

CONSTRUCTION PLANS FOR HARBOR HEIGHTS RESTAURANT AND RETAIL SITE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
MAY 2022

OWNER

101 HUBBARD DR., LLC.
CONTACT: DAN BOBST
2701 SUNSET RIDGE DRIVE, SUITE 610
ROCKWALL, TX 75032
PH: 214.553.5505
EMAIL: dwbobst@trendhr.com

CIVIL ENGINEER

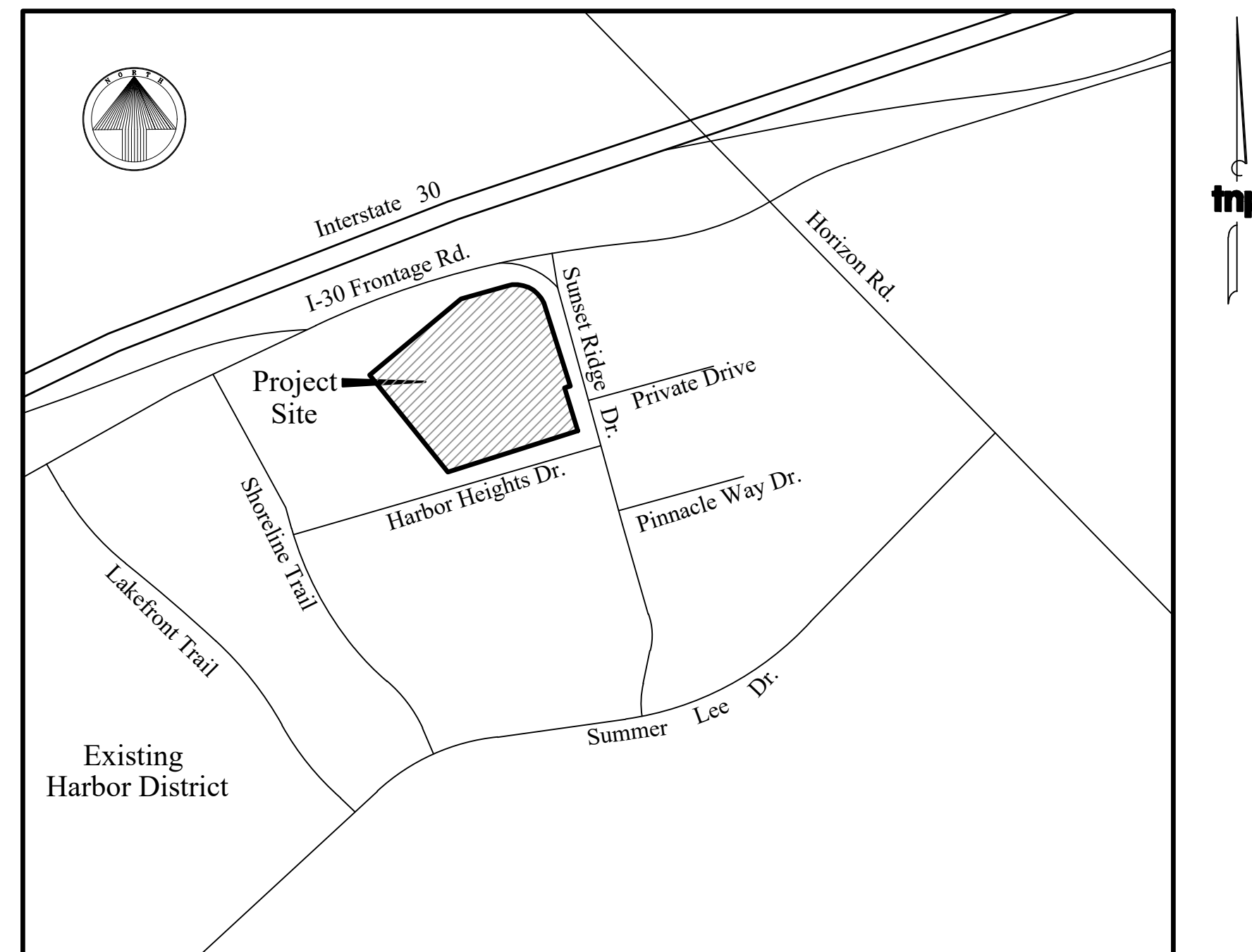
TEAGUE NALL AND PERKINS, INC.
CONTACT: CAMERON SLOWN, P.E.
825 WATTERS CREEK BLVD., SUITE M300
ALLEN, TX 75013
PH: 972.737.8720
EMAIL: CSLOWN@TNPINC.COM

SURVEYOR

AJ BEDFORD GROUP, INC.
CONTACT: TERRI BEDFORD
301 NORTH ALAMO ROAD
ROCKWALL, TX 75087
PH: 972.722.0225
EMAIL: TERRI@AJBEDFORDGROUP.COM

ARCHITECT

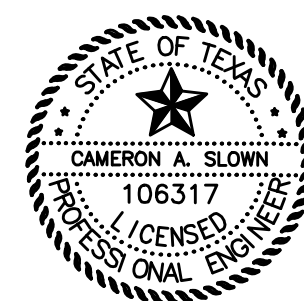
STROHMEYER ARCHITECTS, INC.
CONTACT: JIMMY STROHMEYER
2701 SUNSET RIDGE DR., SUITE 607
ROCKWALL, TX 75032
PH: 214.497.2057
EMAIL: JIMMY@STROHMEYERARCHITECTS.COM



LOCATION MAP
NOT TO SCALE

SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

Sheet List Table	
Sheet Number	Sheet Title
C1.00	COVER SHEET
--	REPLAT
C1.01	TOPOGRAPHIC SURVEY
C1.02	DEMOLITION PLAN
C1.03	EROSION CONTROL PLAN
C1.04	SITE PLAN
C1.05	OVERALL STREETScape PLAN
C1.06	STREETScape PLAN STREET A STA 0+00 TO 2+12
C1.07	STREETScape PLAN STREET A STA 2+12 TO 4+72
C1.08	STREETScape PLAN STREET B STA 0+56 TO 3+16
C1.09	STREETScape PLAN STREET B STA 3+16 TO 6+90
C1.10	GRADING PLAN
C1.11	PAVING PLAN
C1.12	PREDEVELOPED DRAINAGE PLAN
C1.13	DRAINAGE PLAN
C1.14	STORM DRAINAGE PLAN
C1.15	STORM DRAINAGE PROFILE
C1.16	UTILITY PLAN
C1.17	EROSION CONTROL DETAILS
C1.18	PAVING STANDARD DETAILS
C1.19	WATER STANDARD DETAILS
C1.20	STORM SEWER STANDARD DETAILS
--	LANDSCAPE PLAN



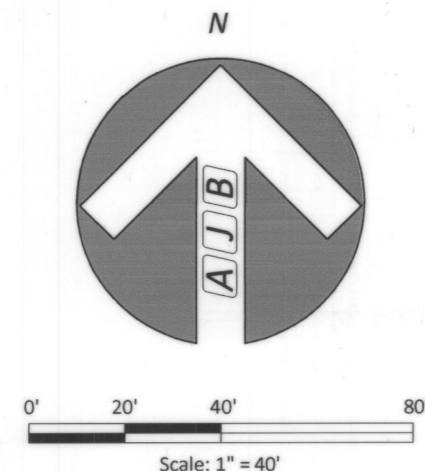
Cameron A. Slown
5/9/2022

MATT ATKINS, P.E. DATE: April 2, 2020
QUALITY CONTROL REVIEW PERFORMED



825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Firm No. F-230
TBPLS Firm No. 100116-00 / 100116-01
www.tnpinc.com

RECORD DRAWINGS



GENERAL NOTES:

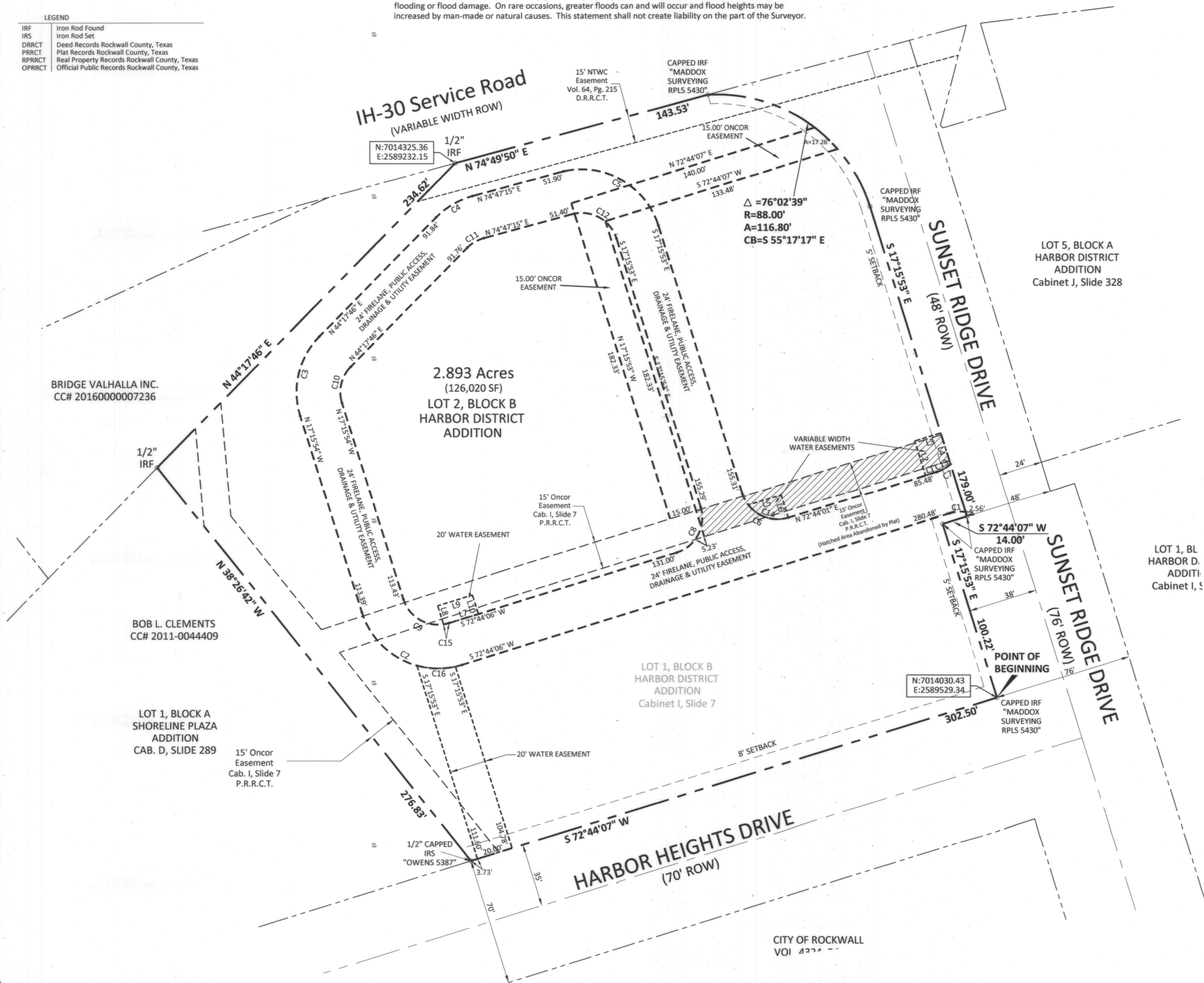
It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

The use of the word "certify or certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

Basis of Bearings: Bearings are based on those cited on plat of Lot 1, Block B, Harbor District Addition recorded in Cabinet I, Slide 7, Map/Plat Records Rockwall County, Texas.

FLOOD STATEMENT: According to Community Panel No. 48397C040L, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

LEGEND	
IRF	Iron Rod Found
IRS	Iron Rod Set
DRCT	Deed Records Rockwall County, Texas
PRCT	Plat Records Rockwall County, Texas
RPRCT	Real Property Records Rockwall County, Texas
OPRCT	Official Public Records Rockwall County, Texas



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING
C1	24°30'47"	20.50'	8.77'	N 84°59'31" E
C2	90°00'00"	44.00'	69.12'	S 62°15'54" E
C3	61°33'41"	44.00'	47.28'	N 13°30'56" E
C4	30°29'28"	44.00'	23.42'	S 59°32'30" W
C5	85°35'41"	44.12'	65.92'	N 60°09'17" W
C6	90°00'06"	20.00'	31.42'	N 62°15'56" W
C7	25°08'57"	20.50'	9.00'	S 60°09'31" W
C8	89°59'59"	20.00'	31.42'	N 27°44'06" E
C9	90°00'00"	20.00'	31.42'	N 62°15'54" E
C10	61°33'41"	20.00'	21.49'	N 13°30'56" E
C11	30°29'28"	20.00'	10.64'	S 59°32'30" W
C12	84°27'48"	20.12'	29.67'	S 59°38'01" E

LINE	BEARING	DISTANCE
L1	S 72°44'07" W	6.49'
L2	S 17°15'53" E	19.83'
L3	S 72°44'07" W	15.00'
L4	S 17°15'53" E	17.98'
L5	S 72°44'08" W	18.84'
L6	S 17°15'53" E	13.29'
L7	S 72°40'40" W	16.87'
L8	N 17°21'42" W	10.76'
L9	S 72°44'07" W	20.00'
L10	N 17°21'42" W	10.99'

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING
C13	24°30'43"	20.50'	8.77'	N 60°28'40" E
C14	70°23'08"	20.00'	24.57'	S 72°04'25" E
C15	9°00'58"	20.00'	3.15'	N 77°14'36" E
C16	27°47'08"	44.00'	21.34'	S 88°26'49" E

Case No.: P2020-014

FINAL PLAT HARBOR DISTRICT ADDITION LOT 2, BLOCK B

1 LOT TOTALING 2.893 ACRES
BEING A REPLAT OF A LOT 1, BLOCK B OF HARBOR DISTRICT ADDITION
2.893 ACRES (126,020 SQUARE FEET)
M.J. BARKSDALE SURVEY, ABSTRACT NO. 11
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner:
101 HUBBARD DR LLC
2701 Sunset Ridge Dr.
Suite 610
Rockwall, TX 75082

Engineer:
TNP
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
972-461-9867
clown@tnpinc.com

Scale: 1" = 40'
Date: February 6, 2020
Technician: Bedford/Spradling
Drawn By: Bedford/Spradling

Checked By: F.R. Owens
P.C.: Cryer/Spradling
File: HARBOR LOT 2 BLK B
Job No. 400-022
GF No.

301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225, www.abedfordgroup.com, ab@abedfordgroup.com

Sheet:
1
Of: 2

ABJ Bedford Group, Inc.
Registered Professional Land Surveyors

TBPLS REG#10118200

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS 101 HUBBARD DRIVE LLC, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, said tract being described as follows:

BEING a 2.893 acre tract of land situated in the M.J. Barksdale Survey, Abstract No. 2, in the City of Rockwall, Rockwall County, Texas and being Lot 1, Block B of Harbor District Addition according to the plat recorded in Cabinet I, Slide 7 of the Official Public Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a capped iron rod "MADDOX SURVEYING RPLS 5430" found for corner and being at the intersection of Sunset Ridge Drive (76' ROW) and Harbor Heights Drive (70' ROW);

THENCE along the north line of said Harbor Heights Drive, SOUTH 72°44'07" WEST a distance of 302.50 feet to a ½ inch iron rod "OWENS 5387" set for corner and being the most southerly southeast corner of Lot 1, Block A, Shoreline Plaza Addition as recorded in Cabinet D, Slide 289 of the Official Public Records, Rockwall County, Texas;

THENCE along the common line of said Lot 1, Block A & Lot 1, Block B, NORTH 38°26'42" WEST a distance of 276.83 feet to a ½ inch iron rod found for corner and being located in the southeast line of a tract of land to Bridge Valhalla Inc. per deed recorded in CC# 20160000007236, Official Public Records, Rockwall County, Texas;

THENCE along the southeast line of Bridge Valhalla tract, NORTH 44°17'46" EAST a distance of 234.62 feet to a ½ inch iron rod found for corner and being located in the south line of IH-30 Service Road (Variable Width ROW);

THENCE along the south line of said IH-30 Service Road, NORTH 74°49'50" EAST a distance of 143.53 feet to a capped iron rod "MADDOX SURVEYING RPLS 5430" found for corner at the beginning of a curve to the right with a radius of 88.00 feet and a chord bearing of South 55°17'17" East;

ALONG said curve to the right through a central angle of 76°02'39" for an arch length of 116.80 feet to a capped iron rod "MADDOX SURVEYING RPLS 5430" found for corner located in the southwest line of said Sunset Ridge Drive;

THENCE along southwest line of said Sunset Ridge Drive as follows:

SOUTH 17°15'53" EAST a distance of 179.00 feet to a ½ inch capped iron rod "OWENS 5387" set for corner;

SOUTH 72°44'07" WEST a distance of 14.00 feet to a ½ inch capped iron rod "OWENS 5387" set for corner;

SOUTH 17°15'53" EAST a distance of 100.22 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 2.893 acres or 126,020 square feet of land more or less.

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS this 7th day of May, 2020.

Mayor, City of Rockwall City Secretary City Engineer



NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

We, 101 HUBBARD DRIVE LLC, the undersigned owner of the land shown on this plat, and designated herein as the HARBOR DISTRICT ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the HARBOR DISTRICT ADDITION subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Property owner shall be responsible for all maintenance, repair, and replacement of all drainage and detention easements.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

101 HUBBARD DRIVE LLC

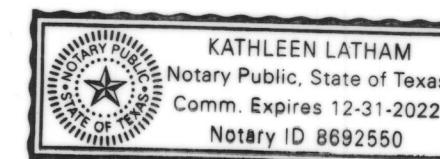
Name: DW BOBST
Title: PRESIDENT

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared DW Bobst, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 13th day of August, 2020

Kathleen Latham
Notary Public in and for the State of Texas



SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Frank R. Owens, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Frank R. Owens
Registered Professional Land Surveyor No. 5387
A.J. Bedford Group, Inc.
301 North Alamo Road
Rockwall, Texas 75087



Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
08/24/2020 08:53:57 AM
\$100.00
20200000019318



Shelli Miller

Case No.: P2020-014

FINAL PLAT
HARBOR DISTRICT ADDITION
LOT 2, BLOCK B

1 LOT TOTALING 2.893 ACRES
BEING A REPLAT OF A LOT 1, BLOCK B OF HARBOR DISTRICT ADDITION
2.893 ACRES (126,020 SQUARE FEET)
M.J. BARKSDALE SURVEY, ABSTRACT NO. 11
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner: 101 HUBBARD DR LLC
2701 Sunset Ridge Dr.
Suite 610
Rockwall, TX 75087
Engineer: TNP
825 Waters Creek Blvd., Suite M300
Allen, Texas 75013
972-461-9867
cslown@tnpinc.com

Scale: 1" = 40'
Date: February 6, 2020
Technician: Bedford/Spradling
Drawn By: Bedford/Spradling

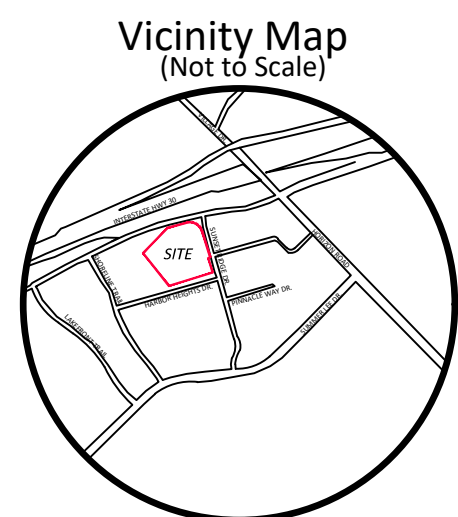
Checked By: F.R. Owens
P.C.: Cryer/Spradling
File: HARBOR LOT 2 BLK B
Job No. 400-022
GF No.

301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225, www.ajbedfordgroup.com, ajb@ajbedfordgroup.com

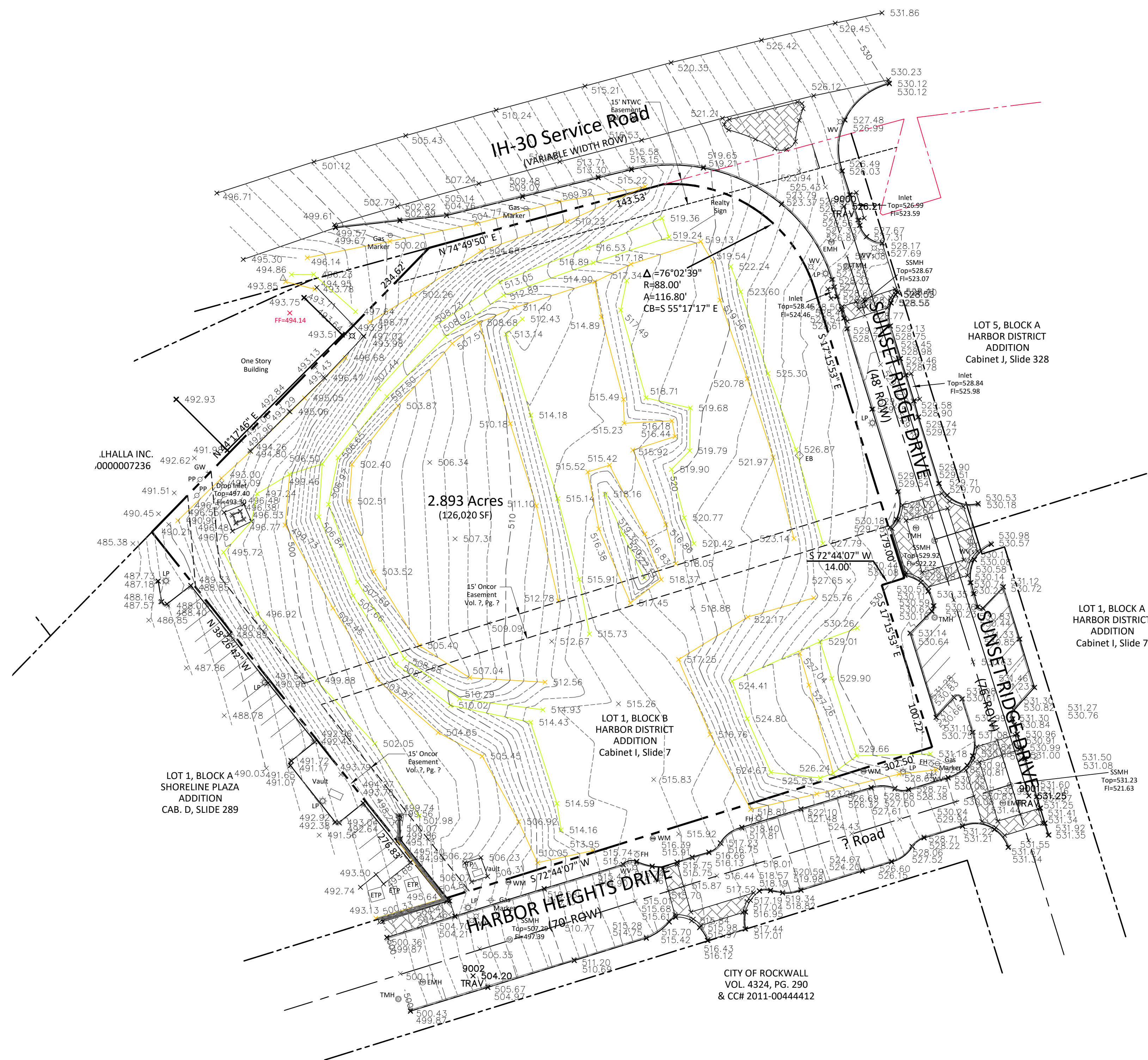
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Of: 2

AJ Bedford Group, Inc.
Registered Professional Land Surveyors

TBPLS REG#10118200



LEGEND		LEGEND	
IRF	Iron Rod Found	IRF	Iron Rod Found
IRS	Iron Rod Set	IRS	Iron Rod Set
PP	Power Pole	PP	Power Pole
GW	Guy Wire	GW	Guy Wire
FH	Fire Hydrant	FH	Fire Hydrant
WV	Water Valve	WV	Water Valve
MM	Meter Meter	MM	Meter Meter
SMNH	Sanitary Sewer Manhole	SMNH	Sanitary Sewer Manhole
LM	Light Pole	LM	Light Pole
GM	Gas Meter	GM	Gas Meter
TV	Cable TV	TV	Cable Television
TP	Telephone Pedestal	TP	Telephone Pedestal
TSB	Traffic Signal Box	TSB	Traffic Signal Box
SP	Signal Pole	SP	Signal Pole
CV	Control Valve	CV	Control Valve
CR	Cleanout	CR	Cleanout
RO	Real Property Records Rockwall County, Texas	RO	Real Property Records Rockwall County, Texas



CURRENT TITLE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY;
THEREFORE, IT IS POSSIBLE THAT ALL EASEMENTS OF RECORD MAY NOT
BE SHOWN.

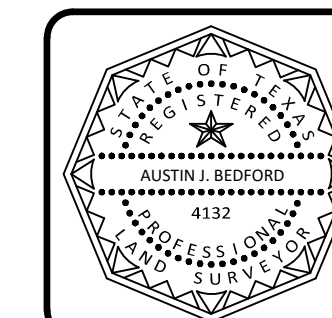
GENERAL NOTE:

THE USE OF THE WORD "CERTIFY" OR "CERTIFICATE" USED HEREON CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OF FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

TOPOGRAPHIC SURVEY
2.893 ACRES
LOT 1, BLOCK B

M.J. BARKSDALE SURVEY, ABSTRACT NO. 11
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

Client: **FC Cuny Corporation**
A Texas registered engineering firm (F-7446)
#2 Horizon Court, Ste 500
Heath, Texas 75032



Scale:	1" = 40'
Date:	September 25, 2019
Technician:	Spradling
Drawn By:	Spradling

Checked By:	A.J. Bedford
P.C.:	CRYER/SPRADLING
File:	CUNY HARBOR
Job. No.	400-022
GF No.	?

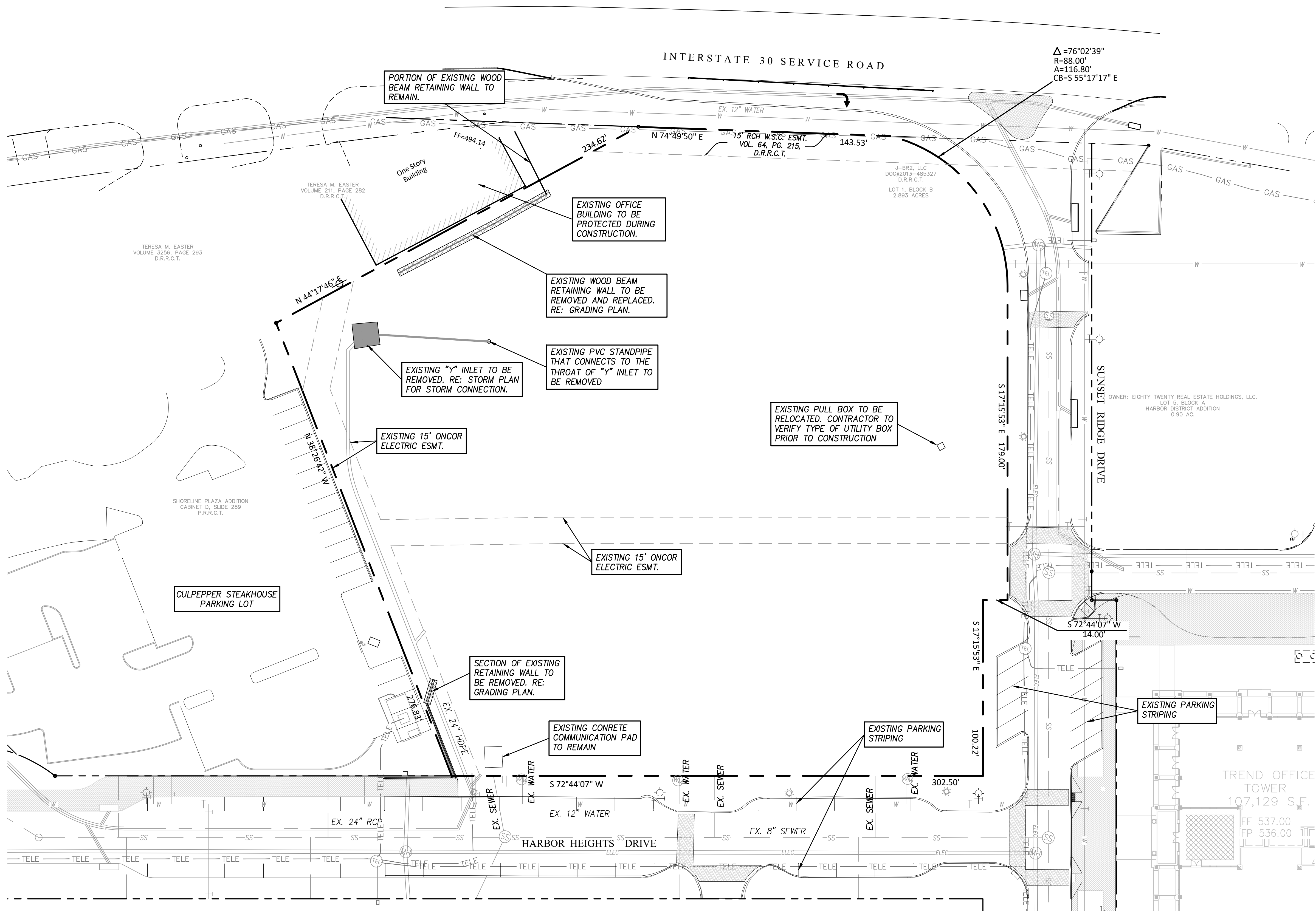
301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225, www.ajbedfordgroup.com

Sheet: 1
Of: 1

AJ Bedford Group, Inc.

