

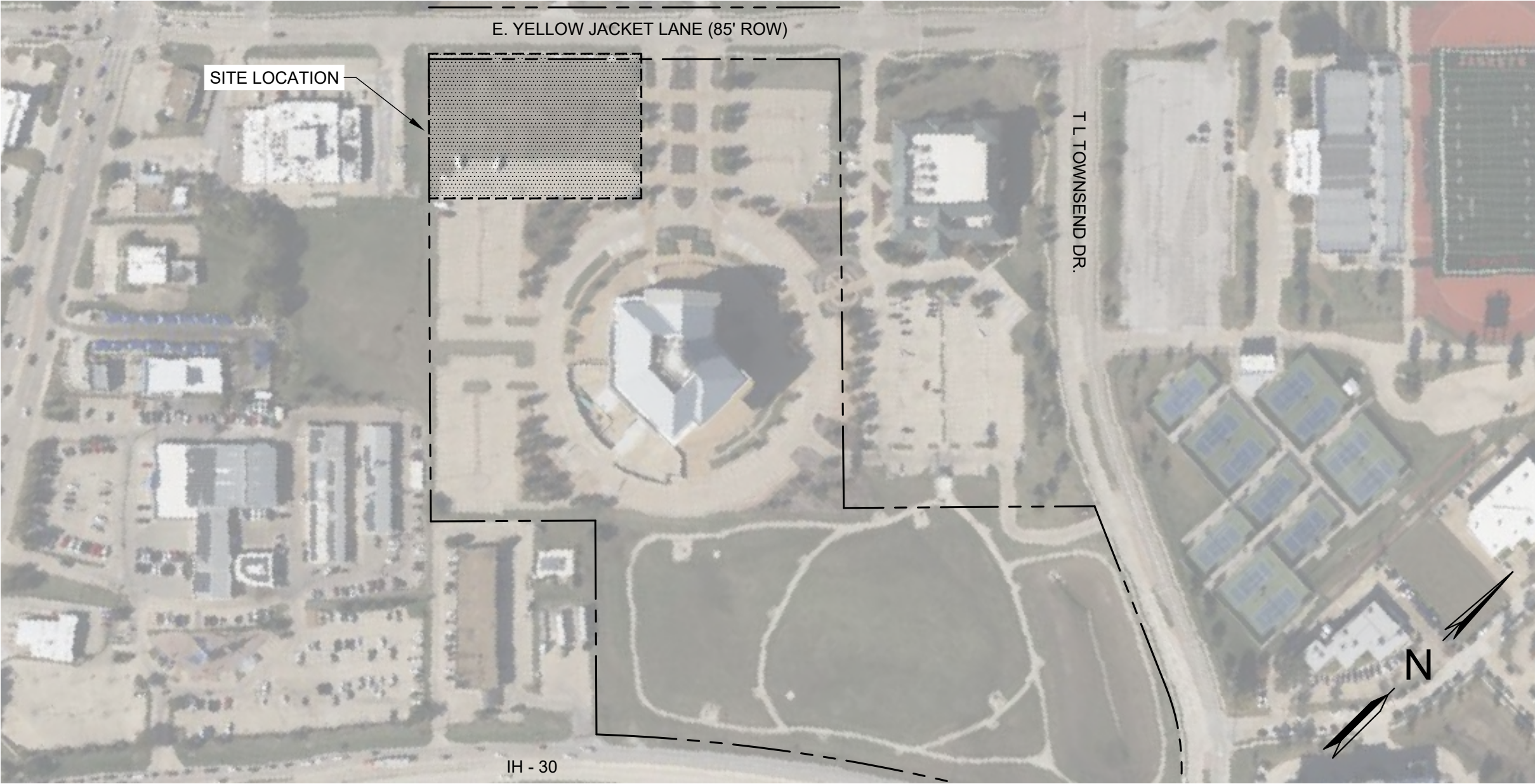
Rockwall County

Rockwall County Annex

Engineering Submission

April 15, 2024

1111, E Yellow Jacket Ln
Rockwall, TX 75037



Parkhill

3000 Internet Blvd, Suite 550
Frisco, TX 75034
972.987.1670

SHEET INDEX

General

G-001 Cover Sheet

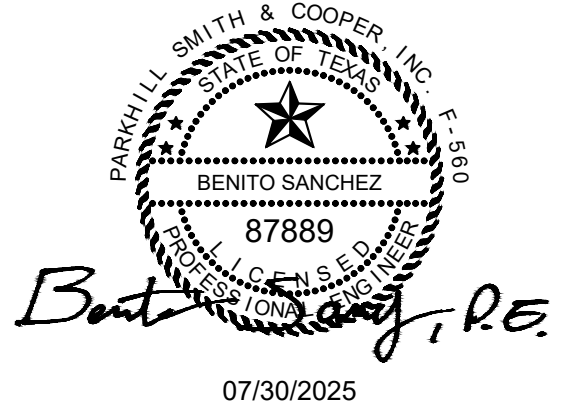
Civil

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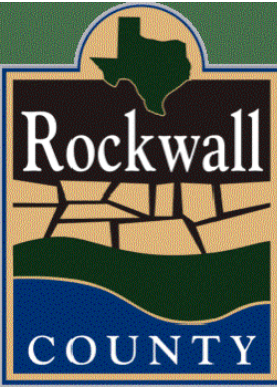
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RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE PARKHILL...
HEREBY STATES THAT THIS PLAN IS AS-BUILT.
THIS INFORMATION PROVIDED IS BASED ON
SURVEYING AT THE SITE AND INFORMATION
PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex



CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
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Cover Sheet

G-001

THE PLAT ON THIS SHEET IS INCLUDED FOR REFERENCE PURPOSES ONLY.
THE SEALING PROFESSIONAL FOR THIS CONSTRUCTION DRAWING SET TAKES
NO OWNERSHIP OF THIS SHEET OR THE INFORMATION PROVIDED THEREON,
BUT DOES AUTHORIZE IT TO BE PART OF THIS CONSTRUCTION DRAWING SET

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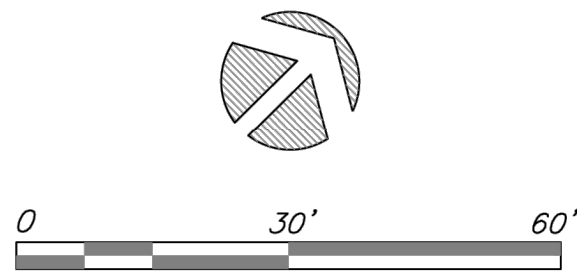
Final Proposed
Plat (2 Of 2)

C-101B FP-2

20' UTILITY EASEMENT LINE TABLE		
Line #	Direction	Length
L401	S44°34'35"W	16.50'
L402	N45°25'25"W	20.00'
L403	N44°34'35"E	16.50'
L404	S45°25'25"E	20.00'
L405	N44°34'35"E	8.00'
L406	S45°25'25"E	30.76'
L407	S44°34'36"W	8.00'
L408	N45°25'25"W	30.76'
L415	S45°08'59"W	127.08'
L416	N45°59'30"W	20.01'
L417	N45°08'59"E	127.55'
L418	S44°39'57"E	20.00'
L409	N45°08'59"E	177.34'
L410	N44°36'55"W	31.48'
L411	N45°23'05"E	20.00'
L412	S44°36'55"E	31.40'
L413	N45°08'59"E	82.56'
L414	S45°23'05"W	252.29'

20' UTILITY EASEMENT CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CHB	CHL
C419	16.08'	24.37'	037°48'35"	N25°00'37"E	15.79'
C420	13.76'	21.00'	037°32'54"	N64°09'32"E	13.52'

FIRE LANE EASEMENT CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CHB	CHL
C1	9.76'	31.50'	017°44'28"	N54°17'39"W	9.72'
C2	9.78'	31.50'	017°47'41"	S36°31'34"E	9.75'
C3	32.70'	21.00'	089°11'30"	N89°58'50"E	29.49'
C4	70.06'	45.01'	089°11'30"	N89°58'50"E	63.20'
C5	37.68'	24.37'	088°35'37"	N00°22'54"W	34.04'
C6	34.63'	24.36'	081°26'45"	S87°22'19"W	31.78'
C7	10.97'	39.00'	016°07'20"	N36°36'17"W	10.94'



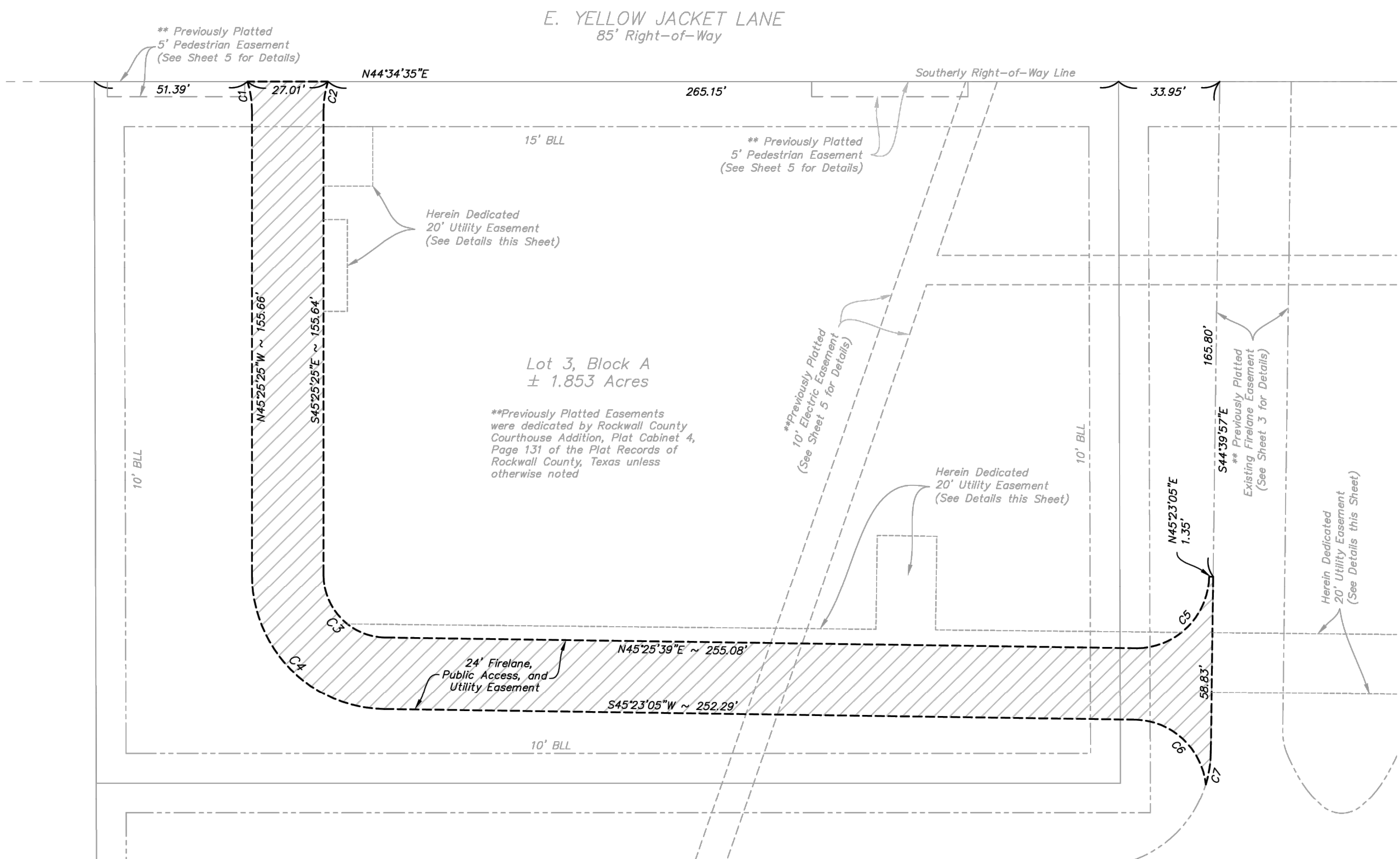
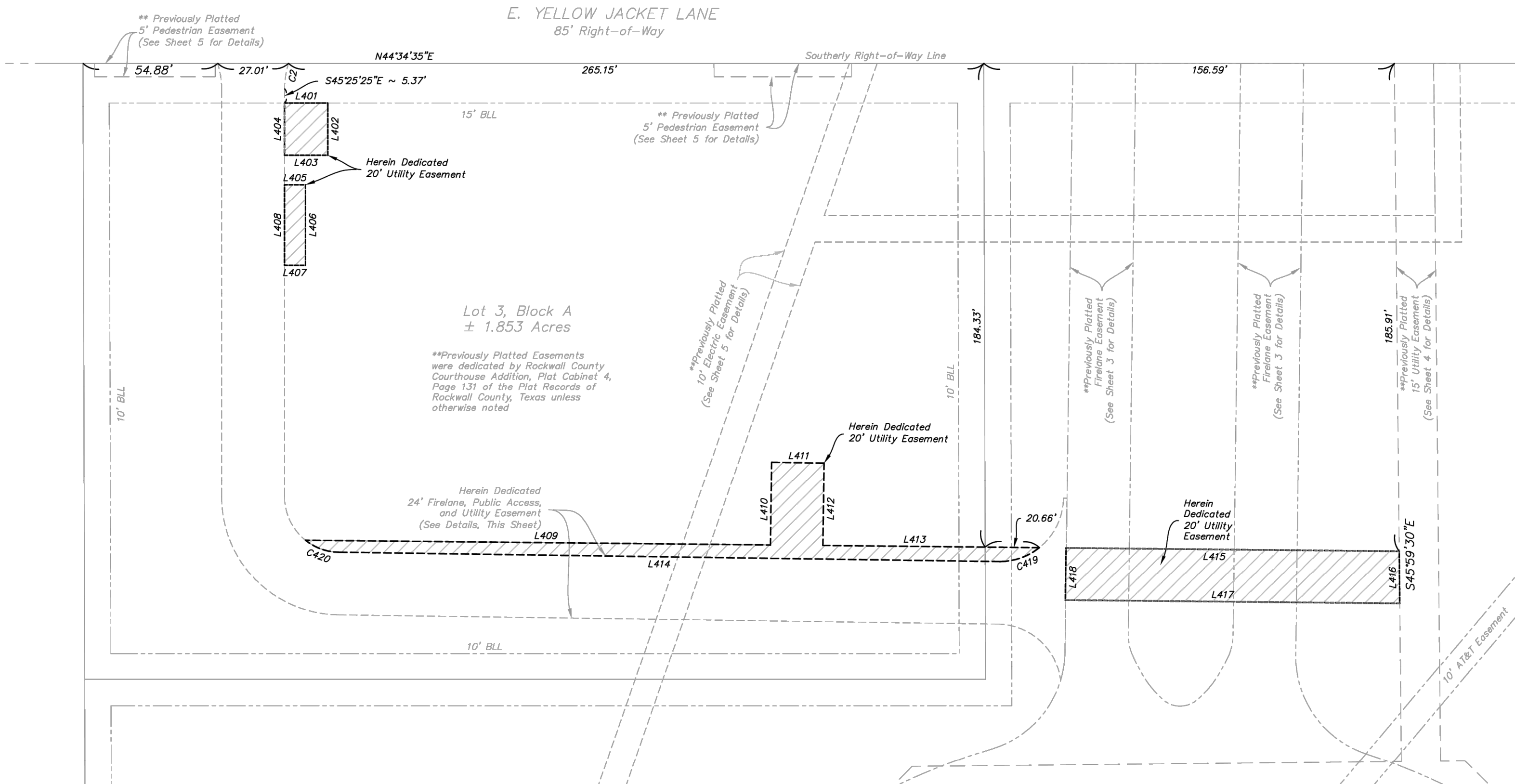
REPLAT
ROCKWALL COUNTY
COURTHOUSE ANNEX ADDITION

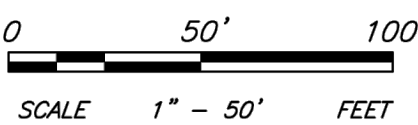
FIRELANE & 20' UTILITY EASEMENT DETAILS

Parkhill

TBPELS FIRM REGISTRATION NO. 10194091

FP-2
SHEET 2 OF 2





ASE	Atmos Midtx
GCTXN	Spectrum
MCT	Mci
MQ4	Oncor Electric Distribution
TXD5	Spectrum
TXN1	At&t

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

Texas 811 Ticket Nos. 2374353644

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
ON-SITE CONTROL SET				
110	7021202.65	2597382.11	570.00	#4 BAR W/LEMKE CAP
111	7021835.19	2597592.84	578.73	#4 BAR W/LEMKE CAP
112	7021699.15	2597317.26	576.98	#4 BAR W/LEMKE CAP
113	7021391.61	2597115.51	571.82	#4 BAR W/LEMKE CAP
OFF-SITE CONTROL (ROCKWALL)				
102	7029731.12	2598589.31	529.10	CP COR-2
106	7025942.63	2601204.04	558.61	CP COR-6
HORIZONTAL AND VERTICAL DATUM BASED ON ROCKWALL CONTROL MONUMENT COR-2				
HORIZONTAL DATUM: NAD83 (2011), TEXAS STATE PLANE, NORTH CENTRAL ZONE				
VERTICAL DATUM: NAVD88				

	ELECTRIC VAULT		ELECTRIC LIGHT GROUND
	ELECTRIC GUY DOWN		ELECTRIC LIGHT POLE
	COMMUNICATIONS VAULT		ELECTRIC OUTLET
	GAS METER		BENCHMARK
	WATER FIRE HYDRANT		CONTROL POINT
	WATER IRRIGATION CONTROL VALVE		TREE DECIDUOUS
	WATER IRRIGATION SPRINKLER HEAD		FIBER OPTIC UNDERGROUND
	WATER METER		GAS LINE UNDERGROUND
	WATER SIGN/MARKER		POWER OVERHEAD
	WATER VALVE		POWER UNDERGROUND
	SANITARY SEWER MANHOLE		CURB & GUTTER
	SANITARY SEWER CLEANOUT		STORM DRAIN PIPE
	STORM DRAIN MANHOLE		
	STORM DRAIN GRATE INLET		WATER UNDERGROUND
	BOLLARD/GUARD POST		CONCRETE
	MONUMENT FOUND		EASEMENT
	MONUMENT SET		RIGHT-OF-WAY
	SIGN COMMERCIAL		PROPERTY LINE
	BORE HOLE LOCATION		

THIS SURVEY IS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983
(NAD'83).
TEXAS NORTH CENTRAL. ELEVATIONS ARE BASED ON NAVD'88.
CONVERGENCE = 01°07'04.01617".
COMBINED SCALE FACTOR = 0.999852262
DISTANCES ARE AT GRID
RECORDED AND MEASURED BOUNDARY DISTANCES ARE AT SURFACE

GPS BASE STATION: 110
LATITUDE: N. 32° 54' 46.52"
LONGITUDE: W. 96° 27' 01.82"

LOCATION OF UNDERGROUND UTILITIES DETERMINED FROM SURFACE EVIDENCE AND/OR REPORTED LOCATION AND MAY OR MAY NOT CORRECTLY INDICATE THE ACTUAL LOCATION OR EXISTENCE OF THOSE UTILITIES. UTILITY REQUESTS WERE MADE TO TEXAS 811, TICKET NUMBER 2374353644. ADDITIONAL UTILITIES MAY EXIST WHICH THIS SURVEY DOES NOT INDICATE.

THIS PLAT IS INVALID UNLESS IT BEARS THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE.

THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY AND THE INFORMATION HEREON REPRESENTS THE FINDINGS OF THIS SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF.

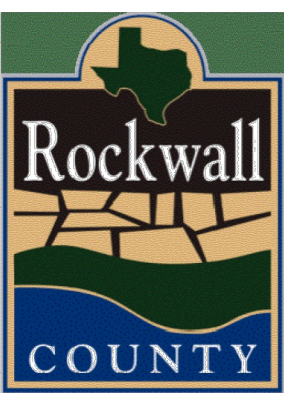
SURVEYED:
SEPTEMBER 7, 2023
SIGNED:
NOVEMBER 28, 2023



Surveyed By:	DB/TM
Drawn By:	SA
Approved By:	SW
Date:	9/28/2023

Parkhill.com

Rockwall County Annex



Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

11987.22

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:
Name: Parkhill
Address: 3000 Internet Blvd Suite 550
Frisco, Texas 75034
Phone Number: 972-987-1670

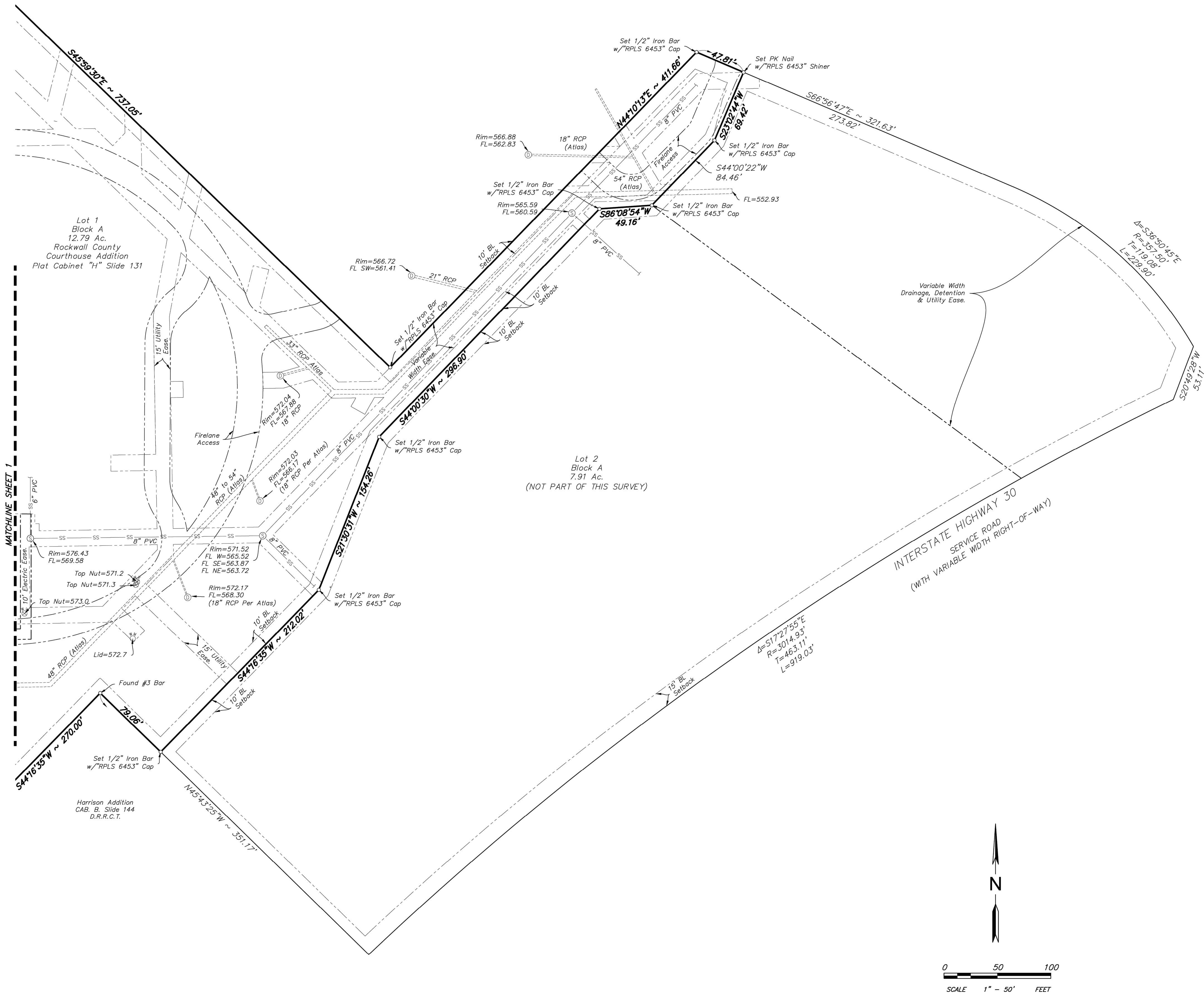
Owner Contact Information
Name: Rockwall County
Address: 101 East Rusk Street, Rockwall, Texas,
75087
Phone Number: 972-204-6000

2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal
#	DATE	DESCRIPTION

EXISTING SITE DESIGN SURVEY

C-102A

A:\2021\1187\2203_DSGNZ_FROM02_SURV2023-11-28 2436 TB CHANGES_04174423-ROCKWALL CO CH ANNEX_C302023 DWG_11/28/2023 12:38 PM_BWinifrey

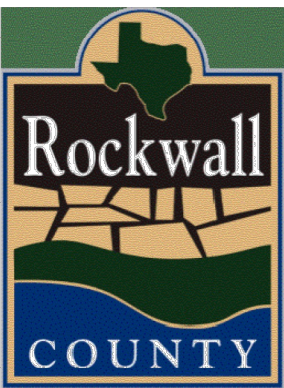


Surveyed By:	DB/TW
Drawn By:	SA
Approved By:	SW
Date:	9/28/2023

Parkhill

Parkhill.com

Rockwall County Annex



CLIENT

Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
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Plat Cabinet "H" Slide 131
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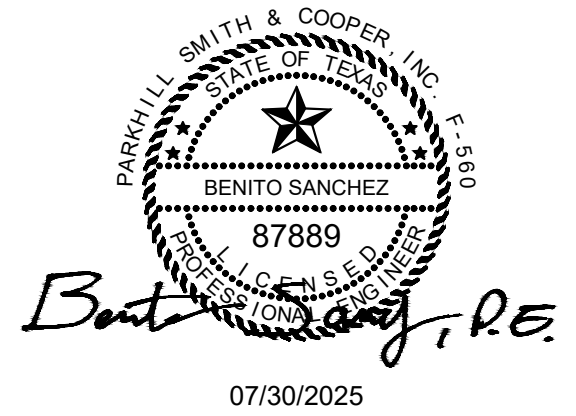
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1	10/20/2023	Site Plan Submittal

#	DATE	DESCRIPTION
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EXISTING SITE
DESIGN SURVEY

C-102B

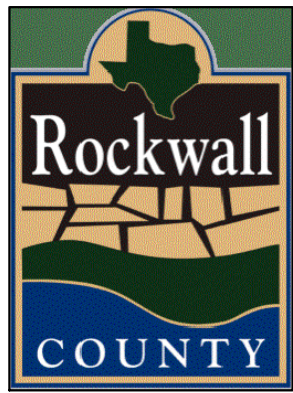


RECORD DRAWING

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General
Construction
Notes
C-103

GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th Edition, as amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the City of Rockwall's Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the City of Rockwall's "Standards of Design and Construction" manual and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Department's "Standards of Design and Construction" can be found online at <http://www.rockwalltx.com/engdept>.
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set. Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-way or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any other Notice of Change (NOC) and is required to pay all associated fees.
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the Storm Water Pollution Prevention Plan (SWPPP). The CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or dust approved by City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of 10" (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times.
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10 inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiencies have been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicles. Where no paved surfaces, Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the MUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closure in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24-hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am - 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start/finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24-hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES


- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities.
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall will not intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tex or Texas One Call - 811 - line locate system. All City of Rockwall utility line locates are to be scheduled by the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria.
 - No more than 500 linear feet of trench may be opened at one time.
 - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
 - Applicable safety regulations shall be complied with.
- This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections.
- CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipelines sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class B-37 as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appearance including but not limited to parking spaces and landscaping.
- All joints are to be megging joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line (for 4-inch through 15-inch shall be Green PVC - SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC - PS 46 (ASTM F 679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class "B" as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, CoSHield, or approved equal. Conshield must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.



GENERAL CONSTRUCTION NOTES
Sheet 1 of 2
October 2020

**CITY OF ROCKWALL
ENGINEERING DEPARTMENT**

385 S. Goliad
Rockwall, Texas 75087

P (972) 771-7746
F (972) 771-7748

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted bedbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

PAVING AND GRADING

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have earth reinforcement or any concrete placement prior to paving.
- All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City Standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Strength 28-Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement	
			Machine Placed	Hand Placed	Bar #	Spacing (O.C./F.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
- All public sidewalks shall be doveled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
- All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance).
- Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
- All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
- Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
- All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1:1.
- CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

DRAINAGE & STORM SEWER NOTES


- The CONTRACTOR shall maintain drainage at all times during construction. Pooling of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
- All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
- Proposed storm sewer embedment shall be NCTCOG Class "B" as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
- All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
- All storm pipe entering structures shall be protected to assure connection at the structure is watertight.
- All storm structures shall have a smooth uniform poured mortar invert from invert to in invert out.
- All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
- All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.

RETAINING WALLS

- All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department.
- All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
- All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
- All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
- No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

FINAL ACCEPTANCE AND RECORD DRAWINGS/AS-BUILTS

- Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for Final Acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
- After improvements have been constructed, the developer shall be responsible for providing to the City "As BUILT Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
- Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
- Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
- The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyors/surveyors do not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
- Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."



GENERAL CONSTRUCTION NOTES
Sheet 2 of 2
October 2020

**CITY OF ROCKWALL
ENGINEERING DEPARTMENT**

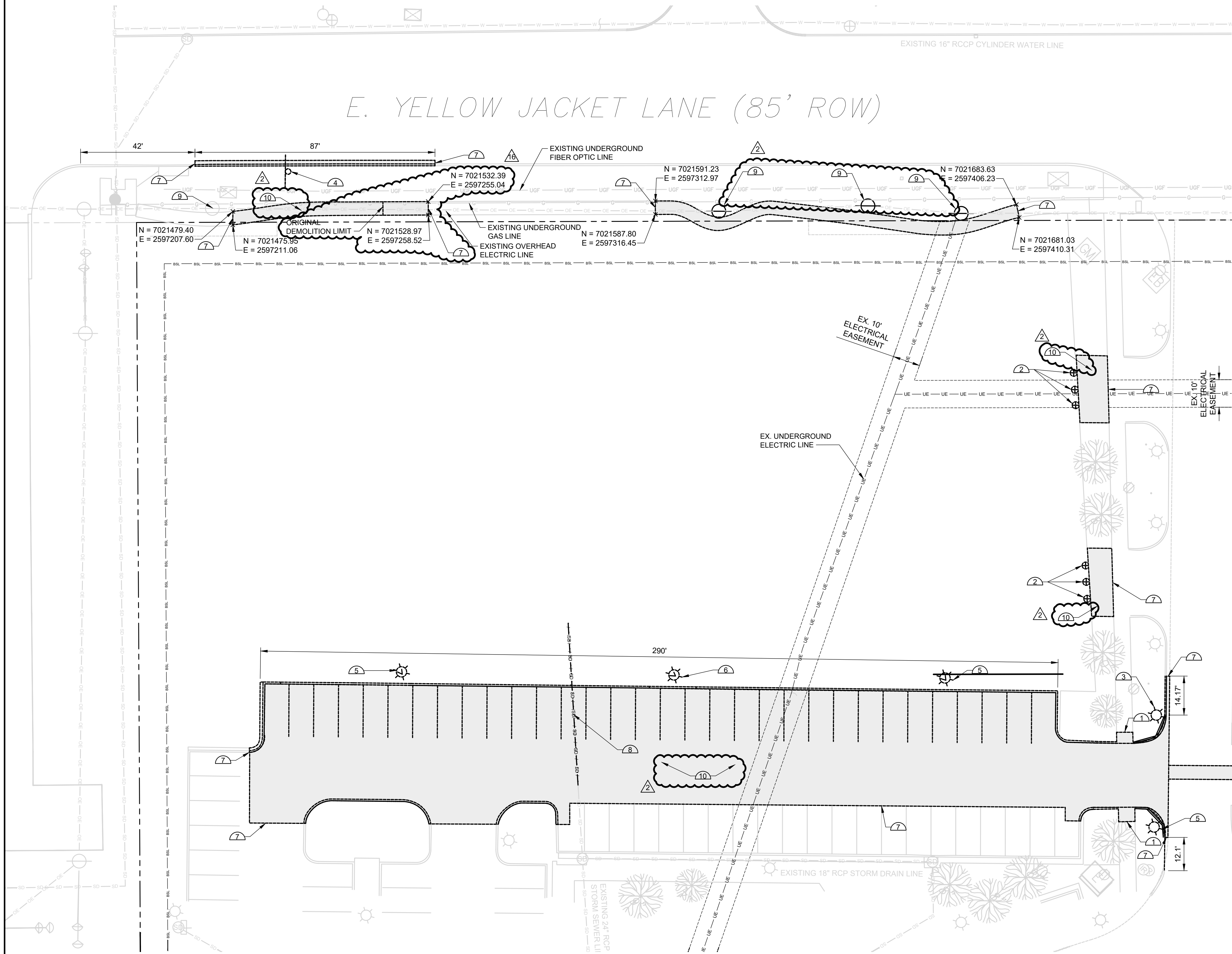
385 S. Goliad
Rockwall, Texas 75087

P (972) 771-7746
F (972) 771-7748

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



CONTRACTOR IS RESPONSIBLE TO CONTACT UTILITIES & ONE CALL SYSTEM 14 DAYS PRIOR TO DIGGING



DEMOLITION KEY NOTES

- REMOVE EXISTING CONSTRUCTION AS INDICATED BY:
1. REMOVE EXISTING SIDEWALK
 2. REMOVE EXISTING BOLLARD
 3. EXISTING ORNAMENTAL LIGHT POLE TO BE RELOCATED - SEE SITE PLAN FOR NEW LOCATION
 4. RELOCATE EXISTING SPEED LIMIT SIGN - COORDINATE NEW LOCATION WITH THE CITY OF ROCKWALL
 5. EXISTING LIGHT POLE TO BE RELOCATED - SEE SITE PLAN FOR NEW LOCATION, REMOVE CONCRETE LIGHT POLE BASE
 6. REMOVE EXISTING LIGHT POLE & CONCRETE BASE
 7. SAW-CUT TO A NEAT VERTICAL FACE.
 8. REMOVE EXISTING STORM DRAIN
 9. EXISTING UTILITY POLES TO REMAIN
 10. REMOVE EXISTING CONCRETE PAVING

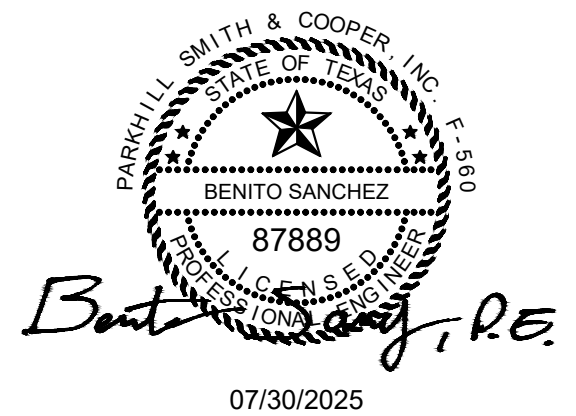
DEMOLITION NOTES

- A. THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- B. CONTACT THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- C. HAUL AWAY AND PROPERLY DISPOSE OF ALL MATERIAL REMOVED/DEMOLISHED FROM THE SITE IN ACCORDANCE WITH CITY, STATE, AND NATIONAL REQUIREMENTS.
- D. CONTRACTOR IS RESPONSIBLE FOR ALL MISCELLANEOUS REPAIRS DUE TO DEMOLITION DAMAGE, AT HIS OWN EXPENSE.
- E. ALL STREET SIGNS WILL REMAIN UNLESS OTHERWISE NOTED.
- F. COORDINATE WITH APPROPRIATE UTILITY OWNER OR THE CITY OF ROCKWALL PRIOR TO REMOVING, RELOCATING, CONNECTING TO, OR DISCONNECTING ANY UTILITIES.
- G. ALL POWER POLES TO BE PROTECTED DURING DEMOLITION AND TO REMAIN UNLESS OTHERWISE NOTED.

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
- REMOVE EXISTING CONCRETE PAVING/FLATWORK
- REMOVE EXISTING STORM DRAIN
- - - EXISTING UNDERGROUND ELECTRIC LINE

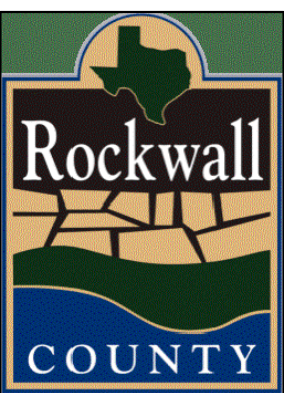
Parkhill



Record Drawing
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex



CLIENT

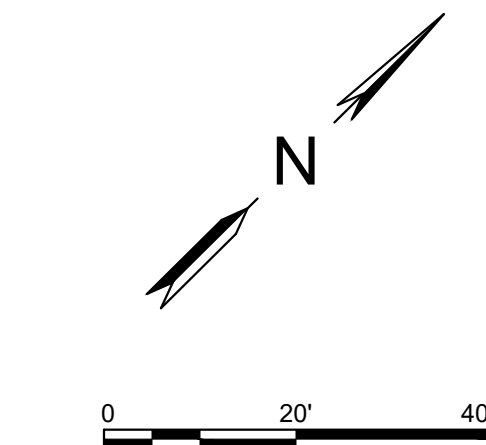
Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN



#	DATE	DESCRIPTION
17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
14	3/20/2025	RFI 064
13	12/12/2024	ASI 006
12	10/07/2024	CCR 006
8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction

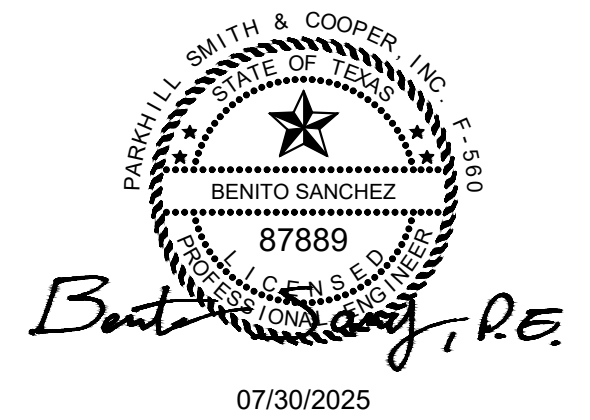
Demolition Plan
CD101

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ENGINEER CONTACT INFORMATION:
PARKHILL
3000 INTERNET BLVD
SUITE 550,
FRISCO, TX 75034
(972)-987-1670

OWNER CONTACT INFORMATION:
ROCKWALL COUNTY
101 EAST RUSK STREET,
ROCKWALL, TX 75087
(972)-204-6000

Parkhill



Rockwall.com
RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

EROSION CONTROL PLAN NOTES

- A. THIS MAP IS PART OF A TPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP). REFER TO THE TEXT PORTION OF THE PLAN FOR ADDITIONAL INFORMATION, REQUIREMENTS AND PROCEDURES. SWPPP TO BE DEVELOPED AND SUBMITTED BY THE CONTRACTOR.
- B. REFER TO SHEET CE501 FOR BEST MANAGEMENT PRACTICE (BMP) DETAILS
- C. REMOVE AND REPLACE CONCRETE WASHOUT WHEN 75% OF THE VOLUME IS REACHED.
- D. SUBMIT ALTERNATE BMP'S FOR APPROVAL PRIOR TO INSTALLATION.
- E. STABILIZE BORROWED STOCKPILES AND STAGING AREAS AT THE COMPLETION OF THE PROJECT.
- F. UNDERGROUND UTILITIES EXIST WITHIN THE PROJECT AREA.
- G. CALL 811 PRIOR TO EXCAVATING AND INSTALLING EROSION CONTROL MEASURES.

LEGEND

- PROPERTY LINE
--- EASEMENT
--- SITE ACREAGE (APPROX 1.853 ACRES)
- DISTURBED AREA AFFECTED BY PROJECT (APPROX. 1.78 ACRES)
- SILT FENCE - SEE SHEET CE501
- EXISTING CONTOURS (1' INTERVAL)
- NEW CONTOURS (1' INTERVAL)
- STABILIZED CONSTRUCTION ENTRANCE - SEE SHEETS CE501
- FLOW DIRECTION (EXISTING)
- FLOW DIRECTION (PROPOSED)

CLIENT

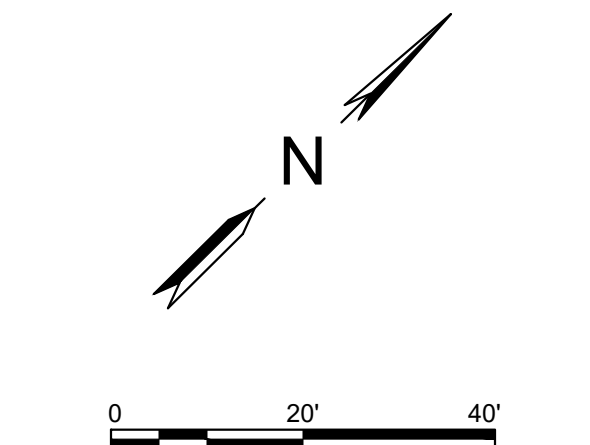
Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

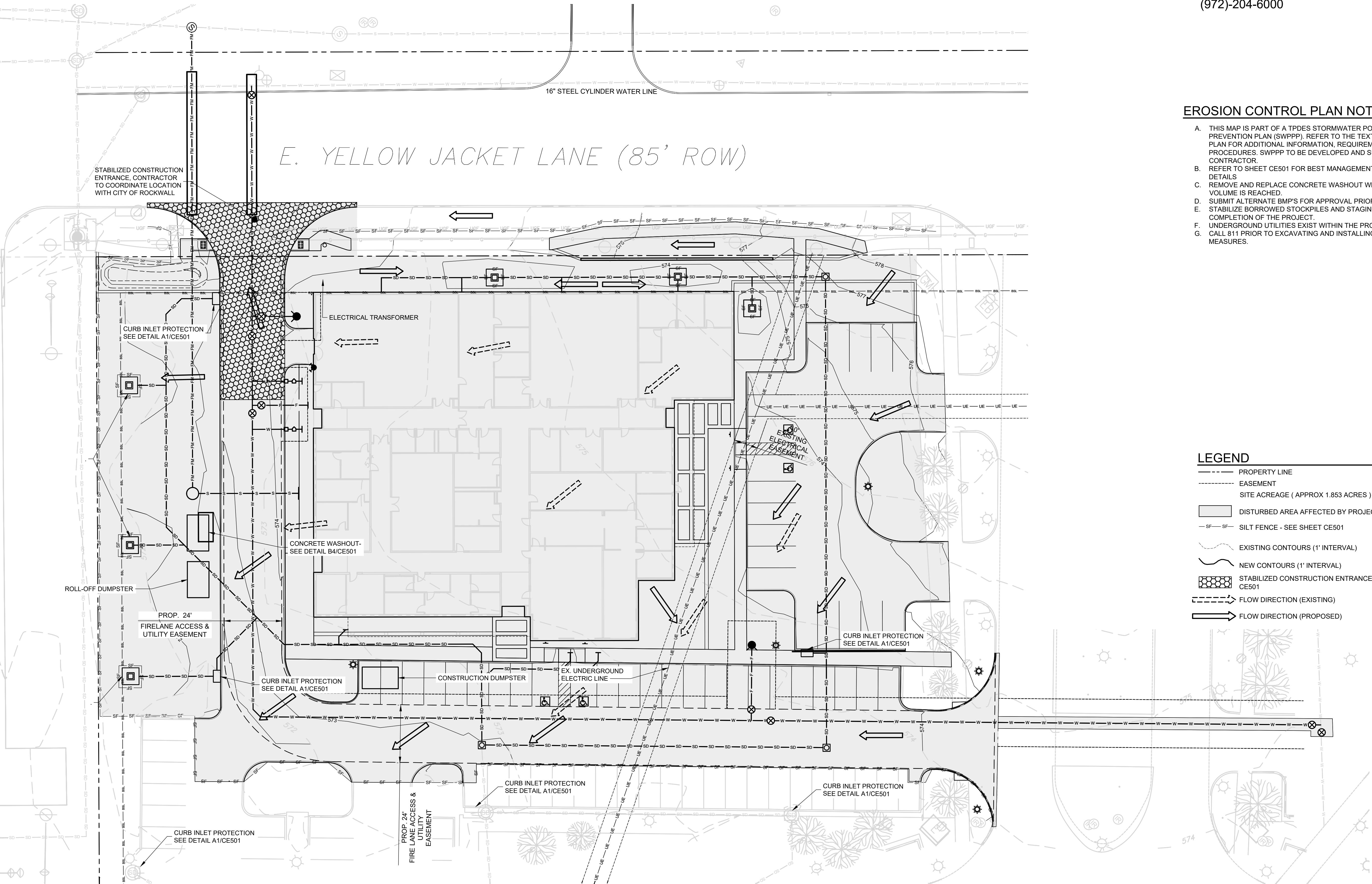
11987.22

KEY PLAN



17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
14	3/20/2025	RFI 064
13	12/12/2024	ASI 006
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8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction
#	DATE	DESCRIPTION

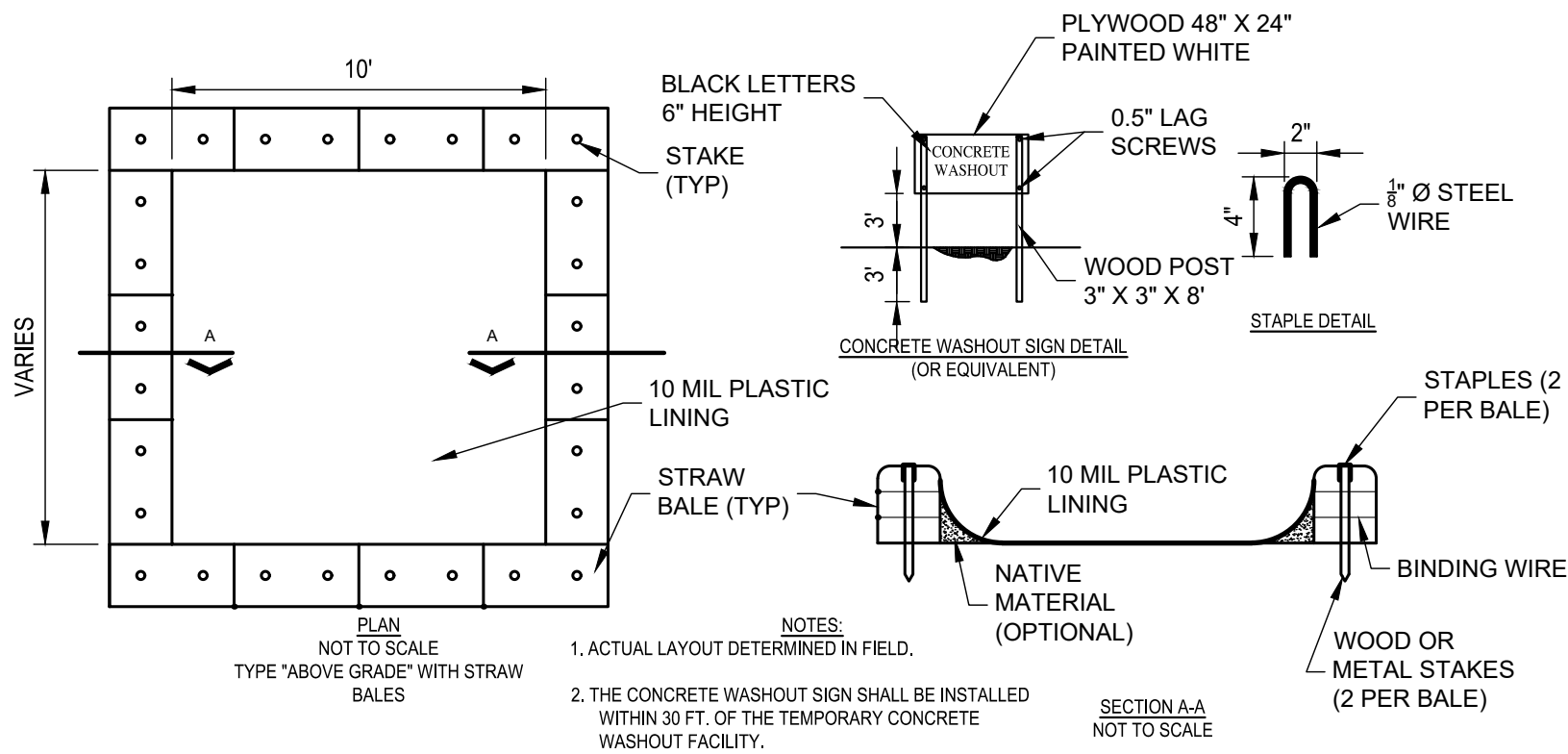
Erosion Control
Plan
CE101



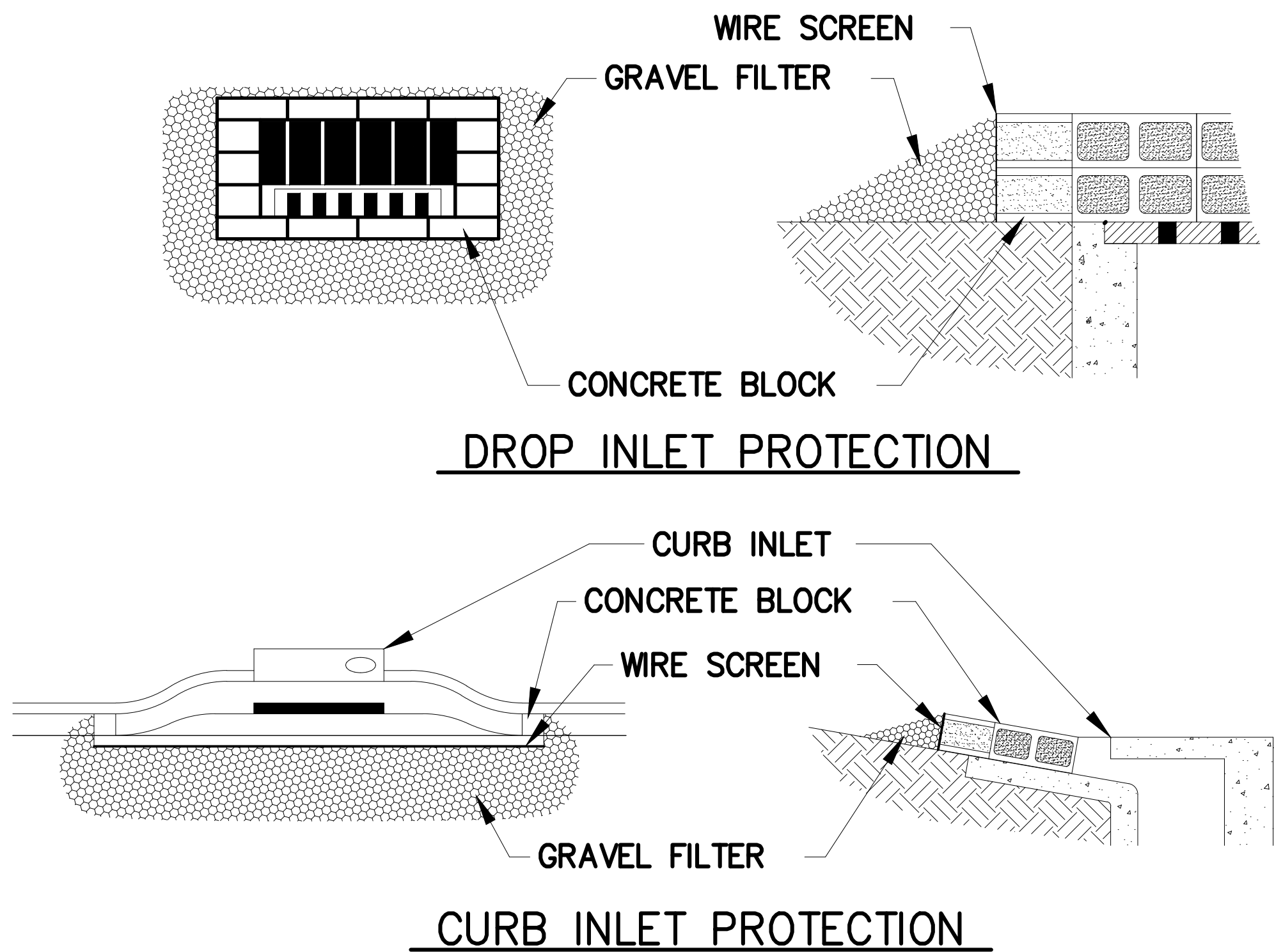
A1 EROSION CONTROL PLAN
1" = 20'

A:\2022\1187\2203_DSGN01_DWG\050_CIVIL\00_SHEETS\CE101-11987.DWG, 7/30/2025 12:43 PM, tjones

A:\2021\1187\2203_DSGN01.DWG\050_CIVIL\00_SHEETS\CE501-1187.DWG, 7/30/2025 12:43 PM, tjones



C1 CONCRETE WASH PAD
NOT TO SCALE





North Central Texas Council of Governments

STANDARD SPECIFICATION REFERENCE

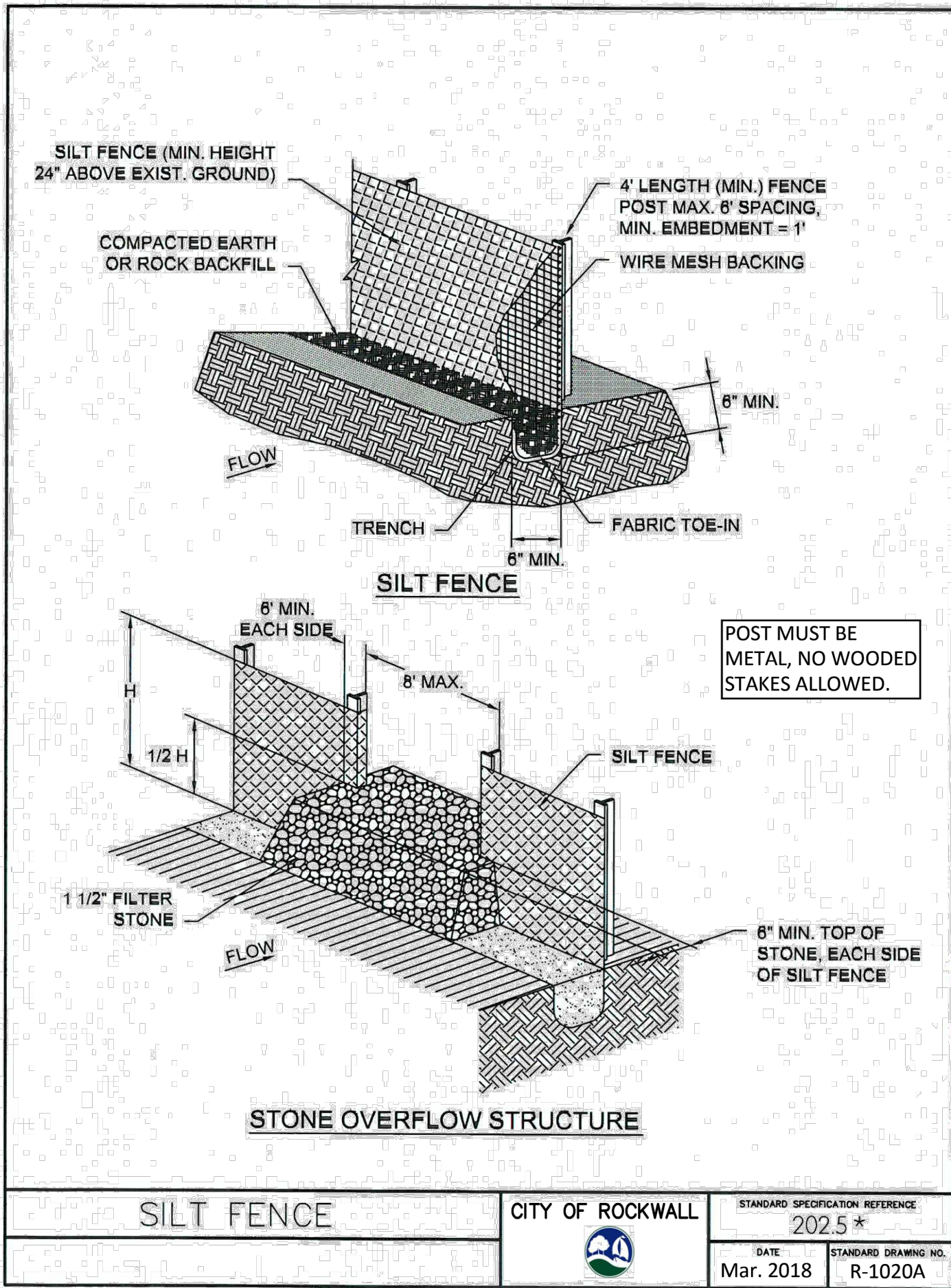
02270.G

DATE

DEC. 92

STANDARD DRAWING NO.

2130



SILT FENCE
CITY OF ROCKWALL
STANDARD SPECIFICATION REFERENCE
202.5 *
DATE
Mar. 2018
STANDARD DRAWING NO.
R-1020A

STABILIZED CONSTRUCTION
ENTRANCE
CITY OF ROCKWALL
STANDARD SPECIFICATION REFERENCE
202.11 *
DATE
Mar. 2018
STANDARD DRAWING NO.
R-1070A

SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE



CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE

202.5 *

DATE

Mar. 2018

STANDARD DRAWING NO.


R-1020B

STABILIZED CONSTRUCTION
ENTRANCE
CITY OF ROCKWALL
STANDARD SPECIFICATION REFERENCE
202.11 *
DATE
Mar. 2018
STANDARD DRAWING NO.
R-1070B

STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION



CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE

202.11 *

DATE

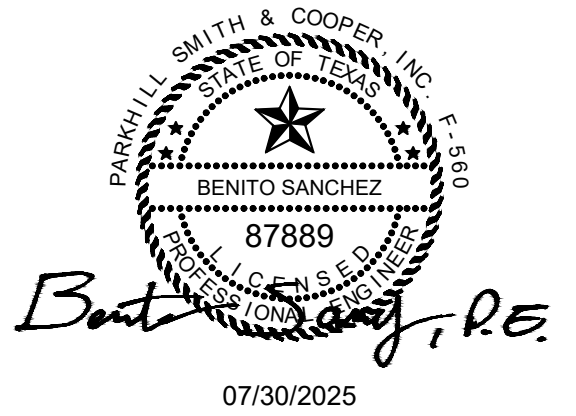
Mar. 2018

STANDARD DRAWING NO.

