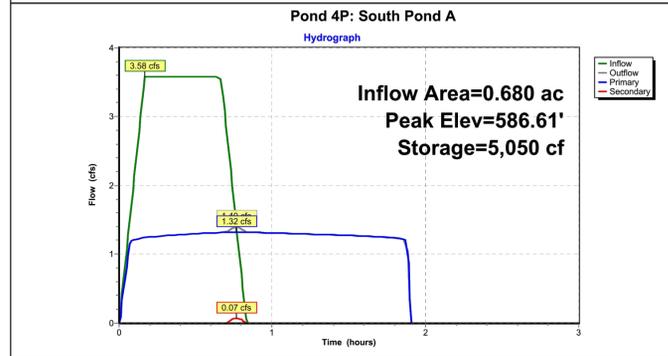
Plug-Flow detention time= 37.0 min calculated for 0.225 af (100% of inflow)
 Center-of-Mass det. time= 37.1 min (62.1 - 25.0)

Volume	Invert	Avail. Storage	Storage Description
#1	584.65'	8,613 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf. Area (sq-ft)	Inc. Store (cubic-feet)	Cum. Store (cubic-feet)
584.65	0	0	0
584.75	15	1	1
588.65	15	58	59
589.00	10,204	1,788	1,848
589.15	13,172	1,753	3,601
589.40	14,949	3,515	7,116
589.50	15,000	4,497	8,613

Device	Routing	Invert	Outlet Devices
#1	Primary	584.82'	4.5' W x 4.5' H Vert. Orifice/Grate C= 0.600
#2	Secondary	589.40'	36.0' long Sharp-Crested Rectangular Weir X 2.00 2 End Contractions(s) 0.5' Crest Height

Primary OutFlow Max=1.41 cfs @ 0.78 hrs HW=589.33' (Free Discharge)
 1=Orifice/Grate (Orifice Controls 1.41 cfs @ 10.01 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=584.65' (Free Discharge)
 2=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)



POND A (SOUTH POND) VOLUME SUMMARY

Elevation (feet)	Surf. Area (sq-ft)	Inc. Store (cubic-feet)	Cum. Store (cubic-feet)
582.50	0	0	0
582.55	15	0	0
585.85	15	49	50
586.00	1,125	85	135
586.20	6,415	754	889
586.40	11,005	1,742	2,631
586.60	11,880	2,289	4,920
587.00	12,000	4,776	9,696

POND B (NORTH POND) VOLUME SUMMARY

Elevation (feet)	Surf. Area (sq-ft)	Inc. Store (cubic-feet)	Cum. Store (cubic-feet)
584.65	0	0	0
584.75	15	1	1
588.60	15	58	59
589.00	10,204	1,788	1,848
589.15	13,172	1,753	3,601
589.40	14,949	3,515	7,116
589.50	15,000	4,497	8,613

SUMMARY OF DETENTION CALCULATIONS POND A (SOUTH POND)

STORM DURATION MINUTES	5-YEAR STORM			10-YEAR STORM			25-YEAR STORM			100-YEAR STORM		
	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET
10	3.70	1.26	586.22/0.37	4.30	1.27	586.27/0.42	5.03	1.27	586.32/0.47	5.94	1.28	586.37/0.52
20	3.02	1.27	586.31/0.46	3.64	1.28	586.38/0.53	4.07	1.29	586.42/0.57	5.12	1.31	586.53/0.68
30	2.53	1.28	586.33/0.48	2.96	1.29	586.40/0.55	3.39	1.30	586.47/0.62	4.26	1.32	586.60/0.75
40	2.10	1.27	586.31/0.46	2.47	1.29	586.39/0.54	2.84	1.30	586.47/0.62	3.58	1.37	586.61/0.76
50	1.73	1.26	586.26/0.41	2.16	1.29	586.38/0.53	2.47	1.30	586.46/0.61	3.09	1.37	586.61/0.76
60	1.60	1.26	586.24/0.39	1.85	1.28	586.33/0.52	2.16	1.29	586.43/0.58	3.09	1.37	586.61/0.76

SUMMARY OF DETENTION CALCULATIONS POND B (NORTH POND)

STORM DURATION MINUTES	5-YEAR STORM			10-YEAR STORM			25-YEAR STORM			100-YEAR STORM		
	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET	PEAK INFLOW CFS	PEAK OUTFLOW CFS	MAX. PONDING ELEV. FT (MSL)/FEET
10	4.24	1.34	588.94/0.29	4.94	1.35	588.98/0.33	5.77	1.36	589.03/0.38	6.82	1.37	589.08/0.43
20	3.47	1.36	589.03/0.38	4.18	1.37	589.09/0.44	4.67	1.38	589.14/0.49	5.88	1.39	589.24/0.59
30	2.90	1.36	589.05/0.40	3.40	1.37	589.12/0.47	3.89	1.38	589.19/0.54	4.88	1.40	589.30/0.65
40	2.41	1.36	589.04/0.39	2.83	1.37	589.12/0.47	3.26	1.38	589.19/0.54	4.11	1.41	589.33/0.68
50	1.98	1.35	588.99/0.34	2.48	1.37	589.11/0.46	2.83	1.38	589.18/0.53	3.54	1.41	589.33/0.68
60	1.84	1.35	588.98/0.33	2.12	1.36	589.07/0.42	2.48	1.38	589.16/0.51	3.19	1.41	589.33/0.68

PRE DEVELOPMENT DRAINAGE DATA

AREA NO.	ACRES	C	T _C MIN	I ₅ IN/HR	Q ₅ CFS	I ₁₀ IN/HR	Q ₁₀ CFS	I ₂₅ IN/HR	Q ₂₅ CFS	I ₁₀₀ IN/HR	Q ₁₀₀ CFS	COMMENTS
A	1.18	0.35	15	4.90	2.02	5.9	2.44	6.60	2.73	8.30	3.43	EXISTING UNDEVELOPED AREA
B	0.62	0.90	15	4.90	2.73	5.9	3.29	6.60	3.68	8.30	4.63	EXISTING OR PREVIOUSLY DEVELOPED AREA
TOTAL EXIST. FLOW (A)	1.80	0.54			4.75		5.73		6.41		8.06	TOTAL EXISTING FLOW FROM SITE

