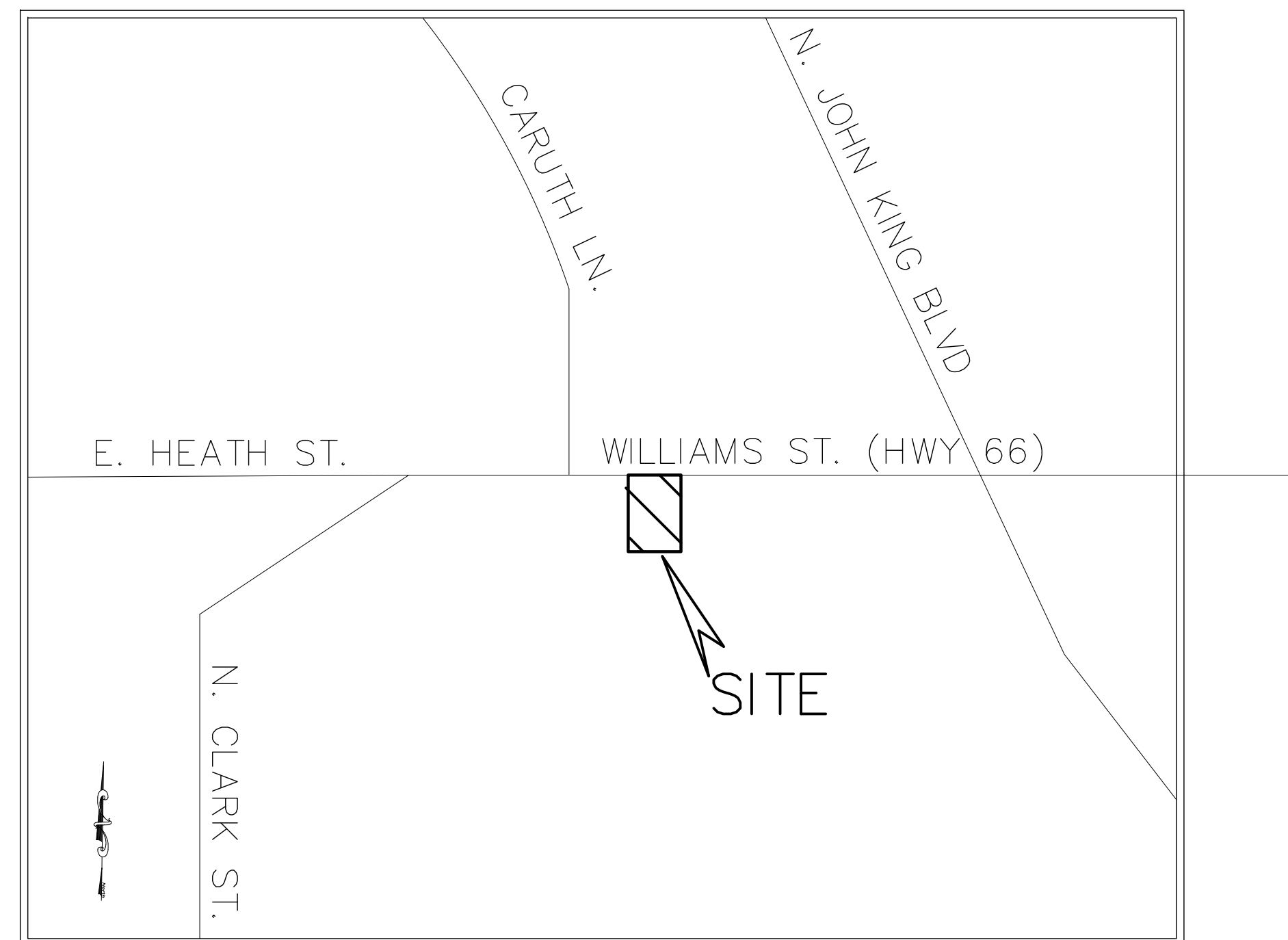


SITE IMPROVEMENT PLANS
for
HELPING HANDS
990 & 948 Williams St. (SH66)
LOT 1, BLK A, 8.869 ACRES
of the
WAGGONER GARDENS INC. ADDITION
City of Rockwall
Rockwall County, Texas



Location Map

MAPSCO:

OWNER:

Helping Hands
Contact: 972-771-1655

ENGINEER:

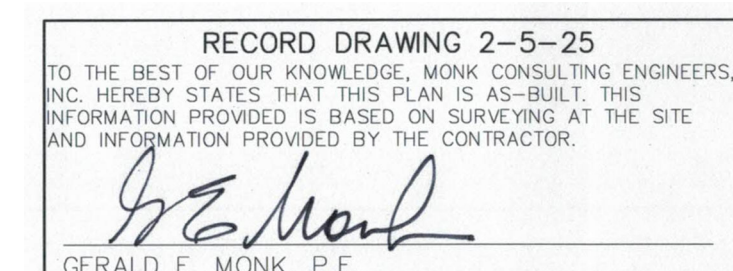
MONK CONSULTING ENGINEERS, INC.

GERALD E. MONK, P.E.

1200 W. State Street ~ Garland Texas 75040 972) 272-1763 Fax 972) 272-8761
jerry@monkconsulting.com
REG. NO.: F-2567

INDEX

SHEET NO.	DESCRIPTION
C100	Cover Sheet
	Plat
C101	Overall Site Plan
C101A	Demo Plan
C102	Paving Plan
C103	Site Plan Building 1
C103A	Site Plan Building 2
C104	Utility Plan Building 1
C104A	Utility Plan Building 2
C105	Pre Drainage Area Map
C105A	Post Drainage Area Map
C106	Overall Drainage Plan
C106A	Grading Plan
C107	Pond Specs
C108	Erosion Control Plan
D100	City General Construction Notes
D101	Site Details
D102	Erosion Control Details
L1	Approved Landscape Plan



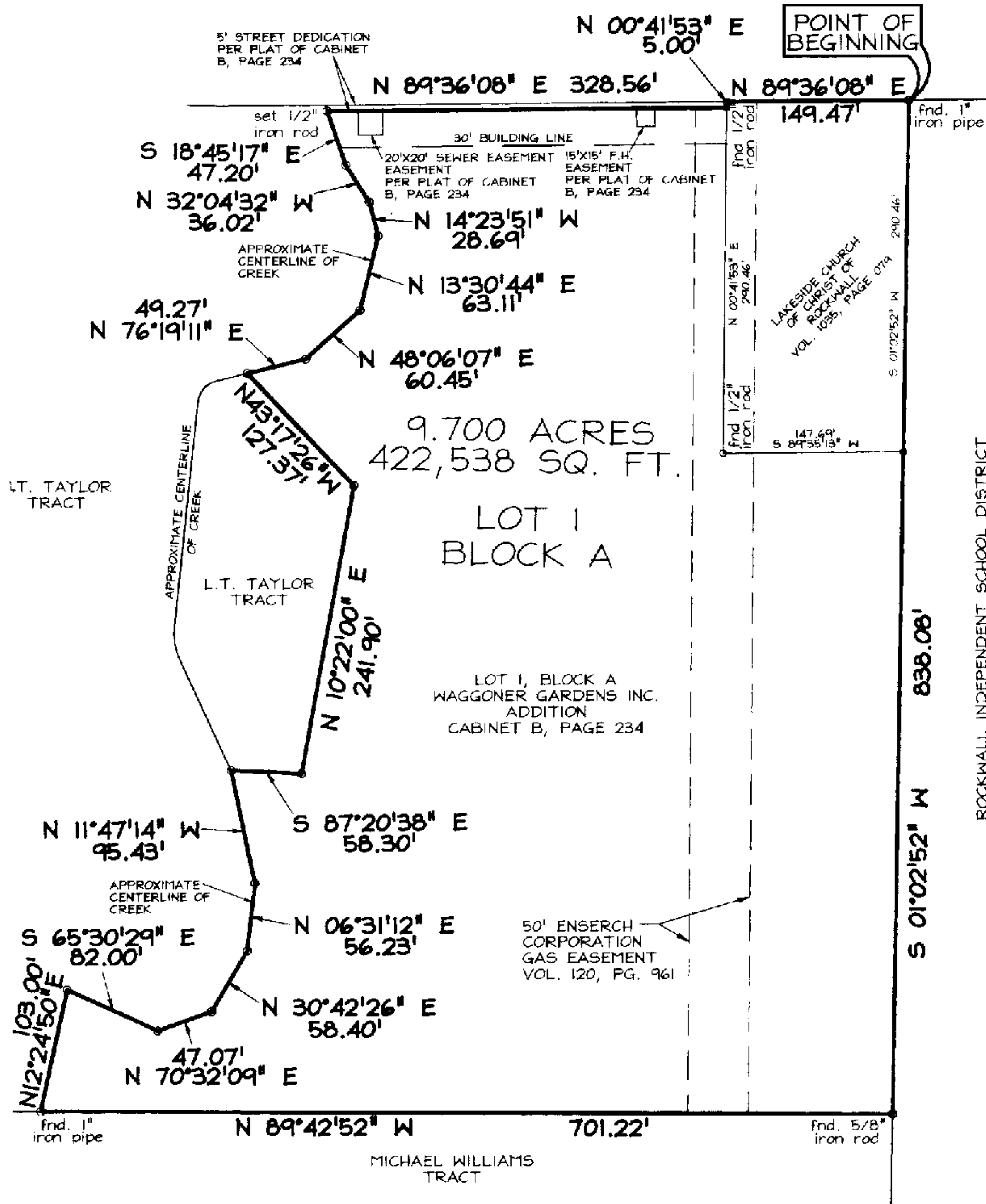
PROJECT #:
SUBMITTAL DATE:

1 st	
2 nd	



NO.	REVISIONS/CORRECTIONS DESCRIPTION	REVISE(R) ADD(A) SHT. #S	DATED
1	CITY COMMENTS	R (ALL)	

**STATE HIGHWAY 66
(ALSO KNOWN AS WILLIAMS STREET)
(60' R.O.W.)**



RECOMMENDED FOR FINAL APPROVAL

Don L. Farnsworth
Planning and Zoning
Date: Nov 15, 1997

FILED FOR RECORD
ROCKWALL COUNTY

97 DEC 31 PM 4:10

ANGELIE BURKS
CLERK

BY: *[Signature]* DEPUTY

APPROVED

I hereby certify that the above and foregoing plat of the addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 15 day of September, 1997.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred twenty (120) days from said date of final approval.

Said addition shall be subject to all requirements of the Subdivision Regulations of the City of Rockwall.

WITNESSED OUR HANDS, this 15 day of October, 1997.

[Signature]
Mayor, City of Rockwall
[Signature]
City Secretary, City of Rockwall

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permitted. Therefore, no person shall rely on such approval as a representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS Lakeside Church of Christ of Rockwall, a Nonprofit Corporation is the owner of a tract of land situated in the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, and being all of Lot 1, Block A of Waggoner Gardens Inc. Addition, on addition to the City of Rockwall, Texas, according to the map or plat thereof recorded in Cabinet B, Page 234 of the Plat Records of Rockwall County, Texas, and being that same tract of land as described in deed from Science and Technology, Inc. to Lakeside Church of Christ of Rockwall, a Nonprofit Corporation as recorded in Volume 1095, Page 079 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1 inch iron pipe found for the northeast corner of the herein described tract, same being in the south right-of-way line of State Highway 66 (a 60 foot wide right-of-way) also known as Williams Street, said pipe also being the northwest corner of a tract of land as described in deed to Rockwall Independent School District, herein after referred to as the school tract, same being the northeast corner of said Church tract (Volume 1095, Page 079);

THENCE: South 01 degrees 02 minutes 52 seconds West, along the east line of said Church tract, passing at a distance of 240.46 feet the southeast corner of said Church tract, same being the eastern most northeast corner of said Lot 1, in all a distance of 838.06 feet to a 5/8 inch iron rod found for the southeast corner of said Lot 1, same being in the north line of a tract of land as described in deed to Michael Williams;

THENCE: North 89 degrees 42 minutes 52 seconds West, along the south line of said Lot 1 and the north line of said Williams tract, a distance of 701.22 feet to a 1/2 inch iron rod set for the southwest corner of said Lot 1, same being in the southeast corner of a tract of land as described in Deed to L.T. Taylor;

THENCE: North 12 degrees 24 minutes 50 seconds East, a distance of 103.00 feet to a point in the approximate centerline of a creek;

THENCE: South 65 degrees 30 minutes 29 seconds East, a distance of 82.00 feet to a point;

THENCE: North 70 degrees 32 minutes 09 seconds East, a distance of 47.07 feet to a point;

THENCE: North 30 degrees 42 minutes 26 seconds East, a distance of 58.40 feet to a point;

THENCE: North 06 degrees 31 minutes 12 seconds East, a distance of 56.23 feet to a point;

THENCE: North 11 degrees 47 minutes 14 seconds West, a distance of 95.43 feet to a point;

THENCE: South 87 degrees 20 minutes 38 seconds East, a distance of 58.30 feet to a point;

THENCE: North 10 degrees 22 minutes 00 seconds East, a distance of 241.90 feet to a point;

THENCE: North 43 degrees 17 minutes 26 seconds West, a distance of 127.37 feet to a point;

THENCE: North 76 degrees 19 minutes 11 seconds East, a distance of 49.27 feet to a point;

THENCE: North 48 degrees 06 minutes 07 seconds East, a distance of 60.45 feet to a point;

THENCE: North 30 degrees 42 minutes 26 seconds East, a distance of 58.40 feet to a point;

THENCE: North 13 degrees 30 minutes 44 seconds East, a distance of 63.11 feet to a point;

THENCE: North 14 degrees 23 minutes 51 seconds West, a distance of 28.69 feet to a point;

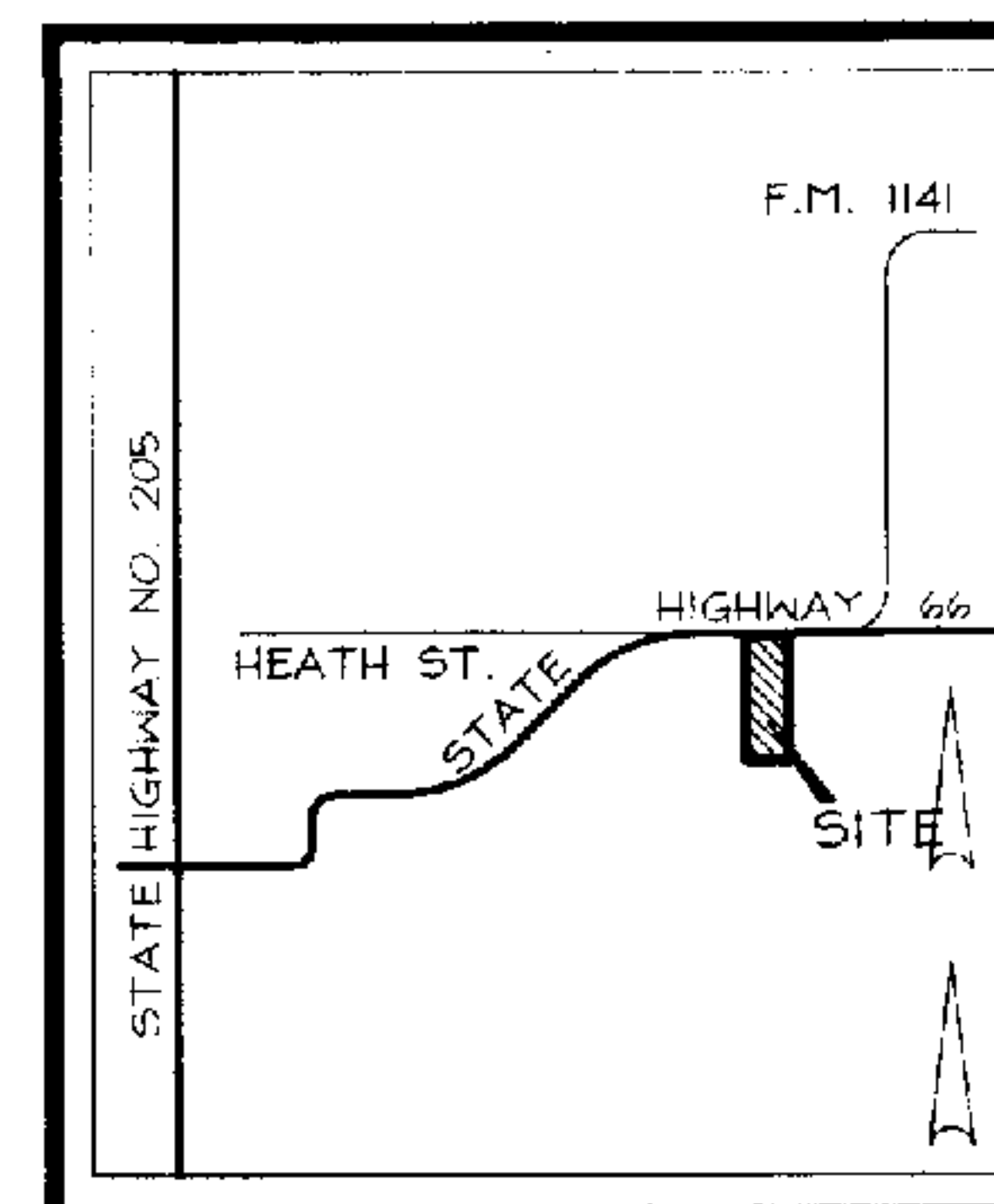
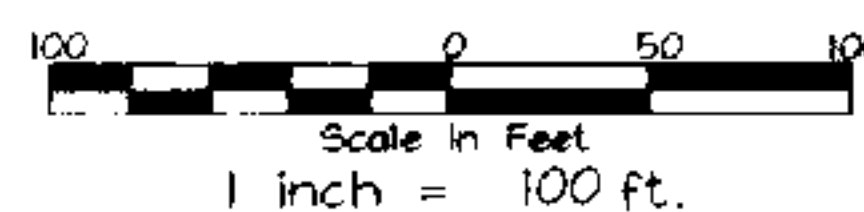
THENCE: North 32 degrees 04 minutes 32 seconds West, a distance of 36.02 feet to a point;

THENCE: North 15 degrees 45 minutes 17 seconds West, a distance of 47.20 feet to a 1/2 inch iron rod set in the south right-of-way line of said State Highway 66;

THENCE: North 89 degrees 36 minutes 08 seconds East, along the south right-of-way line of said State Highway 66, a distance of 328.56 feet to a 1/2 inch iron rod set in the west line of said Church tract;

THENCE: North 00 degrees 41 minutes 53 seconds East, continuing along said right-of-way and along the East line of said Church tract, a distance of 5.00 feet to a 1/2 inch iron rod found for the northwest corner of said Church tract;

THENCE: North 89 degrees 36 minutes 08 seconds East, along the north line of said Church tract, and continuing along the south right-of-way line of said State Highway 66, a distance of 149.47 feet to the PLACE OF BEGINNING and containing 9.700 acres or 422,538 square feet of land more or less.



STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Reverend James Hawk, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 15th day of November, 1997.

[Signature]
Notary Public in and for the State of Texas

My Commission Expires 01-07-99



NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, John B. Fincher, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision.

[Signature]
John B. Fincher
Registered Professional Land Surveyor
No. 1706



STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared JOHN B. FINCHER, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 15th day of November, 1997.