R-1070B

STABILIZED CONSTRUCTION
ENTRANCE
CITY OF ROCKWALL
STANDARD SPECIFICATION REFERENCE
202.11 *
DATE
Mar. 2018
STANDARD DRAWING NO.
R-1070B

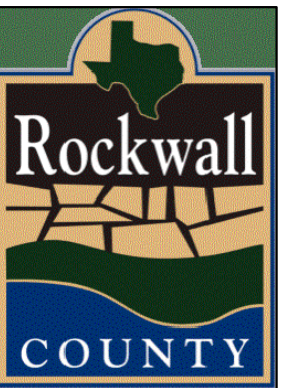
Parkhill



Record Drawing
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex



CLIENT
Rockwall County
1101 E Yellowjacket Lane
Rockwall, TX 75087
PROJECT NO.
11987.22
KEY PLAN

#	DATE	DESCRIPTION
17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
14	3/20/2025	RFI 064
13	12/12/2024	ASI 006
12	10/07/2024	CCR 006
8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction

Erosion Control
Details
CE501

A:\2022\1187.22\03_DSGN\01_DWG\050_CIVIL\00_SHEET\SCS101-1187.DWG, 1/8/2024 3:57 PM, tjones

PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	0
PROPOSED REGULAR SPACES	36	40
ACCESSIBLE SPACES	3	4
TOTAL SPACES	39	44

KEY NOTES

AS INDICATED BY: (10)

1. DRIVEWAY - SEE DETAIL B2/CS502
2. PARALLEL CURB RAMP - SEE DETAIL B4/CS501
3. STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
4. PARKING BLOCK - SEE DETAIL B3/CS501
5. HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
6. HANDICAP MARKING - SEE DETAIL A3/CS502
7. ACCESS AISLE MARKING - SEE DETAIL A2/CS502
8. HANDICAP SIGN - SEE DETAIL A1/CS502
9. RELOCATED PARKING LOT LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL PLANS.
10. RELOCATED ORNAMENTAL LIGHT POLE - SEE DEMOLITION PLAN. COORDINATE WITH ELECTRICAL PLANS.
11. ELECTRICAL TRANSFORMER - SEE MEP FOR DETAILS
12. NEW LIGHT POLE - SEE ELECTRICAL PLAN
13. NEW FIRE HYDRANT - SEE UTILITY PLAN
14. FIRE LANE STRIPING - SEE SITE PLAN NOTES
15. PARKING LOT STRIPING - SEE SITE PLAN NOTES

SITE PLAN NOTES

- A. FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- B. FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- C. INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
- D. STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW), PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
- E. CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- F. LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- G. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- H. FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- I. EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- J. DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- K. ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- L. CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

LEGEND

- PROPERTY LINE/RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
- EXISTING EASEMENT
- 4" CONCRETE SIDEWALK PAVEMENT - SEE DETAIL CS503
- 7" HEAVY DUTY CONCRETE PAVEMENT WITH 6" LTS - SEE DETAIL A3/CS501
- 5" STANDARD DUTY CONCRETE PAVEMENT WITH 6" LTS - SEE DETAIL A1/CS501

SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of December, 2023.

WITNESS OUR HANDS, this 11 day of December, 2023.

Planning & Zoning Commission, Chairman

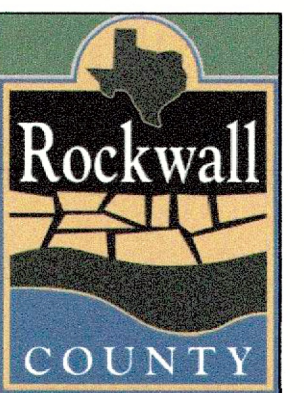
Director of Planning and Zoning

Parkhill

THIS DOCUMENT IS RELEASED ON 12/28/23 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF BENITO SANCHEZ, P.E., TEXAS LICENSE #87889. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC. F-560

Parkhill.com

Rockwall County Annex



CLIENT

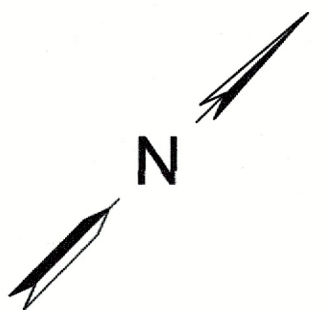
Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.

11987.22

KEY PLAN



0 20' 40'

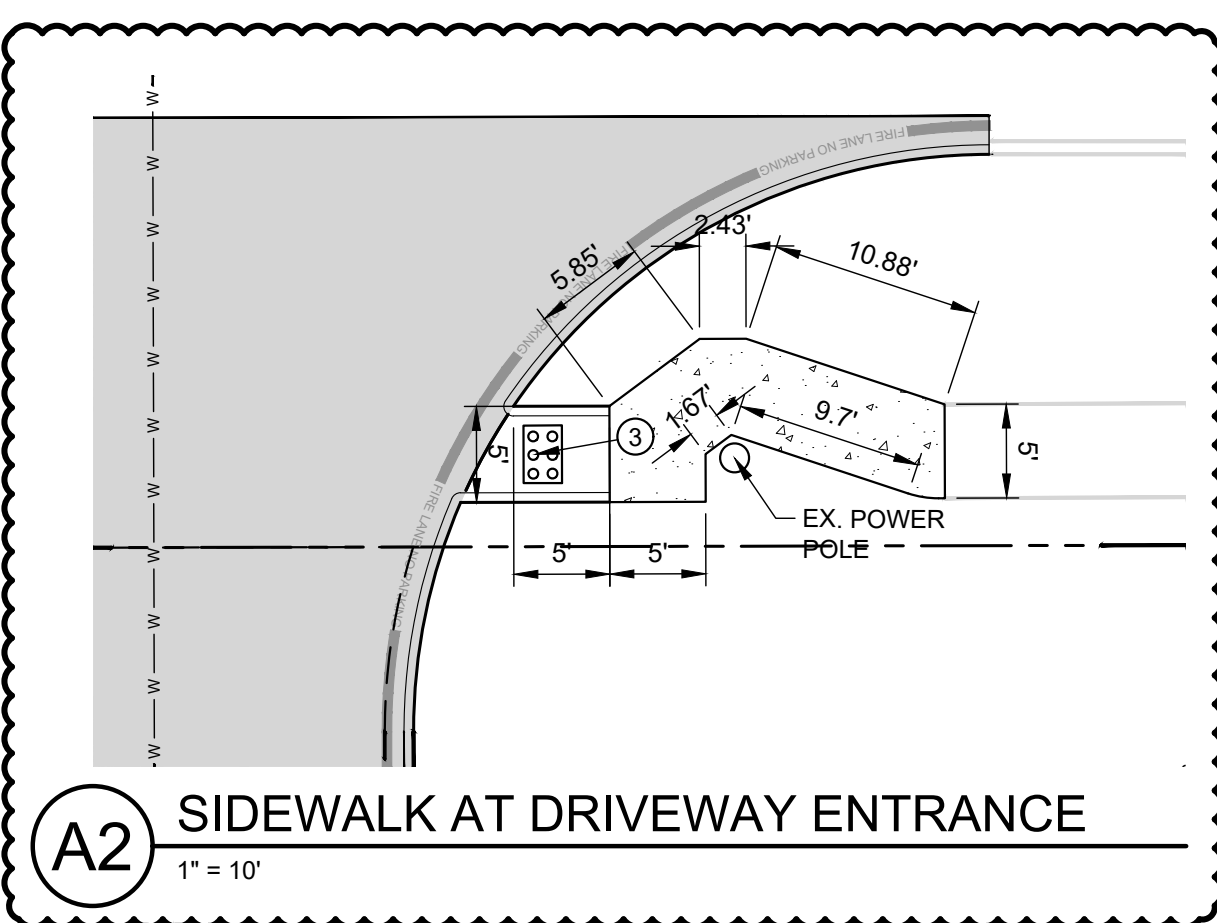
#	DATE	DESCRIPTION
3	1/3/2024	Design Development
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

Site Plan
CS101

A1 SITE PLAN
1" = 20'

A:\2021\1187\2203_DS\DWG050_CIVIL\00_SHEETS\CS101-1187.DWG, 7/30/2025 12:45 PM, tjones

SURVEY CONTROL				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
ON-SITE CONTROL SET				
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111	7021835.19	2597592.84	578.73	#4 BAR W/LEMKE CAP
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102	7029731.12	2598589.31	529.10	CP COR-2
106	7025942.63	2601204.04	558.61	CP COR-6
HORIZONTAL AND VERTICAL DATUM BASED ON ROCKWALL CONTROL MONUMENT COR-2				
HORIZONTAL DATUM: NAD83 (2011), TEXAS STATE PLANE, NORTH CENTRAL ZONE				
VERTICAL DATUM: NAVD88				



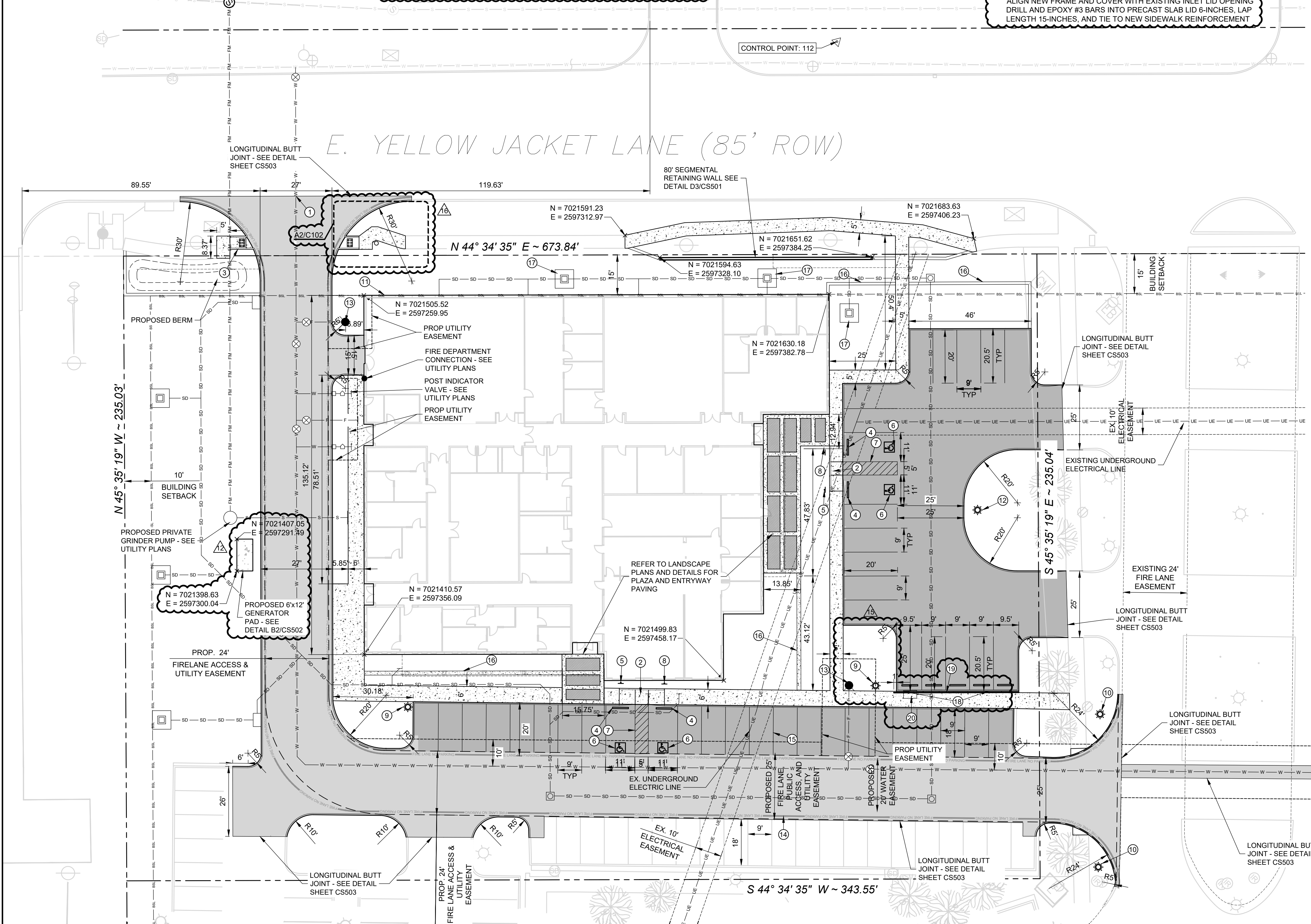
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 14. FIRE LANE STRIPING - SEE SITE PLAN NOTES
 15. PARKING LOT STRIPING - SEE SITE PLAN NOTES
 16. CONCRETE LANDSCAPE EDGE - SEE LANDSCAPE SHEETS
 17. WVE INLET - SEE SHEETS CU203 & CU204
 18. PROPOSED SIDEWALK TURN DOWN - SEE DETAIL B4/CS502 STOP TURN DOWN AT SIDES OF INLET (EAST AND WEST)
 19. PROPOSED HAND RAIL - SEE LANDSCAPE SHEETS
 20. PROPOSED GRADE ADJUSTMENTS TO INLET SEE DETAIL RC-PSLC/CS505.
- ALIGN NEW FRAME AND COVER WITH EXISTING INLET LID OPENING DRILL AND EPOXY #3 BARS INTO PRECAST SLAB LID 6-INCHES, LAP LENGTH 15-INCHES, AND TIE TO NEW SIDEWALK REINFORCEMENT

SITE PLAN NOTES

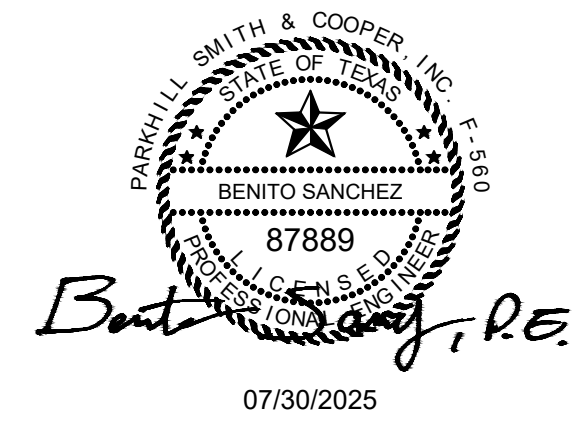
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- BUILDING SETBACK LINE
- FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
- EXISTING EASEMENT
- PROPOSED FIRE LANE EASEMENT
- PROPOSED UTILITY EASEMENT
- W --- PROPOSED WATER LINE
- S --- PROPOSED SANITARY SEWER LINE
- SD --- PROPOSED STORM DRAIN LINE
- 4" CONCRETE SIDEWALK PAVEMENT, 3000 PSI (5.5 SACK/CY) HAND POURED, #3 BARS ON 24" CENTER BOTH WAYS AND #4 SMOOTH ROUND DOWEL 18" O.C. 6" LIME STABILIZED SUBGRADE - SEE CITY OF ROCKWALL DETAIL CS503
- 7" HEAVY DUTY CONCRETE PAVEMENT, 3,600 PSI (6.5 SACK FOR HAND PLACED OR 6 SACK MACHINE POURS), #3 BARS @ 24" O.C. 6" LIME STABILIZED SUBGRADE AS SPECIFIED - SEE DETAIL A3/CS501
- 6" STANDARD DUTY CONCRETE PAVEMENT, 3,600 PSI (6.5 SACK FOR HAND PLACED OR 6 SACK MACHINE POURS), #3 BARS @ 24" O.C. 6" LIME STABILIZED SUBGRADE AS SPECIFIED - SEE DETAIL A1/CS501

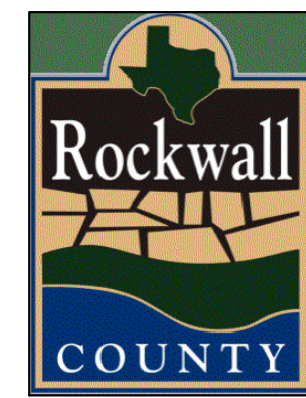
Parkhill



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DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex



CLIENT

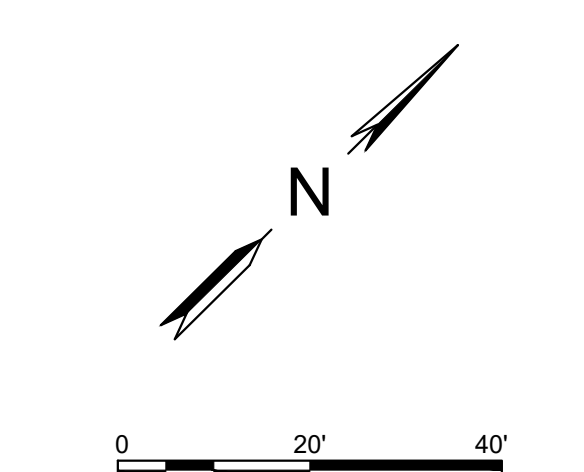
Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN



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-	03/01/2024	Issue For Construction

Construction And Paving Layout
CS102

LIGHT POLE POINTS		
POINT #	NORTHING	EASTING
201	7021612.7574	2597479.7194
202	7021591.4615	2597566.7304
203	7021550.5298	2597607.1321
204	7021538.9902	2597499.7034
205	7021408.3222	2597381.6302

BACK OF CURB POINTS		
POINT #	NORTHING	EASTING
1	7021668.3994	2597468.5959
2	7021663.8724	2597464.1958
3	7021664.1697	2597456.5398
4	7021675.1543	2597445.3916
5	7021642.3878	2597413.1060
6	7021631.6090	2597424.2369
7	7021624.4381	2597424.1992
8	7021610.1918	2597410.1620
9	7021651.6639	2597486.4090
10	7021639.3300	2597474.0884
11	7021611.1185	2597474.1136
12	7021607.1130	2597478.1057
13	7021607.2717	2597506.5096
14	7021620.3128	2597519.4296
15	7021546.3226	2597474.9827

BACK OF CURB POINTS		
POINT #	NORTHING	EASTING
16	7021557.0073	2597485.5106
17	7021557.0596	2597492.5815
18	7021543.1010	2597506.7481
19	7021575.8675	2597539.0336
20	7021586.1968	2597528.5504
21	7021593.6044	2597528.3380
22	7021603.1698	2597537.7726
23	7021601.4321	2597566.0908
24	7021566.9677	2597565.3673
25	7021560.5476	2597558.4529
26	7021560.7000	2597551.4916
27	7021569.9077	2597542.4066
28	7021549.8006	2597616.5813
29	7021551.5269	2597615.2245
30	7021549.6719	2597582.9983

BACK OF CURB POINTS		
POINT #	NORTHING	EASTING
31	7021542.0564	2597582.4687
32	7021406.1057	2597448.6132
33	7021408.0692	2597446.5189
34	7021407.9746	2597439.5813
35	7021403.6448	2597435.2098
36	7021391.3912	2597433.6720
37	7021373.4202	2597415.9656
38	7021372.2502	2597403.3309
39	7021354.5643	2597385.4410
40	7021341.9335	2597384.1319
41	7021345.7953	2597351.1402
42	7021349.7334	2597355.1145
43	7021356.9282	2597355.1887
44	7021411.1407	2597381.6394
45	7021402.2430	2597390.5421

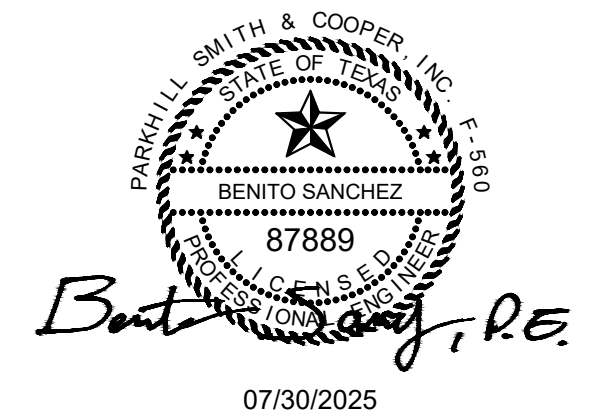
BACK OF CURB POINTS		
POINT #	NORTHING	EASTING
46	7021395.1980	2597390.5699
47	7021391.6546	2597387.0802
48	7021389.9432	2597360.1511
49	7021472.4077	2597276.4581
50	7021479.5602	2597276.4863
51	7021490.0881	2597265.8015
52	7021489.9542	2597258.6502
53	7021500.7417	2597247.7021
54	7021481.5289	2597228.7318
55	7021543.1960	2597247.4171
56	7021481.1721	2597186.2642

RADIUS POINTS		
POINT #	NORTHING	EASTING
301	7021667.2665	2597460.5209
302	7021628.0466	2597420.7285
303	7021625.2369	2597488.2794
304	7021621.2739	2597492.2291
305	7021553.4980	2597489.0722
306	7021590.0043	2597531.8101
307	7021584.5503	2597549.0370
308	7021564.2117	2597555.0508
309	7021547.6392	2597612.0803
310	7021532.8662	2597600.1322
311	7021545.6078	2597586.0354
312	7021404.4215	2597443.0991
313	7021396.5386	2597442.2455
314	7021365.1384	2597410.3610
315	7021347.4525	2597392.4711

RADIUS POINTS		
POINT #	NORTHING	EASTING
316	7021353.3666	2597351.6794
317	7021398.7065	2597387.0075
318	7021405.5331	2597372.6793
319	7021475.9702	2597279.9696
320	7021493.5179	2597262.1604
321	7021522.1111	2597268.7576
322	7021460.1636	2597207.6760

SURVEY CONTROL				
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HORIZONTAL AND VERTICAL DATUM BASED ON ROCKWALL CONTROL MONUMENT COR-2				
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VERTICAL DATUM: NAVD88				

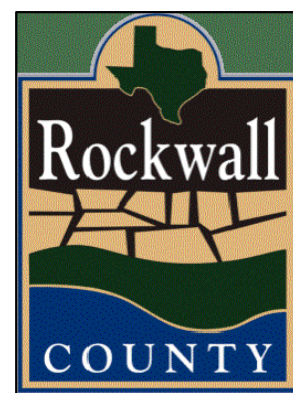
Parkhill



Parkhill.com
RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

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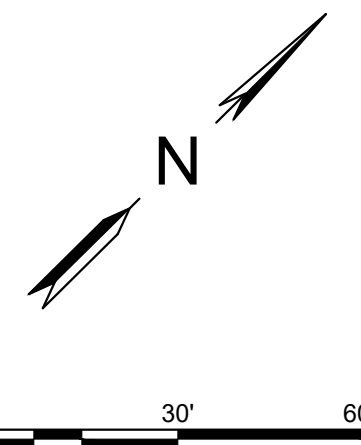
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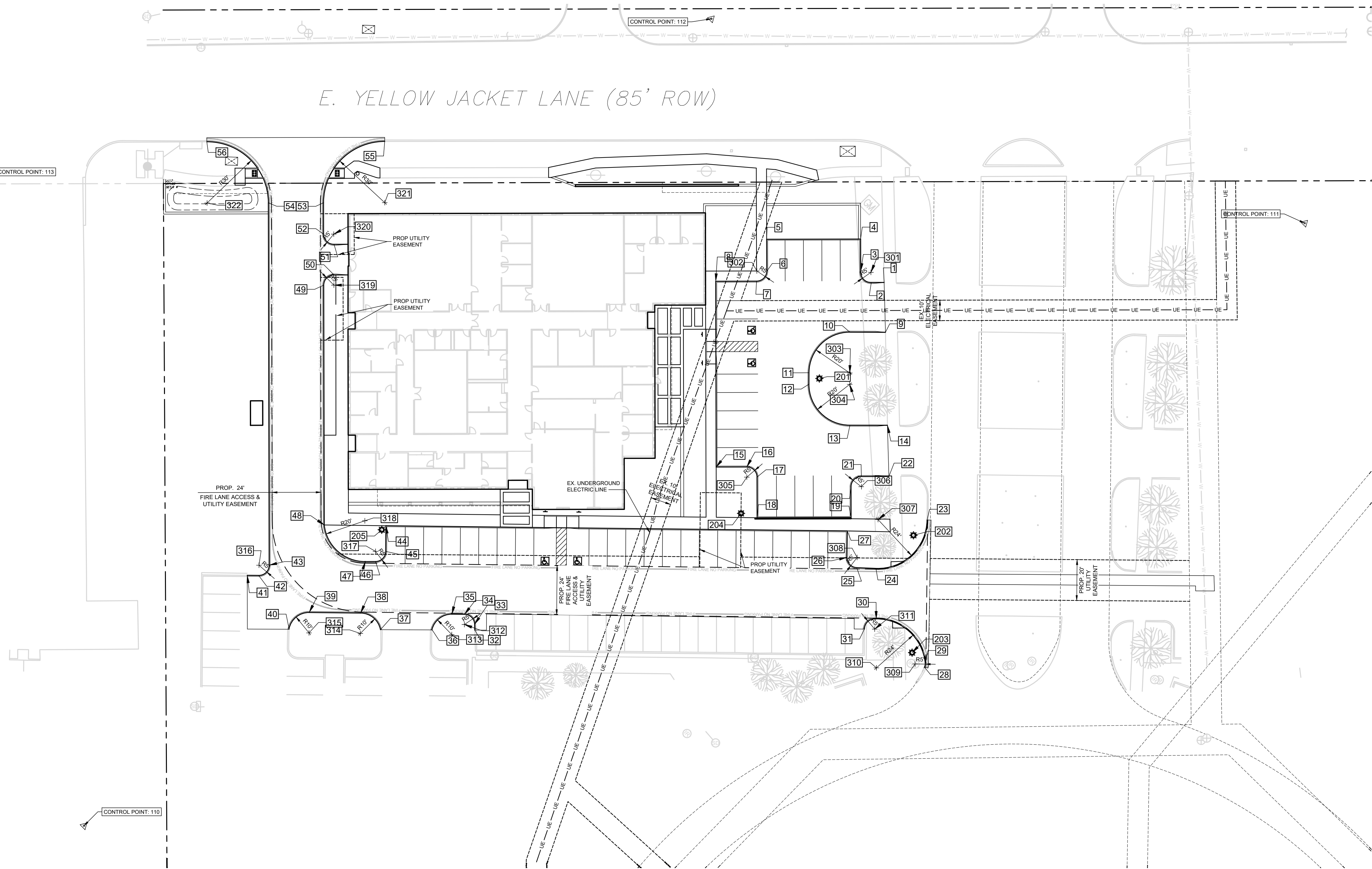
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Point Map

CS103



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

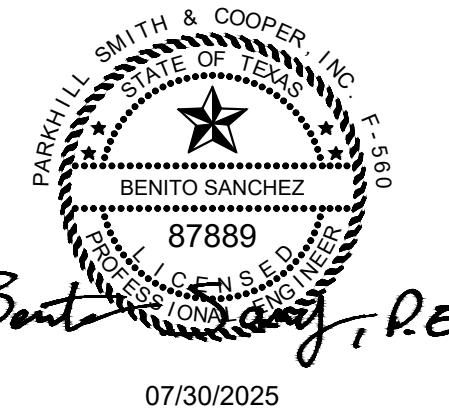
A1 POINT MAP
1" = 20'

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KEY NOTES

AS INDICATED BY: (00)

1. CONCRETE REPAIR. MATCH EXISTING JOINTING.



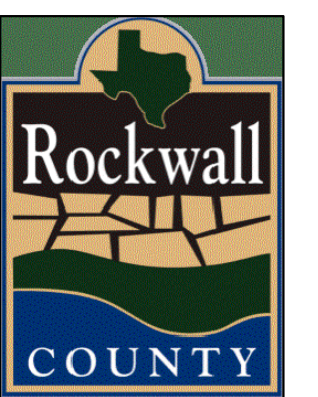
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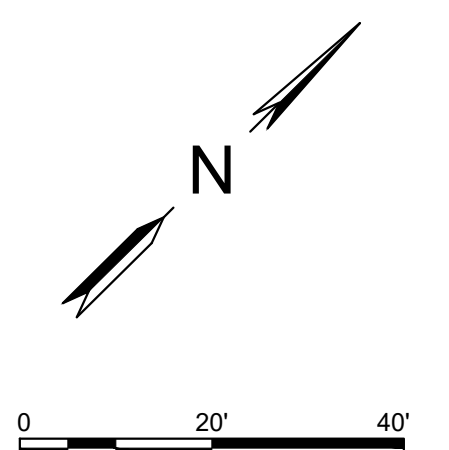
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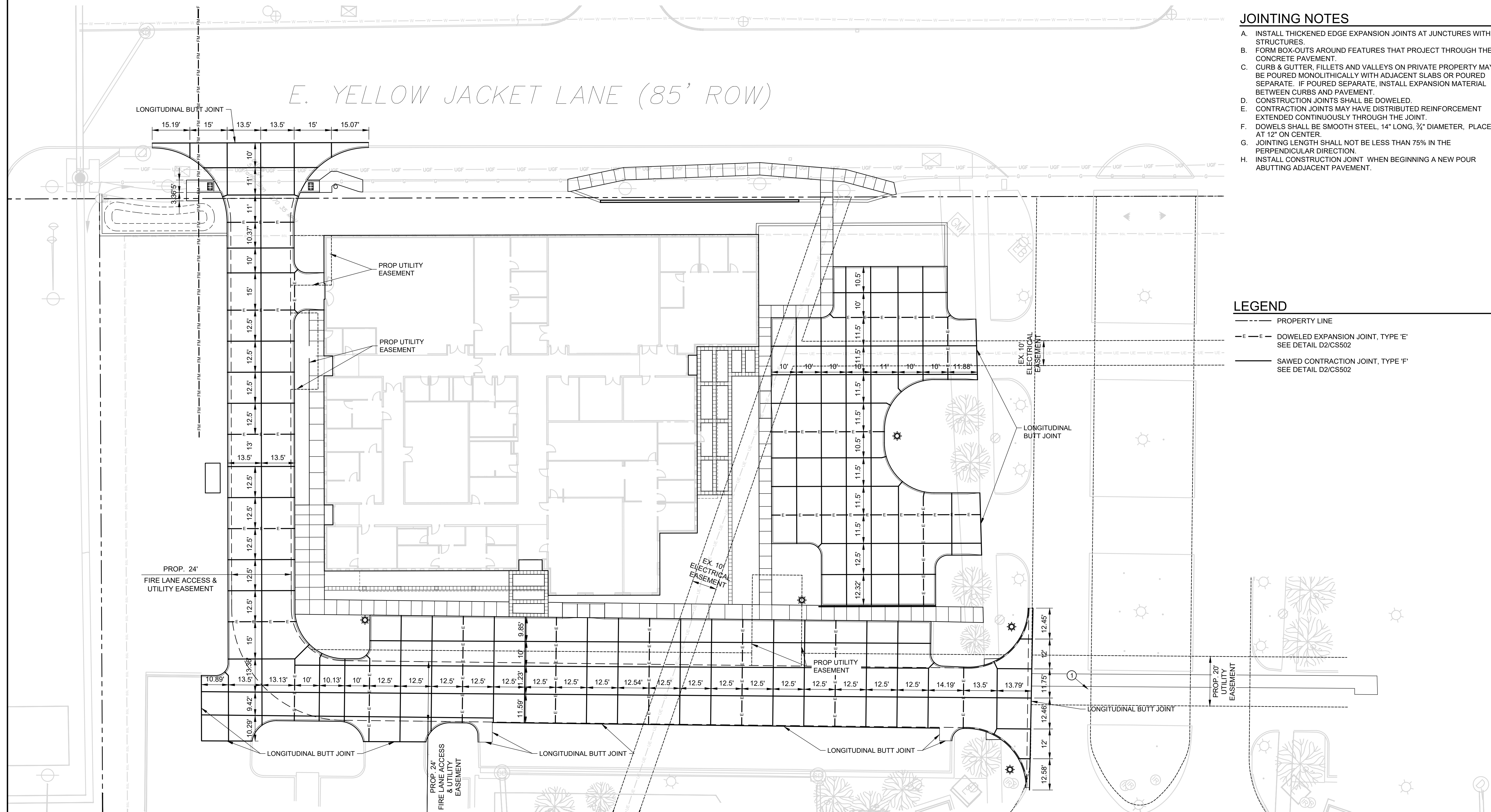
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Jointing Plan

CS104



A1 JOINTING PLAN
1" = 20'

A:\2022\11987.22\03_DSGN\01_DWG\050_CIVIL\00_SHEETS\CS103-11987.DWG, 7/30/2025 12:46 PM, tjones

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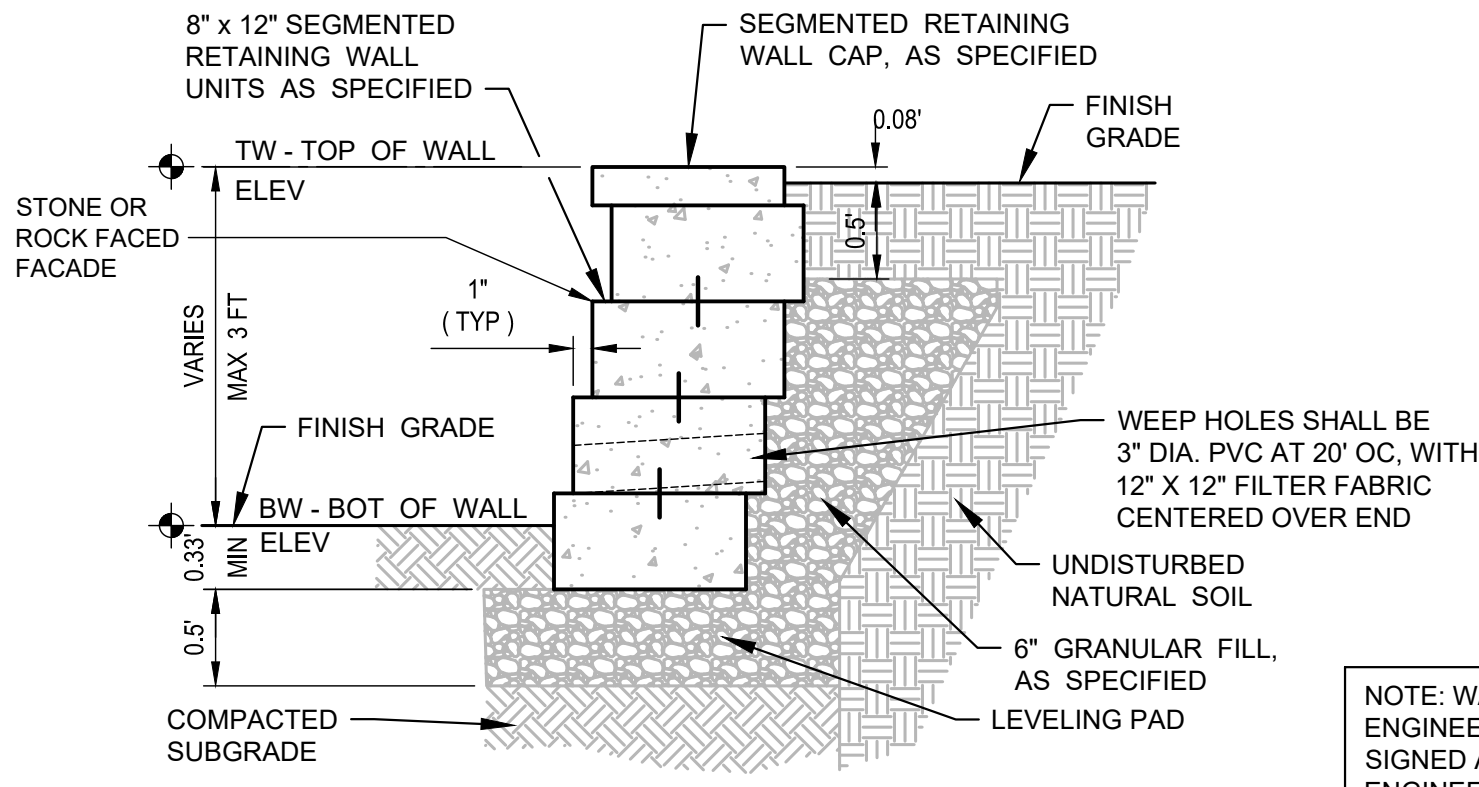
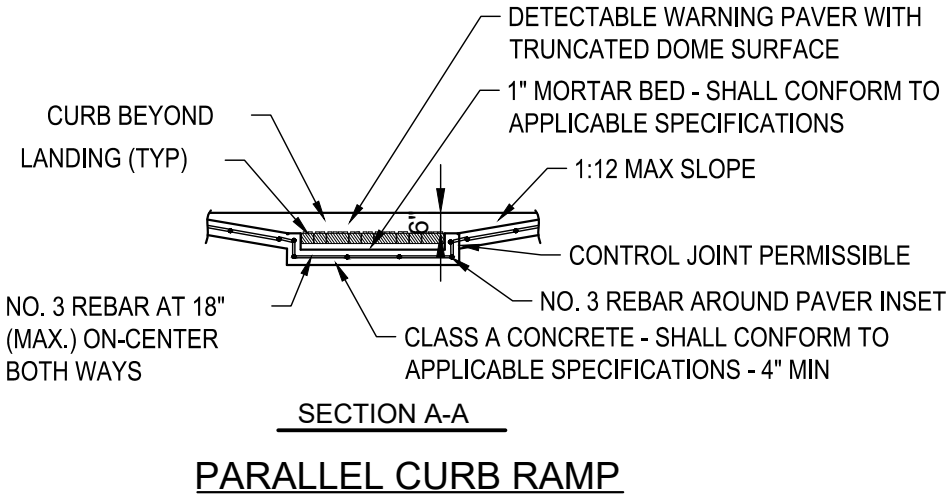
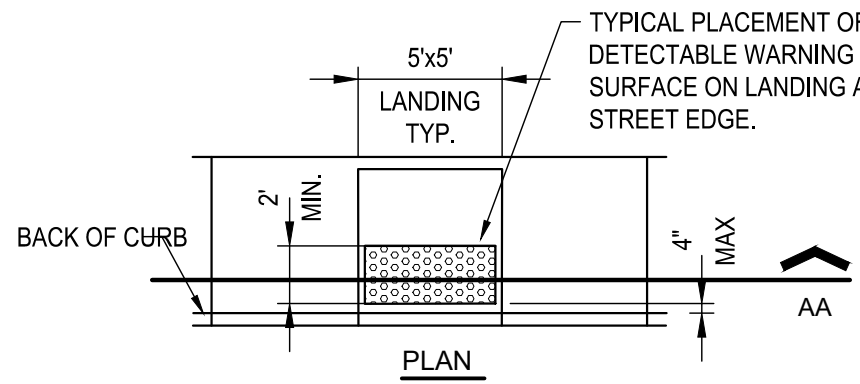
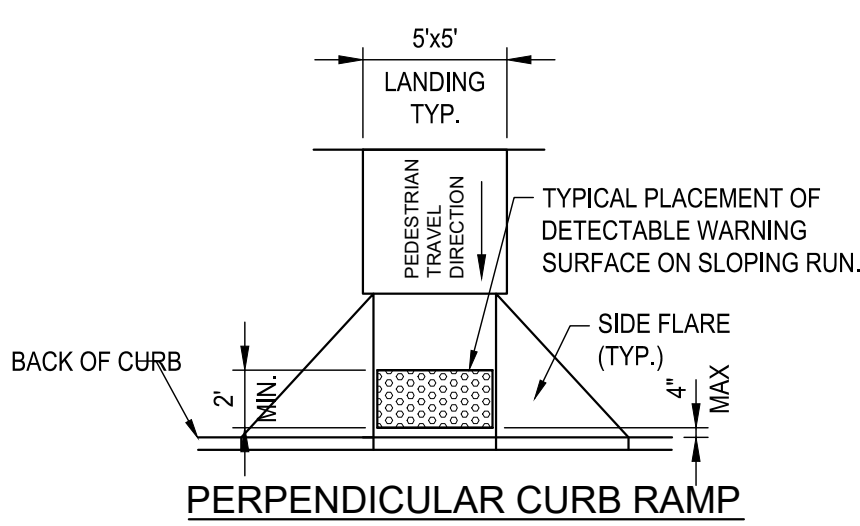
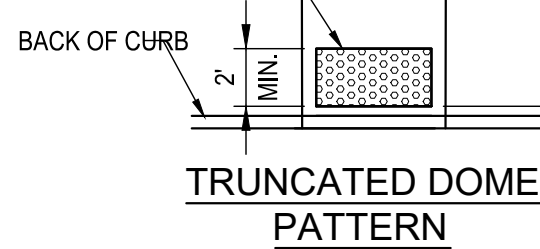
DETECTABLE WARNING SURFACE NOTES:

- DETECTABLE WARNING SURFACE SUCH AS ARMOR-TILE ADA SOUND AMPLIFYING DETECTABLE/TACTILE WARNING SURFACE TILE OR EQUAL AND APPROVED BY THE ENGINEER AS MEETING ALL REQUIREMENTS OF ASTM C-936, C-33.
- CURB RAMP MUST CONTAIN A DETECTABLE WARNING SURFACE THAT CONSISTS OF RAISED TRUNCATED DOMES COMPLYING WITH SECTION 7.05 DETACHABLE WARNINGS OF THE TEXAS ACCESSIBILITY STANDARDS (TAS), THE SURFACE MUST CONTRAST VISUALLY WITH ADJOINING SURFACES, INCLUDING SIDE FLARES, FURNISH DARK BROWN OR COLONIAL RED DETECTABLE WARNING SURFACE ADJACENT TO UNCOLORED CONCRETE, UNLESS SPECIFIED ELSEWHERE IN THE PLANS.
- DETECTABLE WARNING SURFACES MUST BE SLIP RESISTANT AND NOT ALLOW WATER TO ACCUMULATE.
- ALIGN TRUNCATED DOMES IN THE DIRECTION OF PEDESTRIAN TRAVEL WHEN ENTERING THE TRAFFIC AREA.
- SHADED AREAS INDICATE THE APPROXIMATE LOCATION FOR THE DETECTABLE WARNING SURFACE FOR EACH CURB RAMP TYPE.
- DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 24" IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS A MINIMUM OF 6" AND A MAXIMUM OF 10" FROM THE EXTENSION OF THE FACE OF CURB. DETECTABLE WARNING SURFACES MAY BE CURVED ALONG THE CORNER RADIUS.

GENERAL NOTES:

- CONCRETE TO BE CLASS "A" WITH A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3,000 PSI. USE FIBER REINFORCED CONCRETE THROUGHOUT.
- MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE DIRECTED BY ADA STANDARDS AND RESOURCES.

DETECTABLE WARNING SURFACE (DOME TO RUN PARALLEL TO PEDESTRIAN TRAVEL) NOTE 1
DETECTABLE WARNING SURFACE NOTES



D3 SEGMENTAL RETAINING WALL
NOT TO SCALE

NOTE: WALL SHALL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF TEXAS. SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR ENGINEER APPROVAL PRIOR TO INSTALLATION

CURB RAMP NOTES:

- ADJUST CURB RAMP LOCATION AND OR TYPE SO THAT NO OBSTRUCTION IS LOCATED WITHIN THE LANDING AREA.
- ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE THAT WILL STILL DRAIN PROPERLY SHOULD BE USED.
- LANDINGS SHALL BE 5'X5' MINIMUM WITH A MAXIMUM 2% SLOPE IN ANY DIRECTION. WHERE OBSTRUCTIONS EXIST, THERE SHALL BE A 3' MINIMUM CLEARANCE IN WIDTH AND LENGTH OF THE LANDING.
- MANEUVERING SPACE AT THE BOTTOM OF CURB RAMP SHALL BE A MINIMUM OF 5'X5' WHOLLY CONTAINED WITHIN THE CROSSWALK AND TO THE ENTIRE OUTSIDE OF THE PARALLEL VEHICULAR TRAVEL PATH.
- MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND CURB RAMP SURFACES IS 2%.
- ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) AND 16 TAC 68.102.
- PROVIDE A SMOOTH TRANSITION WHERE THE CURB RAMP CONNECTS TO THE STREET.
- ALL RAMP AND LANDINGS WITH A CONCRETE SURFACE SHALL HAVE A COURSE BROOM FINISH OR OTHER ROUGH NON-SKID TYPE FINISH AS APPROVED BY THE ENGINEER.
- COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO AND WITHIN 24 INCHES OF THE CURB RAMP SHALL BE A MAXIMUM 1:20 (5%) PER TEXAS ACCESSIBILITY STANDARDS 406.2
- CROSS SLOPES OF CURB RAMP AND BLENDED TRANSITIONS SHALL BE 1:48 MAXIMUM (2.0%) PER TEXAS ACCESSIBILITY STANDARDS 405.3

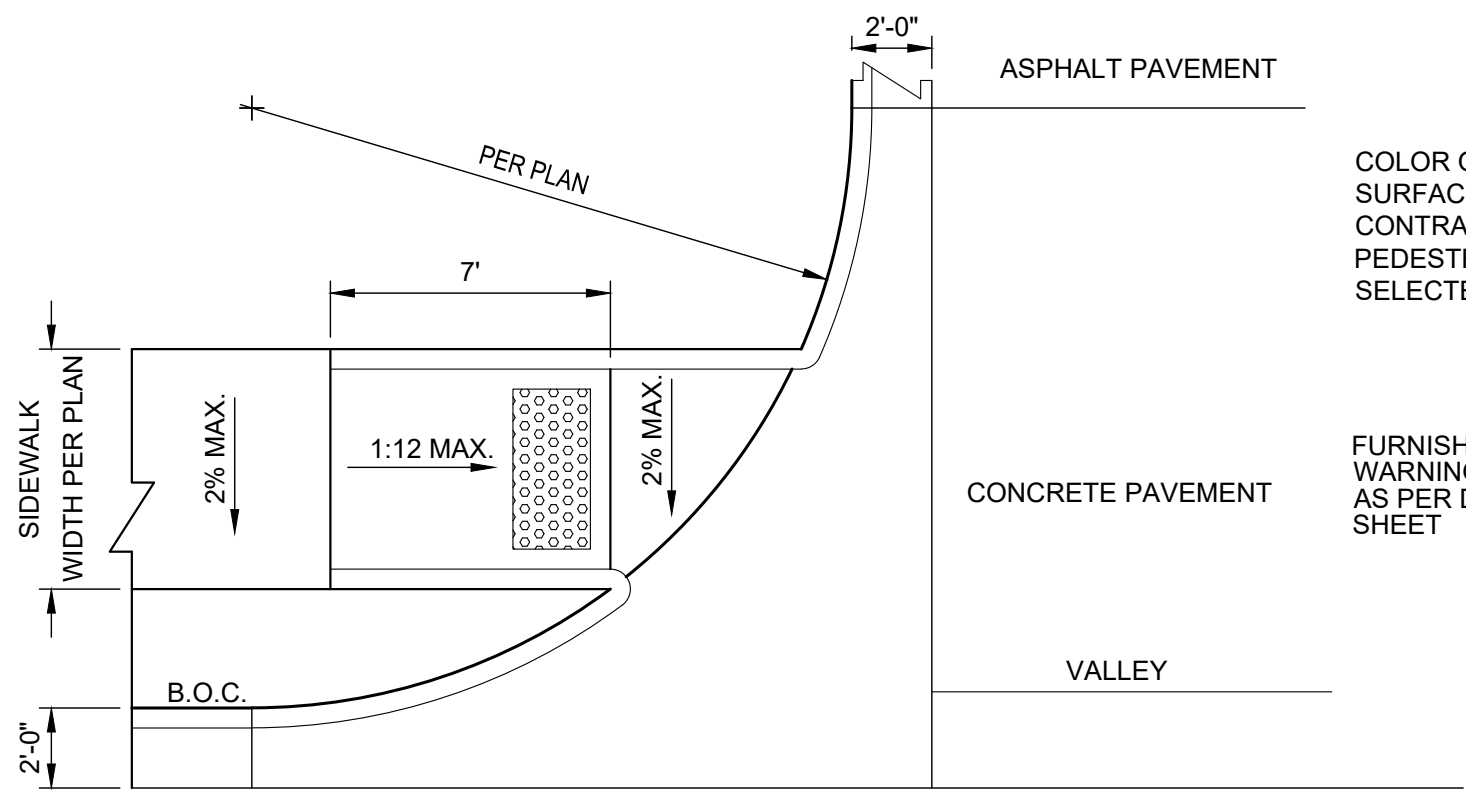
IF NOTED IN PLANS:

- RAMP AND LANDING TO BE COLORED CONCRETE (DRY SHAKE METHOD) COLOR SELECTED BY ARCHITECT. COLOR OF DETECTABLE WARNING SURFACE TO SIGNIFICANTLY CONTRAST THAT OF ADJOINING PEDESTRIAN ROUTES.
- DETECTABLE WARNING PAVERS OR TILES TO BE ADDED PER PLANS. SEE DETAIL THIS SHEET.

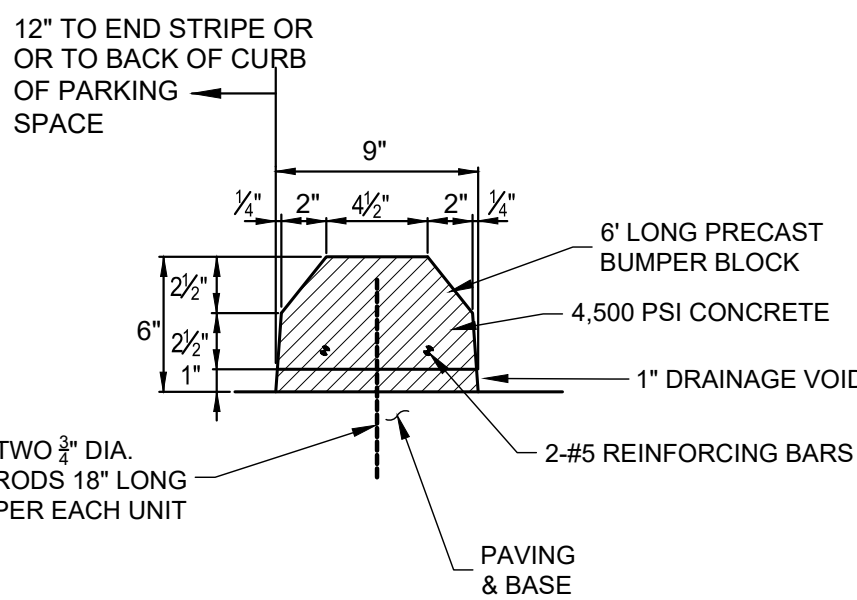
GENERAL NOTES:

- CONCRETE TO BE CLASS "A" WITH A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI. USE FIBER REINFORCED CONCRETE THROUGHOUT.
- MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE SUPERCEDED BY "THE AMERICANS WITH DISABILITIES ACT" OR THE "TEXAS ACCESSIBILITY STANDARDS".

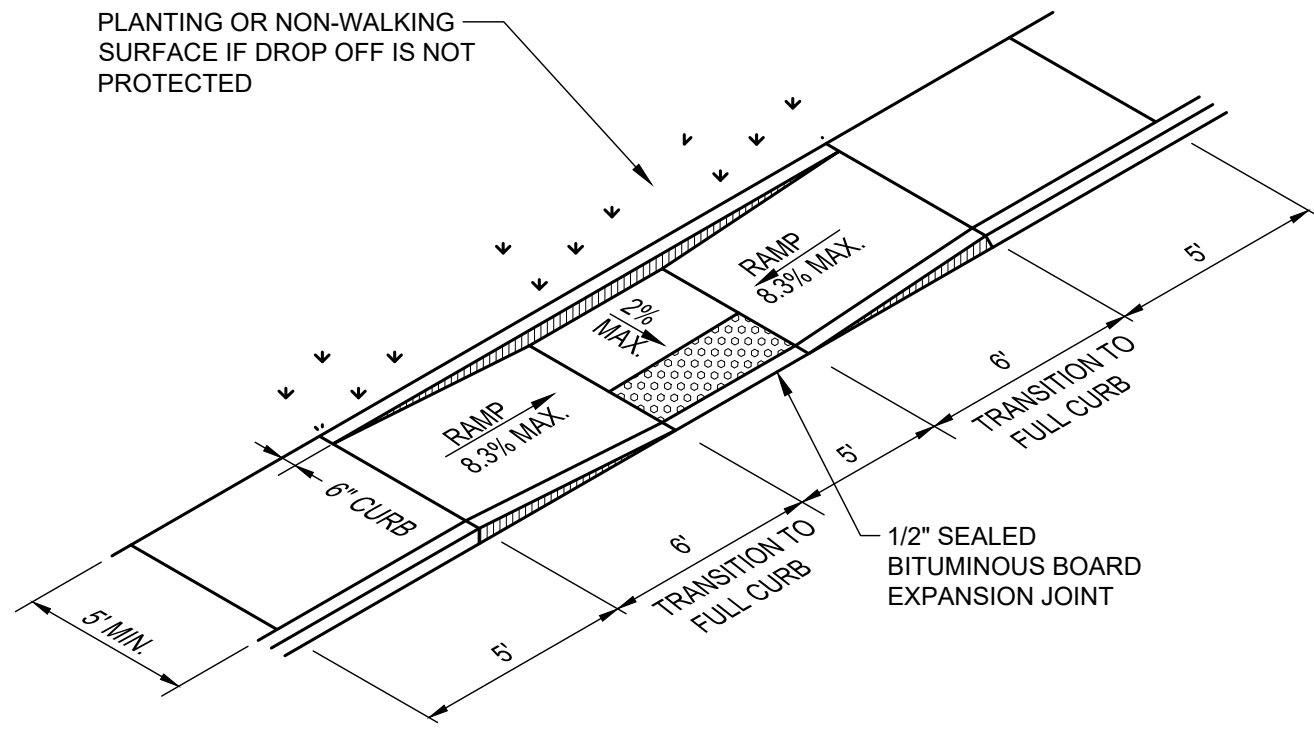
C1 DETECTABLE WARNING SURFACE
NOT TO SCALE



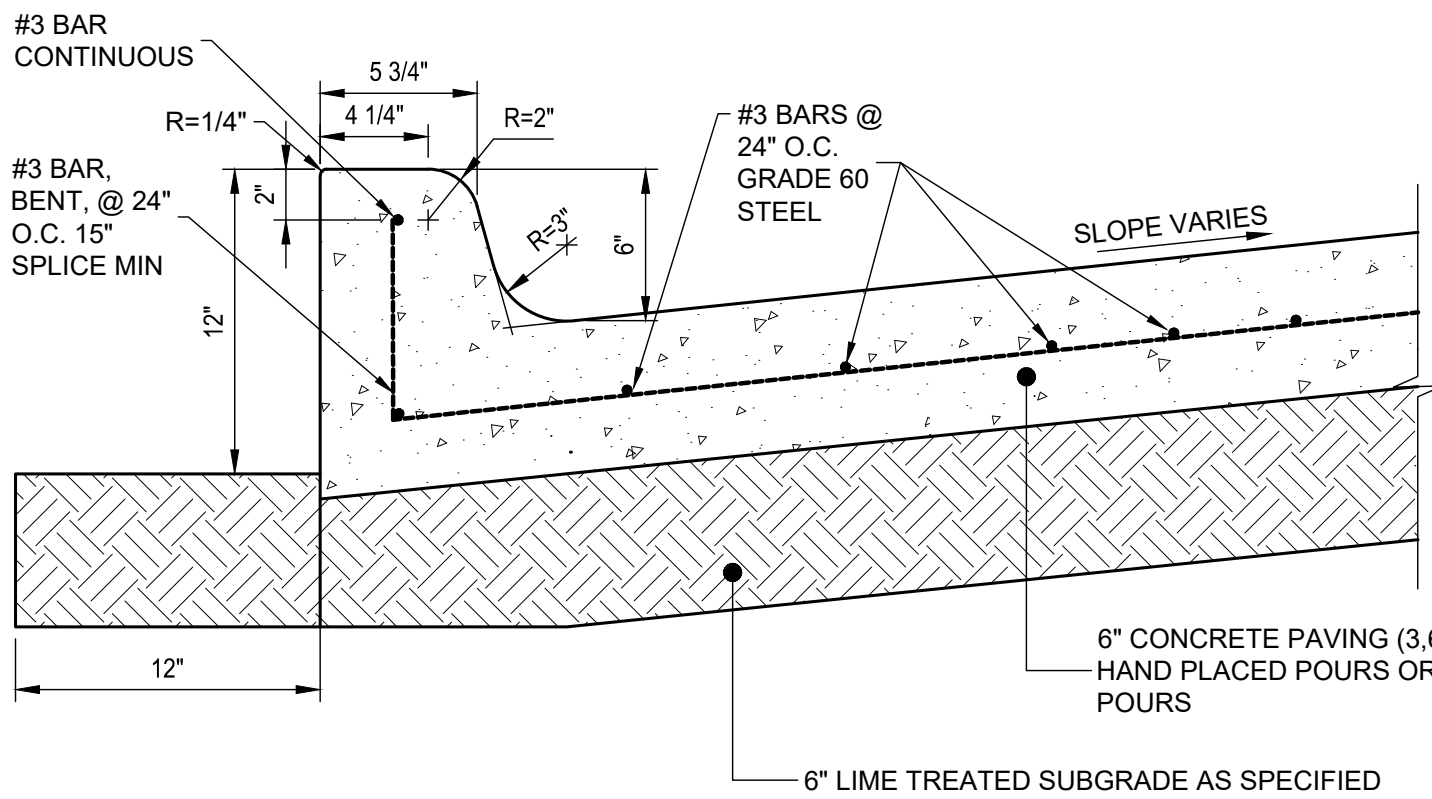
B1 STRAIGHT ACCESSIBILITY RAMP AT RADIUS
NOT TO SCALE



B3 PARKING BLOCK
NO SCALE

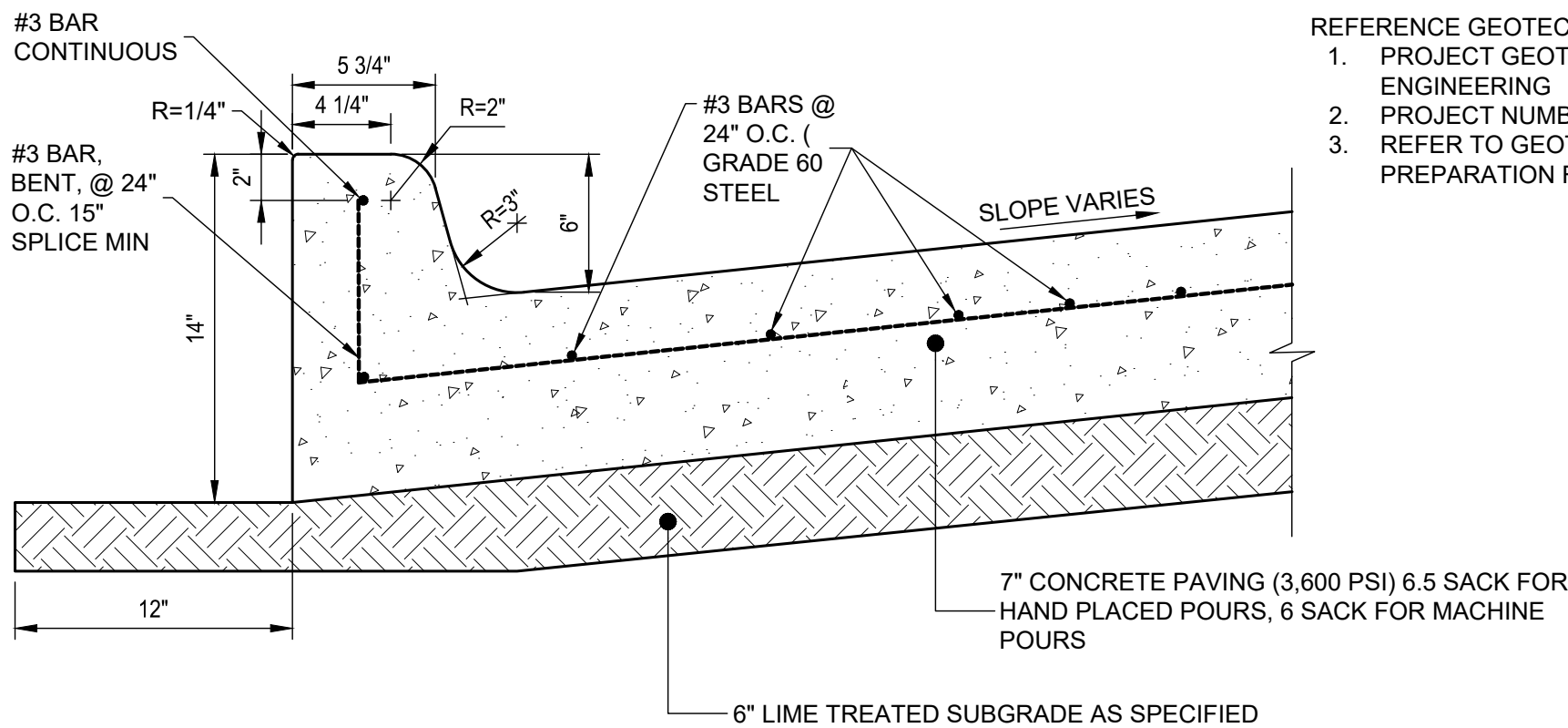


B4 PARALLEL CURB RAMP
NOT TO SCALE



A1 STANDARD DUTY CONCRETE PAVING SECTION WITH MONOLITHIC CURB (PRIVATE)
NOT TO SCALE

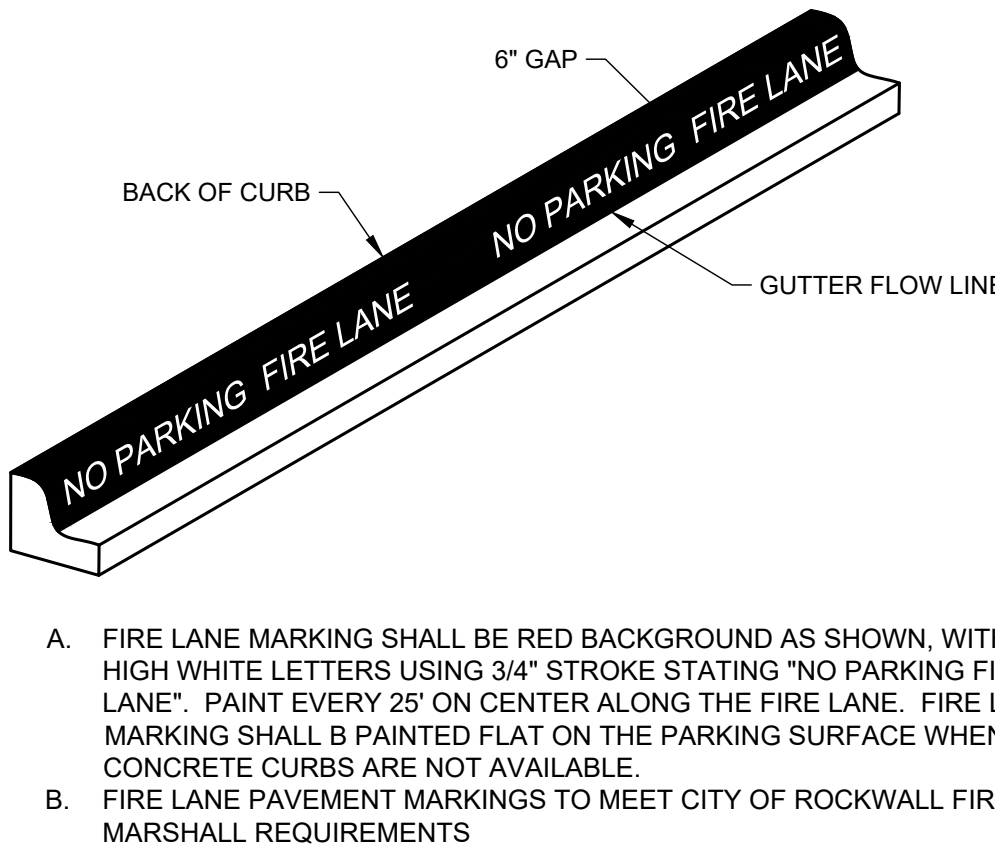
- REFERENCE GEOTECHNICAL REPORT:
- PROJECT GEOTECH REPORT PREPARED BY CMJ ENGINEERING
 - PROJECT NUMBER 1406-23-03 DATED SEPTEMBER 19, 2023
 - REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION REQUIREMENTS.