POST DEVELOPMENT DRAINAGE DATA

AREA NO.	ACRES	C	T _C MIN	I ₅ IN/HR	Q ₅ CFS	I ₁₀ IN/HR	Q ₁₀ CFS	I ₂₅ IN/HR	Q ₂₅ CFS	I ₁₀₀ IN/HR	Q ₁₀₀ CFS	COMMENTS
A	0.68	0.90	10	6.1	3.73	7.1	4.35	8.3	5.08	9.8	6.00	PROPOSED FLOW TO DETENTION AREA A
B	0.78	0.90	10	6.1	4.28	7.1	4.98	8.3	5.83	9.8	6.88	PROPOSED FLOW TO DETENTION AREA B
C	0.13	0.90	10	6.1	0.71	7.1	0.83	8.3	0.97	9.8	1.15	BY-PASS TO WEST BOURN STREET
D	0.05	0.90	10	6.1	0.27	7.1	0.32	8.3	0.37	9.8	0.44	BY-PASS TO SOUTH GOLIAD STREET
E	0.10	0.90	10	6.1	0.55	7.1	0.64	8.3	0.75	9.8	0.88	BY-PASS TO SOUTH GOLIAD STREET
F	0.01	0.90	10	6.1	0.05	7.1	0.06	8.3	0.07	9.8	0.09	BY-PASS TO SOUTH GOLIAD STREET
G	0.04	0.90	10	6.1	0.22	7.1	0.26	8.3	0.30	9.8	0.35	BY-PASS TO SOUTH GOLIAD STREET
H	0.01	0.90	10	6.1	0.05	7.1	0.06	8.3	0.07	9.8	0.09	BY-PASS TO ROSS STREET
J	0.02	0.90	10	6.1	0.11	7.1	0.13	8.3	0.15	9.8	0.18	BY-PASS TO ROSS STREET
TOTAL POND BYPASS (B)					1.96		2.30		2.68		3.18	TOTAL FLOW THAT BYPASSES DETENTION PONDS (AREA C-K)

DETENTION REQUIREMENT SUMMARY

AREA NO.	Q ₅ CFS	Q ₁₀ CFS	Q ₂₅ CFS	Q ₁₀₀ CFS	COMMENTS
TOTAL EXIST. FLOW (A)	4.75	5.73	6.41	8.06	TOTAL EXISTING UNDEVELOPED AREA
TOTAL POND BYPASS (B)	1.96	2.30	2.68	3.18	TOTAL FLOW THAT BYPASSES DETENTION
TOTAL ALLOWED FLOW FROM PONDS (A-B)	2.77	3.43	3.71	4.88	MAXIMUM ALLOWED FLOW FROM BOTH PONDS
TOTAL FLOW FROM PONDS A & B (C-A-B)	2.64	2.66	2.68	2.78	TOTAL FLOW FROM BOTH PONDS

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REVISIONS:

NO.	DATE	DESCRIPTION
4-05-16		CITY COMMENTS
5-03-16		CITY COMMENTS
5-18-16		CITY COMMENTS
12-22-16		AS-BUILT

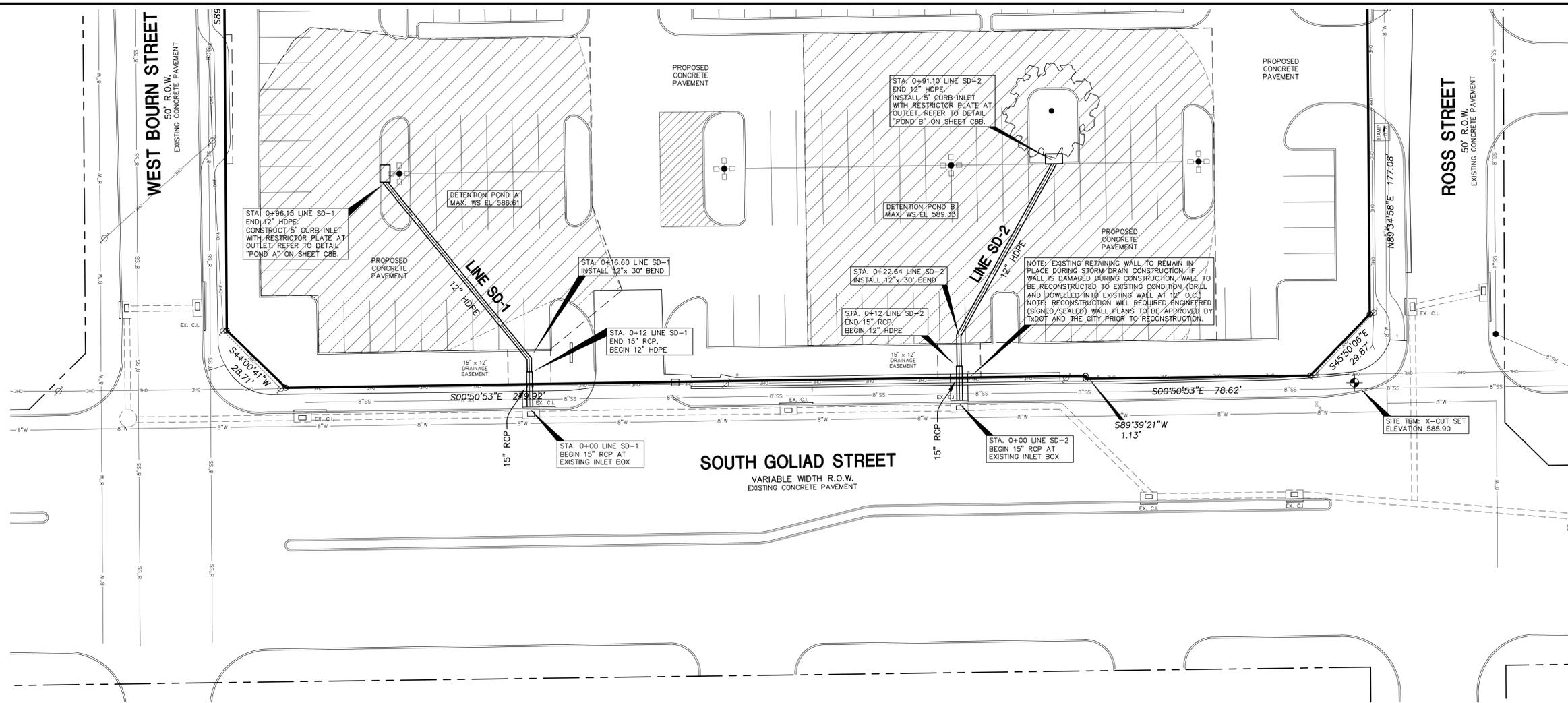


SHEET TITLE:
DETENTION CALCULATIONS
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 ROCKWALL, TEXAS

PREPARED BY:
JDJR ENGINEERS & CONSULTANTS, INC.
 TSBPPE REGISTRATION NUMBER F-8627

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 2500 Texas Drive Suite 100 Irving, Texas 75062
 Tel 972-252-6357 Fax 972-252-8858

DATE: DEC. 21, 2015	DRAWN BY: SAS	SHEET NO.
SCALE: 1" = 100'	CHECKED BY: JDJR	C5 OF 6



- GENERAL NOTES:
1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS, GENERAL DESIGN STANDARDS AND NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, 3RD EDITION, SPECIFICATIONS (AS AMENDED BY CITY OF ROCKWALL).
 2. ALL SPOT ELEVATIONS ADJACENT TO CURBS ARE GUTTER ELEVATIONS UNLESS OTHERWISE SHOWN.
 3. ALL SITE PAVING TO BE DONE IN ACCORDANCE TO CITY SPECIFICATIONS AND THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
 4. ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO CITY SPECIFICATIONS AND THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
 5. BARRICADING & TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS IN THE TEXAS MANUAL OF UNIFORM CONTROL DEVICES AND THE CITY OF CARROLLTON REQUIREMENTS.