TBPLS REG#10118200

Drawing: P:\00_FCCany\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\02 - DEMOLITION PLAN.dwg at May 11, 2022-9:03am by cslown
LAYOUT: DEMOLITION PLAN xref: X SURVEY.dwg - HARBOR-RR-BASE.dwg



LEGEND

CONCRETE PAVEMENT REMOVAL

RETAINING WALL REMOVAL

EXISTING BRICK PAVERS

TEL

EXISTING AT&T MANHOLE

WM

EXISTING WATER METER

MF

EXISTING ELECTRICAL MANHOLE

SS

EXISTING SEWER MANHOLE

EXISTING POWER POLE

EXISTING LIGHT POLE

EXISTING FIRE HYDRANT W/ VALVE

SS

EXISTING SEWER LINE

W

EXISTING WATER LINE

GAS

EXISTING GAS LINE

TELE

EXISTING TELEPHONE DUCT BANK

ELEC

EXISTING ELECTRICAL DUCT BANK

DEMOLITION GENERAL NOTES:

- INGRESS AND EGRESS: THE CONTRACTOR SHALL MAINTAIN INGRESS AND EGRESS TO THE SITE AND ADJACENT PROPERTIES AT ALL TIMES AND CONDUCT HIS OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSSES.
- PROTECTION OF EXISTING FACILITIES: CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS, FENCING, BRACING AND SHORING, AND SECURITY DEVICES TO PROTECT EXISTING STRUCTURES, UTILITIES, APPURTENANCES, TREES AND LANDSCAPING, AND TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES WHICH ARE NOT TO BE DEMOLISHED AND/OR REMOVED.
- HAZARDOUS AND/OR CONTAMINATED MATERIALS: THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNING AUTHORITIES IMMEDIATELY IF HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED.
- STORAGE OF MATERIALS FOR RE-USE: CONTRACTOR SHALL REMOVE AND STORE ON SITE, ALL MATERIALS TO BE SALVAGED OR RE-INSTALLED LATER IN CONSTRUCTION.
- FRANCHISE UTILITY COORDINATION: THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL FRANCHISE UTILITY COMPANIES FOR THE REMOVAL AND/ OR RELOCATION OF THE RESPECTIVE UTILITY LINES AND APPURTENANCES USED BY EACH UTILITY. ALL WORK ASSOCIATED WITH FRANCHISE UTILITY REMOVAL, RELOCATION AND/OR MODIFICATIONS ARE TO BE PERFORMED ONLY BY THAT UTILITY PROVIDER UNLESS SPECIFICALLY NOTED OTHERWISE.
- TREE REMOVAL: NO TREES SHALL BE CUT AND/OR REMOVED FROM THE PROJECT SITE UNTIL SPECIFICALLY AUTHORIZED IN WRITING BY THE GOVERNING AUTHORITY.
- SAWCUTTING OF EXISTING PAVEMENT: SAWCUTTING, WHERE INDICATED ON THE DRAWINGS FOR REMOVAL OF EXISTING PAVEMENT, SHALL BE A FULL DEPTH CUT THAT IS NEAT AND TRUE IN ALIGNMENT.
- REMOVAL OF UTILITIES: THE CONTRACTOR SHALL DISCONNECT, REMOVE AND/OR CAP ALL UTILITIES WHERE INDICATED ON THE DRAWINGS, AND SHALL DOCUMENT THE LOCATION OF CAPPED UTILITIES AND SUBSURFACE OBSTRUCTIONS THAT ARE ENCOUNTERED.
- BACKFILLING: THE CONTRACTOR SHALL BACKFILL ALL EXCAVATED AREAS CAUSED AS A RESULT OF DEMOLITION, AND PROVIDE POSITIVE DRAINAGE TO PREVENT PONDING OF WATER.
- REMOVAL OF MATERIALS FROM SITE: ALL MATERIALS TO BE REMOVED FROM THE SITE INCLUDING BUT NOT LIMITED TO CONCRETE CURB AND PAVEMENT; ASPHALT PAVEMENT; BUILDING MATERIALS; EXCESS OR UNSUITABLE EARTHEN MATERIAL; UTILITY PIPING; TREES, BRUSH AND STUMPS; FENCING; ROCK; TRASH, REFUSE AND OTHER DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF THE PROJECT AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS GOVERNING SPILLAGE OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE.
- REPLACEMENT OF DAMAGED FACILITIES: ALL STRUCTURES, UTILITIES, PAVEMENT, SIDEWALKS, WALLS, FENCES, ETC. NOT DESIGNATED TO BE REMOVED BUT THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED TO A CONDITION AS GOOD AS OR BETTER THAN THE CONDITIONS PRIOR TO STARTING THE WORK, SOLELY AT THE EXPENSE OF THE CONTRACTOR.

UTILITY NOTE:

THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. TNP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES AND TEXAS ONE-CALL SYSTEM AT 1-800-245-4545 OR 811 AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

CAUTION-UNDERGROUND GAS IN AREA!

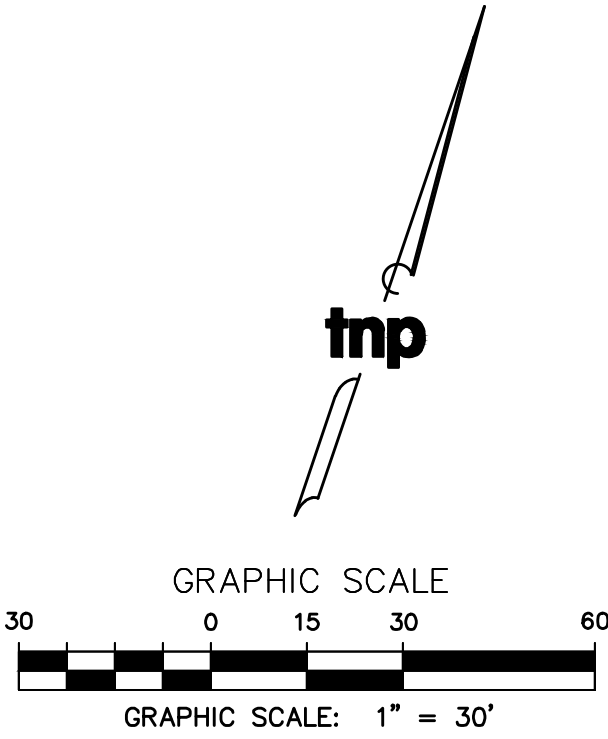
DURING THE RECORD RESEARCH PERFORMED FOR THIS PROJECT, GAS LINES WERE NOTED IN THIS AREA WITH AN APPROXIMATE HORIZONTAL LOCATION IF AVAILABLE. CONTRACTOR SHALL LOCATE GAS LINE BOTH HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION EFFORTS PERFORMED.

CAUTION-UNDERGROUND ELECTRIC IN AREA!

DURING THE RECORD RESEARCH PERFORMED FOR THIS PROJECT, ELECTRIC LINES WERE NOTED IN THIS AREA WITH AN APPROXIMATE HORIZONTAL LOCATION IF AVAILABLE. CONTRACTOR SHALL LOCATE ELECTRIC LINE BOTH HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION EFFORTS PERFORMED.

DEMOLITION NOTES:

- CONTRACTOR TO COORDINATE REMOVAL OF MISCELLANEOUS ITEMS WITH OWNER
- REFER TO MEP PLANS FOR THE RELOCATION OF LIGHTS AND UTILITY SERVICES
- CONTRACTOR SHALL NOTIFY ARCHITECT ABOUT EXISTING ITEMS LOCATED ON SITE AND NOT IDENTIFIED IN PLANS.
- ALL PHASING AND METHOD OF DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFERENCE ARCHITECT PLANS FOR ADDITIONAL DEMOLITION SCOPE



RECORD DRAWINGS

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TBPE: F-230; TBPLS: 10011600, 10011601, 10194381

STATE OF TEXAS
CAMERON A. SLOWIN
106317
LICENSED
PROFESSIONAL ENGINEER

5/9/2022

scale
when bar is
1 inch long

horiz
1"=30'

vert
N/A

MAY 2022

101 HUBBARD
DRIVE, LLC.

ROCKWALL, Texas

Improvements for

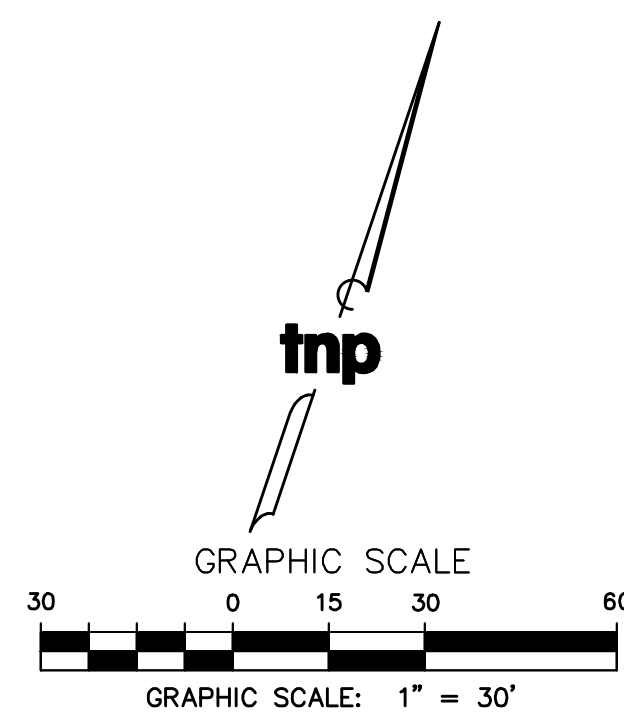
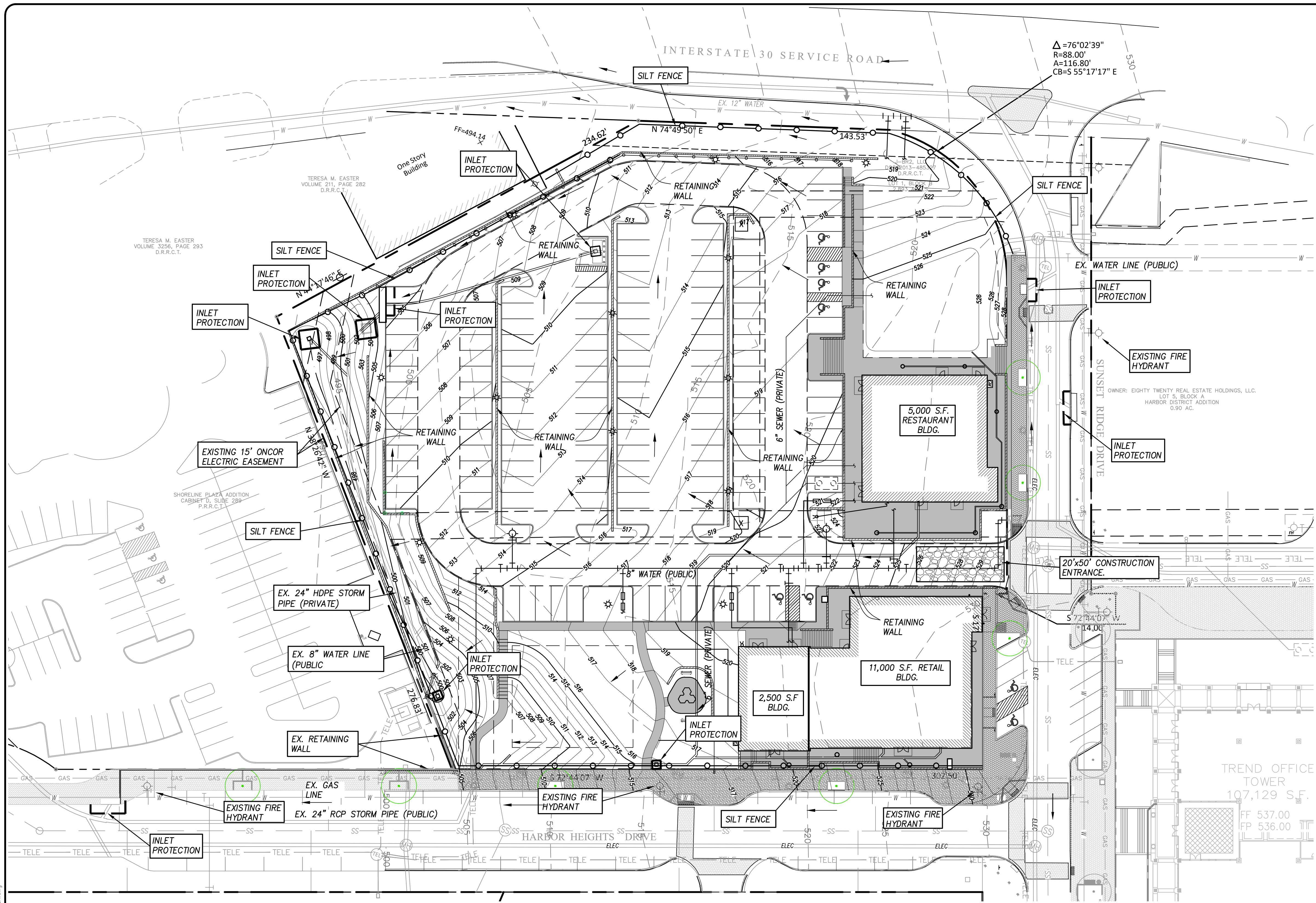
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE

DEMOLITION PLAN

tnp project
OZO20505

sheet
C1.02

Drawing: P:\00_FComy\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1F-DESIGN-CURRENT\03 - EROSION CONTROL PLAN.dwg at May 11, 2022-9:08am by cslown
LAYOUT: EROSION CONTROL PLAN
XREF: HARBOR-RR-BASE.dwg - X SURVEY.dwg - REF-BORDER.dwg



LEGEND	
	EXISTING BRICK PAVERS
	PROPOSED BRICK PAVERS
	CONSTRUCTION ENTRANCE
	PROPOSED TREE WELL W/ UPLIGHTS
	EXISTING AT&T MANHOLE
	EXISTING WATER METER
	EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT W/ VALVE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE DUCT BANK
	EXISTING ELECTRICAL DUCT BANK
	PROPOSED SILT FENCE
	FLOW DIRECTION

- NOTES:**
- ALL DISTURBED AREA TO HAVE 80% COVERAGE OF 1" STAND OF GRASS (NOT RYE OR WEEDS) PRIOR TO ACCEPTANCE.
- STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:**
- STONE SIZE - 4 TO 6 INCH OPEN GRADED ROCK (NO CRUSHED CONCRETE ALLOWED).
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 - THICKNESS- NOT LESS THAN 12 INCHES.
 - WIDTH - NOT LESS THAN 20 FEET OR FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 - DRAINAGE- ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- SILT FENCE GENERAL NOTES:**
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CAN NOT BE TREATED IN (e.g. pavement) WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
 - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POSTS OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST.
 - INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

RECORD DRAWINGS

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STATE OF TEXAS
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LICENSED PROFESSIONAL CIVIL ENGINEER
Ca Sl
5/9/2022

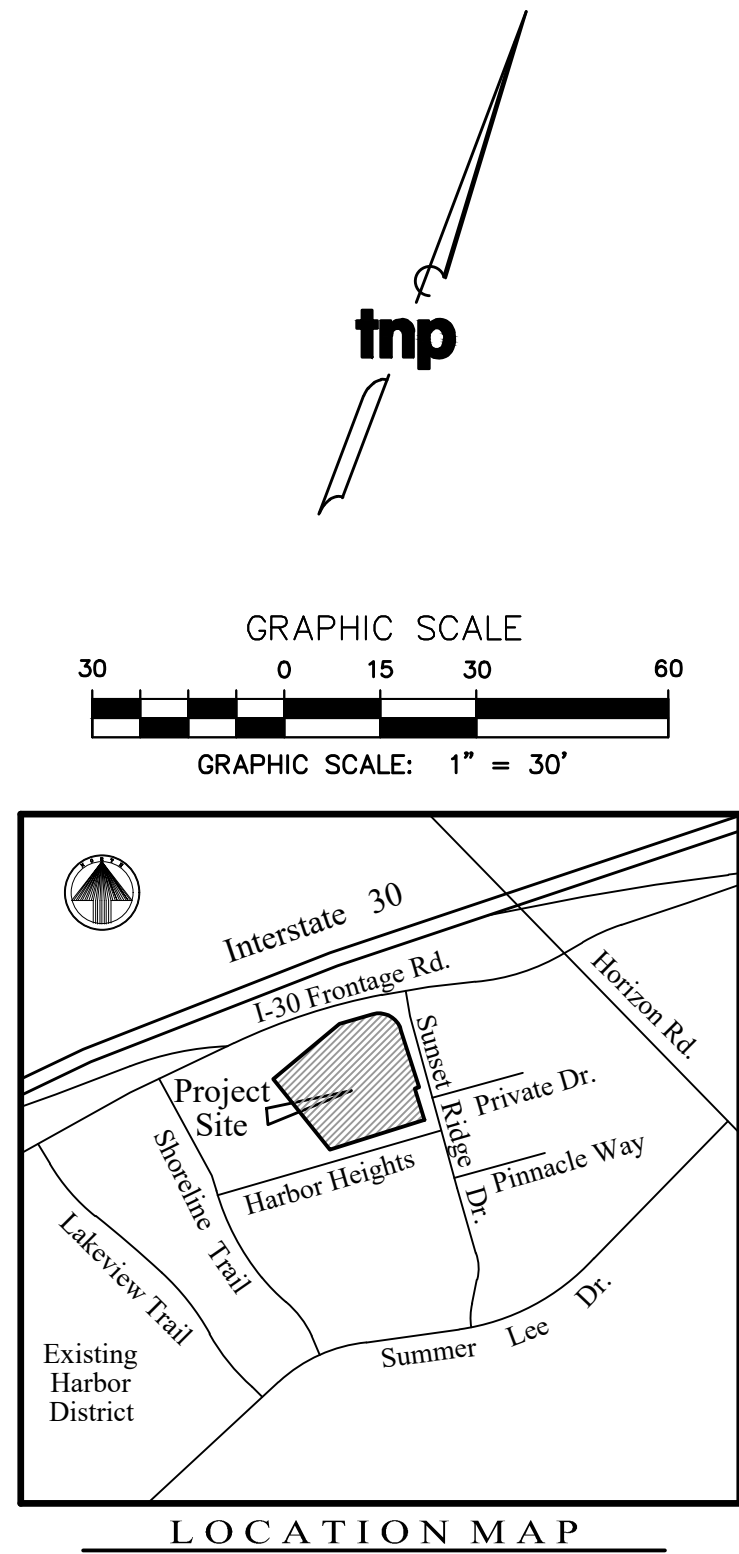
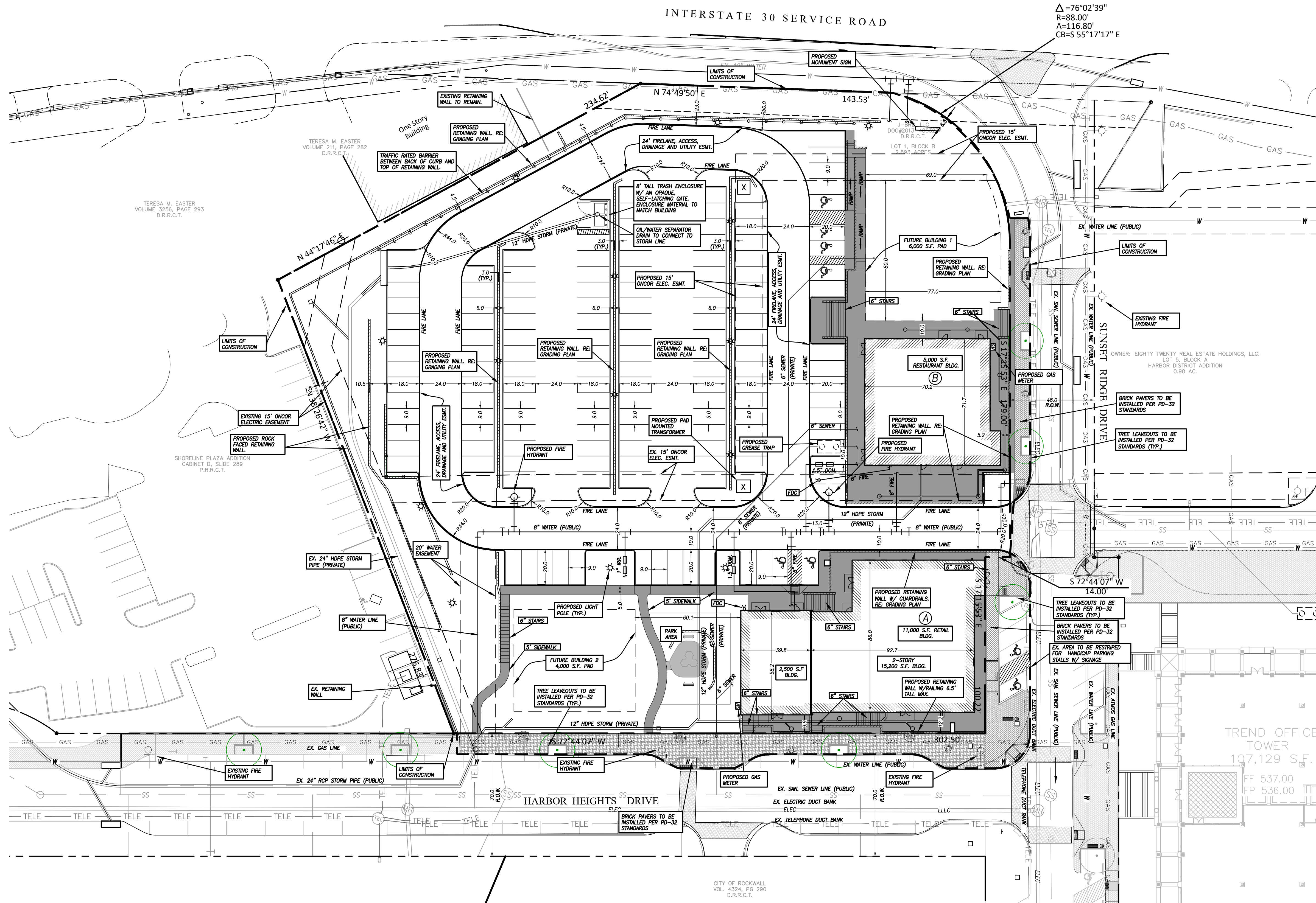
scale
when bar is
1 inch long
horiz
1"=30'
vert
N/A
MAY 2022

**101 HUBBARD
DRIVE, LLC.**

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
EROSION CONTROL PLAN

tnp project
OZO20505
sheet
C1.03

Drawing: P:\00_FCCony\Projects\6-Commercial\Harbor District - Restaurant Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\04 - SITE PLAN.dwg at May 11, 2022-9:16am by cslown
LAYOUT: SITE PLAN - Xrefs: X SURVEY.dwg - PREP-BORDER.dwg - HARBOR-RR-BASE.dwg

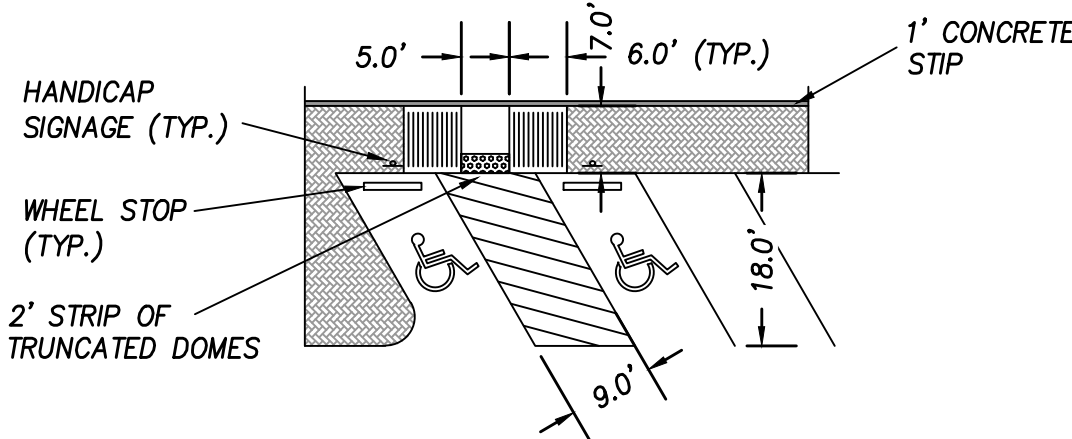


SITE INFORMATION:

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	11,000 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,200/126,018=27.5% → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161



SITE NOTES:

- DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RETAIL/RESTAURANT EXTERIOR.
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- REFER TO SITE LIGHTING PLANS FOR EXACT LIGHTING LOCATIONS AND DETAILS; CONTRACTOR SHALL COORDINATE CIVIL LANDSCAPE ARCHITECT AND MEP PLANS - WHERE MANY FIXTURES MUST BE CENTERED AROUND AND BETWEEN TREES; ROUTE UNDERGROUND CONDUIT TO AVOID TREE ROOT BALLS
- CONTRACTOR SHALL REFER TO PAVEMENT MARKINGS SPECIFICATION FOR PARKING LOT STRIPING OF THE PARKING SPACES
- DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

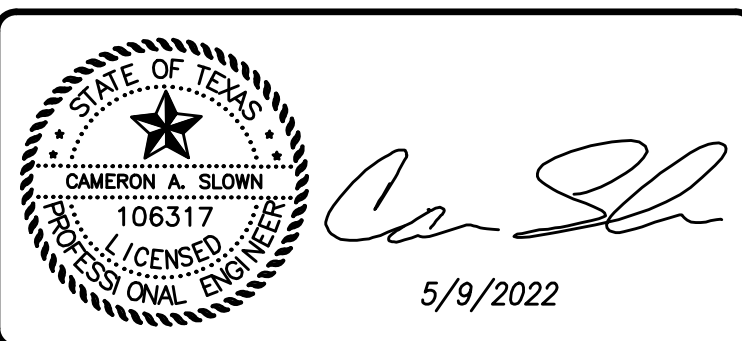
CASE NUMBER: SP2019-033

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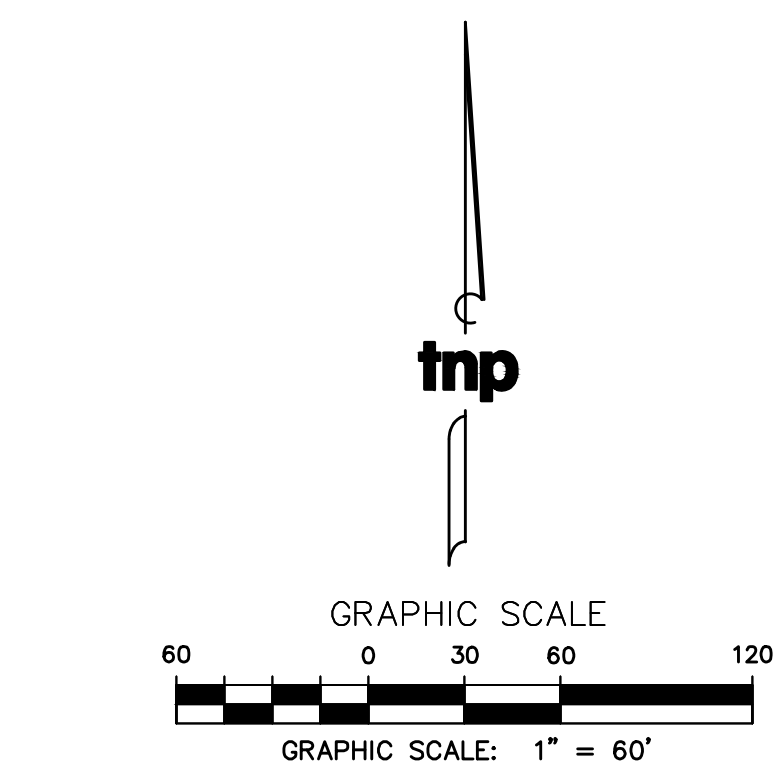
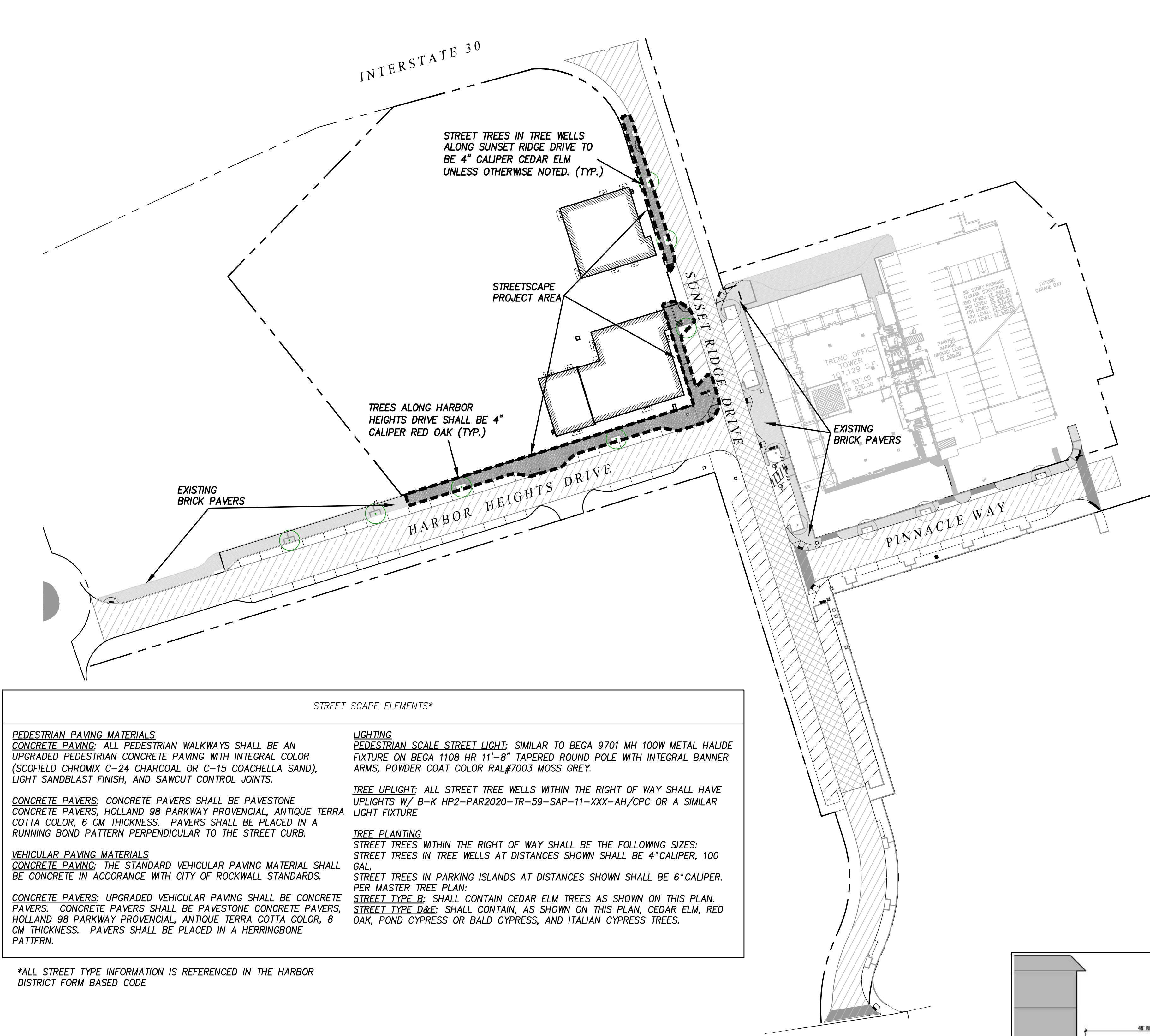
scale
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horiz
1"=30'
vert
N/A
MAY 2022