A3 HEAVY DUTY CONCRETE PAVING SECTION WITH MONOLITHIC CURB (PRIVATE)
NOT TO SCALE

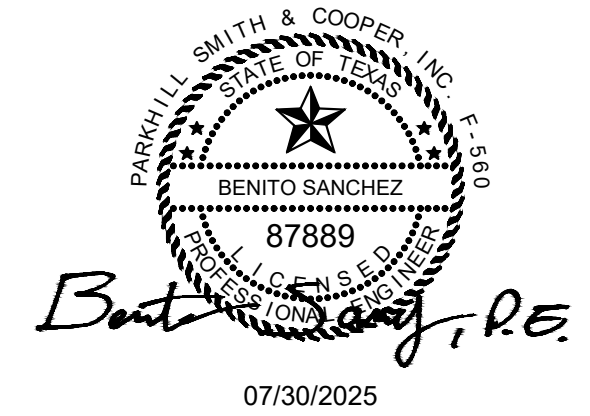
- REFERENCE GEOTECHNICAL REPORT:
- PROJECT GEOTECH REPORT PREPARED BY CMJ ENGINEERING
 - PROJECT NUMBER 1406-23-03 DATED SEPTEMBER 19, 2023
 - REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION REQUIREMENTS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



A5 FIRE LANE MARKING
NOT TO SCALE

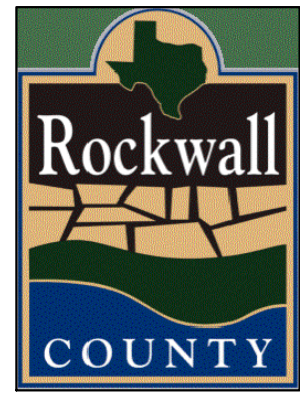
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RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex



CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

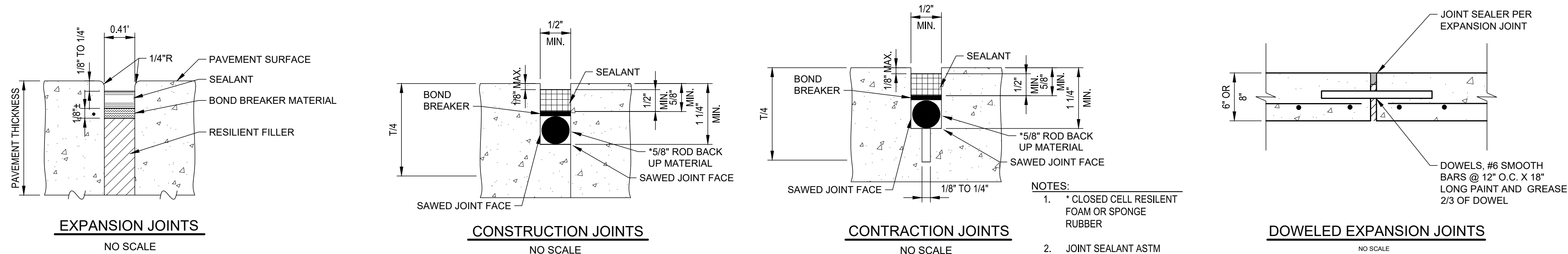
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KEY PLAN

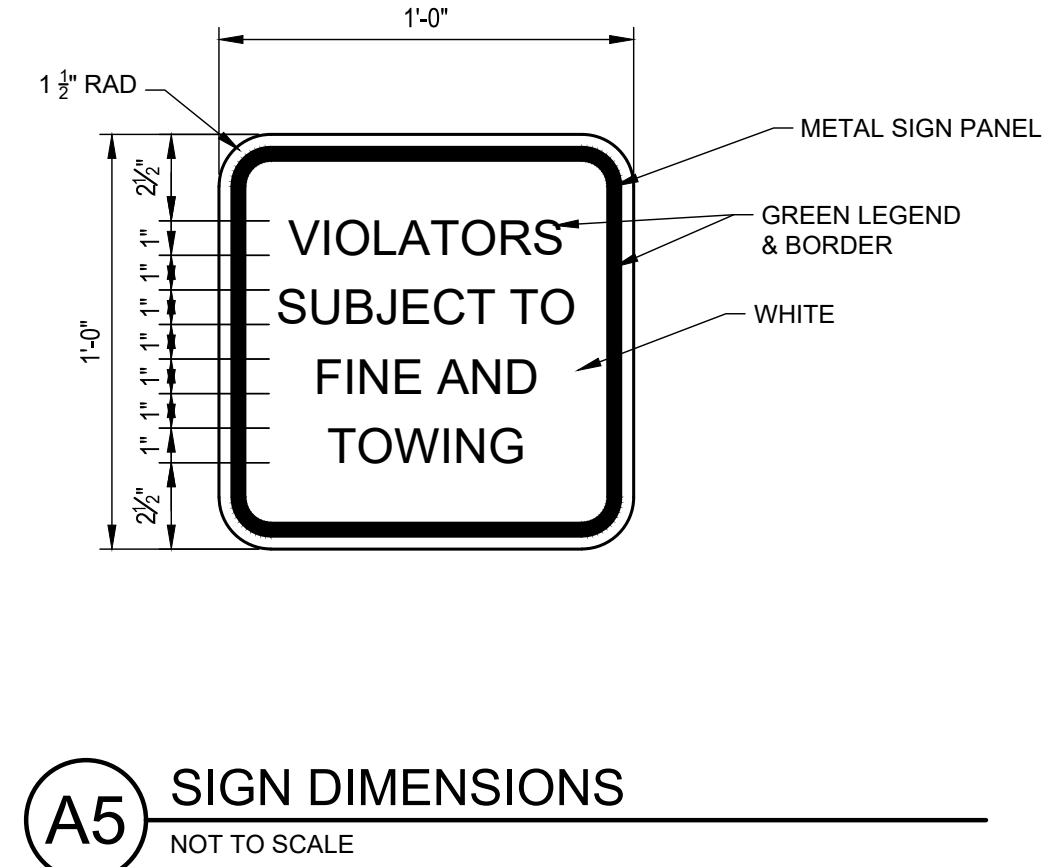
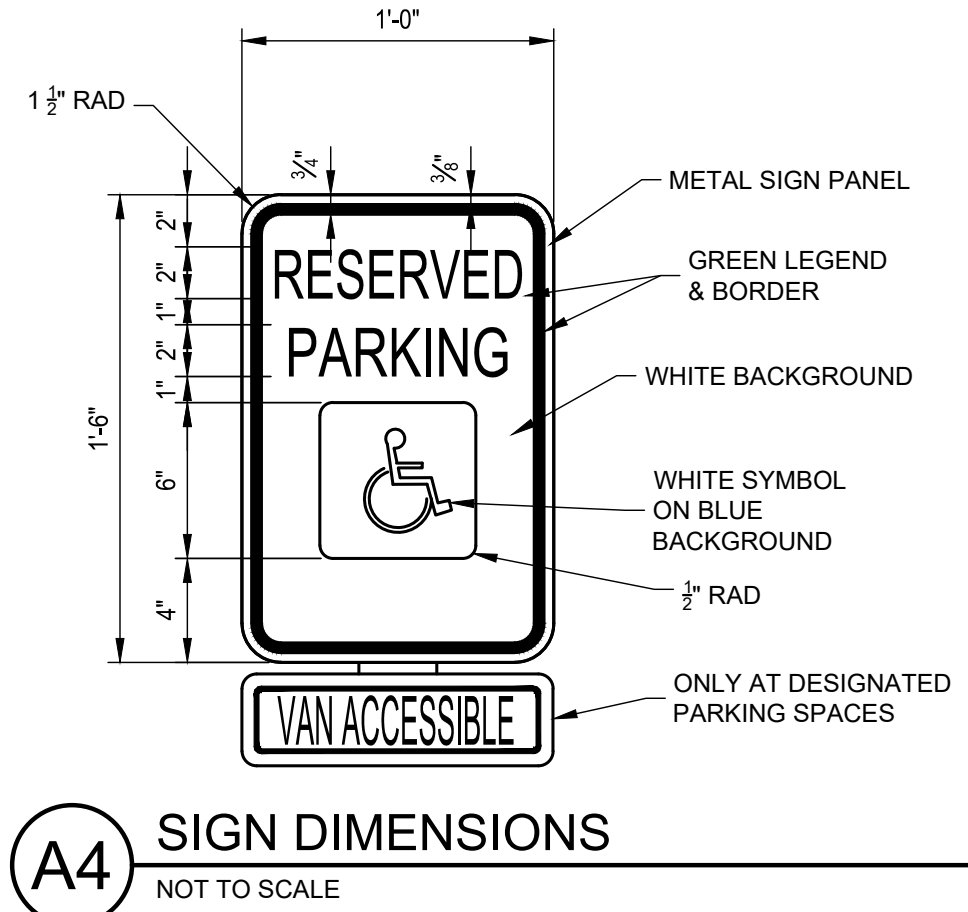
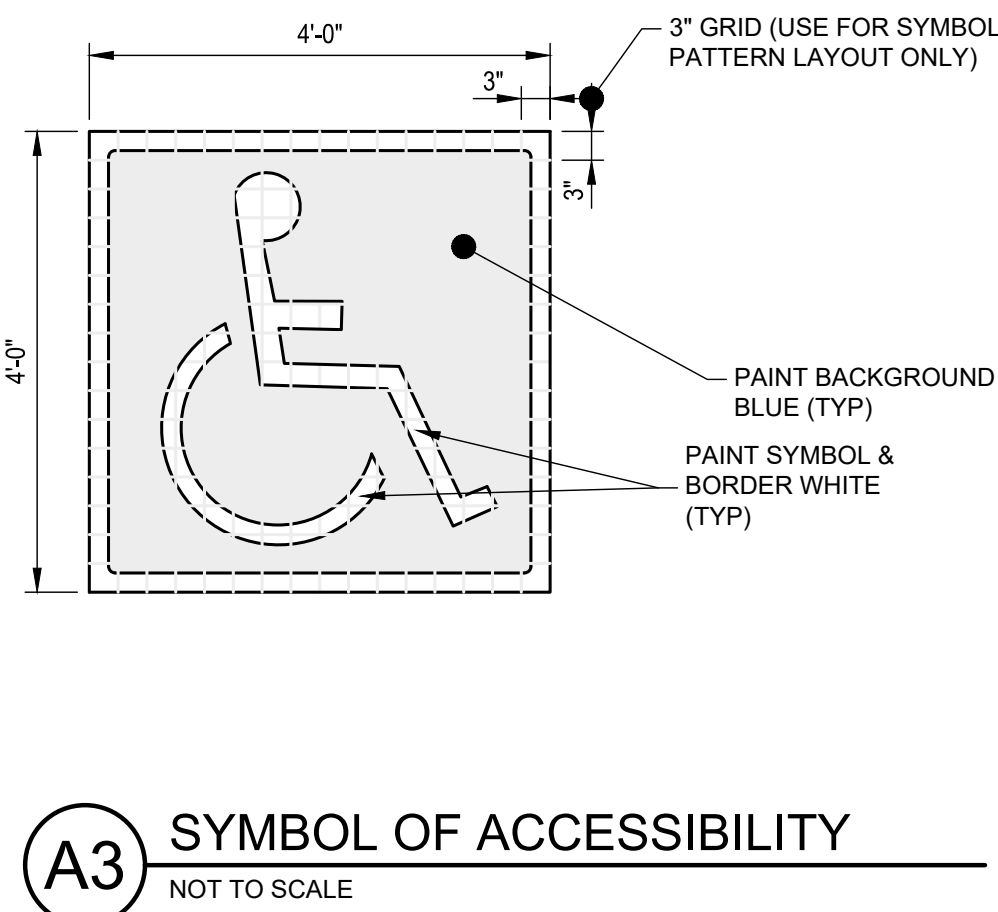
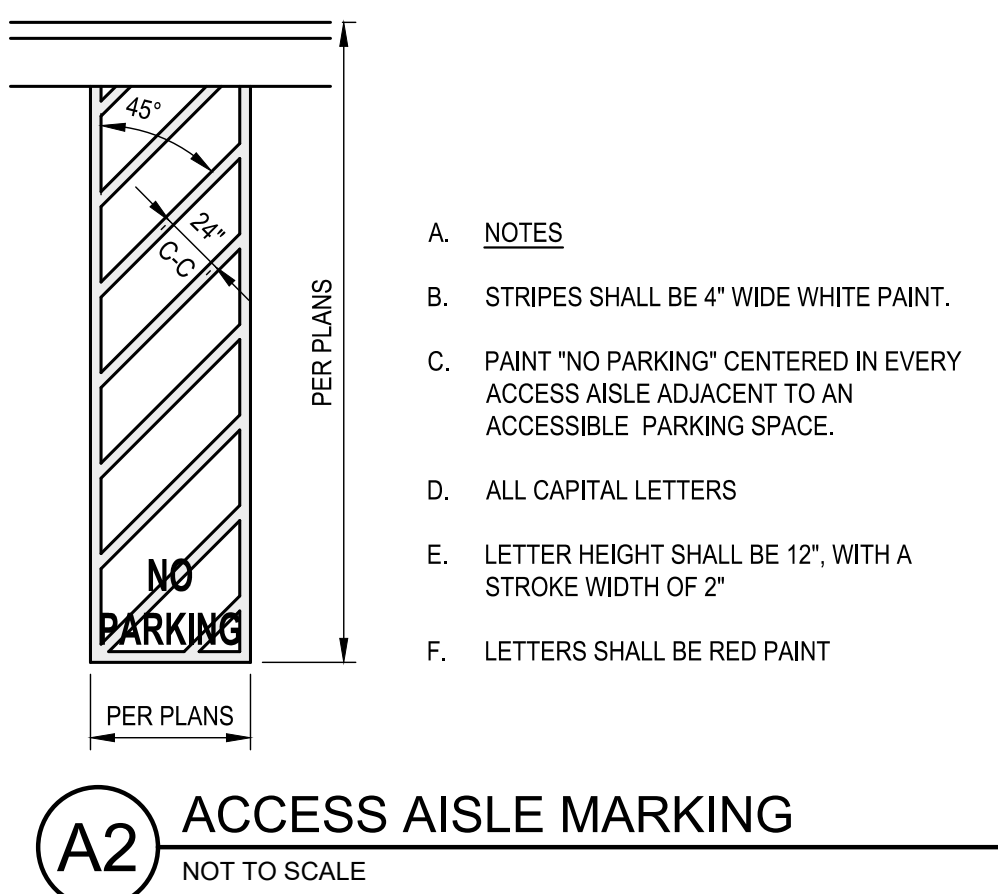
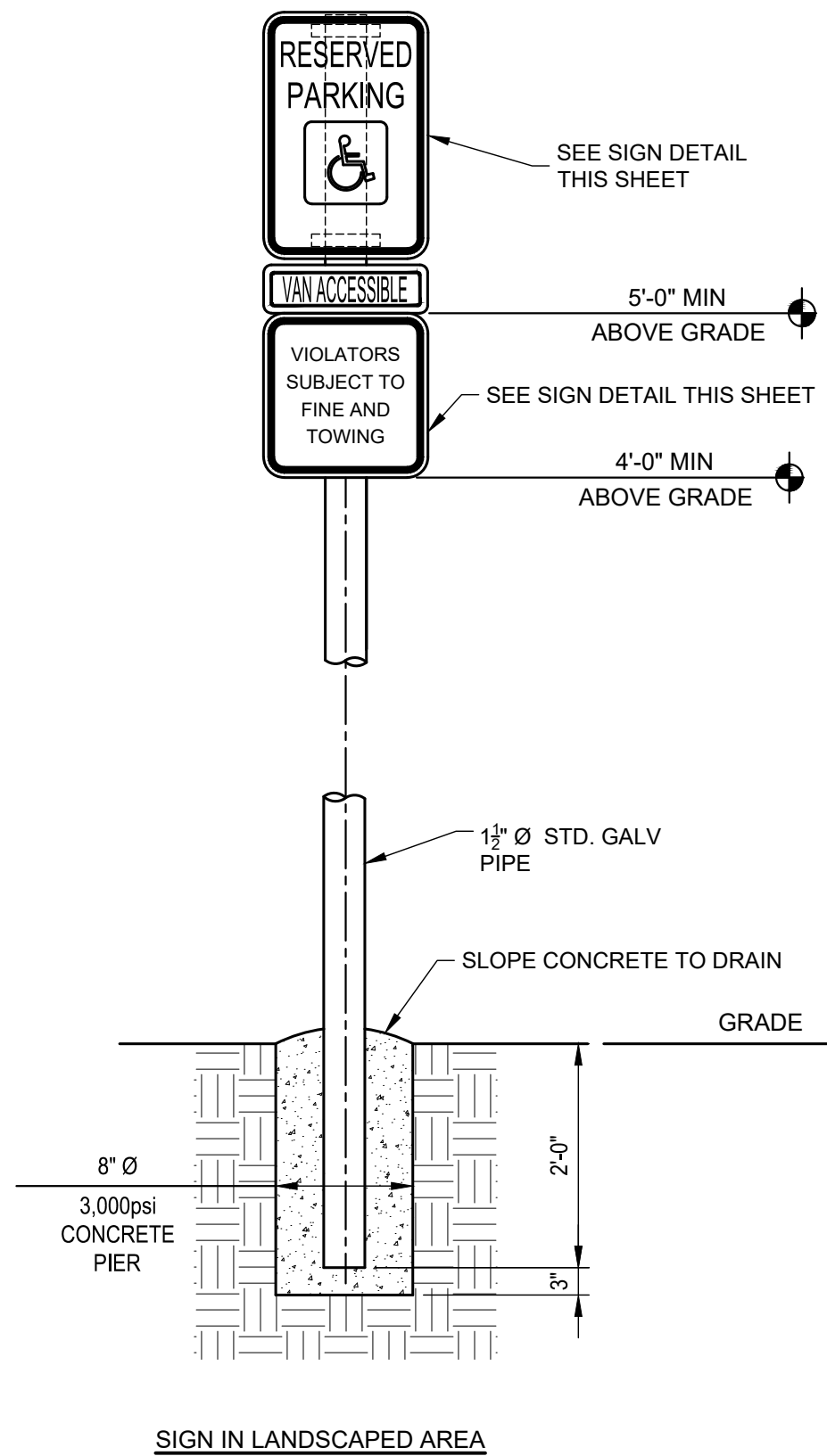
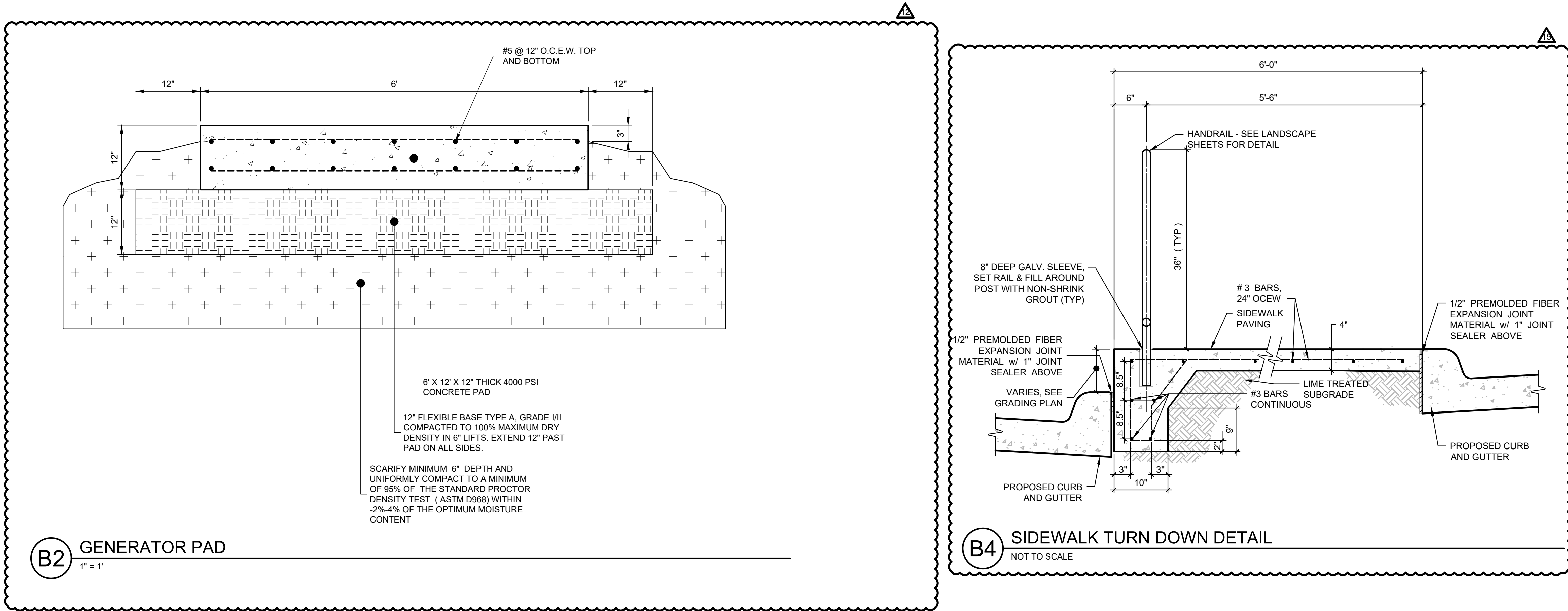
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16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
14	3/20/2025	RFI 064
13	12/12/2024	ASI 006
12	10/07/2024	CCR 006
8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction

Private Site Plan
Details
CS501

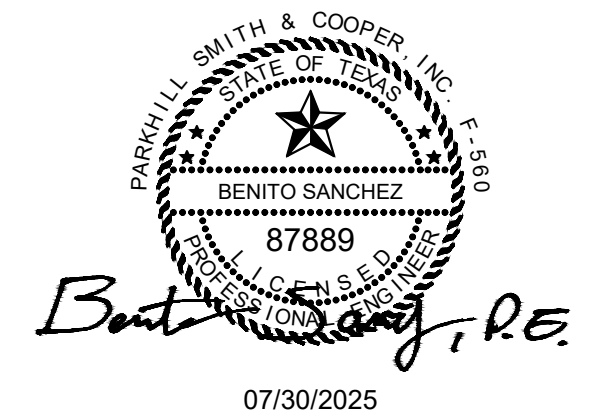
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



D2 JOINTS
NO SCALE



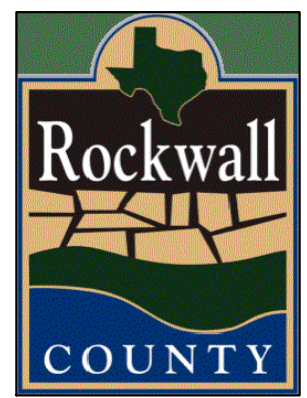
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RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex



CLIENT
Rockwall County
1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.
11987.22
KEY PLAN

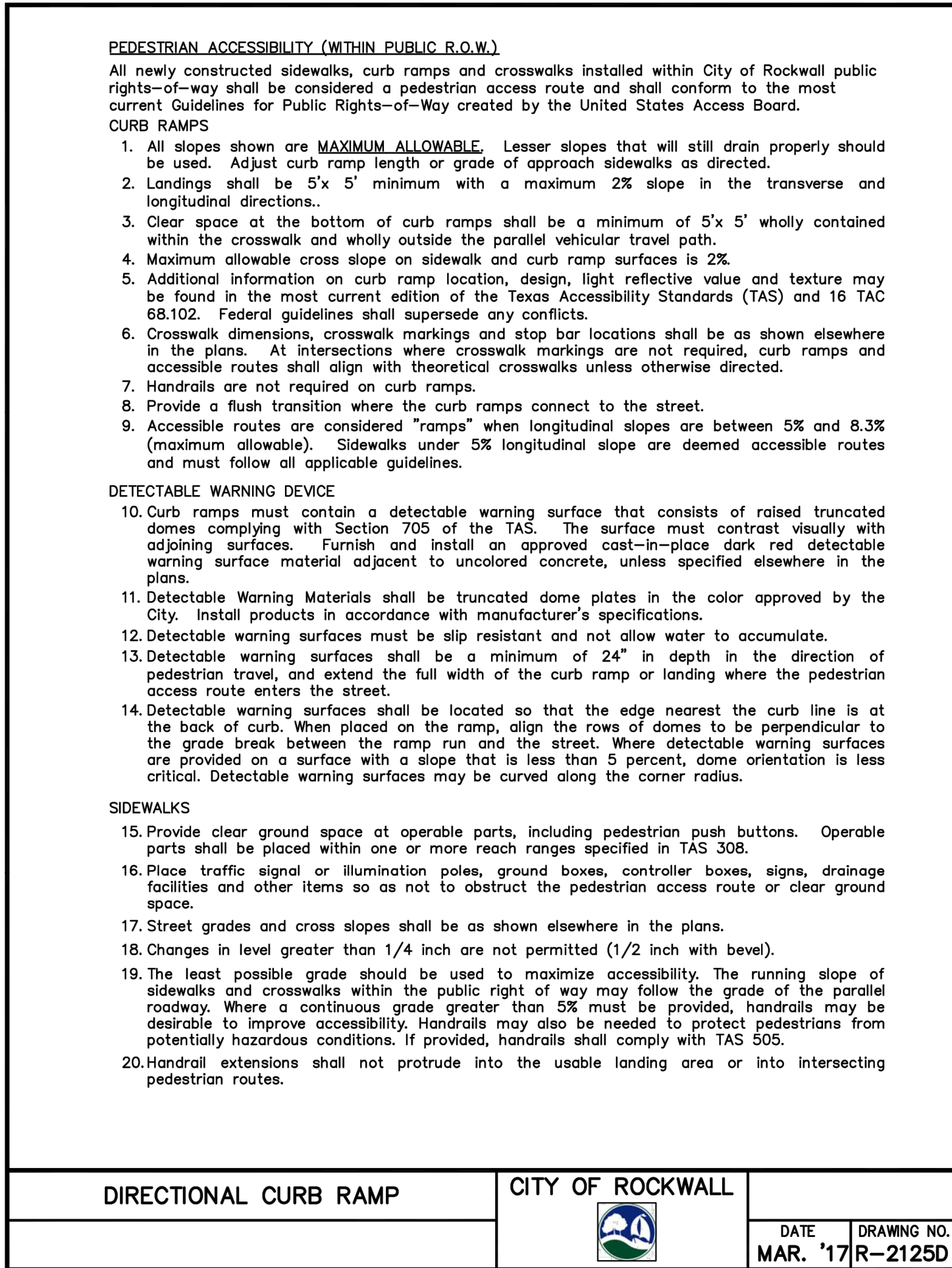
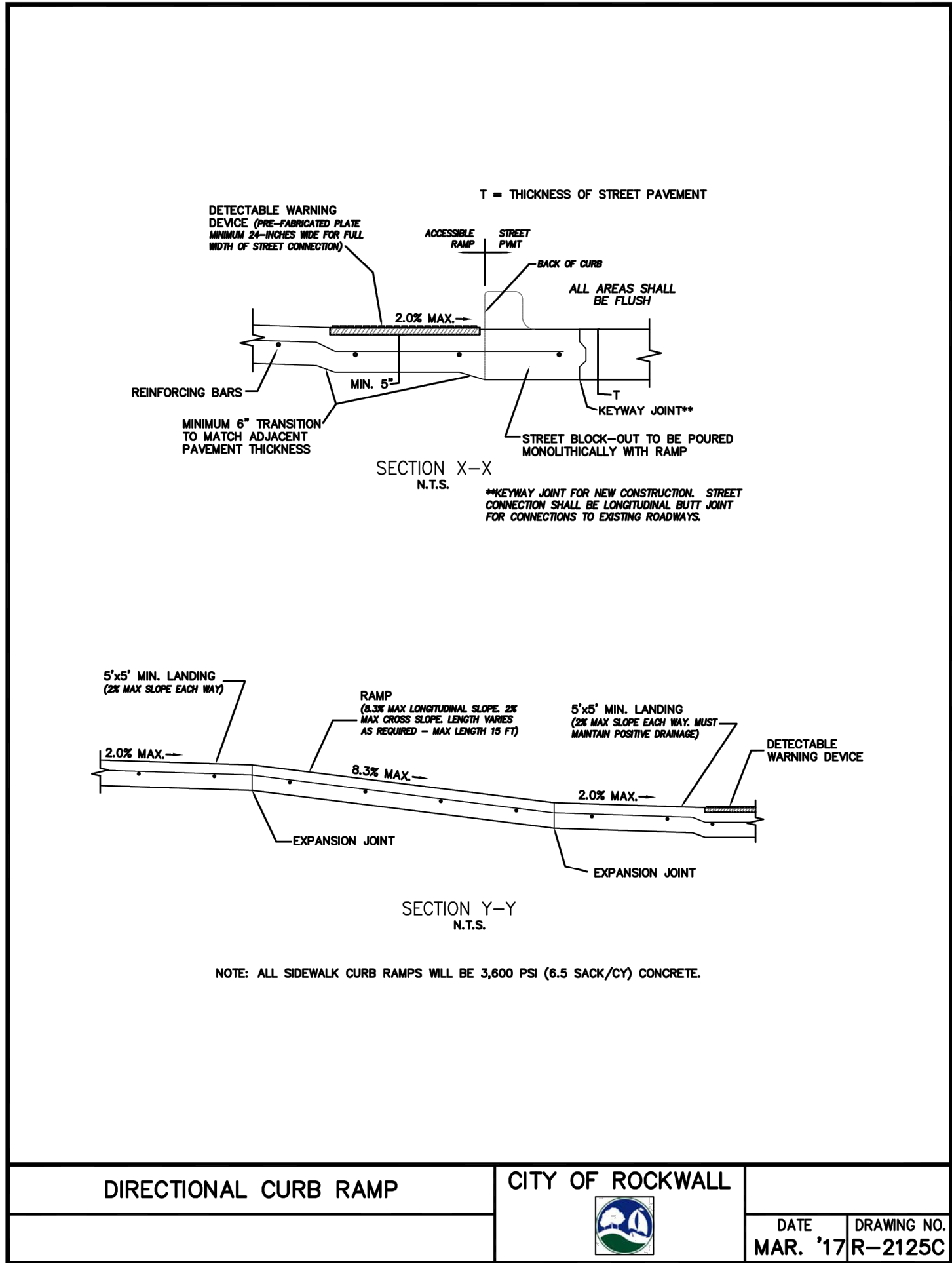
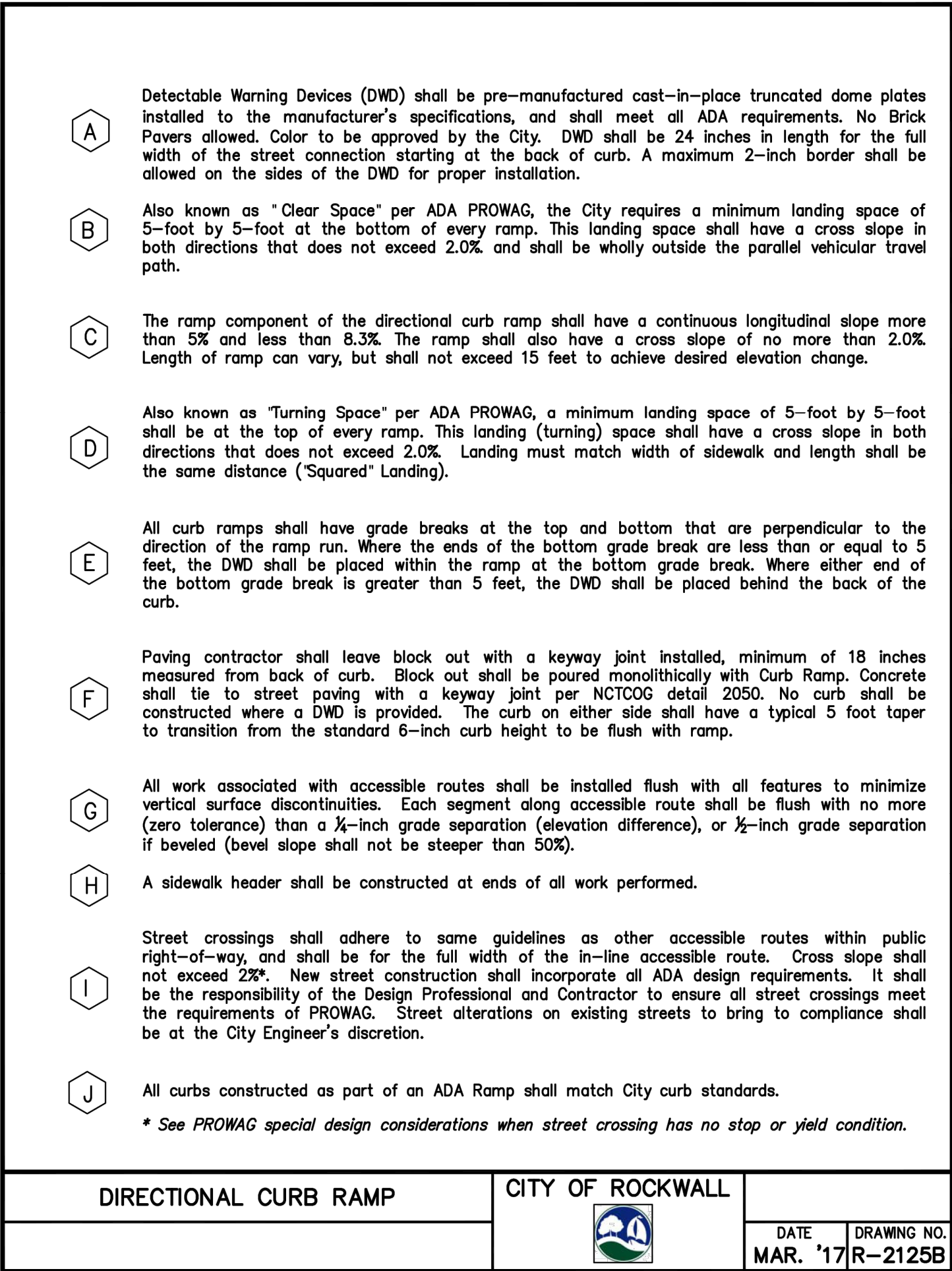
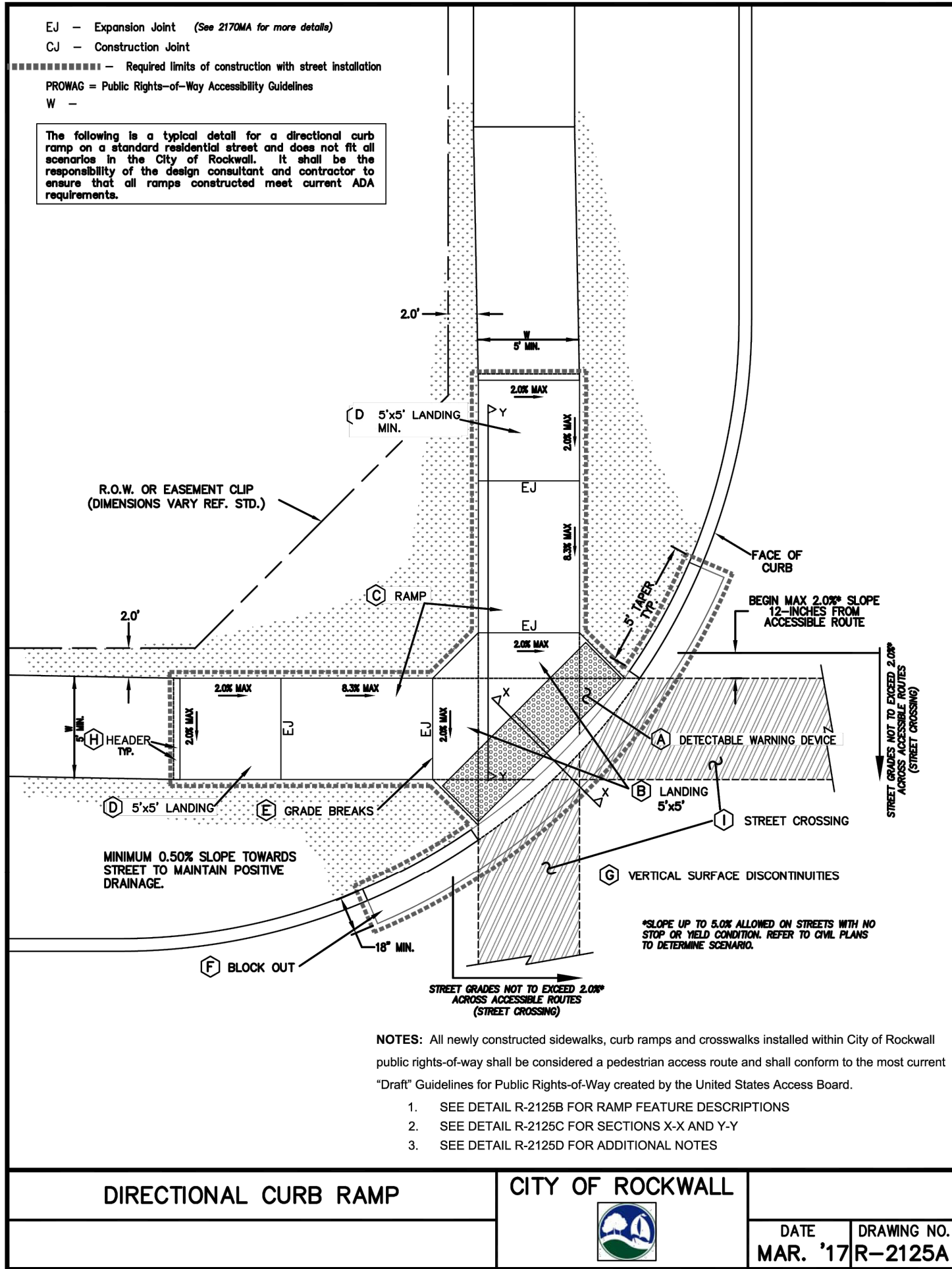
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-	03/01/2024	Issue For Construction

Private Site Plan
Details
CS502

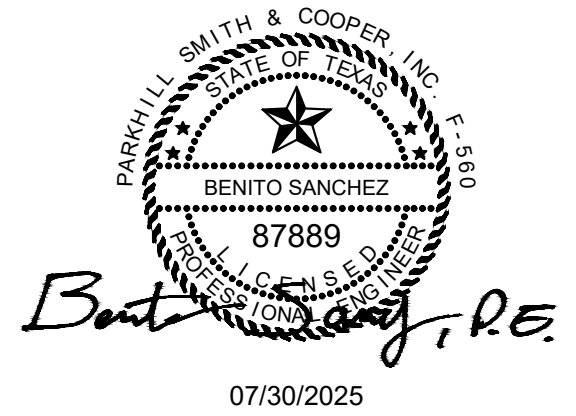
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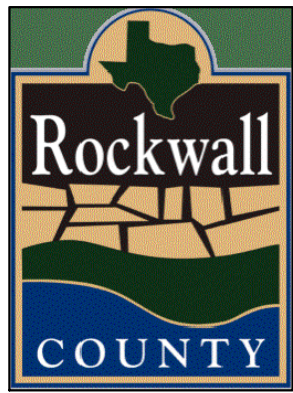
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Rockwall County Annex



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Rockwall County
 1101 E Yellowjacket Lane
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8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction

Site Plan Details
CS504



Style	Size (X x Y)	W	A x B (Nominal)	Short Span Rein Steel Area	Long Span Rein Steel Area
SL	3'x3'	6"	n/a	0.37 in ² /ft	0.37 in ² /ft
NR,RC,SH,SI,FG	3'x3'	6"	2'x3 or 3'x2 Dia	0.37 in ² /ft	0.37 in ² /ft
SL	3'x4'	6"	n/a	0.32 in ² /ft	0.32 in ² /ft
NR,RC,SH,SI,FG	3'x4'	6"	2'x3 or 3'x2 Dia	0.34 in ² /ft	0.34 in ² /ft
SL	4'x4'	6"	n/a	0.41 in ² /ft	0.41 in ² /ft
NR,RC,SH,SI,FG	4'x4'	6"	2'x3 or 3'x2 Dia	0.41 in ² /ft	0.41 in ² /ft
SL	4'x4'	6"	4'x4	0.32 in ² /ft	0.32 in ² /ft
NR,RC,SH,SI,FG	4'x4'	6"	4'x4	0.36 in ² /ft	0.36 in ² /ft
SL	4'x5'	6"	2'x3 or 3'x2 Dia	0.45 in ² /ft	0.45 in ² /ft
NR,RC,SH,SI,FG	4'x5'	6"	2'x3 or 3'x2 Dia	0.47 in ² /ft	0.47 in ² /ft
SL	5'x5'	6"	3'x3	0.48 in ² /ft	0.48 in ² /ft
NR,RC,SH,SI,FG	5'x5'	6"	3'x3	0.52 in ² /ft	0.52 in ² /ft
SL	5'x6'	6"	3'x3	0.32 in ² /ft	0.32 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	2'x3 or 3'x2 Dia	0.42 in ² /ft	0.42 in ² /ft
SL	5'x6'	6"	4'x4	0.63 in ² /ft	0.63 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	4'x4	0.66 in ² /ft	0.66 in ² /ft
SL	5'x6'	6"	3'x6	0.36 in ² /ft	0.36 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	2'x3 or 3'x2 Dia	0.42 in ² /ft	0.42 in ² /ft
SL	5'x6'	6"	4'x4	0.63 in ² /ft	0.63 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	4'x4	0.66 in ² /ft	0.66 in ² /ft
SL	5'x6'	6"	5'x6	0.63 in ² /ft	0.63 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	5'x6	0.66 in ² /ft	0.66 in ² /ft
SL	5'x6'	6"	6'x6	0.48 in ² /ft	0.48 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	2'x3 or 3'x2 Dia	0.63 in ² /ft	0.63 in ² /ft
SL	5'x6'	6"	6'x6	0.60 in ² /ft	0.60 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	2'x3 or 3'x2 Dia	0.60 in ² /ft	0.60 in ² /ft
SL	5'x6'	6"	6'x6	0.43 in ² /ft	0.43 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	6'x6	0.56 in ² /ft	0.56 in ² /ft
SL	5'x6'	6"	6'x6	0.56 in ² /ft	0.56 in ² /ft
NR,RC,SH,SI,FG	5'x6'	6"	6'x6	0.59 in ² /ft	0.59 in ² /ft
SL	8'x8'	8"10"	n/a	0.45 in ² /ft	0.45 in ² /ft
NR,RC,SH,SI,FG	8'x8'	8"10"	2'x3 or 3'x2 Dia	0.45 in ² /ft	0.45 in ² /ft
SL	8'x10'	8"10"	n/a	0.45 in ² /ft	0.45 in ² /ft
NR,RC,SH,SI,FG	8'x10'	8"10"	2'x3 or 3'x2 Dia	0.45 in ² /ft	0.45 in ² /ft

FABRICATION NOTES

1. Locate penetration (Style "RH"), ring and cage (Style "RL", ring and cage (Style "RG"), and frame and cage (Style "RG") in a corner. Only one penetration is allowed per corner.
2. Provide Class "H" concrete in accordance with Item 421 and allow a minimum of 100 mm of vertical strength.
3. Provide Grade 60 reinforcing steel or equivalent area of WWR.
4. Provide clear cover of $\frac{3}{4}$ " to reinforcing from lower outside shoulder of slab for horizontal reinforcement and 2" for vertical reinforcement. Place short span reinforcing closest to surface.
5. Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcement. Provide reinforcement in accordance with Table 1.
6. No substitution is allowed for diagonal #4 bars around openings.
7. Design top and groove joints for full closure on both shoulders. Minimum reinforcement is $\frac{3}{4}$ ".
8. Provide lifting devices in conformance with Manufacturer's recommendations.


INSTALLATION NOTES

1. Precast slab lids are intended for direct traffic and may be placed in roadway.
2. Seal joints and groove joints with preformed or bulk mastic in conformance with manufacturer's recommendations. Sealant must be applied to the joint, not grouted no more than 1" between each section, or $\frac{1}{2}$ " the joint depth, whichever is greater.
3. Do not use rubber gasket joints without Manufacturer's recommendation.
4. Initial installation of grade adjustment joints for Styles 'RF' and 'SF' is limited to 1'-0" Max as shown.
5. For Styles 'RF' and 'SF' may be increased to 2'-0" if allowed by the engineer when future construction affects final grade of structure. Make adjustments for 1'-0" or 2'-0" of depth as shown. If the depth of the joint is less than the depth shown on section PDD. Structure must be evaluated if Max depth will be exceeded.
6. Orient long dimension of grade slots perpendicular to traffic, unless noted otherwise on plans

GENERAL NOTES:

1. Designed according to ASTM C913.
2. Payment for lid is per Item 465, "Junction Boxes, Manholes, and Inlets" by type, style, size, and opening size (when applicable).

Cover dimensions are clear dimensions, unless noted otherwise.

HL93 LOADING	SHEET 2 OF 2																																
 Texas Department of Transportation	Bridge Division Standard																																
<div style="font-size: 2em; font-weight: bold;">PRECAST SLAB LID</div>																																	
<div style="font-size: 3em; font-weight: bold;">PSL</div>																																	
FILE: CD-PSL-30.dgn ©TxDOT February 2009 REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>OK</th> <th>TxDOT</th> <th>CX</th> <th>TxDOT</th> <th>DN</th> <th>TxDOT</th> <th>CX</th> <th>TxDOT</th> </tr> </thead> <tbody> <tr> <td></td> <td>CDOT</td> <td>SECT</td> <td></td> <td>JSR</td> <td></td> <td></td> <td>MANAGER</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>DISP</td> <td></td> <td></td> <td>COUNTY</td> <td></td> <td></td> <td>SHEET NO.</td> </tr> </tbody> </table>	OK	TxDOT	CX	TxDOT	DN	TxDOT	CX	TxDOT		CDOT	SECT		JSR			MANAGER										DISP			COUNTY			SHEET NO.
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	DISP			COUNTY			SHEET NO.																										

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

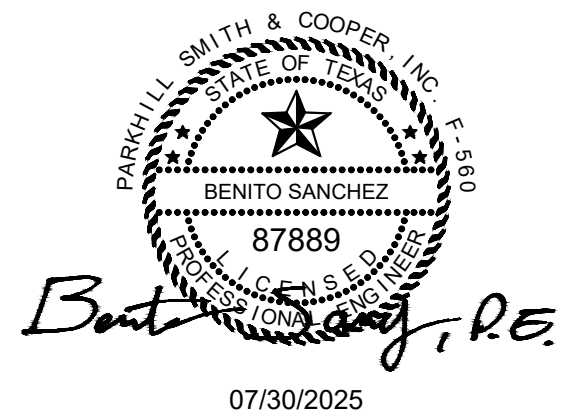
KEY PLAN

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-	03/01/2024	Issue For Construction
#	DATE	DESCRIPTION

SURVEY CONTROL				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
ON-SITE CONTROL SET				
110	7021202.65	2597382.11	570.00	#4 BAR W/LEMKE CAP
111	7021835.19	2597592.84	578.73	#4 BAR W/LEMKE CAP
112	7021699.15	2597317.26	576.98	#4 BAR W/LEMKE CAP
113	7021391.61	2597115.51	571.82	#4 BAR W/LEMKE CAP
OFF-SITE CONTROL (ROCKWALL)				
102	7029731.12	2598589.31	529.10	CP COR-2
106	7025942.63	2601204.04	558.61	CP COR-6
HORIZONTAL AND VERTICAL DATUM BASED ON ROCKWALL CONTROL MONUMENT COR-2				
HORIZONTAL DATUM: NAD83 (2011), TEXAS STATE PLANE, NORTH CENTRAL ZONE				
VERTICAL DATUM: NAVD88				

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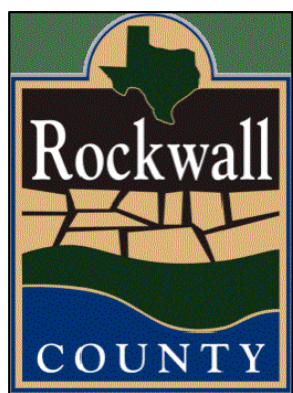
Parkhill



Parkhill.com
RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex

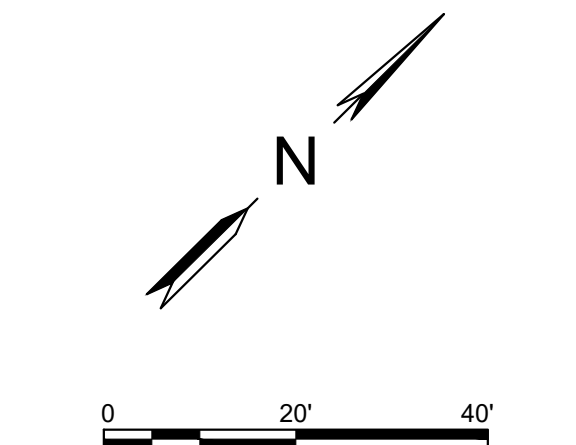


CLIENT
Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

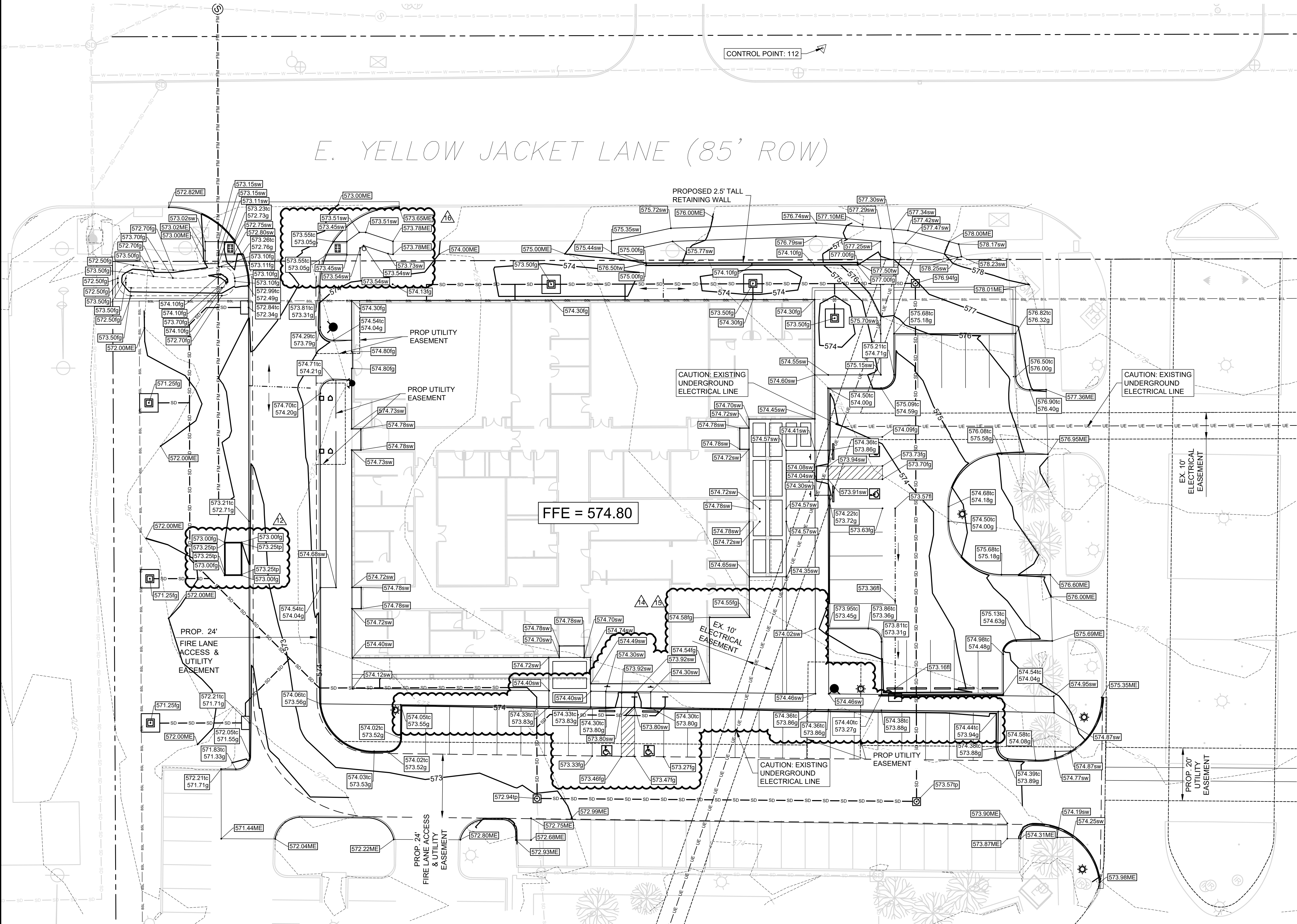
PROJECT NO.
11987.22

KEY PLAN



#	DATE	DESCRIPTION
17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
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8	07/18/2024	CCR 004
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-	03/01/2024	Issue For Construction

Grading Plan
CG101



TOTAL SITE AREA: 1.90 ACRES
TOTAL DISTURBED AREA: 1.78 ACRES

- GRADING NOTES**
- A. THE EXISTING CONTOURS AND SURFACE ELEVATIONS INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS AND SURFACE LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING HARD SURFACE PRIOR TO CONSTRUCTION, AND TO NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH EXISTING SURFACE ELEVATIONS.
 - B. MAXIMUM 2% SLOPE IN ALL DIRECTIONS IN ACCESSIBLE PARKING AREAS.
 - C. MAXIMUM 5% LONGITUDINAL SLOPE AND MAXIMUM 2% CROSS SLOPE FOR ALL ACCESSIBLE SIDEWALKS.
 - D. SEE SHEETS C-102A, C-102B, AND CS102 FOR MORE DETAILED CONTROL POINT & BENCHMARK INFORMATION.