[Signature]
Notary Public in and for the State of Texas

My Commission Expires 01-07-99



NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS That Lakeside Church of Christ of Rockwall, the undersigned owner(s) of the land shown on this plat, and designated herein as WAGGONER GARDENS, INC. ADDITION, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereto dedicate to the use of the public forever all parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in WAGGONER GARDENS, INC. ADDITION have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips, and any public utility shall, at all times, have the right to ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified regulations to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

[Signature]
James Hawk
LAKESIDE CHURCH OF CHRIST OF ROCKWALL
REVEREND JAMES HAWK

RE-PLAT OF WAGGONER GARDENS, INC. ADDITION		
R. BALLARD SURVEY ABSTRACT NO. 29 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
SURVEYOR PRECISE LAND SURVEYING, INC.	OWNER LAKESIDE CHURCH OF CHRIST OF ROCKWALL	
4815 GUS THOMASSON ROAD MESQUITE, TEXAS 75180 (214) 861-7072 (214) 278-1506 FAX	950 WILLIAMS STREET ROCKWALL, TEXAS, 75087 (972) 771-8181	
PROJECT NO. 197-3677		DATE: SEPTEMBER 1997

D 68

LINE TABLE		
Line	Bearing	Distance
1	N 12°24'50"E	103.00'
2	S 65°30'20"E	84.30'
3	N 70°32'09"E	45.75'
4	N 30°42'26"E	58.40'
5	N 6°31'12"E	56.23'
6	N 11°47'14"W	95.43'
7	S 87°20'38"E	56.30'
8	N 45°17'26"W	127.37'
9	N 76°19'11"E	49.27'
10	N 48°06'07"E	60.45'
11	N 13°30'44"E	63.11'
12	N 14°23'51"W	28.69'
13	N 32°04'32"W	36.02'
14	N 18°45'17"W	47.20'
15	N 0°41'53"E	5.00'

ZONE A: ELEV 492.5
FLOOD PLAIN PER
ELEVATION BY FLOOD STUDY
NWRS FLOODPLAIN MAP
OCT 1998 EXHIBIT 3-A

PROP. BLDG. #2
8,000 S.F.
FF=501.10

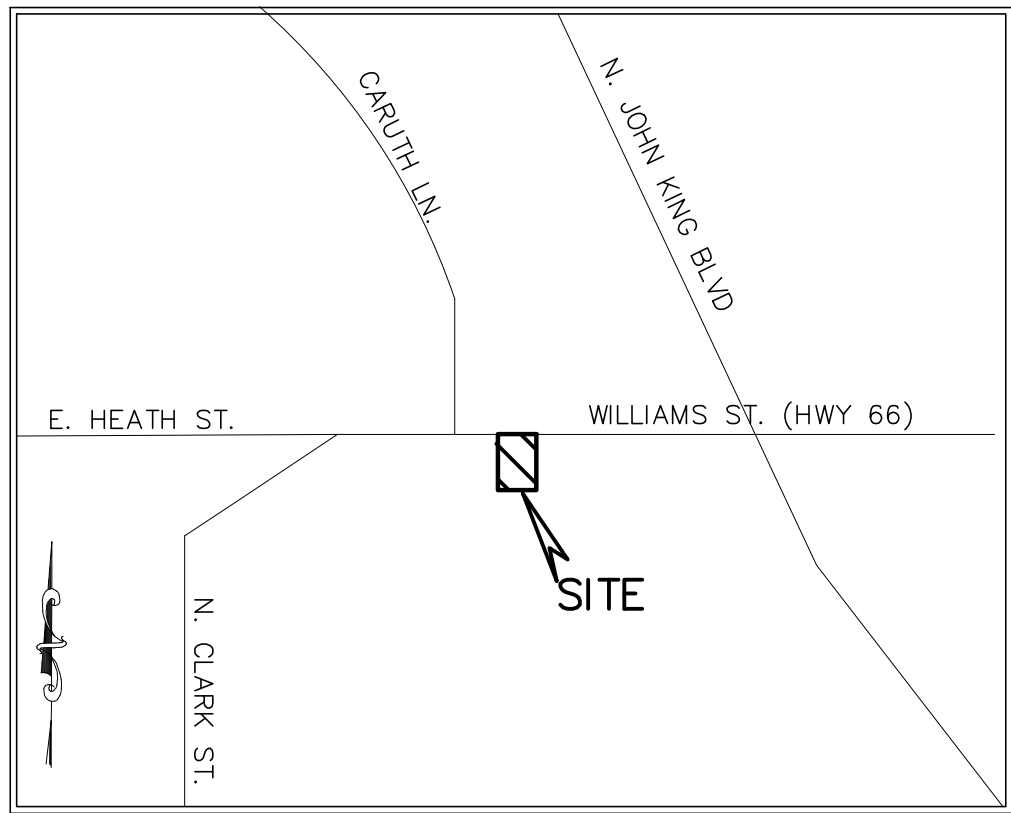
PROP. BLDG. #1
14,196 S.F.
FF=509.85

SITE DATA:

LOT AREA:
8,869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
7.6%
FLOOR TO AREA RATIO:
13.16:1
PROP. BUILDING AREA #1:14,196 sq.ft.
Clinic 5,324 sq.ft.
Office 2,934 sq.ft.
Pantry 5,938 sq.ft.
PROP. BUILDING AREA #2:8,000 sq.ft.
Storage 6,500 sq.ft.
Retail 1,500 sq.ft.
EXIST BUILDING AREA:
13,265 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1 Story 29' MAX
PROPOSED FUTURE USE:
Office, Clinic, Storage
IMPERVIOUS AREA
(including buildings):
107,487 sq.ft.
Exist:86,016 sq.ft.
New:21,471 sq.ft.
ZONING:
C
PARKING:
Required:62
Clinic 1/200 sf=27
Office 1/300 sf=12
Pantry 1/500 sf=10
Storage 1/1000 sf=7
Retail 1/250 = 6
Handicap =2
Provided:
Standard= 77
Handicapped =4
Total Provided = 81
FIRESPRINKLER:
Yes

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ☐ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- ⬢ = PROPOSED PAVING
- ⬢ = PROPOSED FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

revised date:

- 11/8/23 Raised FF 1'
- 12/1/23 Raised Bldg #1 FF .10

RECORD DRAWING 2-5-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

Gerald E. Monk
GERALD E. MONK, P.E.



REVISIONS	

PROJECT #: SP2022-041

OVERALL SITE

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

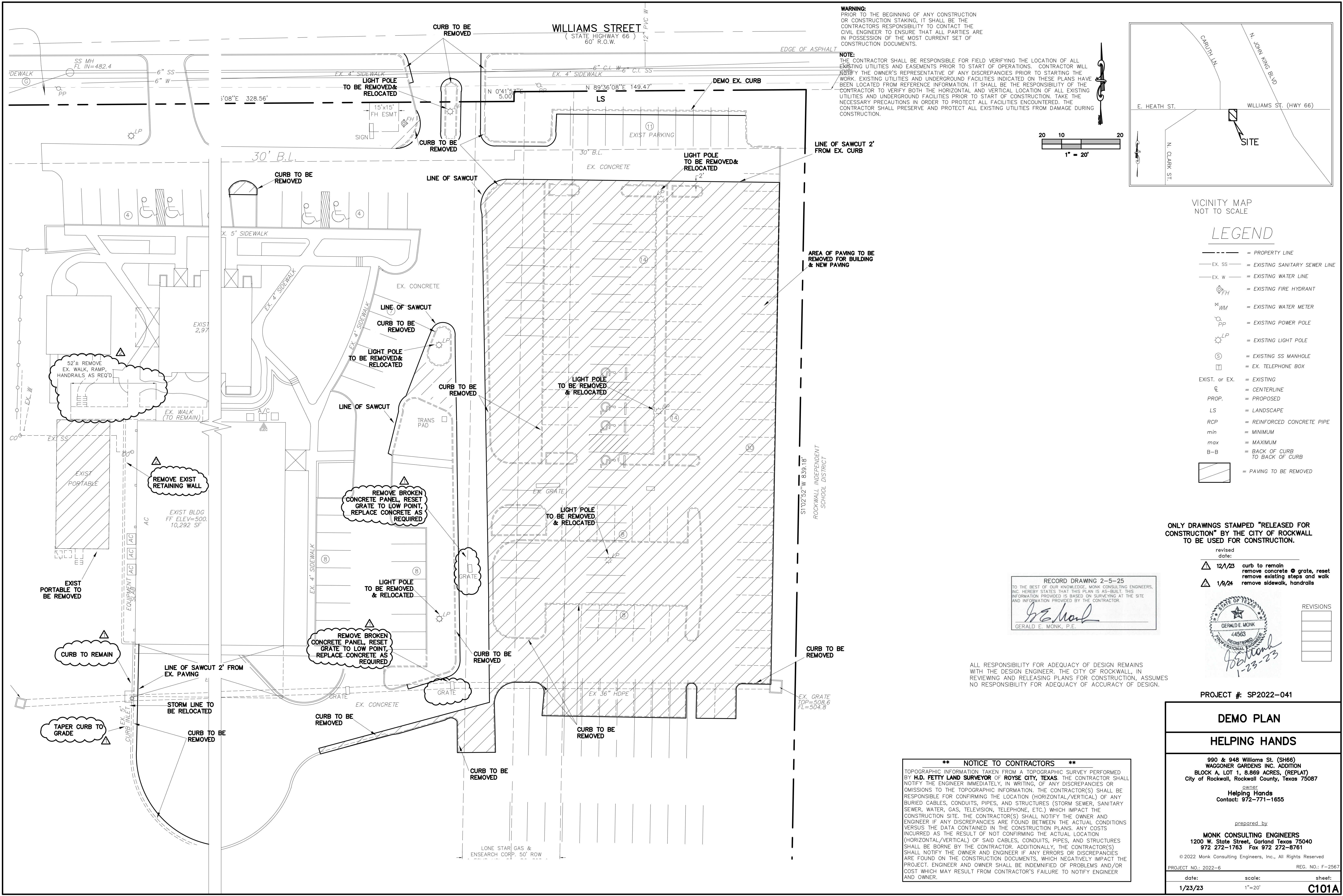
PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 1/23/23 scale: 1"=40' sheet: C101

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

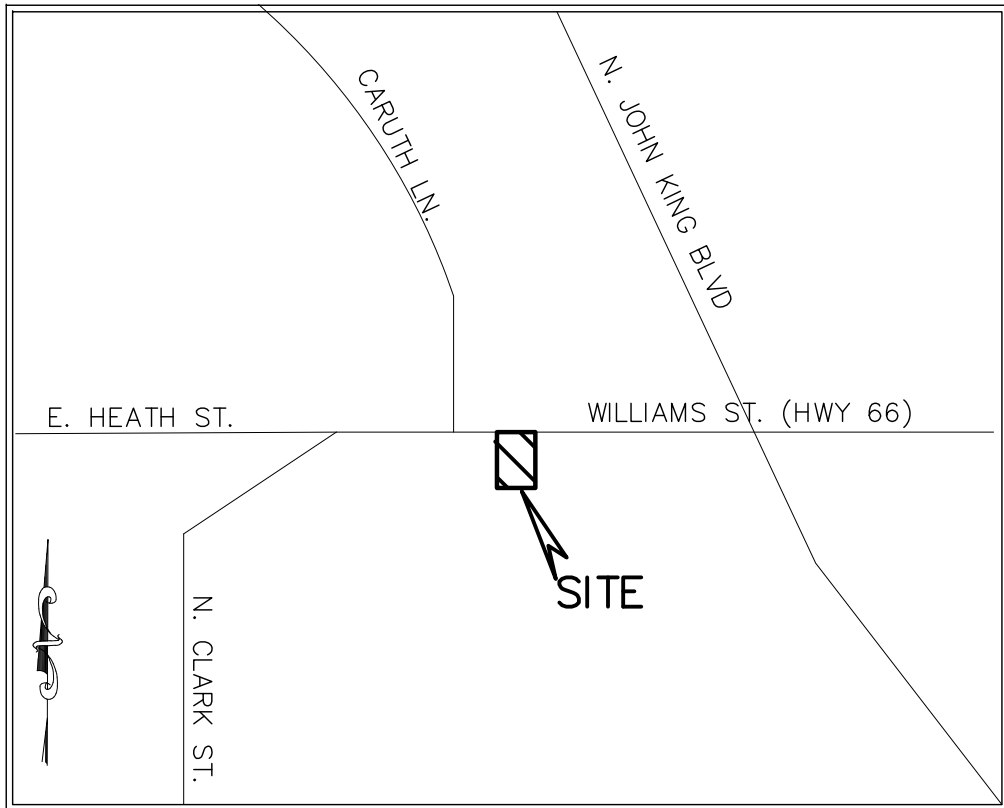
** NOTICE TO CONTRACTORS **

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

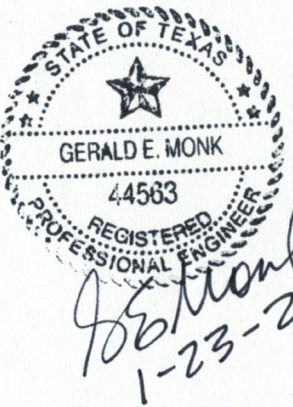
LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ☐ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Hatched Box] = PAVING TO BE REMOVED

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

- revised date:
- 12/23 curb to remain remove concrete @ grate, reset remove existing steps and walk
 - 1/9/24 remove sidewalk, handrails

RECORD DRAWING 2-5-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.



REVISIONS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. PETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

PROJECT #: SP2022-041

DEMO PLAN

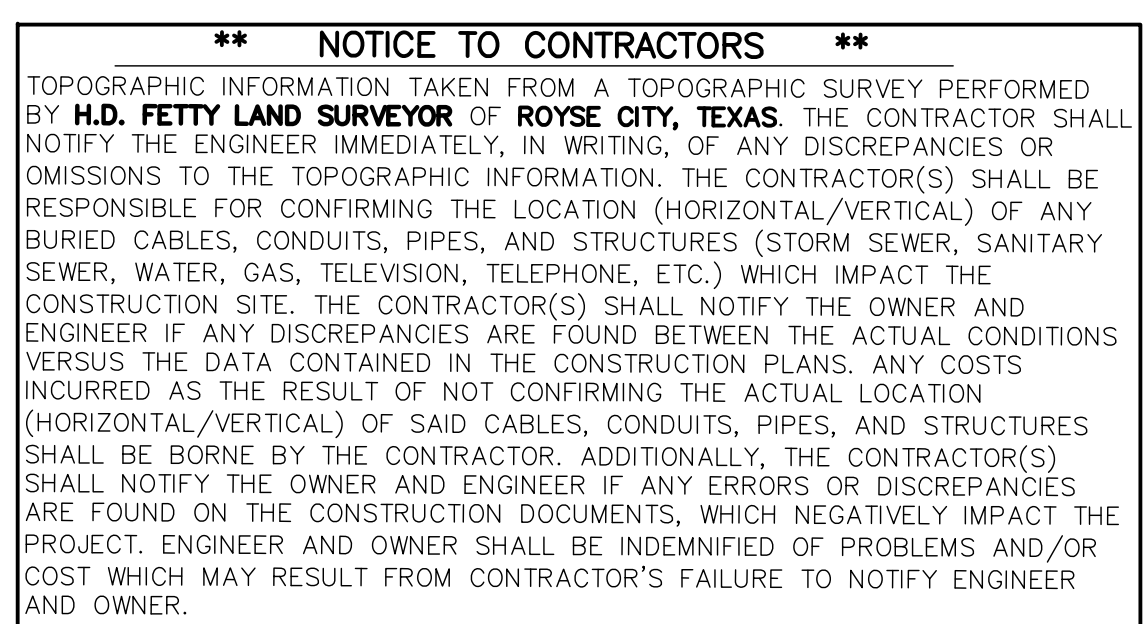
HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6	REG. NO.: F-2567
date: 1/23/23	scale: 1"=20'
sheet: C101A	



- NOTES:
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

NOTE: CONTACT ATMOS GAS COMPANY PRIOR TO SETTING LOCATIONS FOR LIGHT POLES IN ATMOS EASEMENT.

WARNING:

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

20 10 20
1" = 20'

SITE DATA:

LOT AREA:
8.869 Acres, 386,333.64 sq.ft.

LOT COVERAGE:
7.6%

FLOOR TO AREA RATIO:
13.16:1

PROP. BUILDING AREA #1: 14,196 sq.ft.

Clinic 5,324 sq.ft.

Office 2,934 sq.ft.

Pantry 5,938 sq.ft.

Storage 6,500 sq.ft.

Retail 1,500 sq.ft.

EXIST BUILDING AREA:
13,265 sq.ft.

CONSTRUCTION TYPE:
IIB & IV

BUILDING HEIGHT:
1 Story 29' MAX

PROPOSED FUTURE USE:
Office, Clinic, Storage

IMPERVIOUS AREA
(including buildings):
107,487 sq.ft.

Exist: 86,016 sq.ft.

New: 21,471 sq.ft.

ZONING:
C

PARKING:
Required: 62

Clinic 1/200 sf=27

Office 1/300 sf=12

Pantry 1/500 sf=10

Storage 1/1000 sf=7

Retail 1/250 = 6

Handicap = 2

Provided:
Standard = 77

Handicapped = 4

Total Provided = 81

FIRESPRINKLER:
Yes

VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. --- = EXISTING
- ⊙ = CENTERLINE
- PROP. --- = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE
- = PROPOSED PAVING

revised date:

- 11/9/23 Raised FF 1'
- 12/1/23 Relocated dumpster
- 5/9/24 Relocated Retaining Walls
- 6/2/24 Relocated FDC
- 7/8/24 Relocated Bldg #1 FF .10
- Revised Retaining Walls
- Added Section D-D
- Revised Wall details
- Revised grades @ Wall C106A
- Wall Elevation Detail

RECORD DRAWING 2-5-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

Gerald E. Monk
GERALD E. MONK, P.E.



PROJECT # SP2022-041

BUILDING 1 SITE & DIMENSION CONTROL PLAN

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands

Contact: 972-771-1655

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

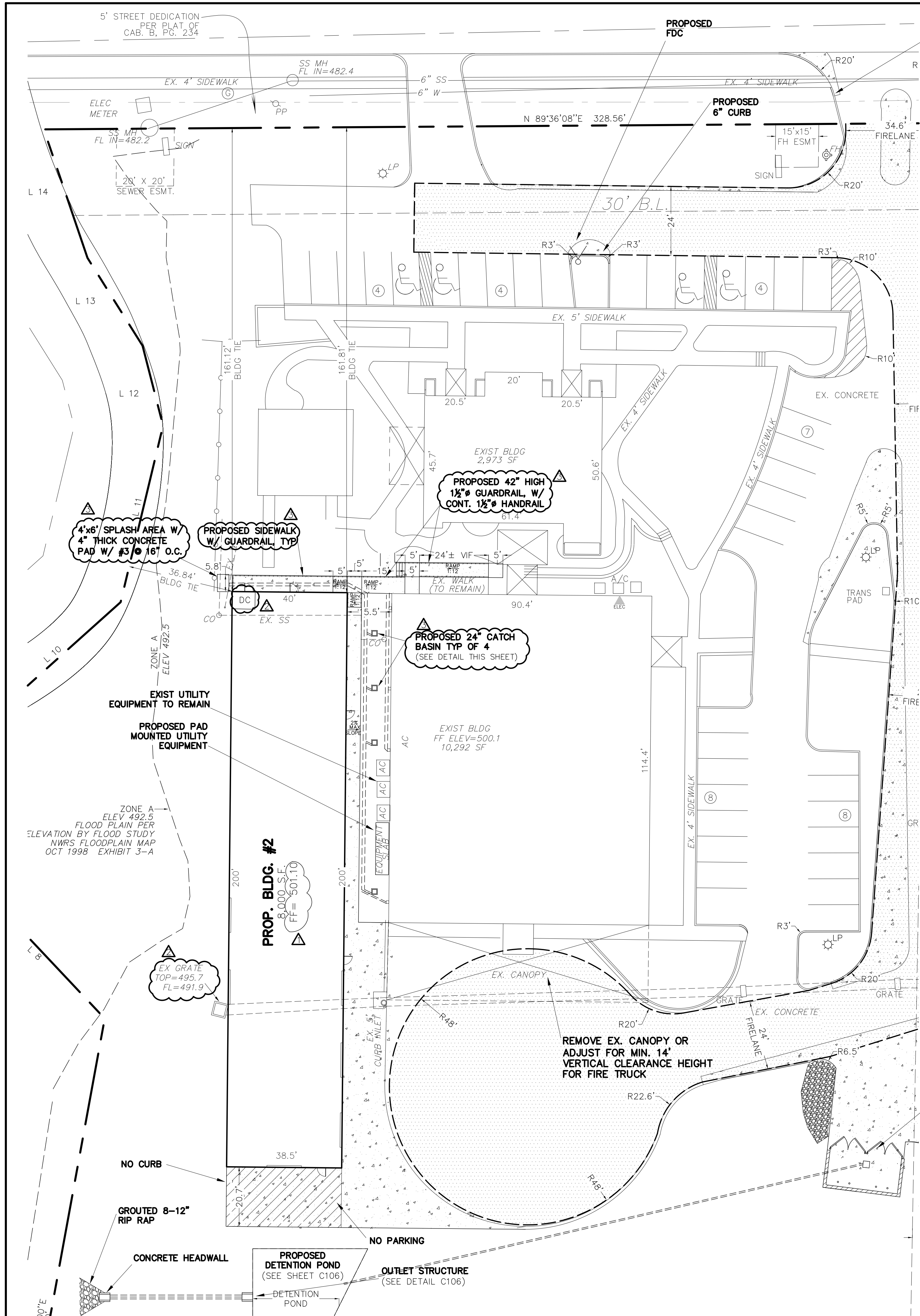
date: 1/23/23 scale: 1"=20' sheet: C103

NOTICE TO CONTRACTORS

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

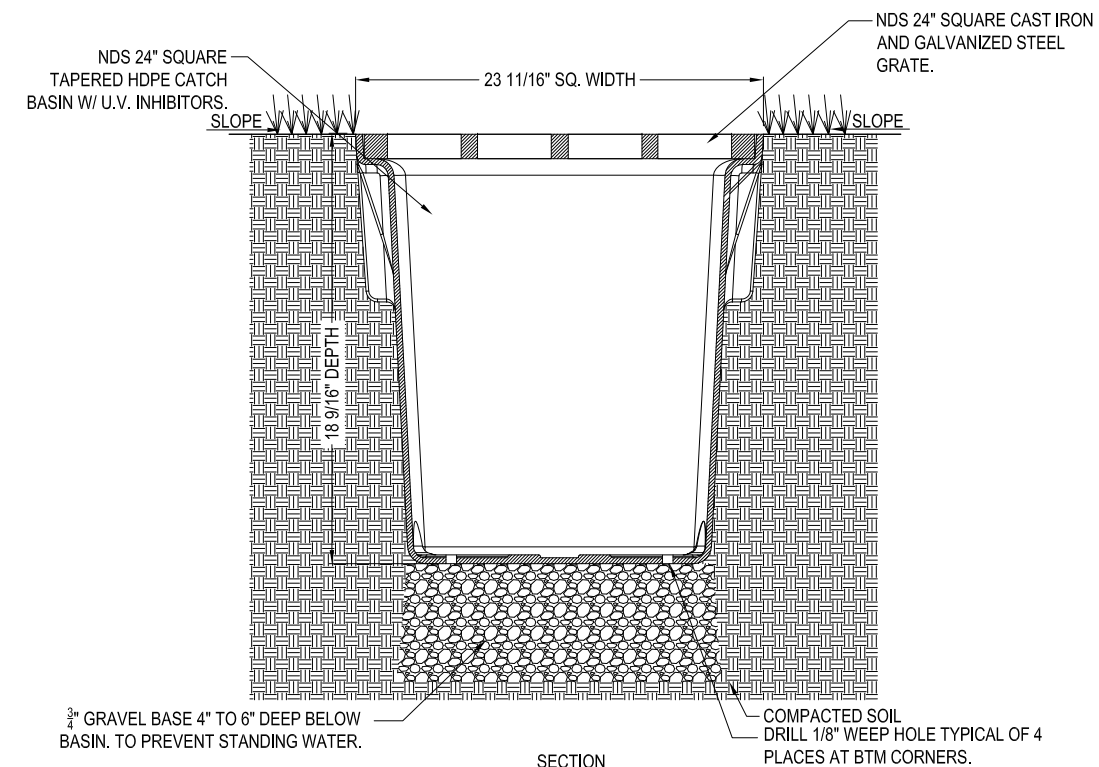
- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

NOTE:
HANDRAILS AND GUARDRAILS TO BE CODE COMPLIANT AT ALL RAMPS, STEPS AND WALKS



NDS
We put water in its place

NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TEL: (559) 480-7274-1094
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndsqps.com



- NOTES:**
1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN

24" SQUARE CATCH BASIN - TYPICAL INSTALLATION FOR LANDSCAPE APPLICATIONS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE DATA:

LOT AREA:
8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
7.6%

FLOOR TO AREA RATIO:
13.16:1

PROP. BUILDING AREA #1: 14,196 sq.ft.
Clinic 5,324 sq.ft.
Office 2,934 sq.ft.
Pantry 5,938 sq.ft.