- EXISTING UTILITIES NOTES:
1. THE LOCATION OF ALL UNDERGROUND FACILITIES AS INDICATED ON THE PLANS ARE TAKEN FROM PUBLIC RECORDS. JDJR ENGINEERS & CONSULTANTS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SUCH RECORDS AND DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN OR ARE LOCATED PRECISELY AS INDICATED.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 3. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.
 4. NOTIFY JDJR ENGINEERS & CONSULTANTS IF ANY UNDERGROUND UTILITIES ARE NOT IN THE LOCATIONS INDICATED ON THESE PLANS (HORIZONTALLY AND VERTICALLY) OR CONFLICT WITH ANY PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS.

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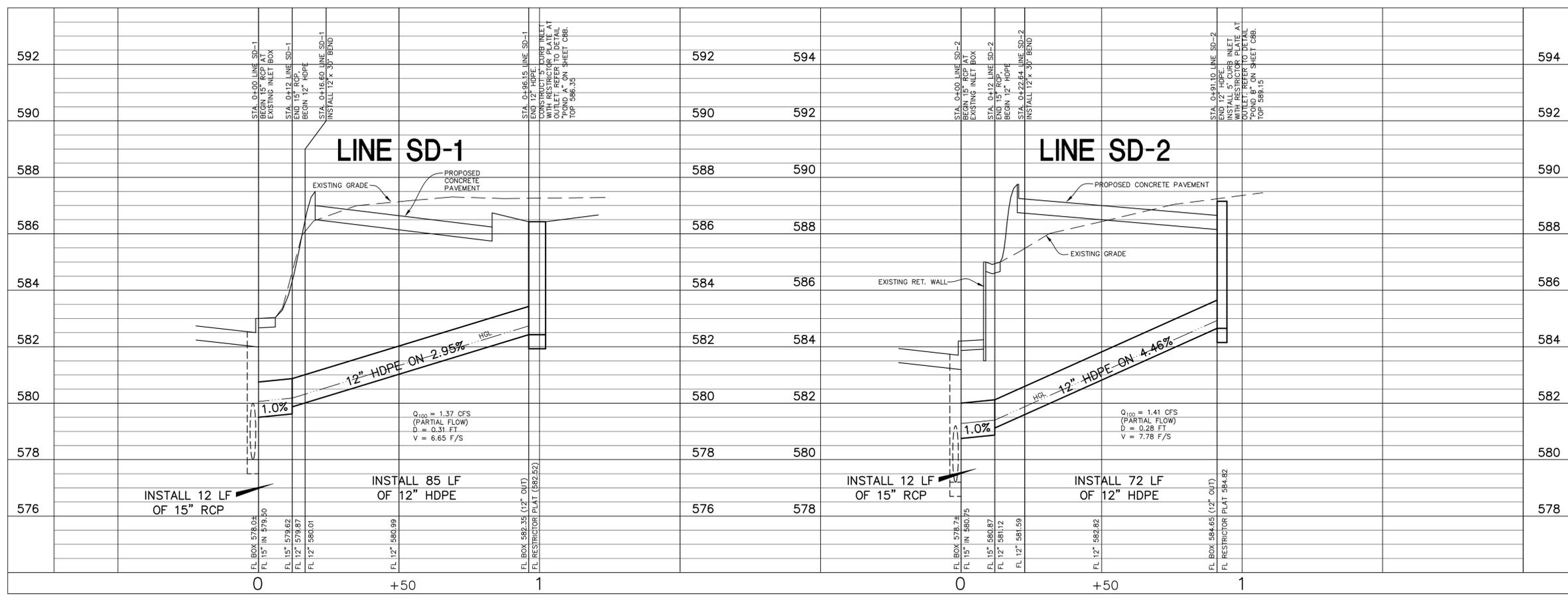
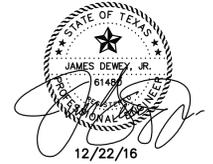
NOTE: SEE SHEET C8B FOR EROSION CONTROL DETAILS.

BENCH MARK: CITY CONTROL MONUMENT NO. R005-1 WEST MEDIAN OF SUMMIT RIDGE DRIVE AT F.M. 740 ELEVATION 578.63

SITE TBM: X-CUT SET IN CONCRETE WALK AT THE NORTH WEST CORNER OF THIS PROPERTY. ELEVATION 585.90

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

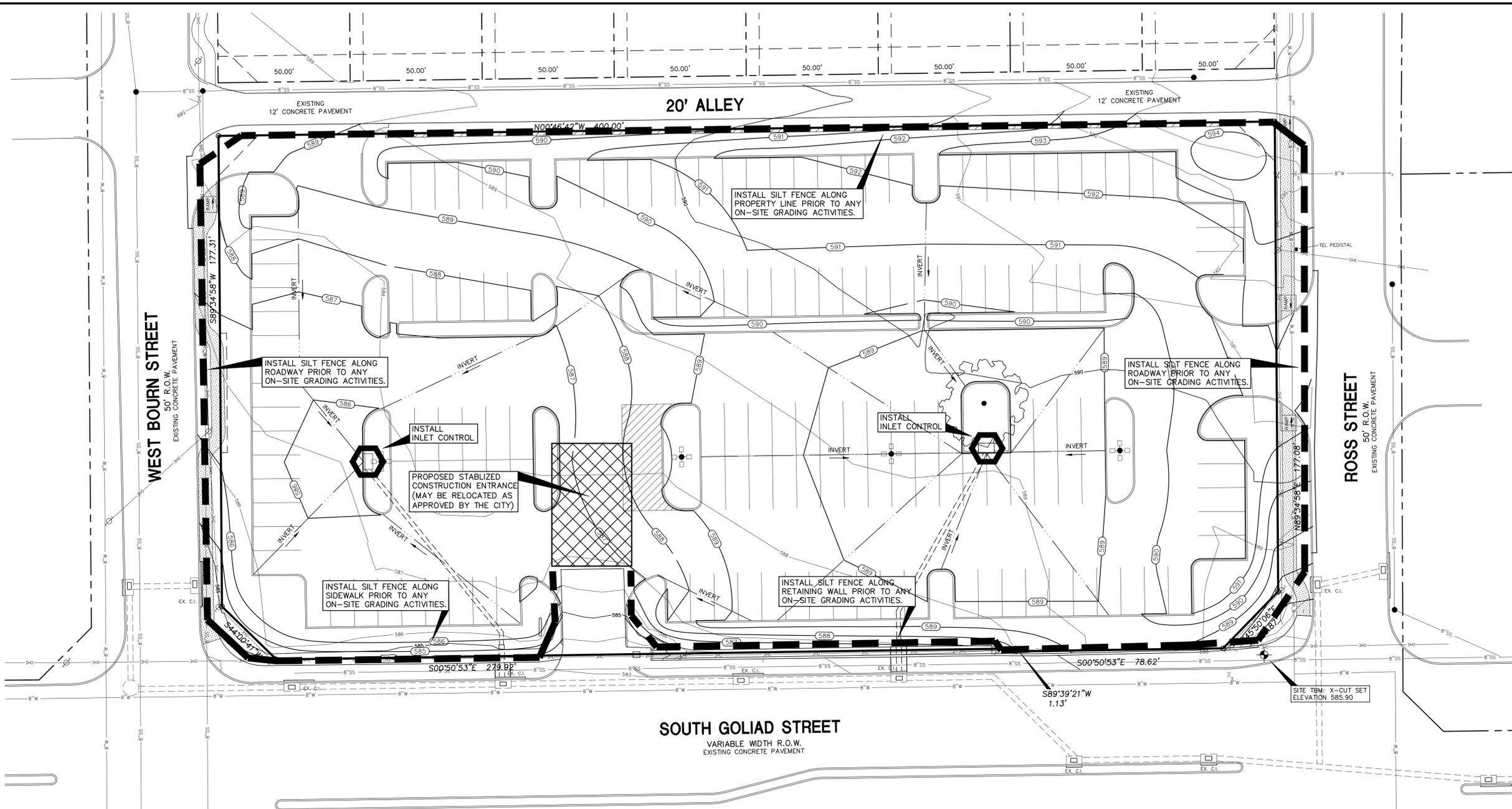
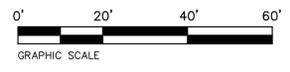
REVISIONS:	
4-05-16	CITY COMMENTS
5-03-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