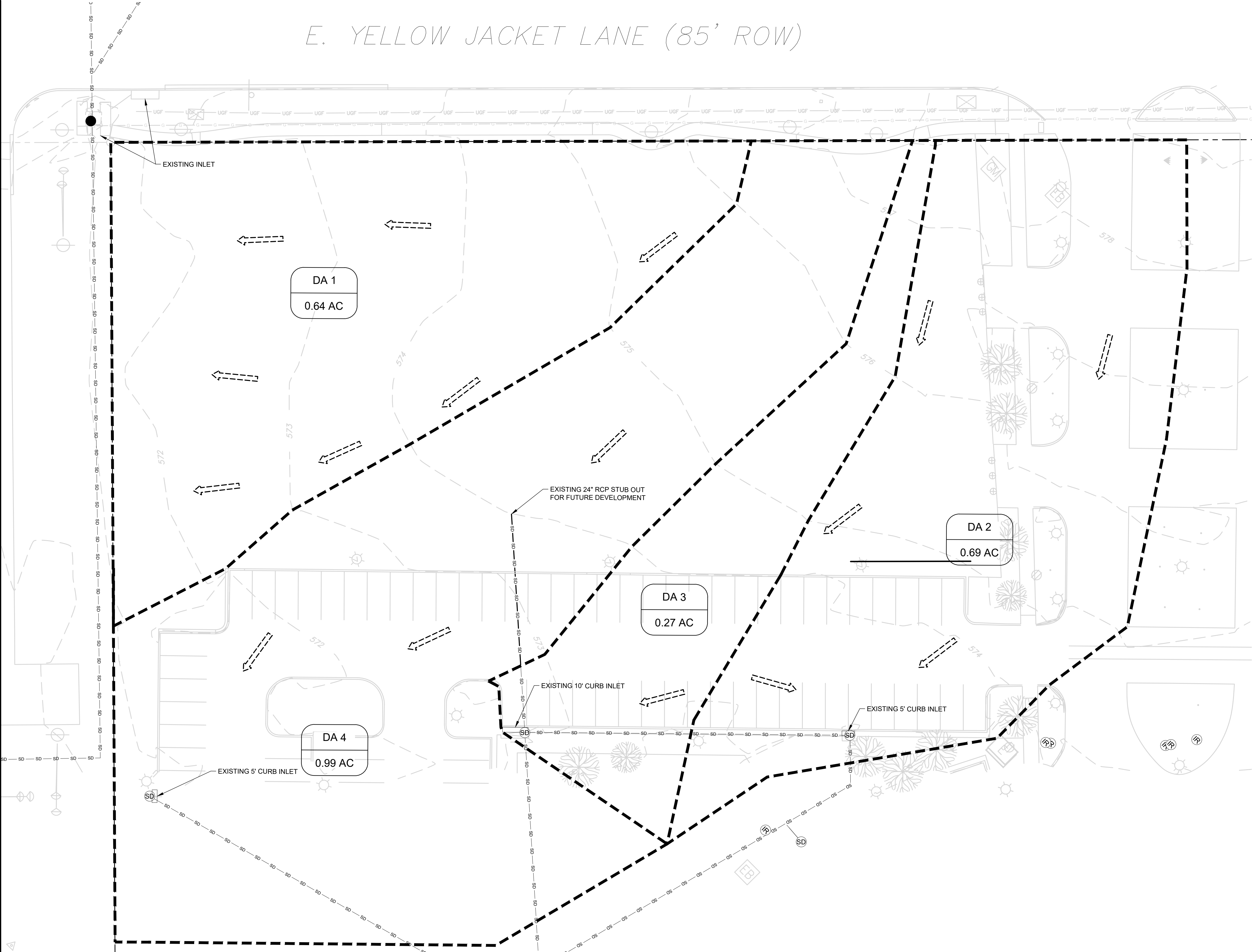
- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOURS (1.0' INTERVAL)
 - NEW CONTOURS (1.0' INTERVAL)
 - DIRECTION OF FLOW
 - SWALE
 - RIDGELINE
 - GRADE BREAK
 - NEW SPOT ELEVATION
- fg = finish grade
g = gutter
fl = flowline
tp = top of pavement
sw = sidewalk
tc = top of curb
ME = match existing
tw = top of wall

A1 GRADING PLAN
1" = 20'

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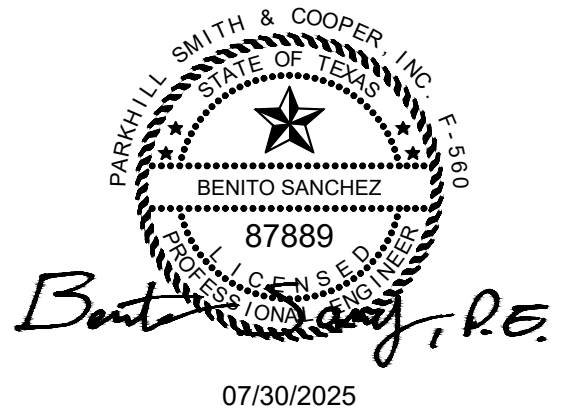
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EXISTING CONDITIONS HYDROLOGY CALCULATIONS										
D.A. No.	AREA ac.	C	I5 in/hr	I25 in/hr	I100 in/hr	Tc min	Q5 cfs	Q25 cfs	Q100 cfs	Notes
1	0.64	0.9	6.1	8.3	9.8	10.0	3.5	4.8	5.7	Grass flowing west to existing inlet
2	0.69	0.9	6.1	8.3	9.8	10.0	3.5	5.1	6.1	Existing Drive & Parking
3	0.27	0.9	6.1	8.3	9.8	10.0	3.5	2.0	2.4	Existing Parking & field
4	0.99	0.9	6.1	8.3	9.8	10.0	3.5	7.4	8.7	Existing Parking & field
Total	2.59						14.1	19.3	22.8	
NOTES:										
DRAINAGE ANALYSIS PERFORMED USING THE RATIONAL METHOD										
TIME OF CONCENTRATION CALCULATED USING TR-55 METHODOLOGY.										
10 MINUTE MINIMUM TIME OF CONCENTRATION										



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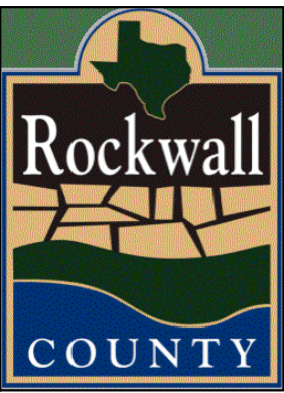
Parkhill



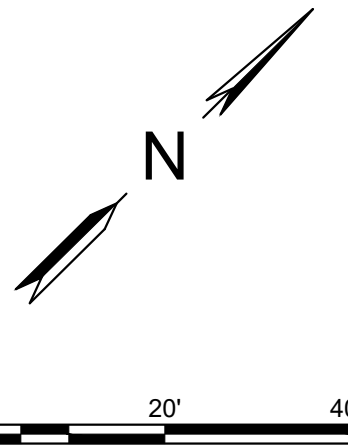
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Rockwall County Annex



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PROJECT NO.
11987.22
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-	03/01/2024	Issue For Construction

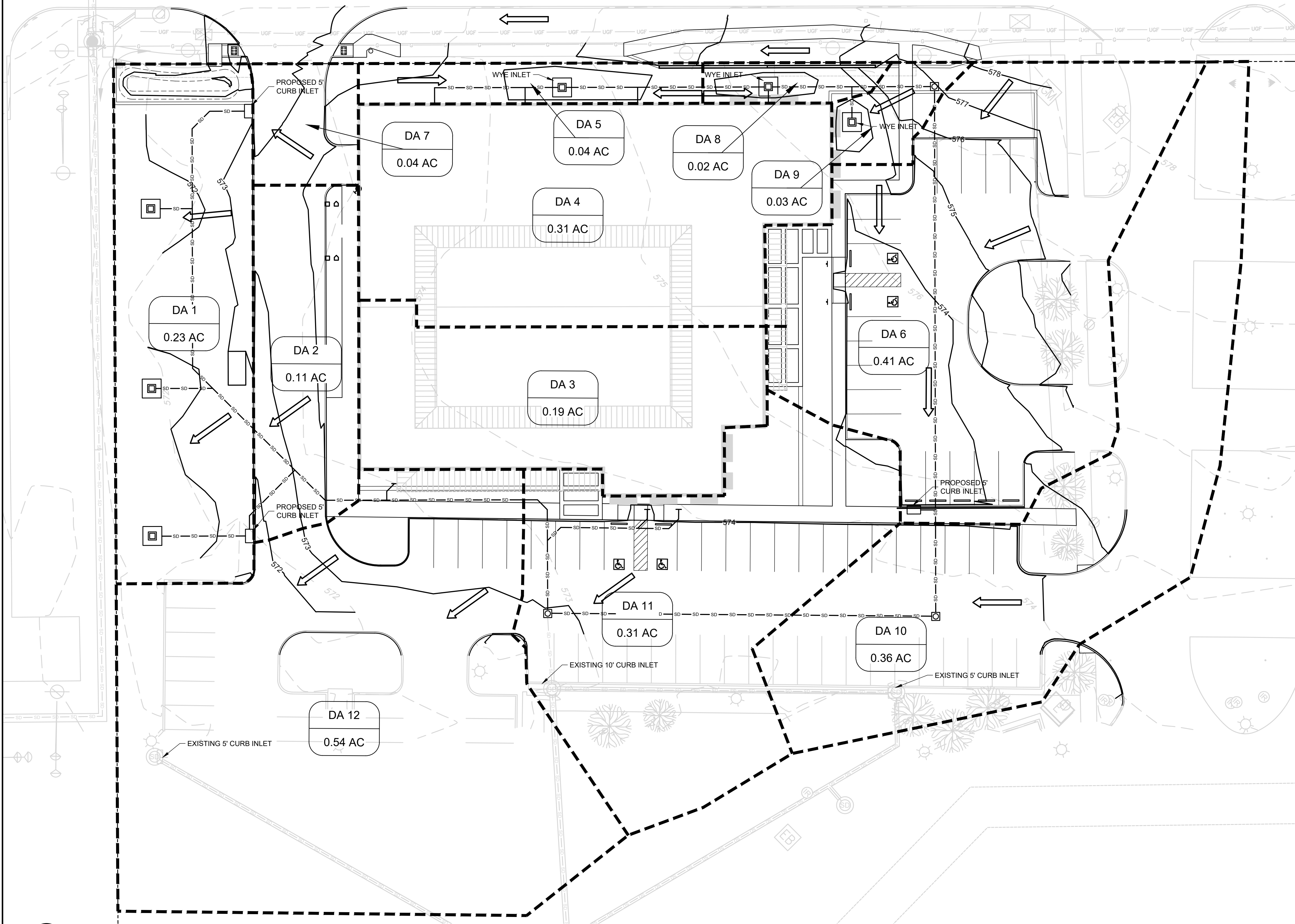
Pre-Development
Drainage Area
Map
CH001

A1 PRE-DEVELOPMENT DRAINAGE AREA MAP
1" = 20'

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PROPOSED CONDITIONS HYDROLOGY CALCULATIONS											
D.A.	Area	c	I ₅	I ₂₅	I ₁₀₀	T _c	Q ₅	Q ₂₅	Q ₁₀₀	Notes	
No.	ac.		in/hr	in/hr	in/hr	min	cfs	cfs	cfs		
1	0.23	0.90	6.10	8.30	9.80	10.00	1.24	1.69	1.99	FLOWS WEST TO EXISTING SWALE & INLET	
2	0.11	0.90	6.10	8.30	9.80	10.00	0.62	0.84	1.00	FLOWS TO PROPOSED CURB INLET	
3	0.19	0.90	6.10	8.30	9.80	10.00	1.05	1.43	1.69	SOUTH ROOF	
4	0.31	0.90	6.10	8.30	9.80	10.00	1.68	2.29	2.70	NORTH ROOF	
5	0.04	0.90	6.10	8.30	9.80	10.00	0.24	0.33	0.39	FLOWS TO PROPOSED INLET	
6	0.41	0.90	6.10	8.30	9.80	10.00	2.24	3.05	3.60	FLOWS TO PROPOSED CURB INLET	
7	0.04	0.90	6.10	8.30	9.80	10.00	0.22	0.30	0.35	FLOWS TO PROPOSED CURB INLET	
8	0.02	0.90	6.10	8.30	9.80	10.00	0.12	0.16	0.19	FLOWS TO PROPOSED INLET	
9	0.03	0.90	6.10	8.30	9.80	10.00	0.15	0.20	0.24	FLOWS TO PROPOSED INLET	
10	0.36	0.90	6.10	8.30	9.80	10.00	2.00	2.72	3.21	FLOWS TO EXISTING CURB INLET	
11	0.31	0.90	6.10	8.30	9.80	10.00	1.68	2.29	2.70	FLOWS TO EXISTING CURB INLET	
12	0.54	0.90	6.10	8.30	9.80	10.00	2.95	4.01	4.74	FLOWS TO EXISTING CURB INLET	
Total							14.19	19.31	22.80		
NOTES:											
DRAINAGE ANALYSIS PERFORMED USING THE RATIONAL METHOD											
TIME OF CONCENTRATION CALCULATED USING TR-55 METHODOLOGY.											
10 MINUTE MINIMUM TIME OF CONCENTRATION											

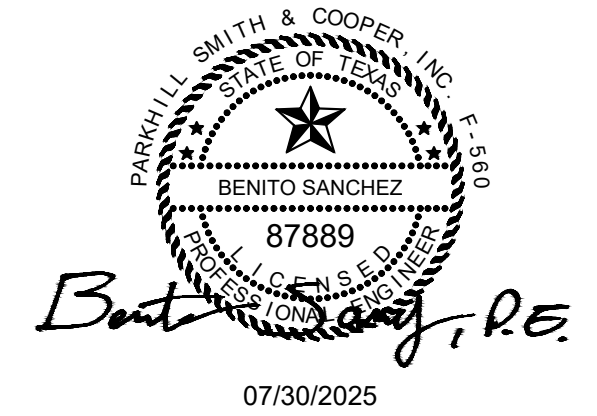
E. YELLOW JACKET LANE (85' ROW)



NOTE: DETENTION FOR THIS SITE HAS ALREADY BEEN PROVIDED VIA THE ROCKWALL COUNTY COURTHOUSE DEVELOPMENT

- LEGEND**
- PROPERTY LINE
 - EASEMENT
 - PROPOSED CONTOURS (1' INTERVAL)
 - FLOW DIRECTION (PROPOSED)

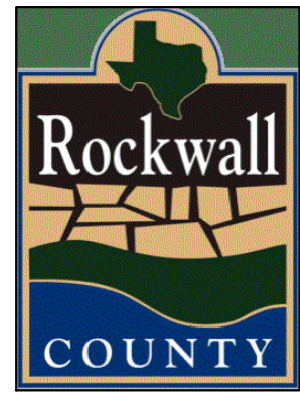
Parkhill



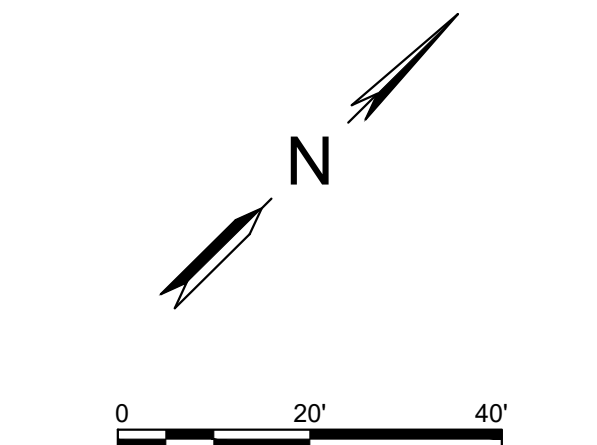
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Rockwall County Annex




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PROJECT NO.
11987.22
KEY PLAN



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**Post-Development
Drainage Area
Map
CH002**

A1 POST-DEVELOPMENT DRAINAGE AREA MAP
1" = 20'

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County

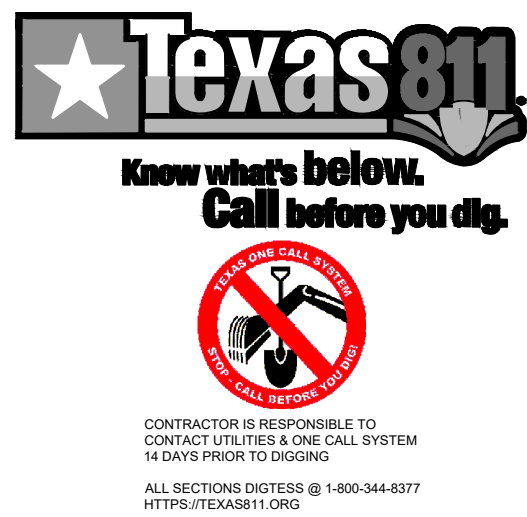
KEY PLAN

Drainage Calculations

CH003

Existing Curb Inlet Capacity			
L (ft)	y (ft)	W (ft)	Qmax (cfs)
5	0.5	2	6.99
10	0.5	2	11.06

Proposed Curb Inlet Capacity			
L (ft)	y (ft)	W (ft)	Qmax (cfs)
5	0.5	2	6.99
10	0.5	2	11.06



KEY NOTES

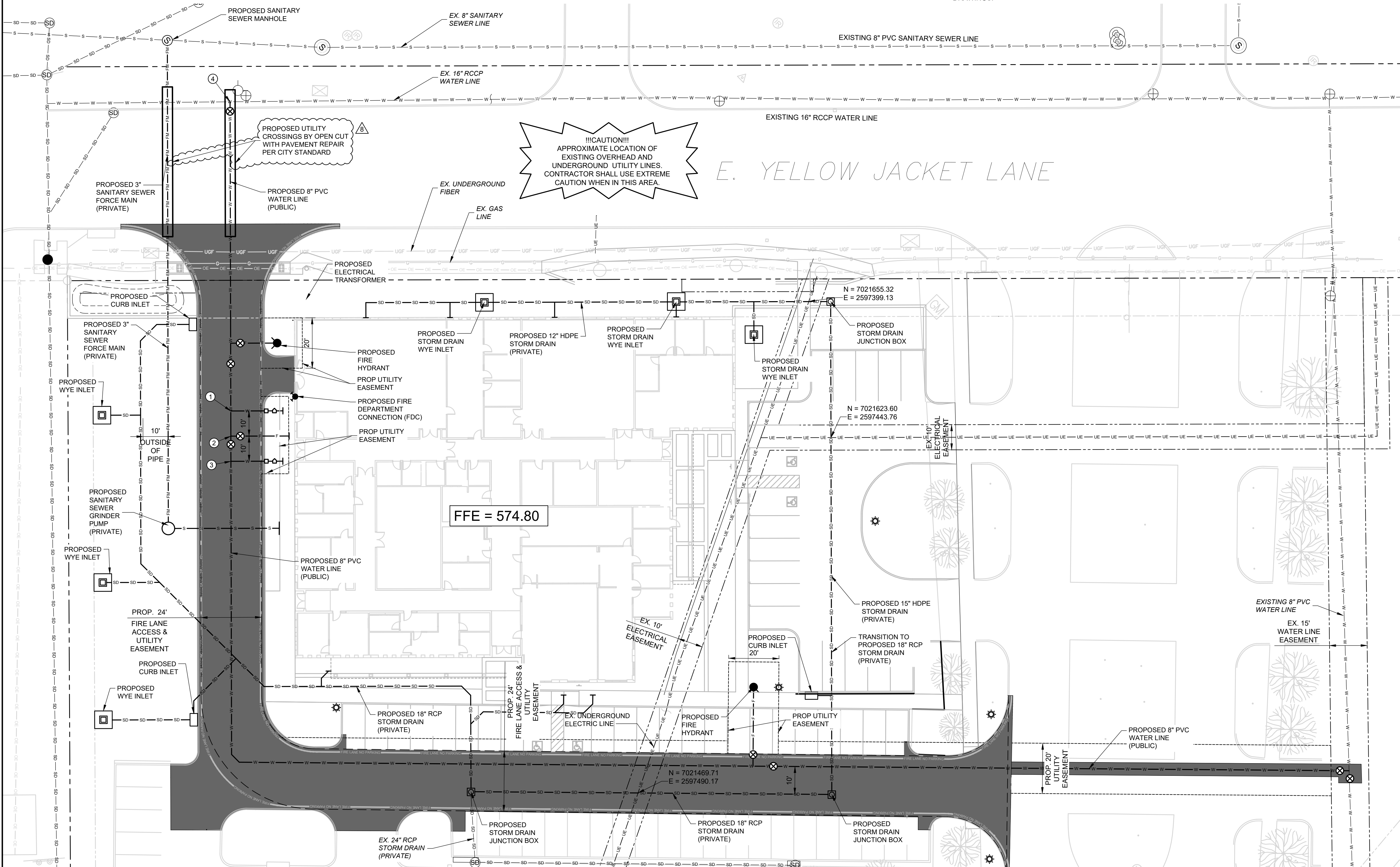
- AS INDICATED BY: (00)
- 2" DOMESTIC WATER SERVICE TAP & METER WITH TESTABLE BACKFLOW PREVENTER - SEE SHEET CU202
 - 6" FIRE SERVICE CONNECTION WITH DOUBLE CHECK DETECTOR IN THE BUILDING - SEE SHEET CU202
 - 2" IRRIGATION TAP & METER WITH TESTABLE BACKFLOW PREVENTER (SEE IRRIGATION PLAN FOR DETAILS)
 - 16"x8" TAPPING SLEEVE AND 8" VALVE - SEE SHEET CU202

UTILITY NOTES

- A. THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- B. REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- C. PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- D. WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- E. COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE.
- F. FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- G. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND ALL APPLICABLE CODES.
- H. DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

LEGEND

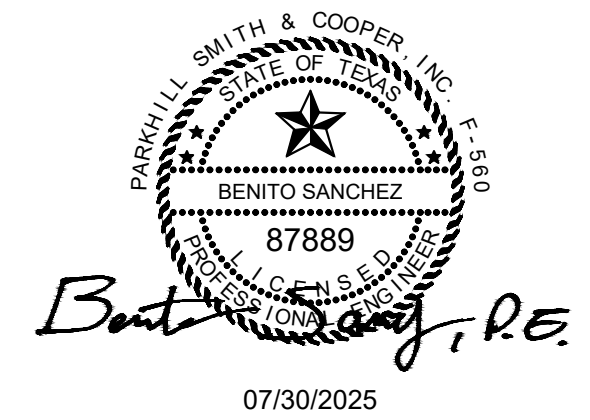
- PROPERTY LINE
- s --- s --- EXISTING SANITARY SEWER LINE WITH MANHOLE
- w --- w --- EXISTING WATER LINE WITH VALVE
- x --- x --- EXISTING FIRE HYDRANT
- sd --- sd --- EXISTING STORM DRAIN LINE
- sd --- sd --- NEW STORM DRAIN LINE
- e --- e --- NEW ELECTRIC LINE
- w --- w --- NEW PVC C-900 DOMESTIC WATER LINE WITH VALVE
- f --- f --- NEW PVC C-900 DR-14 FIRE PROTECTION WATER LINE
- x --- x --- NEW FIRE HYDRANT
- s --- s --- NEW PVC (SDR-35) SANITARY SEWER SERVICE LINE
- NEW UTILITY EASEMENT
- △ TESTABLE BACKFLOW PREVENTER



A1 OVERALL UTILITY AND STORM DRAIN PLAN

1" = 20'

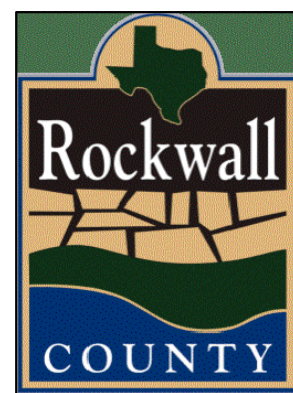
Parkhill



Record Drawing
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Rockwall County Annex



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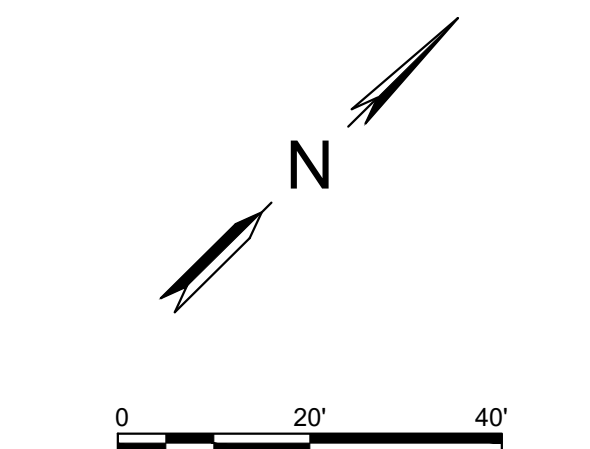
Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

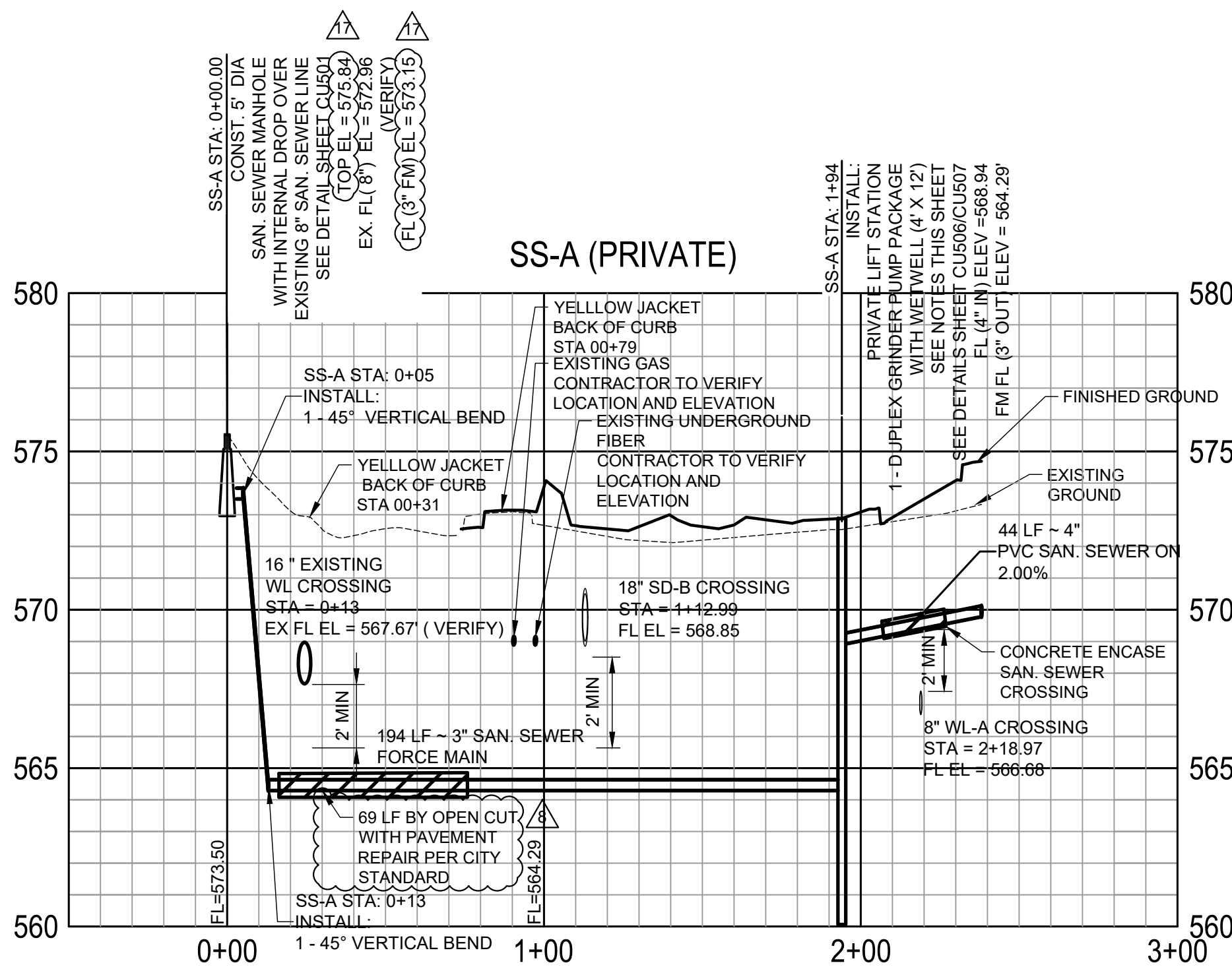
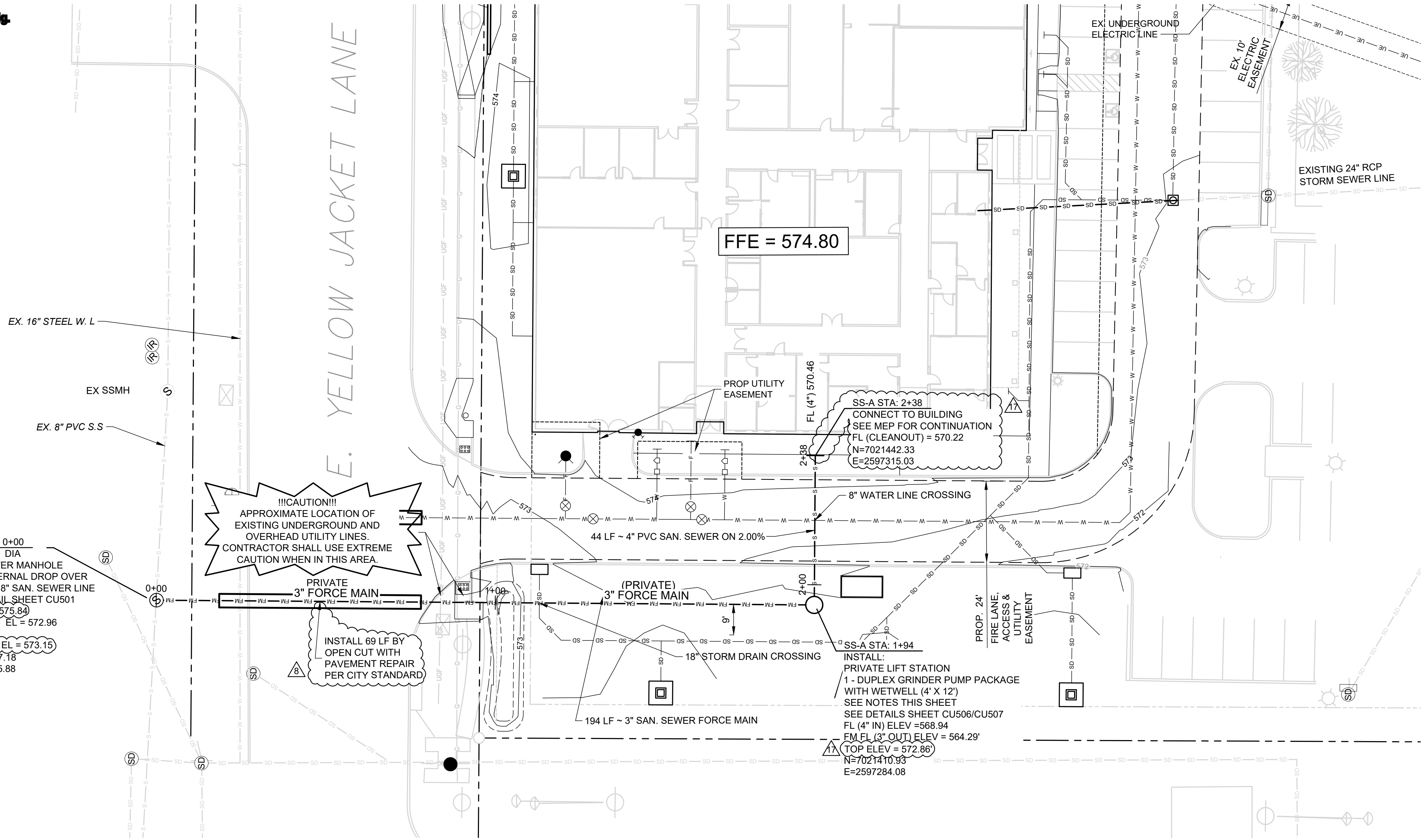


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-	03/01/2024	Issue For Construction

Overall Utility
And Storm Drain
Plan
CU101



CONTRACTOR IS RESPONSIBLE TO
CONTACT UTILITIES & ONE CALL SYSTEM
14 DAYS PRIOR TO DIGGING.
ALL SECTIONS DIGRESS @ 1-800-344-8377
HTTP://TEXAS811.ORG



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UTILITY NOTES

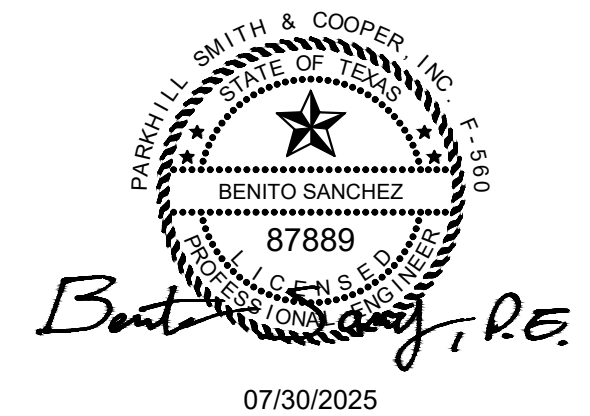
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- REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE 972-771-7774
- FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND ALL APPLICABLE CODES.
- DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

LIFT STATION NOTES

- REQUIRED ELECTRICAL CONTROLS: STACON/FLYGT DUPLEX CONTROL PANEL, NEMA 3R PAINTED STEEL ENCLOSURE, DEAD FRONT, 208/3 INPUT, NEMA BREAKERS/STARTERS/CONTROL FEATURES, 1.0 METER PROBE WITH 50 FEET OF CABLE, HIGH LEVEL ALARM LIGHT WITH HORN/ASS, PUMP MONITOR RELAYS (TO WORK WITH FLYGT FLS AND TS SENSORS). CONTROL PANEL TO BE LOCATED ON BUILDING. SEE ARCHITECTURAL SHEETS.
- VENT PIPE WILL BE FITTED WITH STAINLESS STEEL INSECT SCREEN.
- FORCE MAIN WILL BE RESTRAINED WITHIN THE MANHOLE AND TURNED DOWN WITH A 90 DEGREE BEND TO PREVENT TURBULENT FLOW. PROPOSED MANHOLE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ROCKWALL CONSTRUCTION DETAIL R-5031.
- MECHANICAL JOINT RESTRAINTS WILL BE PROVIDED AT BENDS ON THE FORCE MAIN.
- FORCE MAIN WILL BE CAPPED WITH FLOWABLE FILL IN AREAS WHERE DEPTH OF COVER IS 2 FEET.

LEGEND

- PROPERTY LINE
- EXISTING SANITARY SEWER LINE WITH MANHOLE
- EXISTING WATER LINE WITH VALVE
- EXISTING FIRE HYDRANT
- EXISTING STORM SEWER LINE
- STORM SEWER LINE
- ELECTRIC LINE
- DOMESTIC WATER LINE WITH VALVE
- FIRE PROTECTION WATER LINE
- FIRE HYDRANT
- SANITARY SEWER
- SANITARY SEWER FORCE MAIN
- UTILITY EASEMENT
- JUNCTION BOX
- WYE INLET
- TESTABLE BACKFLOW PREVENTER

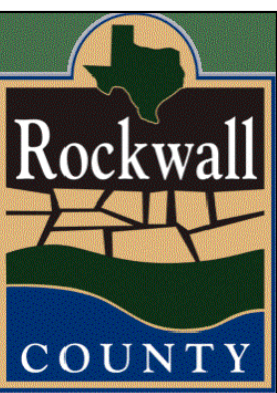


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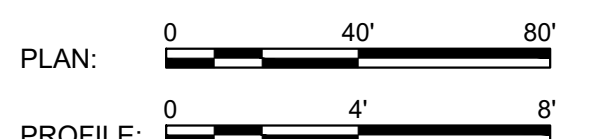
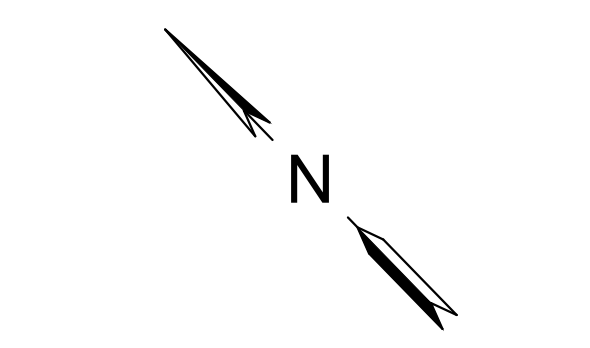


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PROJECT NO.
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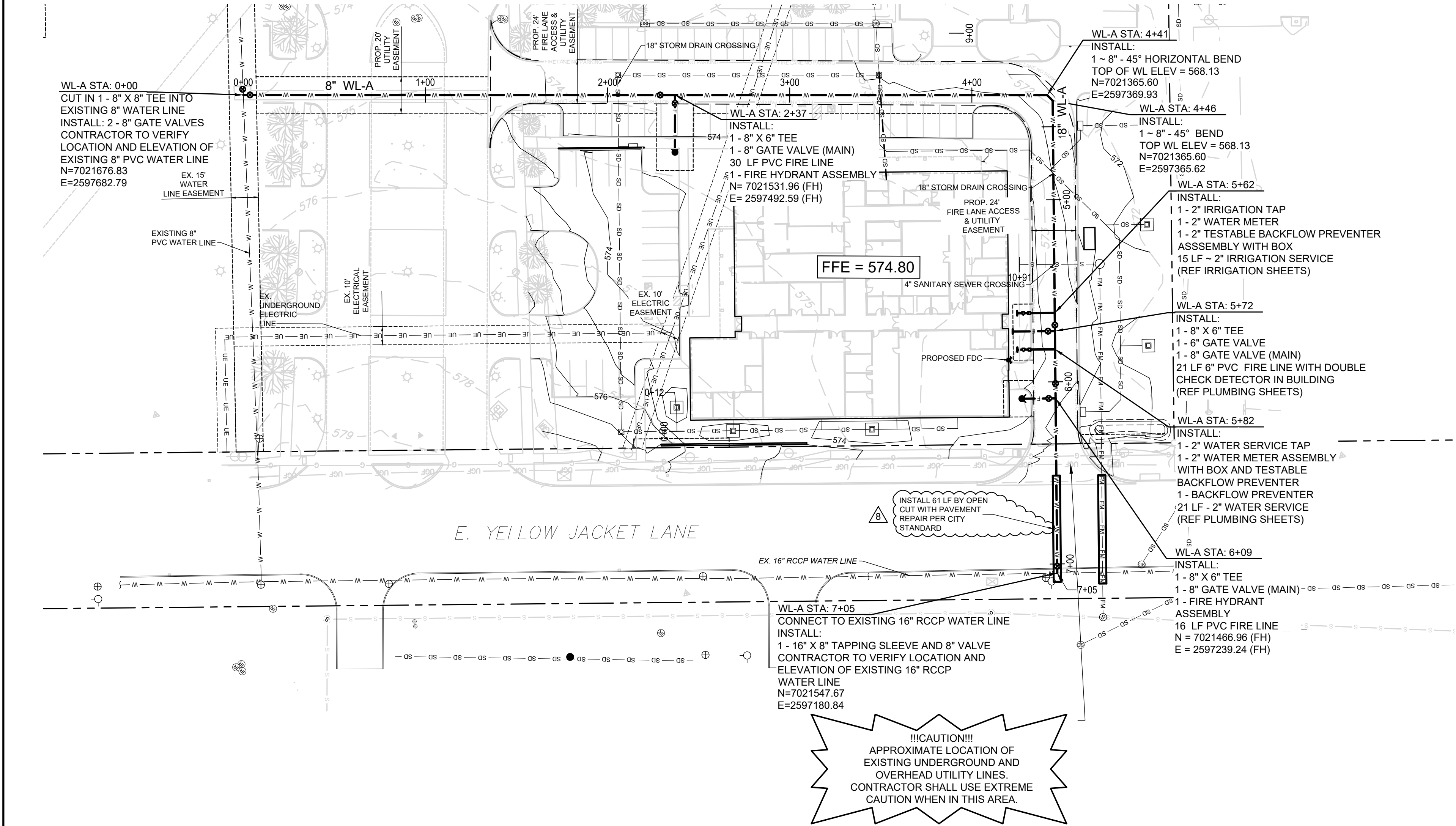
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-	03/01/2024	Issue For Construction

Sanitary Sewer Plan And Profile CU201

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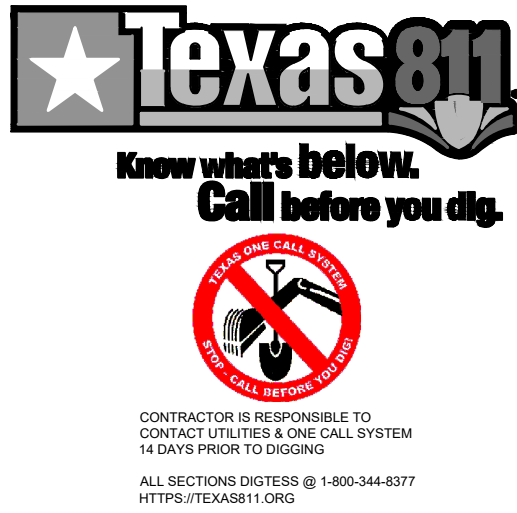
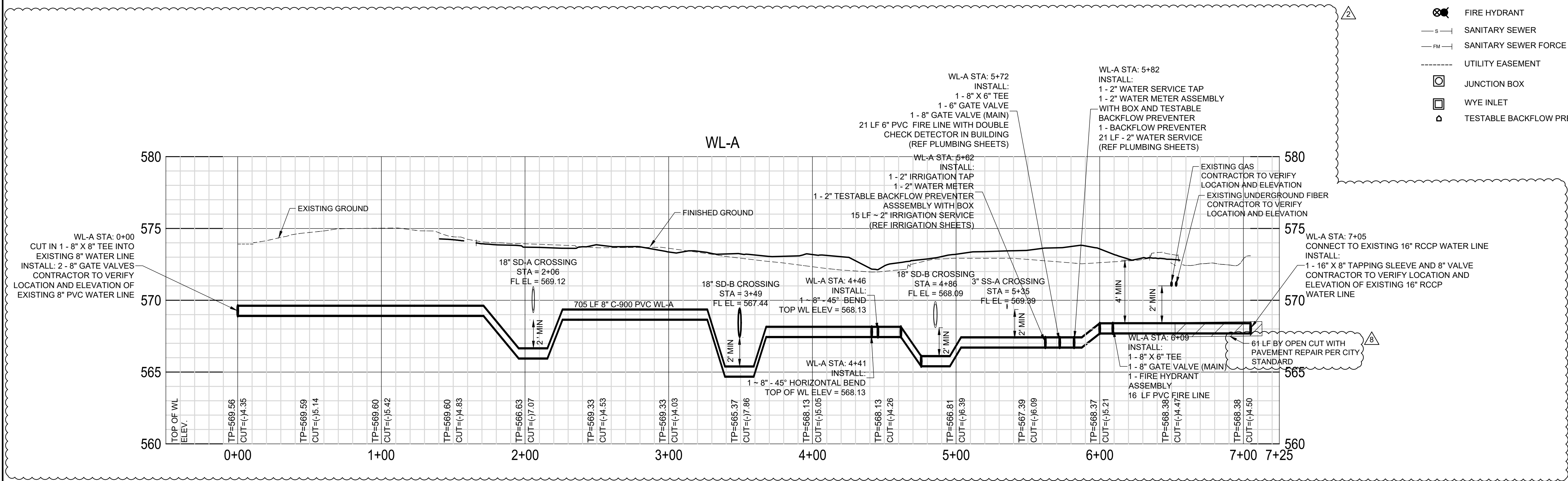
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UTILITY NOTES

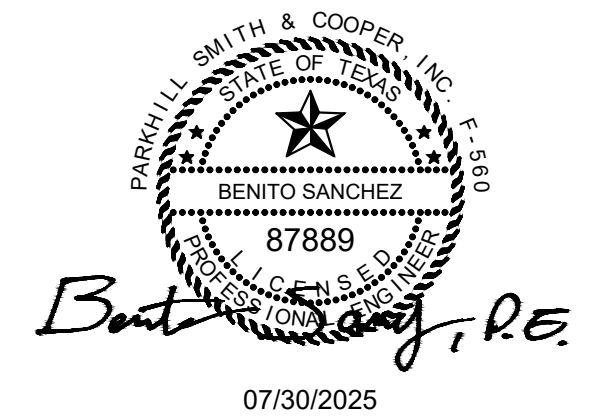
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LEGEND

- PROPERTY LINE
- EXISTING SANITARY SEWER LINE WITH MANHOLE
- EXISTING WATER LINE WITH VALVE
- EXISTING FIRE HYDRANT
- EXISTING STORM SEWER LINE
- STORM SEWER LINE
- ELECTRIC LINE
- DOMESTIC WATER LINE WITH VALVE
- FIRE PROTECTION WATER LINE
- FIRE HYDRANT
- SANITARY SEWER
- SANITARY SEWER FORCE MAIN
- UTILITY EASEMENT
- JUNCTION BOX
- WYE INLET
- TESTABLE BACKFLOW PREVENTER



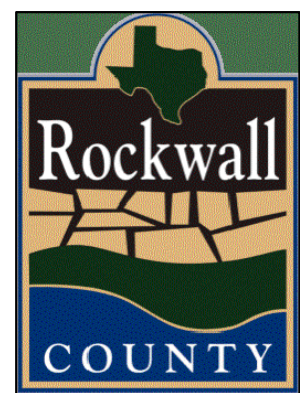
Parkhill



Record Drawing
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex

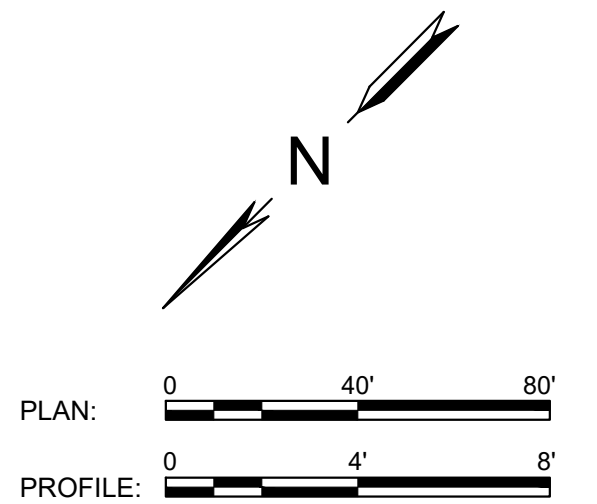


CLIENT
Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.
11987.22

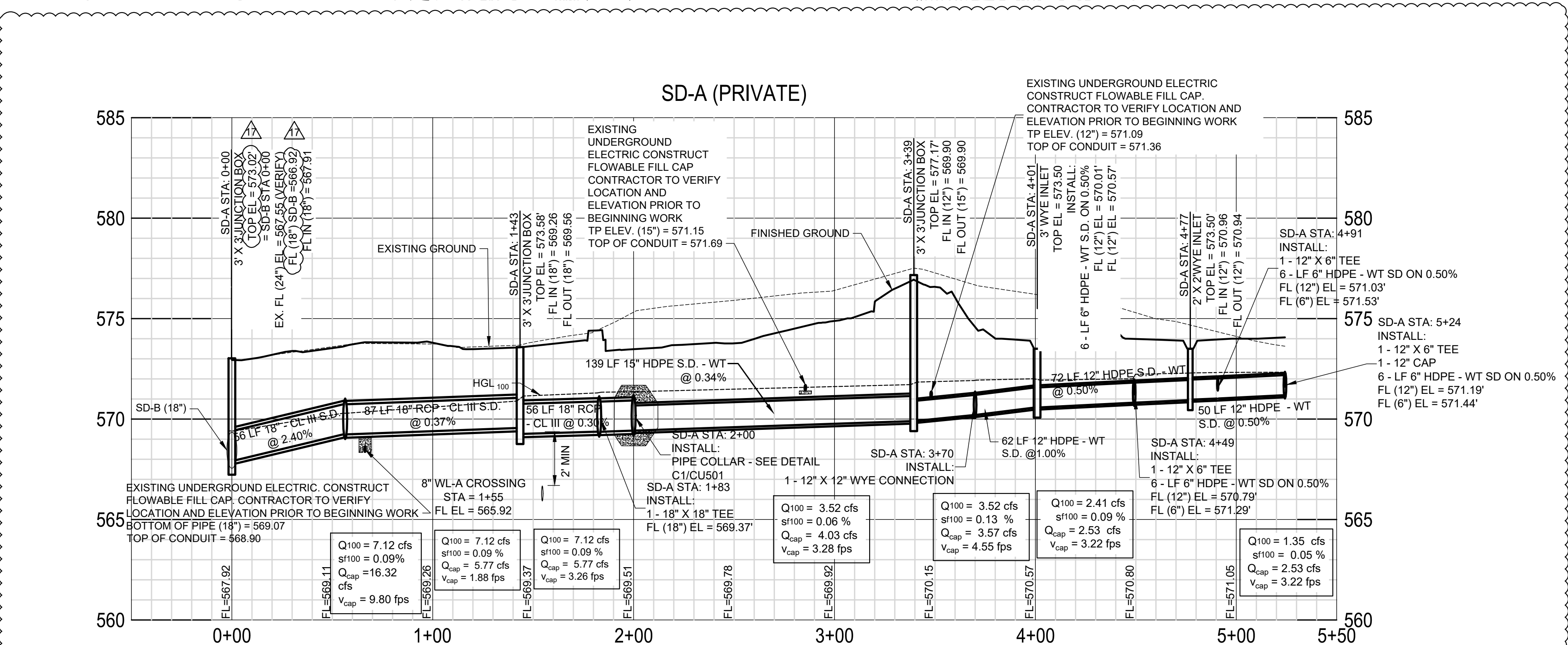
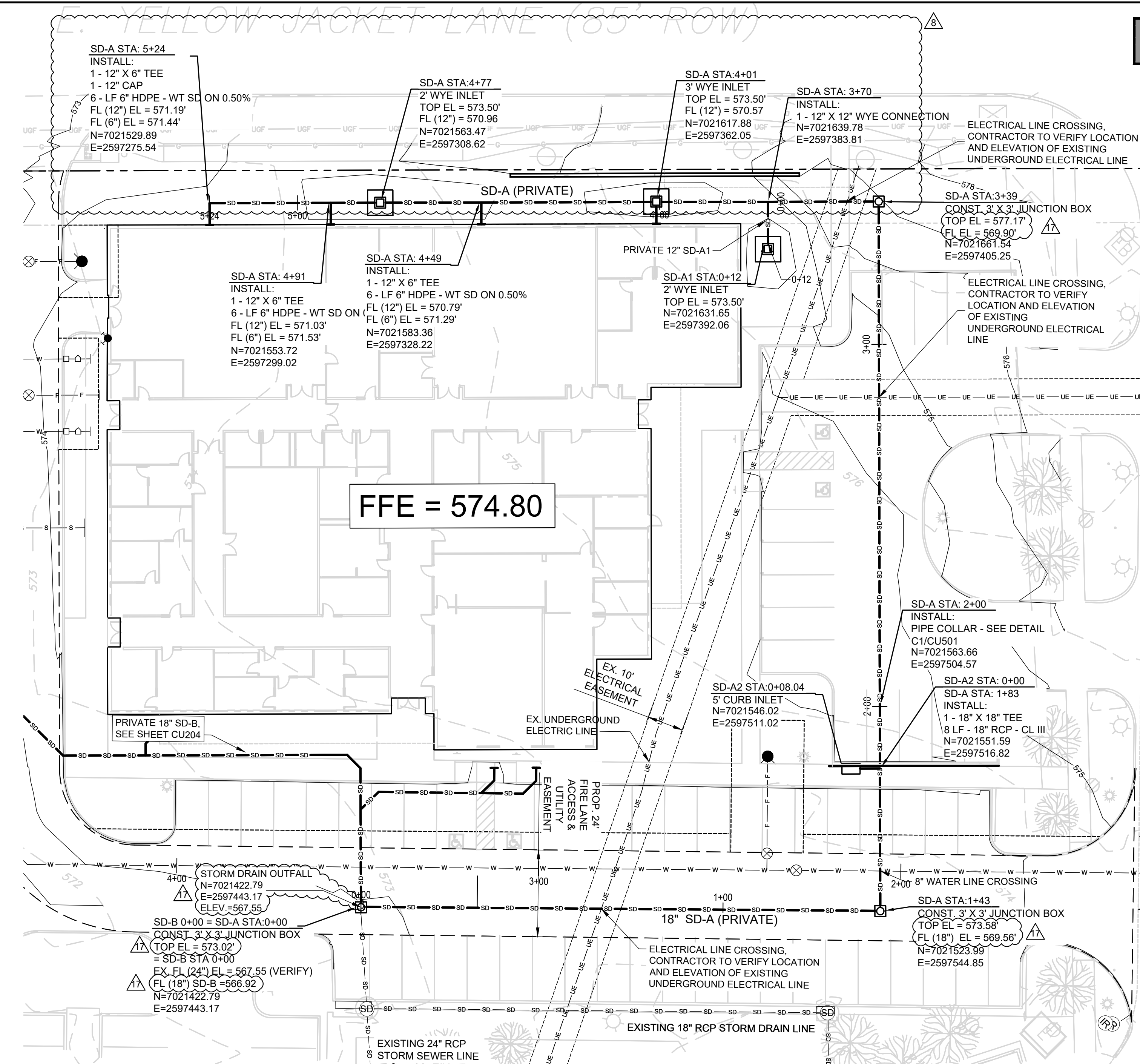
KEY PLAN



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8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction

**Water Line Plan
And Profile
CU202**

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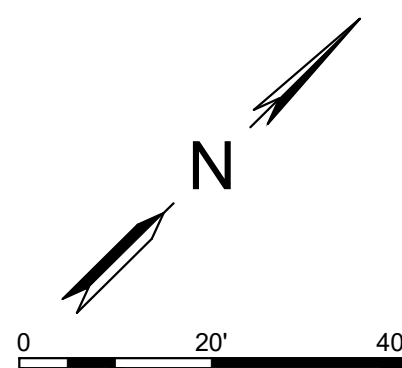
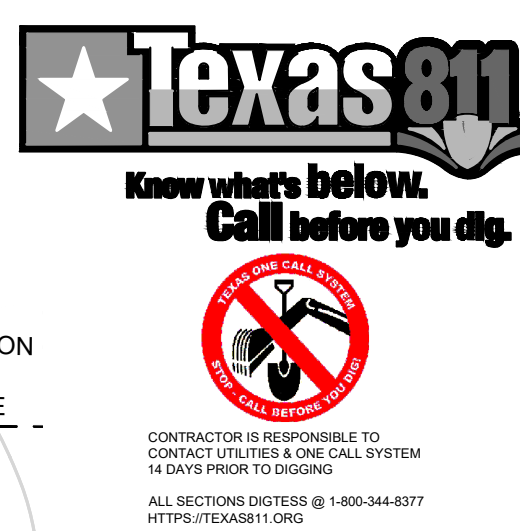
STORM NOTES