PROP. BUILDING AREA #2: 8,000 sq.ft.
Storage 6,500 sq.ft.
Retail 1,500 sq.ft.

EXIST BUILDING AREA:
13,265 sq.ft.

CONSTRUCTION TYPE:
IIB & IV

BUILDING HEIGHT:
1 Story 29' MAX

PROPOSED FUTURE USE:
Office, Clinic, Storage

IMPERVIOUS AREA
(including buildings):

107,487 sq.ft.

Exist: 86,016 sq.ft.

New: 21,471 sq.ft.

ZONING:
C

PARKING:
Required: 62

Clinic 1/200 sf=27

Office 1/300 sf=12

Pantry 1/500 sf=10

Storage 1/1000 sf=7

Retail 1/250 = 6

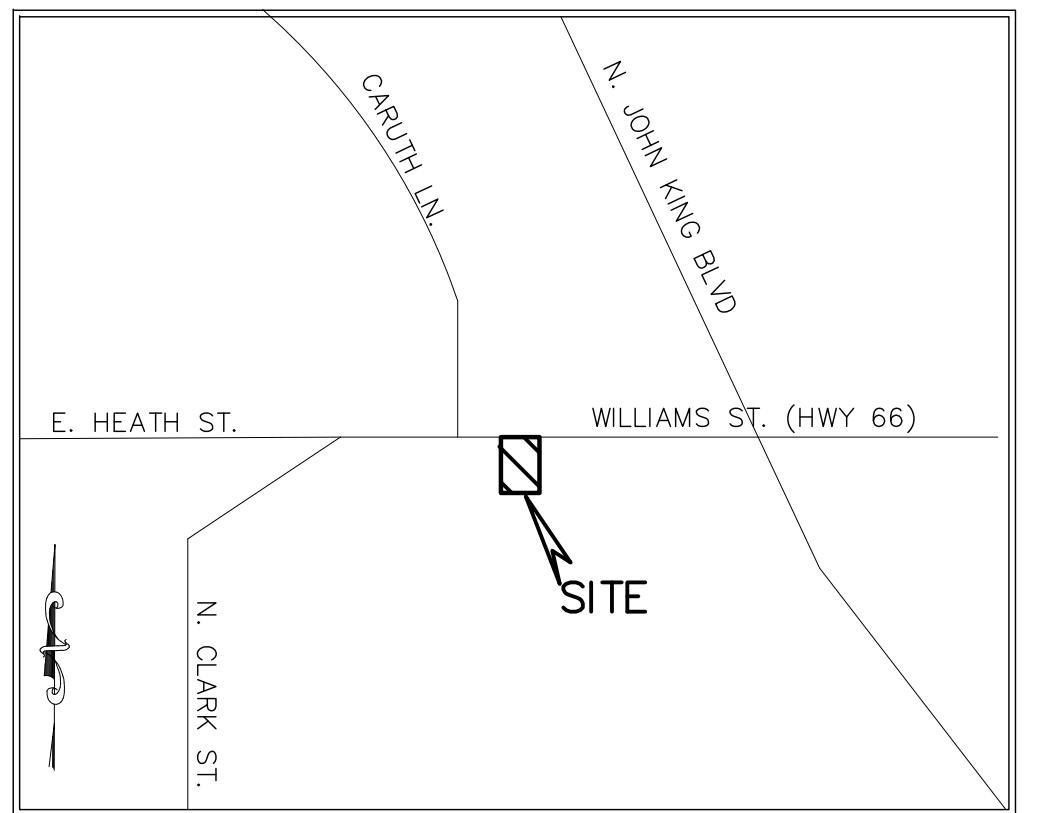
Handicap = 2

Provided: Standard= 77

Handicapped = 4

Total Provided = 81

FIRESPRINKLER:
Yes



VICINITY MAP
NOT TO SCALE

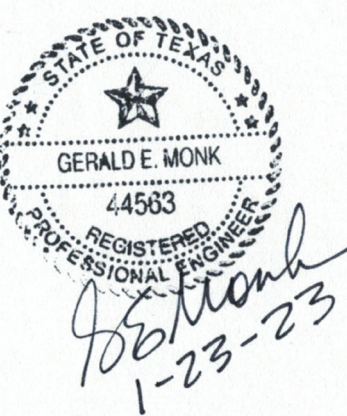
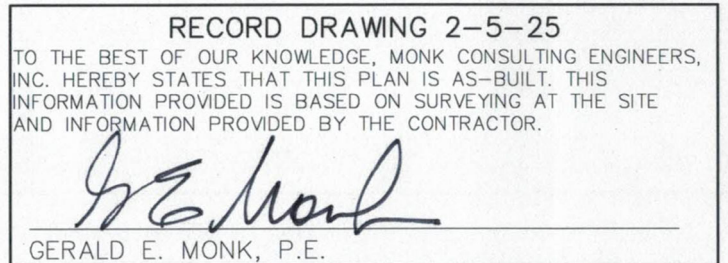
LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- EX. FH = EXISTING FIRE HYDRANT
- EX. WM = EXISTING WATER METER
- EX. PP = EXISTING POWER POLE
- EX. LP = EXISTING LIGHT POLE
- EX. S = EXISTING SS MANHOLE
- EX. T = EX. TELEPHONE BOX
- EX. G = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- C = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST FIRELANE = EXIST FIRELANE
- PROPOSED PAVING = PROPOSED PAVING

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

revised date:	
11/9/23	Raised FF 1'
12/1/23	Located ex. inlets
1/9/24	Relocated the fire riser room
	New Ramp/Sidewalk

REVISIONS



PROJECT #: SP2022-041

BUILDING 2 SITE & DIMENSION CONTROL PLAN

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

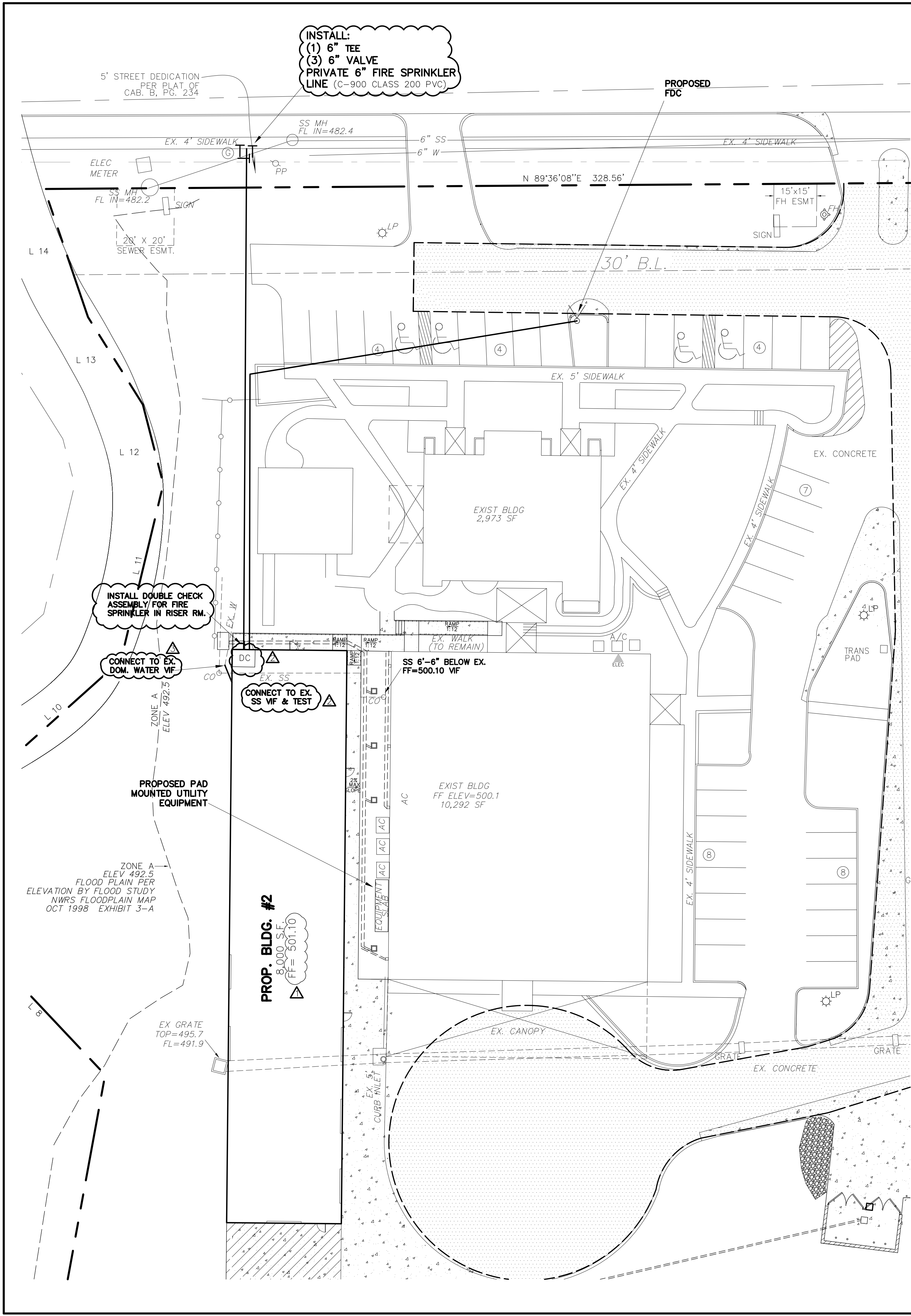
prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

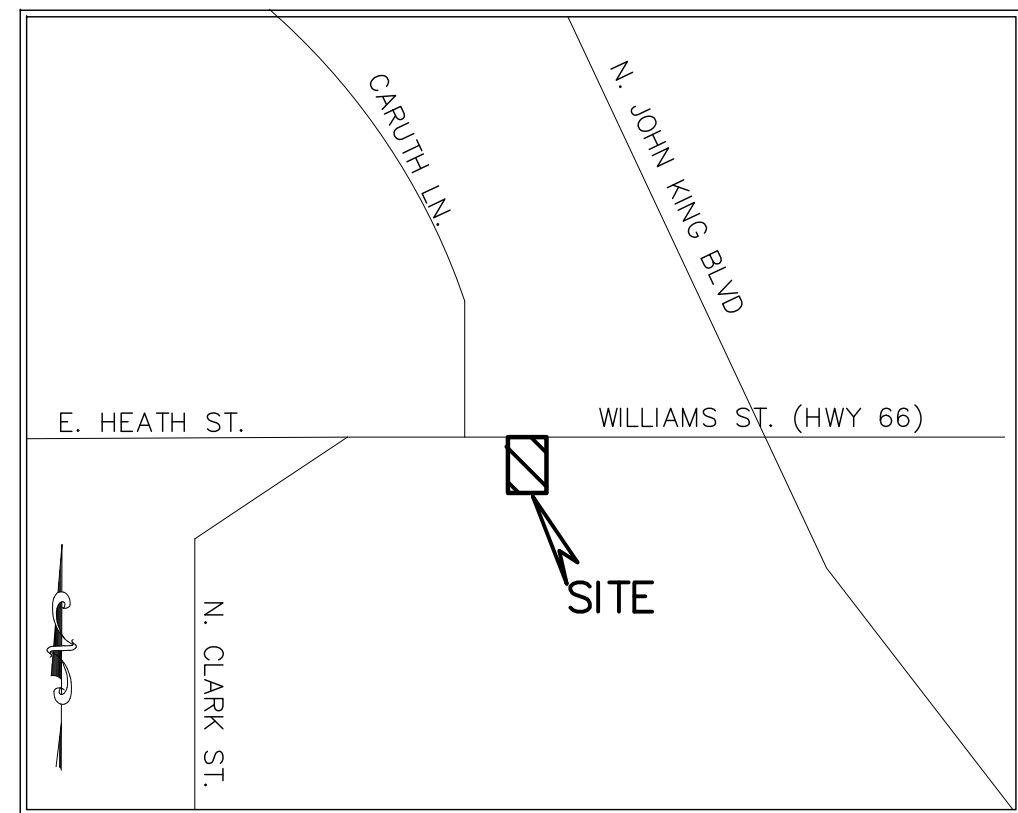
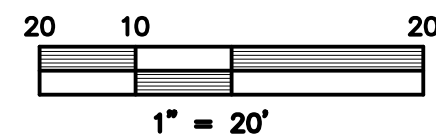
PROJECT NO.: 2022-6 REG. NO.: F-2567

date:	scale:	sheet:
1/23/23	1"=20'	C103A



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP, LP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- CO = EX. SS CLEANOUT
- ⊙ = EXISTING SS MANHOLE
- ☐ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE
- = PROPOSED PAVING

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

- revised date:
- 11/9/23 Raised FF 1'
 - 12/1/23 Relocated Fire Riser Room
 - 1/9/24 New Ramp/Sidewalk



REVISIONS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

PROJECT #: SP2022-041

UTILITY PLAN BUILDING 2

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

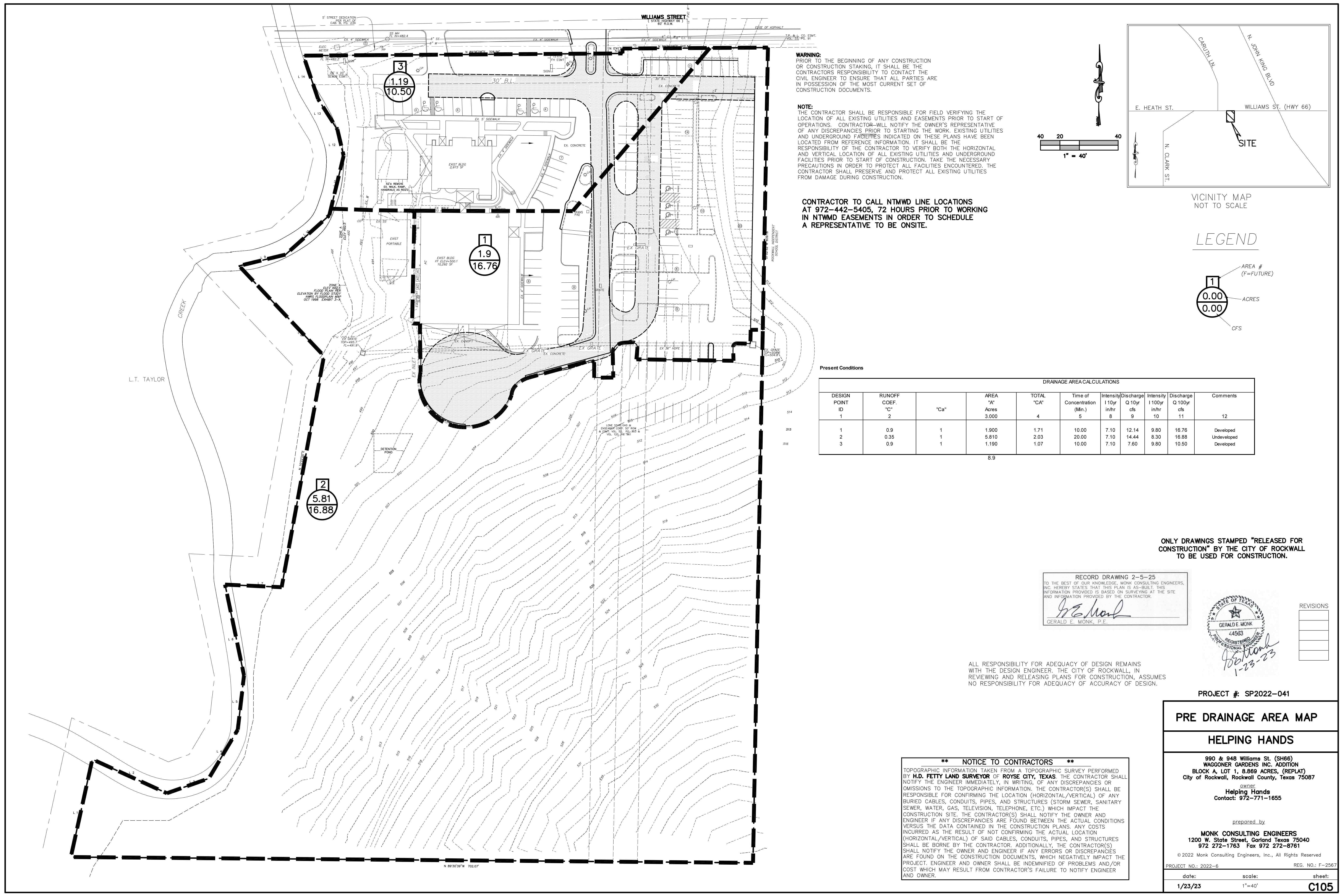
© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 1/23/23 scale: 1"=20' sheet: C104A

** NOTICE TO CONTRACTORS **

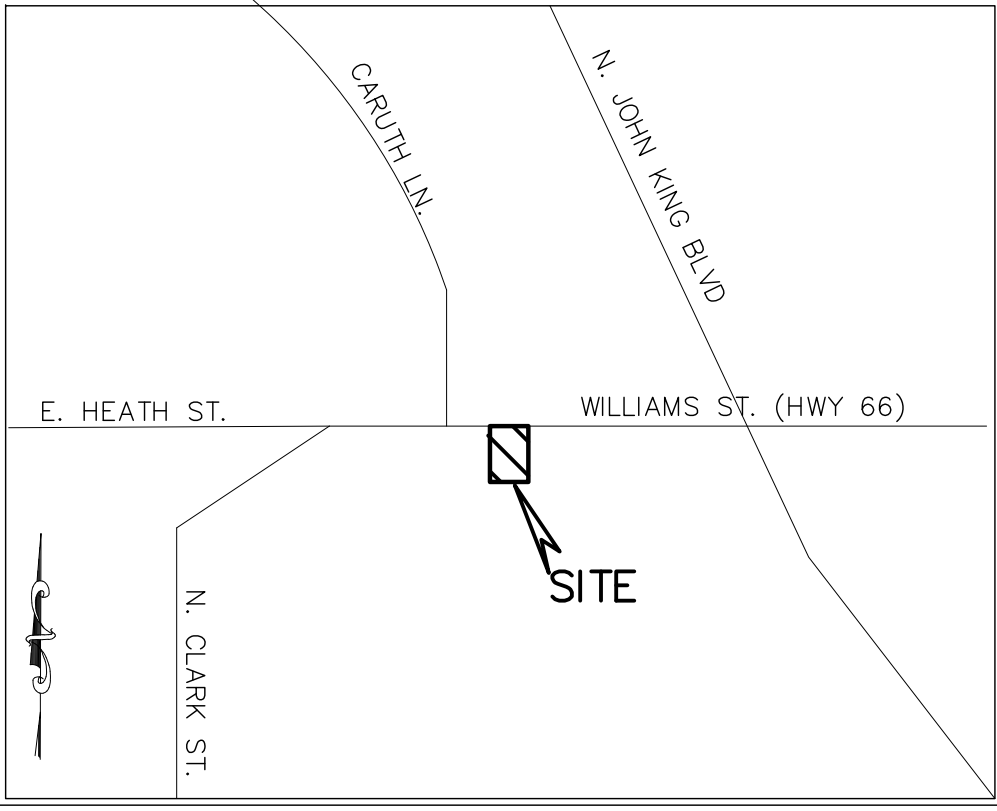
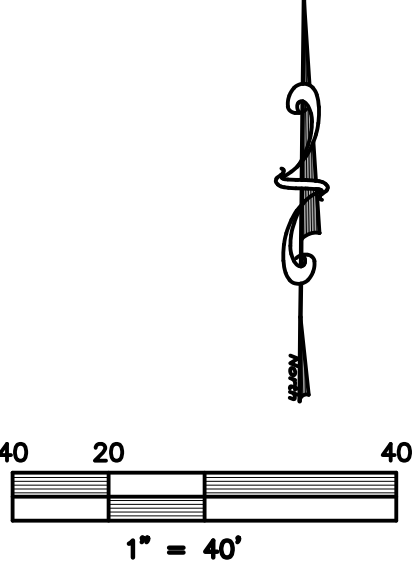
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

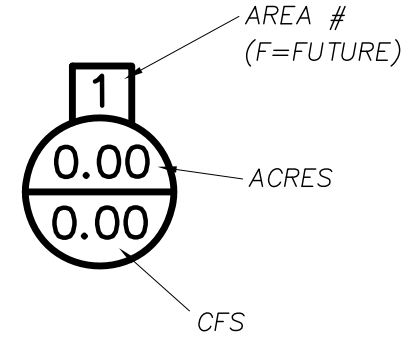
NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CONTRACTOR TO CALL NTWMD LINE LOCATIONS AT 972-442-5405, 72 HOURS PRIOR TO WORKING IN NTWMD EASEMENTS IN ORDER TO SCHEDULE A REPRESENTATIVE TO BE ONSITE.