**101 HUBBARD
DRIVE, LLC.**

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
SITE PLAN

tnp project
OZO20505
sheet
C1.04

Drawing: P:\00_FCC\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1F-DESIGN-CURRENT\05 - HARBOR-OVERALL STREET SCAPE PLAN.dwg at May 11, 2022 - 9:18am by cslown
LAYOUT: OVERALL STREETSCAPE PLAN Xrefs: HARBOR-RR-BASE.dwg - REF - BORDER.dwg



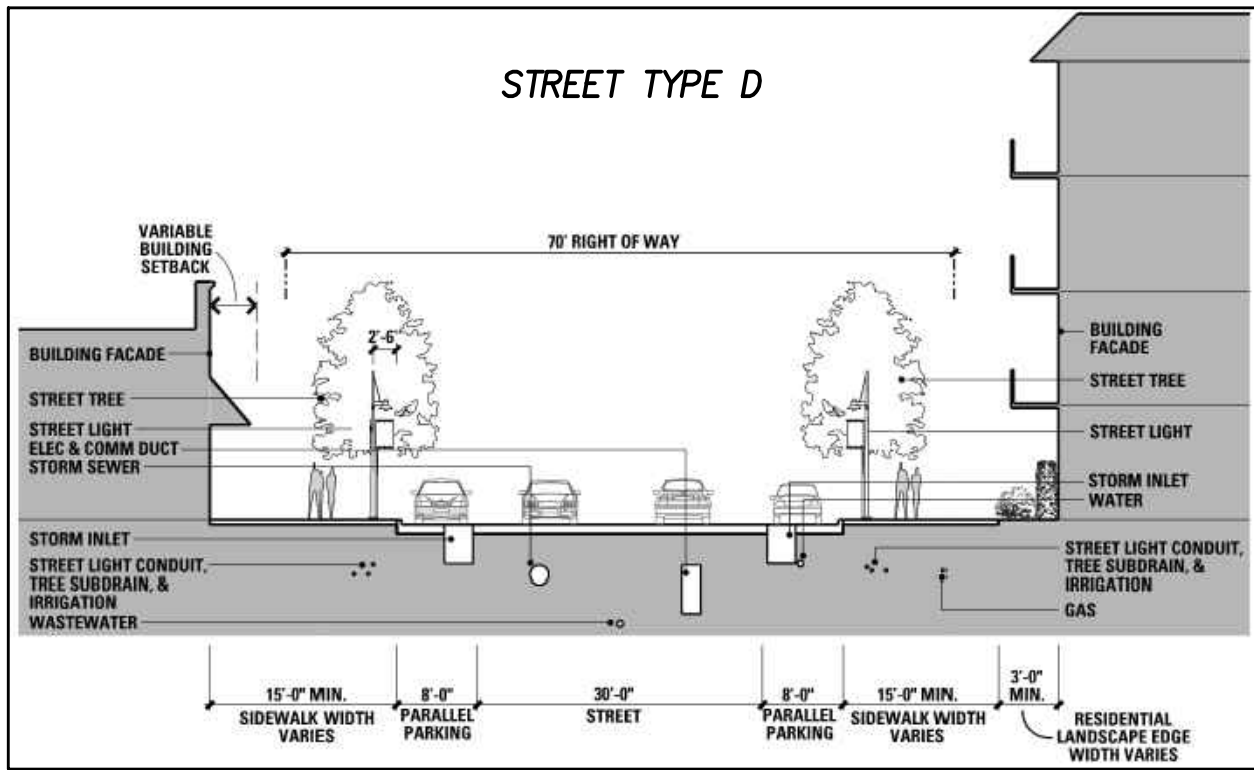
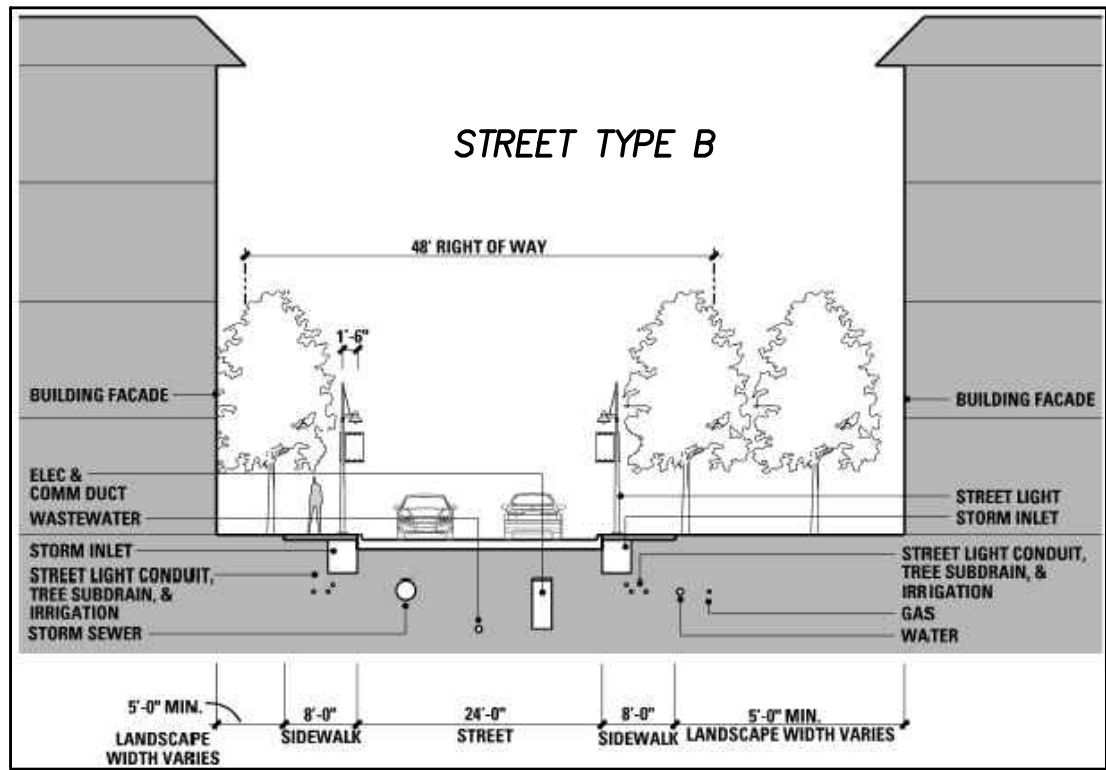
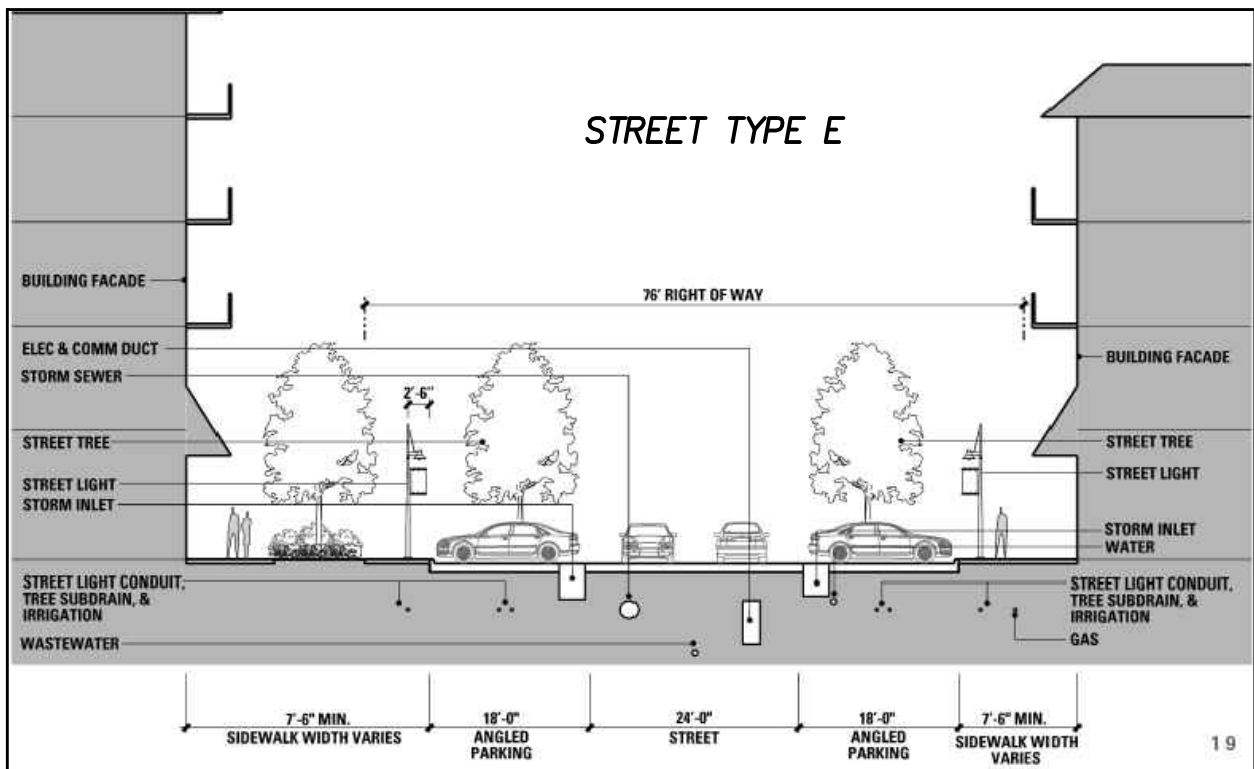
STREETSCAPE LEGEND	
	STREET TYPE B
	STREET TYPE D
	STREET TYPE E
	BRICK PAVERS PER PD 32

SUNSET RIDGE DRIVE STREET SCAPE SCHEDULE	
TYPE	QUANTITY
STREET TREES	3
STREET LIGHTS	0

HARBOR HEIGHTS DRIVE STREET SCAPE SCHEDULE	
TYPE	QUANTITY
STREET TREES	2
STREET LIGHTS	0

STREET SCAPE ELEMENTS*	
<p>PEDESTRIAN PAVING MATERIALS CONCRETE PAVING: ALL PEDESTRIAN WALKWAYS SHALL BE AN UPGRADED PEDESTRIAN CONCRETE PAVING WITH INTEGRAL COLOR (SCOFIELD CHROMIX C-24 CHARCOAL OR C-15 COACHELLA SAND), LIGHT SANDBLAST FINISH, AND SAWCUT CONTROL JOINTS.</p> <p>CONCRETE PAVERS: CONCRETE PAVERS SHALL BE PAVESTONE CONCRETE PAVERS, HOLLAND 98 PARKWAY PROVENCIAL, ANTIQUE TERRA COTTA COLOR, 8 CM THICKNESS. PAVERS SHALL BE PLACED IN A RUNNING BOND PATTERN PERPENDICULAR TO THE STREET CURB.</p> <p>VEHICULAR PAVING MATERIALS CONCRETE PAVING: THE STANDARD VEHICULAR PAVING MATERIAL SHALL BE CONCRETE IN ACCORDANCE WITH CITY OF ROCKWALL STANDARDS.</p> <p>CONCRETE PAVERS: UPGRADED VEHICULAR PAVING SHALL BE CONCRETE PAVERS. CONCRETE PAVERS SHALL BE PAVESTONE CONCRETE PAVERS, HOLLAND 98 PARKWAY PROVENCIAL, ANTIQUE TERRA COTTA COLOR, 8 CM THICKNESS. PAVERS SHALL BE PLACED IN A HERRINGBONE PATTERN.</p>	<p>LIGHTING PEDESTRIAN SCALE STREET LIGHT: SIMILAR TO BEGA 9701 MH 100W METAL HALIDE FIXTURE ON BEGA 1108 HR 11'-8" TAPERED ROUND POLE WITH INTEGRAL BANNER ARMS, POWDER COAT COLOR RAL#7003 MOSS GREY.</p> <p>TREE UPLIGHT: ALL STREET TREE WELLS WITHIN THE RIGHT OF WAY SHALL HAVE UPLIGHTS W/ B-K HP2-PAR2020-TR-59-SAP-11-XXX-AH/CPC OR A SIMILAR LIGHT FIXTURE</p> <p>TREE PLANTING STREET TREES WITHIN THE RIGHT OF WAY SHALL BE THE FOLLOWING SIZES: STREET TREES IN TREE WELLS AT DISTANCES SHOWN SHALL BE 4" CALIPER, 100 GAL. STREET TREES IN PARKING ISLANDS AT DISTANCES SHOWN SHALL BE 6" CALIPER. PER MASTER TREE PLAN: STREET TYPE B: SHALL CONTAIN CEDAR ELM TREES AS SHOWN ON THIS PLAN. STREET TYPE D&E: SHALL CONTAIN, AS SHOWN ON THIS PLAN, CEDAR ELM, RED OAK, POND CYPRESS OR BALD CYPRESS, AND ITALIAN CYPRESS TREES.</p>

*ALL STREET TYPE INFORMATION IS REFERENCED IN THE HARBOR DISTRICT FORM BASED CODE



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STATE OF TEXAS
CAMERON A. SLOWIN
106317
LICENSED PROFESSIONAL ENGINEER
5/9/2022

scale
when bar is 1 inch long
horiz 1"=60'
vert N/A
MAY 2022

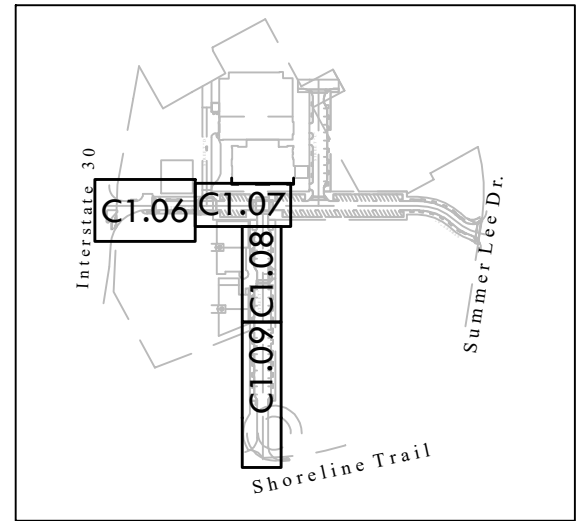
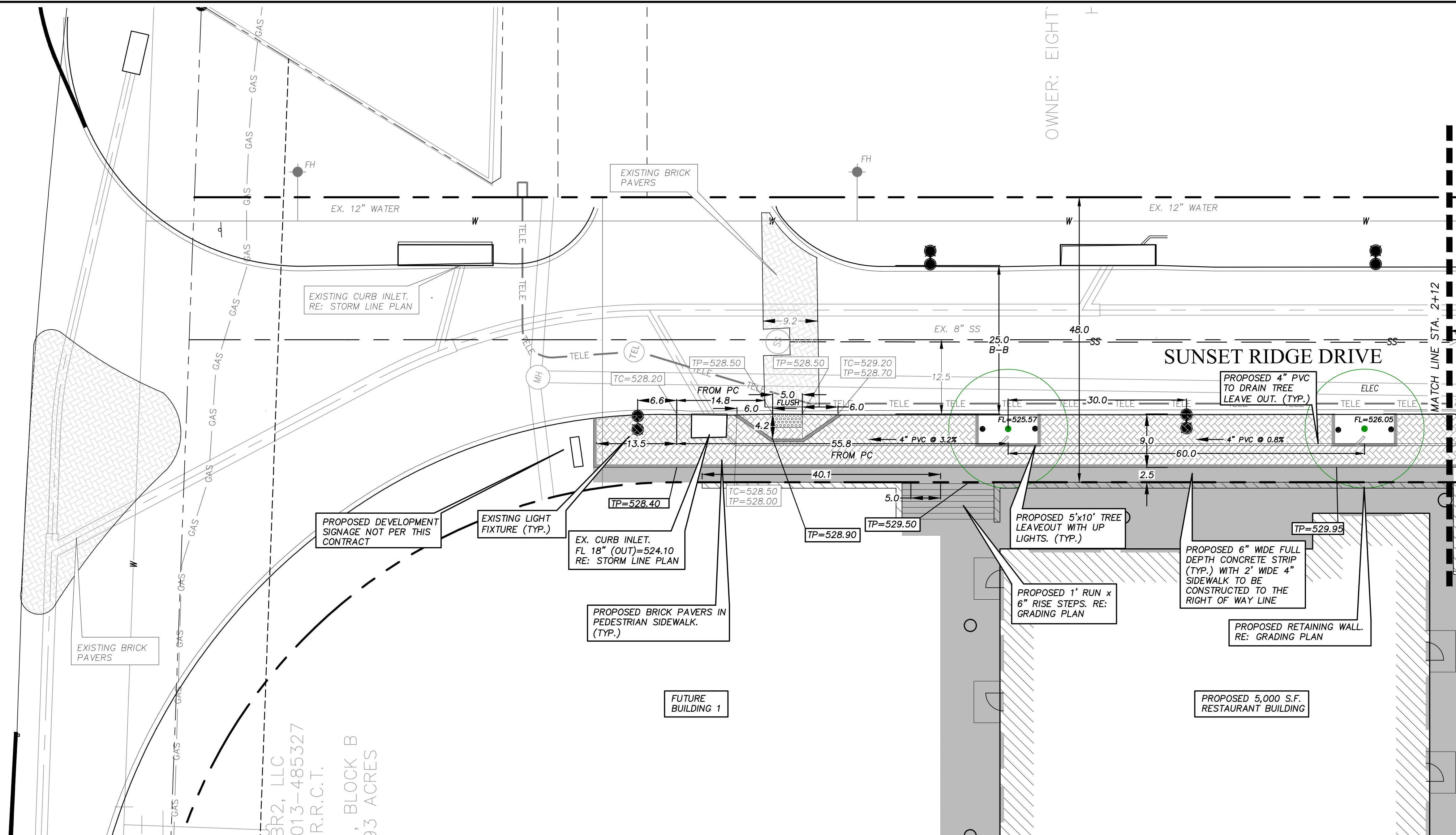
101 HUBBARD DRIVE, LLC.

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
OVERALL STREETSCAPE PLAN

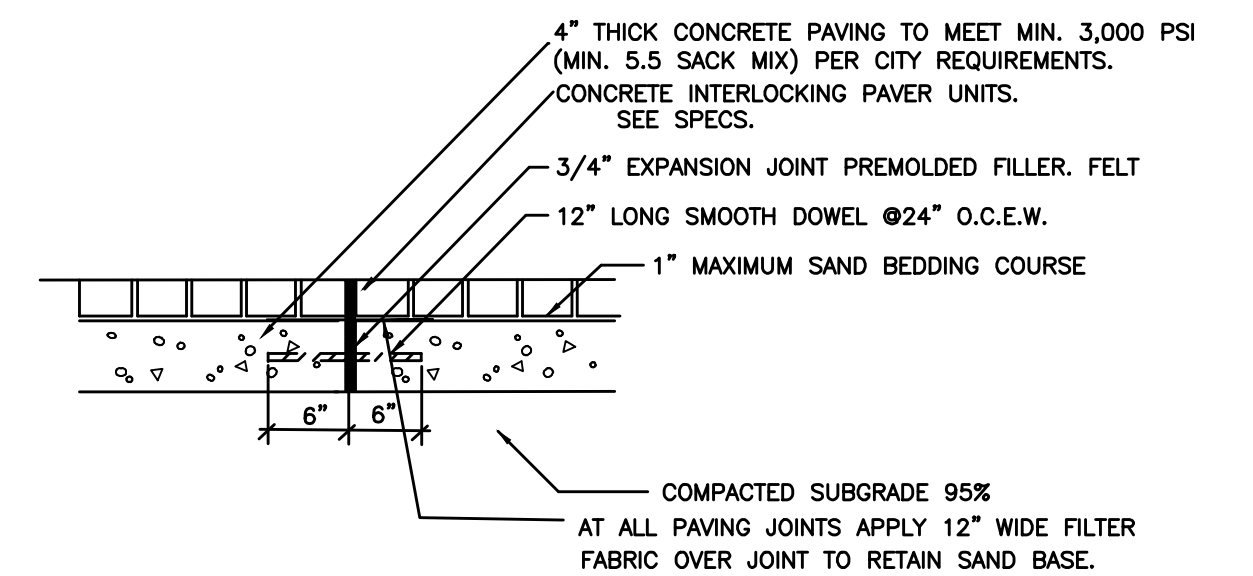
tnp project
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C1.05

Drawing: P:\00_FCC\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\C1.06 STREETScape PLAN STREET A STA 0+00 TO 2+12.dwg at May 11, 2022-9:21am by cslown
LAYOUT: STREETScape PLAN STREET A STA 0+00 TO 2+12 - Xref: X SURVEY.dwg - REF-BORDER.dwg - HARBOR-RR-BASE.dwg

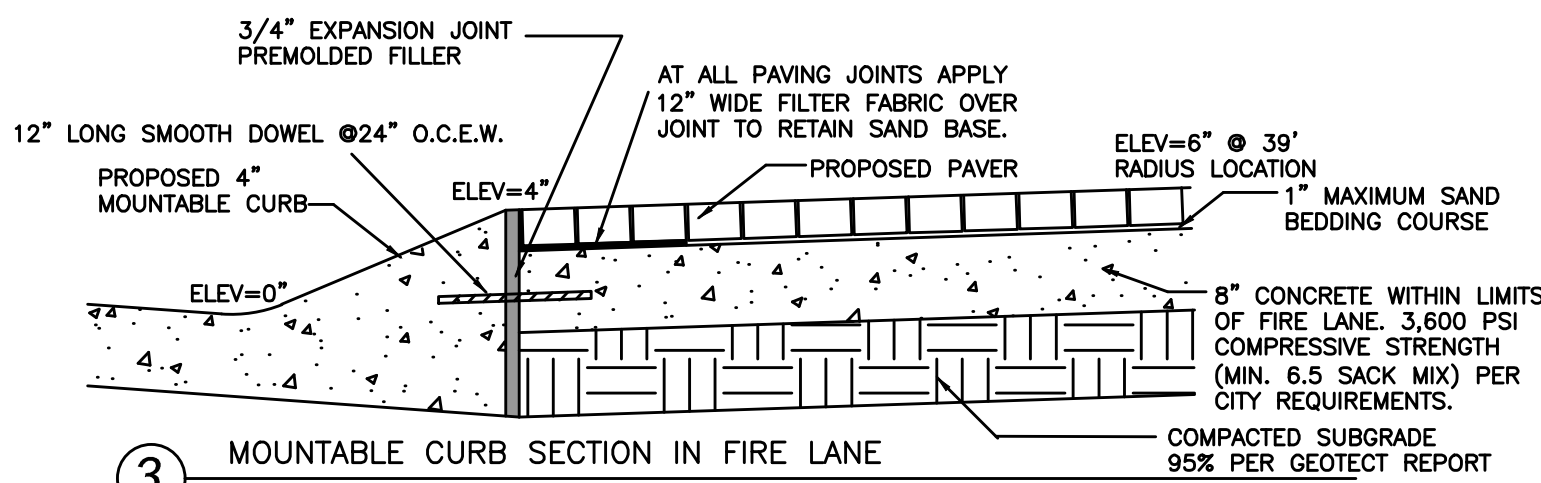
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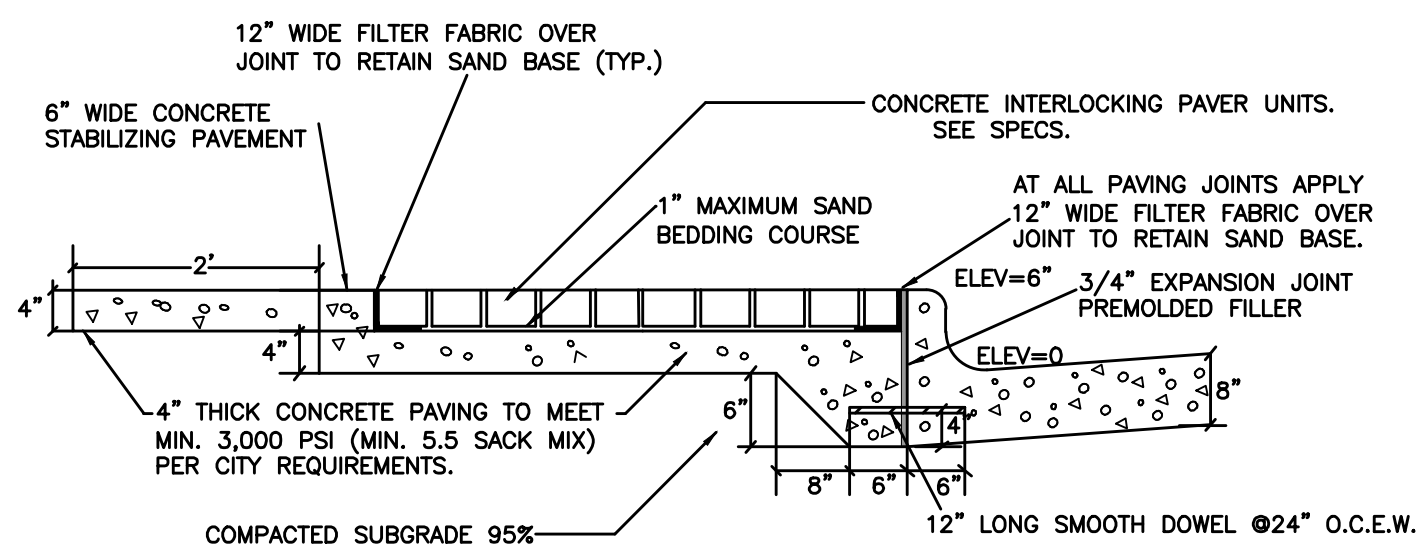
PROJECT SHEET KEY