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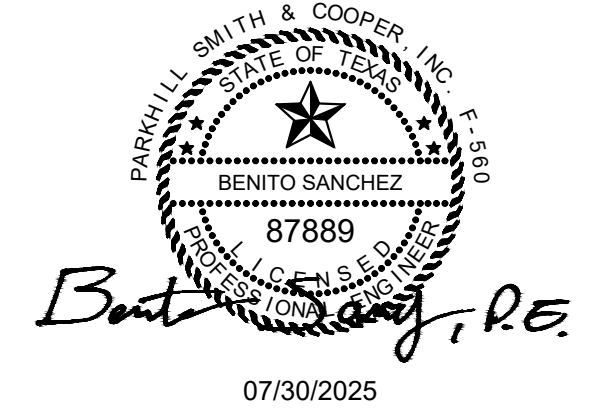
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LEGEND

- PROPERTY LINE
- s---o--- EXISTING SANITARY SEWER LINE WITH MANHOLE
- w---w--- EXISTING WATER LINE WITH VALVE
- f---f--- EXISTING FIRE HYDRANT
- s---s--- EXISTING STORM SEWER LINE
- s---s--- STORM SEWER LINE
- e---e--- ELECTRIC LINE
- w---w--- DOMESTIC WATER LINE WITH VALVE
- f---f--- FIRE PROTECTION WATER LINE
- f---f--- FIRE HYDRANT
- s---s--- SANITARY SEWER
- fm--- SANITARY SEWER FORCE MAIN
- u--- UTILITY EASEMENT
- j--- JUNCTION BOX
- w--- WYE INLET
- o--- TESTABLE BACKFLOW PREVENTER



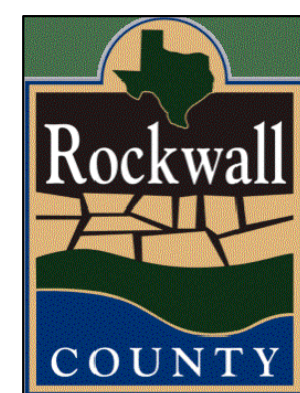
Parkhill



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Rockwall County Annex



CLIENT

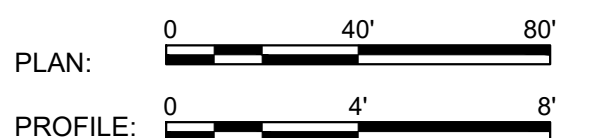
Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN



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-	03/01/2024	Issue For Construction

Storm Sewer Plan And Profile CU203



CONTRACTOR IS RESPONSIBLE TO
CONTACT UTILITY LOCATING SERVICE
4 DAYS PRIOR TO DIGGING.
ALL SECTIONS SHOWN @ 1:800-344-6377
UTILITY TEXAS 811 CARD

STORM NOTES

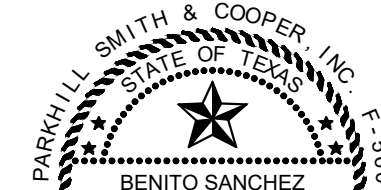
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- w-w- EXISTING WATER LINE WITH VALVE
- ⊗ EXISTING FIRE HYDRANT
- sd-sd- EXISTING STORM SEWER LINE
- STORM SEWER LINE
- e-e- ELECTRIC LINE
- w-w- DOMESTIC WATER LINE WITH VALVE
- f-f- FIRE PROTECTION WATER LINE
- ⊗ FIRE HYDRANT
- s- SANITARY SEWER
- fm- SANITARY SEWER FORCE MAIN
- UTILITY EASEMENT
- ⊗ JUNCTION BOX
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- ⊗ TESTABLE BACKFLOW PREVENTER

Parkhill



Benito Sanchez, P.E.
07/30/2025

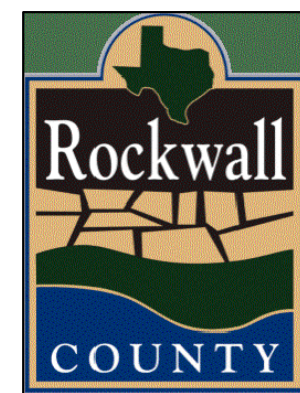
Parkhill.com

RECORD DRAWING

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Rockwall County Annex



CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

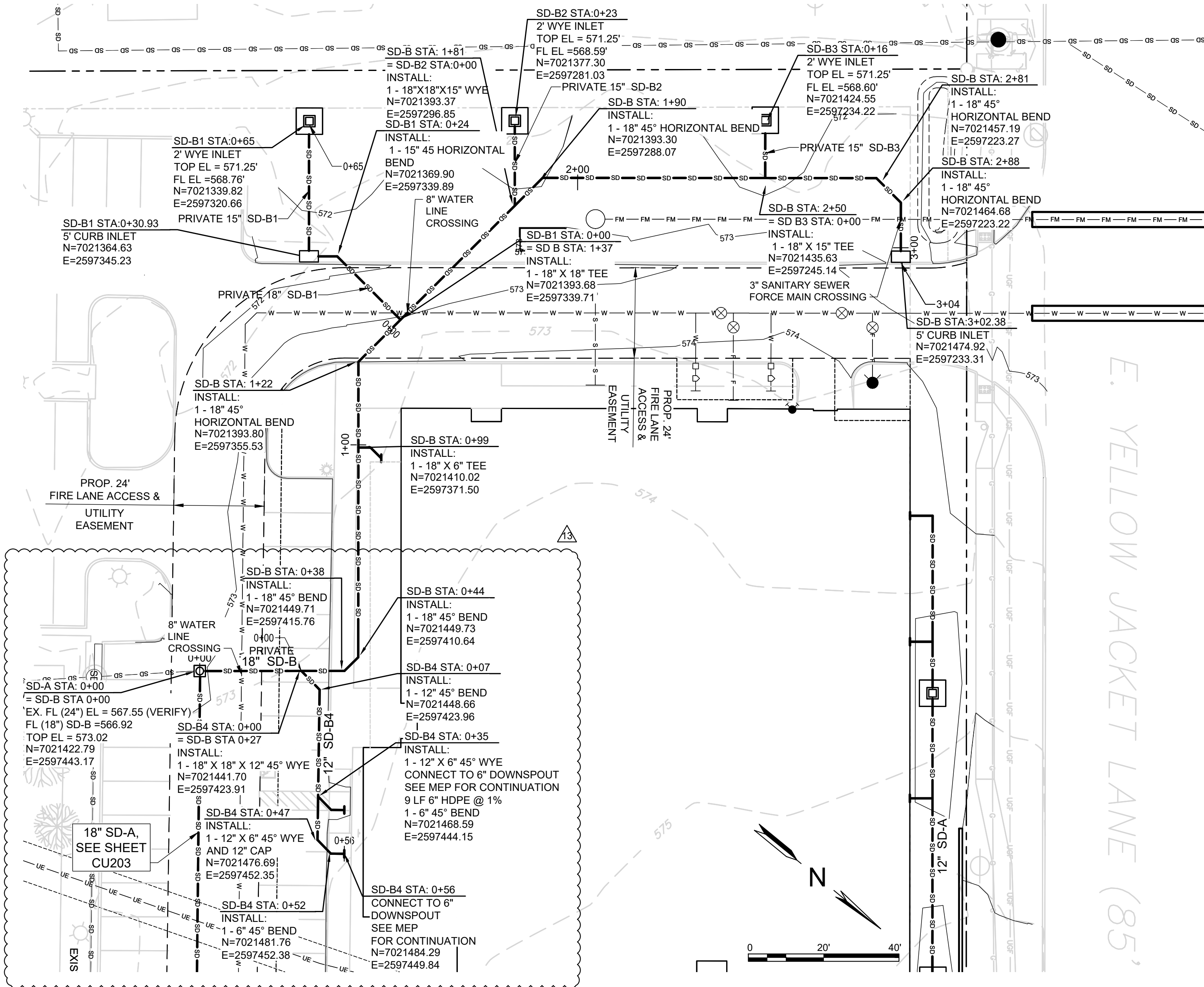
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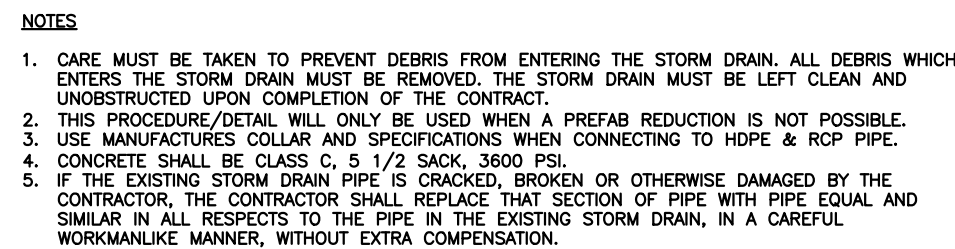
PLAN: 0 40' 80'

PROFILE: 0 4' 8'

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17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
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8	07/18/2024	CCR 004
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-	03/01/2024	Issue For Construction

Storm Sewer Plan And Profile CU204

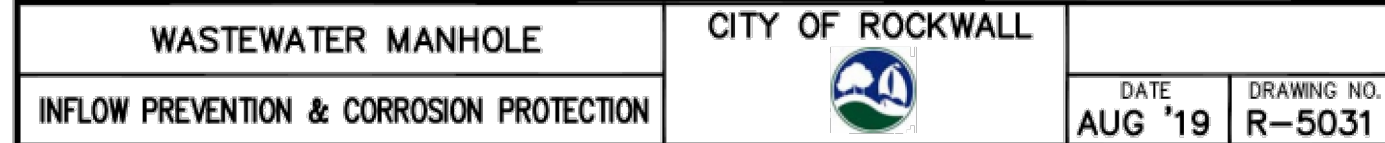




GENERAL NOTES

1. ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-615.
2. ALL CONCRETE SHALL BE CLASS "A" (5 BAGS OF CEMENT PER CUBIC YARD & A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS). ALL CORNERS SHALL BE CHAMFERED 3/4".
3. MANHOLE STEPS, SPACED 14" APART VERTICALLY AND LOCATED AS DIRECTED BY THE ENGINEER, SHALL BE PROVIDED IN ALL INLETS WHERE THE DEPTH EXCEEDS 5'-0".
4. ALL REINFORCING STEEL SHALL HAVE A MINIMUM COVER OF 2".
5. ALL STANDARD FIELD INLETS SHALL HAVE ONE OPENING ON EACH SIDE UNLESS OTHERWISE SHOWN ON PLANS.

INLET SIZE	W	A
2' SQUARE	2'-0"	2'-0"
4' SQUARE	4'-0"	3'-0"
5' SQUARE	5'-0"	4'-0"
6' SQUARE	6'-0"	4'-0"



PAGE | 276



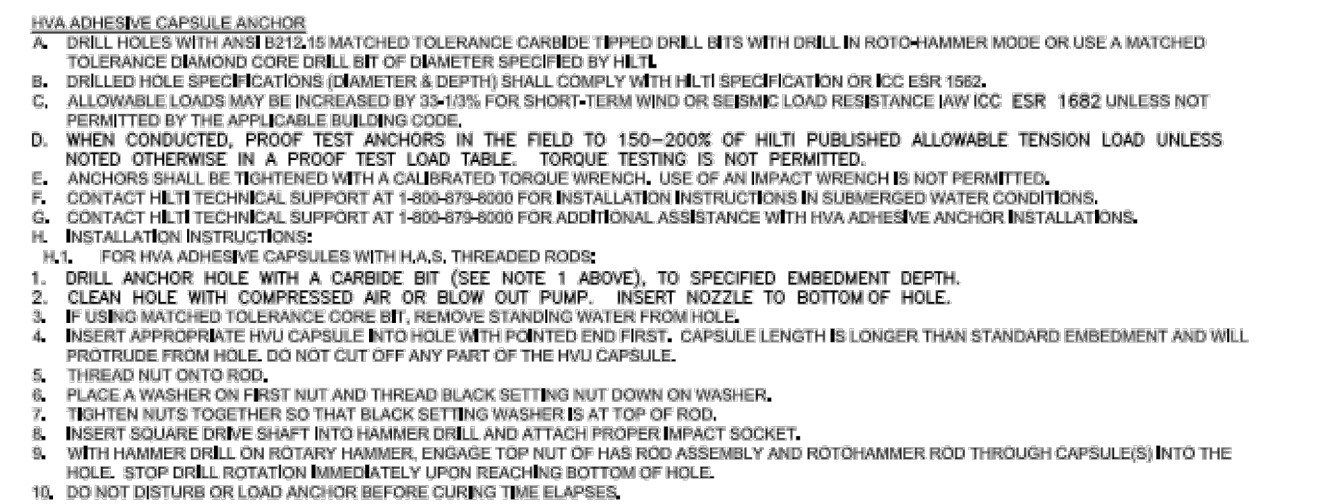
CITY OF ROCKWALL

DATE
AUG '19

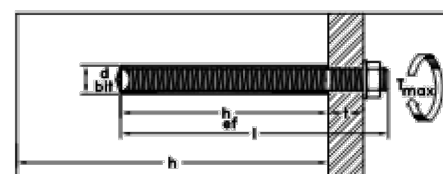
DATE AUG '19	DRAWING NO. R-5080
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CITY OF ROCKY HILL

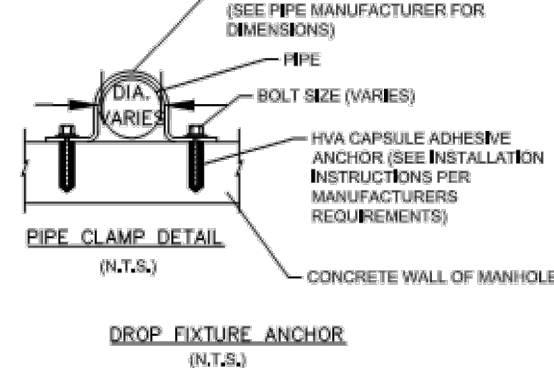
PAGE | 280

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Approx. Curing Time	Base Material Temperature
20 Minutes	ABOVE 60° F/20° C
30 Minutes	50° F/10° C
1 Hour	32° F/0° C
5 Hour	23° F/-5° C

**INSTALLATION INSTRUCTIONS:**

- [illegible]



CITY OF ROCKWALL

SHEET 2 OF 2

DATE	DRAWING NO.
10/1/19	R-5080

CITY OF ROCKWALL

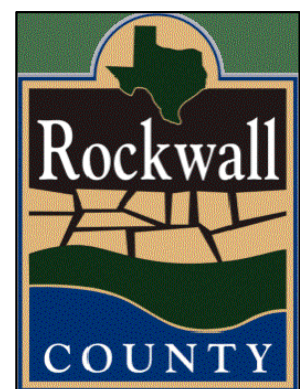
PAGE | 281



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Rockwall County Annex



CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

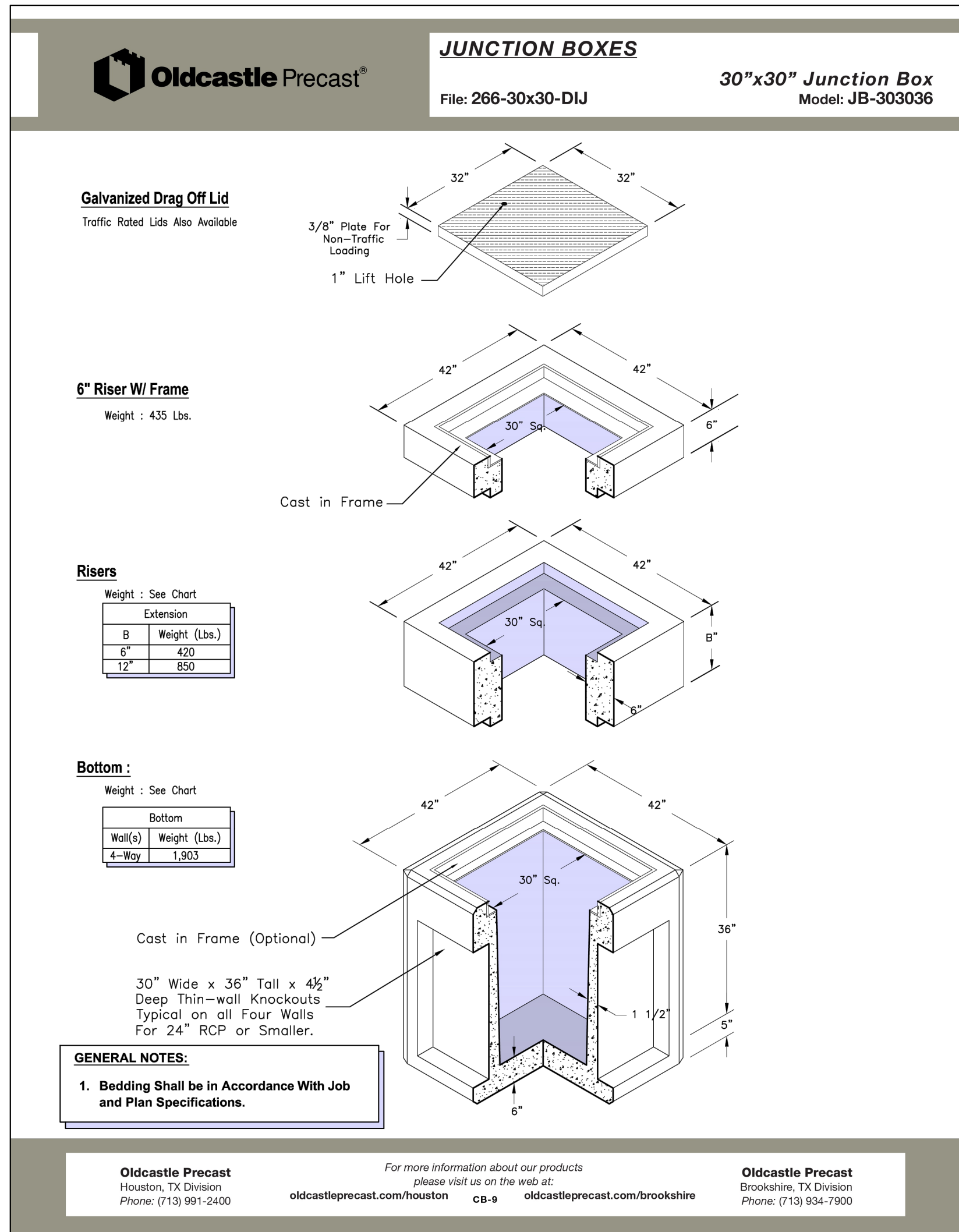
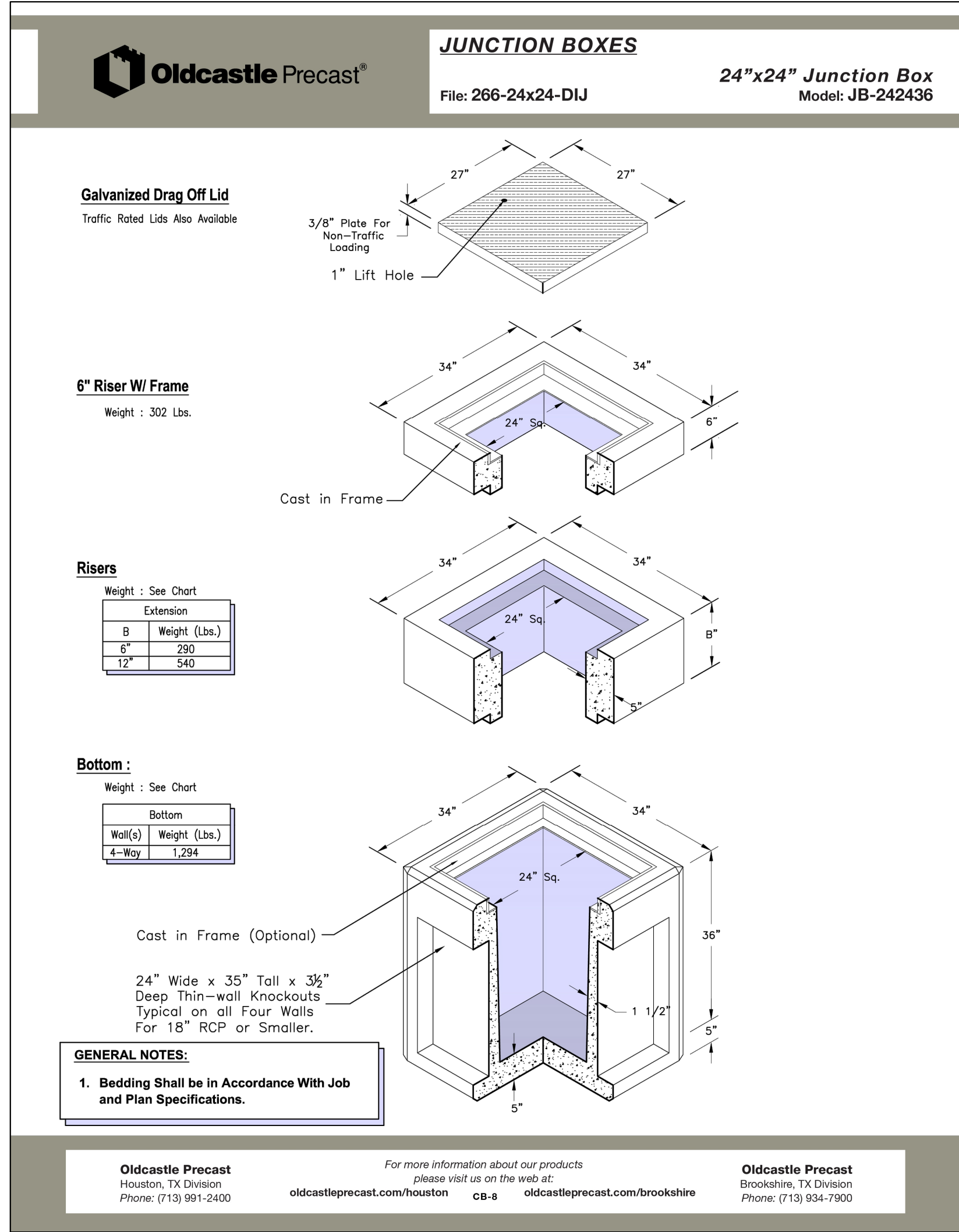
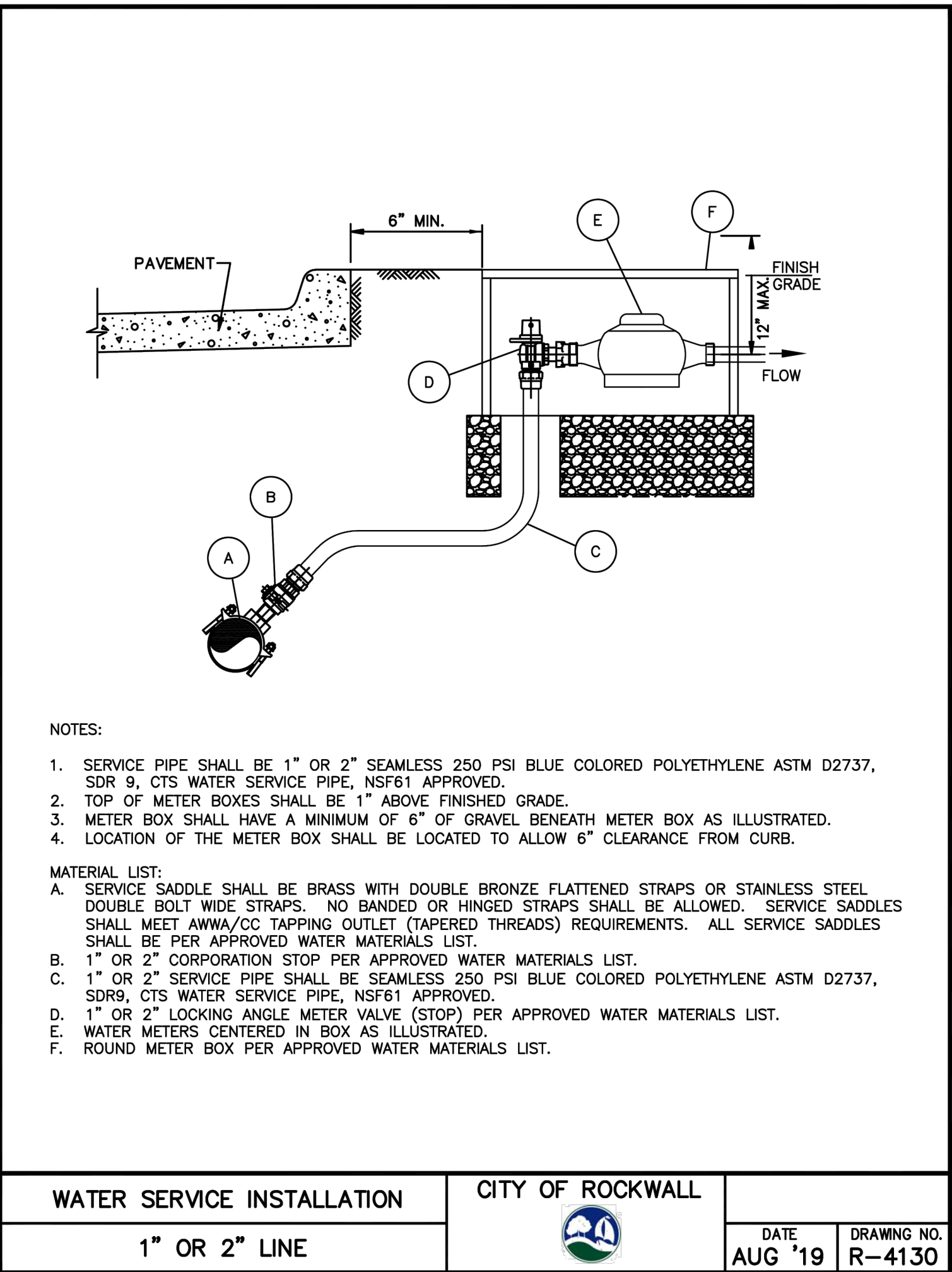
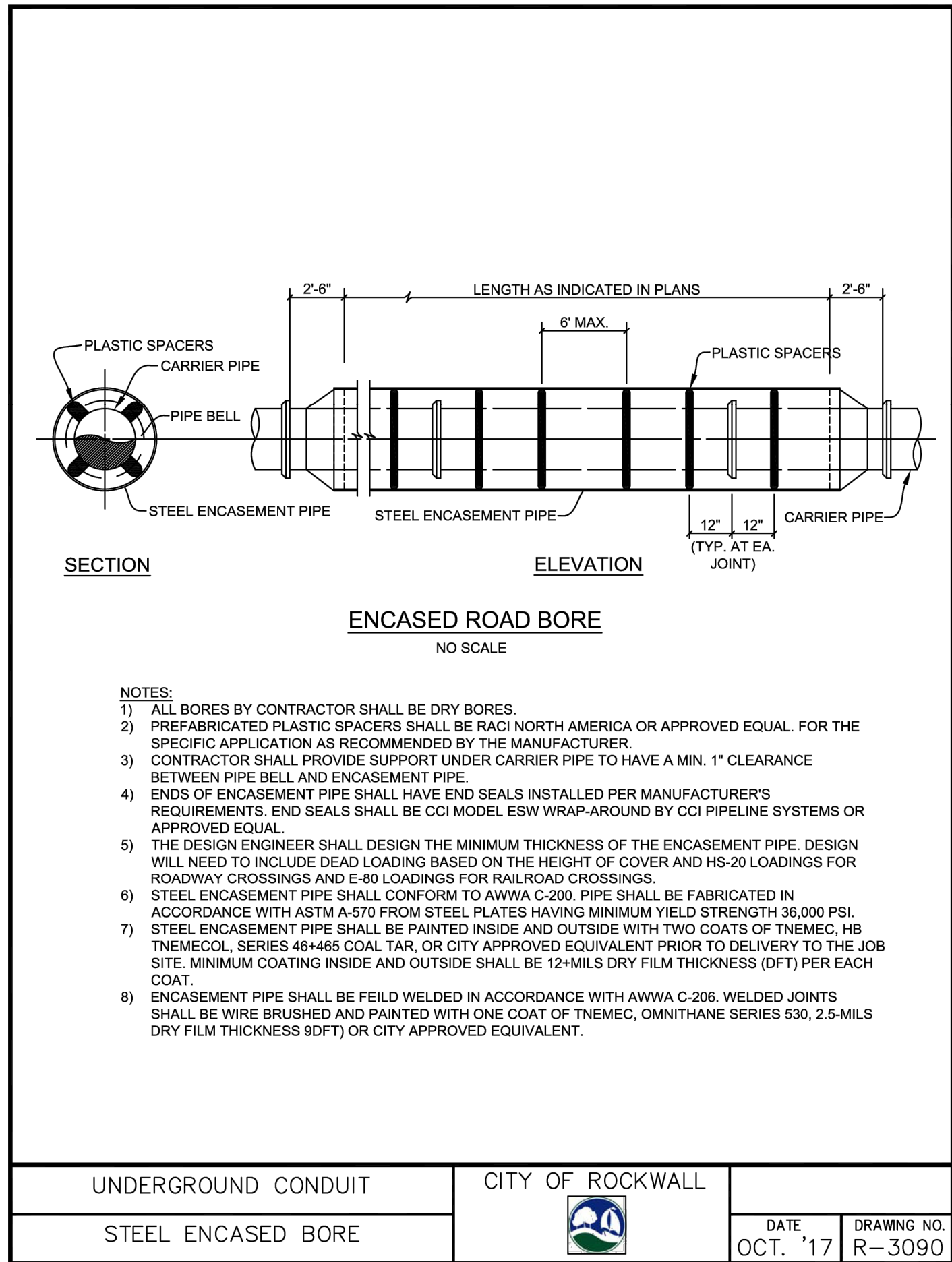
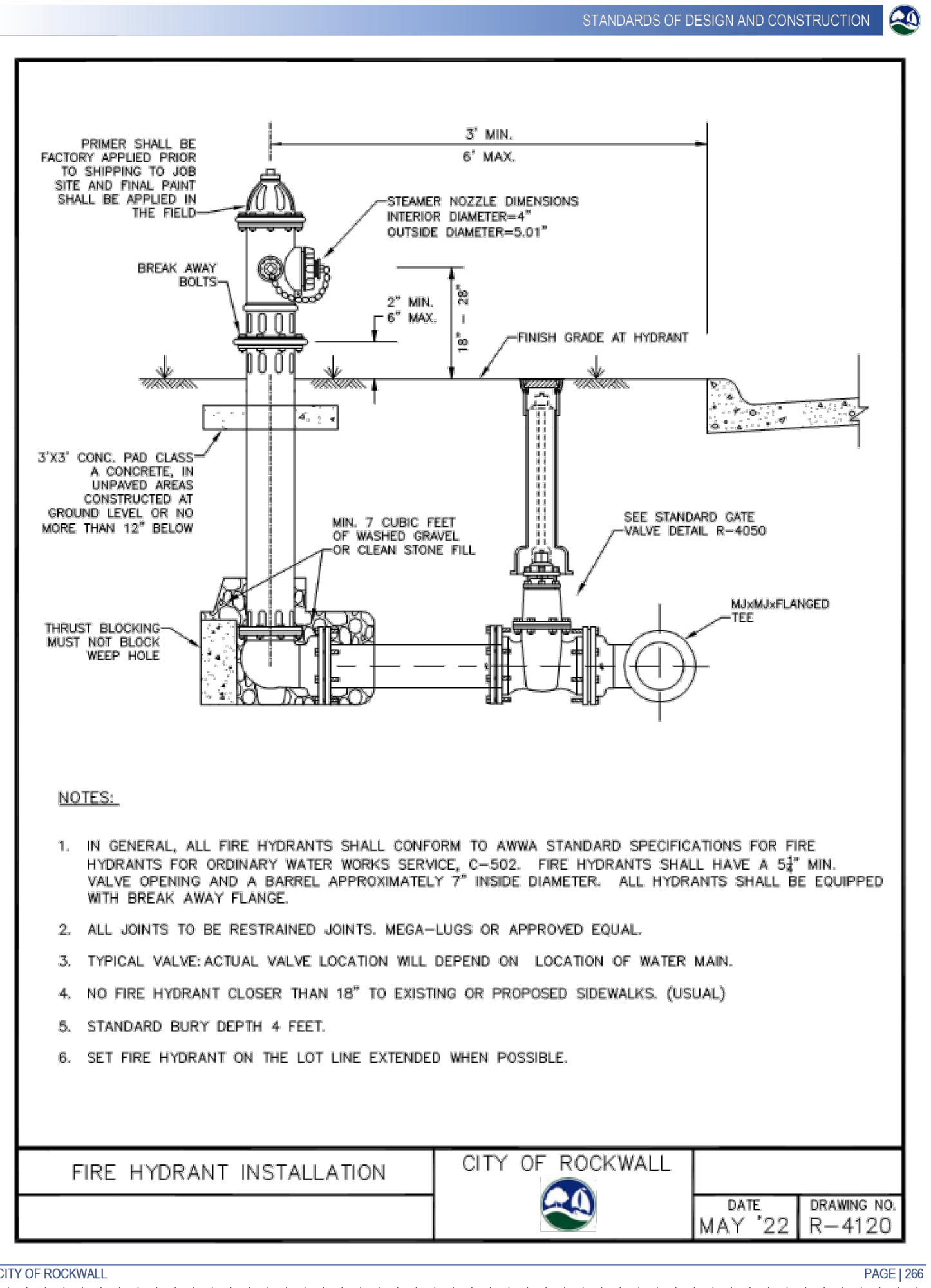
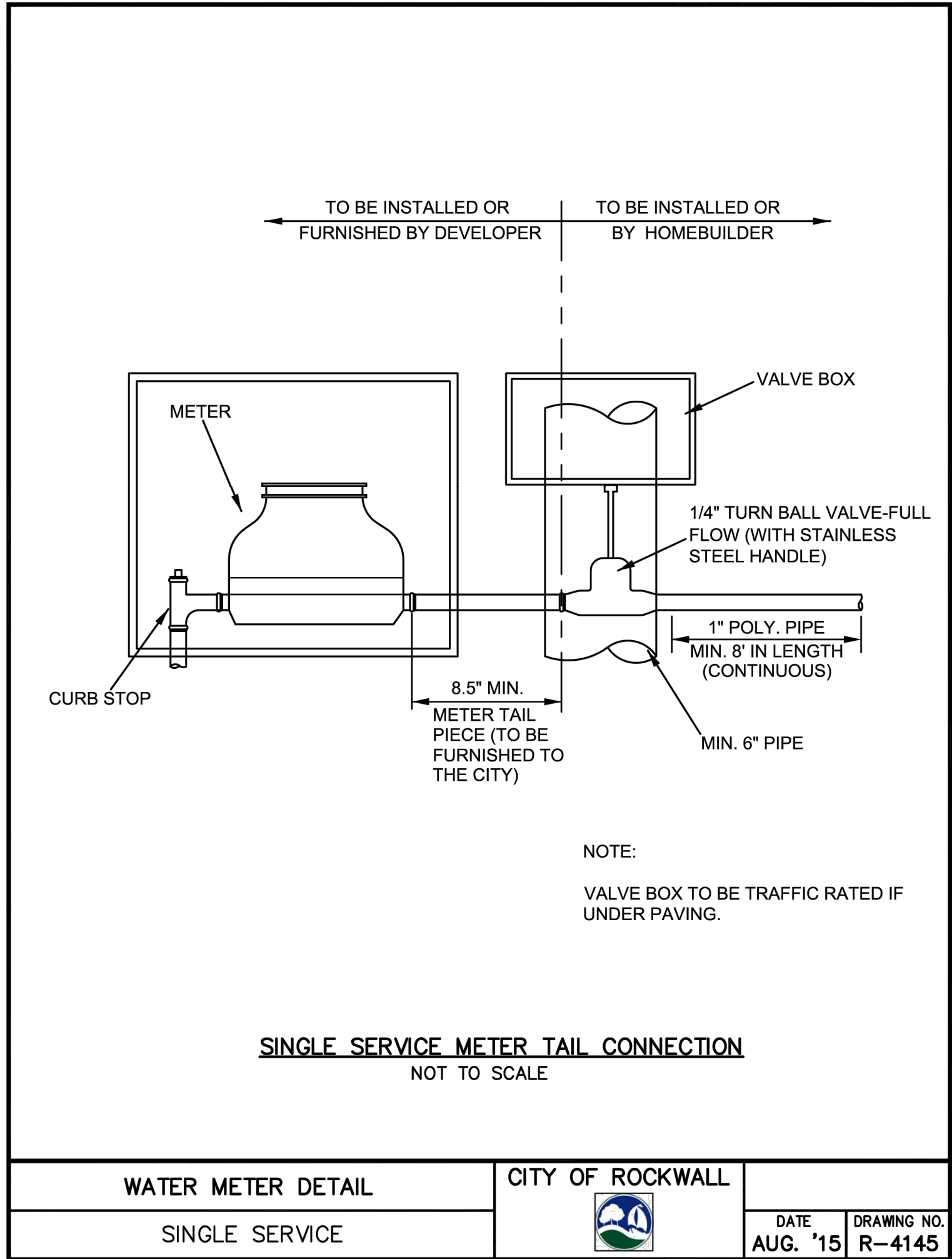
KEY PLAN

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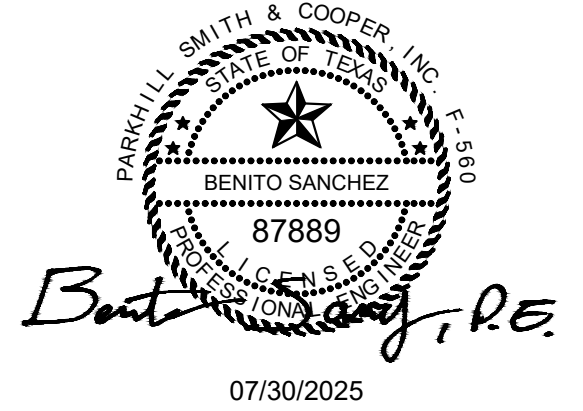
Utility Details

CU501

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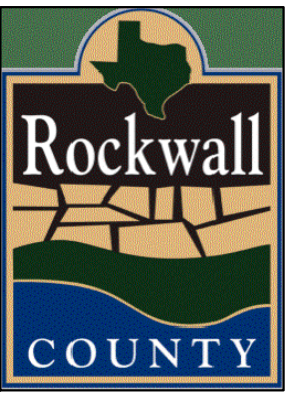
Parkhill



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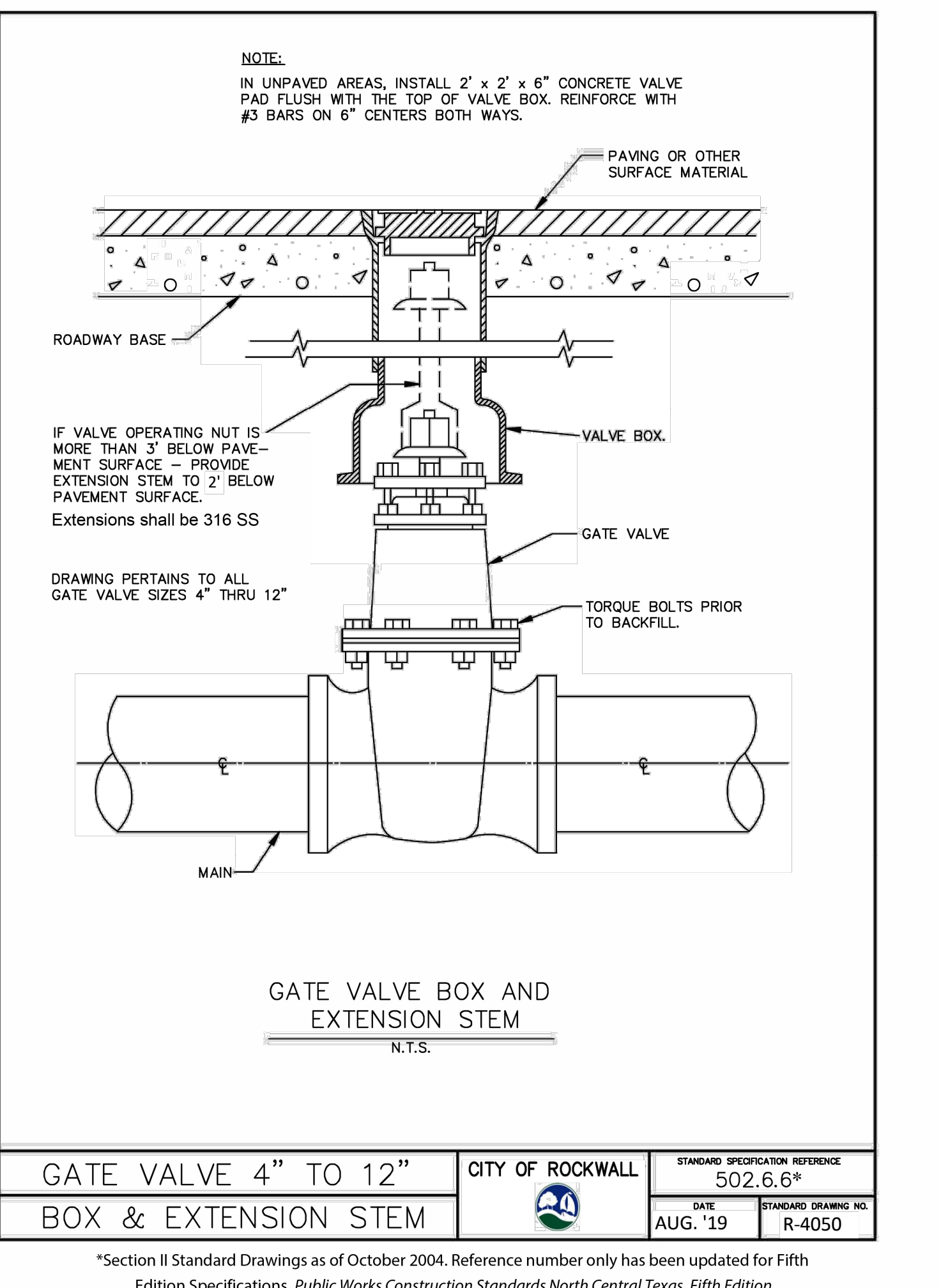
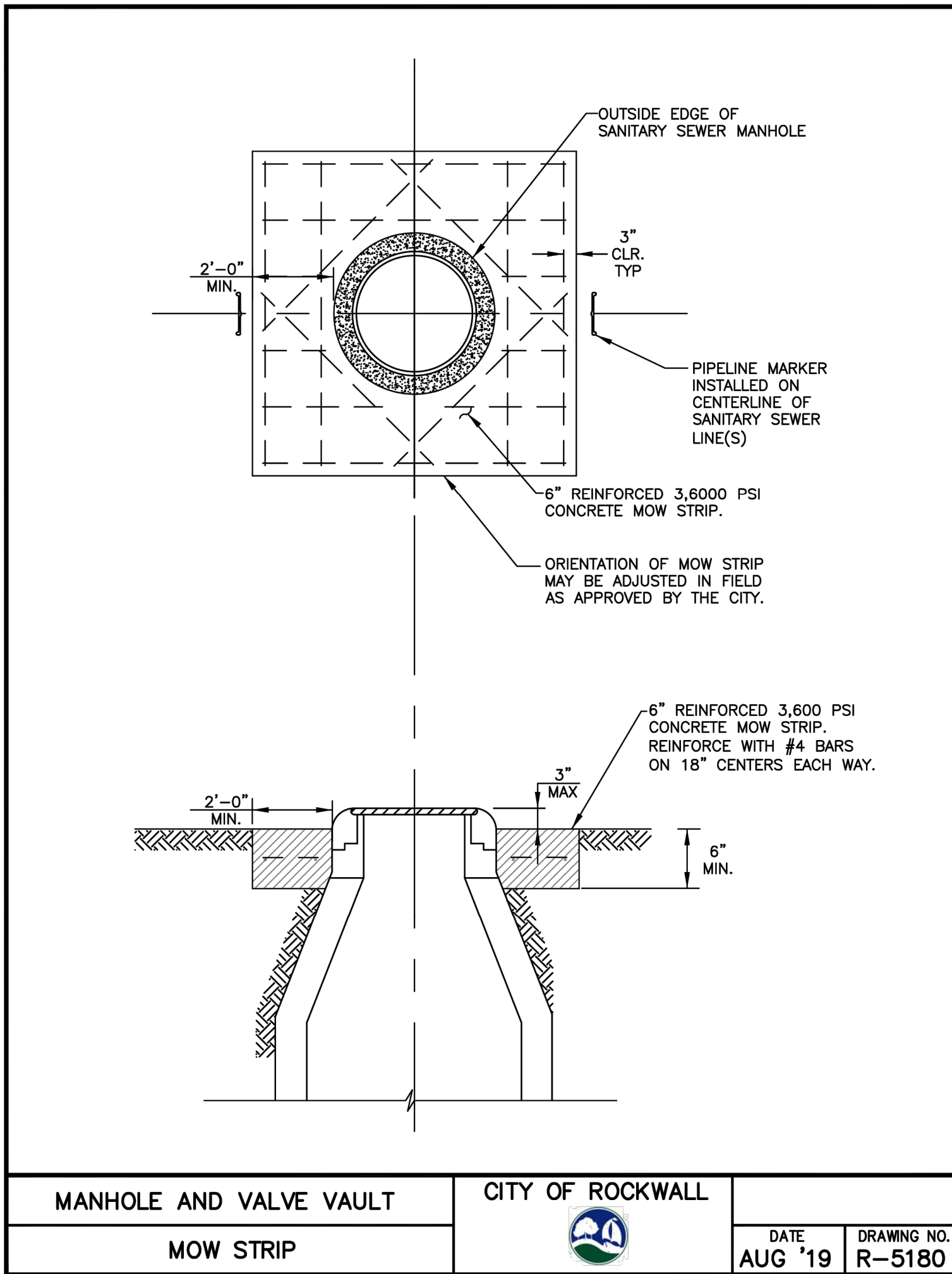
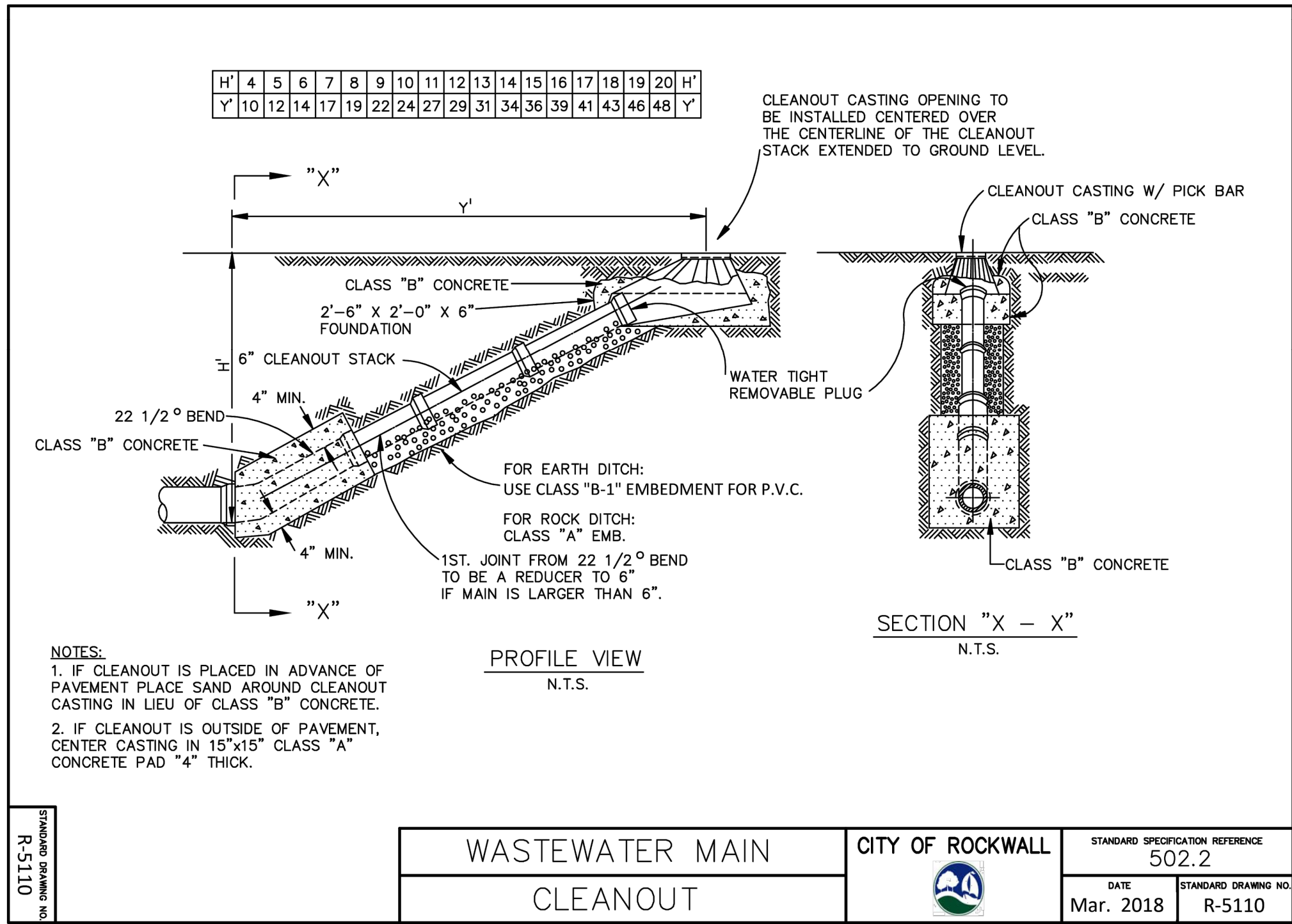
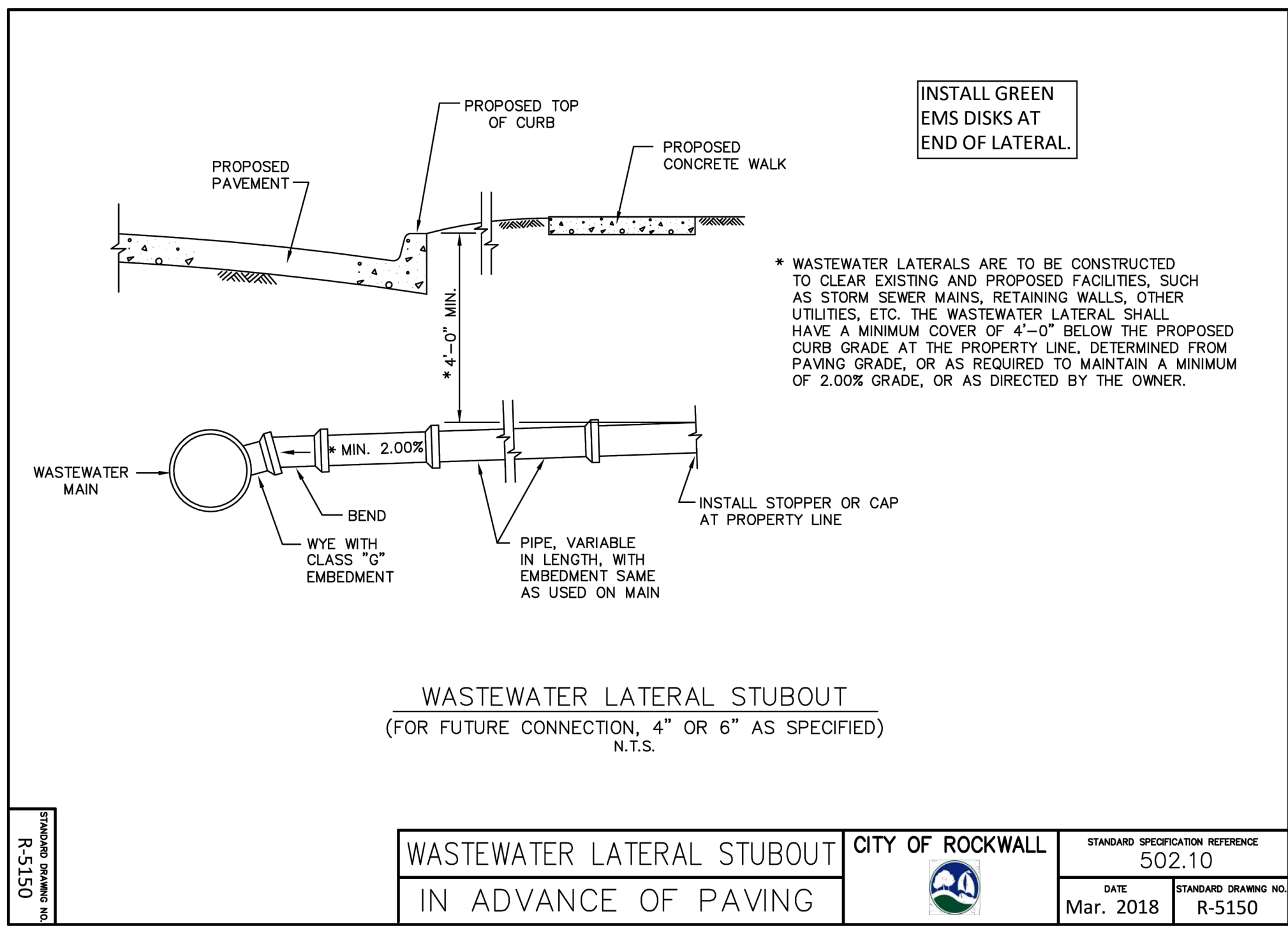
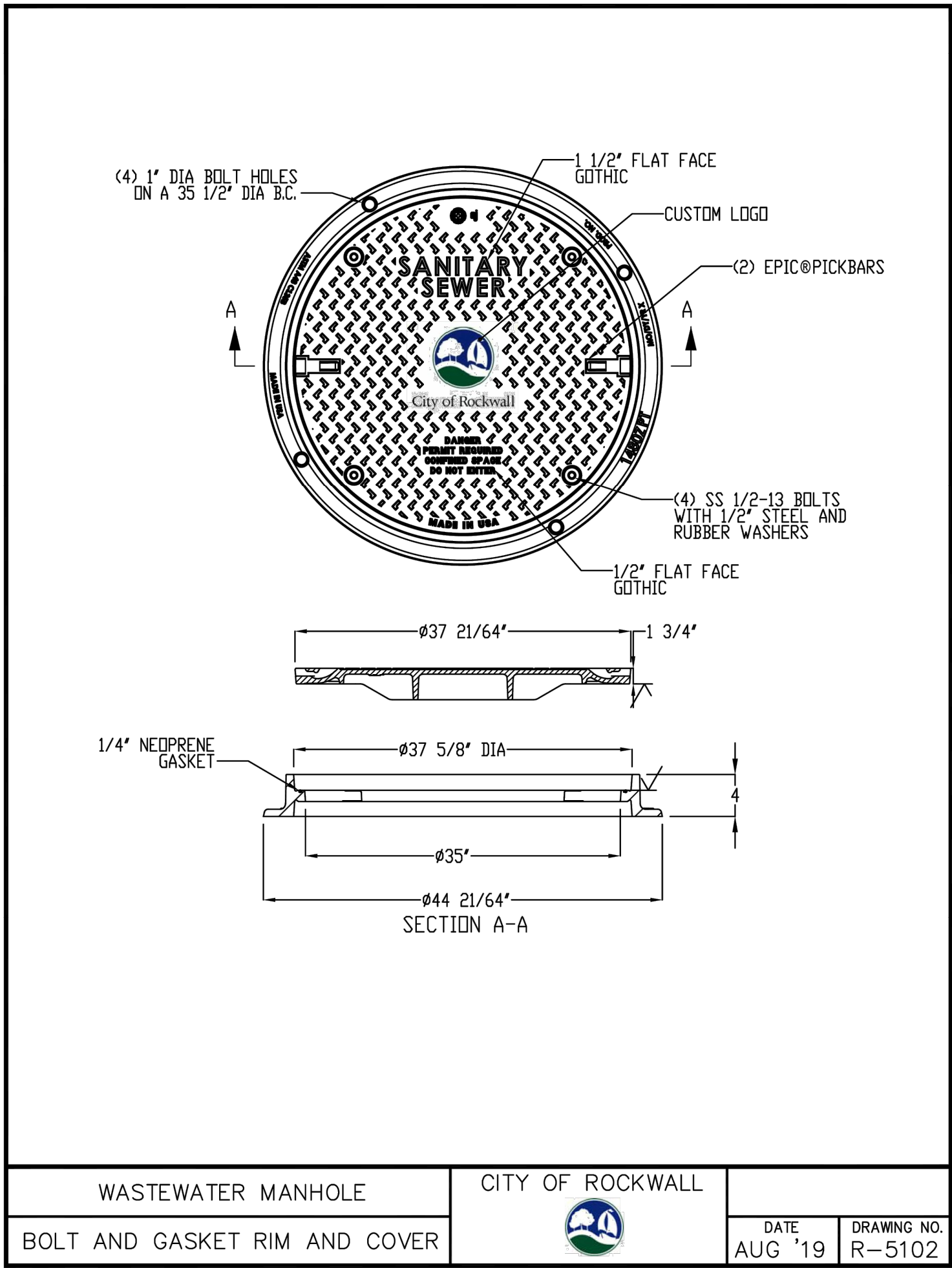
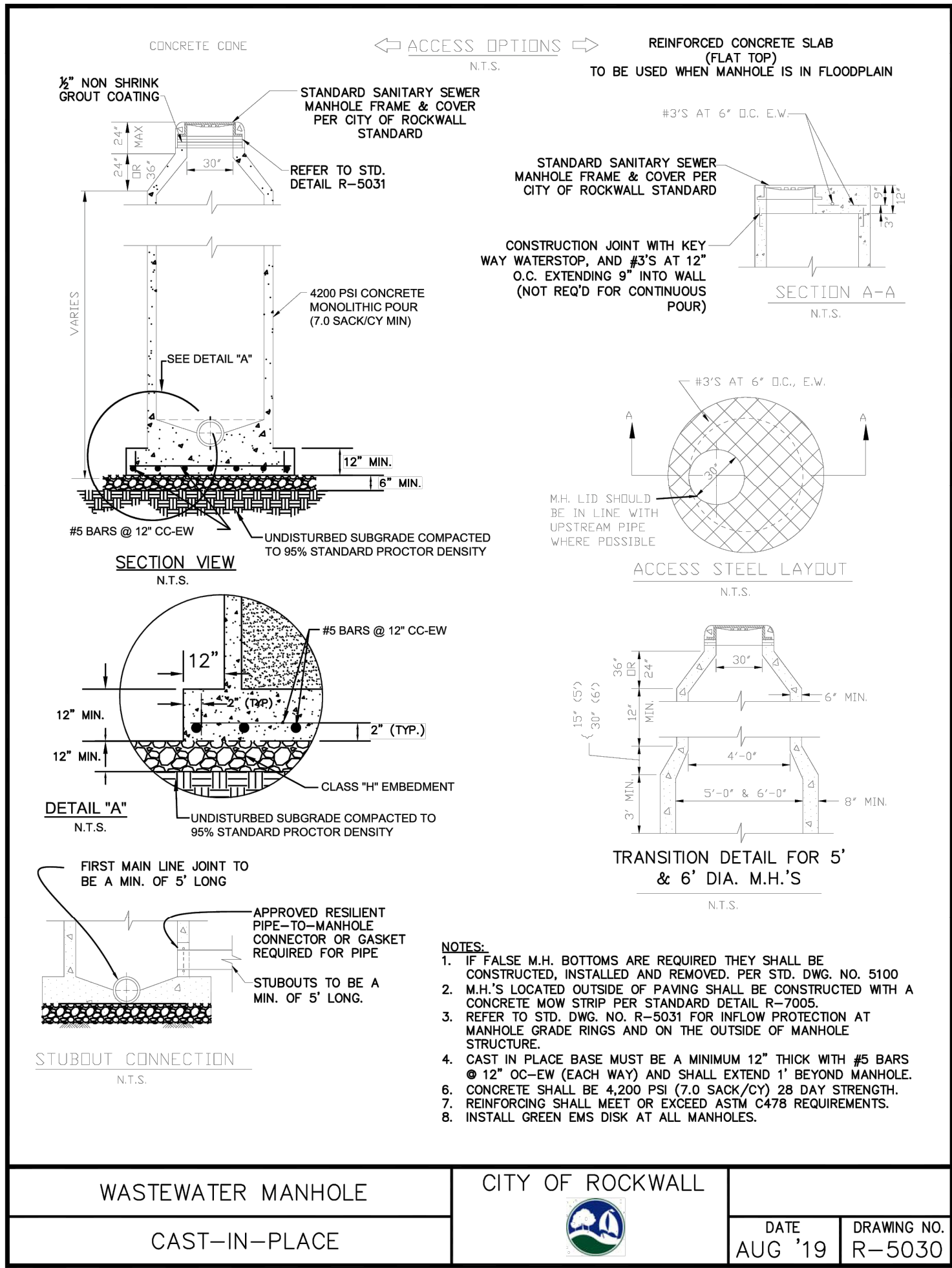
CLIENT
Rockwall County
1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.
11987.22
KEY PLAN