SHEET TITLE:
STORM DRAIN PLAN AND PROFILES
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

PREPARED BY:
JDJR ENGINEERS & CONSULTANTS, INC.
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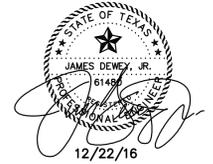
DATE: DEC. 22, 2015 DRAWN BY: SAS SHEET NO.
 SCALE: 1"=20'H, 1"=2'V CHECKED BY: JDJR **C6** OF 8



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REVISIONS:	
4-05-16	CITY COMMENTS
5-03-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



12/22/16

- GENERAL NOTES:**
- THE GENERAL CONTRACTOR AND OWNER RESPONSIBLE FOR PREVENTING SEDIMENT AND OTHER POLLUTANTS FROM LEAVING THE SITE. CARE SHALL BE EXERCISED TO PREVENT THE FLOW OR OFF-SITE TRACKING OF SEDIMENT AND OTHER POLLUTANTS TO ADJACENT PAVED ROADWAYS, INLETS AND STORM DRAIN SYSTEM.
 - ALL LOCATIONS USED AS AN EXIT MUST HAVE ROCK STABILIZATION 50' MINIMUM LENGTH, 3" DIAMETER STONE OVER GEOTEXTILE FABRIC.
 - THE STABILIZED CONSTRUCTION ENTRY/EXIT SHALL BE USED AS A WHEEL WASH AREA FOR ALL TRUCKS LEAVING THE SITE.
 - A BERM OR OTHER SPILL PROTECTION MEASURE SHALL BE CONSTRUCTED FOR ANY TEMPORARY FUEL STORAGE TANKS ON SITE DURING CONSTRUCTION.
 - ALL TRASH SHALL BE CONTAINED IN AN ENCLOSURE UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES.
 - VEHICLE PARKING AREAS, STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCIRCLING THE AREAS WITH PROTECTIVE MEASURES SHALL BE NECESSARY.
 - A DENSITY OF TEMPORARY OR PERMANENT GROUND COVER (I.E., VEGETATION, EROSION CONTROL MATTING, ETC.) SUFFICIENT TO PREVENT EROSION SHALL BE ESTABLISHED ON ALL SWALES AND SLOPES IN A TIMELY MANNER IN ORDER TO PREVENT EROSION PROBLEMS FROM DEVELOPING IN THESE AREAS.

- ALL SURFACE AREAS DISTURBED WITHIN OR ADJACENT TO THE CONSTRUCTION LIMITS MUST BE PERMANENTLY STABILIZED. STABILIZATION IS OBTAINED WHEN THE SITE IS COVERED WITH IMPERVIOUS STRUCTURES, PAVING OR A UNIFORM PERENNIAL VEGETATIVE COVER. THE PERENNIAL VEGETATION MUST HAVE A COVERAGE DENSITY OF AT LEAST 70 PERCENT. STABILIZATION IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- ALL PERIMETER EROSION CONTROL MEASURES AND A ROCK STABILIZED ENTRY/EXIT MUST BE IN PLACE BEFORE STARTING SOIL DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES.
- A MAINTENANCE PROGRAM FOR ALL PROPOSED EROSION CONTROL MEASURES SHALL BE ESTABLISHED.
- TO PREVENT ENTRY OF SEDIMENT INTO PROPOSED STORM SEWERS DURING CONSTRUCTION, INSTALL PIPE SEDIMENT FILTER OR SEDIMENT FILTER OR SEDIMENT BARRIER AT THE END OF EACH WORK DAY.
- CONTRACTOR TO CONSTRUCT A PIT OR WASH BASIN ON-SITE FOR WASH-OUT OF CONCRETE TRUCKS.
- IF PUMPS ARE USED TO REMOVE WATER FROM PONDED AREAS, FILTER THE DISCHARGE TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER LEAVES THE SITE OR ENTERS STORM DRAIN SYSTEM. DO NOT BYPASS SILT BARRIERS OR INLET SEDIMENT FILTERS WITH THE DISCHARGE.

- TO PREVENT DAMAGE TO VEGETATION IN DOWNSTREAM WATER COURSES, LIMIT ANY PROPOSED LIME STABILIZATION OPERATIONS TO THAT WHICH CAN BE MIXED AND COMPACTED BY THE END OF EACH WORK DAY. A SILT FENCE IS NOT EFFECTIVE IN FILTERING LIME SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE OPENING IN THE FABRIC.
- THE CONTRACTOR(S) SHALL INSPECT EROSION CONTROL MEASURES AT LEAST ONCE EACH WEEK AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. REPAIR OR REPLACE DAMAGED MEASURES AS NECESSARY TO RETAIN SEDIMENT ON SITE. EROSION CONTROL MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN (7) CALENDAR DAYS.
- FOR ALTERNATIVE STABILIZATION AND EROSION CONTROL MEASURES, REFER TO THE CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) MANUAL PUBLISHED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS.
- CONTRACTOR TO CHECK AREAS ADJACENT TO PROPERTY DAILY FOR CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF-SITE AND REMOVE IMMEDIATELY.
- CONTAIN ALL RUNOFF FROM MATERIALS USED IN THE SUBGRADE STABILIZATION PROCESS.
- INLET PROTECTION TO REMAIN IN PLACE UNTIL DRAINAGE AREAS CONTRIBUTING TO EACH INLET IS ESTABLISHED WITH VEGETATION (LAWN).