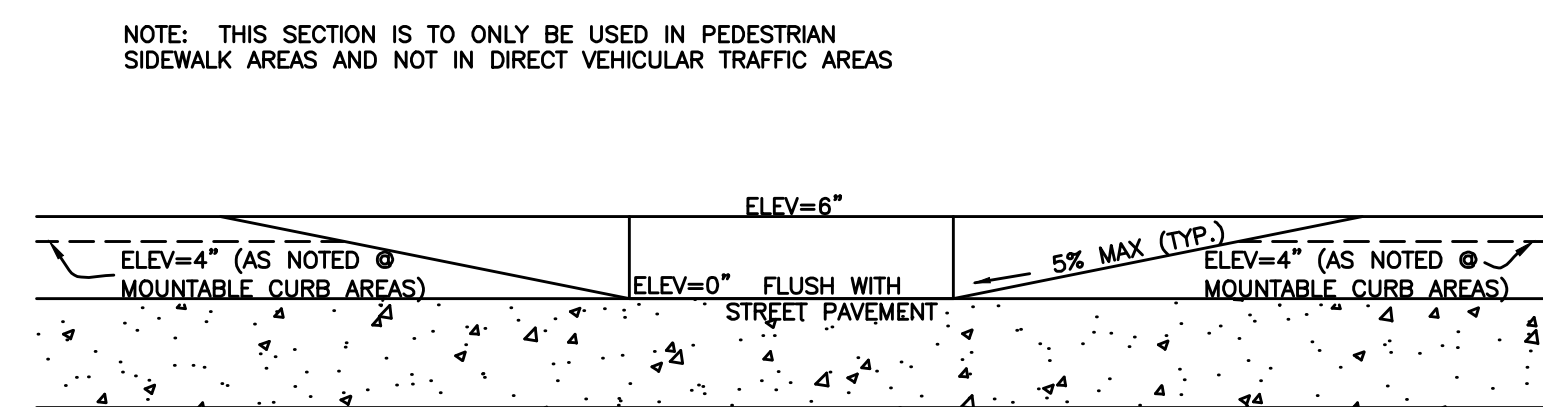
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NOT TO SCALE



3 MOUNTABLE CURB SECTION IN FIRE LANE
NOT TO SCALE

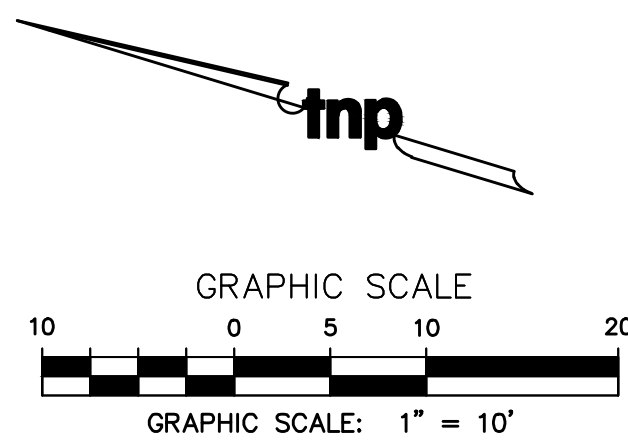
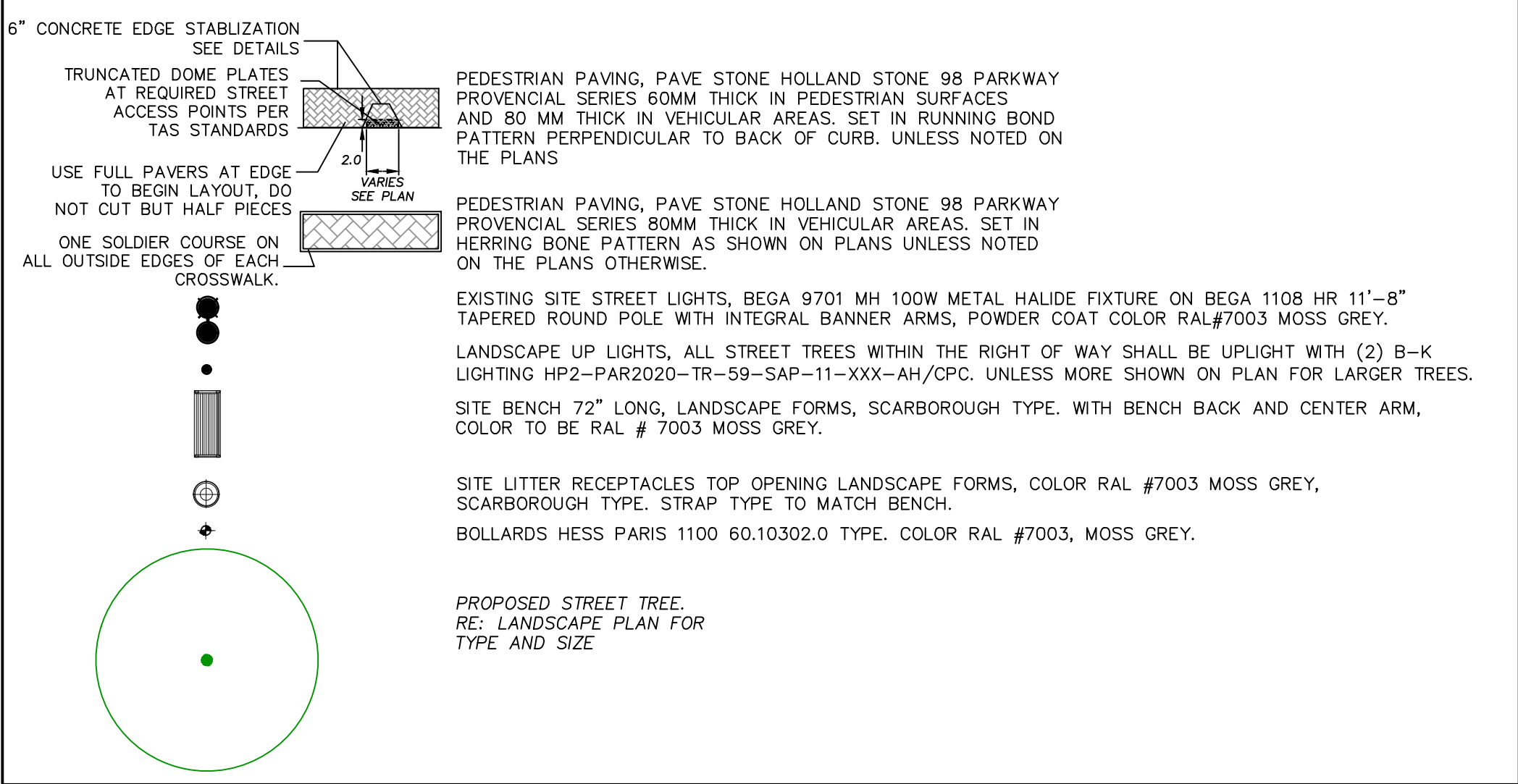


2 EDGE STABILIZATION AT PEDESTRIAN SURFACE
NOT TO SCALE



4 BARRIER FREE RAMP SECTION
NOT TO SCALE

SITE LEGEND



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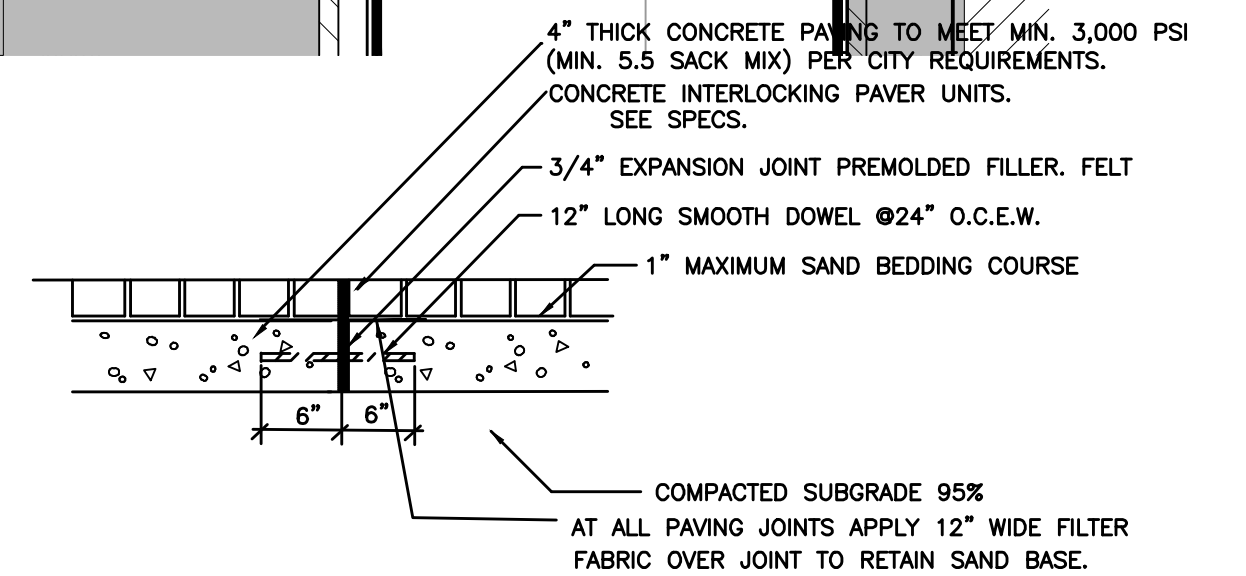
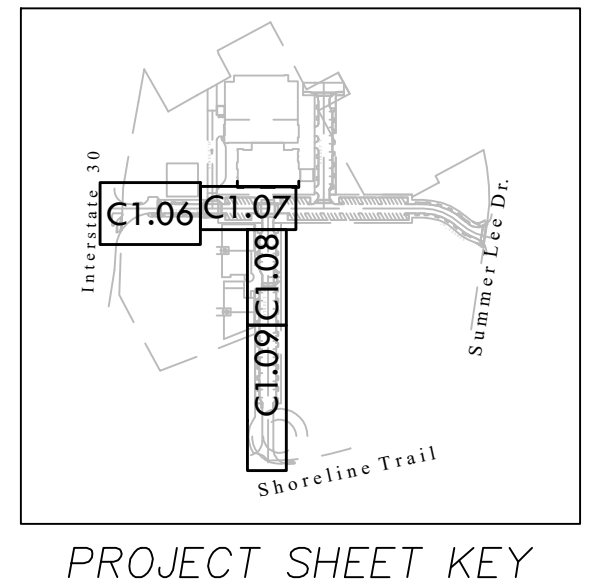
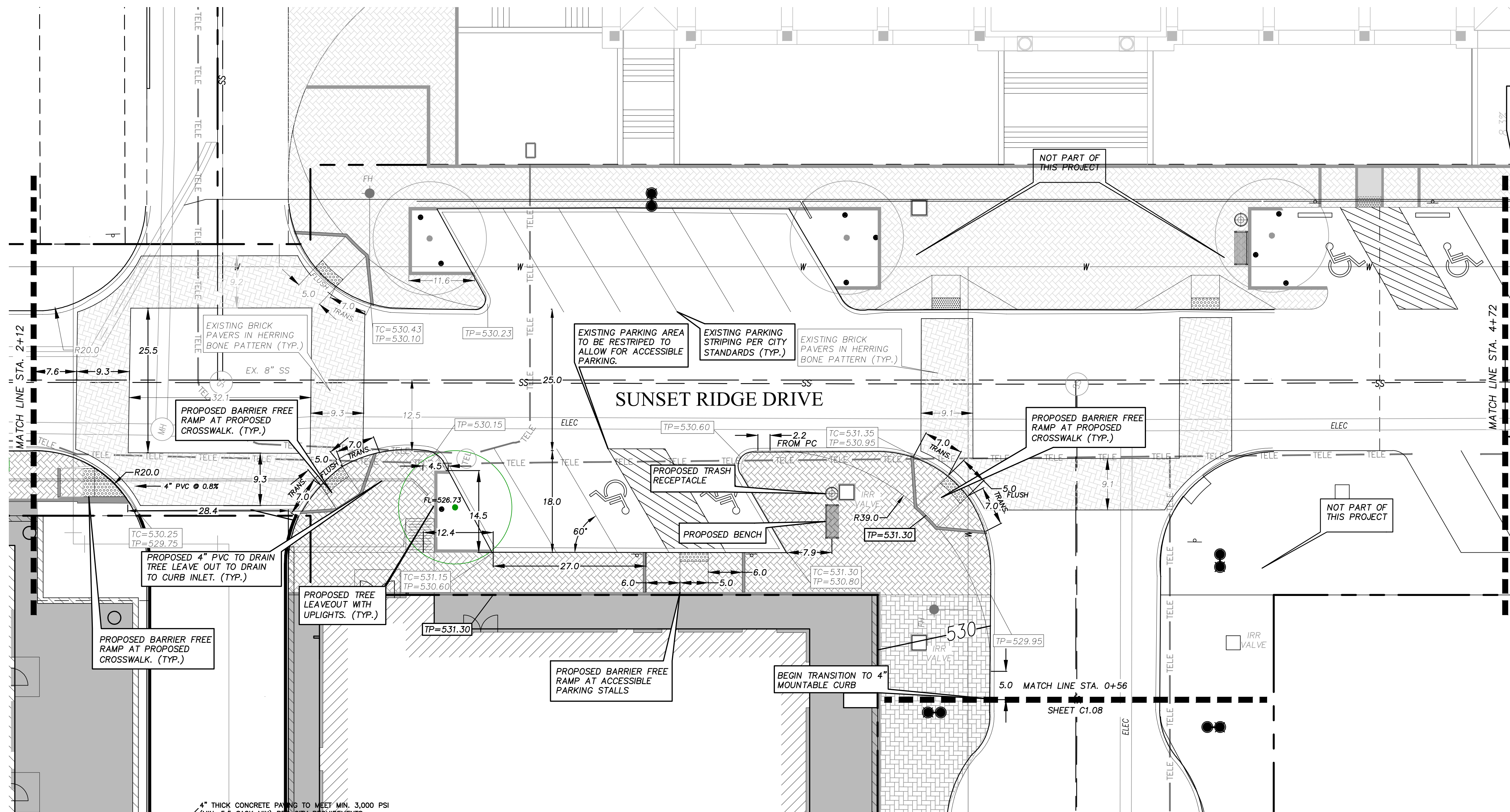
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when bar is
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horiz
1"=10'
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MAY 2022

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DRIVE, LLC.**

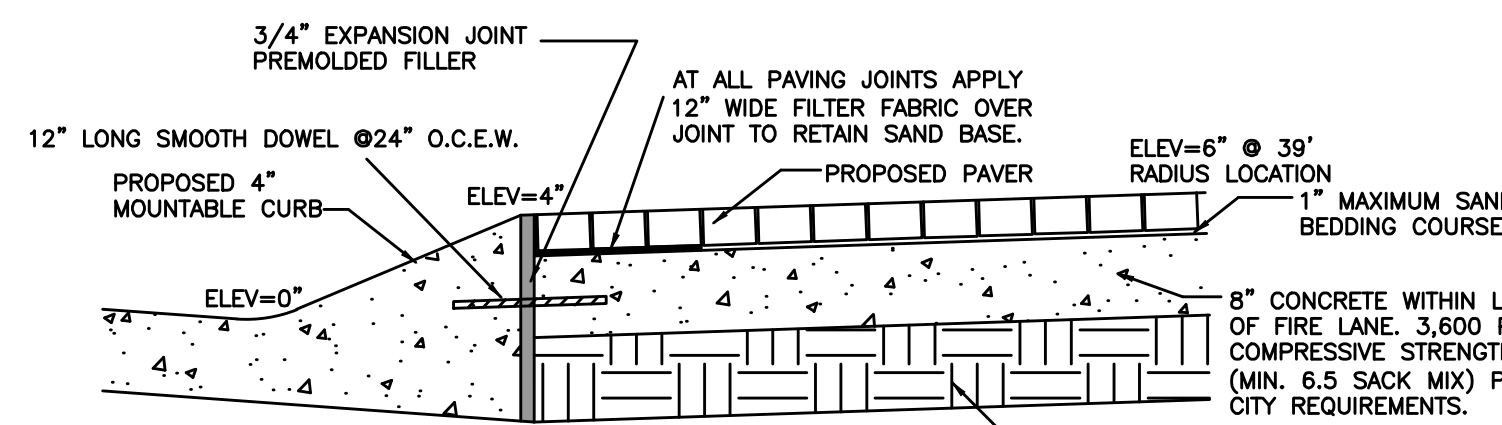
ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
STREETSCAPE PLAN STREET A STA 0+00 TO 2+12

tnp project
OZO20505
sheet
C1.06

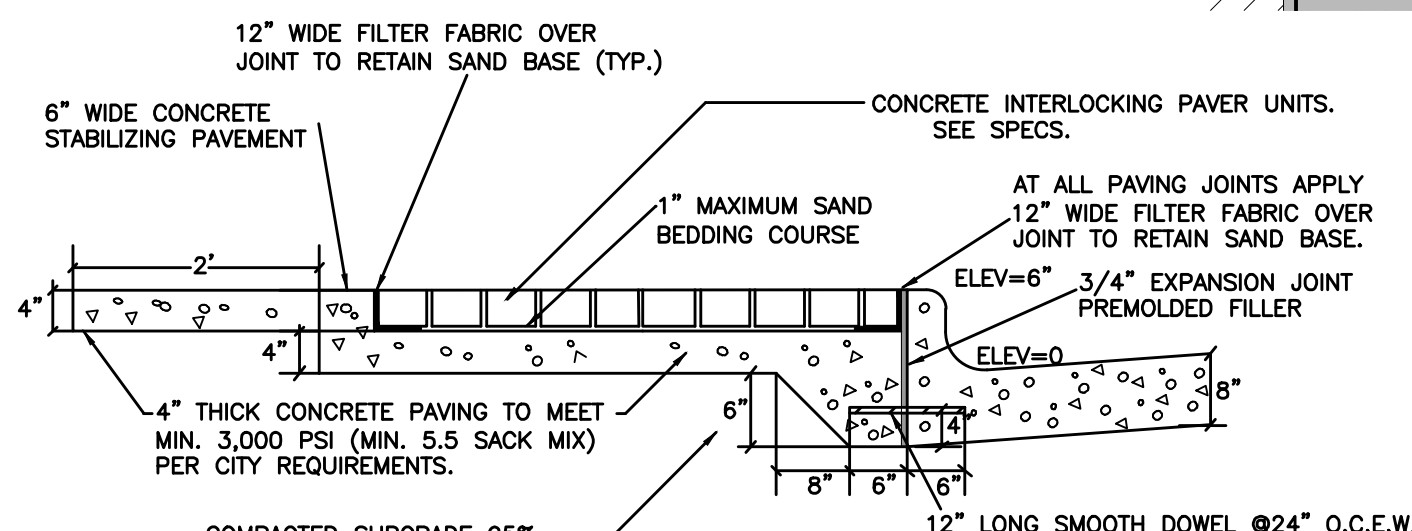
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LAYOUT: STREETScape PLAN STREET A STA 2+12 TO 4+72 - Xrefs: X SURVEY.dwg - REF-BORDER.dwg - HARBOR-RR-BASE.dwg



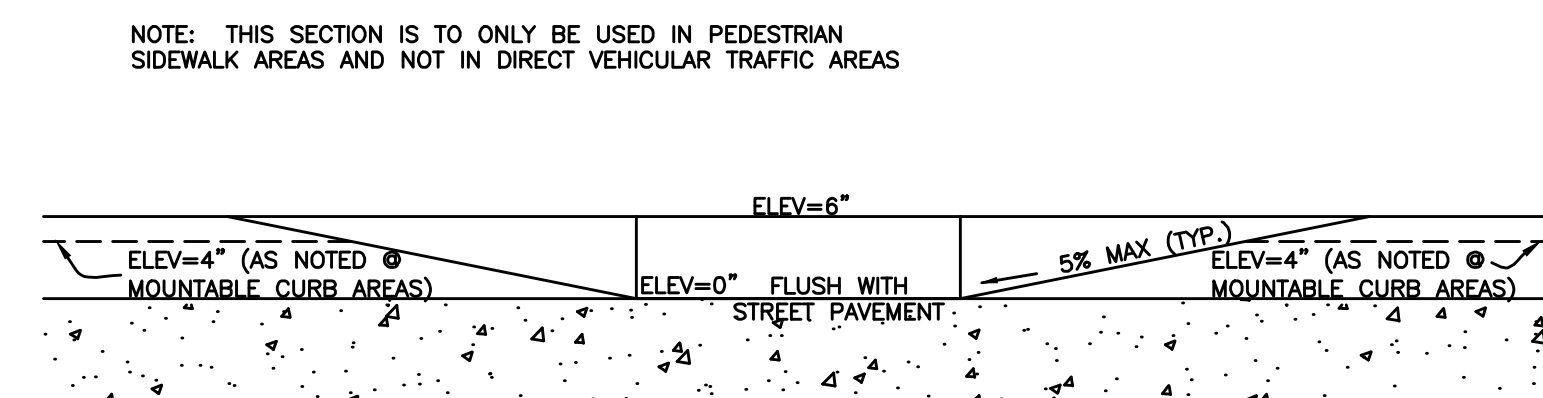
1 EXPANSION JOINT AT PAVESTONE PEDESTRIAN SURFACES (15' O.C.E.W.)
NOT TO SCALE



3 MOUNTABLE CURB SECTION IN FIRE LANE
NOT TO SCALE



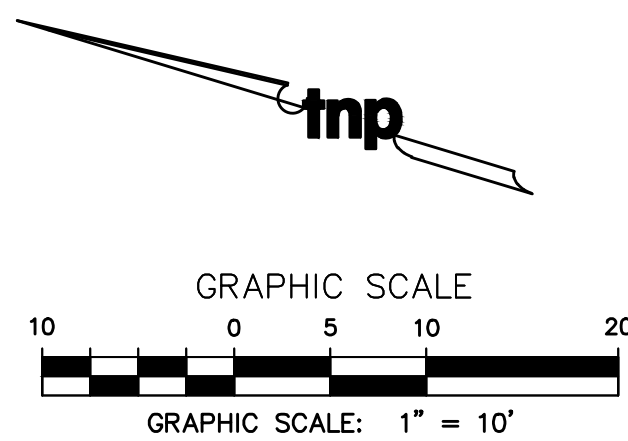
2 EDGE STABILIZATION AT PEDESTRIAN SURFACE
NOT TO SCALE



4 BARRIER FREE RAMP SECTION
NOT TO SCALE

SITE LEGEND

- 6" CONCRETE EDGE STABILIZATION
SEE DETAILS
- TRUNCATED DOME PLATES
AT REQUIRED STREET
ACCESS POINTS PER
TAS STANDARDS
- USE FULL PAVERS AT EDGE
TO BEGIN LAYOUT, DO
NOT CUT BUT HALF PIECES
- ONE SOLDIER COURSE ON
ALL OUTSIDE EDGES OF EACH
CROSSWALK.
- PEDESTRIAN PAVING, PAVE STONE HOLLAND STONE 98 PARKWAY
PROVENCIAL SERIES 60MM THICK IN PEDESTRIAN SURFACES
AND 80 MM THICK IN VEHICULAR AREAS. SET IN RUNNING BOND
PATTERN PERPENDICULAR TO BACK OF CURB. UNLESS NOTED ON
THE PLANS
- PEDESTRIAN PAVING, PAVE STONE HOLLAND STONE 98 PARKWAY
PROVENCIAL SERIES 80MM THICK IN VEHICULAR AREAS. SET IN
HERRING BONE PATTERN AS SHOWN ON PLANS UNLESS NOTED
ON THE PLANS OTHERWISE.
- EXISTING SITE STREET LIGHTS, BEGA 9701 MH 100W METAL HALIDE FIXTURE ON BEGA 1108 HR 11'-8"
TAPERED ROUND POLE WITH INTEGRAL BANNER ARMS, POWDER COAT COLOR RAL#7003 MOSS GREY.
- LANDSCAPE UP LIGHTS, ALL STREET TREES WITHIN THE RIGHT OF WAY SHALL BE UPLIGHT WITH (2) B-K
LIGHTING HP2-PAR2020-TR-59-SAP-11-XXX-AH/CPC. UNLESS MORE SHOWN ON PLAN FOR LARGER TREES.
- SITE BENCH 72" LONG, LANDSCAPE FORMS, SCARBOROUGH TYPE. WITH BENCH BACK AND CENTER ARM.
COLOR TO BE RAL # 7003 MOSS GREY.
- SITE LITTER RECEPTACLES TOP OPENING LANDSCAPE FORMS, COLOR RAL #7003 MOSS GREY,
SCARBOROUGH TYPE. STRAP TYPE TO MATCH BENCH.
- BOLLARDS HESS PARIS 1100 60.10302.0 TYPE. COLOR RAL #7003, MOSS GREY.
- PROPOSED STREET TREE.
RE: LANDSCAPE PLAN FOR
TYPE AND SIZE

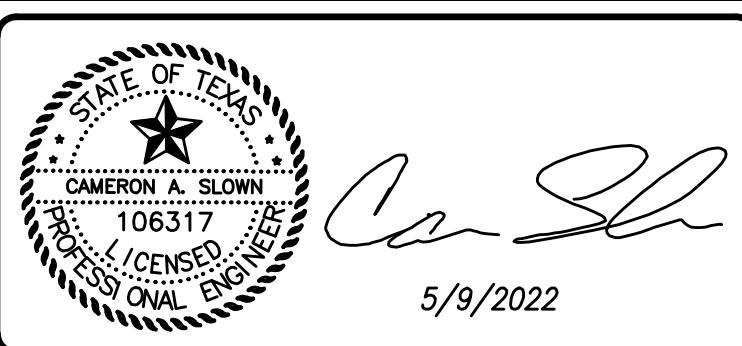


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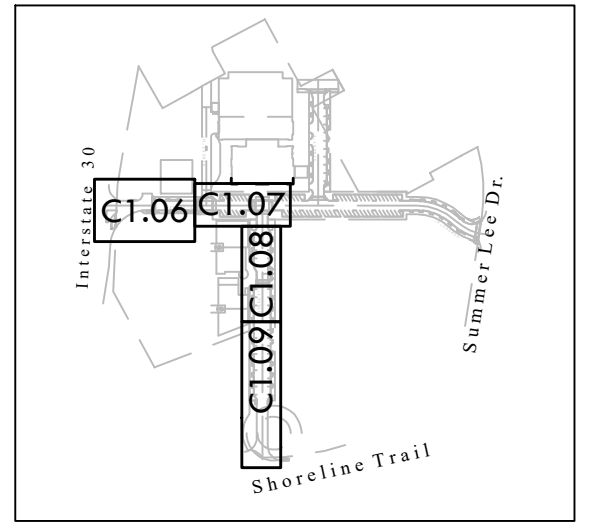
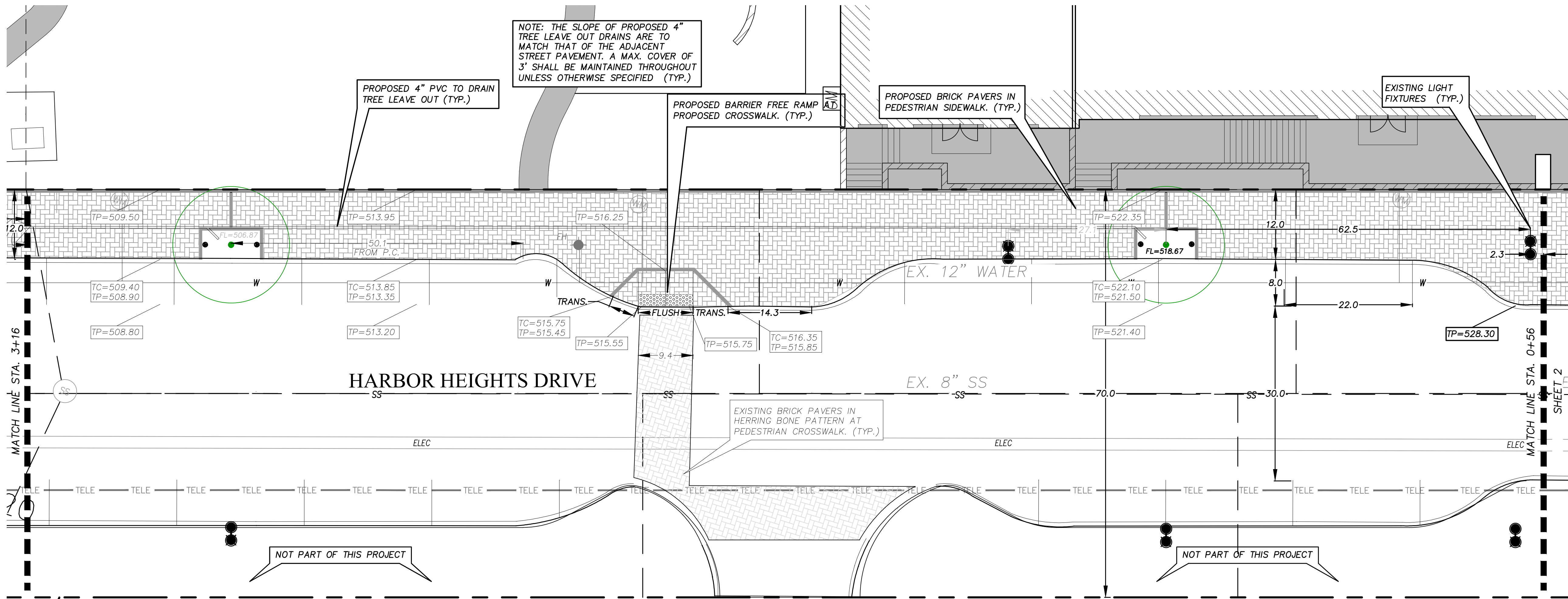
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vert
N/A
MAY 2022