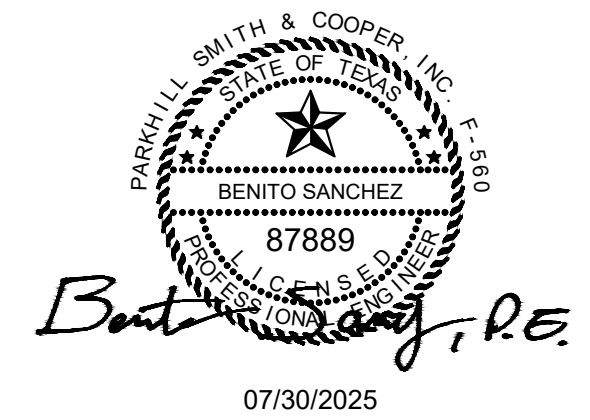
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-	03/01/2024	Issue For Construction

Utility Details
CU502

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Parkhill

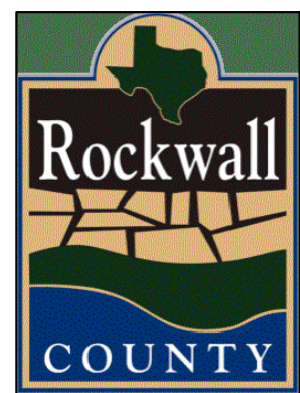


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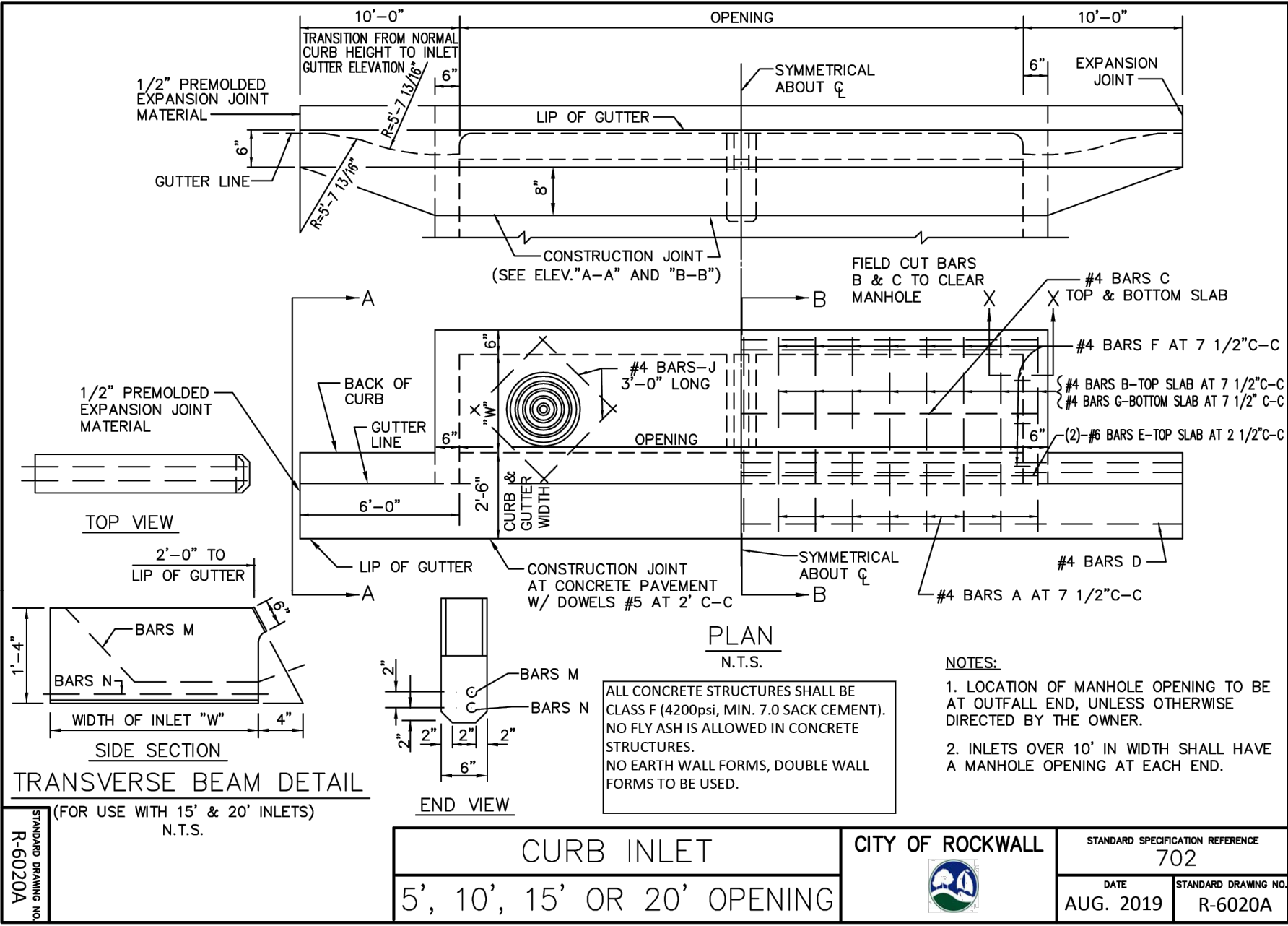
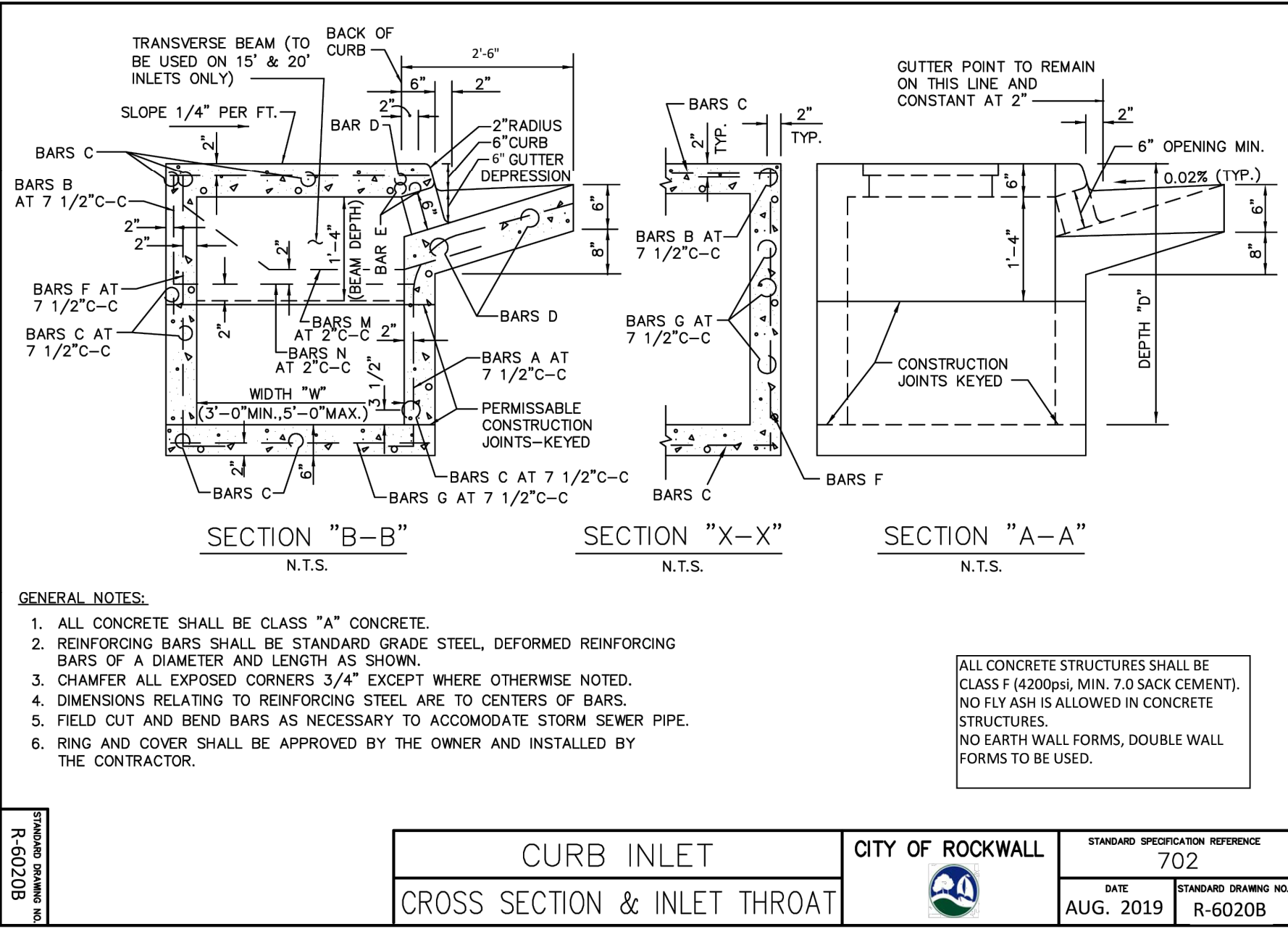
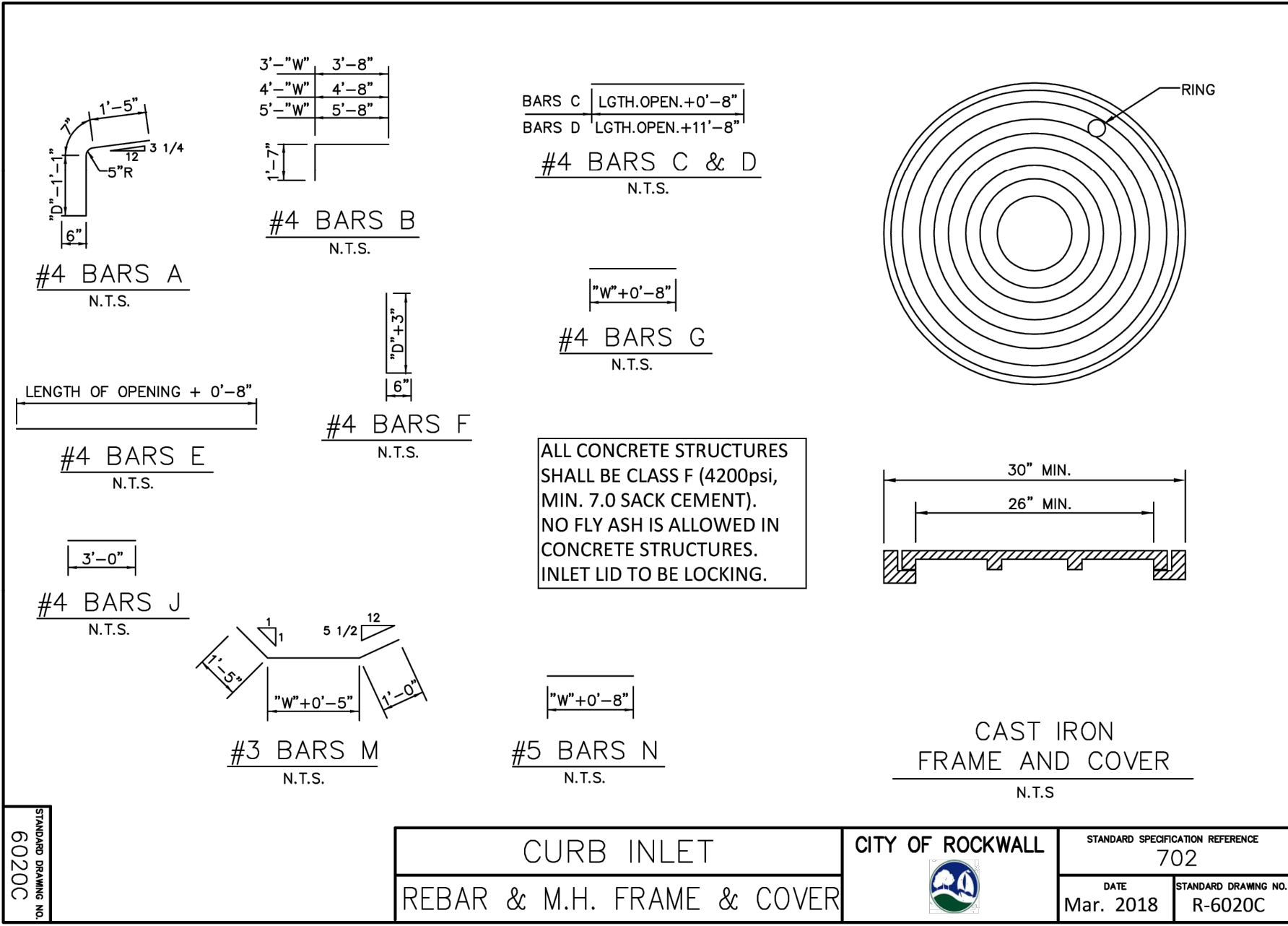
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Utility Details

CU503



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#	DATE	DESCRIPTION



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			BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS	BMS

DEPTH "D"	SUMMARY OF QUANTITIES FOR CURB INLETS																CITY OF ROCKWALL		STANDARD SPECIFICATION REFERENCE 702 R-6020E									
	5'-0" OPENING				10'-0" OPENING				15'-0" OPENING				20'-0" OPENING															
	Width 3'-0"		Width 4'-0"		Width 5'-0"		Width 3'-0"		Width 4'-0"		Width 5'-0"		Width 3'-0"		Width 4'-0"						Width 5'-0"		Width 3'-0"		Width 4'-0"		Width 5'-0"	
	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL					CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL
	C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.					C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.	C.Y.	LBS.
3'-6"	2.62	306	2.95	332	3.28	373	4.12	479	4.64	521	5.20	564	5.69	667	6.40	721	7.10	775	7.20	846	8.11	909	9.03	976				
3'-9"	2.70	309	3.04	341	3.39	373	4.25	494	4.78	536	5.34	579	5.87	687	6.58	741	7.30	796	7.42	874	8.31	937	9.27	1010				
4'-0"	2.78	328	3.14	364	3.49	399	4.38	518	4.92	565	5.49	610	6.05	718	6.77	776	7.49	835	7.64	909	8.58	976	9.51	1048				
4'-3"	2.87	334	3.23	370	3.59	406	4.51	526	5.06	573	5.64	619	6.22	729	6.95	787	7.69	847	7.87	922	8.81	990	9.75	1061				
4'-6"	2.95	356	3.32	394	3.69	431	4.64	558	5.20	607	5.79	656	6.40	770	7.14	830	7.88	891	8.09	973	9.04	1043	9.99	1105				
4'-9"	3.03	361	3.41	410	3.79	438	4.77	566	5.34	616	5.94	665	6.57	780	7.32	841	8.07	903	8.31	986	9.22	1056	10.23	1129				
5'-0"	3.12	367	3.51	416	3.90	445	4.90	574	5.47	624	6.09	674	6.75	791	7.51	853	8.27	915	8.53	999	9.50	1107	1104	1194				
5'-3"	3.20	383	3.60	424	4.00	465	5.03	600	5.61	652	6.23	704	6.93	827	7.69	890	8.46	955	8.76	1044	9.73	1078	1147	1144				
5'-6"	3.28	389	3.69	430	4.10	472	5.16	608	5.75	661	6.38	713	7.11	837	7.88	901	8.66	967	8.98	1057	9.97	1131	10.95	1208				
5'-9"	3.37	405	3.78	451	4.20	495	5.29	635	5.89	690	6.53	744	7.28	874	8.07	940	8.85	1007	9.20	1102	1102	1178	1198	1258				
6'-0"	3.45	415	3.88	460	4.30	504	5.42	646	6.03	702	6.68	757	7.45	888	8.25	954	9.05	1022	9.42	1119	1104	1243	1268	1376				
6'-3"	3.53	425	3.97	470	4.41	515	5.55	661	6.17	718	6.83	773	7.63	908	8.44	975	9.24	1044	9.64	1147	1106	1282	1187	1305				
6'-6"	3.62	437	4.06	486	4.51	532	5.68	681	6.31	739	6.97	797	7.81	935	8.62	1005	9.43	1057	9.87	1178	1089	1258	1192	1340				
6'-9"	3.70	441	4.15	490	4.61	537	5.81	688	6.45	747	7.12	806	7.98	945	8.81	1015	9.63	1066	10.09	1191	1112	1272	1251	1404				
7'-0"	3.78	460	4.25	510	4.71	560	5.94	716	6.59	777	7.27	837	8.16	961	8.99	1053	9.82	1126	10.31	1237	1135	1319	1240	1454				
7'-3"	3.86	465	4.34	516	4.81	567	6.07	724	6.72	785	7.42	846	8.33	992	9.18	1065	10.02	1138	10.53	1249	1149	1339	1264	1484				
7'-6"	3.95	477	4.43	529	4.91	570	6.20	742	6.86	804	7.57	866	8.51	1016	9.36	1089	10.21	1163	10.75	1290	1142	1365	1288	1515				
7'-9"	4.03	491	4.53	544	5.02	597	6.33	762	7.00	826	7.71	890	8.67	1040	9.55	1116	10.41	1193	10.98	1313	1205	1399	1312	1498				
8'-0"	4.12	496	4.62	550	5.12	604	6.46	770	7.14	834	7.86	899	8.86	1051	9.73	1129	10.60	1205	11.20	1325	1242	1412	1336	1516				
8'-3"	4.20	504	4.71	559	5.22	613	6.59	784	7.28	849	8.01	915	9.04	1069	9.92	1149	10.80	1228	11.42	1353	1251	1440	1360	1528				
8'-6"	4.28	519	4.80	576	5.32	632	6.71	804	7.42	871	8.16	938	9.21	1107	10.10	1176	10.99	1257	11.64	1385	1274	1474	1384	1565				
8'-9"	4.37	528	4.90	586	5.42	643	6.84	819	7.56	886	8.31	954	9.39	1119	10.29	1199	11.16	1280	11.87	1410	1297	1500	1468	1592				
9'-0"	4.45	545	4.99	605	5.53	664	6.97	842	7.70	912	8.46	982	9.56	1148	10.47	1231	11.38	1313	12.09	1447	1321	1529	1461	1631				
9'-3"	4.53	554	5.08	614	5.63	674	7.10	858	7.84	929	8.60	999	9.74	1169	10.66	1252	11.57	1335	12.31	1474	1353	1567	1545	1660				
9'-6"	4.62	568	5.17	630	5.73	692	7.23	878	7.97	950	8.75	1022	9.92	1195	10.84	1280	11.77	1365	12.53	1505	1360	1600	1480	1696				
10'-0"	4.78	582	5.36	645	5.93	708	7.49	900	8.11	974	9.05	1048	10.27	1227	11.21	1312	12.16	1399	12.98	1546	1413	1642	1525	1739				

NOTE:

FOR CONVENIENCE, DEPTHS OF INLETS SHOWN IN ABOVE TABLES ARE IN INCREMENTS OF 3 INCHES BUT ANY DEPTHS OTHER THAN THOSE SHOWN ABOVE MAY BE USED WHEREVER

CONCRETE NEGATIVE QUANTITIES FOR ANY DEPTHS FALLING WITHIN THE LIMITS OF THE TABLE MAY BE FOUND BY INTERPOLATION.

STANDARD DRAWING NO. 702


DATE
Mar. 2018

STANDARD DRAWING NO. R-6020E

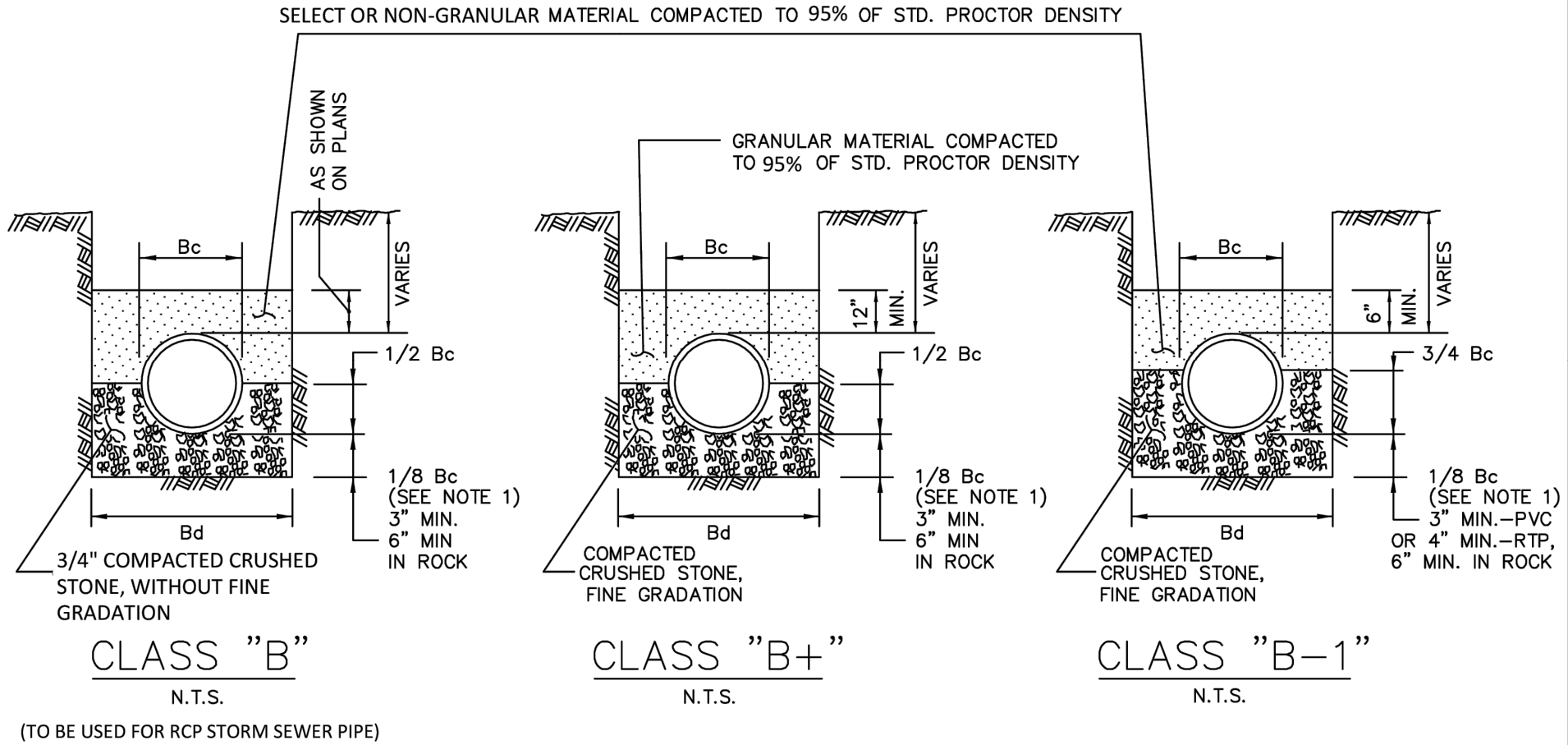
CURB INLET

SUMMARY OF QUANTITIES


CITY OF ROCKWALL

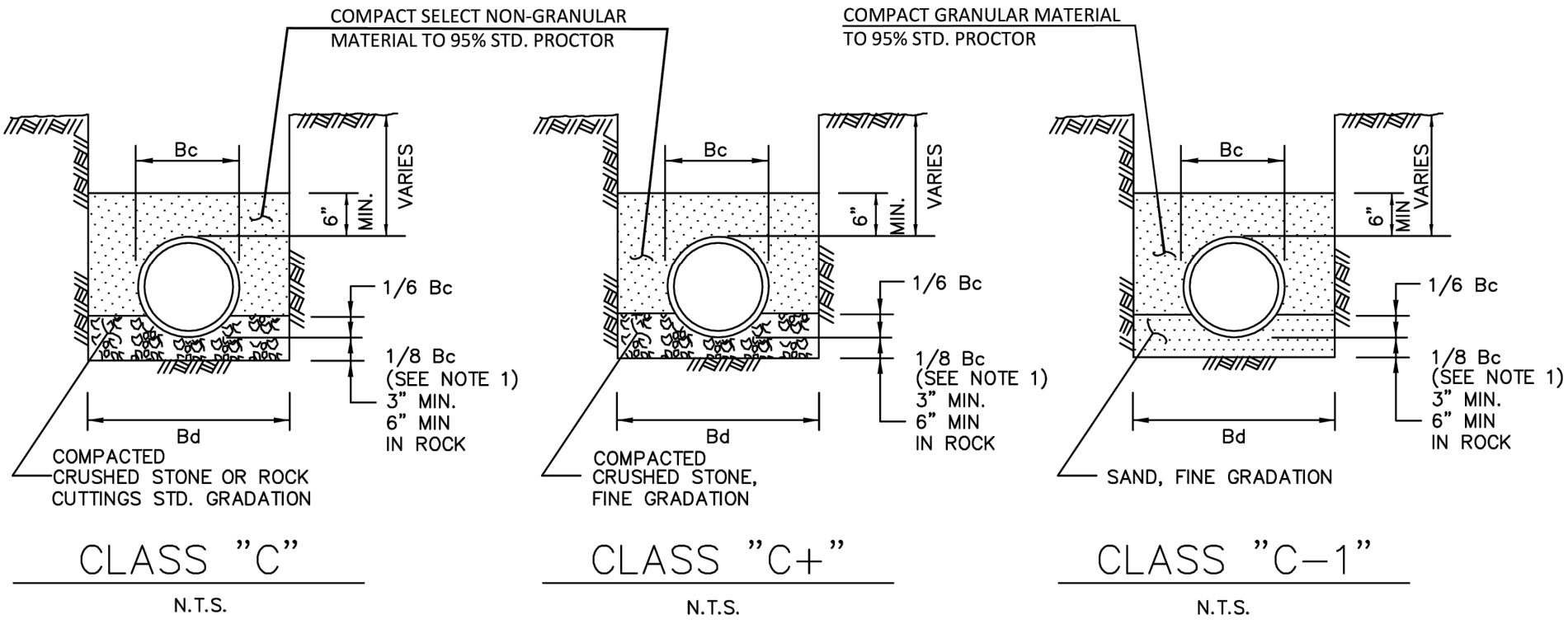


A:\2021\1187\22\03_DSGN\01_DWG\050_CIVIL\00_SHEETS\CU505-1187.DWG, 7/30/2025 12:56 PM, tjones




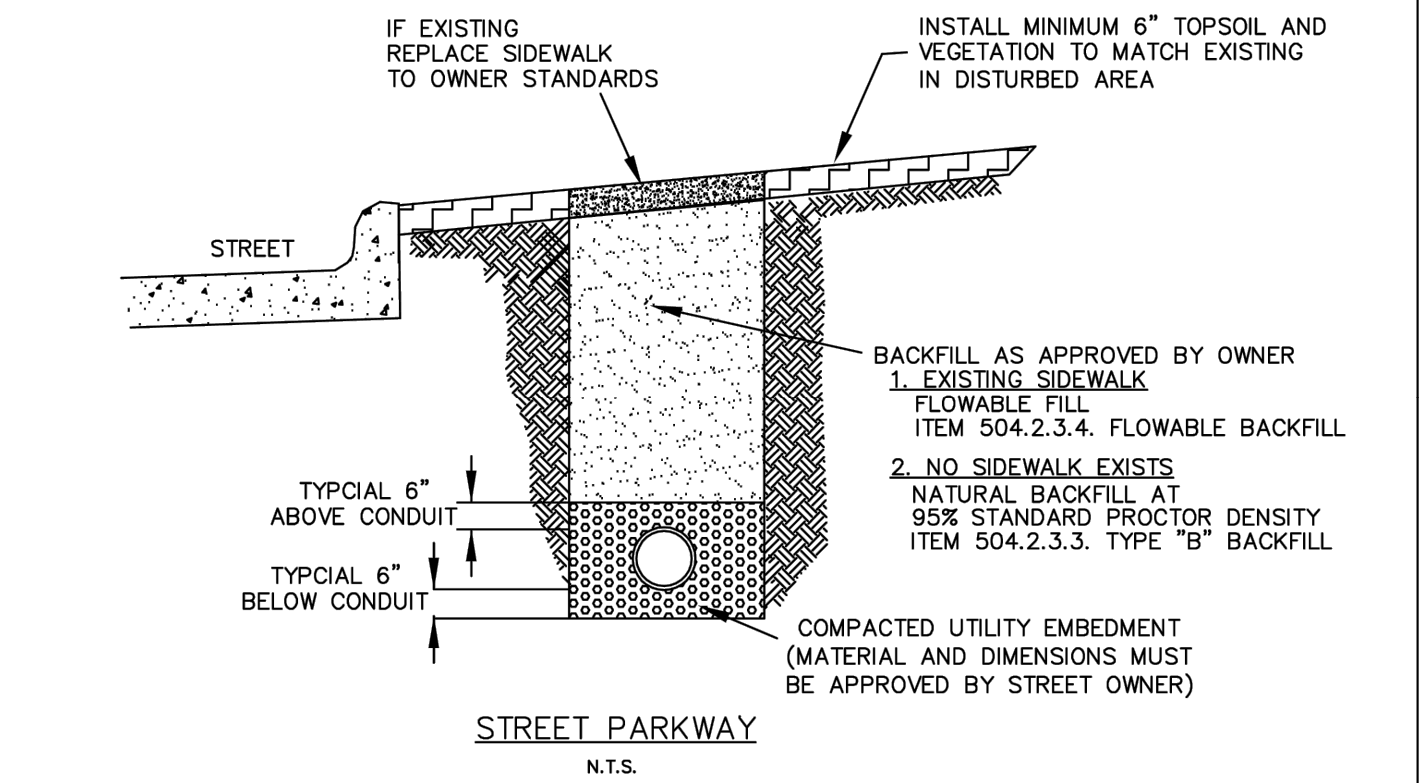
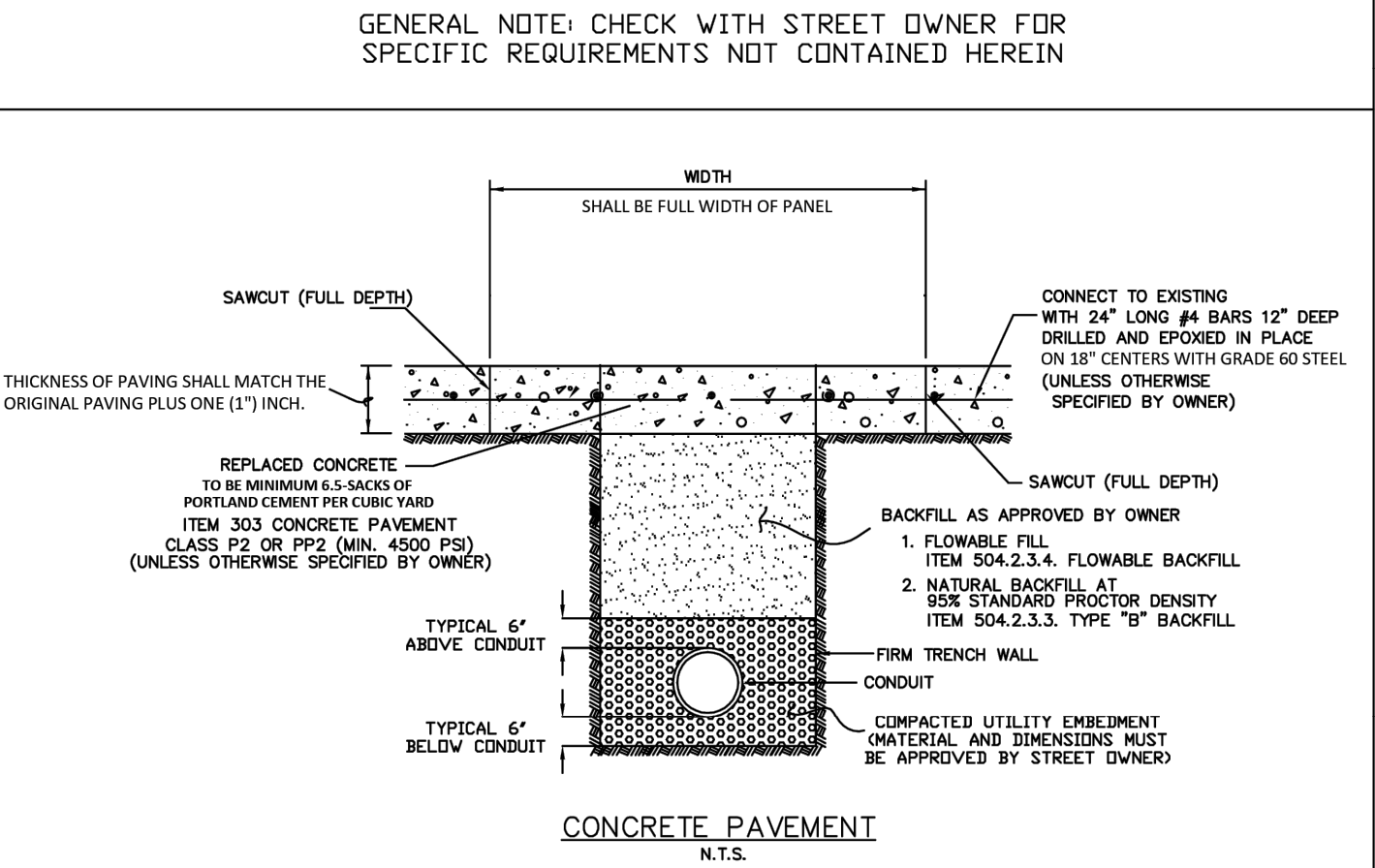
- NOTES:
1. FOR MAINS 42" DIAMETER AND LARGER, 1/8 Bc SHALL BE TAKEN AS 6".
 2. Bc = OUTSIDE DIAMETER OF PIPE
 3. Bd = TRENCH WIDTH

EMBEDMENT	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
CLASS "B", "B+", & "B-1"		504.5
	DATE	STANDARD DRAWING NO.
	Mar. 2018	R-3020

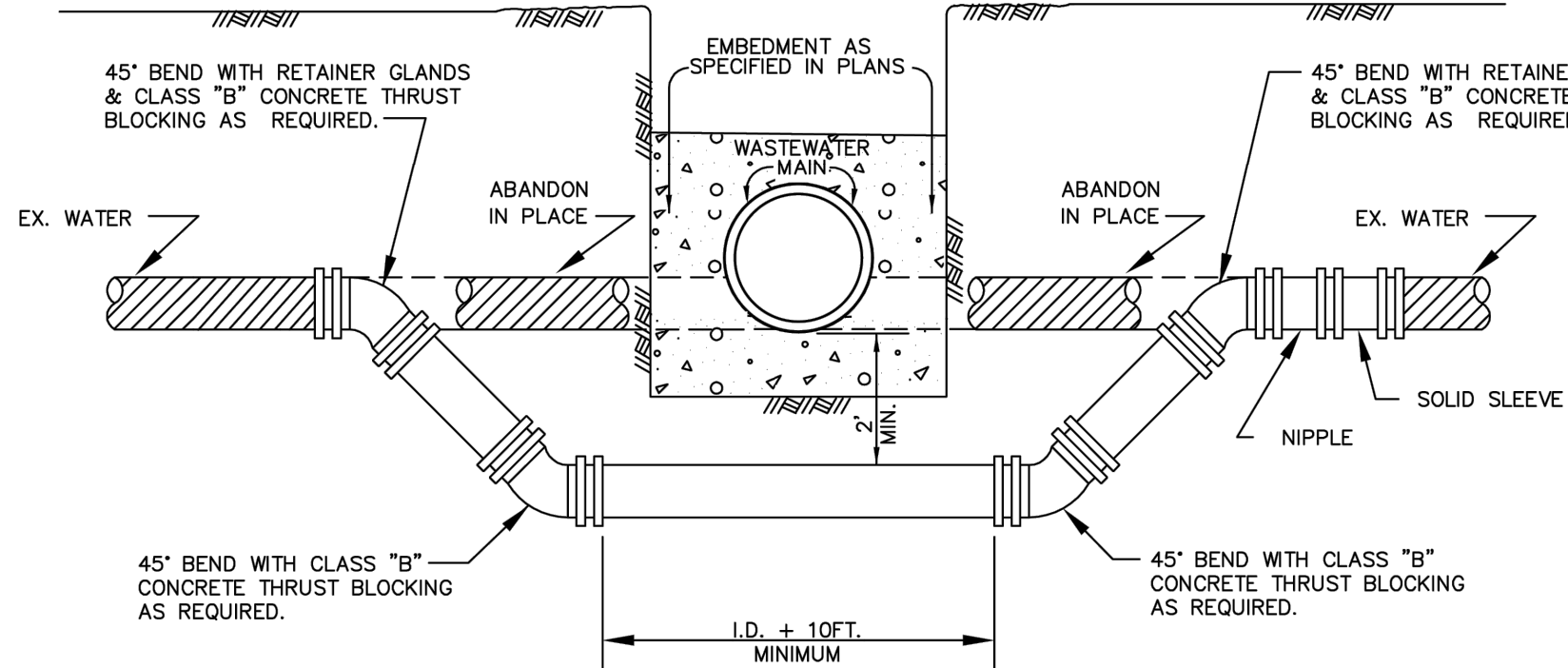


- NOTES:
1. FOR MAINS 42" DIAMETER AND LARGER, 1/8 Bc SHALL BE TAKEN AS 6".
 2. Bc = OUTSIDE DIAMETER OF PIPE
 3. Bd = TRENCH WIDTH

EMBEDMENT	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
CLASS "C", "C+", & "C-1"		504.5
	DATE	STANDARD DRAWING NO.
	Mar. 2018	R-3040

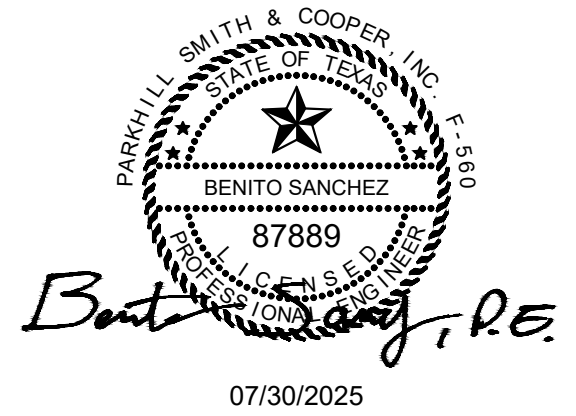


PAVEMENT CUT AND REPAIR	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
CONCRETE AND PARKWAY		402
	DATE	STANDARD DRAWING NO.
	Mar. 2018	R-3070A



WATER MAIN LOWERING	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
BELOW WASTEWATER MAIN		506.6
	DATE	STANDARD DRAWING NO.
	Mar. 2018	R-4200

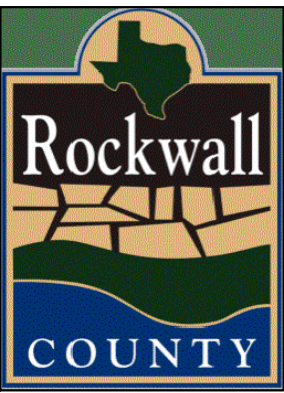
Parkhill



Parkhill.com
RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: BEN SANCHEZ

Rockwall County Annex



CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087



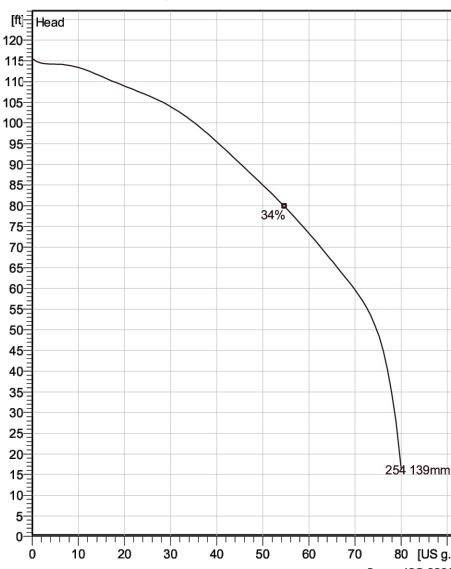
PROJECT NO.

11987.22

KEY PLAN

#	DATE	DESCRIPTION
17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
14	3/20/2025	RFI 064
13	12/12/2024	ASI 006
12	10/07/2024	CCR 006
8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction

Utility Details
CU505

MP 3069 H3 3~254 Semi open multi-channel impellers with integral grinder cutter in single vane casting for liquids containing solids and fibres.	
Technical specification 	Curves according to: Water, pure [100%], 39.2 °F, 42.42 lb/ft ³ , 1.68915 S/ft ³ 
Configuration Motor number M3069.890.13-10-288-W Impeller diameter 239 mm Discharge diameter 2 inch Inlet diameter 139 mm Discharge diameter 2 inch Inlet diameter 40 mm Maximum operating speed 1350 rpm Number of blades 5 Throughput diameter 1.4 inch Max. fluid temperature 40 °C	Materials Impeller Grey cast iron Housing Grey cast iron Impeller Grey cast iron Housing Grey cast iron Project Xy tech-21541072 Created by Jim Budzik Created on 12/5/2023 Last update 12/5/2023

MP 3069 HT 3~254 Technical specification			
Motor - General			
Motor number M3069-800 L3 10-255-W 3.8hp ATX approved PM	Phases 3~ Number of poles 2	Rated speed 3500 rpm Rated current 11 A	Rated power 3.8 hp Stator variant 11
Frequency 60 Hz Version code 890	Rated voltage 208 V	Insulation class F	Type of Duty S1
Motor - Technical			
Power factor - 1/1 Load 0.86 Power factor - 3/4 Load 0.80 Power factor - 1/2 Load 0.68	Motor efficiency - 1/1 Load 82.5 % Motor efficiency - 3/4 Load 84.6 % Motor efficiency - 1/2 Load 84.8 %	Total moment of inertia 0.0088 N·m² Starting current, direct starting 71 A Starting current, star-delta 23.6 A	Starts per hour max. 15

MP 3069 HT 3~ 254

Performance curve

Duty point

Flow
77.1 US g.p.m.

Head
38.9 ft

Curves according to: Water, pure (500K), 39.2 °F, 62.42 lb/ft³, 6891E-5 ft/s

The figure consists of two vertically stacked graphs sharing a common x-axis representing Flow in US g.p.m. (0 to 85).

Top Graph: Head vs. Flow

- Y-axis:** Head in feet (ft), ranging from 0 to 125.
- Curves:**
 - 254 130mm:** A solid line starting at approximately 125 ft head at 0 flow and decreasing to about 35 ft head at 85 flow.
 - 254 150mm:** A dashed line starting at approximately 125 ft head at 0 flow and decreasing to about 35 ft head at 85 flow.
- Operating Point:** A square marker is placed on the 254 130mm curve at approximately 55 flow and 75 head.

Bottom Graph: Efficiency and Power vs. Flow

- Y-axis:** Efficiency in percent (%), ranging from 0.0 to 32.0.
- Curves:**
 - 254 130mm (P1):** A solid line representing efficiency, peaking at approximately 22.2% at 55 flow.
 - 254 130mm (P2):** A dashed line representing efficiency, peaking at approximately 18.3% at 55 flow.
 - 254 130mm (P1):** A solid line representing power input, starting at approximately 2.8 at 0 flow and increasing to approximately 4.2 at 85 flow.
 - 254 130mm (P2):** A dashed line representing shaft power, starting at approximately 2.8 at 0 flow and increasing to approximately 3.3 at 85 flow.
- Annotations:**
 - A horizontal line at 32.0% efficiency is labeled "Constant Efficiency".
 - A vertical line at 77.1 US g.p.m. is labeled "Flow".
 - A horizontal line at 38.9 ft head is labeled "Head".

Project: 21541072

Created by: Jim Bodin

Created on: 12/5/2023

Last update: 12/5/2023

MP 3069 HT 3~254

Duty Analysis

Curves according to: Water, pure, 39.2 °F, 62.42 lb/Hr, 1.6891E-5 HP/s

Operating characteristics

Pump / Systems	Flow	Head	Shaft power	Flow	Head	Shaft power	Hydr.eff.	Specific Energy	NPSH _{req}
1	77.1 US g.p.m.	39.9 ft	3.5 hp	77.1 US g.p.m.	39.9 ft	3.5 hp	22.2 %	683 kWh/US Ml	

Project: Xylect 21541072
 Created by: Jim Bookin
 Created on: 12/5/2023
 Last update: 12/5/2023

VIEW B-B

VIEW A-A

VIEW C-C

ITEM	DESCRIPTION	PART NUMBER	QTY
16	PIPING KIT, 2"		1
15	PIPE, 2", SCH 40 PVC SST		(4)
14	HUB		1
13	U-BOLT ½-16 OD 2-¾, 2" PIPE	29605T8	4
12	BRAISING, DISCHARGE PIPE		2
11	UPPER GUIDE BAR KIT, ¾"		2
10	GUIDE BAR, ¾", 316 SST		4
9	SEAL, CABLE WALL, PUMP		1
8	SEAL, CABLE WALL, LEVEL SENSOR	18605CF125P	1
7	WASHER, ½ ID, 1½ OD, GENERAL PURPOSE, 316 SST	91950AO36	4
6	NUT, ½-10, 316 SST	94905AI35	4
5	PIPING KIT, DOG OVER FOR 2"		1
4	DISCHARGE CONNECTION, 2"	519 95 00	2
3	VENT PIPE, 4" (OPTIONAL)	14-68 22 02	1
2	COVER, 4"		1
1	BASIN/CYLINDER ASSEMBLY, 4"		1

UNLESS OTHERWISE NOTED:

MACHINING TOLERANCE: .015
 FINISH: RA 32
 THREADS: 1/32
 PLACES DEC. 2.01
 PLACES DEC. 2.02
 PLACES DEC. 2.0059
 ANGLES: 2.0°
 FABRICATION TOLERANCE: .015
 UP TO 12" 1/32
 OVER 12" TO 48" 1/16
 OVER 48" TO 120" 1/8
 OVER 120" 3/16
 ANGLES: 3.0°

DRAWN DATE 8/26/08 BY GJ
 CHDR DATE BY
 PROJ ENGR DATE BY
 NO. REVISION BY DATE APVD. DATE APVD. DATE APVD.

SHEET 1 OF 1

CAD DRAWING (D)

[illegible]

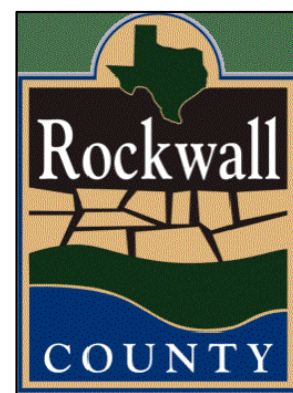
Parkhill.com

RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: TROY LUEDEKER

Rockwall County Annex



CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

KEY PLAN

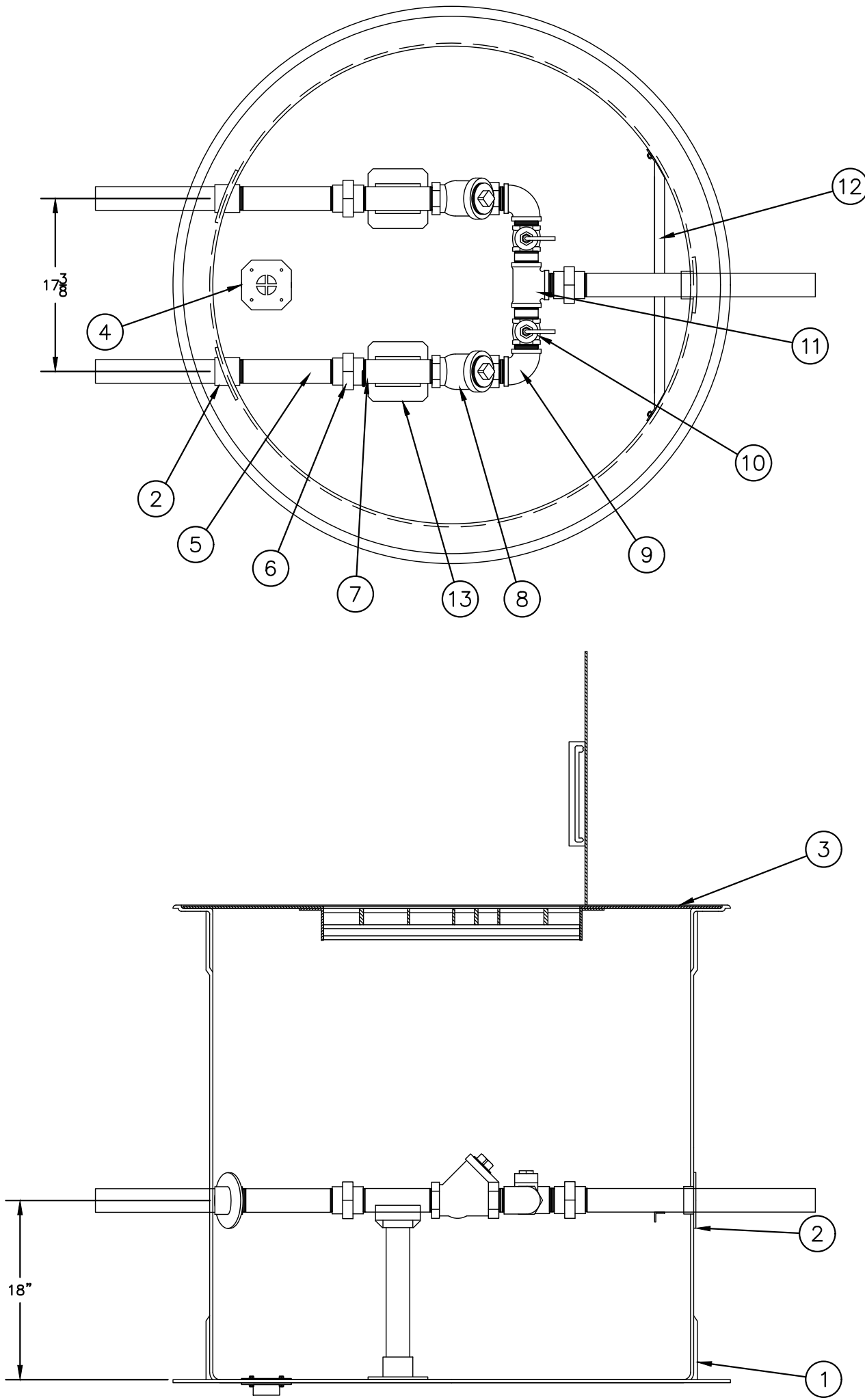
17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
14	3/20/2025	RFI 064
13	12/12/2024	ASI 006
12	10/07/2024	CCR 006
8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction
#	DATE	DESCRIPTION

Utility Details

CU506

A:\2022\11887\2203_DSGN01_DWG\050_CIVIL\00_SHEETS\CU507-11887.DWG, 7/30/2025 12:57 PM, tjones

CAD DRAWNG (D)



- NOTES:
1. VAULT DEPTH AS ORDERED.
 2. DISCHARGE C/L MUST BE AT LEAST 18" FROM BOTTOM OF VAULT.
 3. DISCHARGE C/L OF VAULT MUST EQUAL DISCHARGE C/L OF ORDERED STATION UNLESS OTHERWISE SPECIFIED.
 4. INLET AND OUTLET PIPES SHALL PROTRUDE 12" OUTSIDE BASIN.
 5. PIPING BETWEEN VALVE VAULT DRAIN AND STATION SUPPLIED BY OTHERS.
 6. TWO DRESSER COUPLINGS, STYLE 38, WILL BE PROVIDED WITH VALVE VAULT FOR CONNECTION WITH STATION.
 7. OPTIONAL ALUMINUM COVER W/O SAFE HATCH OPTION IS AVAILABLE UPON REQUEST. PLEASE SPECIFY WHEN ORDER IS PLACED.

ITEM	DESCRIPTION	PART NUMBER	QTY
13	VERTICAL PIPE SUPPORT		2
12	PIPE SUPPORT BRACKET		1
11	2" THREADED SS316 TEE		1
10	2" THREADED PLUG VALVE		2
9	2" THREADED SS 316 90° EL		2
8	2" HDL BALL CHECK VALVE		2
7	2" SS316 CLOSE NIPPLE		7
6	2" SS316 THREADED UNION		3
5	2" SS316 PIPE NIPPLE TO LENGTH		5
4	2" NPT DRAIN		1
3	48" ALUMINUM SAFE HATCH COVER		1
2	2" FRP HUB		3
1	48" FWB TO LENGTH W/ ANTI FLOAT		1

UNLESS OTHERWISE NOTED:
MACHINING TOLERANCE: DIM.
FRACTIONS: ± 1/32
1 PLACE DEC. ± 0.1
2 PLACE DEC. ± 0.02
3 PLACE DEC. ± 0.005
ANGLES: ± 0.05°

FABRICATION TOLERANCE: DIM.
UP TO 12" ± 1/32
OVER 12" TO 48" ± 1/16
OVER 48" TO 120" ± 1/8
OVER 120" ± 3/16
ANGLES: ± 0.5°

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XYLEM
a xylem brand

VALVE VAULT
4' VAULT DIAMETER
W/ 2" SST PIPING

REF: 14-882478 NUMBER: PM-032713-2

DRAWN: 11/23/2009 BY: M.R.D.
DATE: 02/01/2010 BY: P.M.
CHKD: 02/01/2010 BY: P.M.
ENGR: 02/01/2010 BY: P.M.
APVD: 02/04/2010 BY: R.D.