NOTE: SEE SHEET C8A FOR EROSION CONTROL DETAILS.

LEGEND

- 545 ——— EXISTING CONTOUR LINE
- — — — — PROPOSED SILT FENCE
- ⬡ PROPOSED INLET CONTROL (SILT FENCE CONSTRUCTED CONTINUOUSLY AROUND INLET AND WIRE MESH/FILTER FABRIC AFTER PAVEMENT CONSTRUCTION)
- ▨ PROPOSED STABILIZED CONSTRUCTION ENTRANCE

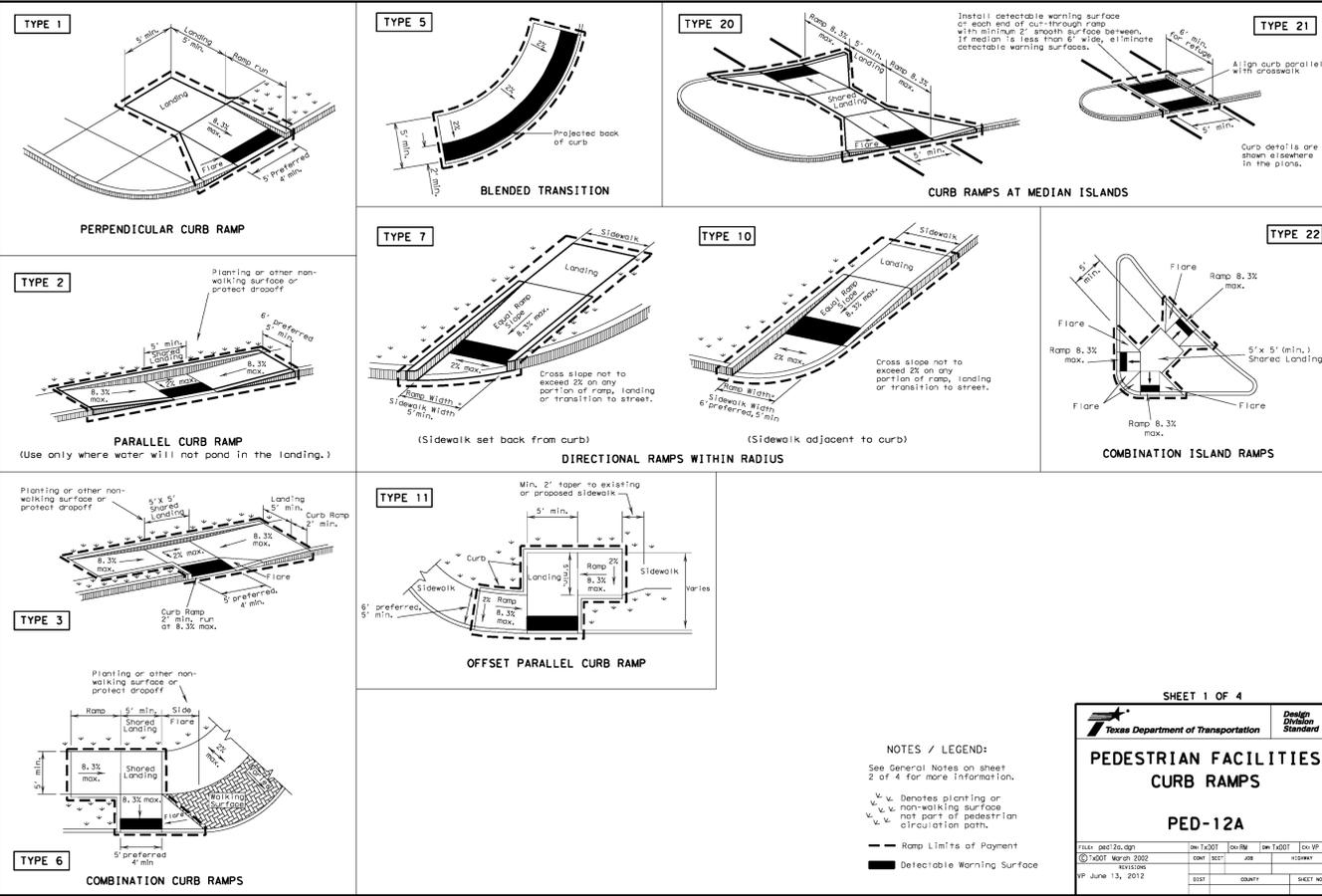
SHEET TITLE:
EROSION CONTROL PLAN
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

PREPARED BY:
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DATE: DEC. 22, 2015 DRAWN BY: SAS SHEET NO.
 SCALE: 1" = 20' CHECKED BY: JDJR **C7** OF **8**

DISCLAIMER: Use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by the State of Texas or any other authority. The user of this standard shall be responsible for the results of its use.

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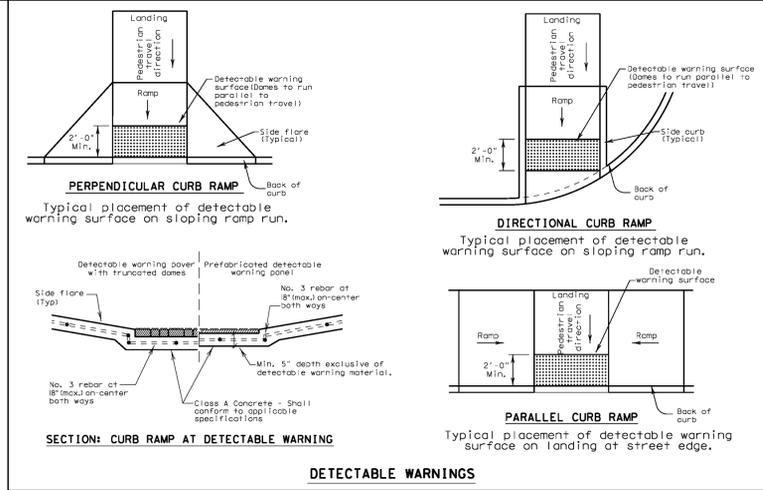
General Notes

Curb Ramps

- Install a curb ramp or blended transition at each pedestrian street crossing.
- All slopes shown are maximum allowable. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
- The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable, where a 5' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 4' for short distances. 5 x 5' passing areas at intervals not to exceed 200' are required.
- Landings shall be 5' x 5' minimum with a maximum 2% slope in any direction.
- Maneuvering space at the bottom of curb ramps shall be a minimum of 4' x 4' wholly contained within the crosswalk and wholly outside the parallel wheel or travel path.
- Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
- Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
- Additional information on curb ramp location, design, light reflective value and texture may be found in the current edition of the Texas Accessibility Standards (TAS) and 16 TAC 68.102.
- To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curb. Medians should be designed to provide accessible passage over or through them.
- Small channelization islands, which do not provide a minimum 5' x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
- Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
- Handrails are not required on curb ramps. Provide curb ramps wherever an accessible route crosses (penetrates) a curb.
- Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
- Place concrete to a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
- Provide a smooth transition where the curb ramps connect to the street.
- Curbs shown on sheet 1 within the limits of payment are considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
- Existing features that comply with TAS may remain in place unless otherwise shown on the plans.