VICINITY MAP
NOT TO SCALE

LEGEND



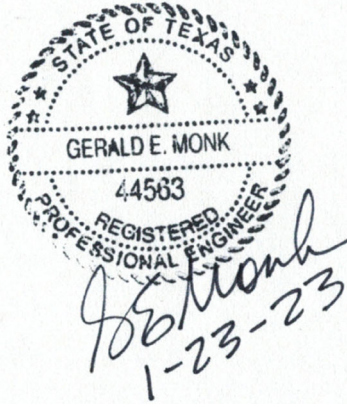
Present Conditions

DRAINAGE AREA CALCULATIONS										
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity 110yr in/hr	Discharge Q 10yr cfs	Intensity 1100yr in/hr	Discharge Q 100yr cfs	Comments
1	0.9	1	1.900	1.71	10.00	7.10	12.14	9.80	16.76	Developed
2	0.35	1	5.810	2.03	20.00	7.10	14.44	8.30	16.88	Undeveloped
3	0.9	1	1.190	1.07	10.00	7.10	7.60	9.80	10.50	Developed

8.9

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

RECORD DRAWING 2-5-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.



REVISIONS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. PETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

PROJECT #: SP2022-041

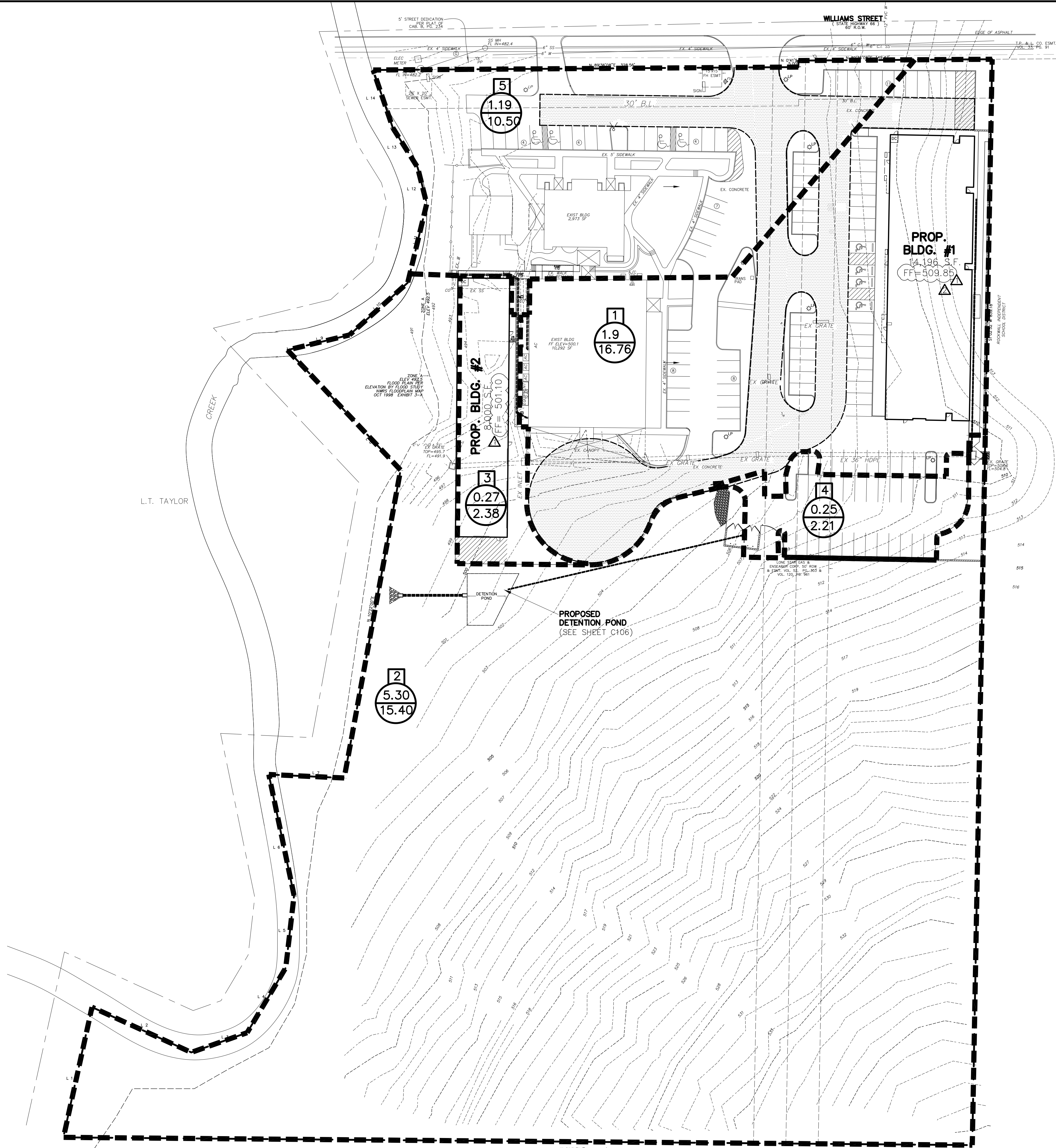
PRE DRAINAGE AREA MAP
HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

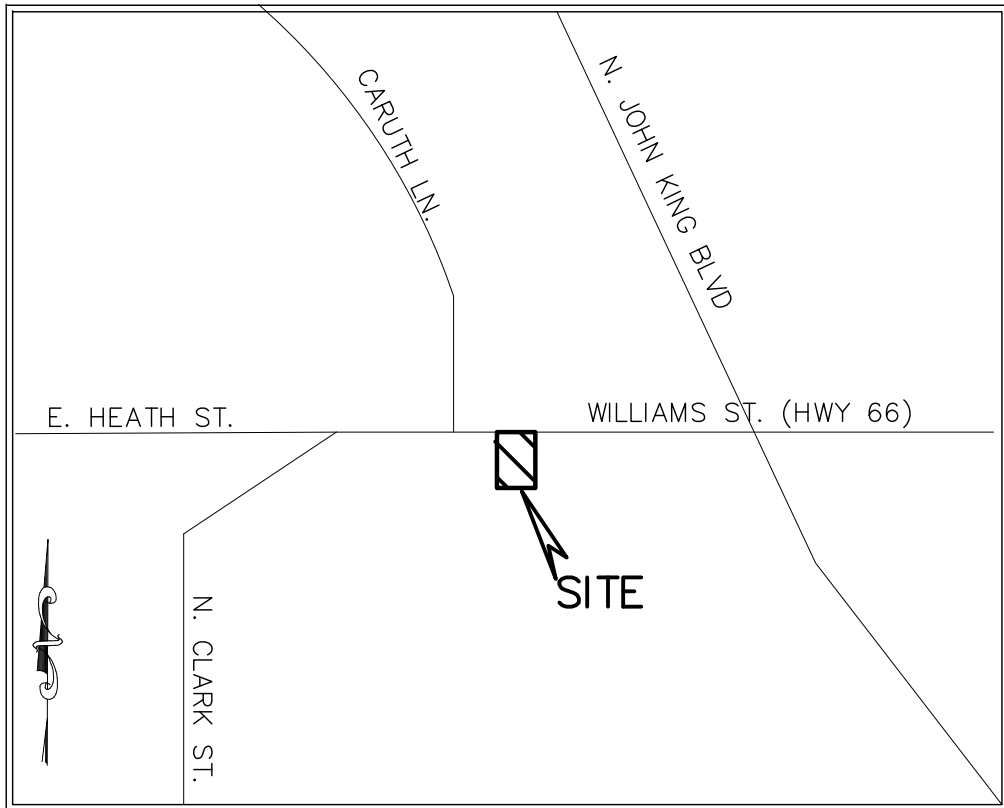
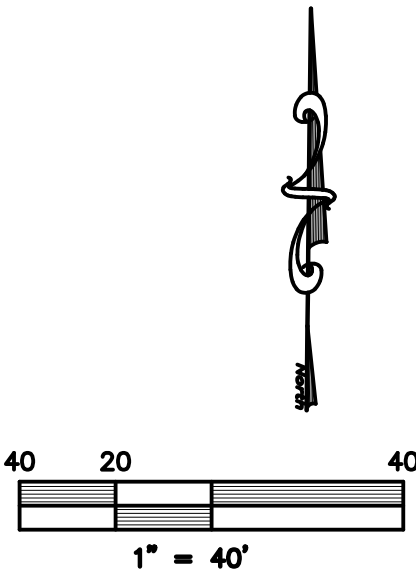
PROJECT NO.: 2022-6	REG. NO.: F-2567
date: 1/23/23	scale: 1"=40'
sheet: C105	



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

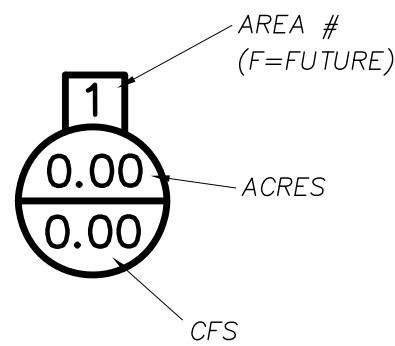
NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CONTRACTOR TO CALL NTWMD LINE LOCATIONS AT 972-442-5405, 72 HOURS PRIOR TO WORKING IN NTWMD EASEMENTS IN ORDER TO SCHEDULE A REPRESENTATIVE TO BE ONSITE.



VICINITY MAP
NOT TO SCALE

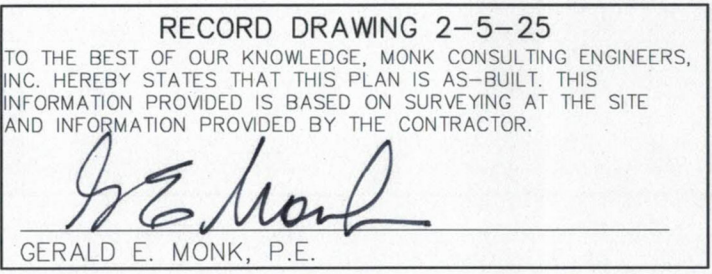
LEGEND



Developed

DRAINAGE AREA CALCULATIONS										
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity 110yr in/hr	Discharge Q 10yr cfs	Intensity 110yr in/hr	Discharge Q 100yr cfs	Comments
1	0.9	1	1.9000	1.71	10.00	7.10	12.14	9.80	16.76	To exist inlets in cul de sac
2	0.35	1	5.3000	1.86	20.00	7.10	13.17	8.30	15.40	To Creek
3	0.9	1	0.270	0.24	10.00	7.10	1.73	9.80	2.38	To Pond
4	0.9	1	0.250	0.23	10.00	7.10	1.60	9.80	2.21	To Pond
5	0.9	1	1.190	1.07	10.00	7.10	7.60	9.80	10.50	To Creek
			8.9							

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

revised date:
11/9/23 Raised FF 1'
12/1/23 Raised Bldg #1 FF .10



REVISIONS

PROJECT #: SP2022-041

POST DRAINAGE AREA MAP

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

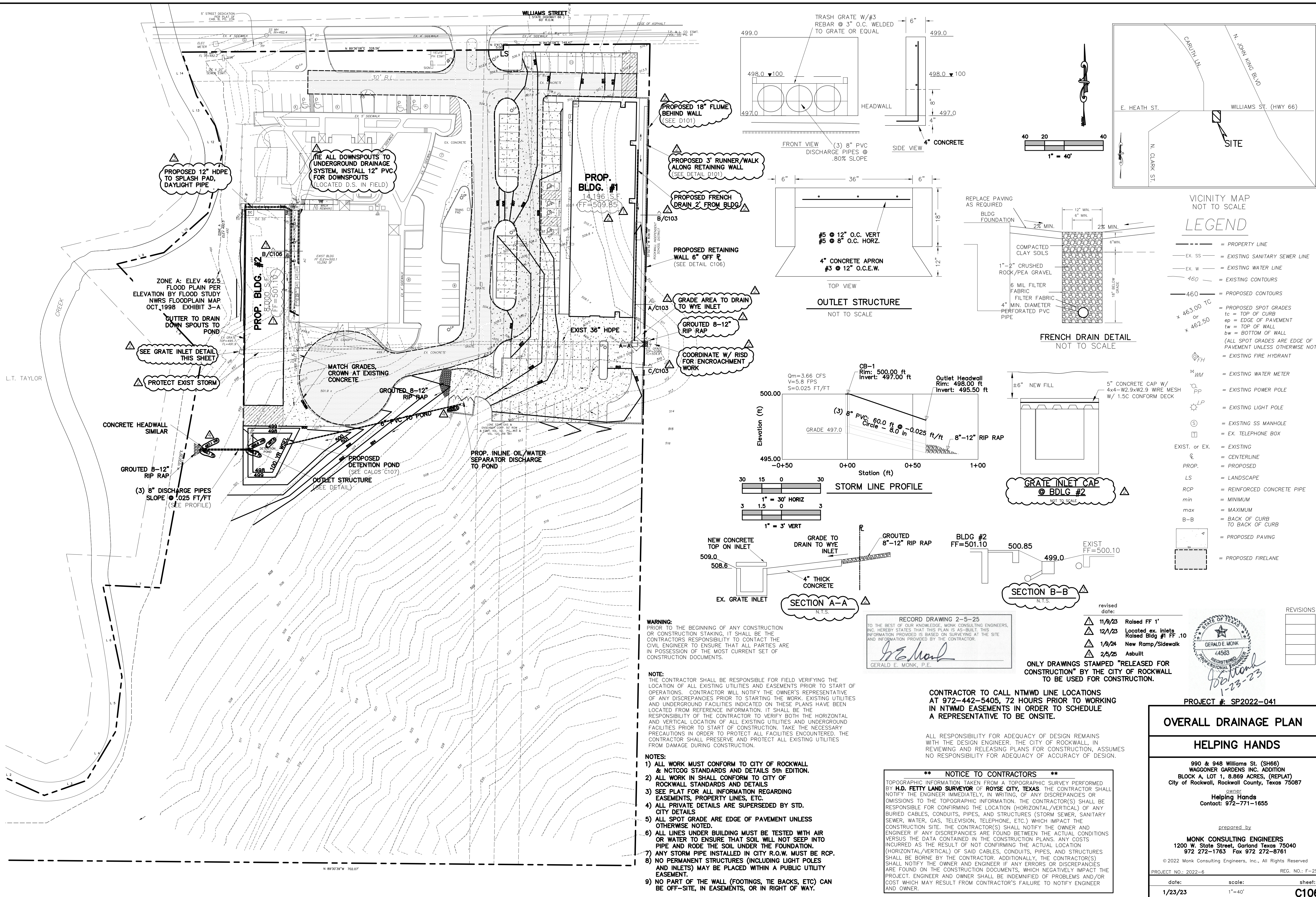
prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 1/23/23 scale: 1"=40' sheet: C105A





Area

Acres

New Building & Paving

0.51

Pond Area

0.11

0.62

Parking Lot Pond

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA

A=0.620

C=0.90

Tc=20.00

I100=8.30

Q100=4.63

By-Pass Acreage

0.100

New Acreage

0.520

Future Conditions

A=0.620

A (adj)=0.520

C=0.90

Tc=10.00

I100=9.80

Q100=5.47

Offsite Condition

-

ByPass

0.110

Q Allow

0.90

10.00

9.80

0.97

3.66

CFS

Flow for Storm Duration

Time

I

C

Q (cfs)

10 min

9.80

0.90

4.586

15 min

9.00

0.90

4.212

20 min

8.30

0.90

3.884

30 min

6.90

0.90

3.229

40 min

5.80

0.90

2.714

50 min

5.00

0.90

2.340

60 min

4.50

0.90

2.106

70 min

4.00

0.90

1.872

80 min

3.70

0.90

1.732

90 min

3.50

0.90

1.638

100 min

3.40

0.90

1.591

110 min

3.20

0.90

1.498

Flow for Storm Durations (Offsite)

Time

I

C

Q (cfs)

10 min

9.80

0.35

-

15 min

9.00

0.35

-

20 min

8.30

0.35

-

30 min

6.90

0.35

-

40 min

5.80

0.35

-

50 min

5.00

0.35

-

60 min

4.50

0.35

-

70 min

4.00

0.35

-

80 min

3.70

0.35

-

90 min

3.50

0.35

-

100 min

3.40

0.35

-

110 min

3.20

0.35

-

Storage Claculations

10 min

Inflow

2,752

Storage

CF

555

15 min

Inflow

3,791

Storage

1,045

20 min

Inflow

4,661

Storage

1,366

30 min

Inflow

5,813

Storage

1,419

40 min

Inflow

6,515

Storage

1,023

50 min

Inflow

7,020

Storage

430

60 min

Inflow

7,582

Storage

(107)

70 min

Inflow

7,862

Storage

(924)

80 min

Inflow

8,312

Storage

(1,574)

90 min

Inflow

8,845

Storage

(2,138)

100 min

Inflow

9,547

Storage

(2,535)

110 min

Inflow

8,986

Storage

(4,195)

Outflow

2,197

2,746

3,295

4,393

5,492

6,590

7,689

8,787

10,984

12,082

13,180

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA

A=0.620

C=0.90

Tc=20.00

I25=6.80

Q25=3.693

By-Pass Acreage

0.100

New Acreage

0.520

Future Conditions

A=0.620

A (adj)=0.520

C=0.90

Tc=10.00

I25=8.30

Q25=3.88

Offsite Condition

-

ByPass

0.110

Q Allow

0.90

10.00

8.30

0.822

2.86

cfs

Flow for Storm Duration

Time

I

C

Q (cfs)

10 min

8.30

0.90

3.884

15 min

7.50

0.90

3.510

20 min

6.60

0.90

3.089

30 min

5.50

0.90

2.574

40 min

4.60

0.90

2.153

50 min

4.00

0.90

1.872

60 min

3.50

0.90

1.638

70 min

3.30

0.90

1.544

80 min

3.10

0.90

1.451

90 min

2.90

0.90

1.357

100 min

2.70

0.90

1.264

110 min

2.50

0.90

1.170

Flow for Storm Durations (Offsite)

Time

I

C

Q (cfs)