SCALE: PLOT TO FIT

Parkhill



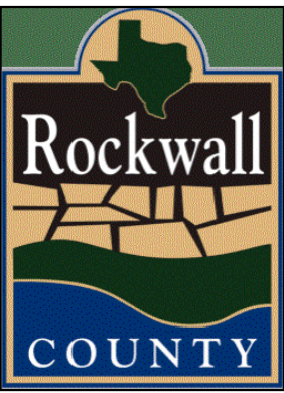
Parkhill.com

RECORD DRAWING

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DATE: 7-30-2025 BY: TROY LUEDEKER

Rockwall County Annex



CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

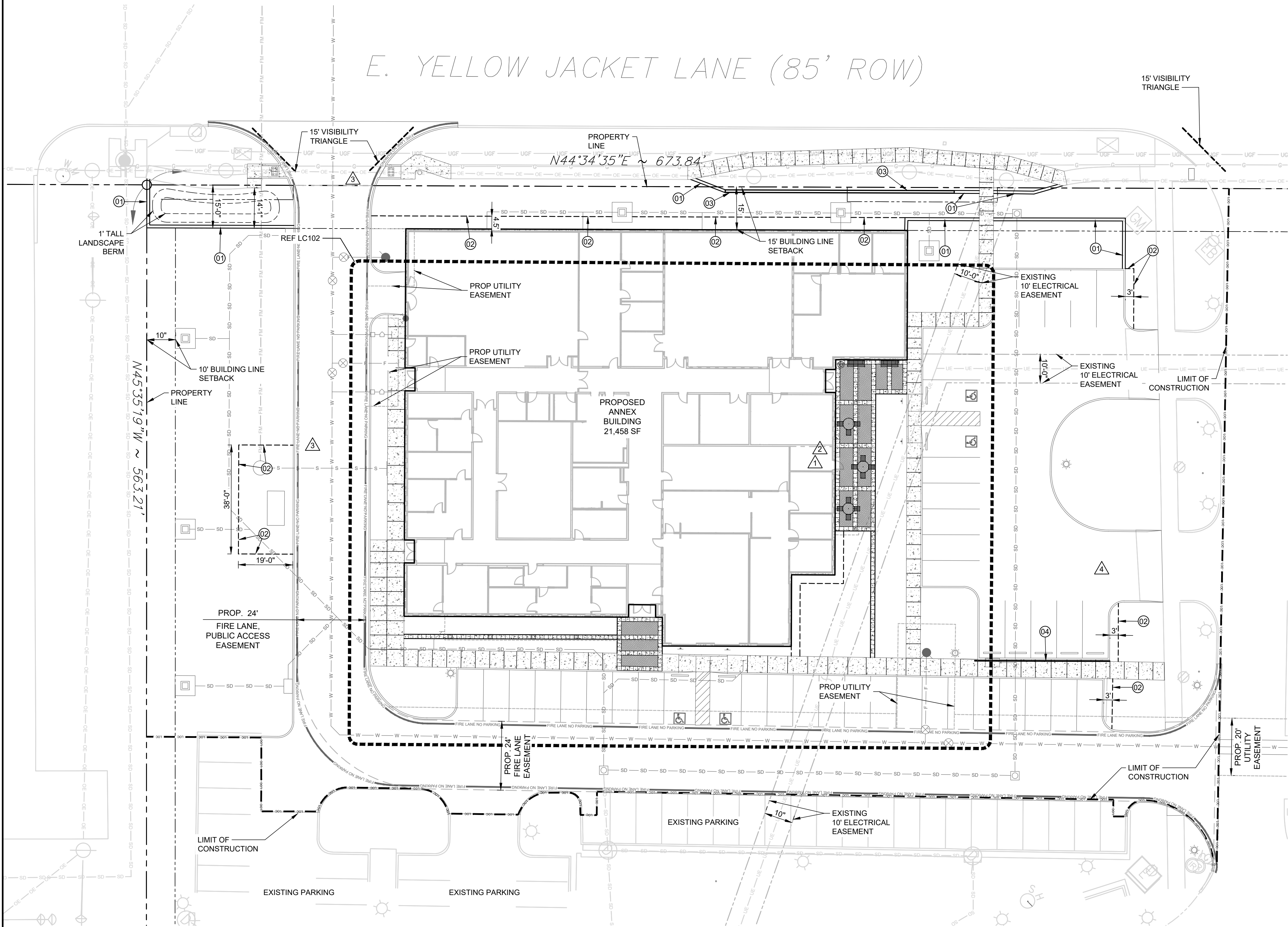
11987.22

KEY PLAN

#	DATE	DESCRIPTION
17	07/30/2025	Record Drawings
16	06/18/2025	RFI 084
15	04/07/2025	RFI 060
14	3/20/2025	RFI 064
13	12/12/2024	ASI 006
12	10/07/2024	CCR 006
8	07/18/2024	CCR 004
2	04/29/2024	CCR 001
-	03/01/2024	Issue For Construction

Utility Details
CU507

A:\2021\1187_22\03_DSGNZ_T002_HILL WILKINSON\2025-07-11 ENGINEERING COMPLETION ITEMS\RECORD DRAWING DWGLC101-1187.DWG, 7/29/2025 5:27 PM, Zapata



KEY NOTES

- AS INDICATED BY: 00
- 12" CONCRETE LANDSCAPE EDGE PER B2/L-501
 - LANDSCAPE EDGE PER C2/L-501
 - SEGMENTAL RETAINING WALL AS SPECIFIED, REF. CIVIL
 - PIPE RAIL, REF B3/L-501

LEGEND

- CONCRETE SIDEWALK PAVING, PER CIVIL
- BRICK PAVERS WITH HERRINGBONE PATTERN AS SPECIFIED AND PER B1, C1, D1/L-501
- 18" CONCRETE MOW EDGE AT PAVERS PER B1, C1, D1/L-501

CONSTRUCTION NOTES

EXAMINATION OF SITE OF WORK
BEFORE SUBMITTING A BID, EACH BIDDER SHALL CAREFULLY EXAMINE THE SITE OF WORK. EACH BIDDER SHALL INFORM HIMSELF/HERSELF PRIOR TO BIDDING AS TO THE EXISTING CONDITIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND SHALL INCLUDE IN HIS/HER BID A SUM TO COVER ALL COSTS OF ALL ITEMS NECESSARY TO PERFORM THE WORK AS SET FORTH IN THE CONTRACT DOCUMENTS. NO ALLOWANCE WILL BE MADE TO ANY BIDDER BECAUSE OF LACK OF SUCH EXAMINATION OR KNOWLEDGE. THE SUBMISSION OF A BID SHALL BE CONSTRUED AS CONCLUSIVE EVIDENCE THAT THE BIDDER IS SUFFICIENTLY FAMILIAR WITH ALL RELEVANT CONDITIONS.

CONCRETE FORMWORK AND REINFORCEMENT
THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO THE PLANNED PLACEMENT OF CONCRETE. THE OWNER'S REPRESENTATIVE MUST HAVE OBSERVED AND APPROVED THE FORMWORK AND REINFORCEMENT PRIOR TO ANY PLACEMENT OF CONCRETE

CONCRETE FINISH AND SAW JOINTS
THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ON THE SITE SAMPLE PANELS OF PAVEMENT 4' X 4' IN SIZE FOR EACH FINISH OF CONCRETE PAVEMENT. THE SURFACE FINISHES SHALL BE AS APPROVED BY THE OWNER'S REPRESENTATIVE. ANY CONCRETE PLACED WITH AN IMPROPER FINISH SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SAW JOINTS SHALL BE SAWN WITHIN 24 HOURS OF CONCRETE PLACEMENT. ANY CONCRETE SAWN LATER THAN THIS WHICH, IN THE OPINION OF THE OWNER'S REPRESENTATIVE, HAS EXCESSIVE SHRINKAGE CRACKS DUE TO NOT HAVING BEEN SAWN SOON ENOUGH, SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

ALIGNMENT AND TANGENCY OF PAVEMENTS
THE EDGES OF ALL FINISHED PAVING SHALL BE STRAIGHT OR SMOOTH CURVES (AS DELINEATED ON THE PLANS) WITH NO INTERRUPTIONS SUCH AS CHORDS, WAVES, JOGS, OR MISSED TANGENTS. PAVEMENT WITH SUCH INTERRUPTION SHALL BE REMOVED.

CITY STANDARDS
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS, CITY STANDARD SPECIFICATIONS, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

DIMENSIONS
DIMENSIONS ARE TO BACKS OF CURBS, TO CENTERLINES OF FENCES, OR TO EDGES OF PAVEMENTS, UNLESS OTHERWISE INDICATED. WRITTEN AND NUMBERED DIMENSIONS HOLD PRECEDENCE OVER SCALED DIMENSIONS.

ADJUSTMENTS
IF THE CONTRACTOR BELIEVES IT IS NECESSARY TO MAKE AN ADJUSTMENT IN THE LAYOUT OR GRADE OF PROPOSED IMPROVEMENTS, SUCH AN ADJUSTMENT SHALL BE PROPOSED TO THE OWNER'S REPRESENTATIVE. NO ADJUSTMENT WILL BE PERMITTED UNTIL IT HAS FIRST BEEN APPROVED BY THE OWNER'S REPRESENTATIVE AND THE CITY OF ROCKWALL.

TURFGRASS PLANTING
TURFGRASS SHALL BE PLANTED AND ESTABLISHED, AS SPECIFIED, OVER ANY AREAS DISTURBED BY CONSTRUCTION. THE GRASS LIMITS LINES SHOWN ARE NOT ABSOLUTE. TURFGRASS PLANTING SHALL TAKE PLACE BEYOND THE LIMITS IF THE AREA IS DISTURBED.

GRADING NOTES

- ALL SPOT GRADES ARE TOP OF PAVING GRADES UNLESS OTHERWISE NOTED.
- CROSS SLOPES OF SIDEWALKS ARE NOT TO EXCEED 2.0%.
- LONGITUDINAL SLOPES OF SIDEWALKS ARE NOT TO EXCEED 5.0%.
- TURFGRASS SLOPES ARE NOT TO EXCEED 25%.

EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL TEXAS 811, 1-800-344-8377.

Parkhill

RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: LONDON G BELL

L. G. Bell

Parkhill.com

Rockwall County Annex

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

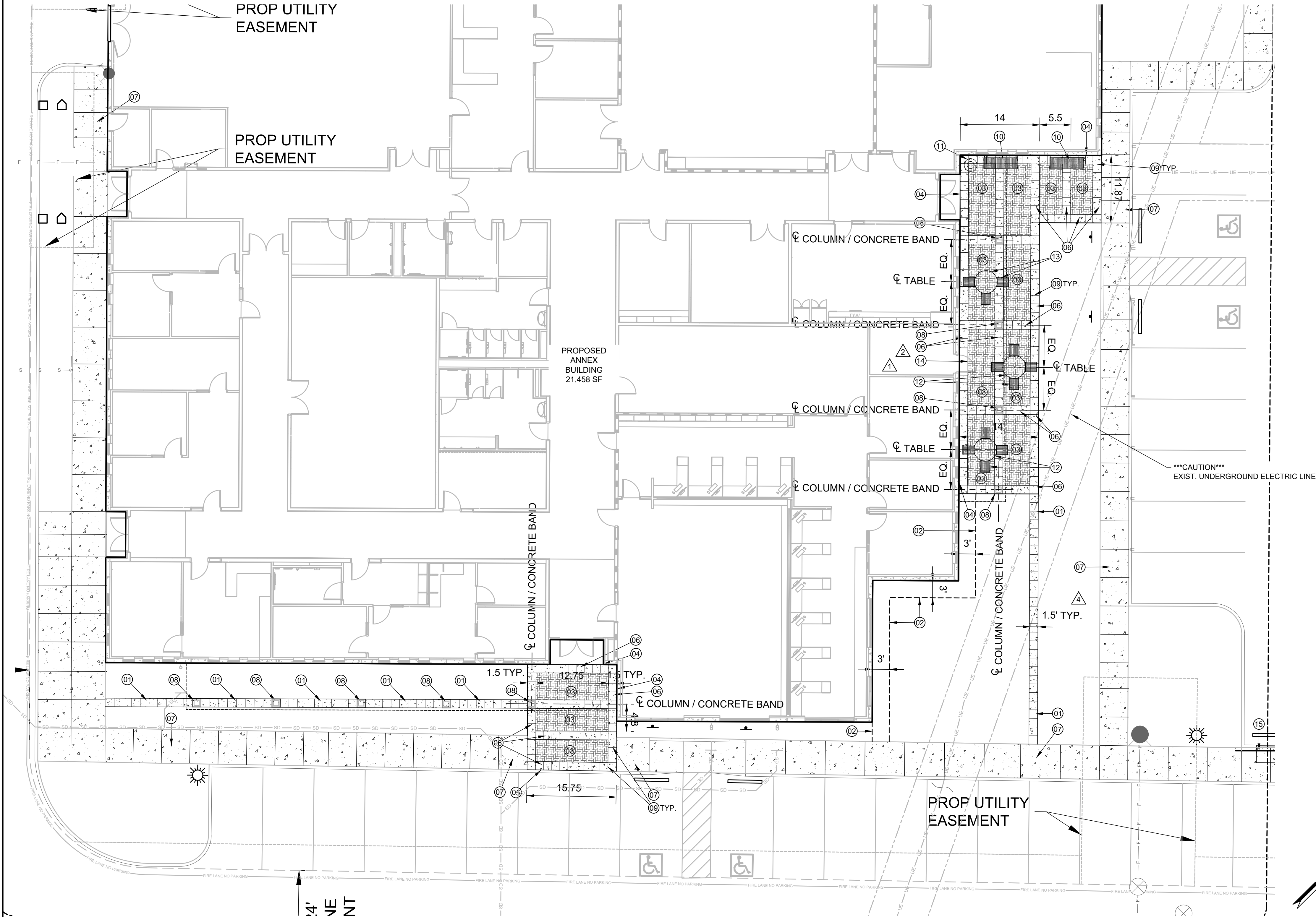
Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

#	DATE	DESCRIPTION
5	07/30/2025	Record Drawings
4	04/07/2025	RFI 060
3	10/4/2024	CCR 006
2	07/08/2024	RFI-003R
1	06/19/2024	RFI-003
-	04/29/2024	Issue for Construction/Permit

Landscape
Annotation &
Layout Plan
LC101

A:\2021\1187\2203_DSGNZ_T002_HILL WILKINSON\2025-07-11 ENGINEERING COMPLETION ITEMS\RECORD DRAWING DWGLC102-1187.DWG, 7/29/2025 5:27 PM, [zapata]



KEY NOTES

- AS INDICATED BY: 00
- 18" CONCRETE LANDSCAPE EDGE PER B2/L-501
 - LANDSCAPE EDGE PER C2/L-501
 - PAVERS AS SPECIFIED AND PER B1, C1, D1/L-501
 - PAVERS @ BUILDING SLAB PER C1/L-501
 - PAVERS CURB AND SIDEWALK CONNECTION PER D1/L-501
 - 18" CONCRETE BAND AT PAVERS PER B1, C1, AND D1/L-501
 - CONCRETE SIDEWALK PAVING. PER CIVIL
 - CANOPY COLUMN WITH BRICK VENEER PER ARCHITECTURE
 - CONTROL JOINT PER A1, B1/L-501
 - BENCH. SITESCAPES 'CITYVIEW BACKED BENCH' PRODUCT CV1-1010 SURFACE MOUNT. COLOR: BLACK
 - LITTER RECEPTACLE. BARCO PRODUCTS 'CASSIDY 32 GALLON RECEPTACLE', FLAT LID, COLOR: BLACK
 - 4-SEAT TABLE. SITESCAPES 'CITYVIEW', ROUND, 4 BACKED SEATS, SURFACE MOUNT, SUSPENDED SEATING, COLOR: BLACK
 - ADA 3-SEAT TABLE. SITESCAPES 'CITYVIEW', ROUND, 3 BACKED SEATS, SURFACE MOUNT, SUSPENDED SEATING, ADA COMPLIANT, COLOR: BLACK
 - DOWEL CONCRETE BASE UNDER PAVERS TO DOOR STOOP WITH 21" L, NO 4 SMOOTH BARS @ 12" OC, CAP AND LUBE ONE END.
 - PIPE RAIL PER B3/L-501.

LEGEND

- CONCRETE SIDEWALK PAVING PER CIVIL
- BRICK PAVERS WITH HERRINGBONE PATTERN AS SPECIFIED AND PER B1, C1, D1/L-501
- 18" CONCRETE MOW EDGE AT PAVERS REF. B1, C1, D1/L-501

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Parkhill

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DATE: 7-30-2025 BY: LONDON G BELL

L. G. Bell

Parkhill.com

Rockwall County Annex

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

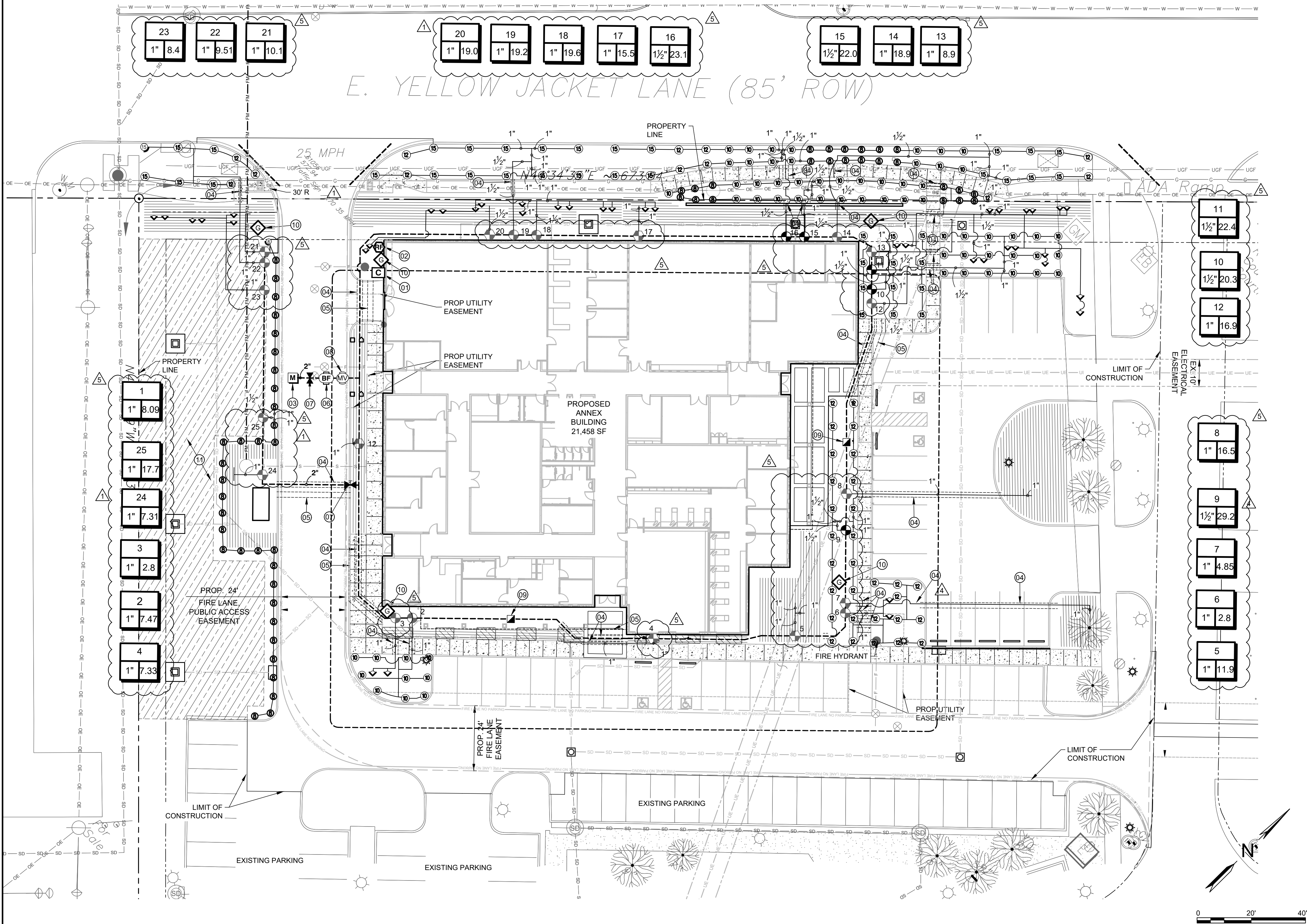
Owner Contact Information

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Phone Number: 972-204-6000

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2	07/08/2024	RFI-003R
1	06/19/2024	RFI-003
-	04/29/2024	Issue for Construction/Permit

Enlarged
Landscape
Annotation &
Layout Plan
LC102

A:\2021\1187\2203_DSGNZ_T002_HILL WILKINSON\2025-07-11 ENGINEERING COMPLETION ITEMS\RECORD DRAWING DWGLI101-1187.DWG, 7/30/2025 9:24 AM, jzapata



KEY NOTES

- AS INDICATED BY: 00
- COORDINATE CONTROLLER LOCATION WITH OWNER. REF. C1/L-504.
 - WIRELESS RAIN/FREEZE SENSOR TO BE MOUNTED TO BUILDING EYE. COORDINATE LOCATION WITH ARCHITECT. REF. AS/L-504.
 - 2" IRRIGATION METER. REF. CIVIL UTILITY PLAN. IRRIGATION SYSTEM DESIGN PRESSURE = 40.4 PSI. NOTE: IR METER IS SHOWN IN STREET FOR GRAPHIC CLARITY. ACTUAL LOCATION IS LANDSCAPE AREA ADJACENT TO STREET CURB.
 - COORDINATE SLEEVE INSTALLATION WITH PAVING POURS. SLEEVES SHALL BE TWO TIMES THE COMBINED DIAMETER OF THE LATERAL AND MAINLINES TO BE SLEEVED. LATERAL LINES SHALL BE SLEEVED SEPARATELY FROM MAINLINE. SLEEVES SHALL BE A MINIMUM OF 18" BELOW FINISH GRADE IN PARKING / DRIVE AREAS. SLEEVES SHALL EXTEND 18" PAST HARDSCAPE AND CURB EDGES.
 - SLEEVE FOR CONTROL WIRE ONLY.
 - 2" DOUBLE CHECK BACKFLOW PREVENTER AS SCHEDULED. REF. IRRIGATION SCHEDULE & A1/L-504.
 - 2" PVC SHUTOFF VALVE - REF. IRRIGATION SCHEDULE.
 - 2" MASTER VALVE - REF. IRRIGATION SCHEDULE.
 - QUICK COUPLER - REF. IRRIGATION SCHEDULE.
 - RAIN BIRD LSP-11TURF-W2-WIRE GROUNDING - REF. IRRIGATION SCHEDULE.
 - CONTRACTOR SHALL INSTALL TEMPORARY IRRIGATION. TEMPORARY IRRIGATION SHALL REMAIN IN PLACE UNTIL GRASS ESTABLISHMENT IS ACHIEVED PER SPECIFICATIONS. CONTRACTOR SHALL REMOVE TEMPORARY IRRIGATION AFTER FIRST GROWING SEASON.

Parkhill

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DATE: 7-30-2025 BY: LONDON G BELL

L. G. Bell

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PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

5 07/30/2001 Record Drawings

4 04/07/2025 RFI 060

1 10/4/2024 CCR 006

- 04/29/2024 Issue for Construction/Permit

DATE DESCRIPTION

Landscape
Irrigation
Plan

LI101

SEE LI-102 FOR LANDSCAPE IRRIGATION
GENERAL NOTES & SCHEDULES

A:\2021\1187\2203_DSGNZ_T002_HILL WILKINSON\2025-07-11 ENGINEERING COMPLETION ITEMS\RECORD DRAWING DWGL1102-1187.DWG, 7/30/2025 9:24 AM, Japapa

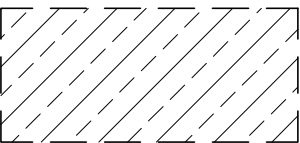
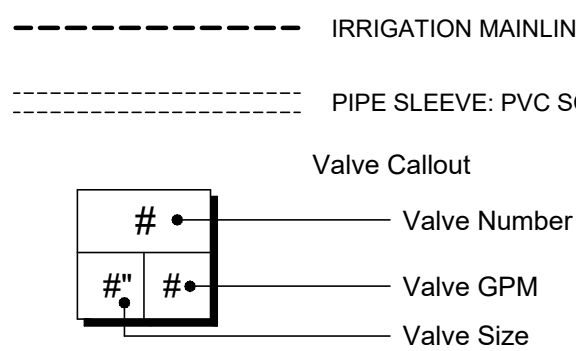
IRRIGATION GENERAL NOTES	TCEQ GENERAL NOTES
TEXAS 811: CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE, DIAL 811 FROM ANY PHONE IN TEXAS OR (800) 344-8377	THIS IRRIGATION SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED ACCORDING TO TEXAS ADMINISTRATIVE CODE, TITLE 30 - ENVIRONMENTAL QUALITY, PART 1 - TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), CHAPTER 344 - LANDSCAPE IRRIGATION; THE FOLLOWING INFORMATION IS PROVIDED AS A COURTESY AND IS NOT A COMPLETE LIST OF TCEQ REQUIREMENTS
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION	THE MAXIMUM SPACING BETWEEN EMISSION DEVICES MUST NOT EXCEED THE MANUFACTURER'S PUBLISHED RADIUS OR SPACING OF THE DEVICE
THIS IRRIGATION SYSTEM HAS BEEN DESIGNED FOR THE USE OF POTABLE WATER	NEW IRRIGATION SYSTEMS SHALL NOT UTILIZE ABOVE-GROUND SPRAY EMISSION DEVICES IN LANDSCAPES THAT ARE LESS THAN 48 INCHES NOT INCLUDING THE IMPERVIOUS SURFACES IN EITHER LENGTH OR WIDTH AND WHICH CONTAIN IMPERVIOUS PEDESTRIAN OR VEHICULAR TRAFFIC SURFACES ALONG TWO OR MORE PERIMETERS
THIS IRRIGATION SYSTEM WAS DESIGNED FOR A MINIMUM STATIC PRESSURE AT THE POINT OF CONNECTION AS LISTED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN THE LISTED DESIGN PRESSURE, THE CONTRACTOR SHALL RECEIVE DIRECTION FROM THE LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY	EMISSION DEVICES MUST BE INSTALLED TO OPERATE AT THE MINIMUM AND NOT ABOVE THE MAXIMUM SPRINKLER HEAD PRESSURE AS PUBLISHED BY THE MANUFACTURER FOR THE NOZZLE AND HEAD SPACING THAT IS USED
ALL IRRIGATION EQUIPMENT TO BE USED ON THE PROJECT SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY AND INSTALLATION	IRRIGATION SYSTEMS SHALL NOT SPRAY WATER OVER SURFACES MADE OF CONCRETE, ASPHALT, BRICK, WOOD, STONES SET WITH MORTAR, OR ANY OTHER IMPERVIOUS MATERIAL, SUCH AS, BUT NOT LIMITED TO, WALLS, FENCES, SIDEWALKS, STREETS, ETC
IRRIGATION PLAN SHOWN IS DIAGRAMMATIC IN NATURE, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DRIP EMITTERS AT EACH PLANT LOCATION AND FULL COVERAGE OF ALL TURF AREAS. ANY DISCREPANCIES IN THE PLANS SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO BID	ALL NEW IRRIGATION SYSTEMS THAT ARE INSTALLED USING PVC PIPE AND FITTINGS SHALL BE PRIMED WITH A COLORED PRIMER PRIOR TO APPLYING THE PVC CEMENT
WHEN BACKFLOW PREVENTION IS SHOWN TO BE INSTALLED BELOW GRADE, A WYE STRAINER THE SAME SIZE AS THE BACKFLOW DEVICE SHALL BE INSTALLED UPSTREAM	THE IRRIGATION SYSTEM MUST INCLUDE AN ISOLATION VALVE BETWEEN THE WATER METER AND THE BACKFLOW PREVENTION DEVICE
ALL FITTINGS AND NECESSARY EQUIPMENT REQUIRED TO MAKE THIS IRRIGATION SYSTEM OPERATE PROPERLY AND TO COMPLY WITH LOCAL AND STATE CODES ARE INCIDENTAL TO THESE PLANS AND ARE THE CONTRACTOR'S RESPONSIBILITY	WATER CONTAINED WITHIN THE PIPING OF AN IRRIGATION SYSTEM IS DEEMED TO BE NON-POTABLE. NO DRINKING OR DOMESTIC WATER USAGE, SUCH AS, BUT NOT LIMITED TO, FILLING SWIMMING POOLS OR DECORATIVE FOUNTAINS, SHALL BE CONNECTED TO AN IRRIGATION SYSTEM
CONTRACTOR WILL BE HELD LIABLE FOR GAINING ACCESS UNDER ALL PAVEMENTS, SLEEVES SHOWN ON THE PLANS SHOULD BE VERIFIED FOR ACCESSIBILITY AND PASSIBILITY BEFORE BID IS MADE	HOSE BIBS MUST BE INSTALLED USING A QUICK COUPLER KEY ON A QUICK COUPLER INSTALLED IN A COVERED PURPLE VALVE BOX AND THE HOSE BIB AND ANY HOSES CONNECTED TO THE BIB MUST BE LABELED "NON-POTABLE, NOT SAFE FOR DRINKING." AN ISOLATION VALVE MUST BE INSTALLED UPSTREAM OF A QUICK COUPLER CONNECTING A HOSE BIB TO AN IRRIGATION SYSTEM
IRRIGATION SLEEVES SHALL BE SIZED TWO FULL PIPE SIZES LARGER THAN PIPE INSTALLED INSIDE THE SLEEVE. FITTINGS SHALL BE INSTALLED INSIDE SLEEVES IF POSSIBLE. TAPE BOTH ENDS OF SLEEVES WITH TWO LAYERS OF DUCT TAPE	A LICENSED IRRIGATOR OR A LICENSED IRRIGATION TECHNICIAN SHALL BE ON-SITE AT ALL TIMES WHILE THE LANDSCAPE IRRIGATION SYSTEM IS BEING INSTALLED
THE CONTRACTOR SHALL LOCATE AND VERIFY EACH WATER TAP TO WHICH THIS THE IRRIGATION SYSTEM WILL CONNECT	UPON COMPLETION OF THE IRRIGATION SYSTEM, THE IRRIGATOR OR IRRIGATION TECHNICIAN WHO PROVIDED SUPERVISION FOR THE ON-SITE INSTALLATION SHALL BE REQUIRED TO COMPLETE FOUR ITEMS: (1) A FINAL "WALK THROUGH" WITH THE IRRIGATION SYSTEMS OWNER OR THE OWNER'S REPRESENTATIVE TO EXPLAIN THE OPERATION OF THE SYSTEM; (2) THE MAINTENANCE CHECKLIST ON WHICH THE IRRIGATOR OR IRRIGATION TECHNICIAN SHALL OBTAIN THE SIGNATURE OF THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE AND SHALL SIGN, DATE, AND SEAL THE CHECKLIST; (3) A PERMANENT STICKER WHICH CONTAINS THE IRRIGATOR'S NAME, LICENSE NUMBER, COMPANY NAME, TELEPHONE NUMBER AND THE DATES OF THE WARRANTY PERIOD SHALL BE AFFIXED TO EACH AUTOMATIC CONTROLLER
ALL EQUIPMENT AND INSTALLATION METHODS SHALL COMPLY WITH LOCAL AND STATE CODES AND THE PLANS AND SPECIFICATIONS	INSTALLED BY THE IRRIGATOR OR IRRIGATION TECHNICIAN, (4) THE IRRIGATION PLAN INDICATING THE ACTUAL INSTALLATION OF THE SYSTEM MUST BE PROVIDED TO THE IRRIGATION SYSTEM'S OWNER OR OWNER REPRESENTATIVE
CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS AND METERS REQUIRED FOR THE FULL IMPLEMENTATION OF THE SYSTEM	THE ITEMS ON THE MAINTENANCE CHECKLIST SHALL INCLUDE BUT ARE NOT LIMITED TO: (A) THE MANUFACTURER'S MANUAL FOR THE AUTOMATIC CONTROLLER, IF THE SYSTEM IS AUTOMATIC; (B) A SEASONAL (SPRING, SUMMER, FALL, WINTER) WATERING SCHEDULE BASED ON EITHER CURRENT/REAL TIME EVAPOTRANSPIRATION OR MONTHLY HISTORICAL REFERENCE EVAPOTRANSPIRATION (HISTORICAL ET) DATA, MONTHLY EFFECTIVE RAINFALL ESTIMATES, PLANT LANDSCAPE COEFFICIENT FACTORS, AND SITE FACTORS; (C) A LIST OF COMPONENTS, SUCH AS THE NOZZLE, OR PUMP FILTERS, AND OTHER SUCH COMPONENTS; THAT REQUIRE MAINTENANCE AND THE RECOMMENDED FREQUENCY FOR THE SERVICE; AND (D) THE STATEMENT, "THIS IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS OR ORDERS. I HAVE TESTED THE SYSTEM AND DETERMINED THAT IT HAS BEEN INSTALLED ACCORDING TO THE IRRIGATION PLAN AND IS PROPERLY ADJUSTED FOR THE MOST EFFICIENT APPLICATION OF WATER AT THIS TIME."
CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO INITIATING WORK. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE OR INTERRUPTION IN SERVICE CAUSED BY EXCAVATIONS AND/OR WORK	THE IRRIGATOR SHALL PRESENT THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE WITH A WRITTEN WARRANTY COVERING MATERIALS AND LABOR FURNISHED IN THE NEW INSTALLATION OF THE IRRIGATION SYSTEM. THE IRRIGATOR SHALL BE RESPONSIBLE FOR ADHERING TO TERMS OF THE WARRANTY. IF THE IRRIGATOR'S WARRANTY IS LESS THAN THE MANUFACTURER'S WARRANTY FOR THE SYSTEM COMPONENTS, THEN THE IRRIGATOR SHALL PROVIDE THE IRRIGATION SYSTEM'S OWNER OR THE OWNER'S REPRESENTATIVE WITH APPLICABLE INFORMATION
EACH CONTROLLER WILL HAVE AN INDEPENDENT COMMON WIRE	REGARDING THE MANUFACTURER'S WARRANTY PERIOD, THE WARRANTY MUST INCLUDE THE IRRIGATOR'S SEAL, SIGNATURE, AND DATE. WRITTEN WARRANTY ON NEW IRRIGATION SYSTEMS MUST SPECIFY THE IRRIGATOR'S NAME, BUSINESS ADDRESS, AND BUSINESS TELEPHONE NUMBER(S). MUST CONTAIN THE SIGNATURE OF THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE CONFIRMING RECEIPT OF THE WARRANTY AND MUST INCLUDE THE STATEMENT: "IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), MC-178, P.O. BOX 130897, AUSTIN, TEXAS 78711-3087. TCEQ'S WEBSITE IS: WWW.TCEQ.STATE.TX.US
ALL REMOTE CONTROL VALVE WIRES NEED TO BE LABELED AT VALVE W/ WEATHER (WATER) PROOF LABELS, AND AT CONTROLLER WITH CORRESPONDING LABEL	ON ALL MAINTENANCE, ALTERATIONS, REPAIRS, OR SERVICE TO EXISTING IRRIGATION SYSTEMS, AN IRRIGATOR SHALL PRESENT THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE A WRITTEN DOCUMENT THAT IDENTIFIES THE MATERIALS FURNISHED IN THE MAINTENANCE, ALTERATION, REPAIR, OR SERVICE AND ALL APPLICABLE WARRANTIES
SPlicing OF REMOTE CONTROL VALVE WIRES IS NOT ALLOWED BETWEEN CONTROLLER AND VALVE BOX FOR REMOTE CONTROL VALVES. WIRES MUST BE CONTINUOUS FROM CONTROLLER TO REMOTE CONTROL VALVE WITHOUT SPlicing	
CONTRACTOR SHALL PROVIDE A SINGLE 120-VOLT, 20 AMP CIRCUIT FROM ELECTRICAL PANEL TO IRRIGATION CONTROLLER, ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.)	
CONTRACTOR SHALL SIZE VALVE BOXES TO HOUSE THE ENTIRE ASSEMBLY OF BACKFLOW PREVENTION, VALVE, FILTER AND PRESSURE REDUCER	
CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS AND DETAILS	
PIPE SLEEVES SHOWN CROSSING EXISTING PAVING SHALL BE BORED TO AVOID DAMAGE TO EXISTING ROADWAYS	
WHEN A BOOSTER PUMP IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE AN ELECTRICAL CIRCUIT, CONDUIT, AND WIRING AS REQUIRED FOR FULL FUNCTIONALITY OF THE PUMP SYSTEM. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.)	
WHEN A HEATED BACKFLOW ENCLOSURE IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE AN ELECTRICAL CIRCUIT, CONDUIT, AND WIRING AS REQUIRED FOR FULL FUNCTIONALITY OF THE HEATER SYSTEM. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.)	
PRIOR TO A REQUEST FOR PUNCH LIST REVIEW, THE CONTRACTOR SHALL CYCLE THE ENTIRE IRRIGATION SYSTEM, CHECK FOR/REPAIR LEAKS, ADJUST HEAD RADII AND PATTERNS, FILL SETTLED TRENCHES, BRING VALVE BOXES AND HEADS TO FINISH GRADE, CREATE ZONE CHART, INSTALL GRAVEL IN VALVE BOXES, LABEL VALVES, INSTALL SENSORS, INSTALL PROPER WIRE CONNECTORS, INSTALL UNION VALVES, AND PROVIDE AS-BUILT DRAWINGS. SHOULD A PUNCH LIST REVIEW BE REQUESTED AND PERFORMED PRIOR TO THESE ITEMS BEING PERFORMED, THE CONTRACTOR SHALL PAY FOR ADDITIONAL TIME AND TRAVEL EXPENSES REQUIRED BY THE LANDSCAPE ARCHITECT FOR A FOLLOW-UP SITE VISIT	

⚠ VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	⚠	GPM	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
9	RAIN BIRD PEB W/FD-101 DECODER	1-1/2"	TURF SPRAY		29.24	25	1.38	3.62	30.0	41.5	1.91 in/h
2	RAIN BIRD PEB W/FD-101 DECODER	1"	TURF SPRAY		7.47	25	0.24	1.75	27.0	37.2	1.65 in/h
10	RAIN BIRD PEB W/FD-101 DECODER	1-1/2"	TURF SPRAY		20.27	25	0.24	3.89	29.1	39.8	2.44 in/h
12	RAIN BIRD PEB W/FD-101 DECODER	1"	TURF SPRAY		16.94	25	0.58	2.56	28.2	38.7	1.97 in/h
15	RAIN BIRD PEB W/FD-101 DECODER	1-1/2"	TURF SPRAY		21.96	25	0.52	3.84	29.4	40.2	2.2 in/h
14	RAIN BIRD PEB W/FD-101 DECODER	1"	TURF SPRAY		18.93	25	0.89	2.78	28.7	39.3	2.09 in/h
16	RAIN BIRD PEB W/FD-101 DECODER	1-1/2"	TURF SPRAY		23.13	25	0.69	3.81	29.5	40.4	1.88 in/h
19	RAIN BIRD PEB W/FD-101 DECODER	1"	TURF SPRAY		19.23	25	0.52	3.9	29.4	40.0	1.59 in/h
22	RAIN BIRD PEB W/FD-101 DECODER	1"	TURF SPRAY		9.51	25	0.88	1.79	27.7	38.0	1.55 in/h
25	RAIN BIRD PEB W/FD-101 DECODER	1"	TURF SPRAY		17.74	25	1.3	2.65	29.0	39.5	1.15 in/h
23	RAIN BIRD PEB W/FD-101 DECODER	1"	BUBBLER		8.4	20	0.53	1.77	22.3	32.6	5.66 in/h
1	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		8.09	20	0.04	1.76	21.8	32.0	2.07 in/h
4	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		7.33	20	0.24	1.75	22.0	32.3	2.62 in/h
5	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		11.85	20	0.2	2	22.2	32.6	1.72 in/h
7	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		1.85	20	0.37	1.68	22.1	32.3	1.8 in/h
8	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		16.49	20	2.6	2.51	25.1	35.6	1.63 in/h
13	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		8.9	20	0.53	1.78	22.3	32.6	1.86 in/h
17	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		15.53	20	0.34	2.41	22.7	33.2	1.88 in/h
20	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		19.04	20	0.1	2.79	22.9	33.4	1.76 in/h
21	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		19.14	20	1.82	2.82	22.2	32.6	1.76 in/h
24	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER	1"	AREA FOR DRIPLINE		7.31	20	0.1	1.75	21.8	32.1	2.04 in/h
3	RAIN BIRD PEB W/FD-101 DECODER	1"	BUBBLER		2.8	20	0.03	1.48	21.5	31.7	4.83 in/h
6	RAIN BIRD PEB W/FD-101 DECODER	1"	BUBBLER		2.8	20	0.02	1.48	21.5	31.7	4.77 in/h
11	RAIN BIRD PEB W/FD-101 DECODER	1-1/2"	BUBBLER		22.4	20	1.23	3.83	25.1	35.9	5.53 in/h
18	RAIN BIRD PEB W/FD-101 DECODER	1"	BUBBLER		19.6	20	0.57	2.86	23.4	34.0	5.57 in/h

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	ARC
⑧	RAIN BIRD 1804 08Q TURF SPRAY 4IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET.	90
⑮	RAIN BIRD 1804 15Q TURF SPRAY 4IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET.	90
⑨	RAIN BIRD 1804 08 HE-V TURF SPRAY 4IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET.	ADJ
⑩	RAIN BIRD 1804 10 HE-V TURF SPRAY 4IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET.	ADJ
⑫	RAIN BIRD 1804 12 HE-V TURF SPRAY 4IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET.	ADJ
⑮	RAIN BIRD 1804 15 HE-V TURF SPRAY 4IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET.	ADJ
▼	RAIN BIRD 1804- FLOOD F FLOOD BUBBLER 4IN. POP-UP.	360
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFCV-09-12 XFCV ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 3.5 PSI CHECK VALVE. 0.9 GPH EMITTERS AT 12" O.C. DRIPLINE. LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN.	
⬤	RAIN BIRD PEB W/FD-101 DECODER PLASTIC INDUSTRIAL VALVES. GLOBE CONFIGURATION. INSTALL A PVC BALL VALVE AT EACH REMOTE CONTROL VALVE. SHALL INCLUDE FD-101 DECODER.	
⬤	RAIN BIRD PESB-PRS-D -DRIP VALV -W/FD-101 DECODER PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATING MODULE, AND SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS. DRIP VALVES SHALL INCLUDE FD-101 DECODER.	
⬤	RAIN BIRD 33-DLRC 3/4IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, DOUBLE TRACK KEY LUG, AND 2-PIECE BODY.	
⌂	SHUT OFF VALVE LASCO 2" PVC SHUT OFF VALVE - LOCATE INSIDE VALVE BOX AS SPECIFIED	
Ⓜ	RAIN BIRD MASTER VALVE PEB W/FD-101 DECODER 2" RAIN BIRD MASTER VALVE PEB W/FD-101 DECODER	
Ⓛ	ZURN 350X1 2" DOUBLE CHECK VALVE ASSEMBLY W/ EZSWAP INSERT. LOCATE IN NDS RECTANGULAR ENCLOSURE.	
Ⓛ	NOTE: INSTALL ZURN WILKINS Y STRAINER; BRONZE, 2 IN. NPT, MESH, 20 MESH, 300 PSI, 6 IN HIT AT INLET SIDE OF BACKFLOW PREVENTER, PER CITY OF ROCKWALL STANDARDS. LOCATE Y STRAINER INSIDE BACKFLOW PREVENTER VALVE BOX - SEE A1/L504	
Ⓛ	RAIN BIRD ESP-LXD-LXMGSS-LXMMSSPED 50 STATION, 2-WIRE DECODER BASED CONTROLLER IN STAINLESS STEEL, CABINET W/ PEDESTAL. INSTALL IN RAIN BIRD LXMGSS-LXMMSSPED STATION IN STAINLESS STEEL CABINET W/ PEDESTAL. SYSTEM REQUIREMENTS: RAIN BIRD FD-101 TURF FIELD DECODERS, PAIGE ELECTRIC CABLE P7072D & RAIN BIRD WC20 DRY SPLICES ONLY. GROUND SYSTEM W/ (X) LSP-1TURF SURGE PROTECTION DECODERS IN RAIN BIRD ROUND VALVE BOXES. INSTALL PER MANUFACTURERS RECOMMENDATIONS.	
Ⓛ	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	
Ⓛ	RAIN BIRD LSP-1TURF W/2-WIRE GROUNDING LINE SURGE PROTECTION DECODER INSTALLED IN 6-INCH VALVE BOX. GROUND ROD AND DECODER SHALL BE INSTALLED PER ALSO GUIDELINES AND RAIN BIRD SPECIFICATIONS. INSTALL AT FREQUENCIES AND LOCATIONS NOT EXCEEDING MANUFACTURER REQUIREMENTS, INCLUDING MAXIMUM SPACING OF 8-UNITS AND NOT EXCEEDING 300 FEET.	
Ⓛ	WATER METER 2" P.O.C. - NEW 2" IRRIGATION WATER METER - REF CIVIL .	
-----	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	
-----	IRRIGATION MAINLINE: PVC SCHEDULE 40	
-----	PIPE SLEEVE: PVC SCHEDULE 40	



CONTRACTOR SHALL INSTALL TEMPORARY IRRIGATION FOR ALL AREAS AS SHOWN. TEMPORARY IRRIGATION SHALL REMAIN IN PLACE UNTIL GRASS ESTABLISHMENT IS ACHIEVED PER SPECIFICATIONS.



CRITICAL ANALYSIS

Generated:	2025-03-12 16:49
P.O.C. NUMBER: 01	
Water Source Information:	P.O.C. - NEW 2" IRRIGATION WATER METER - REF CIVIL .
FLOW AVAILABLE	
Water Meter Size:	2"
Flow Available:	120 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	45 PSI
Elevation Change:	5 ft
Service Line Size:	3"
Length of Service Line:	5 ft
Pressure Available:	43 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	29.24 GPM
Flow Available at POC:	120 GPM
Residual Flow Available:	90.76 GPM
Critical Station:	1
Design Pressure:	25 PSI
Friction Loss:	1.25 PSI
Fittings Loss:	0.13 PSI
Elevation Loss:	0 PSI
Loss through Valve:	3.62 PSI
Pressure Req. at Critical Station:	30.0 PSI
Loss for Fittings:	0.08 PSI
Loss for Main Line:	0.8 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	5 PSI
Loss for Master Valve:	4.8 PSI
Loss for Water Meter:	0.77 PSI
Critical Station Pressure at POC:	41.4 PSI
Pressure Available:	43 PSI
Residual Pressure Available:	1.55 PSI

Parkhill

RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: LONDON G BELL

Parkhill.com

Rockwall County Annex

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
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City of Rockwall Landscape Requirements			
ORD. REF.	DESCRIPTION	REQUIRED	PROVIDED
SEC 05.01.A	Required Landscaped Area	Limit of Construction Boundary = 78,645 S.F. REQUIRED: 20% = 15,729 S.F	31.4% (24,711 SF Provided)
SEC 05.01.B	Non-Residential Landscape Buffer	10' wide buffer along entire length of non residential lot w/ 1 canopy and 1 accent trees per 50' along Yellowjacket Lane: (377' frontage / 50') = 8 canopy trees & 8 accent trees, 30" tall shrubbery.	15' wide landscape buffer w/ 30" height shrubbery, 16 Accent Trees. <i>Exception requested to substitute 8 Canopy Trees for 8 Accent Trees in Buffer due to overhead power line along Yellowjacket Lane. *REQUEST IS IN COMPLIANCE WITH ONCOR REQUEST</i>
SEC 05.03.E.1	Interior Parking Lot Area Landscape Area	5% of Parking Area = 18,006 SF x .05 = 901 SF	16.1% (2,915 SF)
SEC 05.03.E.2	Interior Parking Lot Area Trees	1 Canopy Tree per 10 spaces = 44 Parking Spaces / 10 = 5 Canopy Trees	3 Proposed Parking Lot Trees, 2 Existing Parking Lot Trees

GENERAL NOTES

- SEE SHEET LP102 FOR FULL PLANTING SCHEDULE.
- SEE SHEETS L-502-503 FOR PLANTING DETAILS.
- SEE SHEET LP102 FOR PLANTING GENERAL NOTES.
- FULL LANDSCAPE IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL PROPOSED PLANTING AREAS INDICATED. IRRIGATION WILL MEET REQUIREMENTS OF THE CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE.

LANDSCAPE EXCEPTION REQUESTED TO SUBSTITUTE 8 ACCENT TREES FOR THE 8 CANOPY TREES REQUIRED ALONG EAST YELLOW JACKET LANE DUE TO THE EXISTING OVERHEAD POWER LINE IN RIGHT OF WAY. THE TWO PROPOSED COMPENSATORY MEASURES INCLUDE:

- 15 - FOOT WIDE LANDSCAPE BUFFER PROVIDED ALONG EAST YELLOW JACKET LANE INSTEAD OF THE ORDINANCE REQUIRED 10 - FOOT WIDE BUFFER.
- 31.4% (2,711 SF) OF REQUIRED LANDSCAPE AREA PROVIDED INSTEAD OF THE ORDINANCE REQUIRED 20% (15,729 SF).

KEY NOTES

- AS INDICATED BY: (00)
- EXISTING TREE TO BE PRESERVED AND PROTECTED PER A1/L-503.
 - PLANTING BED TO RECEIVE 3" DEPTH SHREDDED HARDWOOD MULCH AS SPEC'D.
 - 12-INCH DEPTH PLANTING BED MIX AS SPECIFIED FOR ENTIRETY OF PLANTING BEDS SHOWN.

LEGEND

NON RESIDENTIAL LANDSCAPE BUFFER:
15' WIDE PROVIDED ALONG E YELLOW JACKET LANE

ABBREVIATED PLANT SCHEDULE

SYMBOL QTY COMMON / BOTANICAL NAME

ACCENT TREES

- (1) DESERT WILLOW
CHLOPSIS LINEARIS 'RIO SALADO'
- (4) OKLAHOMA REDBUD
CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA'
- (9) POSSUM HAW HOLLY
ILEX DECIDUA

CANOPY TREES

- (3) CEDAR ELM
ULMUS CRASSIFOLIA

SHRUBS

- (72) AUTUMN SAGE
SALVIA GREGGI
- (30) RED YUCCA
HESPERALOE PARVIFLORA
- (11) BRAKELIGHTS RED YUCCA
HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM
- (19) DWARF YAUPON
ILEX VOMITORIA 'NANA'
- (50) TEXAS SAGE
LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'
- (56) MEXICAN SAGE
SALVIA LEUCANTHA

ORNAMENTAL GRASSES

- (95) LINDHEIMER S MUHLY
MUHLENBERGIA LINDHEIMERI
- (11) PURPLE MUHLY
MUHLENBERGIA RIGIDA 'NASHVILLE' TM
- (86) LITTLE BLUE STEM GRASS
SCHIZACHYRIUM SCOPARIUM

PERENNIALS

- (81) GREGG'S MISTFLOWER
CONOCLINIUM GREGGII
- (38) NEW GOLD LANTANA
LANTANA X 'NEW GOLD'
- (35) TEXAS CONEFLOWER
RUDBECKIA TEXANA

ORNAMENTAL GRASS AREA

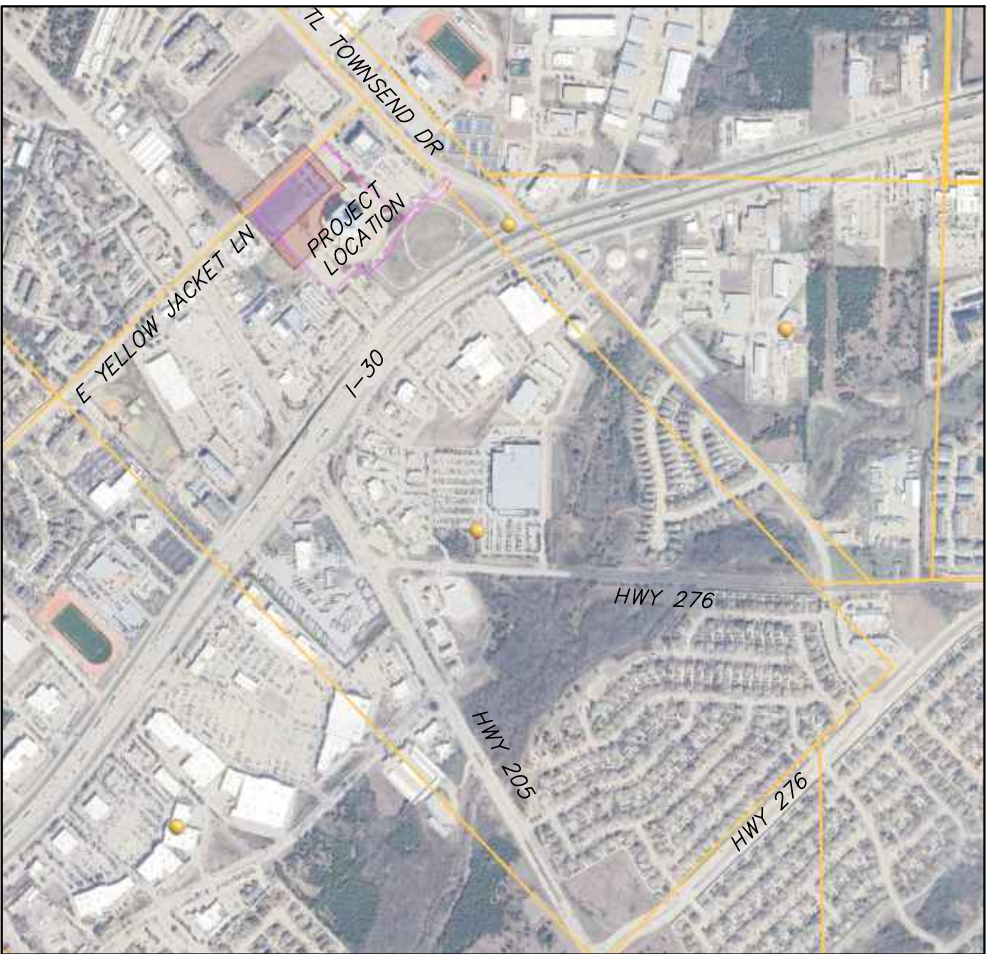
- (125) BERKELEY SEDGE
CAREX DIVULSA

GROUND COVERS

- (2,429 SF) 3/4" CRUSHED GRANITE
- (6,503 SF) SHREDDED HARDWOOD MULCH

SOD/SEED

- (15,868 SF) TAHOMA 31 BERMUDA SOD
CYNODON DACTYLON 'TAHOMA 31'
- (3,269 SF) EXISTING PLANTING BED



Parkhill

RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: LONDON G BELL

L. G. Bell

Parkhill.com

Rockwall County Annex

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

#	DATE	DESCRIPTION
5	07/30/2025	Record Drawings
4	4/07/2025	RFI 060
1	10/4/2024	CCR 006
-	04/29/2024	Issue for Construction/Permit

Landscape
Plan
LP101


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PLANT SCHEDULE

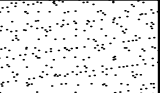

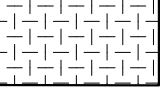

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	CALIPER	SIZE
ACCENT TREES						
	4	DESERT WILLOW	CHILOPSIS LINEARIS 'RIO SALADO'	25 GAL	2" CAL	6' - 8' HT
	4	OKLAHOMA REDBUD	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA'	25 GAL	2" CAL	6' - 8' HT
	9	POSSUM HAW HOLLY	ILEX DECIDUA	25 GAL	N/A	6' - 8' HT
CANOPY TREES						
	3	CEDAR ELM	ULMUS CRASSIFOLIA	B & B	4" CAL	12' - 14' HT.
SHRUBS						
	72	AUTUMN SAGE	SALVIA GREGGI	5 GAL		
	30	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL		
	11	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM	5 GAL		
	19	DWARF YAUPON	ILEX VOMITORIA 'NANA'	7 GAL		
	50	TEXAS SAGE	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'	7 GAL		30" HT.
	56	MEXICAN SAGE	SALVIA LEUCANTHA	5 GAL		
ORNAMENTAL GRASSES						
	95	LINDHEIMER S MUHLY	MUHLENBERGIA LINDHEIMERI	5 GAL		30" HT.
	11	PURPLE MUHLY	MUHLENBERGIA RIGIDA 'NASHVILLE' TM	5 GAL		
	86	LITTLE BLUE STEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL		
PERENNIALS						
	81	GREGG'S MISTFLOWER	CONOCLINIUM GREGGII	1 GAL		
	38	NEW GOLD LANTANA	LANTANA X 'NEW GOLD'	1 GAL		
	35	TEXAS CONEFLOWER	RUDBECKIA TEXANA	1 GAL		

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONT
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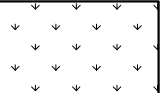



ORNAMENTAL GRASS AREA

	125	BERKELEY SEDGE	CAREX DIVULSA	1 GAL
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GROUND COVERS

	2,429 SF	 3/4" CRUSHED GRANITE	4" DEPTH
	6,503 SF	 SHREDDED HARDWOOD MULCH	3" DEPTH

SOD/SEED

	15,868 SF	  TAHOMA 31 BERMUDA SOD	CYNODON DACTYLON 'TAHOMA 31'	SOLID SOD
	3,269 SF	EXISTING PLANTING BED		N/A

PLANTING GENERAL NOTES

- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ROCKWALL STANDARDS.
- B. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT AND SPECIFICATIONS FOR REQUIREMENTS NOT LISTED HEREIN.
- C. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- D. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN SHOWN ON ALL DRAWINGS. PLANT COUNTS AND SQUARE FOOTAGES ARE PROVIDED AS A COURTESY ONLY.
- E. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- F. IN THE CASE OF A DISCREPANCY BETWEEN THE CONTAINER SIZE CALLED OUT IN PLANT LIST AND THE CALIPER AND HEIGHT OF PLANT MATERIAL, THE SPECIFIED TREE MUST MEET THE CALIPER AND HEIGHT REQUIREMENTS SPECIFIED, EVEN IF THE LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- G. ALL PLANTS TO BE GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
- H. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE PLANT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- I. LANDSCAPE CONTRACTOR SHALL LOCATE THE SOURCE OF AND SELECT ALL PLANTS FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- J. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO DELIVERY AT THE NURSERIES OR SUPPLIERS BY THE PROJECT LANDSCAPE ARCHITECT.
- K. IF ANY SOURCE OF PLANTS IS LOCATED FURTHER THAN 30 MILES FROM THE PROJECT SITE THE CONTRACTOR WILL BE REQUIRED TO PAY TIME AND TRAVEL EXPENSES INCURRED BY THE PROJECT LANDSCAPE ARCHITECT.
- L. AT THE OPTION OF THE LANDSCAPE ARCHITECT, PHOTOS OF ALL PLANT MATERIAL SHOWING CONTAINER SIZE, HEIGHT AND CALIPER CAN BE SUBMITTED FOR APPROVAL.
- M. ALL PLANTS TAGGED AS APPROVED AT NURSERY OR SUPPLIER SHALL BEAR THE SAME TAG WHEN DELIVERED ON SITE.
- N. THE RIGHT TO REJECT PLANT MATERIALS DELIVERED TO THE SITE THAT DO NOT BEAR APPROVAL TAGS IS RESERVED BY THE PROJECT LANDSCAPE ARCHITECT.
- O. IN AREAS WHERE PAVING SUBGRADES AND BUILDING PADS EXTEND INTO PLANT BED AREAS, 6 INCH HOLES SHALL BE DRILLED EVERY 3 FEET AND FILLED WITH 1 INCH DIAMETER GRAVEL TO PROVIDE PERCOLATION AND DRAINAGE FOR THE PLANTING BED. HOLES SHALL BE DRILLED THROUGH IMPROVED SUBGRADES INTO EXISTING SITE SOILS BUT NO DEEPER THAN FOUR FEET.
- P. ALL PLANTING BEDS TO RECEIVE 2 INCHES OF BACK TO EARTH COMPOST PER SQUARE FOOT AND 1 POUND OF A 4(N):1(P):2(K) RATIO FERTILIZER PER 100 SQUARE FEET. BOTH MATERIALS SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 12 INCHES.
- Q. ALL FINAL PLANTING BED GRADES IN AREAS WHERE ORGANIC AND/OR INORGANIC MULCH IS BEING APPLIED SHOULD BE 3 OR 4 INCHES BELOW ADJACENT HARD SURFACES ACCORDING TO MULCH DEPTH INDICATED ON PLANS.
- R. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- S. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING OR AS ESTABLISHED IN CONTAINER.
- T. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- U. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN AS NEEDED DURING THE FIRST GROWING SEASON.
- V. ALL PLANTING BEDS SHALL RECEIVE ORGANIC AND/OR INORGANIC MULCH MATERIALS AS NOTED ON PLANS.
- W. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- X. THE CONTRACTOR SHALL PRUNE ALL BRANCHES 6 FEET ABOVE FINISH GRADE ON ALL DECIDUOUS TREES, 12 FEET OR TALLER.
- Y. AREAS TO BE FILLED WITH INORGANIC MULCHES WITH A DIAMETER LESS THAN 1/4 INCH IN SIZE SHALL BE COMPACTED TO 85% PROCTOR DENSITY BEFORE MULCH IS PLACED.
- Z. THE SITE SHALL BE FINE GRADED PRIOR TO ANY PLANT INSTILLATION. ANY AREAS DISTURBED BY PLANTING SHALL BE REGRADED AND SMOOTHED PRIOR TO GRASS PLANTING.
- AA. SOD SHALL BE USED AROUND DRAIN INLETS (5' BUFFER) AND IN AREAS WHERE THE SLOPE EXCEEDS 20% (1:5) UNLESS THE AREA IS A PLANTING BED.