Detectable Warning Material

- Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cast-in-place dark brown or dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
- Detectable Warning Materials must meet TxDOT Departmental Materials Specification DMS 4350 and be listed on the Material Producer List. Install products in accordance with manufacturer's specifications.
- Detectable warning surfaces must be slip resistant and not allow water to accumulate.
- Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
- Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. Align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Detectable warning surfaces may be curved along the corner radius.
- Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.



Detectable Warning Pavers

- Furnish detectable warning paver units meeting all requirements of ASTM C-936, C-33. Lay in a two by two unit basket weave pattern or as directed.
- Lay full-size units first followed by closure units consisting of at least 25 percent of a full unit. Cut detectable warning paver units using a power saw.

Sidewalks

- Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within one or more reach ranges specified in TAS 308.
- Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.
- Street grades and cross slopes shall be as shown elsewhere in the plans.
- Changes in level greater than 1/4 inch are not permitted.
- The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway, where a continuous grade greater than 5% must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with TAS 505.
- Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.
- Driveways and turnouts shall be constructed and paid for in accordance with Item "Intersections, Driveways and Turnouts". Sidewalks shall be constructed and paid for in accordance with Item, "Sidewalks".
- Sidewalk details are shown elsewhere in the plans.

SHEET 1 OF 4

**PEDESTRIAN FACILITIES
CURB RAMPS**

PED-12A

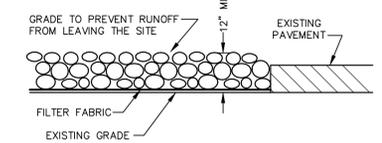
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SHEET 2 OF 4

**PEDESTRIAN FACILITIES
CURB RAMPS**

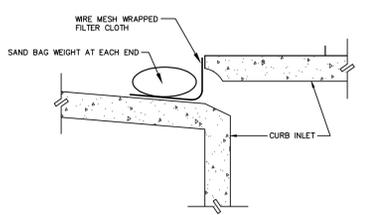
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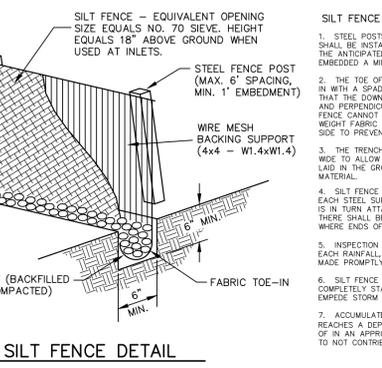
- NOTES:
- STONE SHALL BE 4 TO 6 INCH DIAMETER CRUSHED ROCK, NO CRUSHED CONCRETE ALLOWED.
 - LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 100 FEET FROM THE EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
 - THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
 - THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESSES OR EGRESSES.
 - WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, OR WATERCOURSE USING APPROVED METHODS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
 - THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

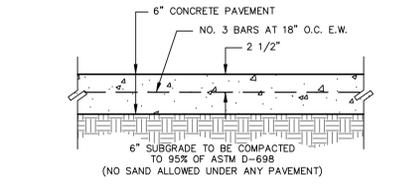


- NOTES:
- WIRE MESH BACKING MUST BE OF SUFFICIENT STRENGTH TO SUPPORT FILTER FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. FILTER FABRIC TO BE ATTACHED TO WIRE MESH ALONG BOTH EDGES WITH THE WIRES AT 24" SPACING.
 - FILTER CLOTH MUST BE OF A TYPE APPROVED FOR THIS PURPOSE, RESISTANT TO SUNLIGHT WITH SIEVE SIZE, EDS, 40-85, TO ALLOW SUFFICIENT PASSAGE OF WATER AND REMOVAL OF SEDIMENT.
 - FORM THE WIRE MESH AND FILTER CLOTH TO THE CONCRETE GUTTER AND AGAINST THE FACE OF CURB ON BOTH SIDES OF THE INLET.
 - THE ASSEMBLY SHALL BE PLACED, SO THAT THE ENDS OF THE SPACERS ARE A MINIMUM OF 6" BEYOND ENDS OF THE THROAT OPENING. THE FILTER CLOTH SHOULD END 2" BELOW THE TOP OF THE THROAT.
 - THIS TYPE OF INLET PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH CLEANED OR REPLACED WHEN CLOGGED WITH SEDIMENT.

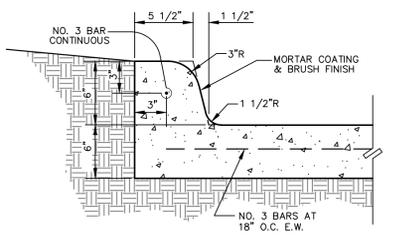
CURB INLET PROTECTION DETAIL



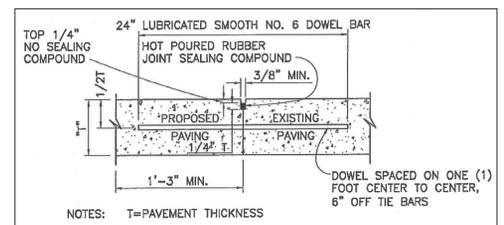
- NOTES:
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 - THE TOP OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
 - THE TRENCH MUST BE A MIN. OF 6" DEEP AND 6" WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAD IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 6" OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 - INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR EMPEDE STORM FLOW OR DRAINAGE.
 - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6". THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



CONCRETE PAVEMENT SECTION DETAIL
NOT TO SCALE



INTEGRAL CURB DETAIL
NOT TO SCALE

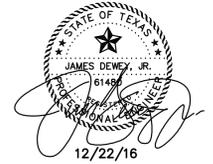


- NOTES:
- LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
- DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.