10 min

8.30

0.35

-

15 min

7.50

0.35

-

20 min

6.60

0.35

-

30 min

5.50

0.35

-

40 min

4.60

0.35

-

50 min

4.00

0.35

-

60 min

3.50

0.35

-

70 min

3.30

0.35

-

80 min

3.10

0.35

-

90 min

2.90

0.35

-

100 min

2.70

0.35

-

110 min

2.50

0.35

-

Storage Claculations

10 min

Inflow

2,331

Storage

CF

614

15 min

Inflow

3,159

Storage

1,013

20 min

Inflow

3,707

Storage

1,132

30 min

Inflow

4,633

Storage

1,200

40 min

Inflow

5,167

Storage

875

50 min

Inflow

5,616

Storage

466

60 min

Inflow

5,897

Storage

(112)

70 min

Inflow

6,486

Storage

(380)

80 min

Inflow

6,964

Storage

(761)

90 min

Inflow

7,329

Storage

(1,254)

100 min

Inflow

7,582

Storage

(1,860)

110 min

Inflow

7,020

Storage

(3,280)

Outflow

1,717

2,146

2,575

3,433

4,292

5,150

6,008

6,867

7,725

8,583

9,442

10,300

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA

A=0.620

C=0.90

Tc=20.00

I10=5.90

Q10=3.292

By-Pass Acreage

0.100

New Acreage

0.52

Future Conditions

A=0.620

A (adj)=0.520

C=0.90

Tc=10.00

I10=7.10

Q10=3.323

Offsite Condition

-

ByPass

0.110

Q Allow

0.90

10.00

7.10

0.703

2.59

cfs

Flow for Storm Duration

Time

I

C

Q (cfs)

10 min

7.10

0.90

3.323

15 min

6.50

0.90

3.042

20 min

5.90

0.90

2.761

30 min

4.80

0.90

2.246

40 min

4.00

0.90

1.872

50 min

3.50

0.90

1.638

60 min

3.00

0.90

1.404

70 min

2.80

0.90

1.310

80 min

2.60

0.90

1.217

90 min

2.50

0.90

1.170

100 min

2.40

0.90

1.123

110 min

2.30

0.90

1.076

Flow for Storm Durations (Offsite)

Time

I

C

Q (cfs)

10 min

7.10

0.35

-

15 min

6.50

0.35

-

20 min

5.90

0.35

-

30 min

4.80

0.35

-

40 min

4.00

0.35

-

50 min

3.50

0.35

-

60 min

3.00

0.35

-

70 min

2.80

0.35

-

80 min

2.60

0.35

-

90 min

2.50

0.35

-

100 min

2.40

0.35

-

110 min

2.30

0.35

-

Storage Claculations

10 min

Inflow

1,994

Storage

CF

440

15 min

Inflow

2,738

Storage

796

20 min

Inflow

3,313

Storage

983

30 min

Inflow

4,044

Storage

936

40 min

Inflow

4,493

Storage

609

50 min

Inflow

4,914

Storage

253

60 min

Inflow

5,054

Storage

(383)

70 min

Inflow

5,504

Storage

(711)

80 min

Inflow

5,841

Storage

(1,150)

90 min

Inflow

6,318

Storage

(1,450)

100 min

Inflow

6,739

Storage

(1,805)

110 min

Inflow

6,458

Storage

(2,863)

Outflow

1,554

1,942

2,330

3,107

3,884

4,661

5,438

6,214

6,991

7,768

8,545

9,321

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA

A=0.620

C=0.90

Tc=20.00

I5=4.90

Q5=2.73

By-Pass Acreage

0.100

New Acreage

0.52

Future Conditions

A=0.620

A (adj)=0.520

C=0.90

Tc=10.00

I5=6.10

Q5=2.855

Offsite Condition

-

ByPass

0.110

Q Allow

0.90

10.00

6.10

0.60

2.13

cfs

Flow for Storm Duration

Time

I

C

Q (cfs)

10 min

6.10

0.90

2.855

15 min

5.50

0.90

2.574

20 min

4.90

0.90

2.293

30 min

4.10

0.90

1.919

40 min

3.40

0.90

1.591

50 min

2.80

0.90

1.310

60 min

2.60

0.90

1.217

70 min

2.40

0.90

1.123

80 min

2.30

0.90

1.076

90 min

2.10

0.90

0.983

100 min

1.90

0.90

0.889

110 min

1.80

0.90

0.842

Flow for Storm Durations (Offsite)

Time

I

C

Q (cfs)

10 min

6.10

0.35

-

15 min

5.50

0.35

-

20 min

4.90

0.35

-

30 min

4.10

0.35

-

40 min

3.40

0.35

-

50 min

2.80

0.35

-

60 min

2.60

0.35

-

70 min

2.40

0.35

-

80 min

2.30

0.35

-

90 min

2.10

0.35

-

100 min

1.90

0.35

-

110 min

1.80

0.35

-

Storage Claculations

10 min

Inflow

1,713

Storage

CF

435

15 min

Inflow

2,317

Storage

719

20 min

Inflow

2,752

Storage

835

30 min

Inflow

3,454

Storage

897

40 min

Inflow

3,819

Storage

623

50 min

Inflow

3,931

Storage

97

60 min

Inflow

4,380

Storage

(93)

70 min

Inflow

4,717

Storage

(395)

80 min

Inflow

5,167

Storage

(585)

90 min

Inflow

5,307

Storage

(1,084)

100 min

Inflow

5,335

Storage

(1,695)

110 min

Inflow

5,054

Storage

(2,615)

Outflow

1,278

1,598

1,917

2,556

3,195

3,835

4,474

5,113

5,752

6,391

7,030

7,669

Summary Detention Pond A Calculations

Volume

Elevation

Q Actual

Qallow 100

413

cf

520.70

3.66

cfs

Qallow 25

359

cf

520.60

2.86

cfs

Qallow 10

288

cf

520.55

2.59

cfs

Qallow 5

267

cf

520.40

2.13

cfs

Hydraflow Hydrographs by Intelsolve v8.01

Friday, Jan 20, 2023

Pond No. 1 - Helping Hands

Pond Data

Trapezoid - Bottom L x W = 40.0 x 30.0 ft, Side slope = 5:0.1, Bottom elev = 497.00 ft, Depth = 3.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	497.00	1,200	0	0
0.30	497.30	1,419	362	362
0.60	497.60	1,656	481	843
0.90	497.90	1,911	539	1,382
1.20	498.20	2,184	576	2,000
1.50	498.50	2,475	598	2,598
1.80	498.80	2,784	598	3,196
2.10	499.10	3,111	584	3,780
2.40	499.40	3,456	565	4,345
2.70	499.70	3,819	1,091	5,436
3.00	500.00	4,200	1,202	6,638

Culvert / Orifice Structures

Weir Structures

[A]	[B]	[C]	[PrfRar]	[A]	[B]	[C]	[D]
Rise (in)	= 8.00	Inactive	0.00	Crest Len (ft)	= 0.00	0.00	0.00
Span (in)	= 8.00	0.00	0.00	Crest Elev (ft)	= 0.00	0.00	0.00
No. Barrels	= 3	1	0	Weir Coeff.	= 3.33	3.33	3.33
Invert Elev (ft)	= 497.00	0.00	0.00	Weir Type	= Rect	---	---
Length (ft)	= 30.00	0.00	0.00	Multi-Stage	= No	No	No
Slope (%)	= 0.60	0.00	0.00	EWH (sqhr)	= 0.000 (by Wet area)	---	---
N Value	= 0.13	0.13	0.13	TW Elev (ft)	= 0.00	---	---
Orifice Coeff.	= 0.60	0.60	0.60	---	---	---	---
Multi-Stage	= n/a	No	No	---	---	---	---

Stage / Storage / Discharge Table

Stage	Storage	Elevation	Ch A	Ch B	Ch C	PrfRar	W-A	W-B	W-C	W-D	User	Total
ft	cuft	ft	cfs	cfs	cfs	cfs	cfs	cfs	cfs	cfs	cfs	cfs
0.00	0	497.00	0.00	---	---	---	---	---	---	---	---	0.00
0.30	362	497.30	0.85	---	---	---	---	---	---	---	---	0.85
0.60	843	497.60	2.35	---	---	---	---	---	---	---	---	2.35
0.90	1,382	497.90	3.29	---	---	---	---	---	---	---	---	3.29
1.20	2,000	498.20	4.20	---	---	---	---	---	---	---	---	4.20
1.50	2,598	498.50	4.96	---	---	---	---	---	---	---	---	4.96
1.80	3,196	498.80	5.60	---	---	---	---	---	---	---	---	5.60
2.10	3,780	499.10	6.18	---	---	---	---	---	---	---	---	6.18
2.40	4,345	499.40	6.71	---	---	---	---	---	---	---	---	6.71
2.70	4,909	499.70	7.20	---	---	---	---	---	---	---	---	7.20
3.00	5,473	500.00	7.66	---	---	---	---	---	---	---	---	7.66

Stage / Discharge

Stage / Storage

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

REVISIONS

STATE OF TEXAS

GERALD E. MONK

44563

REGISTERED PROFESSIONAL ENGINEER

1-23-23

RECORD DRAWING 2-5-25

TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

GERALD E. MONK, P.E.

PROJECT #: SP2022-041

POND SPECS

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

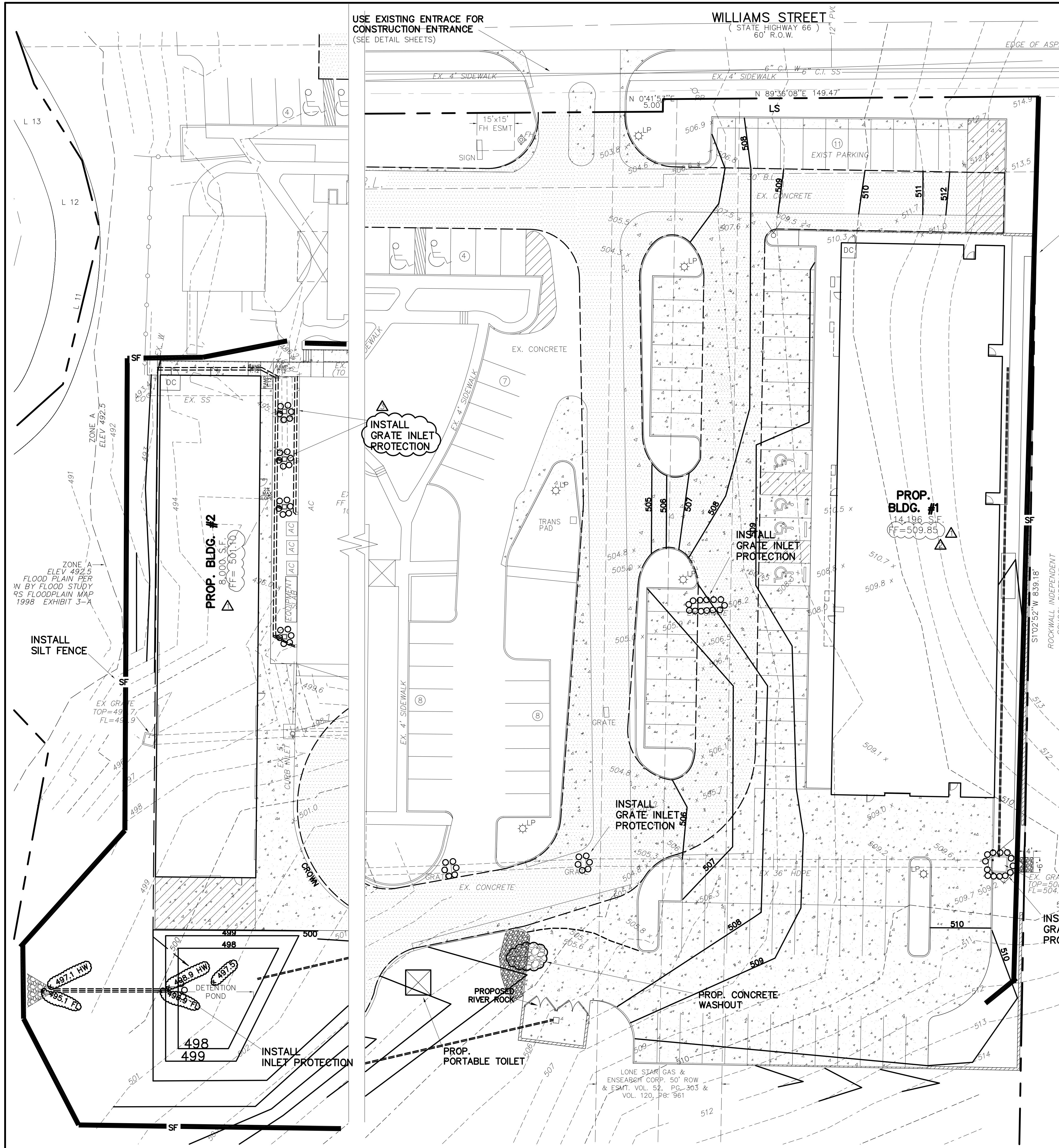
prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

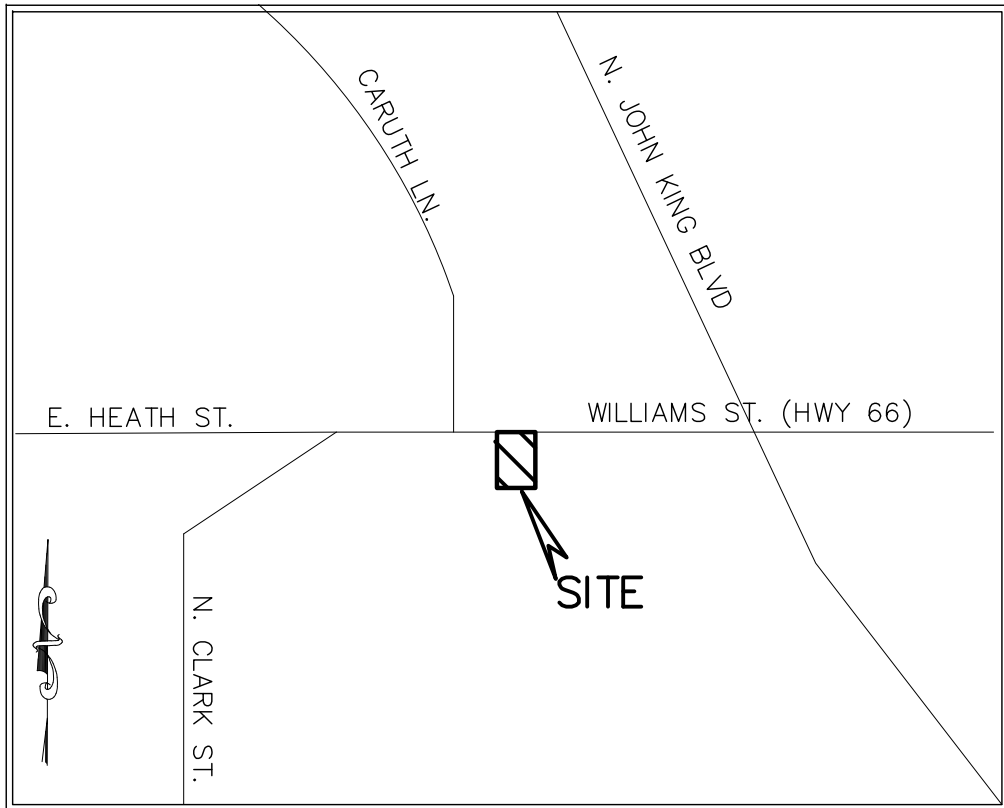
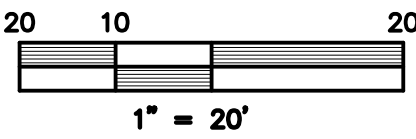
date: scale: sheet:

1/23/23 C107



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



EROSION CONTROL PHASES:

- PHASE 1 Install initial erosion control devices
PHASE 2 Clearing & grubbing, demolition & rough grading
PHASE 3 Install underground utilities
PHASE 4 Paving operations
PHASE 5 Building construction
PHASE 6 Landscaping, cleanup, & permanent ground cover

GENERAL NOTES:

- 1) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION.
 - 2) THE BOTTOM & SIDES OF DETENTION POND SHALL BE SODDED OR SEEDED MATTING ANCHORED BEFORE PAVING CAN BEGIN.
 - 3) 75-80% OF ALL DISTURBED AREAS SHALL BE ESTABLISHED W/MIN. OF 1" HIGH GRASS PRIOR TO CITY ACCEPTANCE.
- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) SEE DETAIL SHEETS FOR SWPPP DETAILS.
 - 5) ALL CURB INLETS MUST BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING STORM SYSTEM.
 - 6) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION
 - 7) THERE ARE NO ONSITE OR ADJACENT SURFACE WATERS OR WETLANDS
 - 8) 75-80% OF ALL DISTURBED AREA TO HAVE A MIN. 1" TALL GRASS ESTABLISHED PRIOR TO ENGINEERING ACCEPTANCE.
 - 9) ALL CITY R.O.W. MUST BE SODDED IF DISTURBED.

RECORD DRAWING 2-5-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

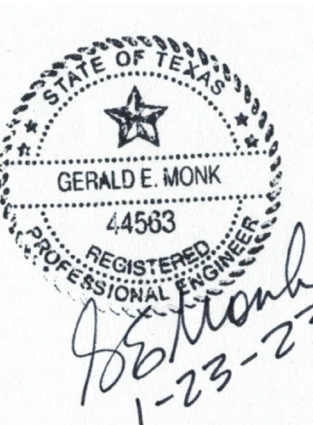
**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. PETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- SF = PROPOSED SILT FENCE
FH = EXISTING FIRE HYDRANT
WM = EXISTING WATER METER
PP = EXISTING POWER POLE
LP = EXISTING LIGHT POLE
S = EXISTING SS MANHOLE
TB = EX. TELEPHONE BOX
EXIST. or EX. = EXISTING
CL = CENTERLINE
PROP. = PROPOSED
LS = LANDSCAPE
RCP = REINFORCED CONCRETE PIPE
min = MINIMUM
max = MAXIMUM
B-B = BACK OF CURB TO BACK OF CURB
P = PROPOSED PAVING
F = PROPOSED FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

- revised date:
11/9/23 Raised FF 1'
12/1/23 Located ex. inlets Raised Bldg #1 FF 1.0
1/9/24 New Ramp/Sidewalk



REVISIONS

PROJECT #: SP2022-041

EROSION CONTROL PLAN

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6	REG. NO.: F-2567
date: 1/23/23	scale: 1"=20'
sheet: C108	

GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Department's "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/eng.asp>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at (twice) (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees.
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is achieved. The project will be accepted by the City. A "Stand of Grass" (not winter year or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be seeded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times.
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10- inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TML/CTD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am - 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES

- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and/or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities.
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or line with the entire service line with same type original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tex or Texas one Call - 811 - line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972- 771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility plans shall be installed in accordance with the following standards in addition to other applicable criteria:
 - No more than 500 linear foot of trench may be opened at one time.
 - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
 - Applicable safety regulations shall be complied with.
- This plan details pipes up to 3 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class "B-1" as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalog joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC - SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC - PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class "H" as amended by the City of Rockwall's public works standard design and construction manual.
- Drivers EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-3031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, Goshield, or approved equal. Conduit shall have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.



GENERAL CONSTRUCTION NOTES

Sheet 1 of 2
October 2020

CITY OF ROCKWALL ENGINEERING DEPARTMENT

385 S. Goliad
Rockwall, Texas 75087

P (972) 771-7746
F (972) 771-7748

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

PAVING AND GRADING

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, six feet along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curbs installed prior to any concrete placement.
- All paving roadway, driveways, fire lanes, drive-ways, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Strong to 24 (psi)	Minimum Cement (sacks / CY)		Bar #	Spacing (O.C.E.W.)
			Machine placed	Hand Placed		
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5'-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawn transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- Proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (ramped dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Transportation (TDLR).
- All public sidewalks shall be doveled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
- All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance).
- Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
- All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
- Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
- All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
- CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow for these approved plans.

DRAINAGE / STORM SEWER NOTES

- The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
- All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
- Proposed storm sewer embedment shall be NCTCOG Class "IP" as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
- All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
- All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
- All storm structures shall have a smooth uniform poured mortar invert from invert to its invert out.
- All storm sewer manholes in paved areas shall be finished with the paving grade, and shall have bearing ring and covers.
- All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.

RETAINING WALLS

- All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
- All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone or concrete/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
- All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
- All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-built prior to City Engineering acceptance.
- No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

FINAL ACCEPTANCE AND RECORD DRAWINGS/AS-BUILTS

- Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
- After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall sheets, and details sheets.
- Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
- Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
- The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyors/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
- Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc. hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."