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ROCKWALL, Texas
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STREETScape PLAN STREET A STA 2+12 TO 4+72

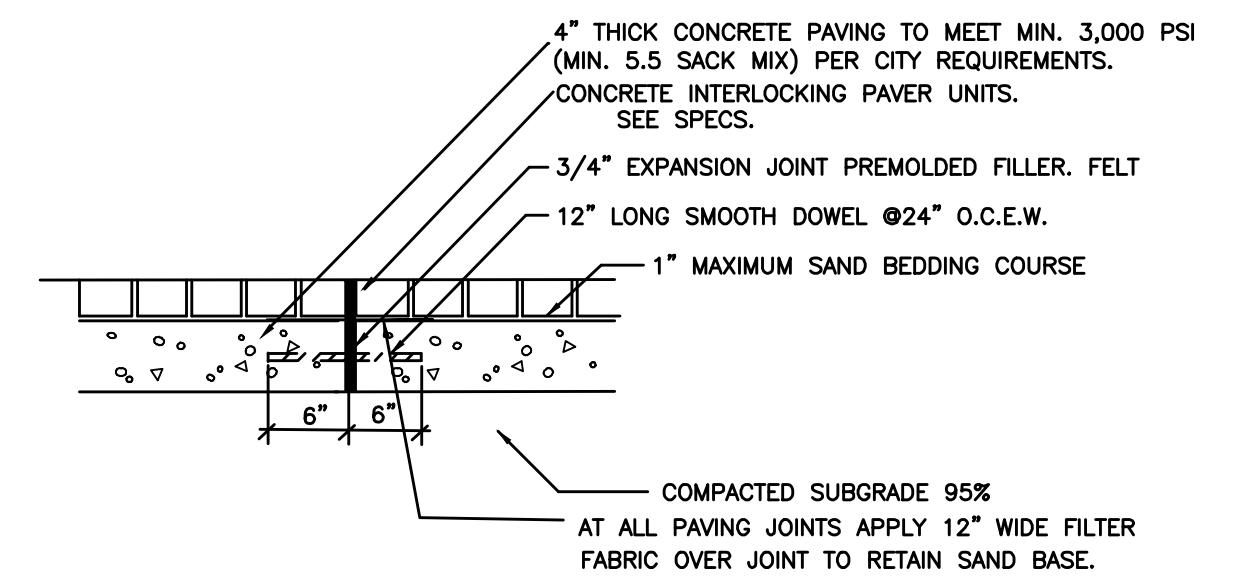
tnp project
OZO20505
sheet
C1.07

Drawing: P:\00_FCC\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\CI.08 STREETScape PLAN STREET A STA 0+00 TO 2+12.dwg at May 11, 2022-9:22am by cslown
LAYOUT: STREETScape PLAN STREET B STA 0+56 TO 3+16 Xrefs: X SURVEY.dwg - REF-BORDER.dwg - HARBOR-RR-BASE.dwg

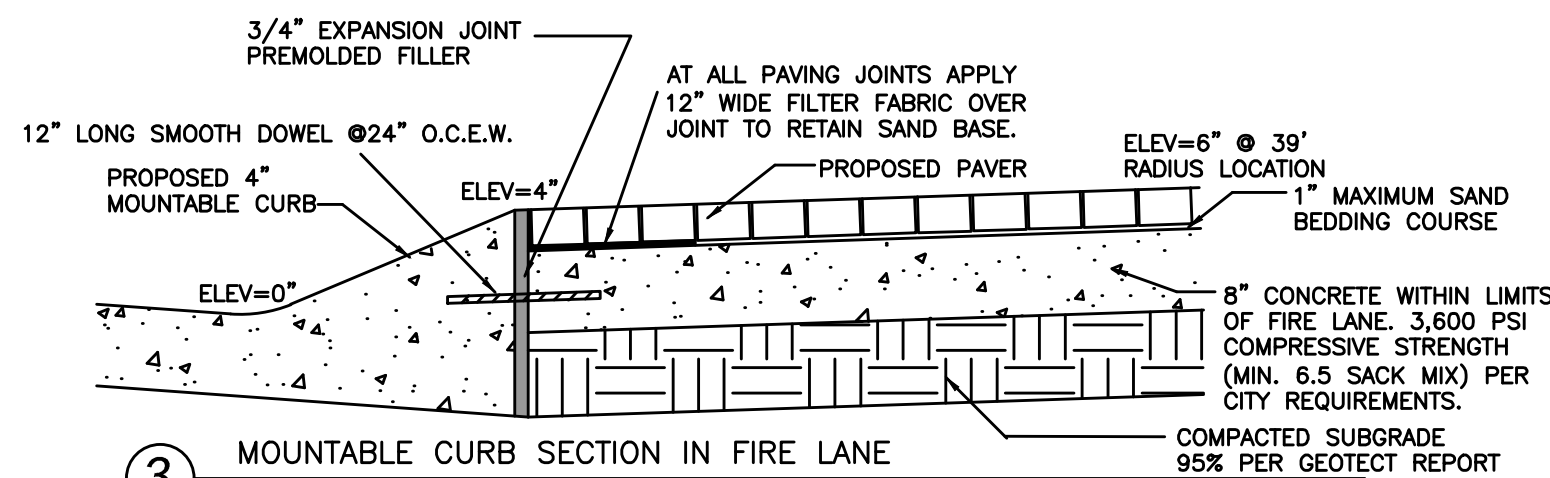


PROJECT SHEET KEY

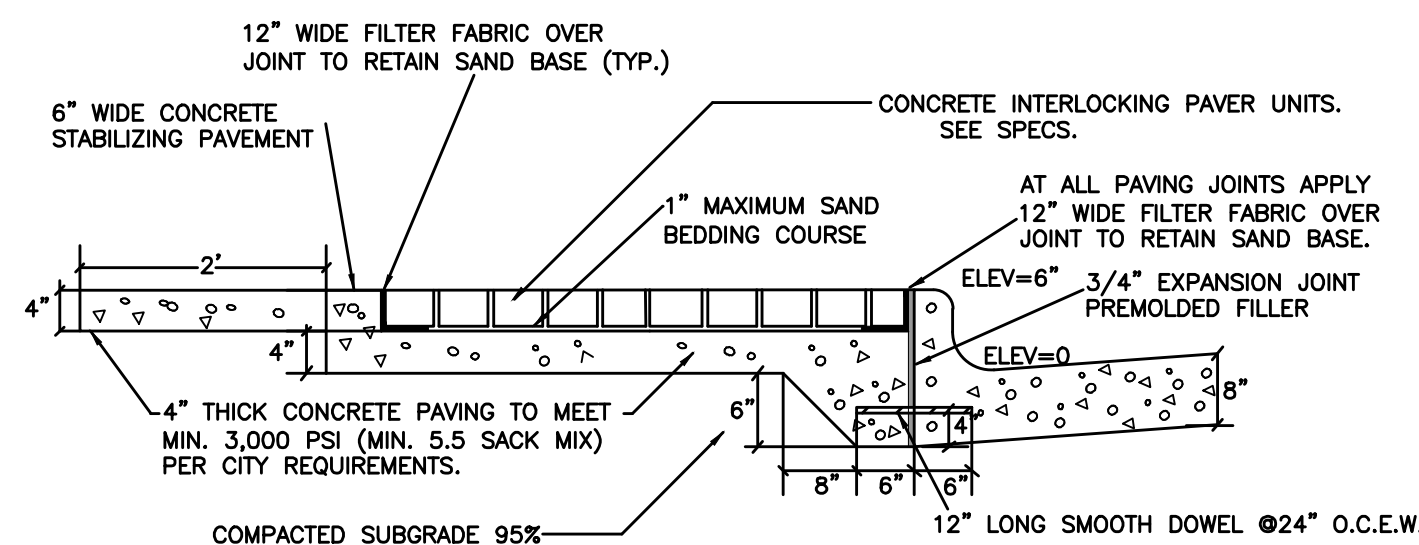
CITY OF ROCKWALL
VOL. 4324, PG 290
D.R.R.C.T.



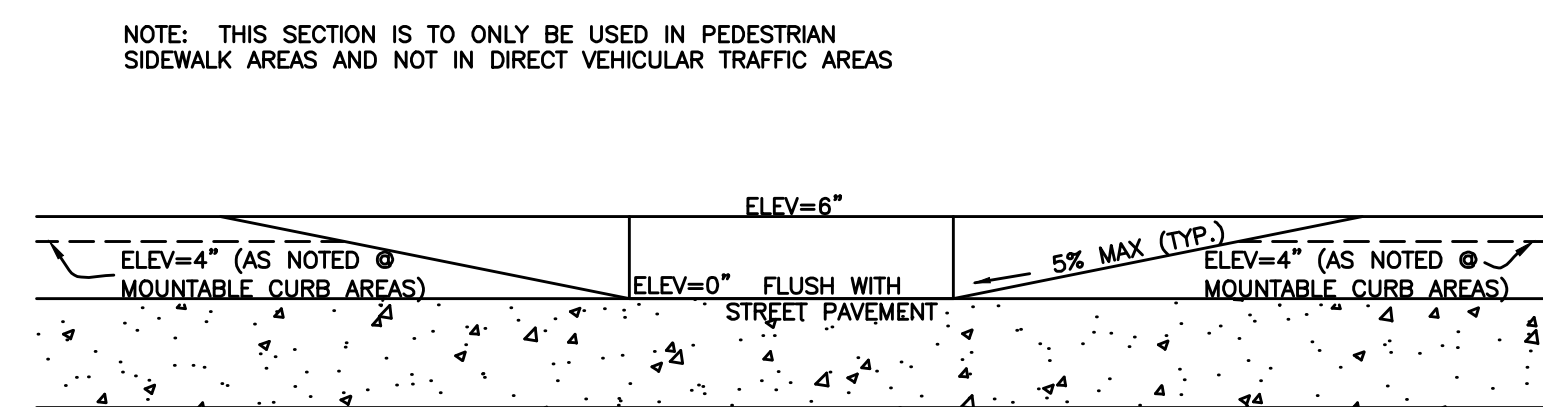
1 EXPANSION JOINT AT PAVESTONE PEDESTRIAN SURFACES (15' O.C.E.W.)
NOT TO SCALE



3 MOUNTABLE CURB SECTION IN FIRE LANE
NOT TO SCALE

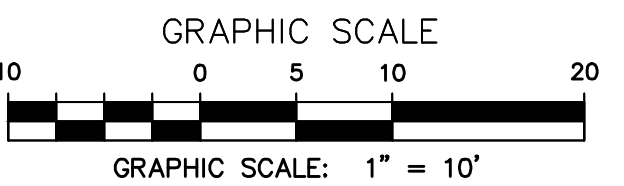
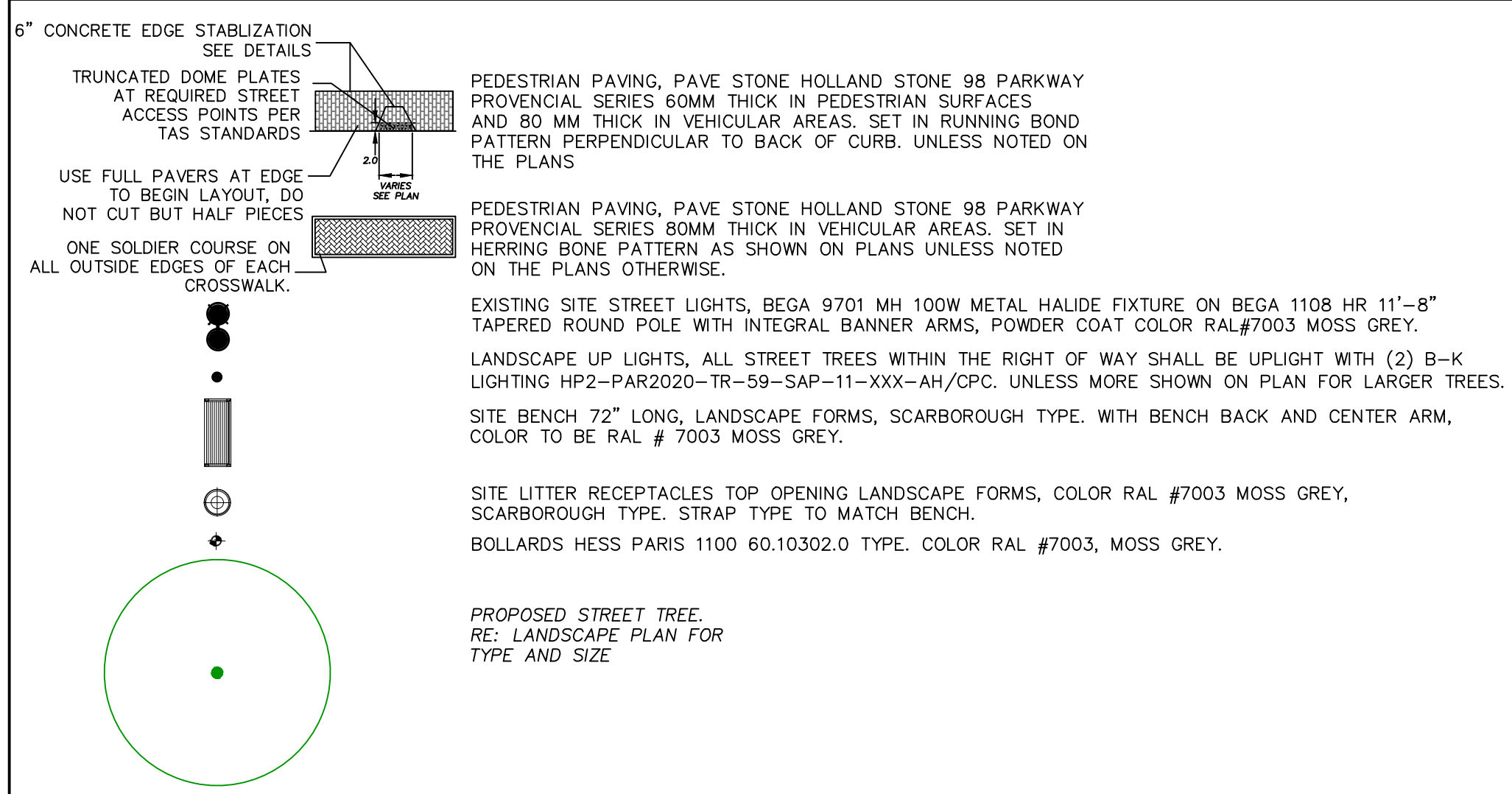


2 EDGE STABILIZATION AT PEDESTRIAN SURFACE
NOT TO SCALE



4 BARRIER FREE RAMP SECTION
NOT TO SCALE

SITE LEGEND

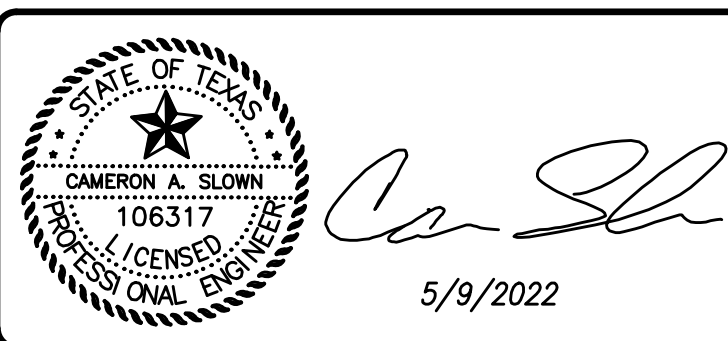


RECORD DRAWINGS

no.	revision	by	date



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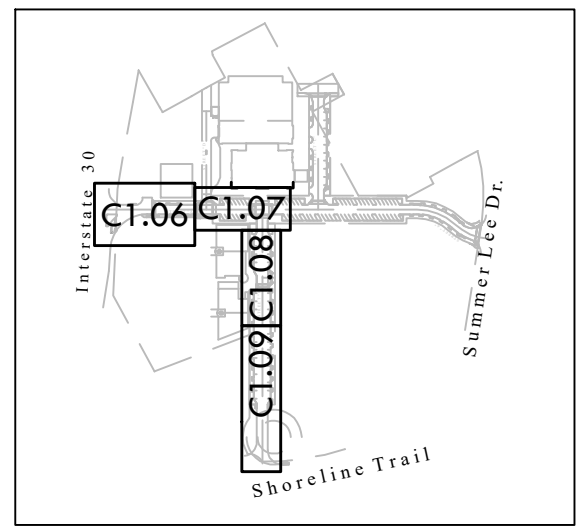
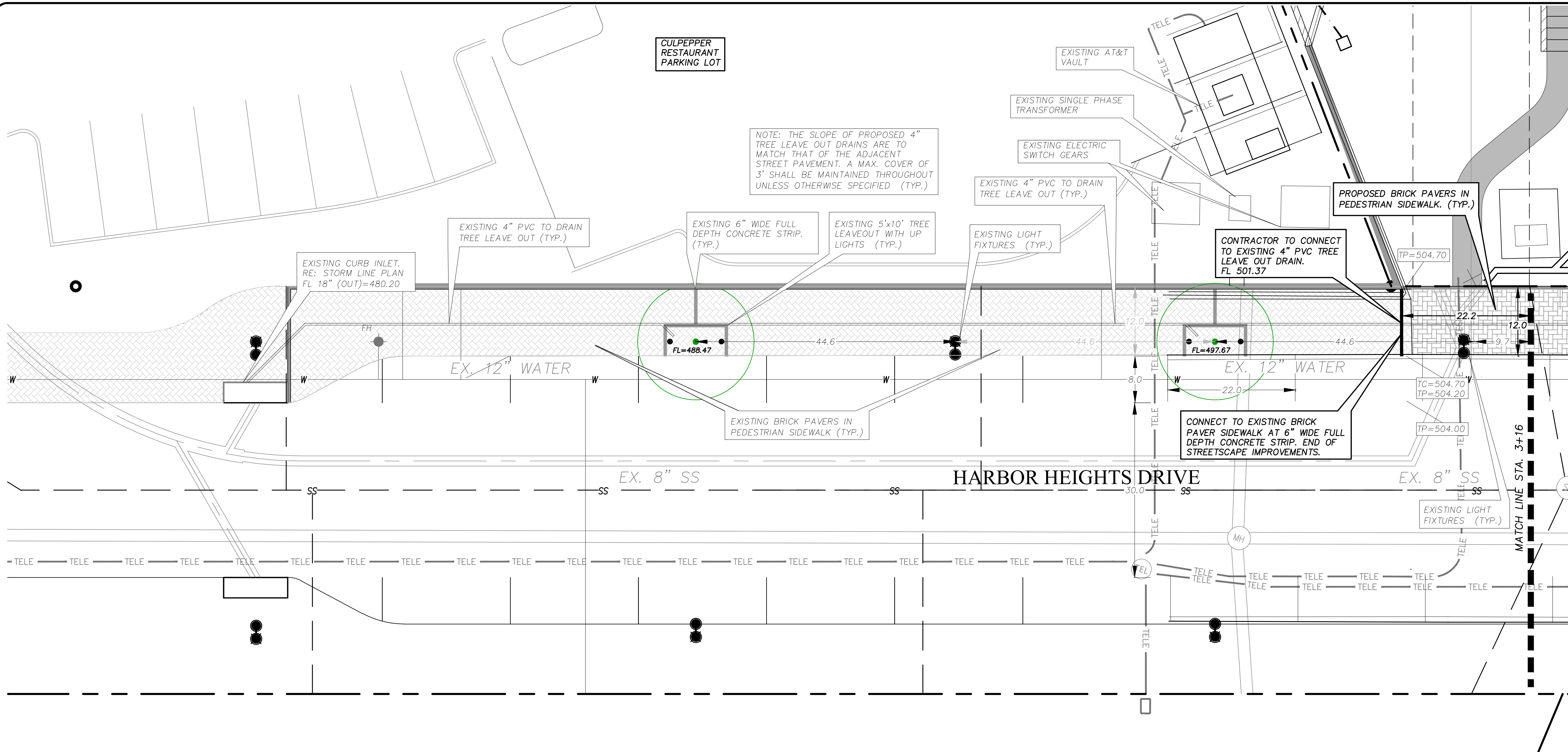
scale
when bar is
1 inch long
horiz
1"=10'
vert
N/A
MAY 2022

**101 HUBBARD
DRIVE, LLC.**

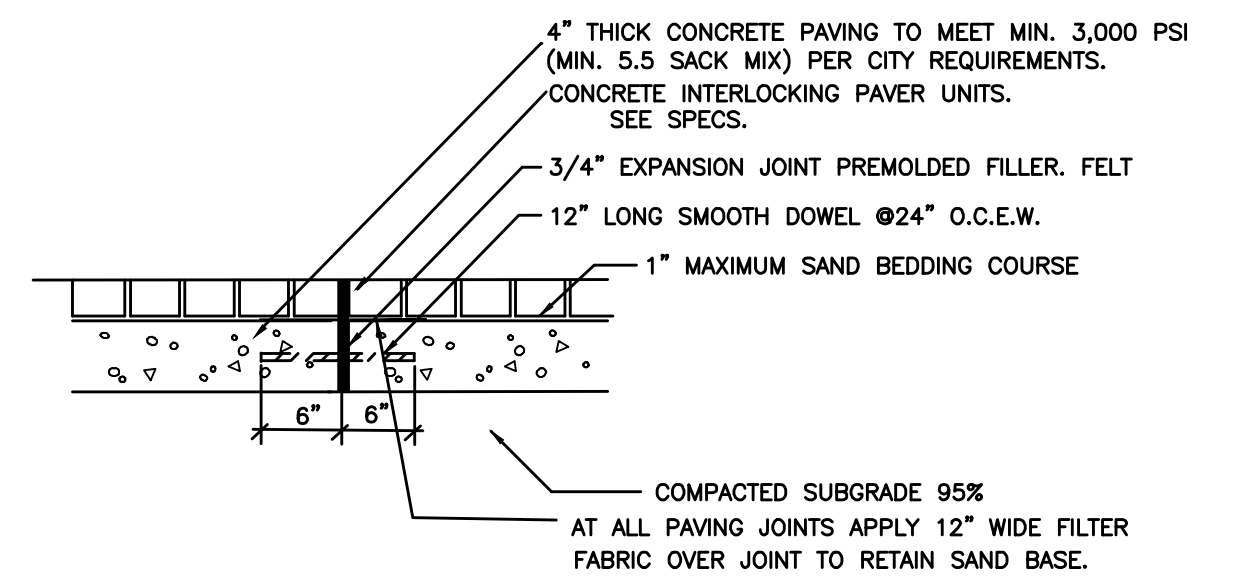
ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
STREETSCAPE PLAN STREET B STA 0+56 TO 3+16

tnp project
OZO20505
sheet
C1.08

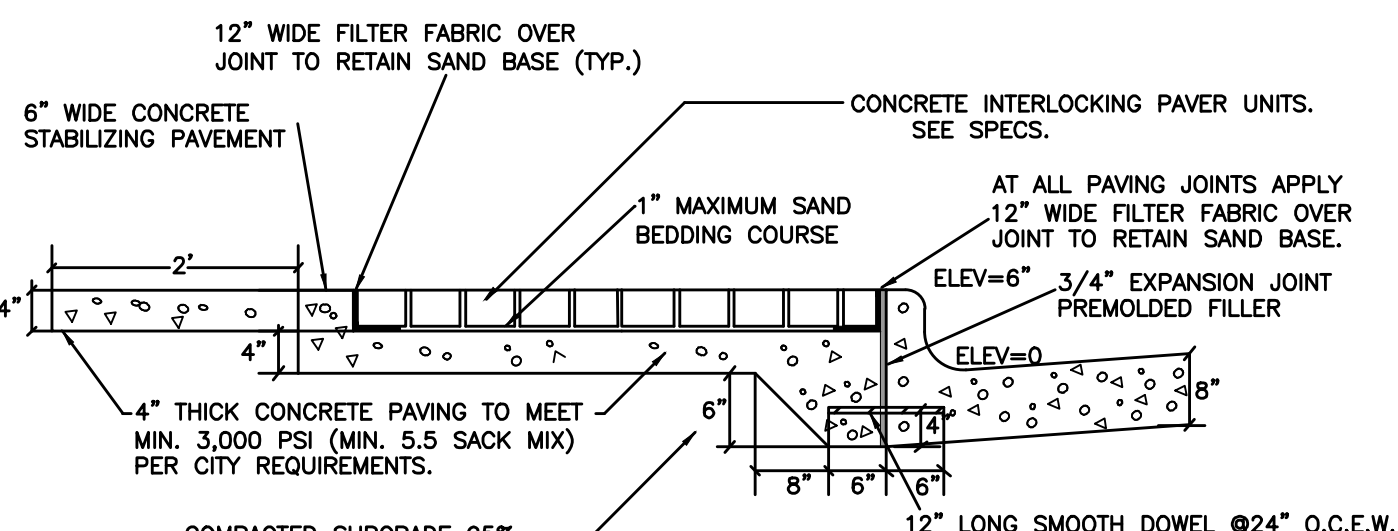
Drawing: P:\00_FCOany\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\CI.06 STREETScape PLAN STREET A STA 0+00 TO 2+12.dwg at May 11, 2022--9:23am by cslown
LAYOUT: STREETScape PLAN STREET B STA 3+16 TO 6+90 Xrefs: X SURVEY.dwg - REF-BORDER.dwg - HARBOR-RR-BASE.dwg