'AS-BUILT'
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ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

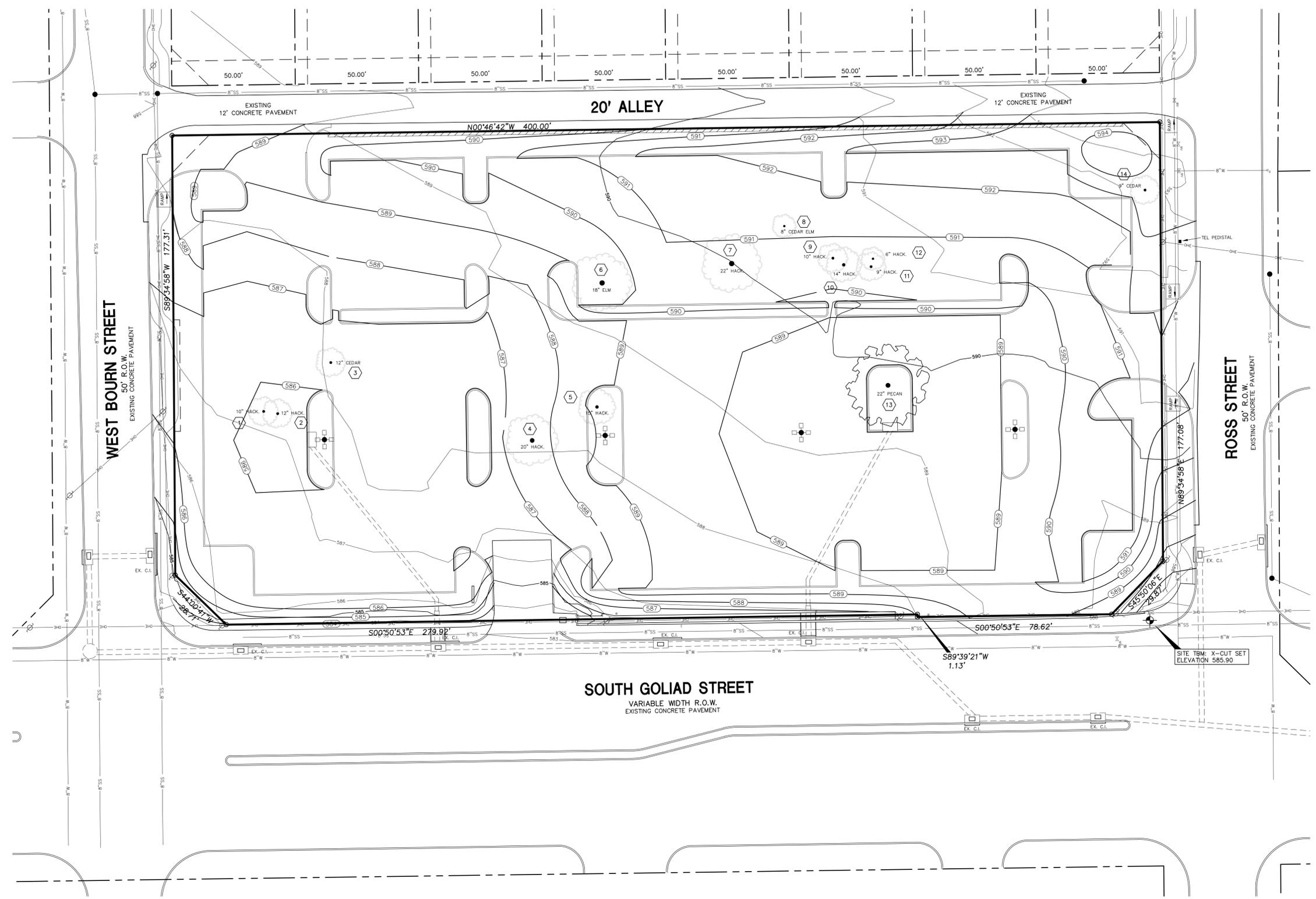
REVISIONS:	
4-05-16	CITY COMMENTS
5-03-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



SHEET TITLE:
SITE DETAILS
FIRST BAPTIST CHURCH PARKING ADDITION
SOUTH GOLIAD STREET
LOT 1R BLOCK M SANGER BROTHERS ADDITION
ROCKWALL, TEXAS

PREPARED BY:
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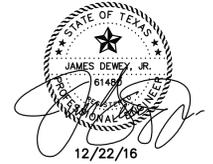
DATE: DEC. 22, 2015	DRAWN BY: SAS	SHEET NO.
SCALE: 1" = 20'	CHECKED BY: JDR	C8A OF 8



"AS-BUILT"
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REVISIONS:	
4-05-16	CITY COMMENTS
5-03-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



TREE INVENTORY TABLE				
TREE NO.	CALIPER (IN)	SPECIES	CLASSIFICATION	STATUS
1	10	HACKBERRY	UNPROTECTED	REMOVED
2	12	HACKBERRY	PROTECTED (50%)	REMOVED
3	12	CEDAR	PROTECTED (50%)	REMOVED
4	20	HACKBERRY	PROTECTED (50%)	REMOVED
5	15	HACKBERRY	PROTECTED (50%)	REMOVED
6	16	ELM	PROTECTED	REMOVED
7	22	HACKBERRY	PROTECTED (50%)	REMOVED
8	8	CEDAR ELM	PROTECTED	REMOVED
9	10	HACKBERRY	UNPROTECTED	REMOVED
10	14	HACKBERRY	PROTECTED (50%)	REMOVED
11	6	HACKBERRY	UNPROTECTED	REMOVED
12	9	HACKBERRY	UNPROTECTED	REMOVED
13	22	PECAN	PROTECTED	PRESERVED
14	14	CEDAR	PROTECTED (50%)	REMOVED

TREE SUMMARY
 TOTAL PROTECTED TREES REMOVED = 24 CALIPER INCHES (100% MITIGATION REQUIRED)
 TOTAL PROTECTED TREES REMOVED = 55 CALIPER INCHES (50% MITIGATION REQUIRED)
 TOTAL TREES REQUIRED = 79 CALIPER INCHES (27 - 3" CALIPER TREES)

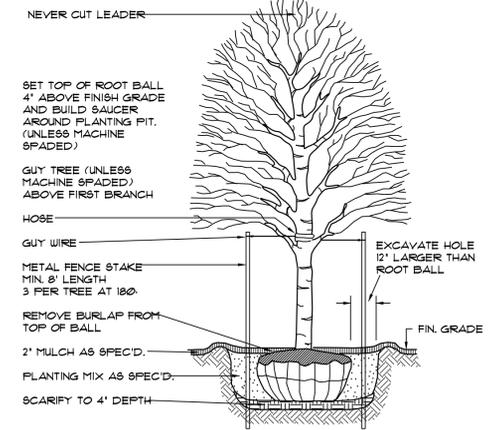
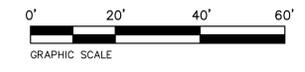
LEGEND

	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE PRESERVED
	TREE IDENTIFICATION NUMBER

SHEET TITLE:
TREE PRESERVATION PLAN
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

PREPARED BY:
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DATE: DEC. 22, 2015 DRAWN BY: SAS SHEET NO.
 SCALE: 1" = 20' CHECKED BY: JDJR **L1** of **2**