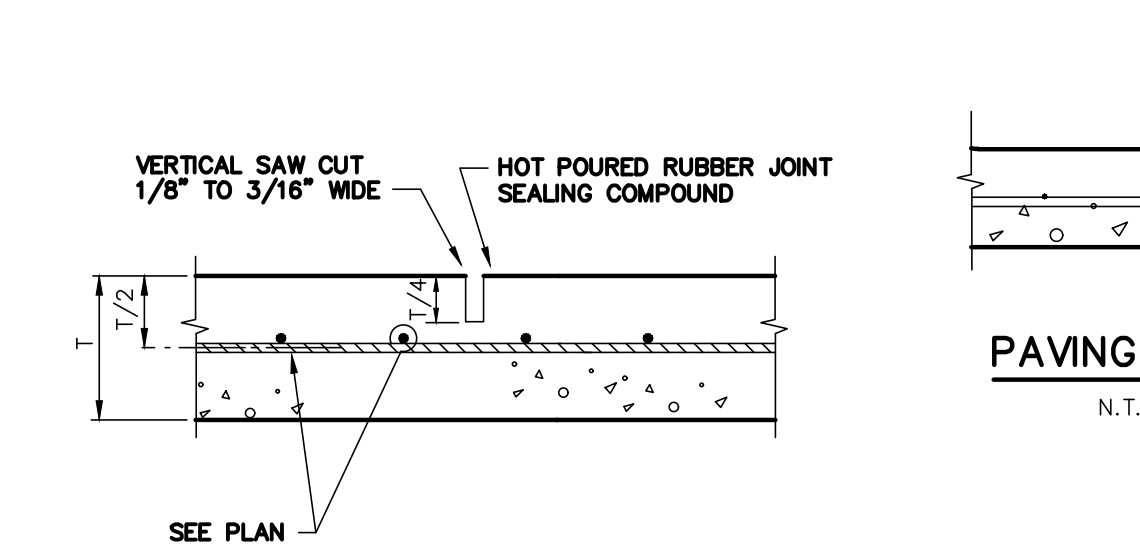
GENERAL CONSTRUCTION NOTES

Sheet 2 of 2
October 2020

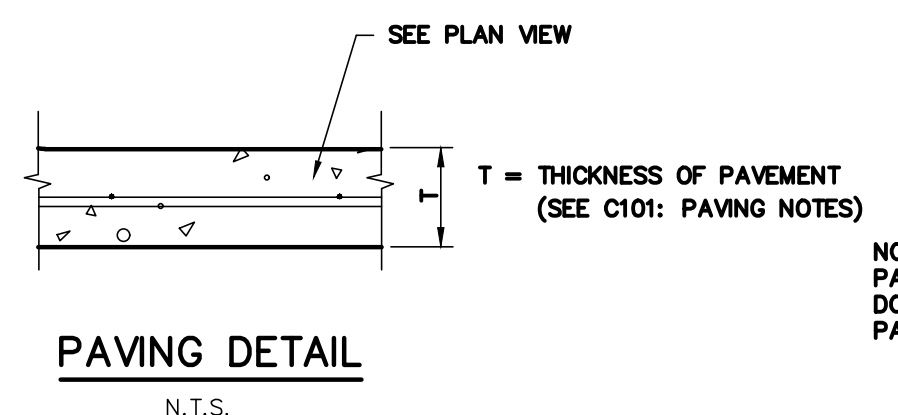
CITY OF ROCKWALL ENGINEERING DEPARTMENT

385 S. Goliad
Rockwall, Texas 75087

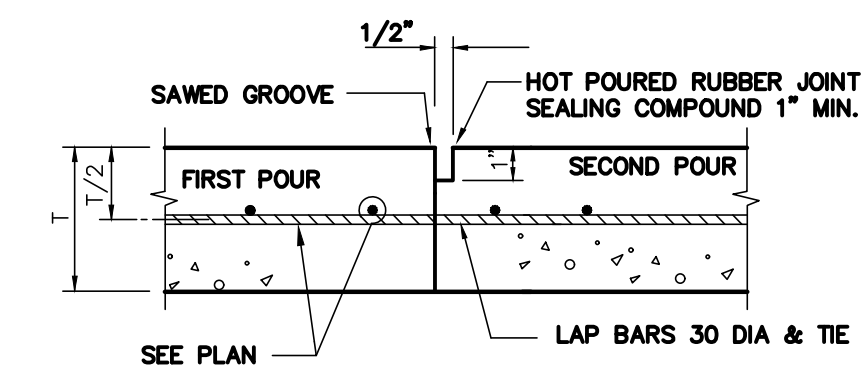
P (972) 771-7746
F (972) 771-7748



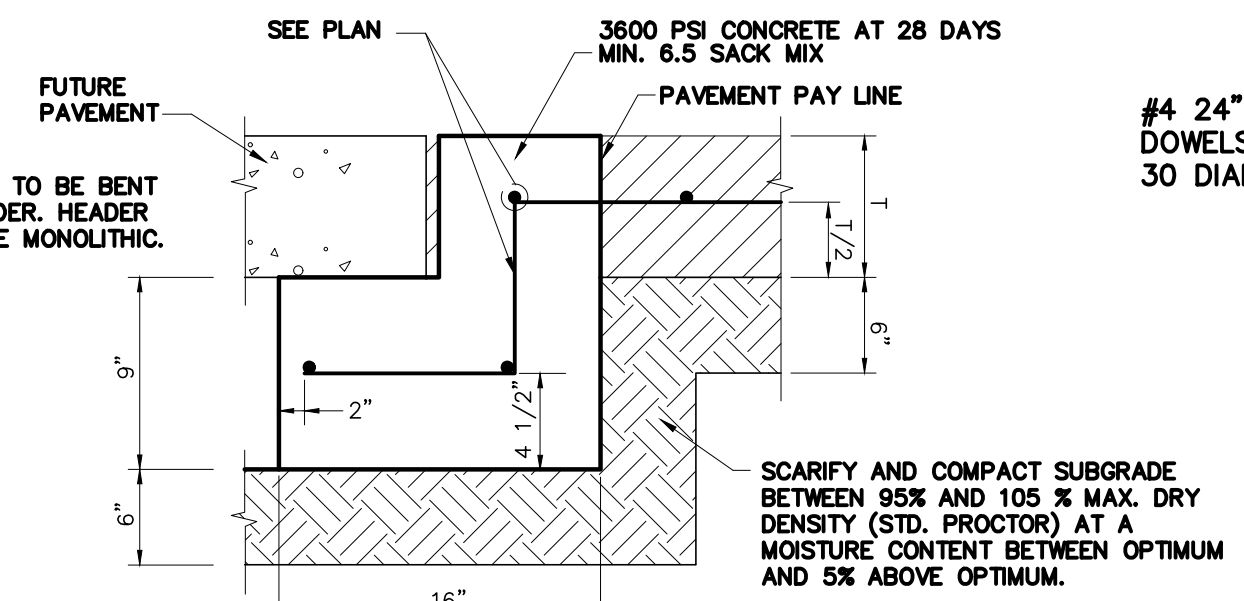
SAWED CONTRACTION JOINT
N.T.S.



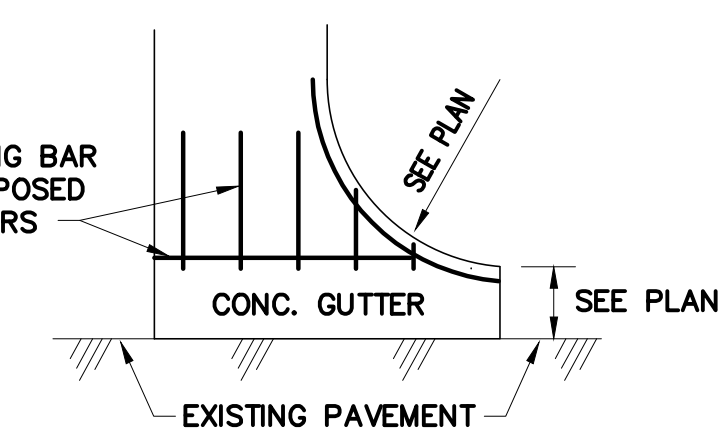
PAVING DETAIL
N.T.S.



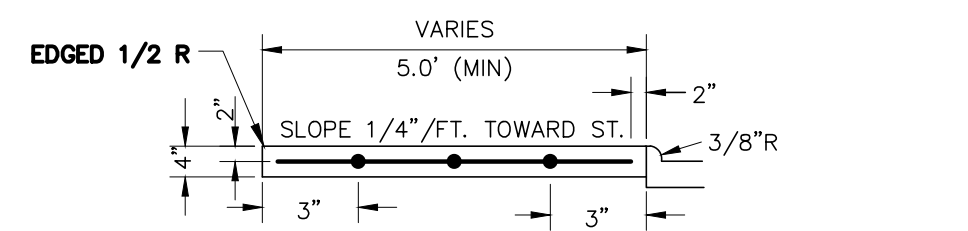
CONSTRUCTION JOINT
N.T.S.
CONSTRUCTION JOINTS
● 40' O.C. TYP.



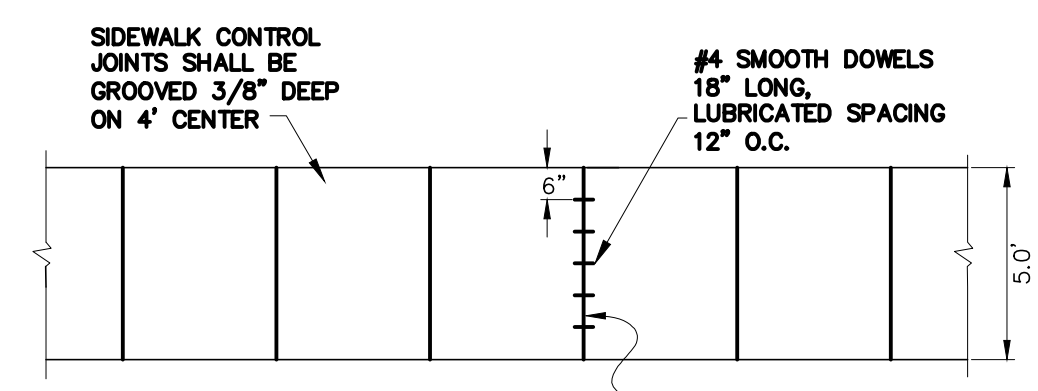
STREET HEADER
N.T.S.



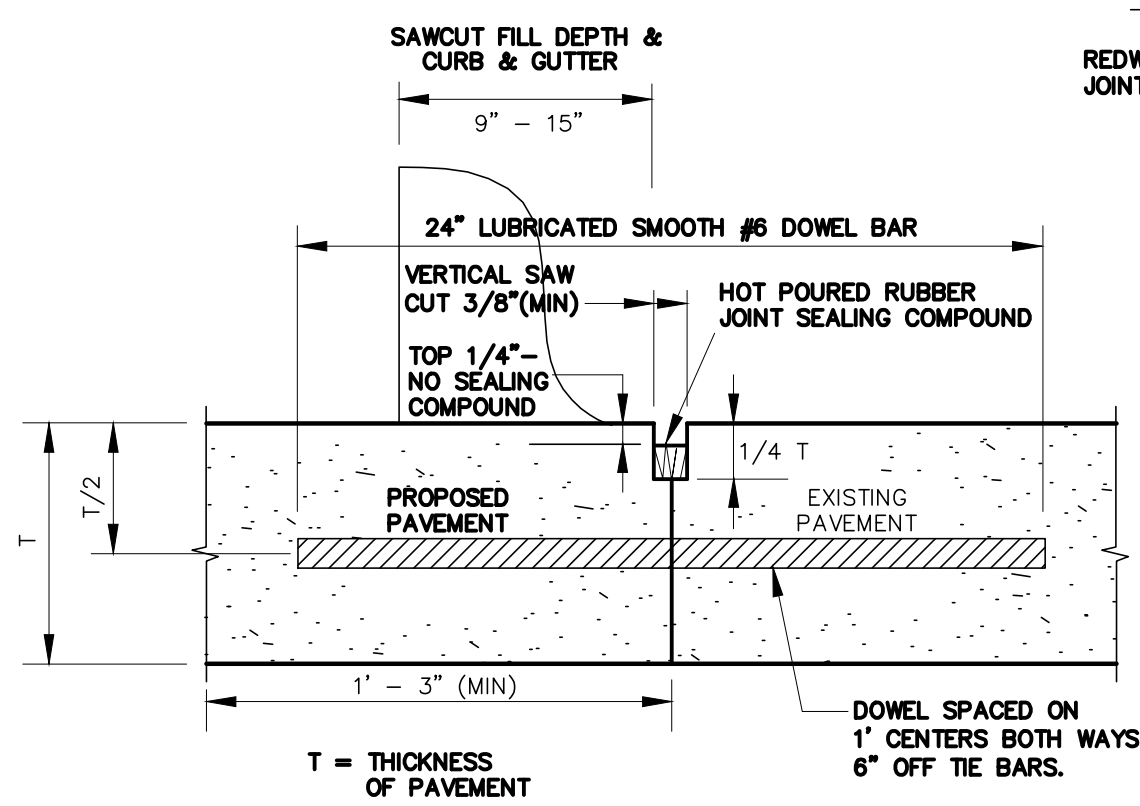
ENTRANCE DETAIL
N.T.S.
CONCRETE ENTRANCE & GUTTER
TO EXISTING PAVEMENT



SIDEWALK SECTION @ BLDG
N.T.S.

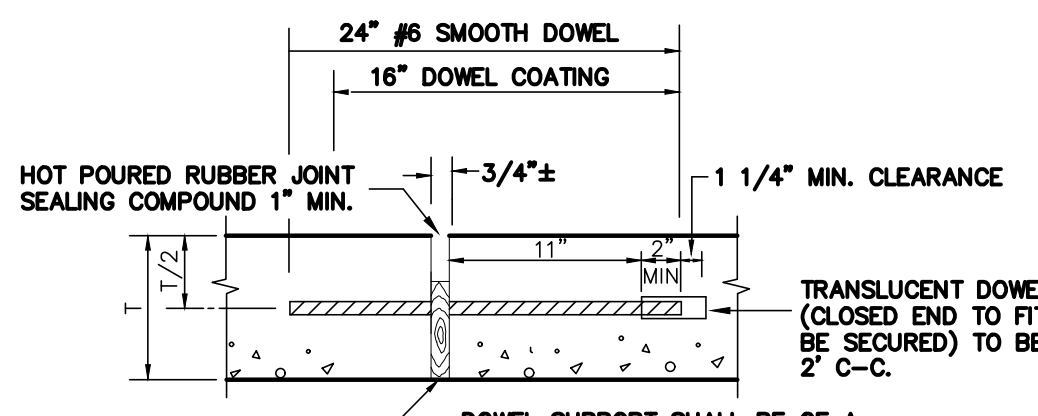


SIDEWALK TOP VIEW
N.T.S.

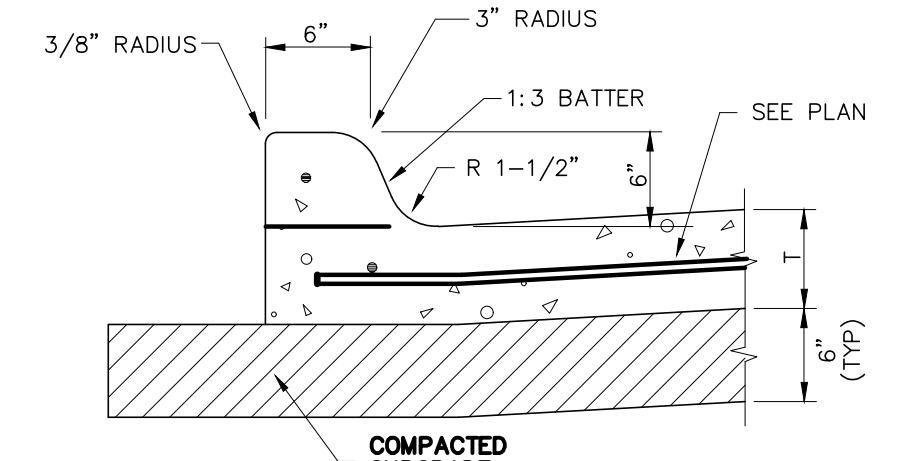


NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5\"/>

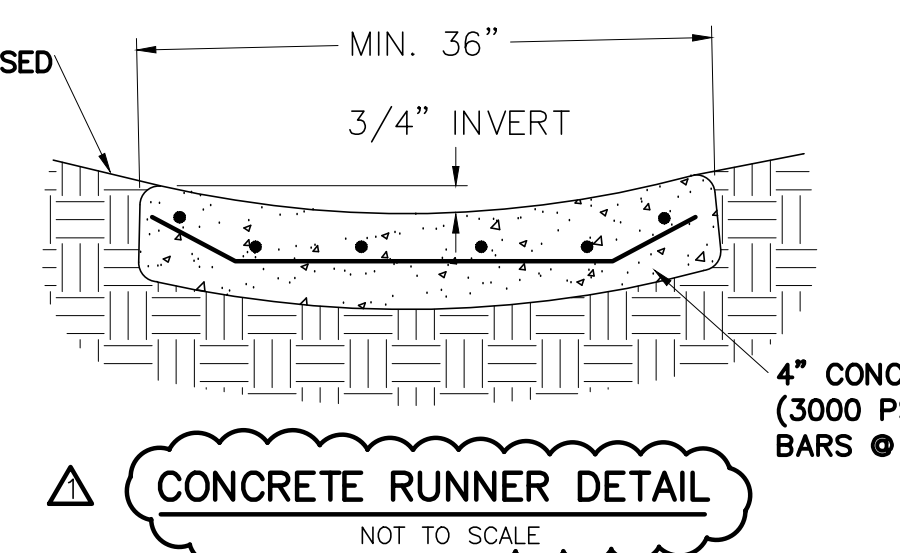
LONGITUDINAL BUTT JOINT
(NEW TO OLD CONCRETE)
N.T.S.



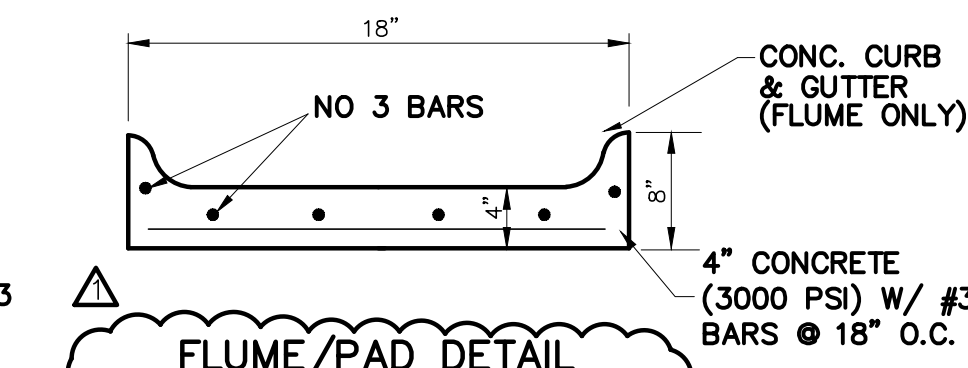
EXPANSION JOINT
(SPACED 300 FT. MAXIMUM; LOCATE AT STRUCTURES AND AT INTERSECTION P.C.'S & P.T.'S)
N.T.S.



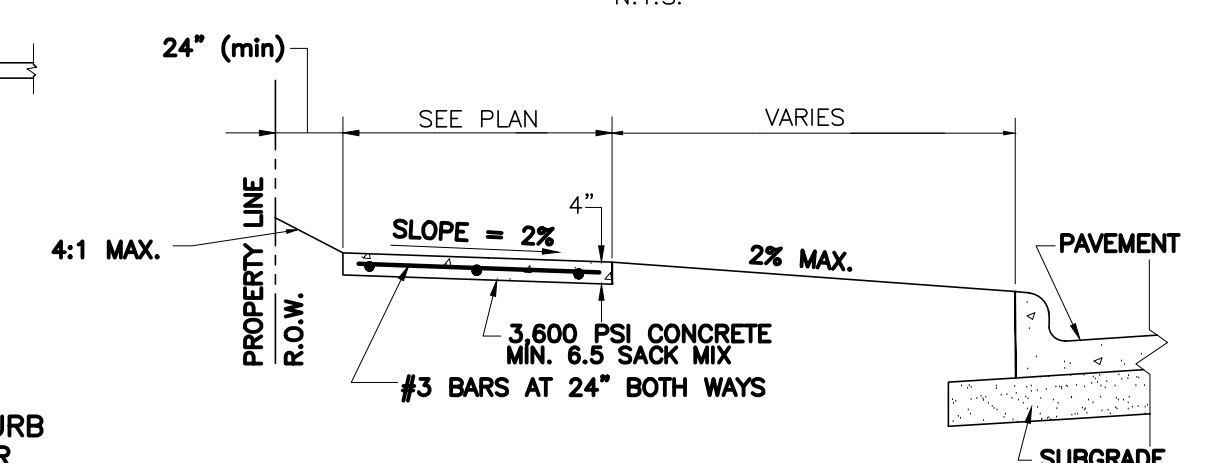
CURB DETAIL
N.T.S.