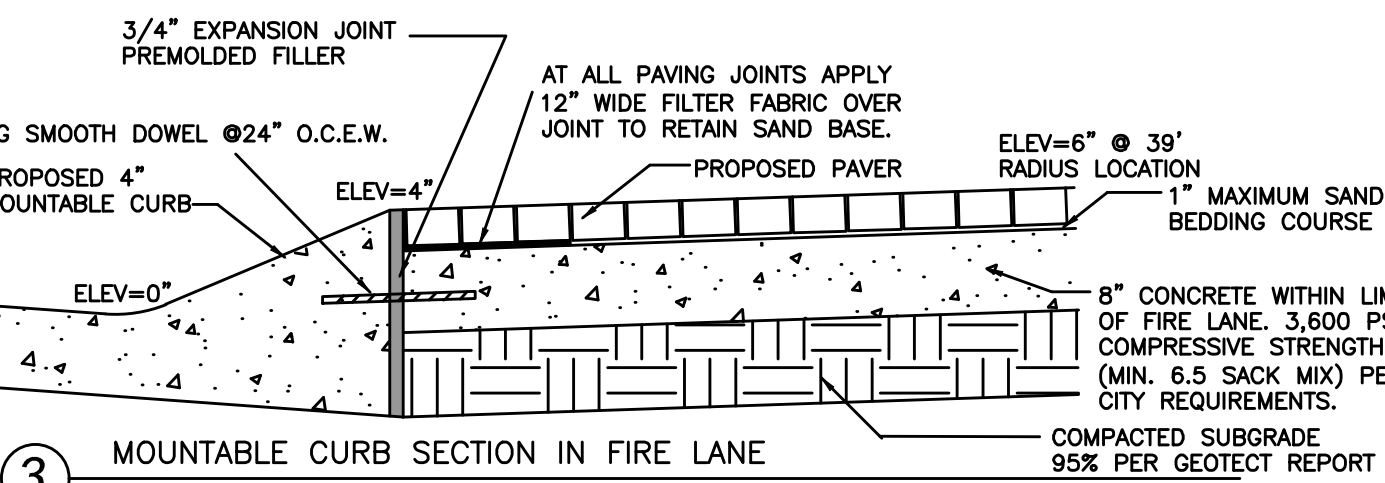
PROJECT SHEET KEY



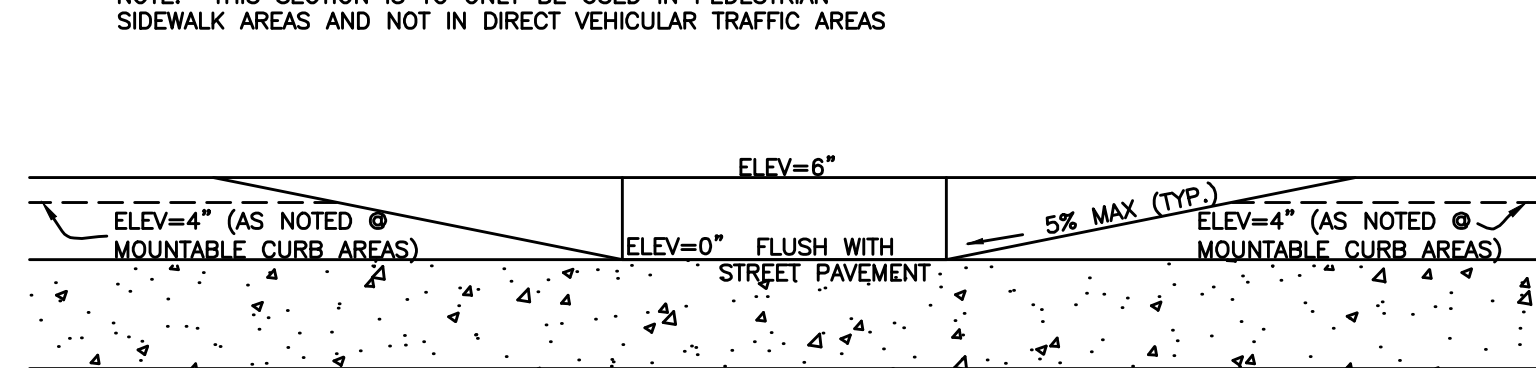
1 EXPANSION JOINT AT PAVESTONE PEDESTRIAN SURFACES (15' O.C.E.W.) NOT TO SCALE



2 EDGE STABILIZATION AT PEDESTRIAN SURFACE NOT TO SCALE

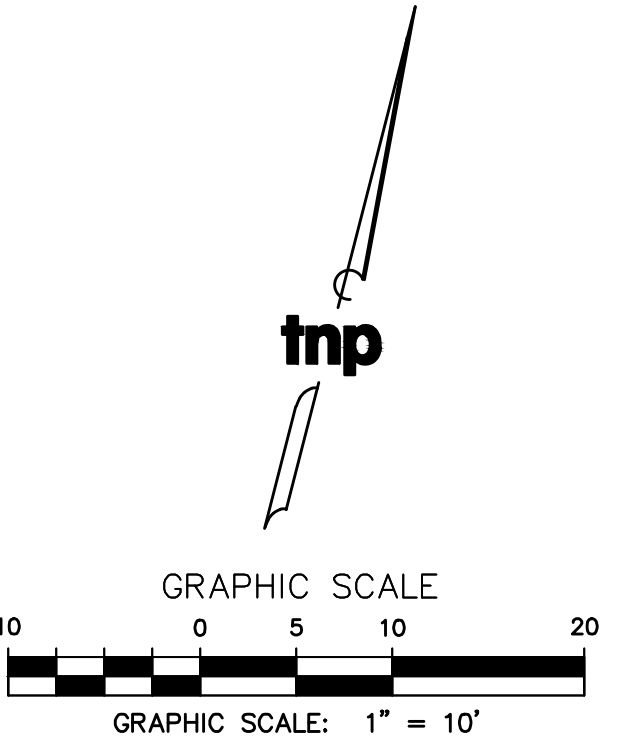
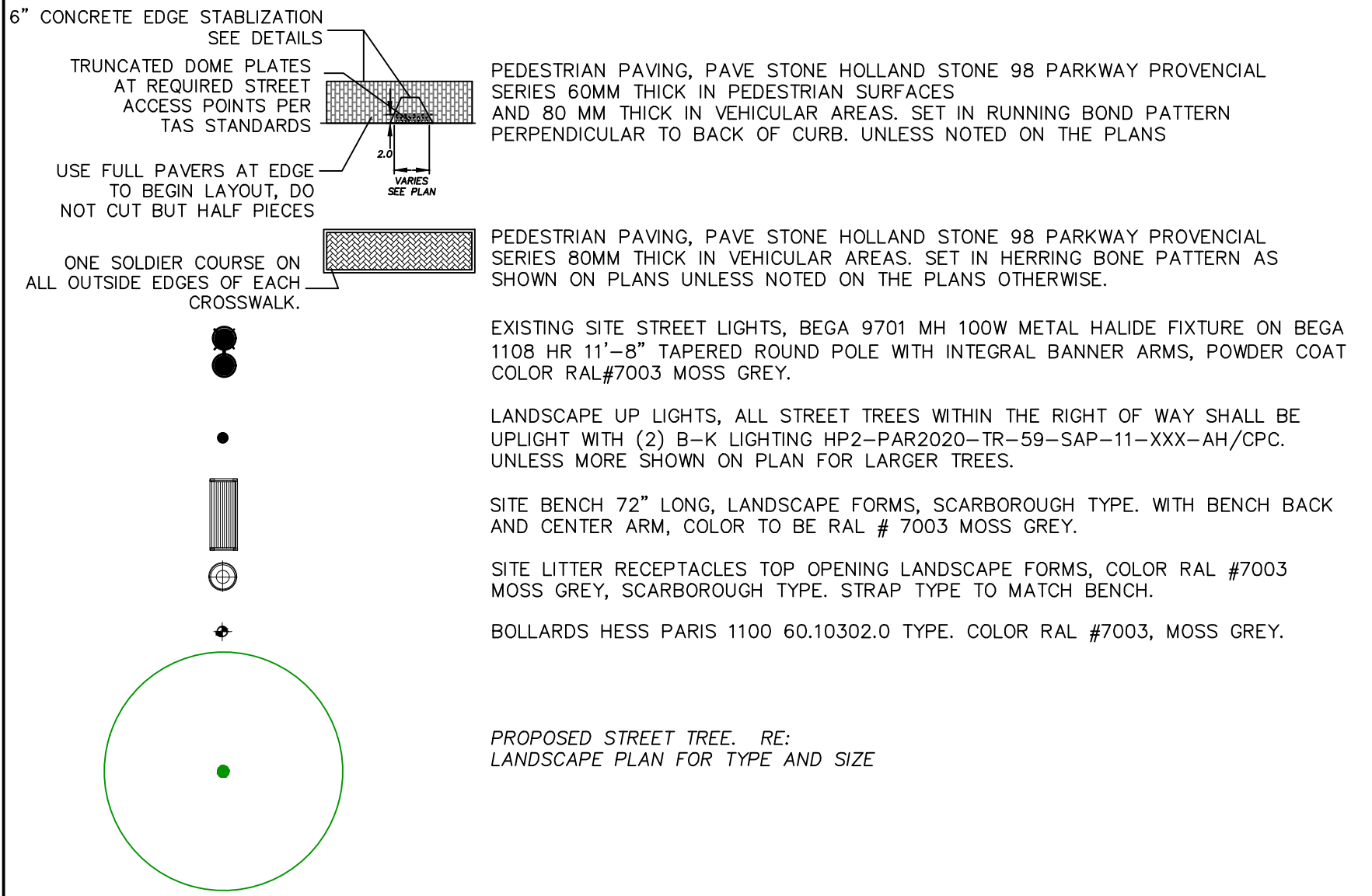


3 MOUNTABLE CURB SECTION IN FIRE LANE NOT TO SCALE



4 BARRIER FREE RAMP SECTION NOT TO SCALE

SITE LEGEND



RECORD DRAWINGS

no.	revision	by	date



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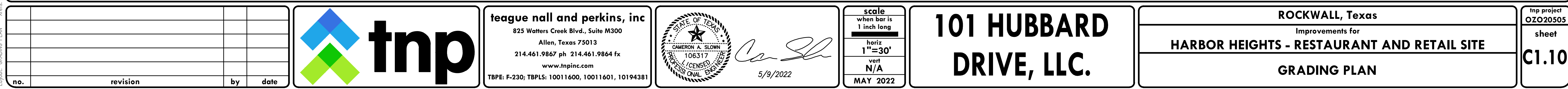
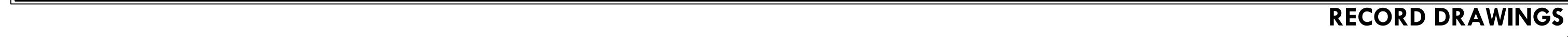
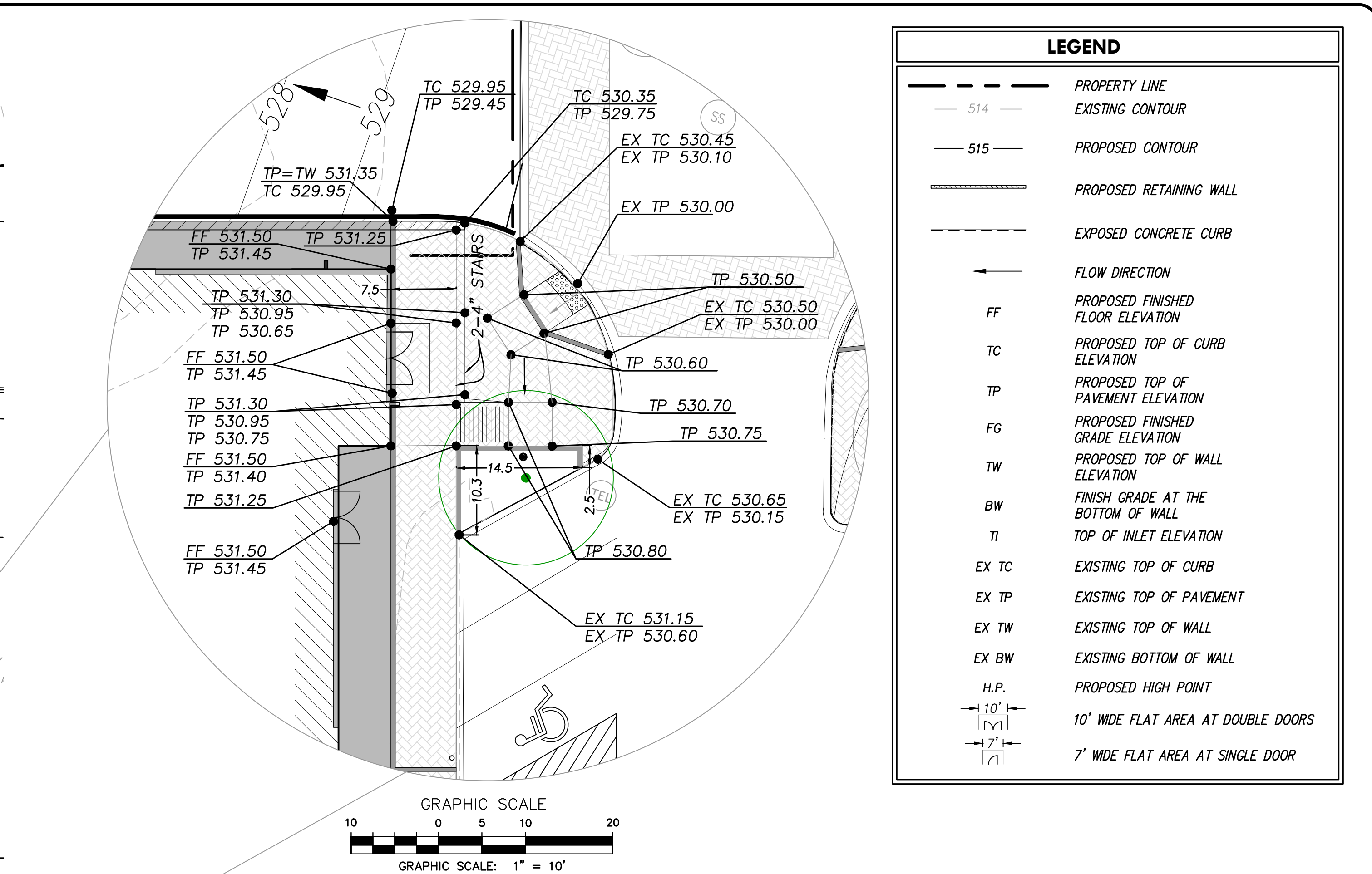
STATE OF TEXAS
CAMERON A. SLOWIN
106317
LICENSED PROFESSIONAL ENGINEER
5/9/2022

scale
when bar is
1 inch long
horiz
1"=10'
vert
N/A
MAY 2022

**101 HUBBARD
DRIVE, LLC.**

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
STREETScape PLAN STREET B STA 3+16 TO 6+90

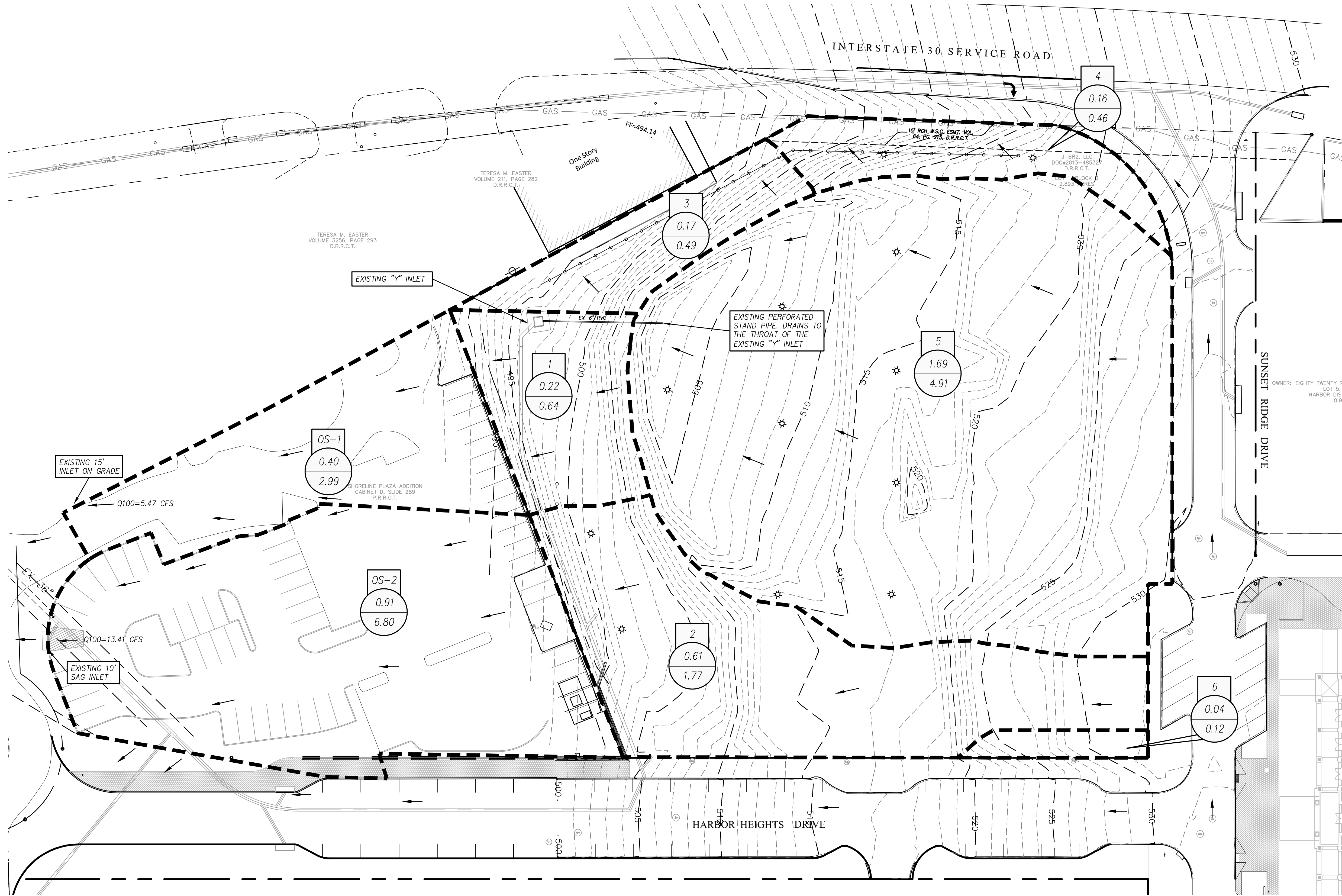
tnp project
OZO20505
sheet
C1.09





nnp project
 ZO20505
 sheet
 1.11

Drawing: P:\00_FCC\anyProjects\6-Commercial\Harbor District - Restaurant Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\08 - PREDEVELOPED DRAINAGE PLAN.dwg at May 11, 2022--9:41am by cslown
LAYOUT: PREDEVELOPED DRAINAGE PLAN Xrefs: X SURVEY.dwg - XREF-BORDER.dwg - HARBOR-RR-BASE.dwg



LEGEND

PROPERTY LINE

EXISTING CONTOURS

FLOW DIRECTION

DRAINAGE AREA NO.

DRAINAGE AREA (AC.)

DRAINAGE RUNOFF - Q (CFS)

EXISTING DRAINAGE DIVIDE

tnp

GRAPHIC SCALE

30

0

15

30

60

GRAPHIC SCALE: 1" = 30'

PREDEVELOPED DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Total Area	Runoff Coefficient	Time of Concentration Tc	Rainfall Intensity I ₁₀₀	Proposed Flow Q ₁₀₀	Remarks
	(Acres)	C	(Min.)	(in/hr)	(cfs)	
OS-1	0.40	0.90	10	9.80	3.53	FLOWS TO CULPEPPERS 15' INLET ON GRADE
OS-2	0.91	0.90	10	9.80	8.03	FLOWS TO CULPEPPERS 10' SAG INLET
1	0.22	0.35	20	8.30	0.64	FLOWS TO CULPEPPERS SITE
2	0.61	0.35	20	8.30	1.77	FLOWS TO CULPEPPERS SITE
3	0.17	0.35	20	8.30	0.49	FLOWS OFFSITE TO NORTHWEST
4	0.16	0.35	20	8.30	0.46	FLOWS TO I-30
5	1.69	0.35	20	8.30	4.91	FLOWS TO STAND PIPE/'Y' INLET
6	0.04	0.35	20	8.30	0.12	FLOWS TO HARBOR HEIGHTS DRIVE
TOTAL	4.20				19.95	

no.	revision	by	date



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STATE OF TEXAS

CAMERON A. SLOWIN

106317

LICENSED PROFESSIONAL CIVIL ENGINEER

Ca Sh

5/9/2022

scale

when bar is 1 inch long

horiz 1"=30'

vert N/A

MAY 2022

101 HUBBARD DRIVE, LLC.

ROCKWALL, Texas

Improvements for

HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE

PREDEVELOPED DRAINAGE PLAN

tnp project

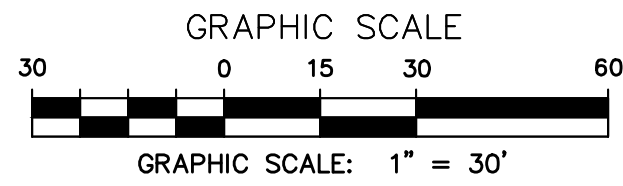
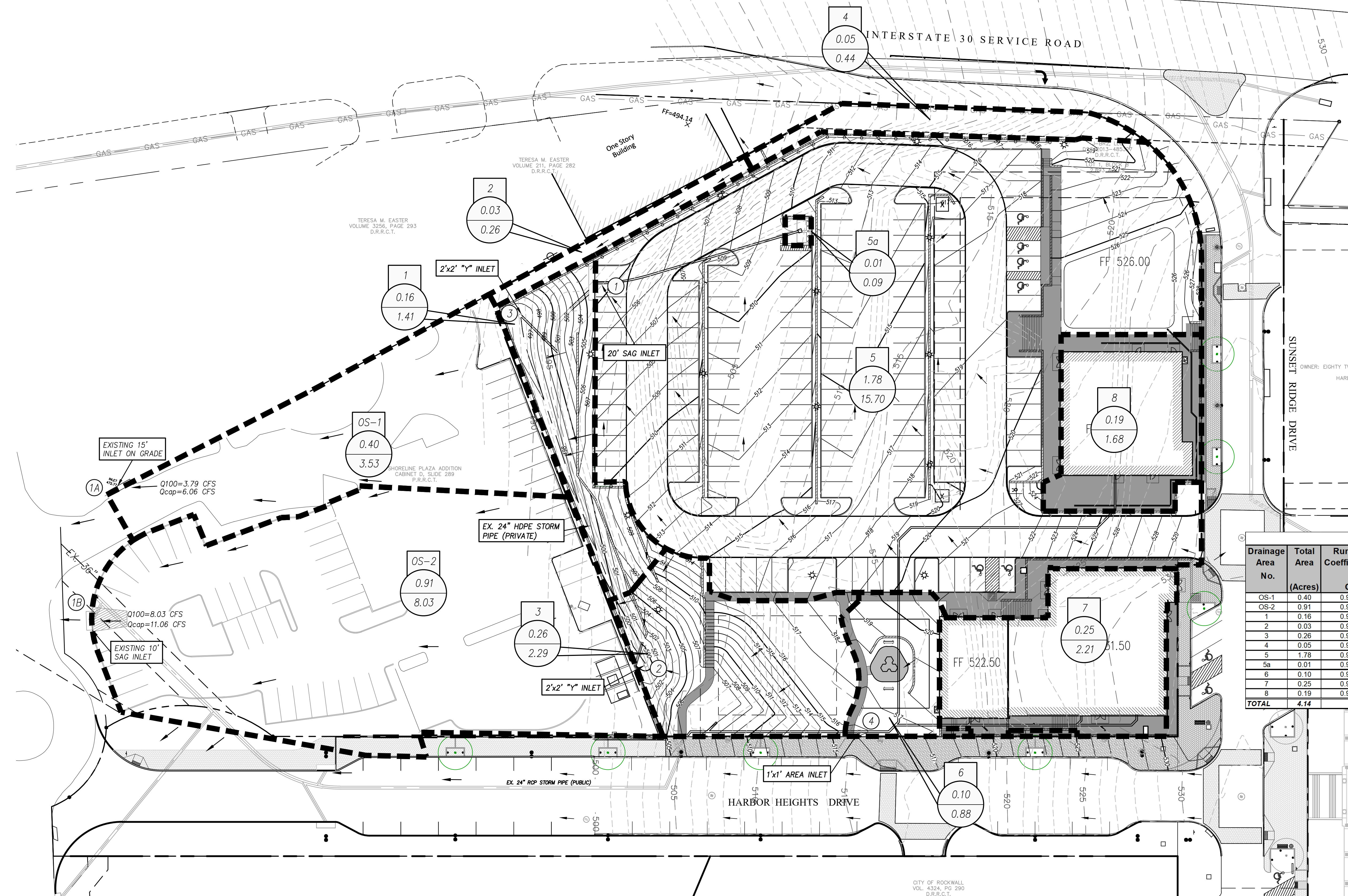
OZO20505

sheet

C1.12

RECORD DRAWINGS

Drawing: P:\00_FCO\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\09 - DRAINAGE PLAN.dwg at May 11, 2022 - 9:42am by caloun
LAYOUT: DRAINAGE PLAN Xrefs: X SURVEY.dwg - XREF-BORDER.dwg - HARBOR-RR-BASE.dwg



LEGEND	
	PROPERTY LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	FLOW DIRECTION
	DRAINAGE AREA NO.
	DRAINAGE AREA (AC.)
	DRAINAGE RUNOFF - Q (CFS)
	DRAINAGE DIVIDE
	INLET NUMBER

POST DEVELOPED DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Total Area (Acres)	Runoff Coefficient C	Time of Concentration Tc (Min.)	Rainfall Intensity I ₁₀₀ (in/hr)	Proposed Flow Q ₁₀₀ (cfs)	Remarks
OS-1	0.40	0.90	10	9.80	3.53	FLWS TO INLET 1A
OS-2	0.91	0.90	10	9.80	8.03	FLWS TO INLET 1B
1	0.16	0.90	10	9.80	1.41	FLWS TO INLET 3
2	0.03	0.90	10	9.80	0.26	FLWS TO INLET 1A
3	0.26	0.90	10	9.80	2.29	FLWS TO INLET 2
4	0.05	0.90	10	9.80	0.44	FLWS TO TXDOT RIGHT OF WAY
5	1.78	0.90	10	9.80	15.70	FLWS TO INLET 1
5a	0.01	0.90	10	9.80	0.09	FLOW TO OIL/WATER SEPARATOR
6	0.10	0.90	10	9.80	0.88	FLWS TO INLET 4
7	0.25	0.90	10	9.80	2.21	FLWS TO DOWNSPOUTS/AREA INLETS
8	0.19	0.90	10	9.80	1.68	FLWS TO DOWNSPOUTS/AREA INLETS
TOTAL	4.14				36.51	

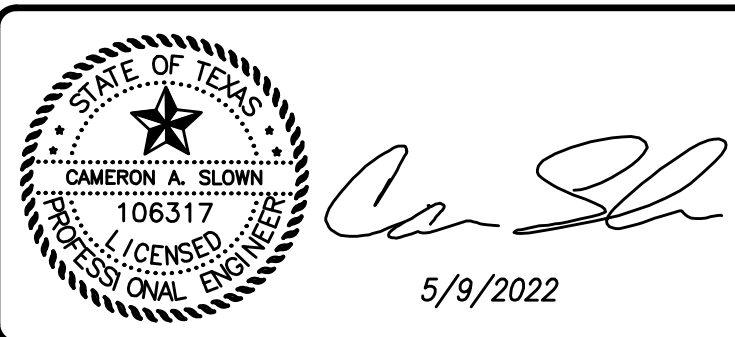
Area Runoff						Upstream Bypass C*A	Total Gutter Flow Q _g	Gutter Flow					Gutter Flow				Max Allow Flow based on Ponding Q _{max} Gutter	Depressed Gutter Section		Inlets Capacity		Ratio of Depression flow to Total Flow E ₀	Equivalent Cross-slope, S _e	Inlets Capacity		Inlet Capacity Q _c	Flow Q _{0,pass}	Inlet By-pass												
C	AREA ID	Time of	Intensity I	Area A	Runoff Q			Thoroughfare Type	On-Grade/ Sag	Manning's n	Long Slope S	Cross Slope S _x	Depression		Depth of Gutter Flow			Ponding Width/ Spread		Area	Wetted Perimeter			Area	Wetted Perimeter			Depression Section	Section Beyond Depression	Required L _{Req'd}	Actual L _{Actual}	Flow Q _{0,pass}	C*A	To Inlet ID						
		Concentration											Depth a	Width W	(allow) y _{allow}	(actual) y _{actual}		(allow) T _{allow}	(actual) T _{actual}																A _W	P _W	A ₀	P ₀	Kw	K ₀
		Tc											(ft)	(ft)	(ft)	(ft)		(ft)	(ft)																					
(6)	(7)	(min)	(in/hr)	(acres)	(cfs)	(12)	(14)	(15)	(16)	(17)	(18)	(19)	(20)	(21)	(22)	(23)	(24)	(25)	(26)	(27)	(28)	(29)	(30)	(31)	(32)	(ft)	(ft)	(cfs)	(cfs)											
0.9	OS-1, 2	10	9.8	0.43	3.79	0	3.79	LOCAL	ON GRADE	0.0175	0.07	0.033	0.5	2	0.40	0.21	12	6.22	21.70	0.84	2.08	0.29	4.22	39.36	4.24	0.90	0.26	12.06	15	6.06	N/A	N/A	N/A							
0.9	OS-2	10	9.8	0.91	8.03	0	8.03	LOCAL	SAG	0.0175	0.03	0.033	0.5	2	0.59	0.32	18	9.67	41.88	1.07	2.08	0.97	7.67	58.53	20.74	0.74	0.22	15.77	10	11.06	N/A	N/A	N/A							
0.9	5	10	9.8	1.79	15.79	0	15.79	LOCAL	SAG	0.0175	0.045	0.028	0.5	2	0.50	0.36	18	12.79	39.00	1.16	2.08	1.63	10.79	66.87	39.29	0.63	0.19	28.42	20	19.19	N/A	N/A	N/A							
0.9	3	10	9.8	0.26	2.29	0	2.29	LOCAL	DROP	0.0175		0.033	0.5	2	1.00	1.00	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	2.10	8	8.73	N/A	N/A	N/A							
0.9	1	10	9.8	0.16	1.41	0	1.41	LOCAL	DROP	0.0175		0.033	0.5	2	1.00	1.00	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1.29	8	8.73	N/A	N/A	N/A							
0.9	6	10	9.8	0.10	0.88	0	0.88	LOCAL	DROP	0.0175		0.033	0.5	1	1.00	1.00	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0.81	4	4.37	N/A	N/A	N/A							

RECORD DRAWINGS

no.	revision	by	date



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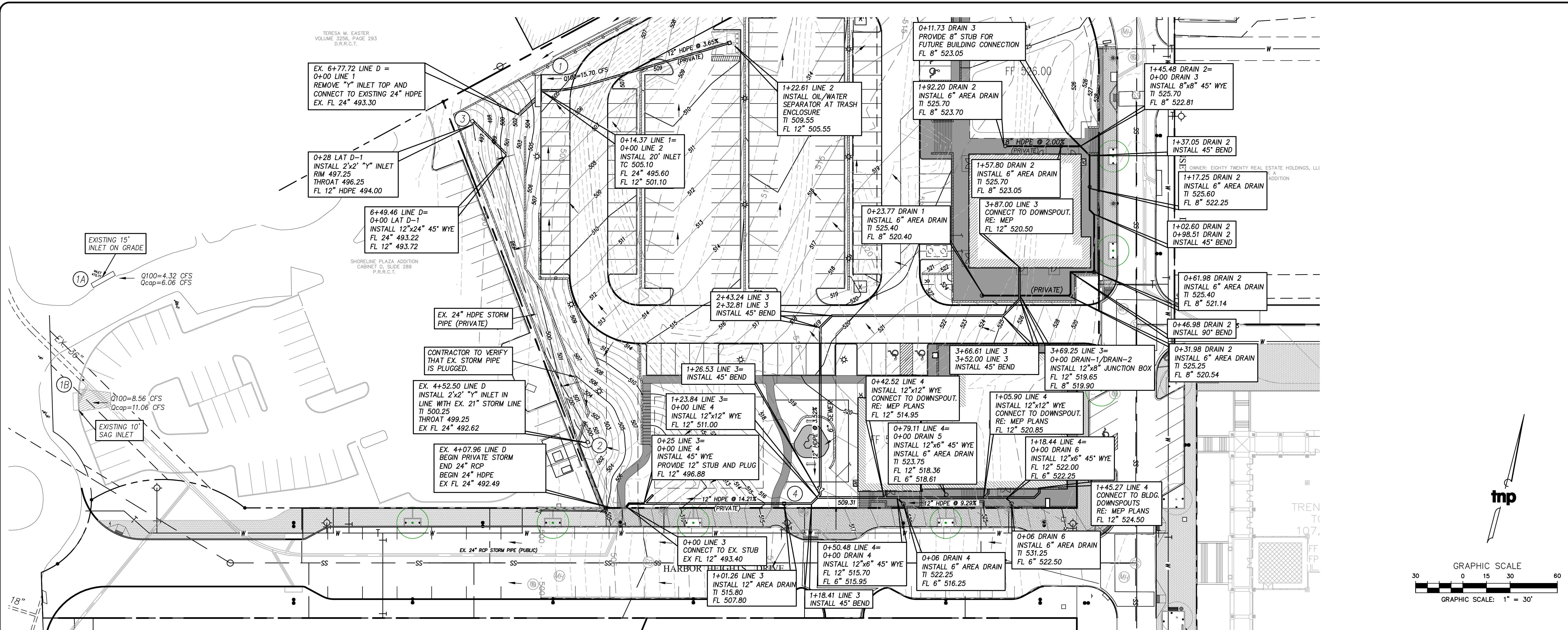
scale
when bar is
1 inch long
horiz
1"=30'
vert
N/A
MAY 2022