TREE PLANTING DETAIL
NOT TO SCALE:

LANDSCAPE TABULATIONS

SITE AREA = 18,607 SF
 LANDSCAPED AREA REQUIRED = 15% OR 11,191 SF
 LANDSCAPED AREA PROVIDED = 11,981 SF OR 22.2%
 STREET TREES REQUIRED = 1/50 LF (1119.50' = 16 TREES)
 STREET TREES PROVIDED = 16 TREES
 PARKING LOT AREA = 65,000 SF
 PARKING LOT LANDSCAPING REQUIRED = 5% OR 3250 SF
 PARKING LOT LANDSCAPING PROVIDED = 6,190 SF OR 10.4%
 PARKING SPACES PROVIDED = 155 SPACES
 PARKING LOT TREES REQUIRED = 1/10 SPACES (16 TREES)
 PARKING LOT TREES PROVIDED = 16 TREES

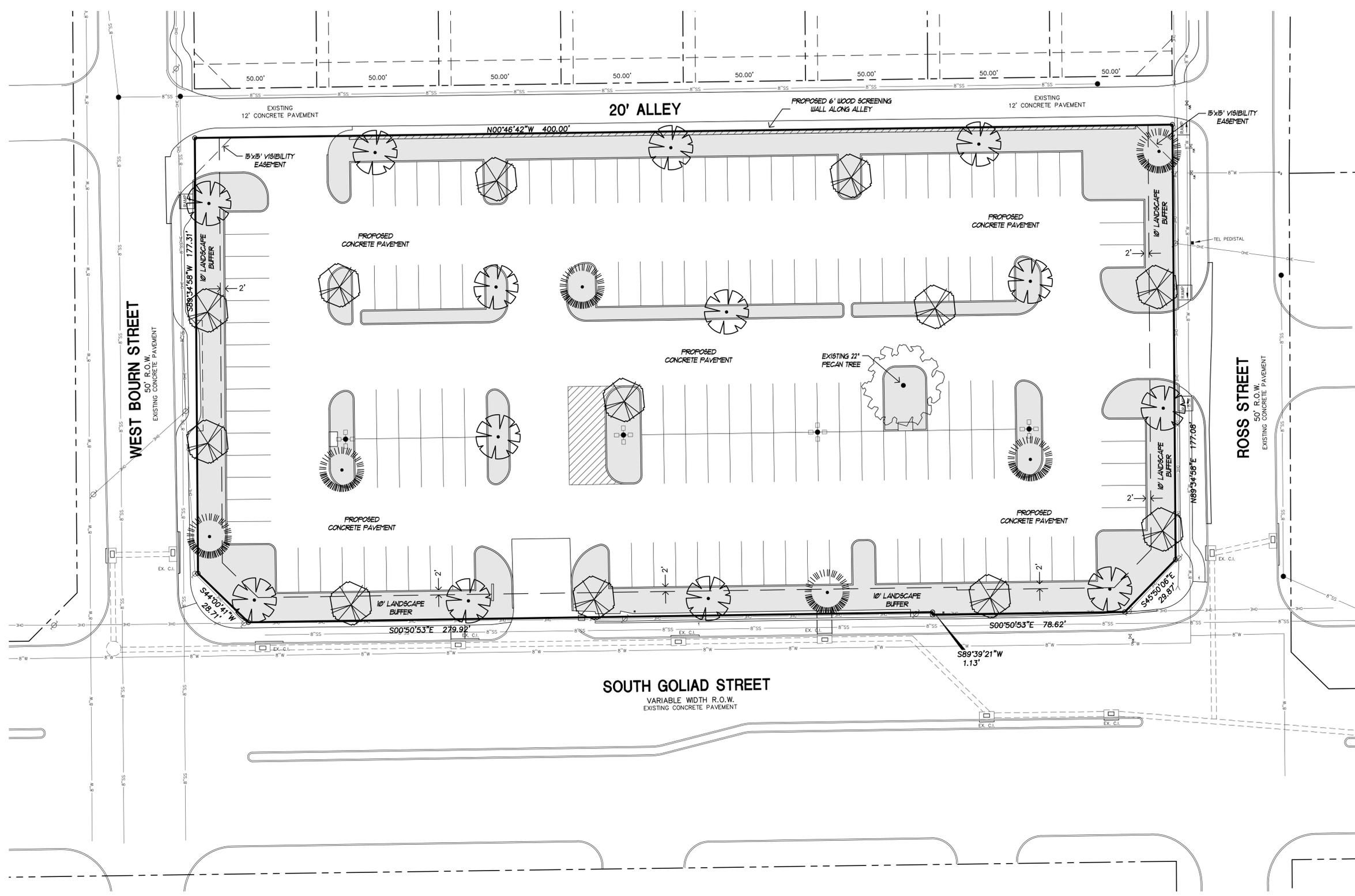
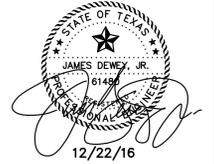
NOTE: ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM.

NOTE: LANDSCAPING SHOWN IS A MINIMUM TO MEET THE CITY OF ROCKWALL LANDSCAPE ORDINANCE. ADDITIONAL LANDSCAPING MAY BE INSTALLED AS APPROVED BY THE CITY.

'AS-BUILT'

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REVISIONS:	
4-05-16	CITY COMMENTS
5-18-16	CITY COMMENTS
12-22-16	AS-BUILT



NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR IN ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES AND LINE RUNS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PER DRAWING AND SPECIFICATIONS BY LANDSCAPE DESIGNER. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE CONTRACTOR AND SHALL NOT BE CONSIDERED ABSOLUTE.
- ALL BED AREAS SHALL BE ROTOTILLED TO A DEPTH OF 6\"/>

LEGEND

- LIVE OAK TREE (3\"/>
- CEDAR ELM TREE (3\"/>
- RED OAK TREE (3\"/>
- BERMLUDA TURF

PLANT SCHEDULE					
COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	SPACING	REMARKS
LIVE OAK	QUERCUS VIRGINIANA	13	3\"/>		

OWNER:
 FIRST BAPTIST CHURCH OF ROCKWALL
 610 SOUTH GOLIAD STREET
 ROCKWALL, TEXAS 75087

PREPARED FOR:
 CARROLL ARCHITECTS
 750 E. INTERSTATE 30, SUITE 110
 ROCKWALL, TEXAS 75087
 PHONE (972) 732-6085
 ATTN: JEFF CARROLL
 EMAIL: JC@CARROLLARCH.COM

SHEET TITLE:
LANDSCAPE PLAN
 FIRST BAPTIST CHURCH PARKING ADDITION
 SOUTH GOLIAD STREET
 LOT 1R BLOCK M SANGER BROTHERS ADDITION
 ROCKWALL, TEXAS

PREPARED BY:
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 TSBP REGISTRATION NUMBER F-8627

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