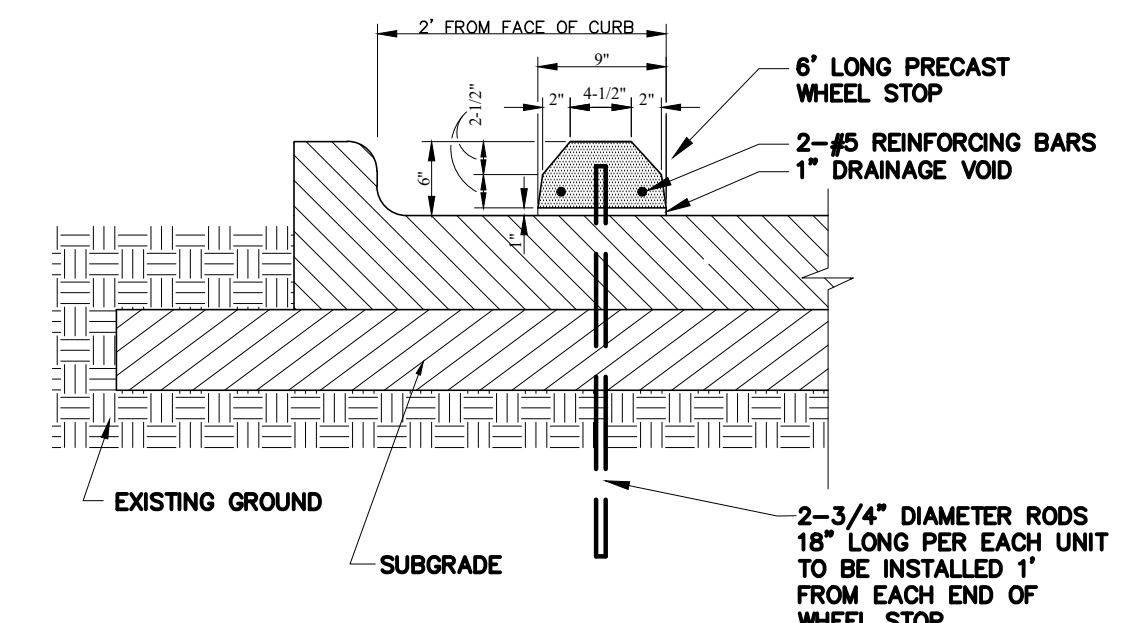
CONCRETE RUNNER DETAIL
NOT TO SCALE



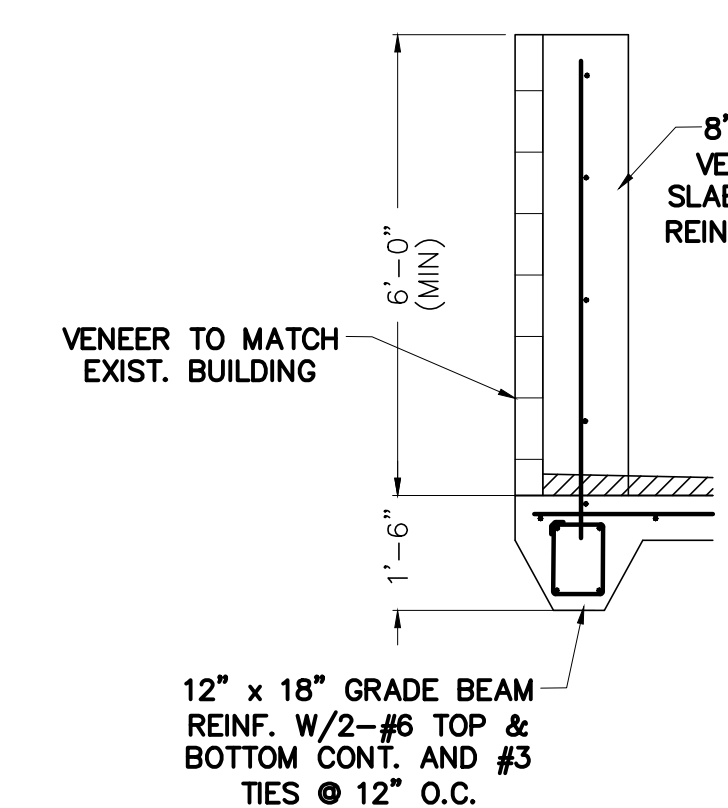
FLUME/PAD DETAIL
NOT TO SCALE



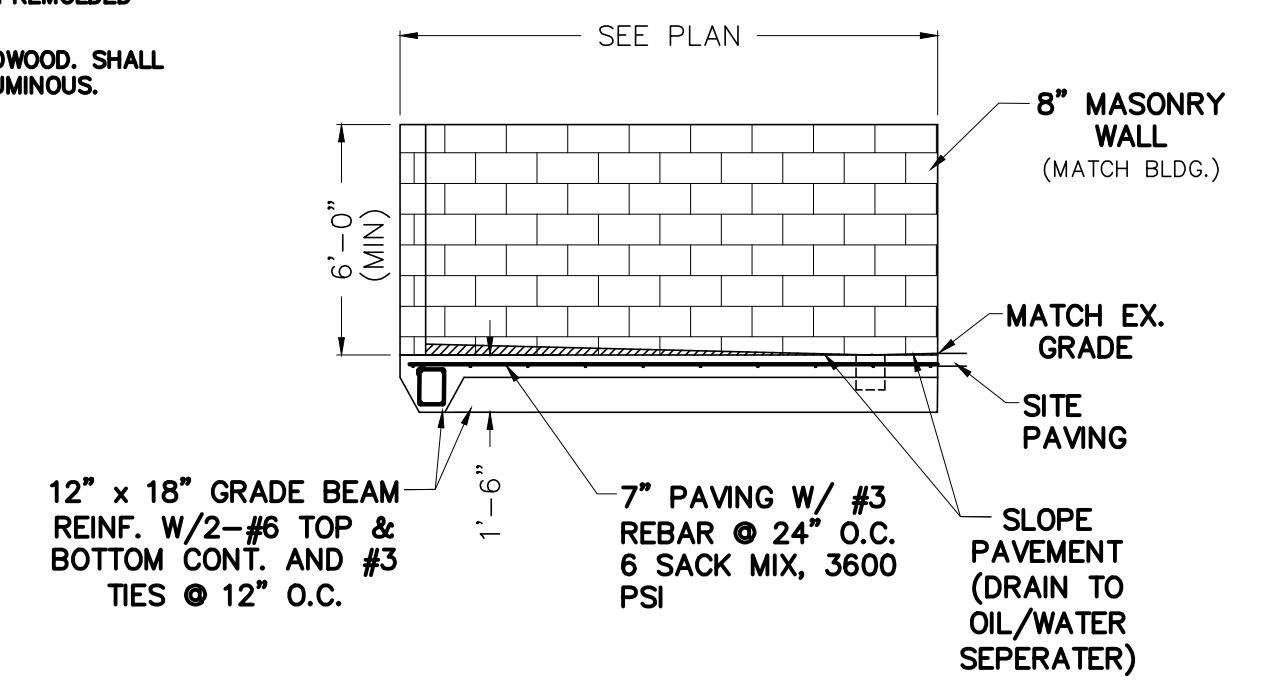
SIDEWALK SECTION @ R.O.W.
N.T.S.



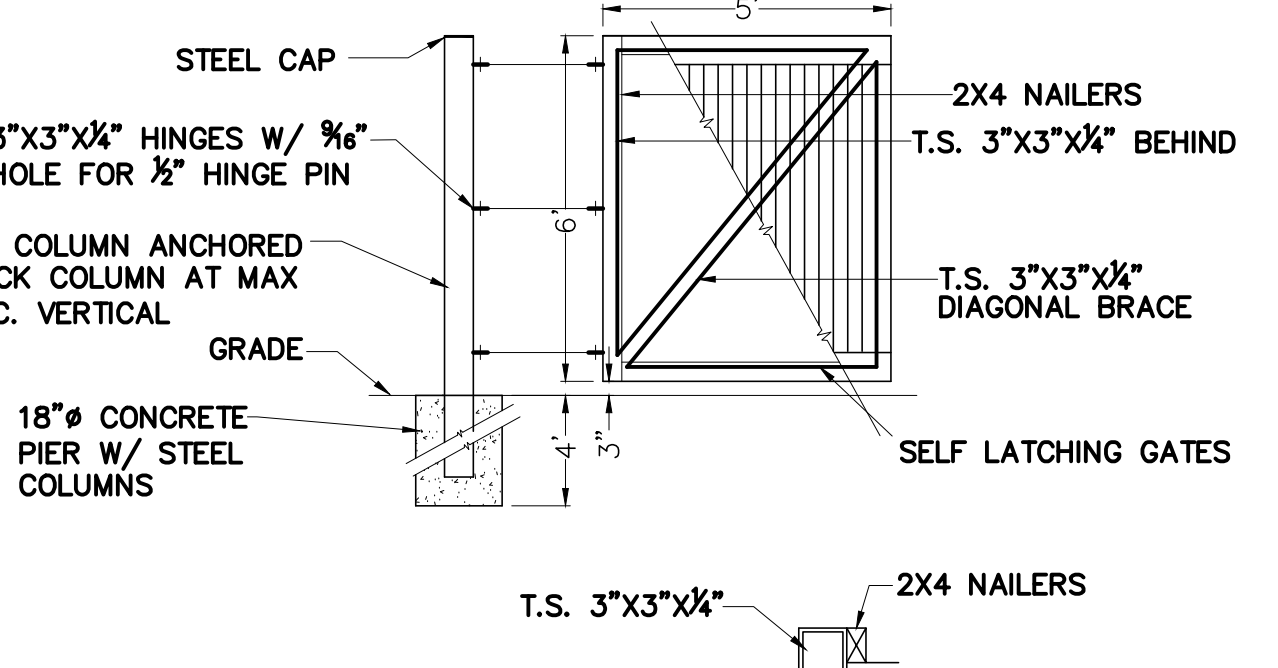
PRECAST CONCRETE WHEEL STOP
(PARKING SPACE MUST BE AT LEAST 20' LONG)
N.T.S.



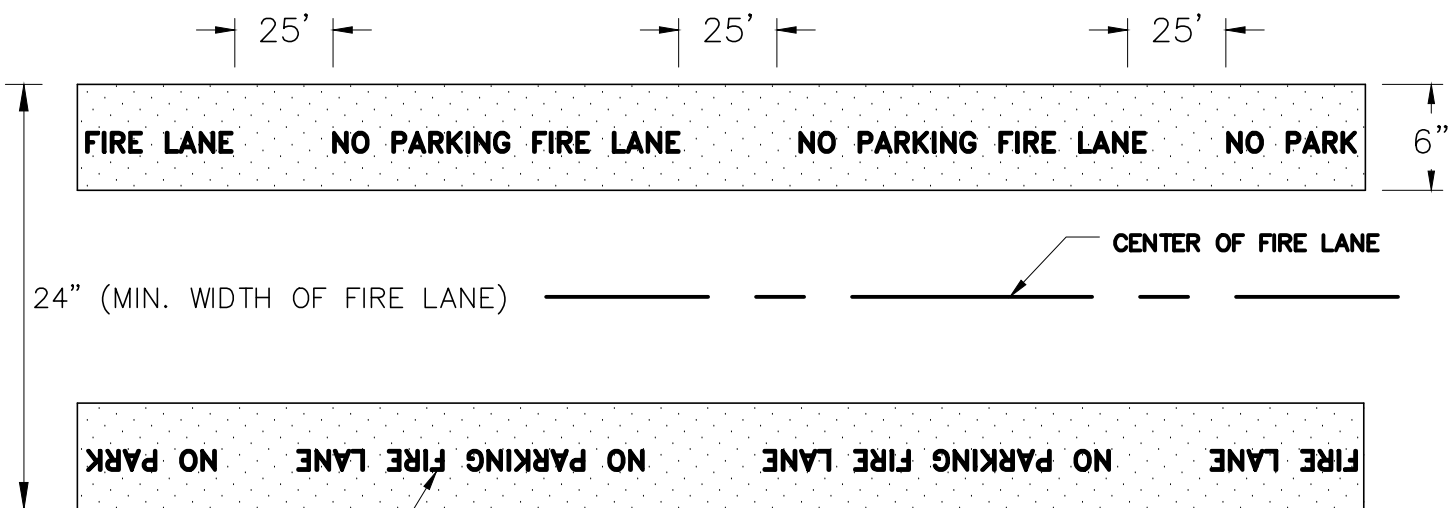
DUMPSTER WALL SECTION
N.T.S.



DUMPSTER PAD DETAIL
N.T.S.

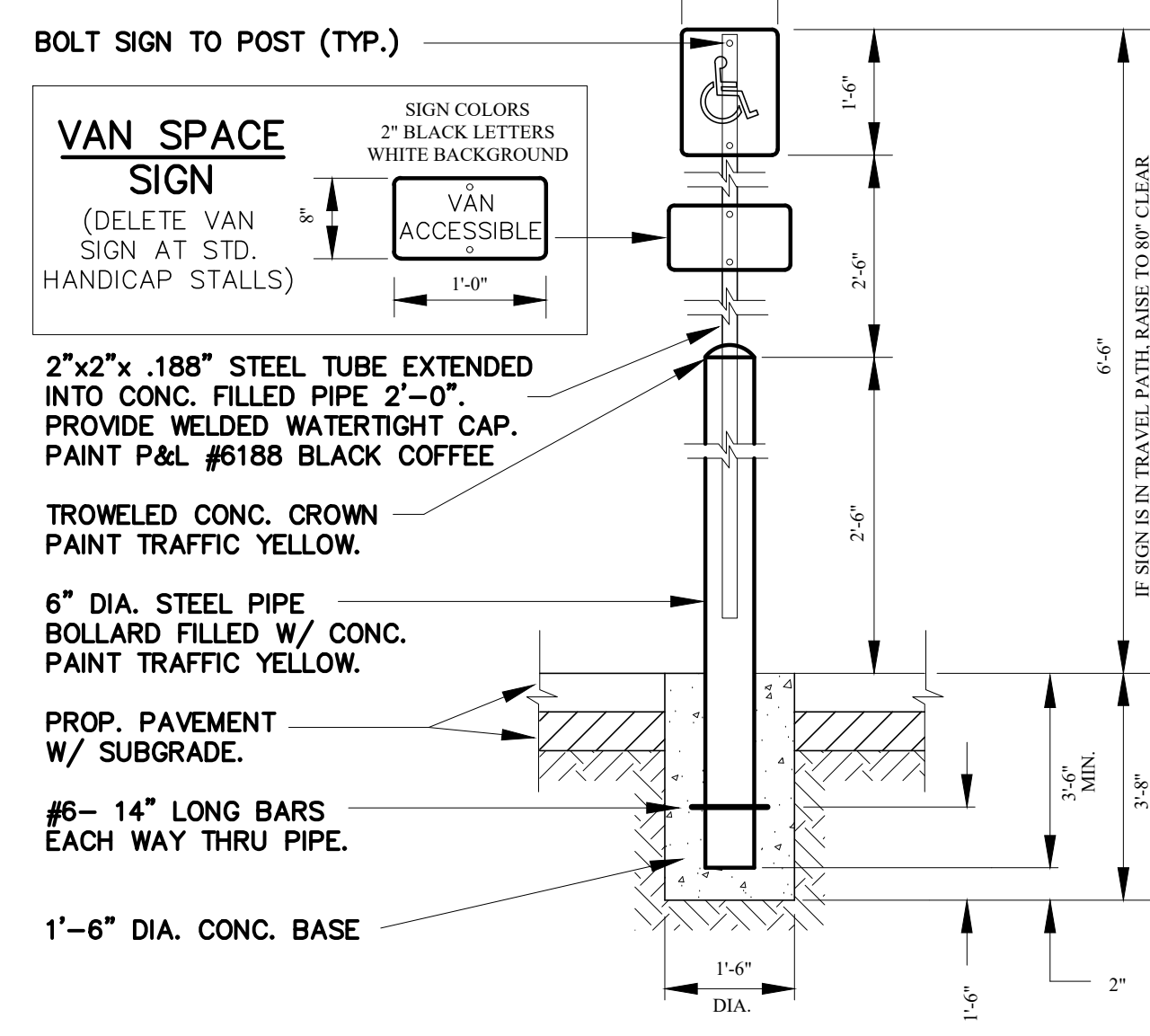


DUMPSTER GATE DETAIL
N.T.S.



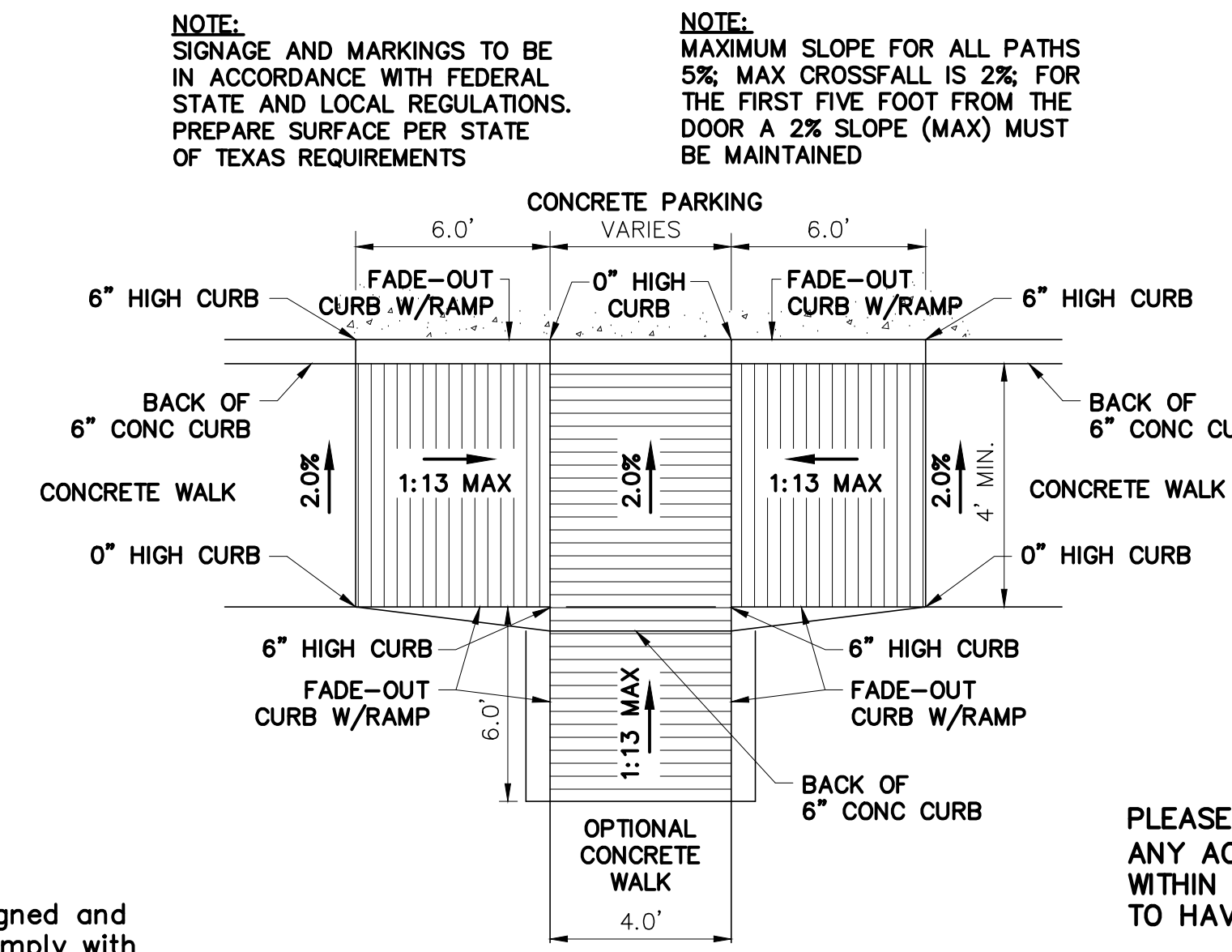
FIRE LANE MARKING
NOT TO SCALE

ALL MARKING SHOWN IN THIS STRIPE MUST BE ROTATED 180 DEGREES TO THE RIGHT READING FROM THE CENTER OF THE FIRE LANE.



\"/>

NOTE:
Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.