101 HUBBARD
DRIVE, LLC.

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
DRAINAGE PLAN

tnp project
OZO20505
sheet
C1.13

Drawing: P:\00_FCC\Projects\6-Commercial\Harbor District - Restaurant\Pad Sites\1-DRAWINGS\1F-DESIGN-CURRENT\10 - STORM DRAINAGE PLAN.dwg at May 11, 2022 - 9:44am by calvin
Layout: STORM DRAINAGE PLAN Xrefs: X SURVEY.dwg - XREF-BORDER.dwg - HARBOR-RR-BASE.dwg



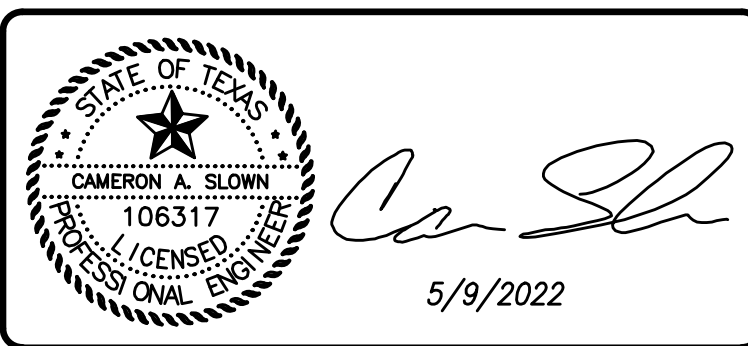
System ID	Conduit Properties														Incremental Drainage Area														HGL														Headloss Calculations													
	Collection Point	Point Station	Distance	# of Barrels	Conduit Selected	Conduit Material	Conduit Area of Flow (ft ²)	Wetted Perimeter (ft)	Hydraulic Radius (ft)	Manning's n value	Flowline Elevation Upstream	Flowline Elevation Downstream	Pipe Slope S (ft/ft)	Inlet ID	Drainage Area "A" (Acres)	Run-off Coefficient "C"	Incremental "CA"	Accumulated "CA"	Upstream Tc	Design Storm Frequency (years)	Intensity "I" (in/hr)	Storm Water Runoff Q (cfs)	Pipe Capacity Q (cap) cfs	Partial Flow (YES/NO)	Velocity In Sewer (ft/s)	Time in Conduit (min)	Friction Slope Sf (ft/ft)	Friction Head Loss (ft)	Elevation Upstream	Elevation Downstream	V1^2/2g	V2^2/2g	Junction Type	Coefficient KJ	HeadLoss HL	Design HGL	Top of Curb Elevation	Pipe Cover Upstream	HGL Depth Below T/C																	
	Upstream Station	Downstream Station	Between Points		Pipe Size (in)	Type	(ft ²)	(ft)	(ft)			(ft)	(ft)	(ft/ft)				"CA"	"CA"	Tc	Slope Sf (years)	(in/hr)	(cfs)	(cap)	(YES/NO)	(ft/s)	(min)	(ft/ft)	(ft)	Upstream	Elevation	V1^2/2g	V2^2/2g																							
	LINE-D	4+52.50	4+07.96	44.54	1	24	HDPE	3.14	6.28	0.500	0.01	492.62	492.49	0.0029		0.26	0.90	0.23	1.99	10.76	100	9.80	19.49	15.93	NO	6.20	0.12	0.00437	0.195	494.68	494.49	0.47	0.60	"Y" INLET	1.25	0.75	495.43	505.50	10.88	10.07																
LINE-D	6+49.46	4+52.50	196.96	1	24	HDPE	3.14	6.28	0.500	0.01	493.22	492.62	0.0030		0.00	0.90	0.00	1.76	10.17	100	9.80	17.20	16.28	NO	5.47	0.60	0.00340	0.670	496.10	495.43	0.39	0.47	45 deg wye	0.37	0.17	496.27	500.25	5.03	3.98																	
LINE-D	0+28.00	0+00.00	28.00	1	12	HDPE	0.79	3.14	0.250	0.01	494.00	493.72	0.0100	INLET 2	0.16	0.20	0.14	0.14	10.00	100	9.80	1.41	4.64	YES	1.80	0.26	0.00092	0.026	496.30	496.27	0.05	0.05	"Y" INLET	1.25	0.06	496.36	497.25	2.25	0.89																	
LINE-D	6+77.72	6+49.46	28.26	1	24	HDPE	3.14	6.28	0.500	0.01	493.30	493.22	0.0028		0.00	0.90	0.00	1.61	10.07	100	9.80	15.79	15.69	NO	5.03	0.09	0.00287	0.081	496.36	496.27	0.39	0.39	PIPE END	0	0.00	496.36	502.75	7.45	6.39																	
LINE-1	0+05.00	0+00.00	5.00	1	24	HDPE	3.14	6.28	0.500	0.01	493.82	493.30	0.1040		0.00	0.90	0.00	1.61	10.05	100	9.80	15.79	95.10	NO	5.03	0.02	0.00287	0.014	496.37	496.36	0.39	0.39	45 deg bend	0.37	0.15	496.51	503.50	7.68	6.99																	
LINE-1	0+12.58	0+05.00	7.58	1	24	HDPE	3.14	6.28	0.500	0.01	494.65	493.82	0.1088		0.00	0.90	0.00	1.61	10.03	100	9.80	15.79	97.28	YES	5.03	0.03	0.00287	0.022	496.54	496.51	0.39	0.39	45 deg bend	0.37	0.15	496.68	504.00	7.36	7.32																	
LINE-1	0+19.04	0+12.58	6.46	1	24	HDPE	3.14	6.28	0.500	0.01	495.33	494.65	0.1060		0.00	0.90	0.00	1.61	10.01	100	9.80	15.79	96.02	YES	5.03	0.02	0.00287	0.019	496.70	496.68	0.39	0.39	45 deg bend	0.37	0.15	496.84	505.30	7.97	8.46																	
LINE-1	0+21.50	0+19.04	2.46	1	24	HDPE	3.14	6.28	0.500	0.01	495.60	495.33	0.1098	INLET 1	1.79	0.90	1.61	1.61	10.00	100	9.80	15.79	97.69	YES	5.03	0.01	0.00287	0.007	496.85	496.84	0.00	0.39	Curb Inlet	1.25	0.49	497.34	505.10	7.50	7.76																	

RECORD DRAWINGS

no.	revision	by	date



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scale
when bar is
1 inch long
horiz
1"=30'
vert
N/A
MAY 2022

101 HUBBARD
DRIVE, LLC.

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
STORM DRAINAGE PLAN

tnp project
OZO20505
sheet
C1.14

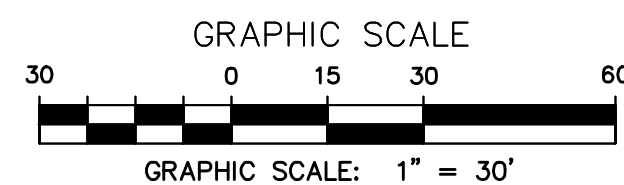
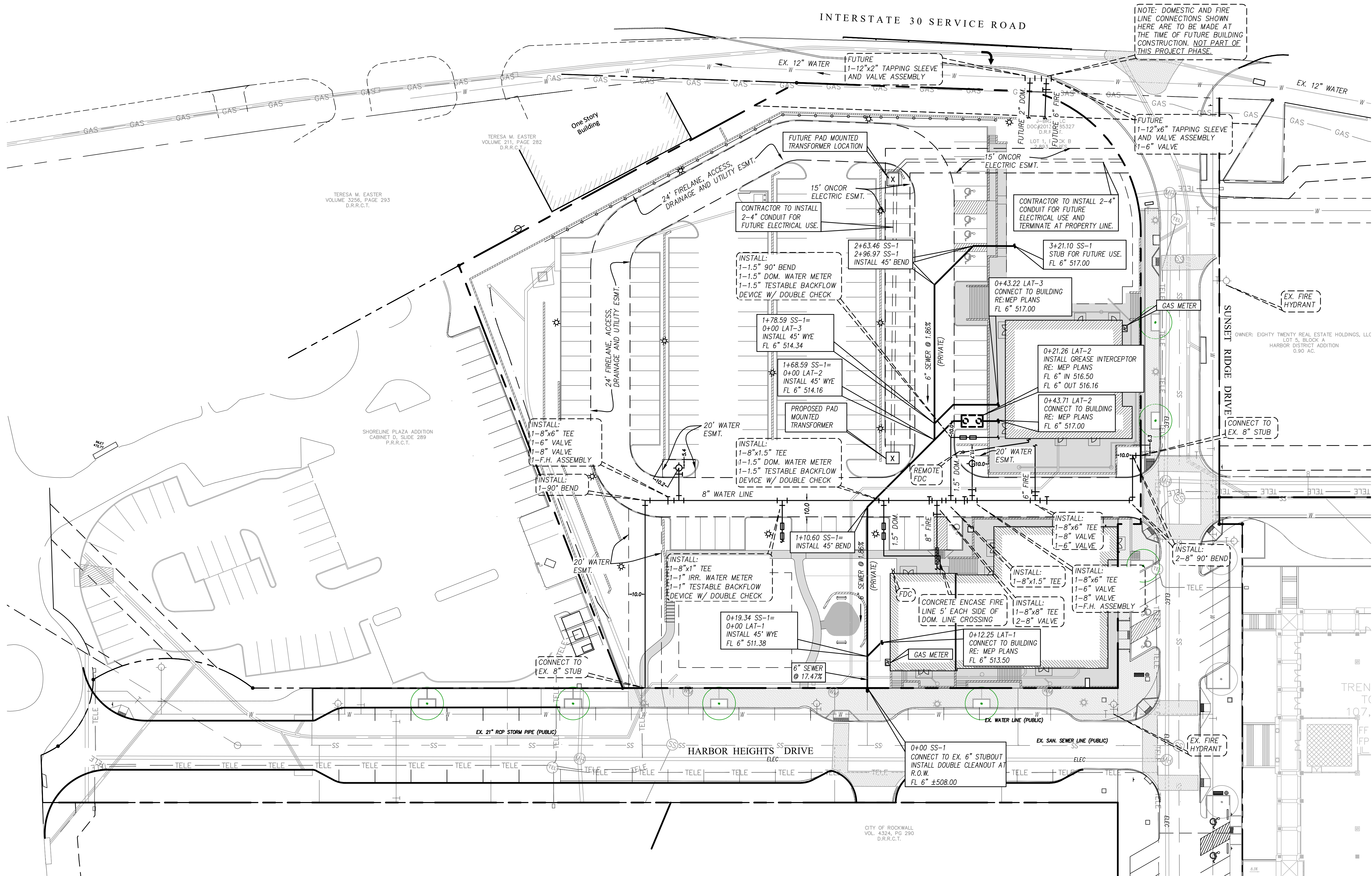




 5/9/2022

**101 HUBBARD
DRIVE, LLC.**

tnp project
OZO20505
sheet
C1.15

Drawing: P:\00_FCO\Projects\6-Commercial\Harbor District - Restaurant Pad Sites\1-DRAWINGS\1F-DESIGN-CURRENT\11 - UTILITY PLAN.dwg at May 11, 2022 - 9:45am by cslown
LAYOUT: UTILITY PLAN - Xrefs: X SURVEY.dwg - XREF-BORDER.dwg - HARBOR-RR-BASE.dwg

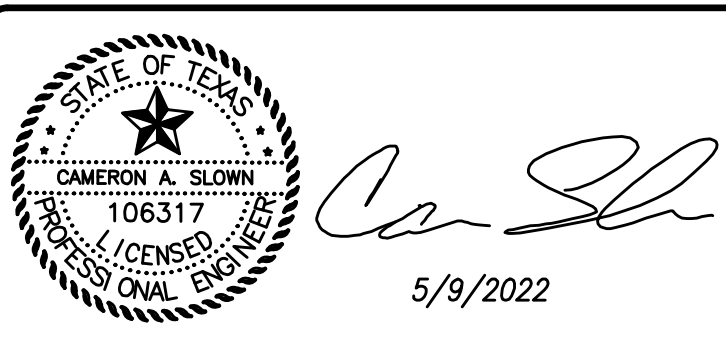


RECORD DRAWINGS

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scale
when bar is
1 inch long
horiz
1"=30'
vert
N/A
MAY 2022

**101 HUBBARD
DRIVE, LLC.**

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
UTILITY PLAN

tnp project
OZO20505
sheet
C1.16

Drawing: P:\00_FCCony\Projects\6-Commercial\Harbor District - Restaurant Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\12 - STANDARD CITY DETAILS.dwg at May 11, 2022-8:12am by cslown
LAYOUT: EROSION CONTROL DETAILS Xrefs: XREF-BORDER.dwg

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STATE OF TEXAS
CAMERON A. SLOW
106317
LICENSED
PROFESSIONAL ENGINEER

5/9/2022

scale
when bar is
1 inch long

horiz
N.T.S.

vert
N/A

MAY 2022

101 HUBBARD
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ROCKWALL, Texas

Improvements for

HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE

EROSION CONTROL STANDARD DETAILS

tnp project
OZO20505

sheet

C1.17

SILT FENCE

STONE OVERFLOW STRUCTURE

CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE
202.5 *

DATE
Mar. 2018

STANDARD DRAWING NO.
R-1020A

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE
202.5 *

DATE
Mar. 2018

STANDARD DRAWING NO.
R-1020B

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

STABILIZED CONSTRUCTION ENTRANCE

CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE
202.11 *

DATE
Mar. 2018

STANDARD DRAWING NO.
R-1070A

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE
202.11 *

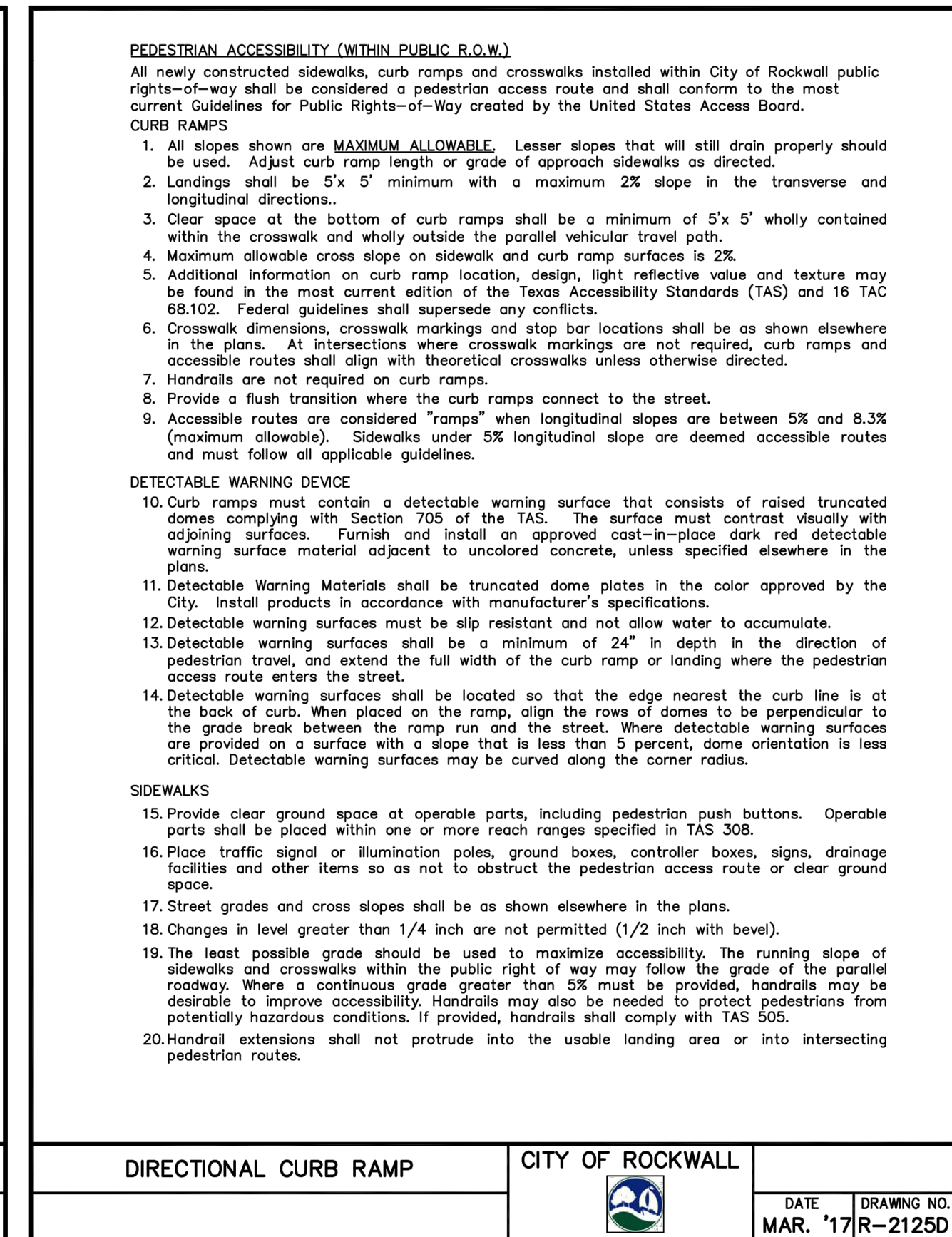
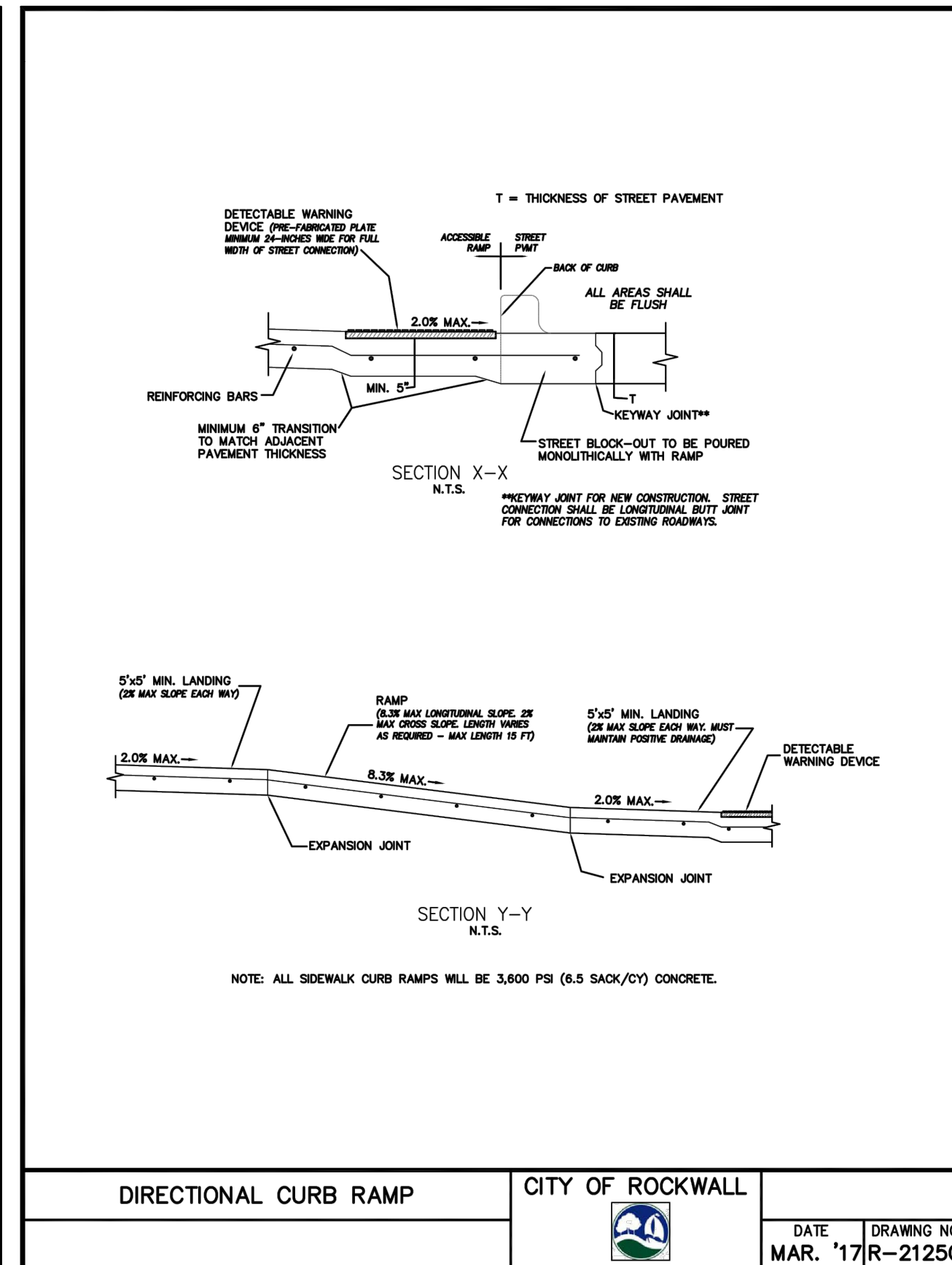
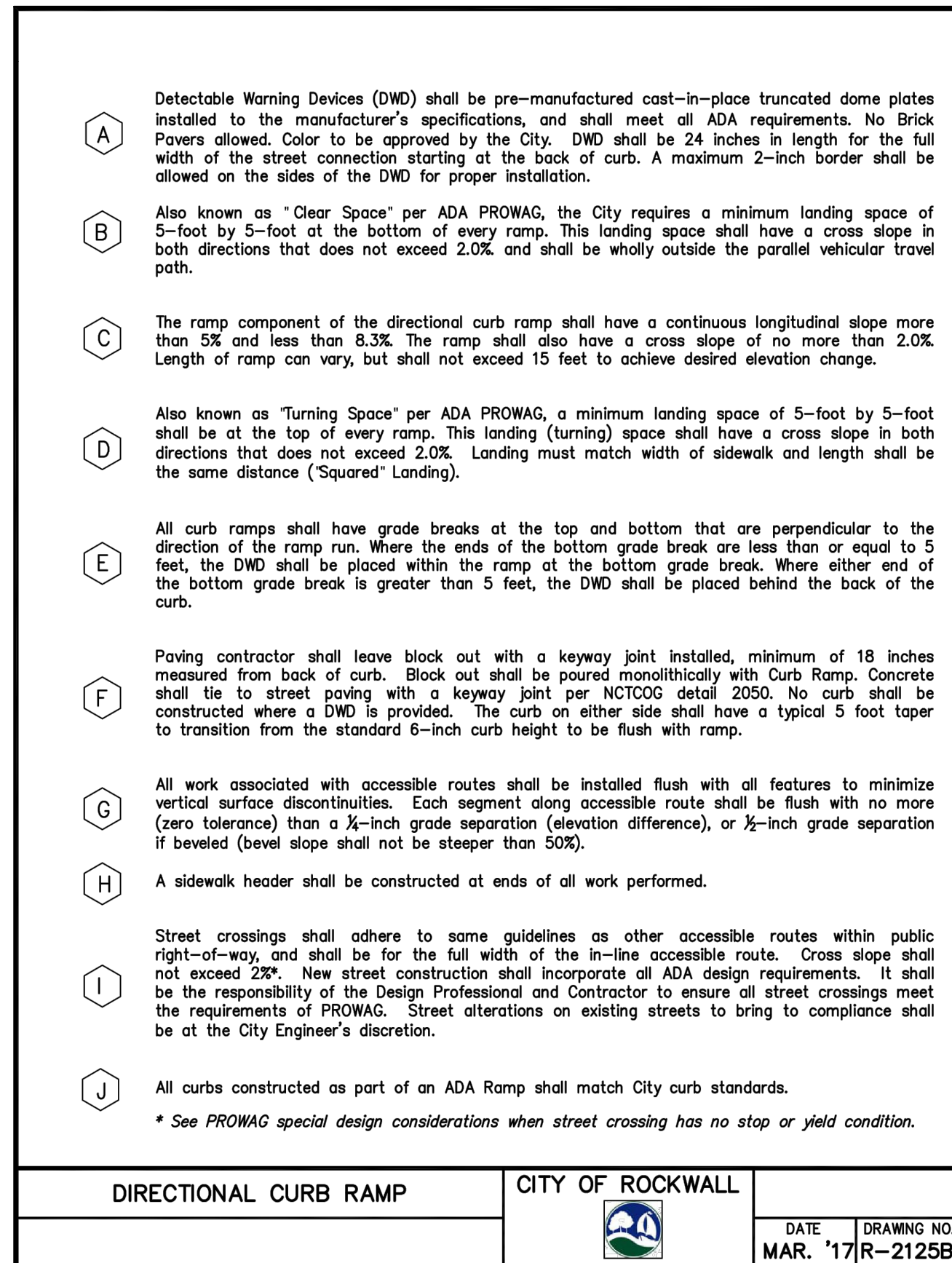
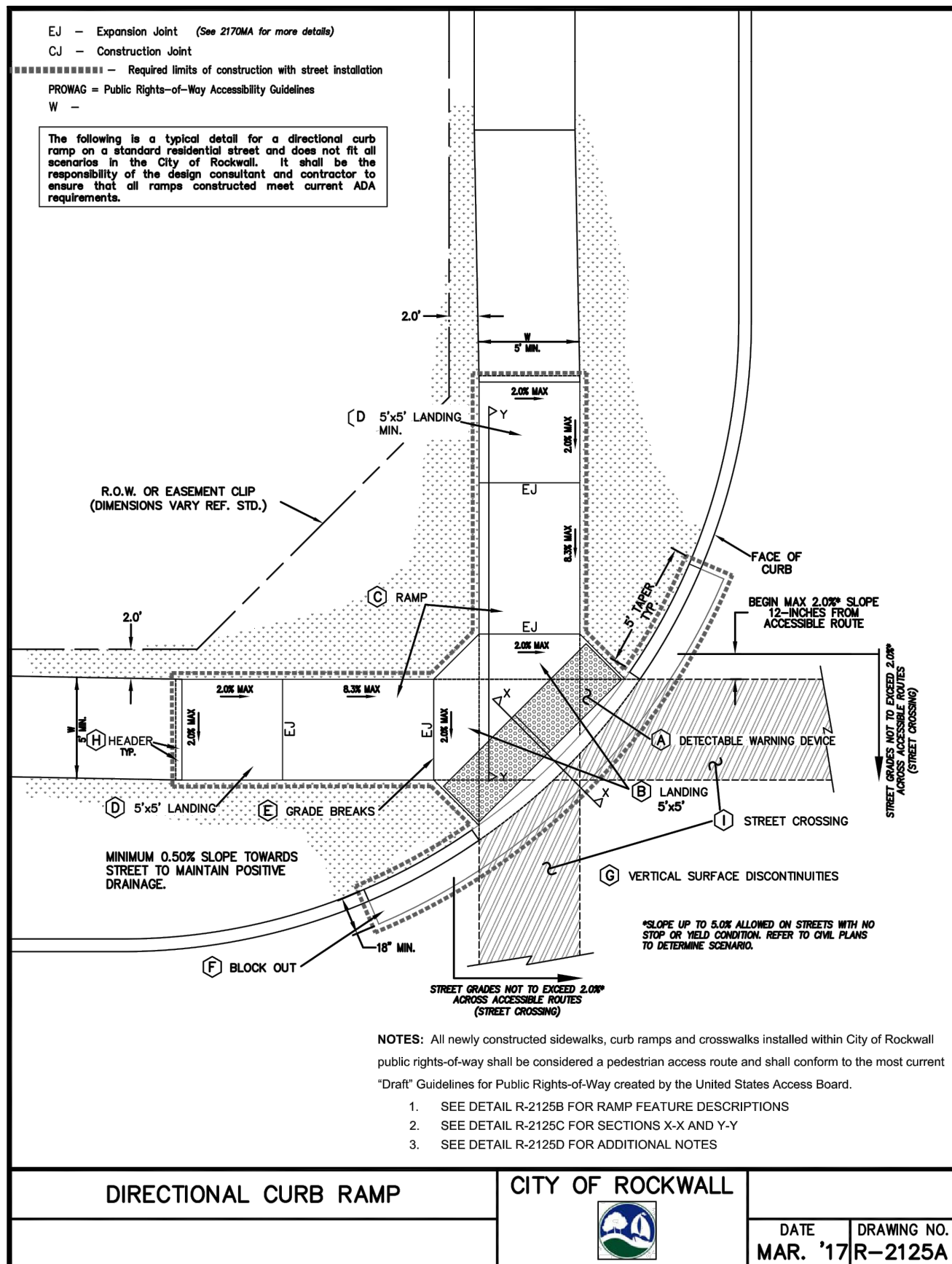
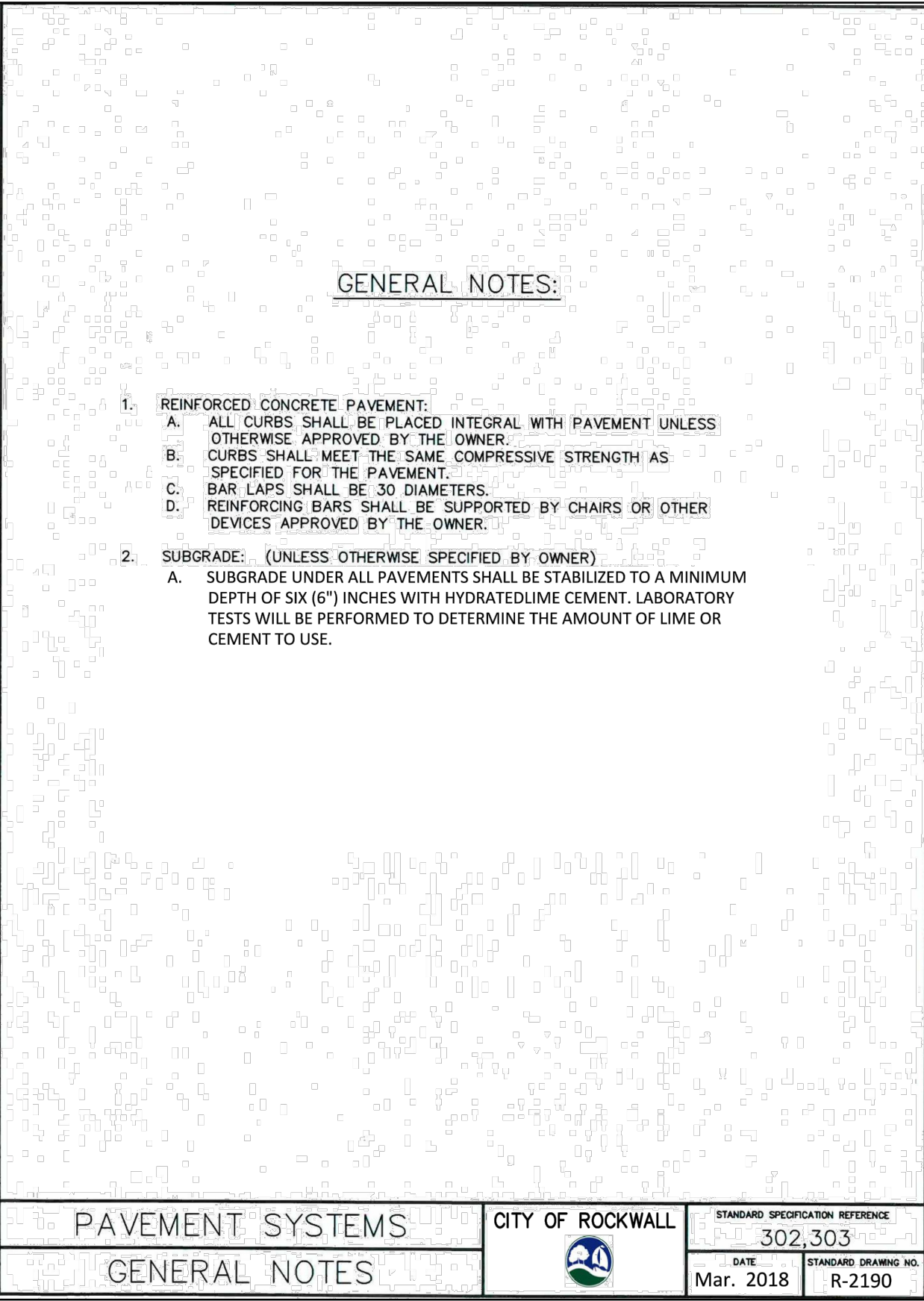
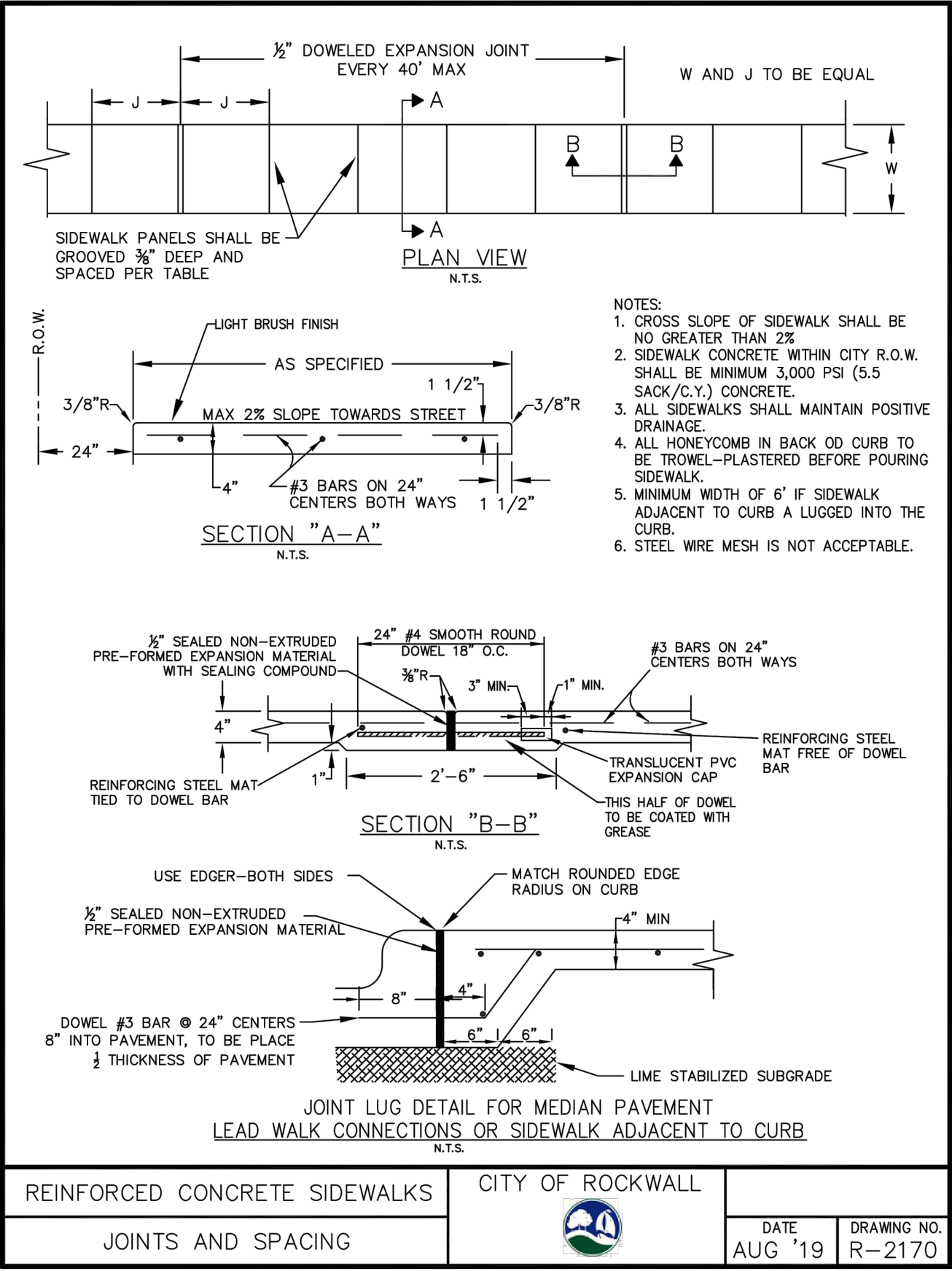
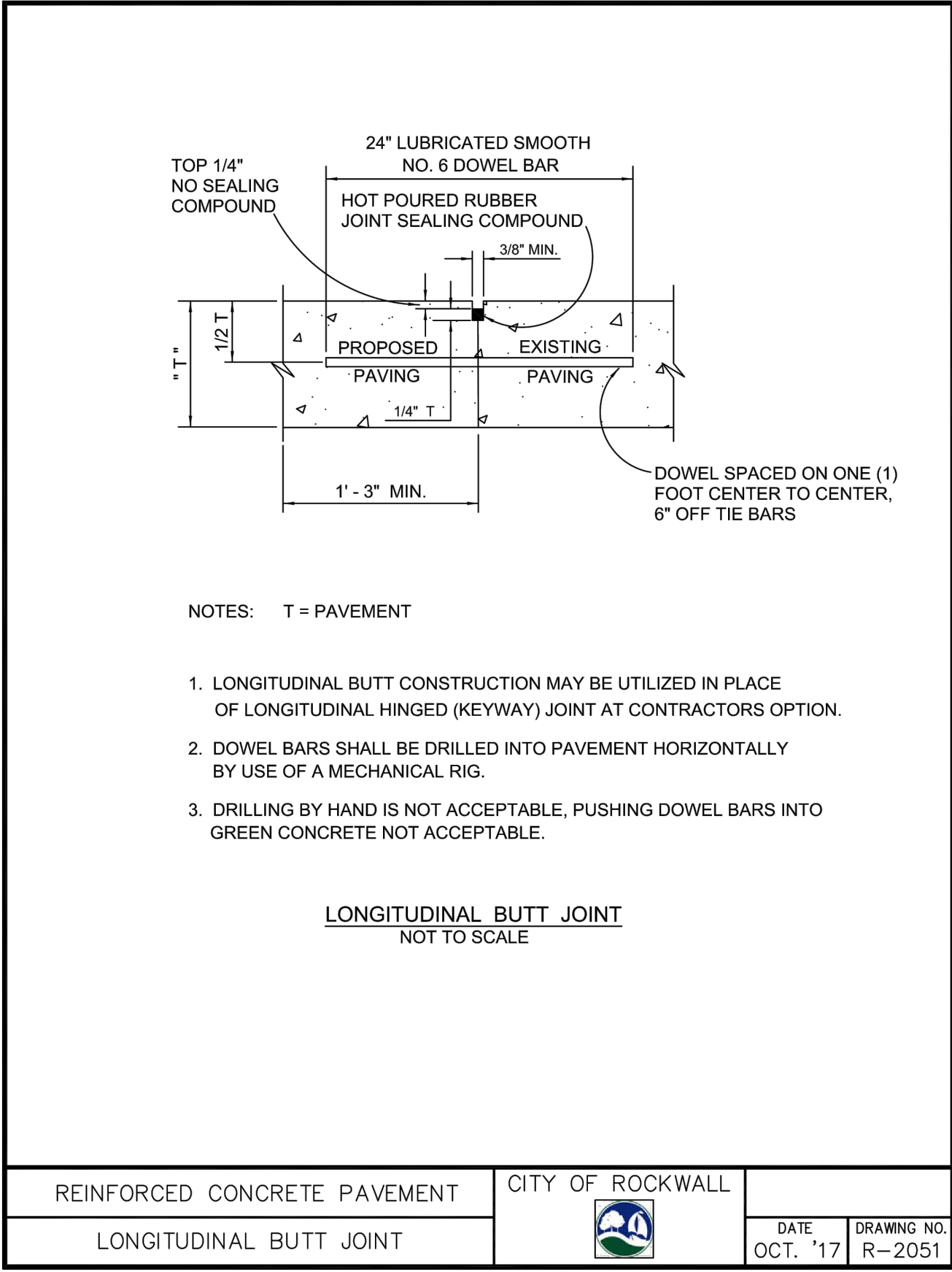
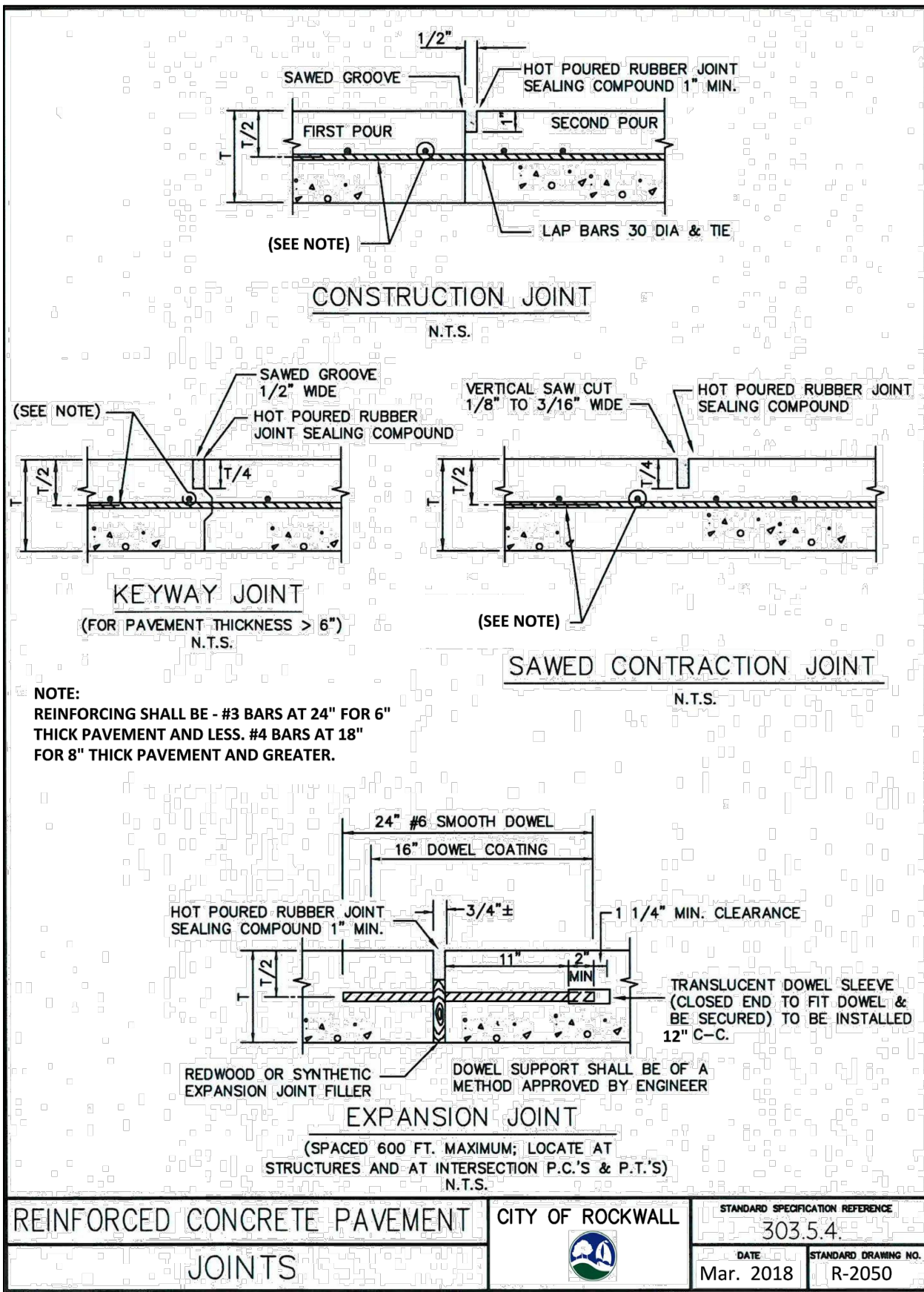
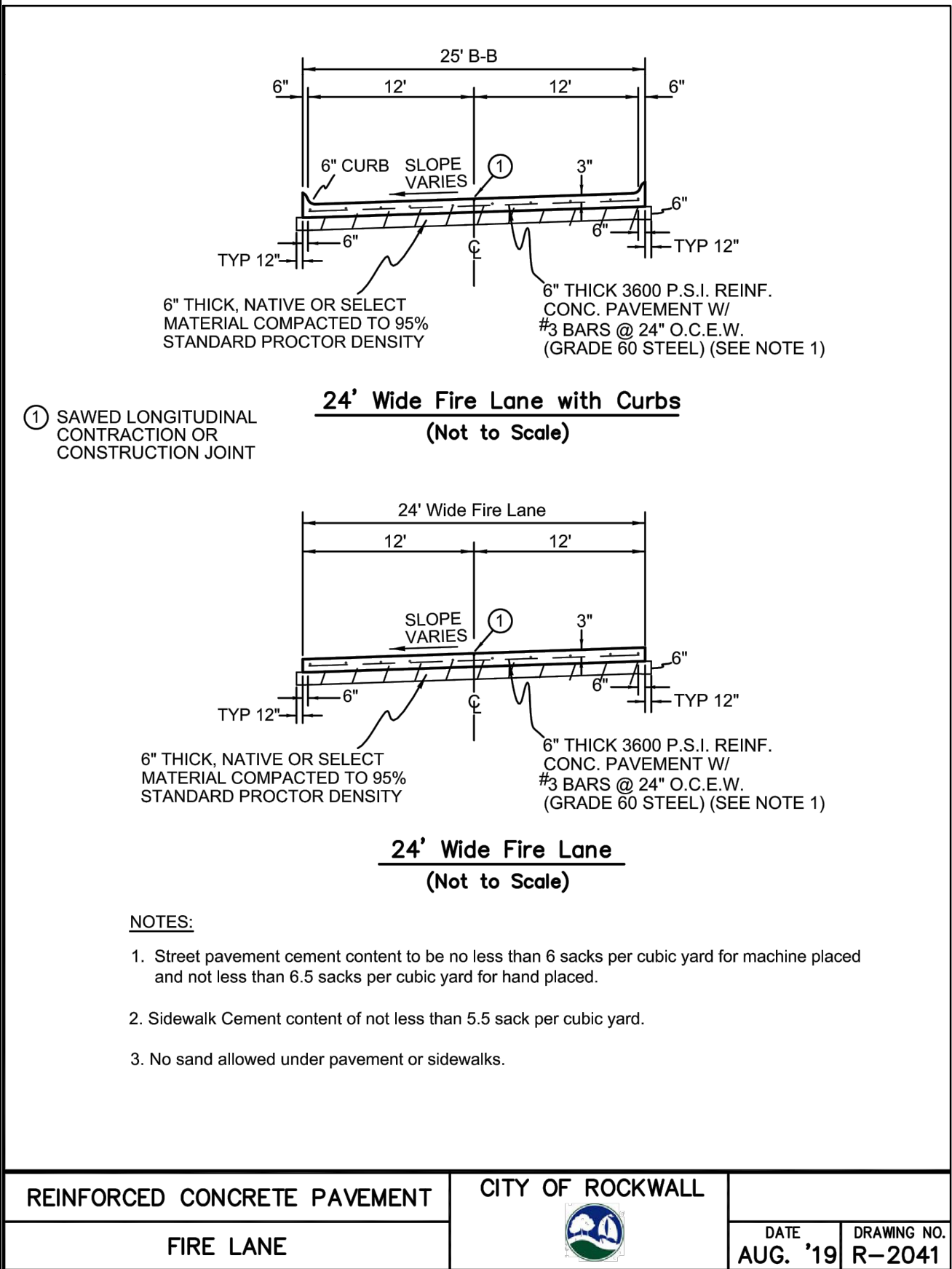
DATE
Mar. 2018

STANDARD DRAWING NO.
R-1070B

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

RECORD DRAWINGS

Drawing: P:\00_Fc0any\Projects\6-Commercial\Harbor District - Restaurant\Plat Sites\1-DRAWINGS\1F-DESIGN-CURRENT\13 - STANDARD CITY DETAILS.dwg at May 11, 2022-8:14am by cslown
Layout: EROSION CONTROL DETAILS Xrefs: XREF-BORDER.dwg



RECORD DRAWINGS

no.	revision	by	date



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scale
when bar is
1 inch long
horiz
N.T.S.
vert
N/A
MAY 2022

**101 HUBBARD
DRIVE, LLC.**

ROCKWALL, Texas
Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE
PAVING STANDARD DETAILS

tnp project
OZO20505
sheet
C1.18

Drawing: P:\00_FCCony\Projects\6-Commercial\Harbor District - Restaurant Pad Sites\1-DRAWINGS\1F-DESIGN-CURRENT\14 - STANDARD CITY DETAILS.dwg at May 11, 2022-8:15am by cslown
LAYOUT: EROSION CONTROL DETAILS Xrefs: XREF=BORDER.dwg

NOTES:

- SERVICE PIPE SHALL BE 1" OR 2" SEAMLESS 250 PSI BLUE COLORED POLYETHYLENE ASTM D2737, SDR 9, CTS WATER SERVICE PIPE, NSF61 APPROVED.
- TOP OF METER BOXES SHALL BE 1" ABOVE FINISHED GRADE.
- METER BOX SHALL HAVE A MINIMUM OF 6" OF GRAVEL BENEATH METER BOX AS ILLUSTRATED.
- LOCATION OF THE METER BOX SHALL BE LOCATED TO ALLOW 6" CLEARANCE FROM CURB.

MATERIAL LIST:

A. SERVICE SADDLE SHALL BE BRASS WITH DOUBLE BRONZE FLATTENED STRAPS OR STAINLESS STEEL DOUBLE BOLT WIDE STRAPS. NO BANDED OR HINGED STRAPS SHALL BE ALLOWED. SERVICE SADDLES SHALL MEET AWWA/CQ TAPPING OUTLET (TAPERED THREADS) REQUIREMENTS. ALL SERVICE SADDLES SHALL BE PER APPROVED WATER MATERIALS LIST.

B. 1" OR 2" CORPORATION STOP PER APPROVED WATER MATERIALS LIST.

C. 1" OR 2" SERVICE PIPE SHALL BE SEAMLESS 250 PSI BLUE COLORED POLYETHYLENE ASTM D2737, SDR9, CTS WATER SERVICE PIPE, NSF61 APPROVED.

D. 1" OR 2" LOCKING ANGLE METER VALVE (STOP) PER APPROVED WATER MATERIALS LIST.

E. WATER METERS CENTERED IN BOX AS ILLUSTRATED.

F. ROUND METER BOX PER APPROVED WATER MATERIALS LIST.

WATER SERVICE INSTALLATION

1" OR 2" LINE

CITY OF ROCKWALL

DATE
AUG '19

DRAWING NO.
R-4130

TO BE INSTALLED OR
FURNISHED BY DEVELOPER

TO BE INSTALLED OR
BY HOMEOWNER

NOTE:

VALVE BOX TO BE TRAFFIC RATED IF UNDER PAVING.

WATER METER DETAIL

SINGLE SERVICE

CITY OF ROCKWALL

DATE
AUG. '15

DRAWING NO.
R-4145

NOTE:

IN UNPAVED AREAS, INSTALL 2' x 2' x 6" CONCRETE VALVE PAD FLUSH WITH THE TOP OF VALVE BOX. REINFORCE WITH #3 BARS ON 6" CENTERS BOTH WAYS.

PAVING OR OTHER SURFACE MATERIAL

ROADWAY BASE

IF VALVE OPERATING NUT IS MORE THAN 3" BELOW PAVEMENT SURFACE - PROVIDE EXTENSION STEM TO 2" BELOW PAVEMENT SURFACE. Extensions shall be 316 SS

DRAWING PERTAINS TO ALL GATE VALVE SIZES 4" THRU 12"

TORQUE BOLTS PRIOR TO BACKFILL

GATE VALVE BOX AND
EXTENSION STEM

N.T.S.

GATE VALVE 4" TO 12"

BOX & EXTENSION STEM

CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE
502.6.6*

DATE
AUG. '19

STANDARD DRAWING NO.
R-4050

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

NOTES:

- IN GENERAL, ALL FIRE HYDRANTS SHALL CONFORM TO AWWA STANDARD SPECIFICATIONS FOR FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE, C-502. FIRE HYDRANTS SHALL HAVE A 5 1/4" MIN. VALVE OPENING AND A BARREL APPROXIMATELY 7" INSIDE DIAMETER. ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE.
- ALL JOINTS TO BE RESTRAINED JOINTS. MEGA-LUG OR APPROVED EQUAL.
- TYPICAL VALVE: ACTUAL VALVE LOCATION WILL DEPEND ON LOCATION OF WATER MAIN.
- F.H. NO CLOSER THAN 18" TO EXISTING OR PROPOSED SIDEWALKS. (USUAL)
- STANDARD BURY DEPTH 4' FEET
- SET FIRE HYDRANT ON THE LOT LINE. EXTENDED WHEN POSSIBLE.
- F.H. SHALL BE LOCATED MINIMUM 1 FT. OUTSIDE OF THE AREA BETWEEN THE P.C.'S OF THE CORNER TURNING RADI AT INTERSECTIONS. (SEE PLAN VIEW)
- PLACEMENT OF F.H. SHALL BE WHERE PUMPER NOZZLE IS PERPENDICULAR TO AND FACING THE NEAREST CURB.

FIRE HYDRANT
INSTALLATION

CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE
502.3

DATE
Aug. 2019

STANDARD DRAWING NO.
R-4120

RECORD DRAWINGS

no.	revision	by	date



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CAMERON A. SLOW
106317
LICENSED PROFESSIONAL ENGINEER
5/9/2022

scale
when bar is
1 inch long
horiz
N.T.S.
vert
N/A
MAY 2022

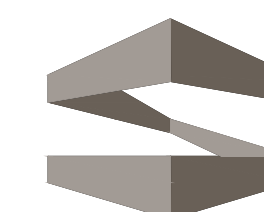
**101 HUBBARD
DRIVE, LLC.**

ROCKWALL, Texas

Improvements for
HARBOR HEIGHTS - RESTAURANT AND RETAIL SITE

WATER STANDARD DETAILS

tnp project
OZO20505
sheet
C1.19



STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MFP:

FOOD SERVICE:

LANDSCAPING:

FOR APPROVAL

**OWNER
J-BR2, LLC
2701 SUNSET RIDGE
SUITE 610
ROCKWALL, TEXAS
75032**

HARBOR HEIGHTS RESTAURANT & RETAIL PADS ROCKWALL, TEXAS

Project Number: 051302
Drawing Date: 08/15/2019

Drawn:
Checked:
Scale:
ACAD File: HHRR-Photo-090419.dwg
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Revisions:

1	CITY COMMENTS
2	3/31/20 CITY COMMENTS

Δ Sheet Title:


LANDSCAPING
PLAN
LS-1
SP2019-033

LEGEND

- 


CANOPY TREE

LIVE OAK, "LC"	100 GAL, 4.0'-4.5" CAL 14 -16 FT HIGH, CLEAR TRUNK TO 8 FEET
CEDAR ELM "CA"	100 GAL, 4.0'-4.5" CAL, 12-14 FT.HIGH, CLEAR TRUNK TO 8 FEET




ORNAMENTAL (ACCENT) TREE

DWARF MAGNOLIA LITTLE GEM	65 GAL, 8-10 FT. FULL TO GROUND, MAIN LEADER FORM
SAVANNAH HOLLY	65 GAL, 8-10 FT. TREE FORM.




SHRUB

DWARF YAUPON HOLLY	5 GAL 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING
DWARF BURFORD HOLLY	5 GAL, 36" O.C. MAX, 30" HIGH AT TIME OF PLANTING




GROUND COVER

CREeping LILY TURF	4" POTS, 12" O.C. MAX.
ROSEMARY WOODY	1 GAL, 24" O.C. MAX




PERENNIAL

DAYLILIES,RED VELVET,EVERGREEN	1 GAL., 18" O.C. MAX.
LANTANA, TRAILING, WHITE JAP	1 GAL., 18" O.C. MAX.



BR

BERMUDA GRASS



**PLANTING POTS AT 20' SPACING
IN FRONT OF BUILDINGS ALONG
HARBOR HEIGHTS DRIVE**

LANDSCAPING GENERAL REQUIREMENTS

PROPOSED PARKING SPACES - 142 SPACES
 REQUIREMENT - 1 - 3" CALIPER 65 GALLON TREE PER 8 PARKING SPOTS
 REQUIRED TREES - 18
 PROVIDED - 36 TREES

IH 30 OVER LAY REQUIREMENTS

20' LANDCAPE BUFFER
2 CANOPY TREES & 4 ACCENT TREES PER 100 FEET OF IH30 FRONTAGE.

IH 30 FRONTAGE = 170 LF
CANOPY TREES REQUIRED: 4
CANOPY TREES PROVIDED: 4
ACCENT TREES REQUIRED: 7
ACCENT TREES PROVIDED: 7

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY < 10".
NO LANDSCAPING TREES SHALL BE WITHIN 10' OF ANY UTILITY \geq 10".
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.

SITE LANDSCAPING SCHEDULE:

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 4" CALIPER, 60 GALLON, 12'-14' HEIGHT.
2. UNDERSTORY ORNAMENTAL(ACCENT) TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.