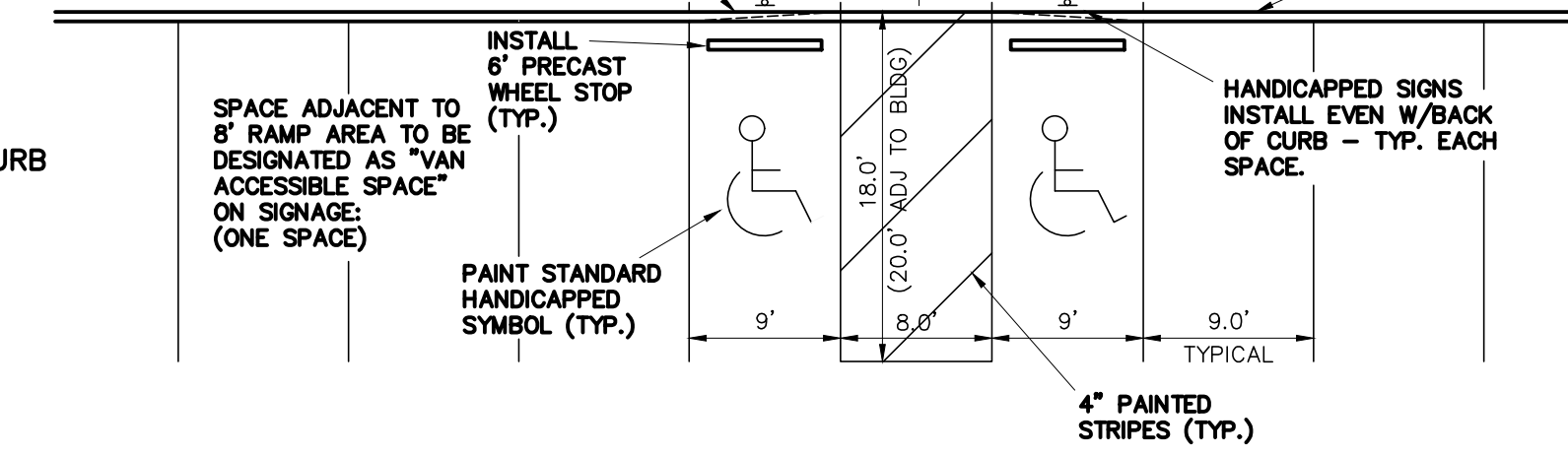
ACCESS RAMP
N.T.S.

PLEASE NOTE:
ANY ACCESS RAMP (BFR) LOCATED WITHIN PUBLIC R.O.W. IS REQUIRED TO HAVE TRUNCATED DOMES PLATES.

NOTE:
SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL STATE AND LOCAL REGULATIONS. PREPARE SURFACE PER STATE OF TEXAS REQUIREMENTS

NOTE:
MAXIMUM SLOPE FOR ALL PATHS 5% MAX CROSSFALL IS 2% FOR THE FIRST FIVE FOOT FROM THE DOOR A 2% SLOPE (MAX) MUST BE MAINTAINED

NOTE:
MAXIMUM SLOPE FOR ALL PATHS 5% MAX CROSSFALL IS 2% FOR THE FIRST FIVE FOOT FROM THE DOOR A 2% SLOPE (MAX) MUST BE MAINTAINED



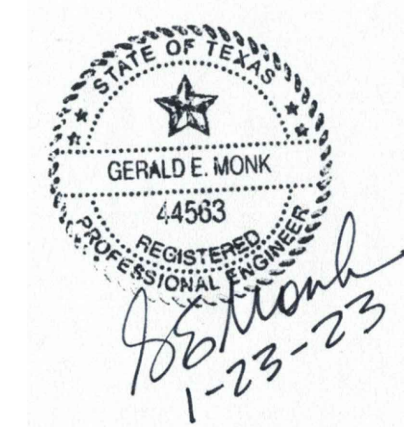
HANDICAP PARKING/STRIPING DETAIL

RECORD DRAWING 2-5-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. (Unless otherwise noted) Alternative fire protective measures may be approved by the Building Inspector and Fire Dept.
 - Fire lanes shall be designed and constructed per city standards.
 - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 - Mechanical units, dumpsters and trash compactors shall be screened in accordance with the Zoning Ordinance.
 - All signage contingent upon Building Inspection Department.
 - Approval of the site plan is not final until all engineering plans are approved.
 - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 - All electrical transmission, distribution and service lines must be underground.

- NOTES:**
- ALL WORK MUST CONFORM TO CITY STANDARDS.
 - ALL PRIVATE DETAILS ARE SUPERSEDED BY STANDARD CITY DETAILS.

revised date:
12/23 Added Runner Detail

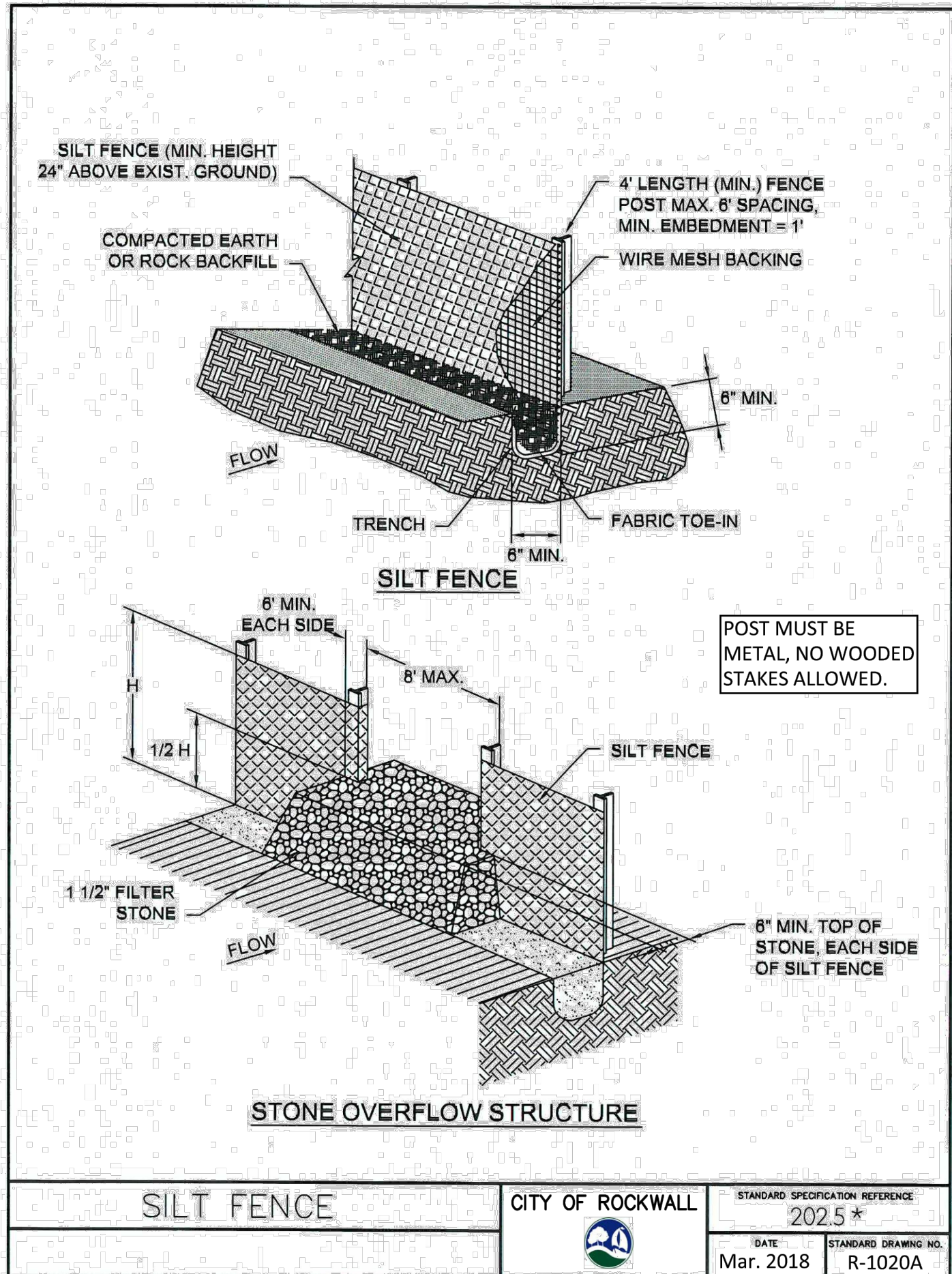


SITE DETAILS

DETAIL SHEETS

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

date: 1/23/23 scale: N.T.S. sheet: D101



*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. *Public Works Construction Standards North Central Texas, Fifth Edition.*

SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE



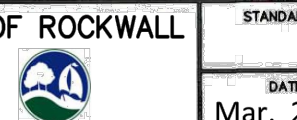
STANDARD SPECIFICATION REFERENCE
202.5 *
DATE
Mar. 2018
STANDARD DRAWING NO.
R-1020A

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. *Public Works Construction Standards North Central Texas, Fifth Edition.*

ROCK CHECK DAM GENERAL NOTES:

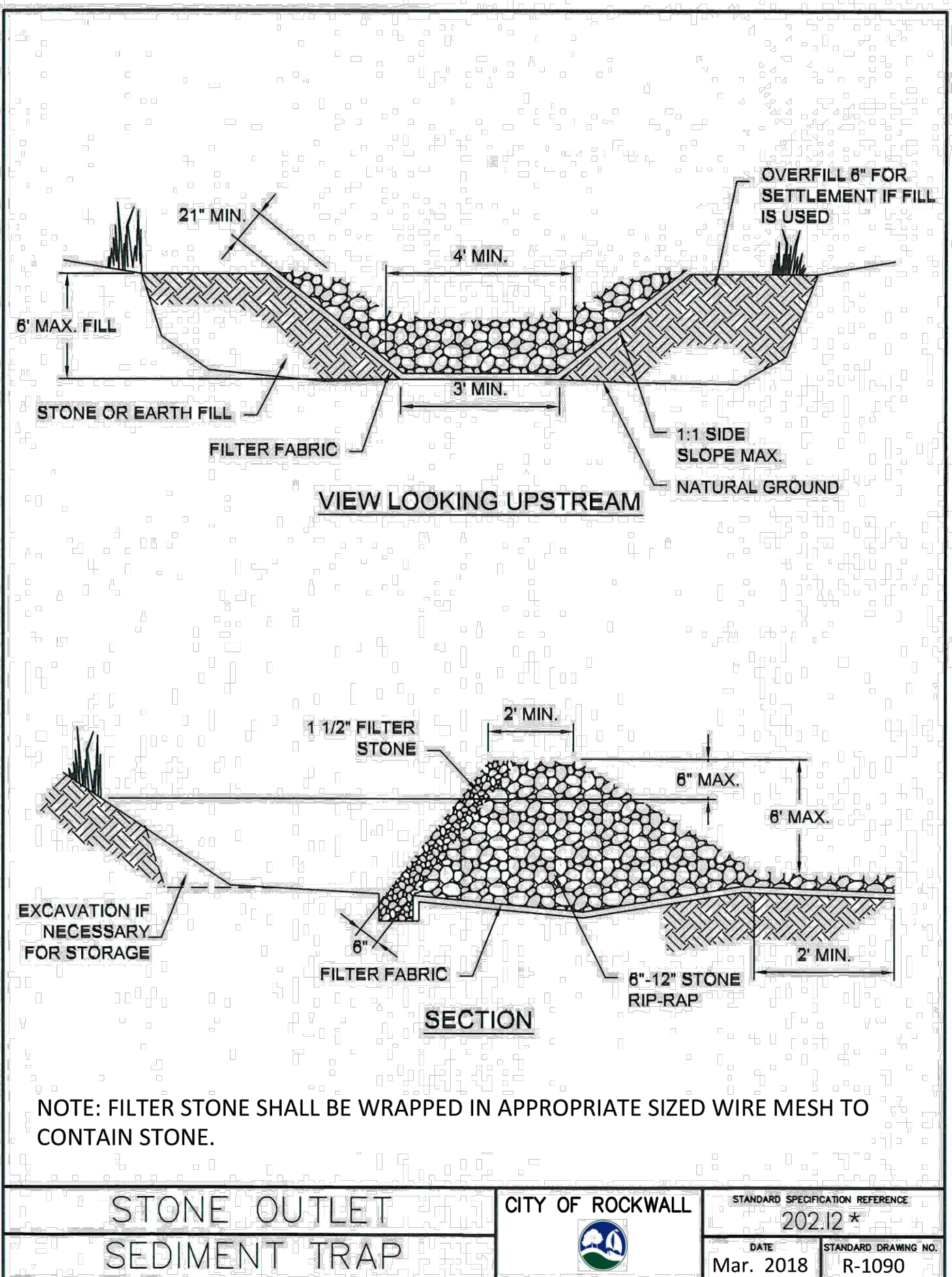
1. STONE SHALL BE WELL GRADED WITH SIZE RANGE FROM 1½ TO 3½ INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS.
2. THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
3. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
4. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
5. FILTER STONE SHALL BE WRAPPED IN APPROPRIATE SIZED WIRE MESH TO CONTAIN STONE AND BURIED SIX (6") INCHES MINIMUM.

ROCK CHECK DAM



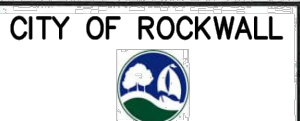
STANDARD SPECIFICATION REFERENCE
202.9 *
DATE
Mar. 2018
STANDARD DRAWING NO.
R-1060B

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. *Public Works Construction Standards North Central Texas, Fifth Edition.*



NOTE: FILTER STONE SHALL BE WRAPPED IN APPROPRIATE SIZED WIRE MESH TO CONTAIN STONE.

**STONE OUTLET
SEDIMENT TRAP**



STANDARD SPECIFICATION REFERENCE
202.12 *
DATE
Mar. 2018
STANDARD DRAWING NO.
R-1090

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. *Public Works Construction Standards North Central Texas, Fifth Edition.*

EROSION CONTROL DETAILS

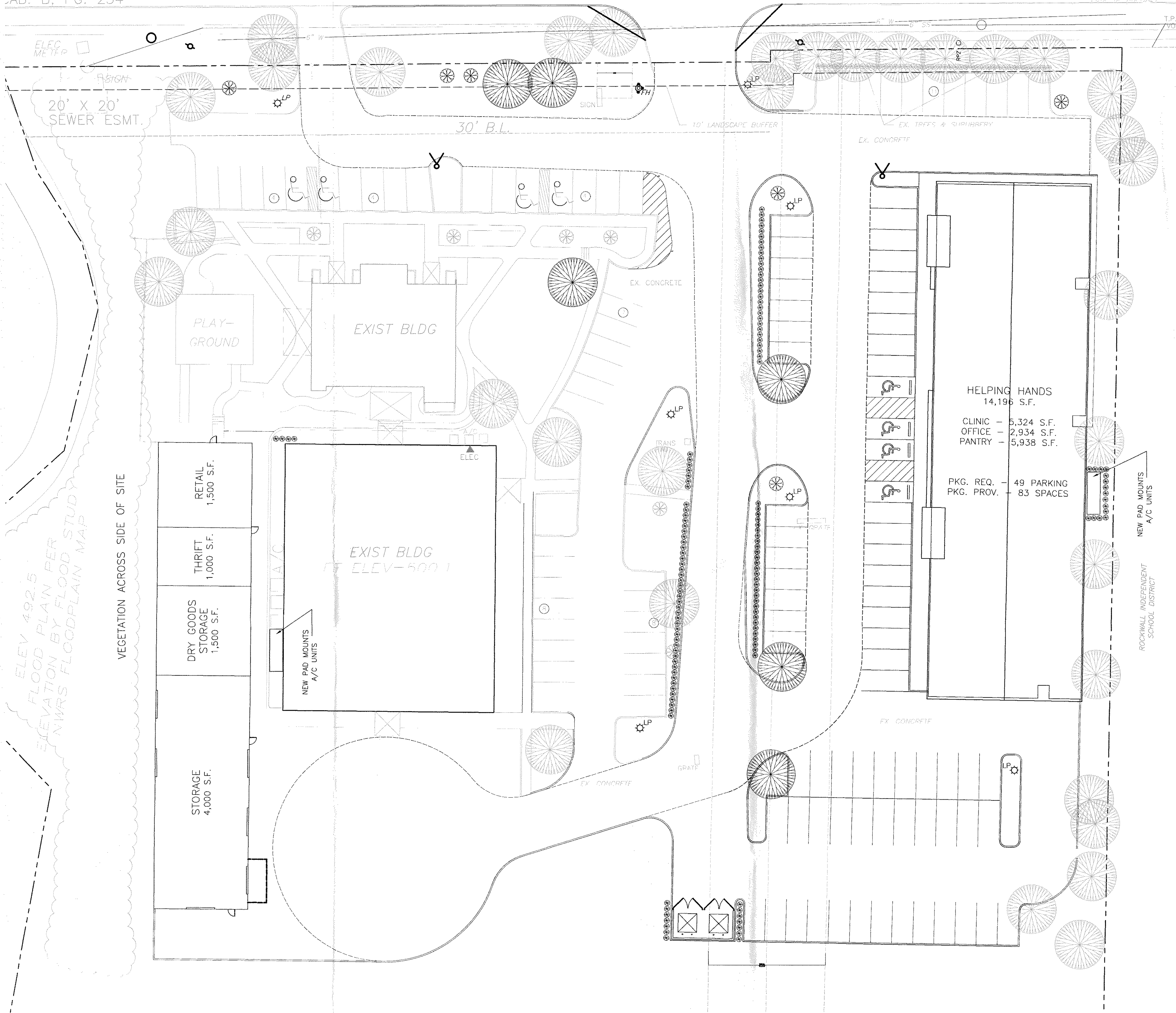
HELPING HANDS

990 & 948 Williams St. (SH86)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

OWNER
Helping Hands
Contact: 972-771-1655

sheet:

D102



SITE DATA TABLE	
SITE AREA	8.869 ACRES (386,333.64 S.F.)
ZONING	C
PROPOSED USE	GENERAL OFFICE
BUILDING AREA #1:	14,196 S.F.
CLINIC	5,324 S.F.
OFFICE	2,934 S.F.
PANTRY	5,938 S.F.
BUILDING AREA #2:	8,000 S.F.
RETAIL	1,500 S.F.
STORAGE	6,500 S.F.
LOT COVERAGE (GROSS AREA)	7.6%
FLOOR TO AREA RATIO	13.16 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	8.869 ACRES (386,333.64 S.F.)
REQUIRED LANDSCAPE AREA—20% OF 386,334 S.F.	77,267 S.F.
PROVIDED LANDSCAPE AREA—72.5% OF 386,334 S.F.	280,127 S.F.
IMPERVIOUS COVERAGE—27.5% OF 386,334 S.F.	106,207 S.F.

NOTES:

- Irrigation shall be provided to all landscaped areas.
- Tree mitigation for this project for existing trees on this property.
- All perimeter parking are within 50'-0" of a shade tree.
- No trees within 5' of public utilities less than 10".
- No trees within 10' of public utilities 10" or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
CEDAR ELM (MIN. 4" CALIPER)	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
EVE'S NECKLACE (MIN. 4" TALL)	EXISTING TREE OR SHRUBBERY

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERBERIS, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDNANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. — PROVIDED
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

BUILDING #1 PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
CLINIC	5,324 S.F.	1/200	= 27
OFFICE	2,934 S.F.	1/300	= 10
PANTRY	5,938 S.F.	1/500	= 12
TOTAL PARKING REQUIRED			= 49 SPACES

BUILDING #2 PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
RETAIL	1,500 S.F.	1/250	= 6
STORAGE	6,500 S.F.	1/1000	= 7
TOTAL PARKING REQUIRED			= 13 SPACES
BUILDING 1 & 2 PARKING REQUIRED			= 62 SPACES
BUILDING 1 & 2 PARKING PROVIDED			= 83 SPACES

HELPING HANDS	
LEGAL DESCRIPTION AND OR ADDRESS: 950 WILLIAMS ST. (SH 66) WAGONER GARDENS INC. ADDITION BLOCK A, LOT 1, 8.869 ACRES, (REPLAT) CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER Helping Hands 950 Williams St. (SH 66) Rockwall, TX 75087 P: 972-771-1655	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-041	
SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9th day of August, 2022. WITNESS OUR HANDS, this 28th day of September, 2022. [Signature] Director of Planning and Zoning	

ISSUE	
CITY SUBMITTAL: 07-15-2022	
CITY COMMENTS: 08-12-2022	

COPYRIGHT NOTICE:
These drawings and specifications are copyrighted and subject to copyright law. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without permission in writing from the copyright owner. The copyright owner reserves the right to make changes to these drawings and specifications without notice and without liability. The copyright owner warrants that the drawings and specifications are complete and correct as of the date of completion. The copyright owner does not warrant that the drawings and specifications are free from errors or omissions. The copyright owner shall not be responsible for any errors or omissions in these drawings and specifications. The copyright owner shall not be responsible for any damages, including consequential damages, arising from the use of these drawings and specifications. The copyright owner shall not be responsible for any claims, damages, or losses, including consequential damages, arising from the use of these drawings and specifications. The copyright owner shall not be responsible for any claims, damages, or losses, including consequential damages, arising from the use of these drawings and specifications.

NEW FACILITY FOR
HELPING HANDS
950 Williams St. (SH 66)
Rockwall, Texas 75087

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
P: 972-732-6085
F: 972-732-6086

LANDSCAPE PLAN

DATE:	MAR 2022	SHEET NO:	L1
PROJECT NO:	2022006		
DRAWN BY:			
CHECKED BY:			