Parkhill

RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: LONDON G BELL



Parkhill.com

Rockwall County Annex

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

5 07/30/2025 Record Drawings

4 04/07/2025 RFI 060

3 10/4/2024 CCR 006

2 6/7/2024 CCR 002

- 4/29/2024 Issue For Construction/Permit

DATE DESCRIPTION

Planting Notes
& Schedule

LP102

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

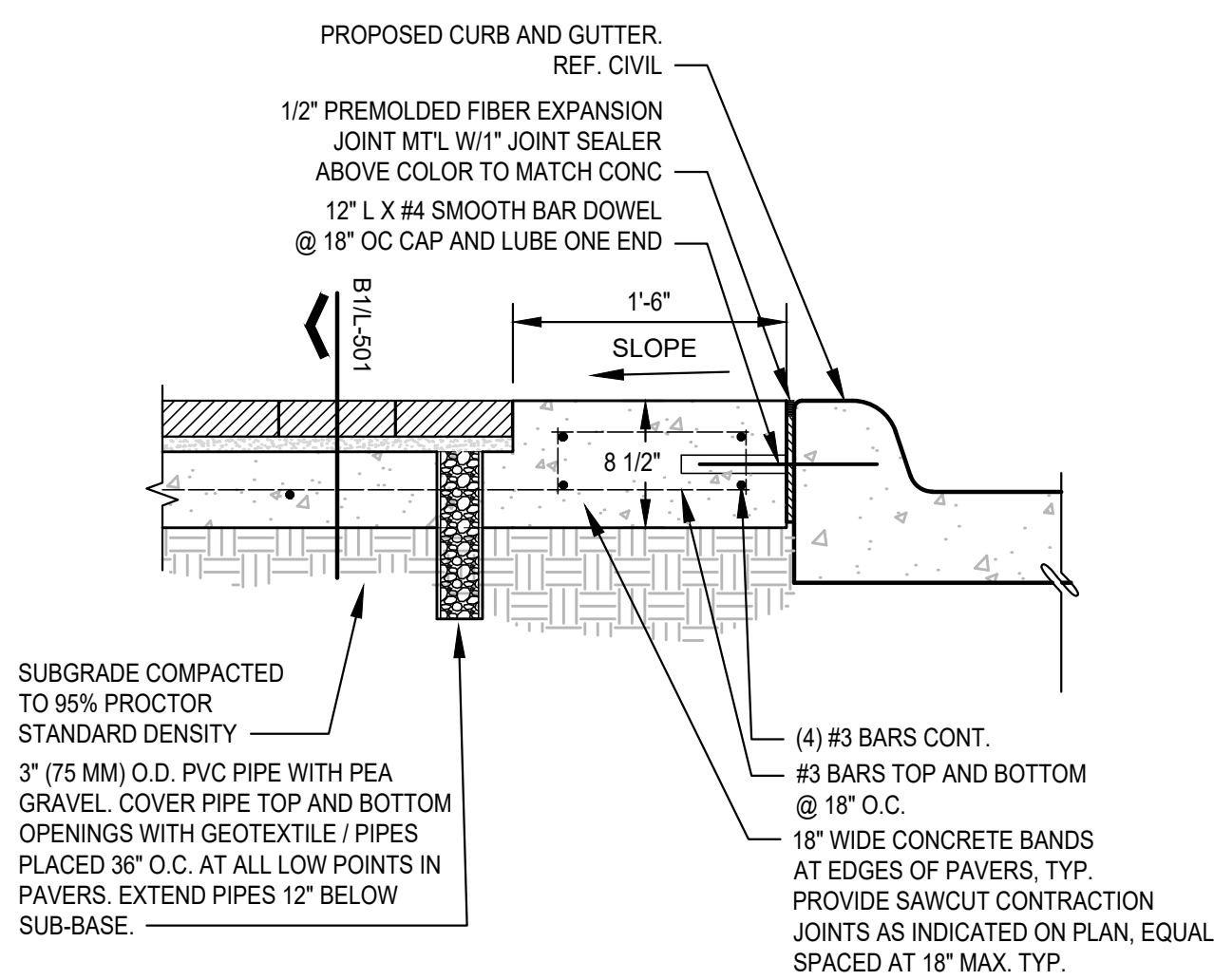
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

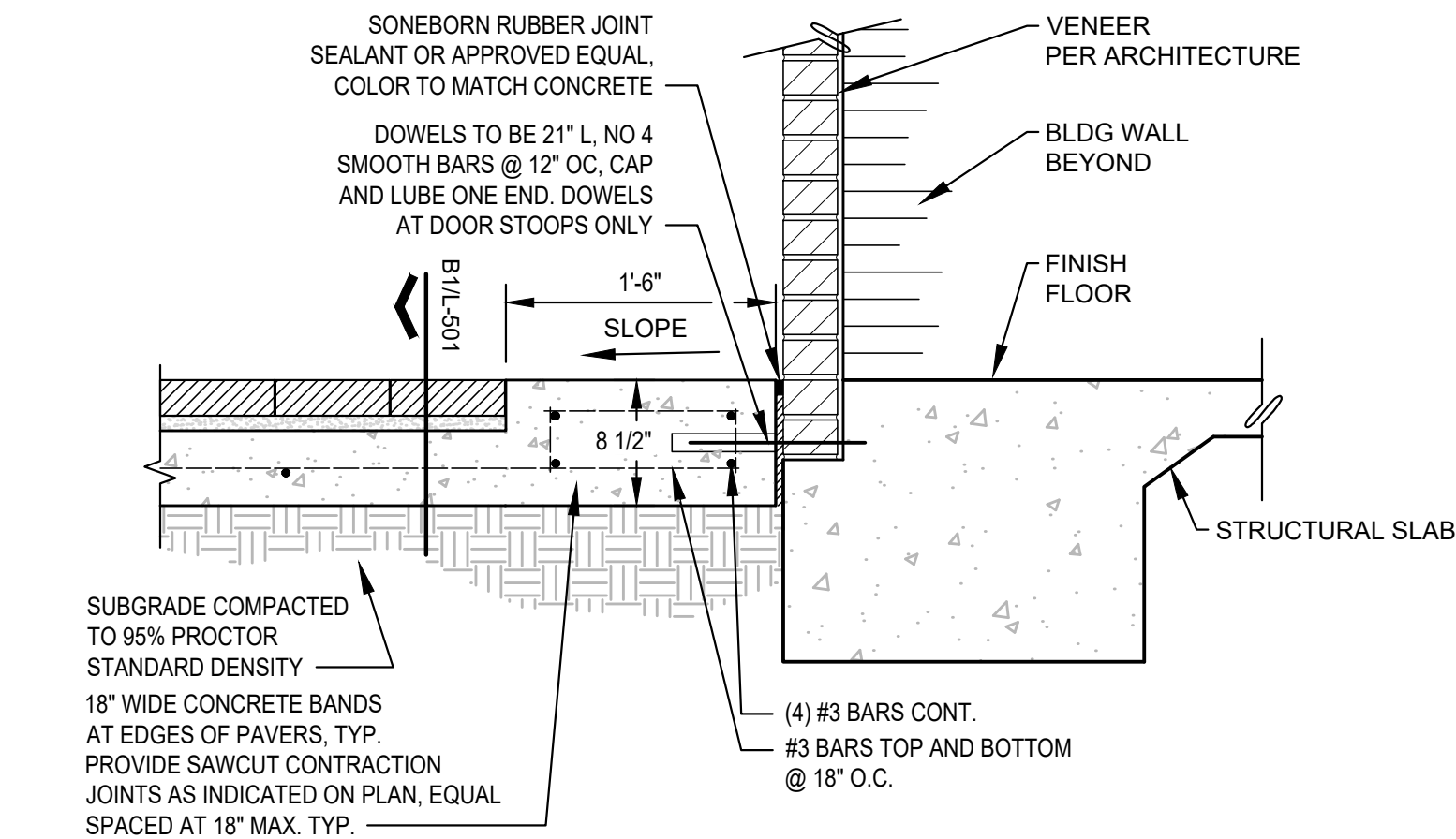
Name: Parkhill
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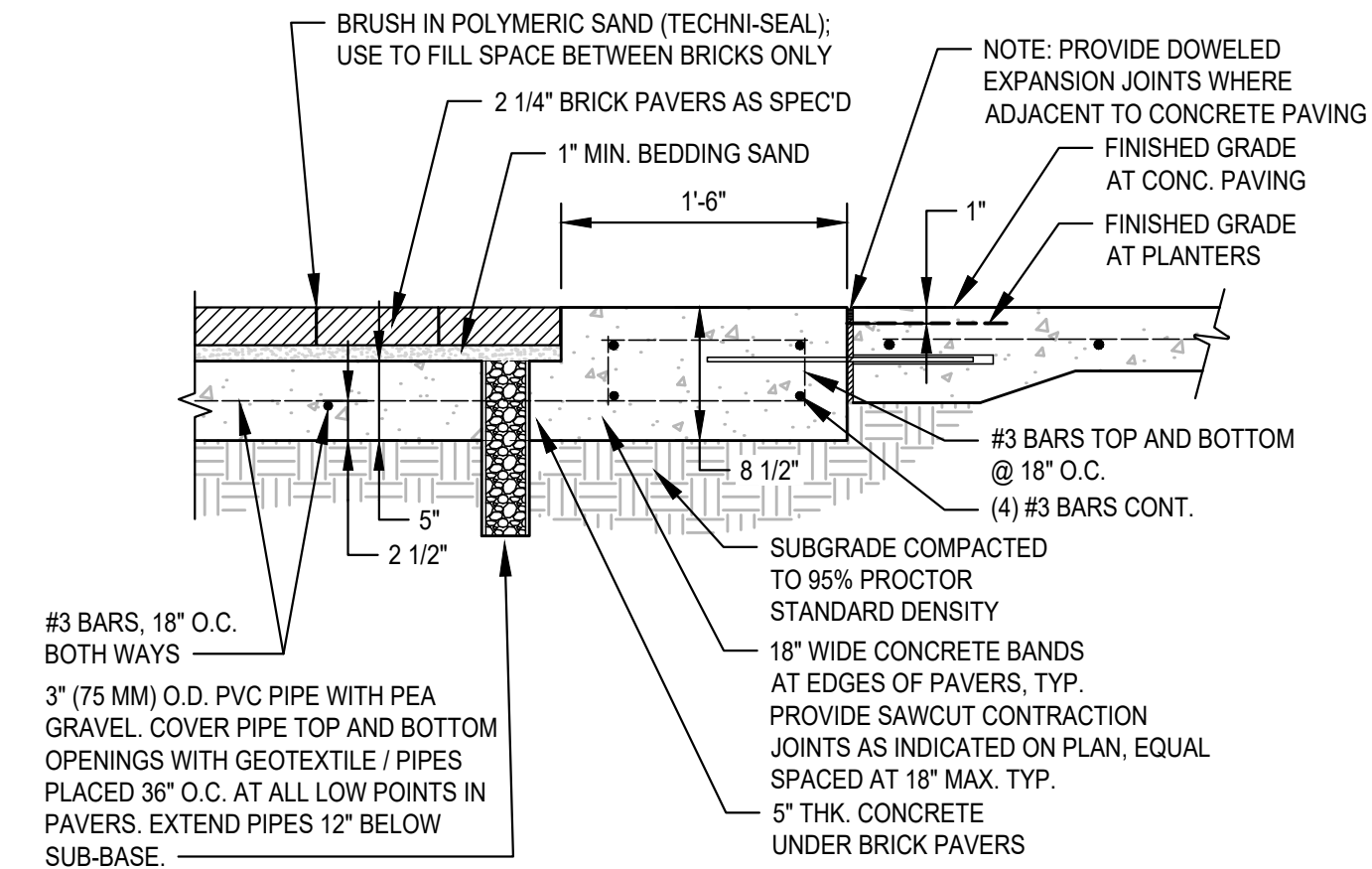
#	DATE	DESCRIPTION
5	07/30/2025	Record Drawings
4	04/07/2025	RFI 060
-	04/29/2024	Issue For Construction/Permit



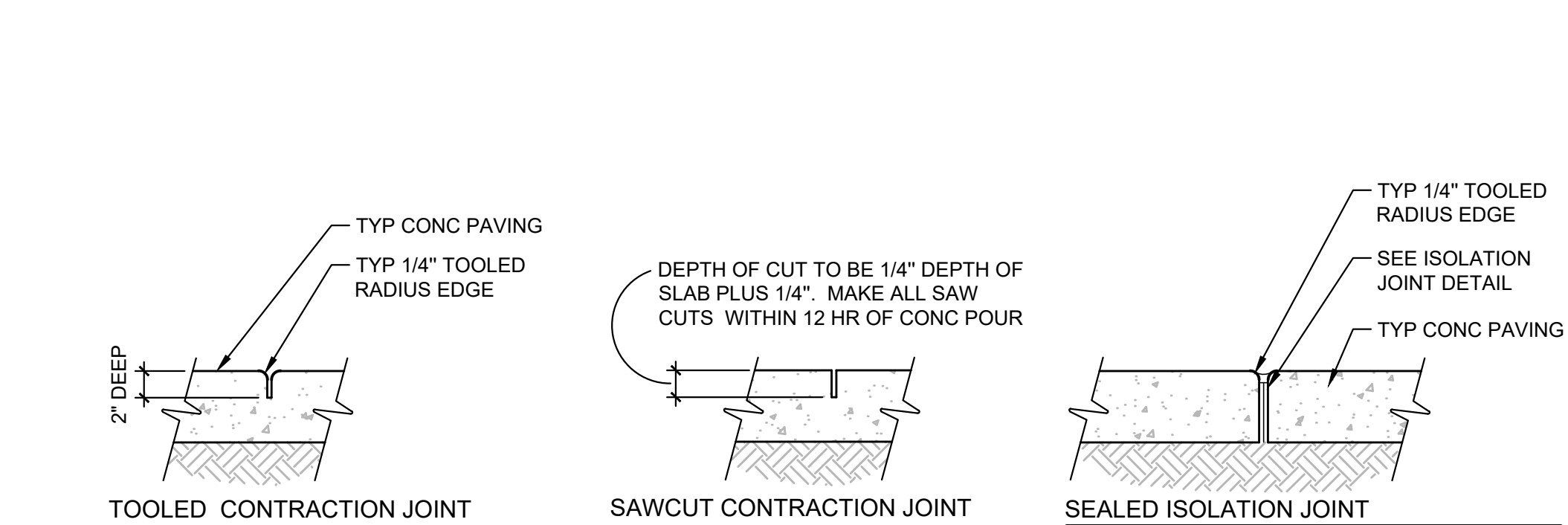
D1 PAVERS CURB AND SIDEWALK CONNECTION
1"=1'-0" PVMT_BRICK_PAVERS_CURB CONN



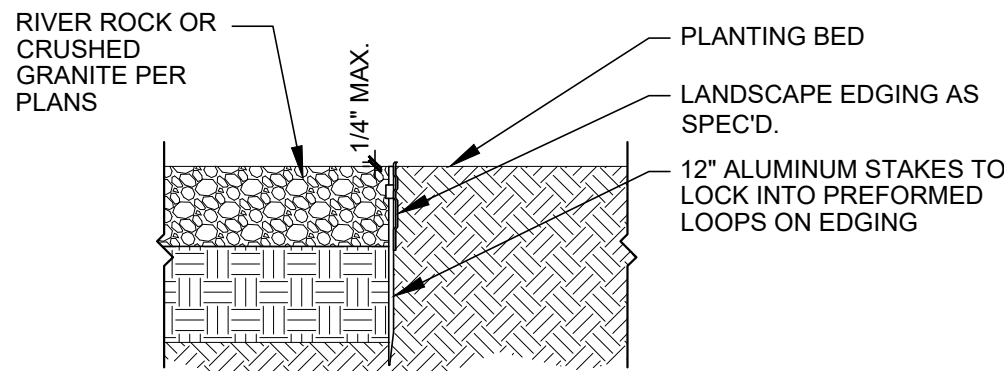
C1 PAVERS @ BUILDING SLAB
1"=1'-0" PVMT_@_BLDG_SLAB



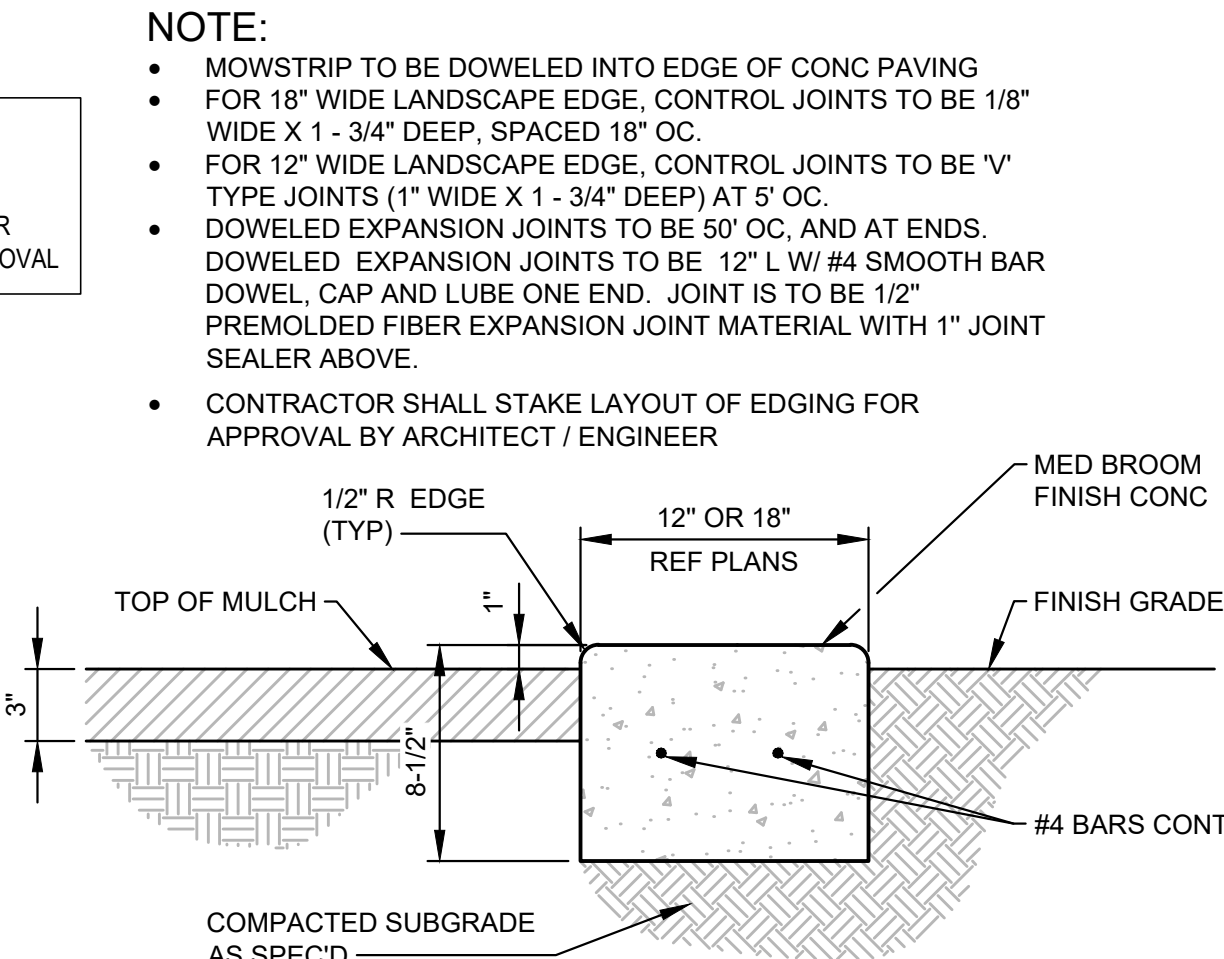
B1 PAVERS
1"=1'-0" PVMT_BRICK_PAVERS



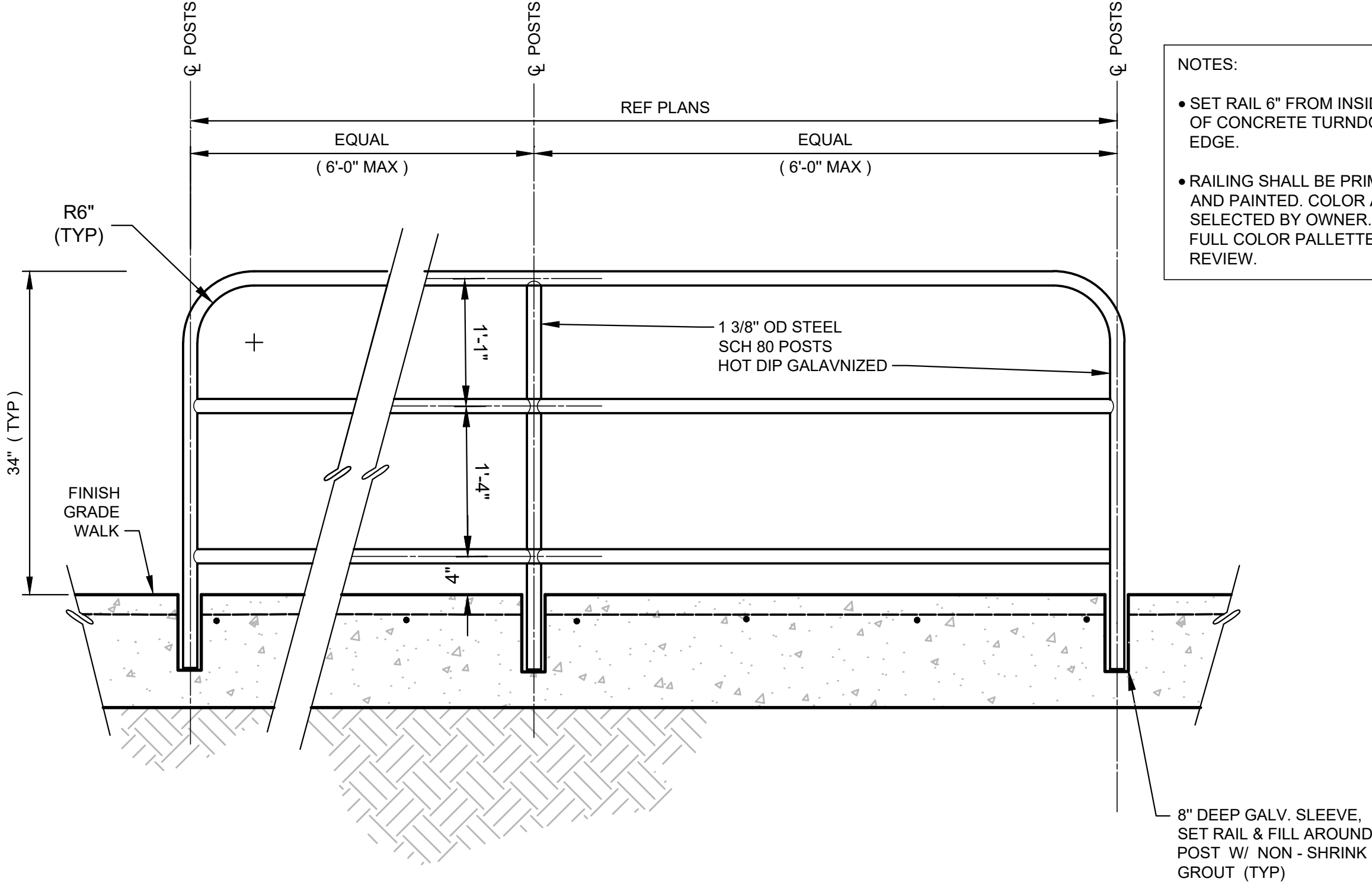
A1 TYPICAL CONCRETE PAVING JOINT DETAILS (PEDESTRIAN PAVING)
1 1/2"=1'-0"



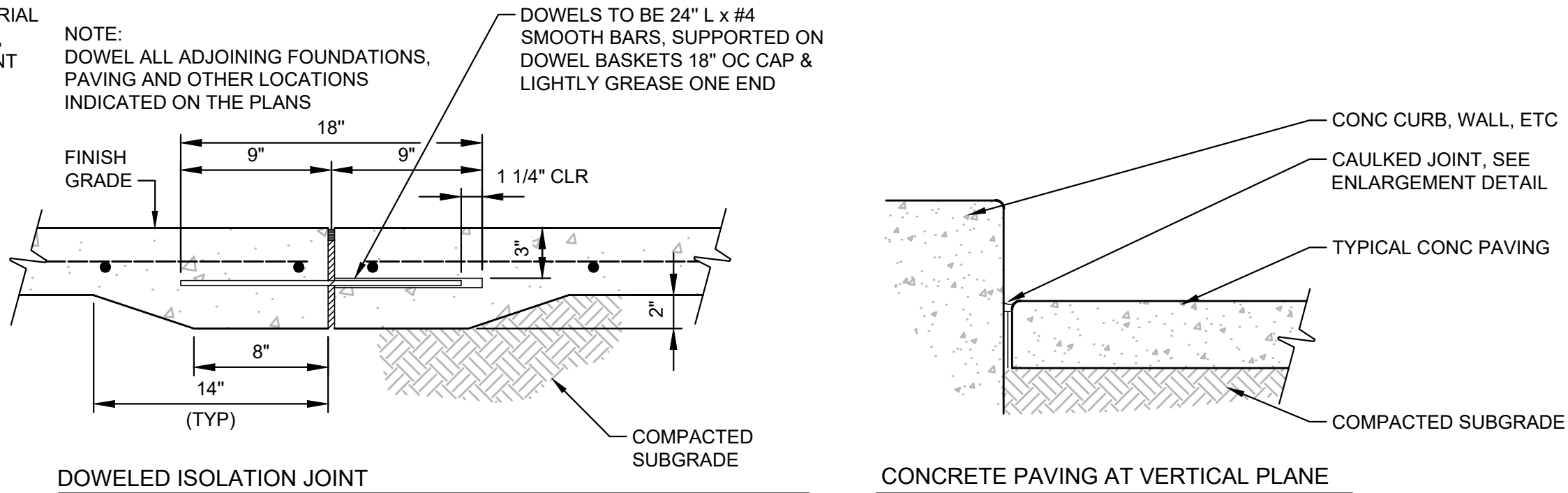
C2 LANDSCAPE EDGE
1"=1'-0" LNDSCPE_EDG



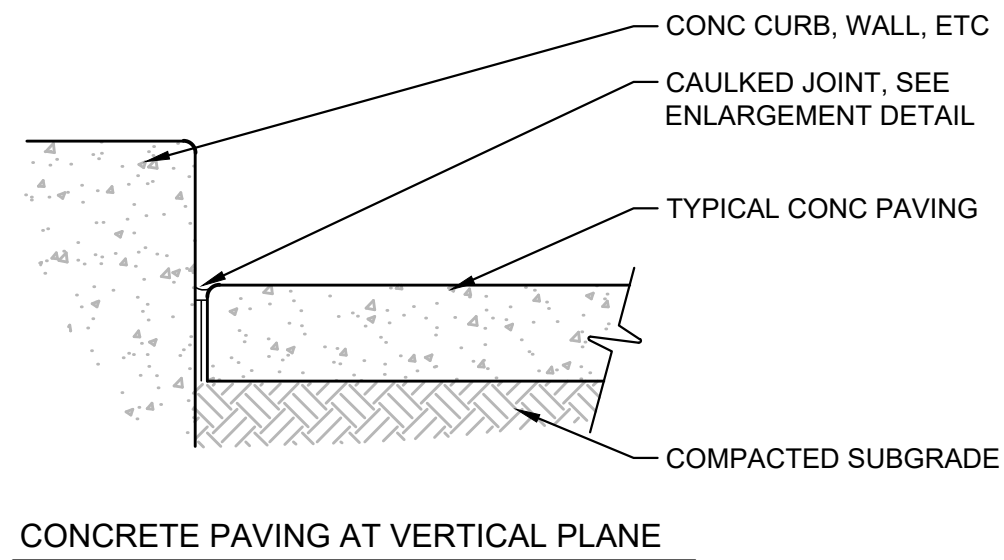
B2 CONCRETE LANDSCAPE EDGE
1 1/2" = 1'-0" PVMT_CONC_MOWSTRIP_LANDSCAPE_EDGE



B3 PIPE RAIL
1"=1'-0" PIPE_RAIL_TYP.dwg



DOWELED ISOLATION JOINT



CONCRETE PAVING AT VERTICAL PLANE

NOTES:
• SET RAIL 6" FROM INSIDE EDGE OF CONCRETE TURNDOWN EDGE.
• RAILING SHALL BE PRIMED AND PAINTED. COLOR AS SELECTED BY OWNER. SUBMIT FULL COLOR PALLETTE FOR REVIEW.

A:\2021\1187\2203_DSGNZ_T002_HILL WILKINSON\2025-07-11 ENGINEERING COMPLETION ITEMS\RECORD DRAWING DWGL-502-1187.DWG, 7/29/2025 5:28 PM, jspata

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

3" HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL; MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.

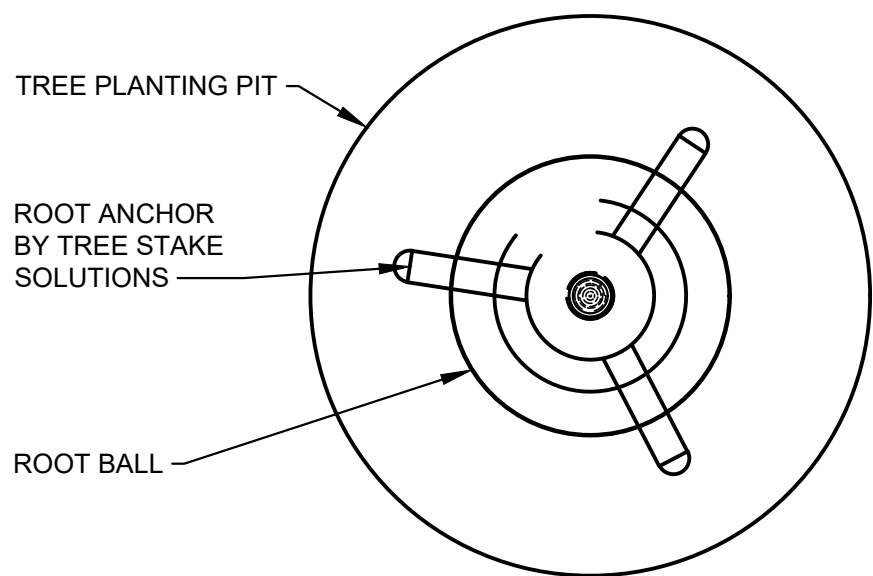
NOTES:

1. TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
2. DO NOT CONSTRUCT A WATER BASIN AROUND THE PLANTING PIT.
3. DO NOT PILE MULCH AROUND THE TREE TRUNK.
4. ROOT BOUND TREES WILL NOT BE ACCEPTED.
5. TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
6. APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (I.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
7. TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
8. TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

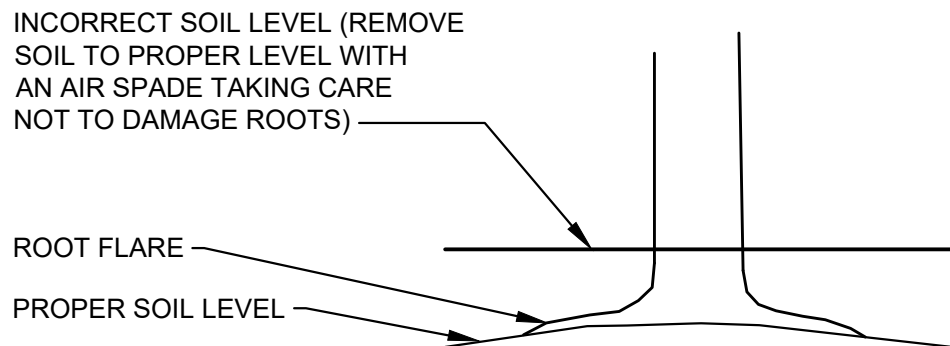
TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

SEE NOTE #1.

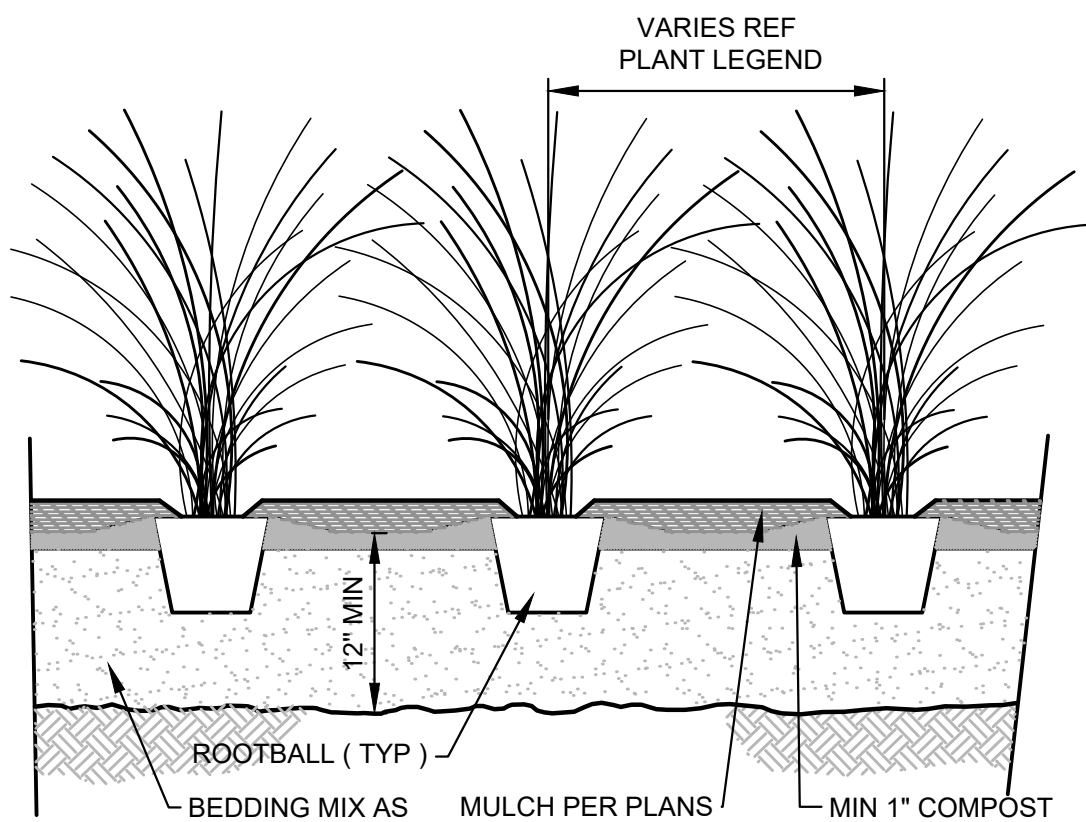
ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.



PLAN VIEW

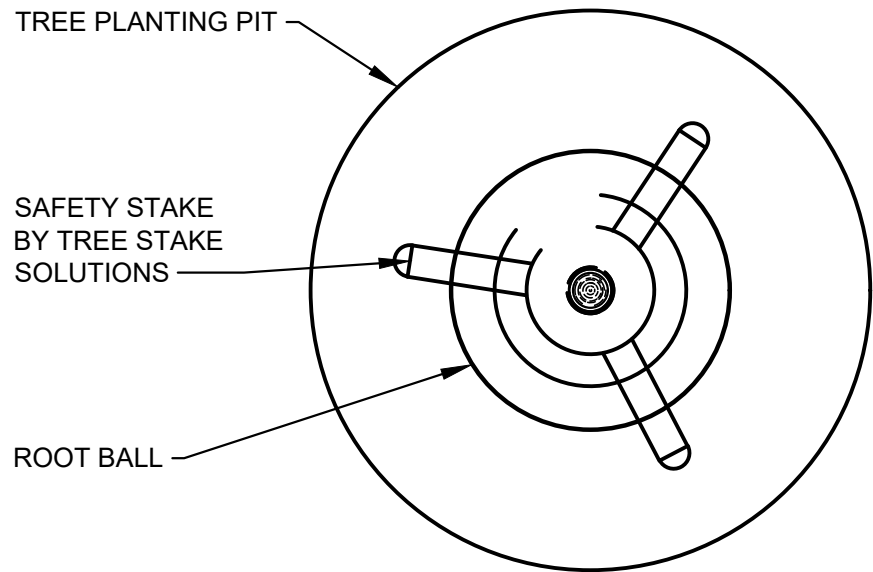


EXPOSED COVERED ROOT FLARE



C4 ORNAMENTAL GRASS PLANTING
1"=1'-0"

L_ORNAMENTAL_GRASS_PLANTING



PLAN VIEW

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

SAFETY STAKE BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE SAFETY STAKE AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143 (ALSO, SEE PLAN VIEW ABOVE)

1/2 ROOT BALL WIDTH (MINIMUM)

3" SHREDDED HARDWOOD MULCH. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

BACKFILL PLANTING PIT WITH NATIVE SOIL; MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

EXPOSED COVERED ROOT FLARE

NOTES:

1. TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
2. DO NOT CONSTRUCT A WATER BASIN AROUND THE PLANTING PIT.
3. DO NOT PILE MULCH AROUND THE TREE TRUNK.
4. ROOT BOUND TREES WILL NOT BE ACCEPTED.
5. TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
6. APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (I.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
7. TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
8. TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

CLARK'S TREE WRAP AS SPEC'D, OR APPROVED EQUAL, SEE NOTE #6 FOR MORE INFORMATION.

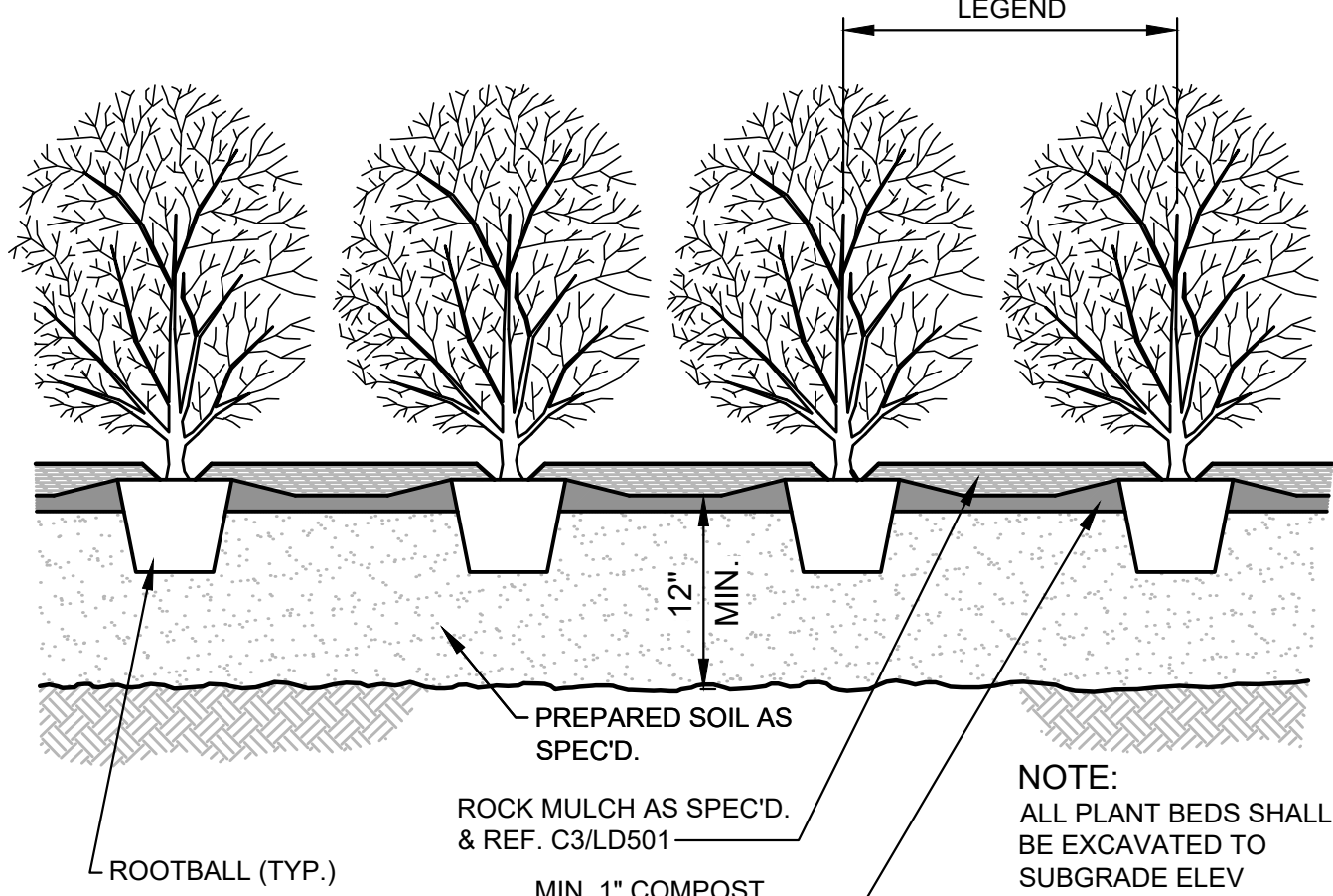
TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

SEE NOTE #1.

NOTES:

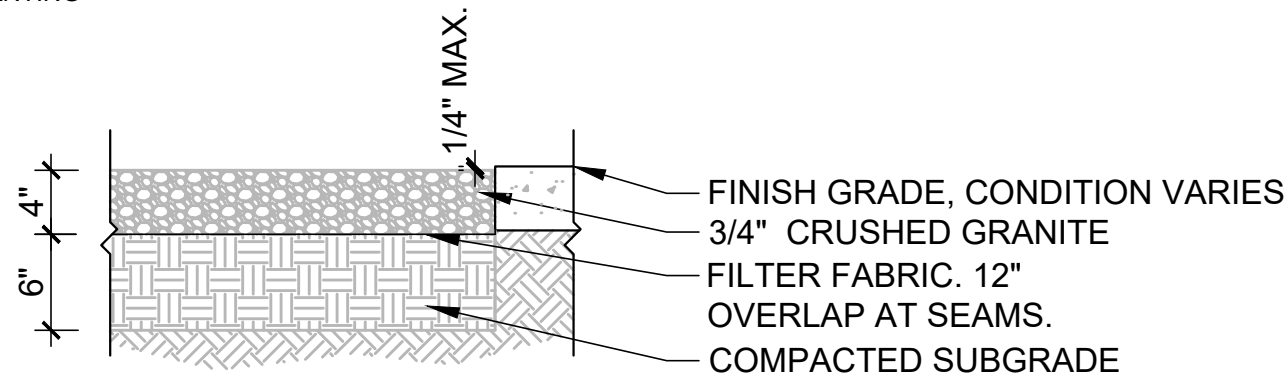
1. UPON COMPLETION OF ROUGH GRADING, CONTRACTOR SHALL DIG TEST TREE PITS ACROSS THE SITE. THE TEST PITS SHALL BE FILLED WITH WATER AND OBSERVED FOR DRAINAGE. IF THE PIT HOLDS WATER OR SHOW SIGNS OF UNEXPECTED WATER SEEPAGE FOR GREATER THAN 24 HOURS, CONTRACTOR SHALL PROVIDE DRAINAGE HOLES FILLED WITH GRAVEL PER SPECIFICATION SECTION 32 93 00.3.4.C.1 AND THE TREE SPECIES WILL BE REVISED.

ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.



B3 SHRUB PLANTING
1"=1'-0"

L_PLANTING_SHRUB



NOTE:

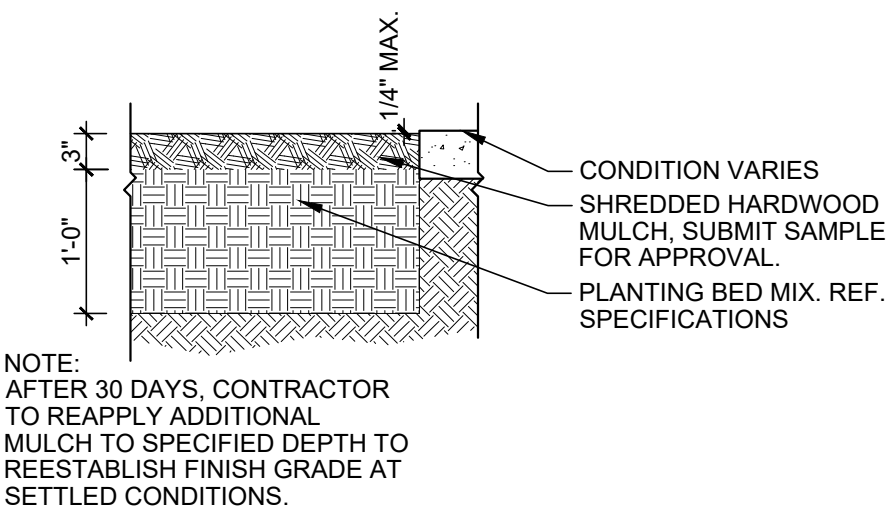
1. CONTRACTOR TO PLACE, WATER IN, AND COMPACT SCREENINGS TO SPECIFIED DEPTH IN TWO 2" LIFTS. AFTER 30 DAYS, CONTRACTOR TO REAPPLY ADDITIONAL SCREENING MATERIAL AND RECOMPACT TO SPECIFIED DEPTH TO REESTABLISH FINISH GRADE AT SETTLED CONDITIONS. INITIAL INSTALLATION SHALL BE 30 DAYS OR MORE PRIOR TO SUBSTANTIAL COMPLETION.
2. APPLY PREEMERGENT HERBICIDE PRIOR TO INSTALLING COMPACTED GRAVEL.

NOTE: SUBMIT MIN. 3 GAL. QUANTITY FOR APPROVAL PRIOR TO ORDERING AND SHIPPING TO SITE.

CONTACT: COLLIER MATERIALS (830) 693-2228

B4 CRUSHED ROCK MULCH
NTS

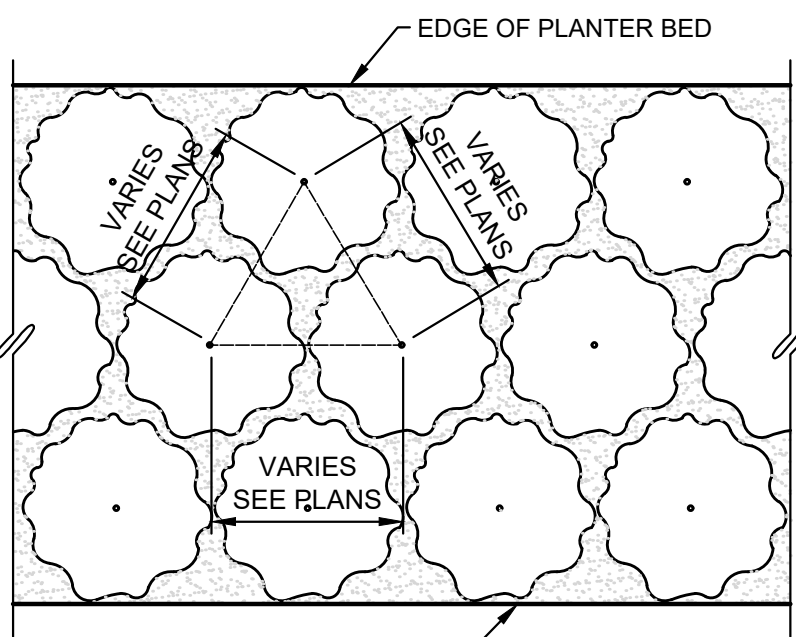
L_COMP_GRAVEL



NOTE: AFTER 30 DAYS, CONTRACTOR TO REAPPLY ADDITIONAL MULCH TO SPECIFIED DEPTH TO REESTABLISH FINISH GRADE AT SETTLED CONDITIONS.

A3 MULCH
3/4"=1'-0"

L_MULCH



A4 PLANT LAYOUT
1/2"=1'-0"

L_PLANT_LAYOUT

C1 MULTI-TRUNK TREE PLANTING AND ANCHORING
1/2"=1'-0"

L_PLANTING_TREE_MULTITRUNK

A1 TREE PLANTING AND STAKING
1/2"=1'-0"

L_PLANTING_TREE_STANDARD

RECORD DRAWING
TO THE BEST OF OUR KNOWLEDGE PARKHILL, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: 7-30-2025 BY: LONDON G BELL

L. G. Bell

Parkhill.com

Rockwall County Annex

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

5 07/30/2025 Record Drawings

DATE DESCRIPTION

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

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Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
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Name: Rockwall County
Address: 101 East Rusk Street, Rockwall, Texas, 75087
Phone Number: 972-204-6000

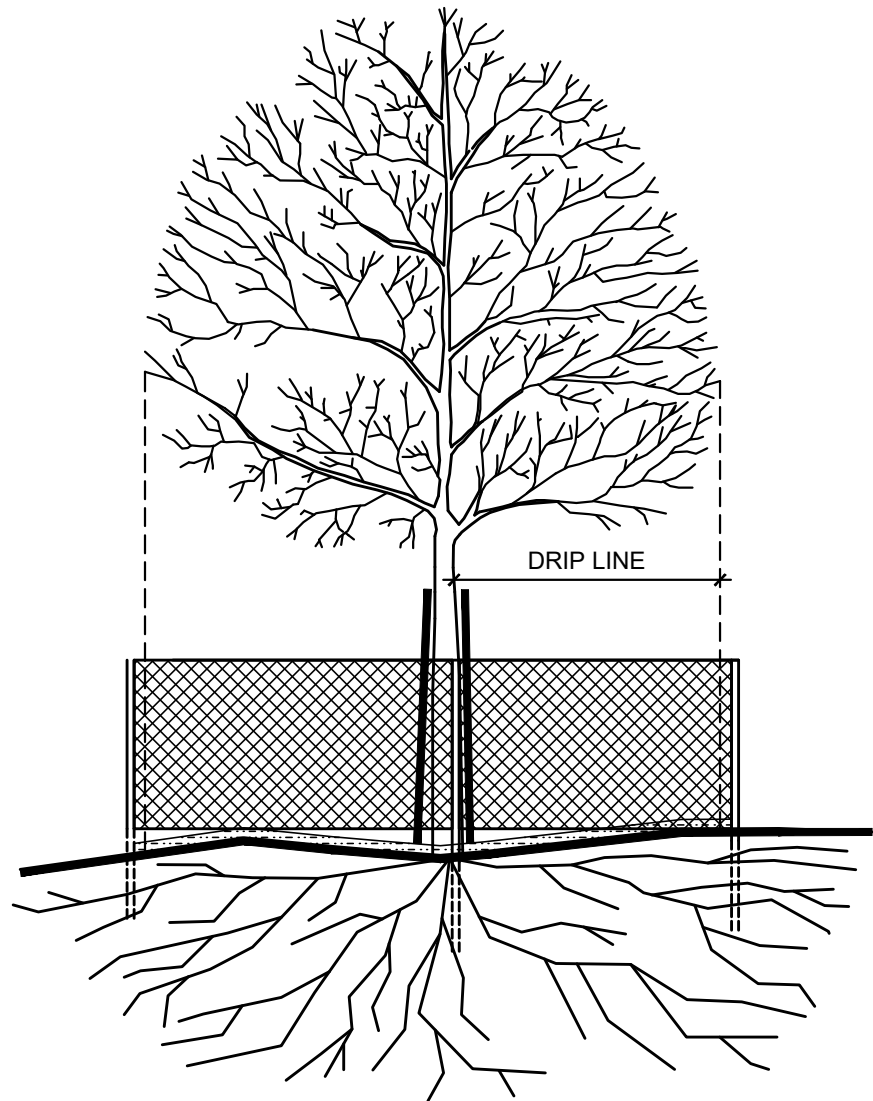
5	07/30/2025	Record Drawings
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#	DATE	DESCRIPTION
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Landscape
Details

L-503

SINGLE TREE



*CRITICAL ROOT ZONE:

THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

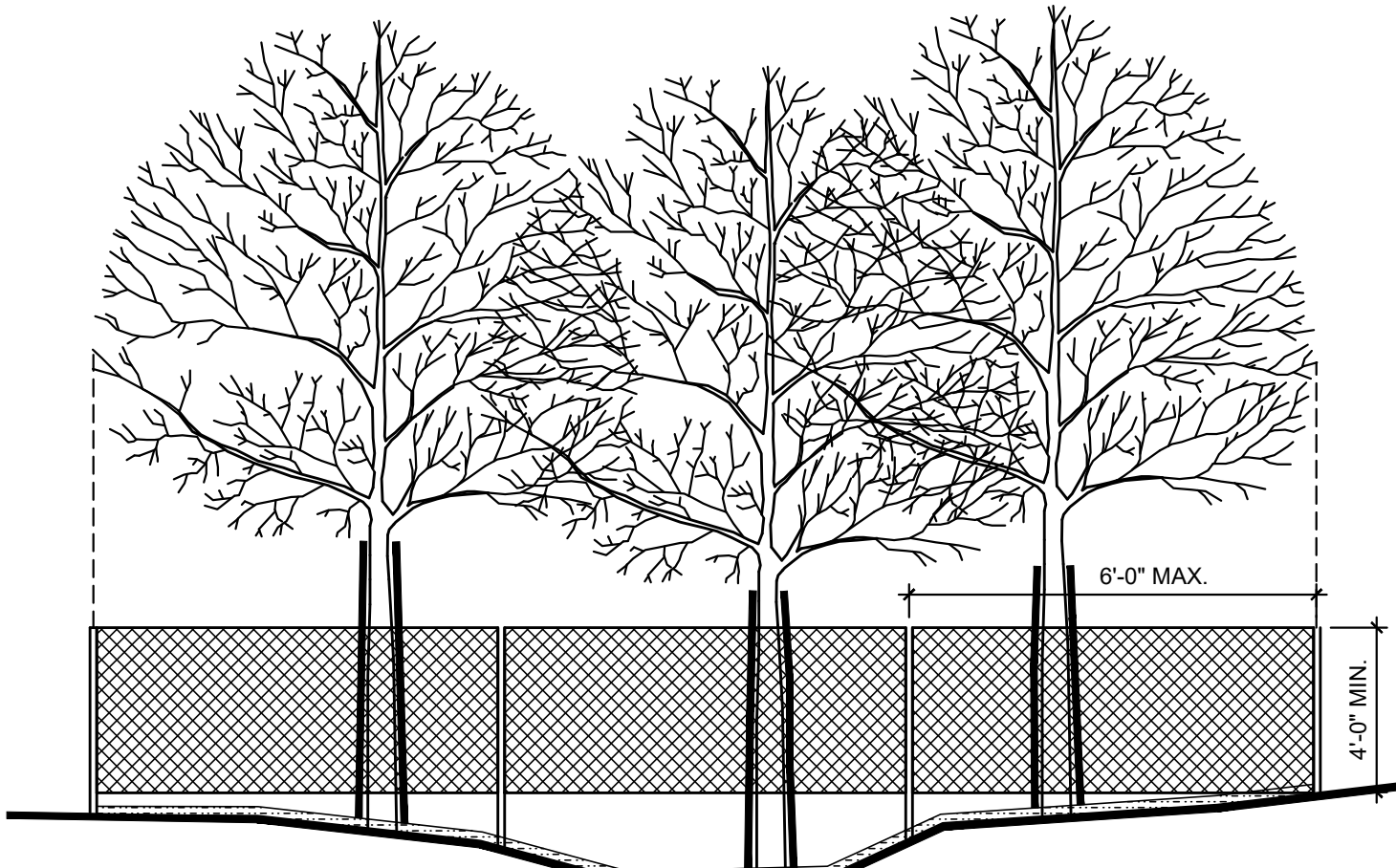
DRIP LINE:

A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

PROTECTIVE FENCING:

ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

TREE CLUSTER



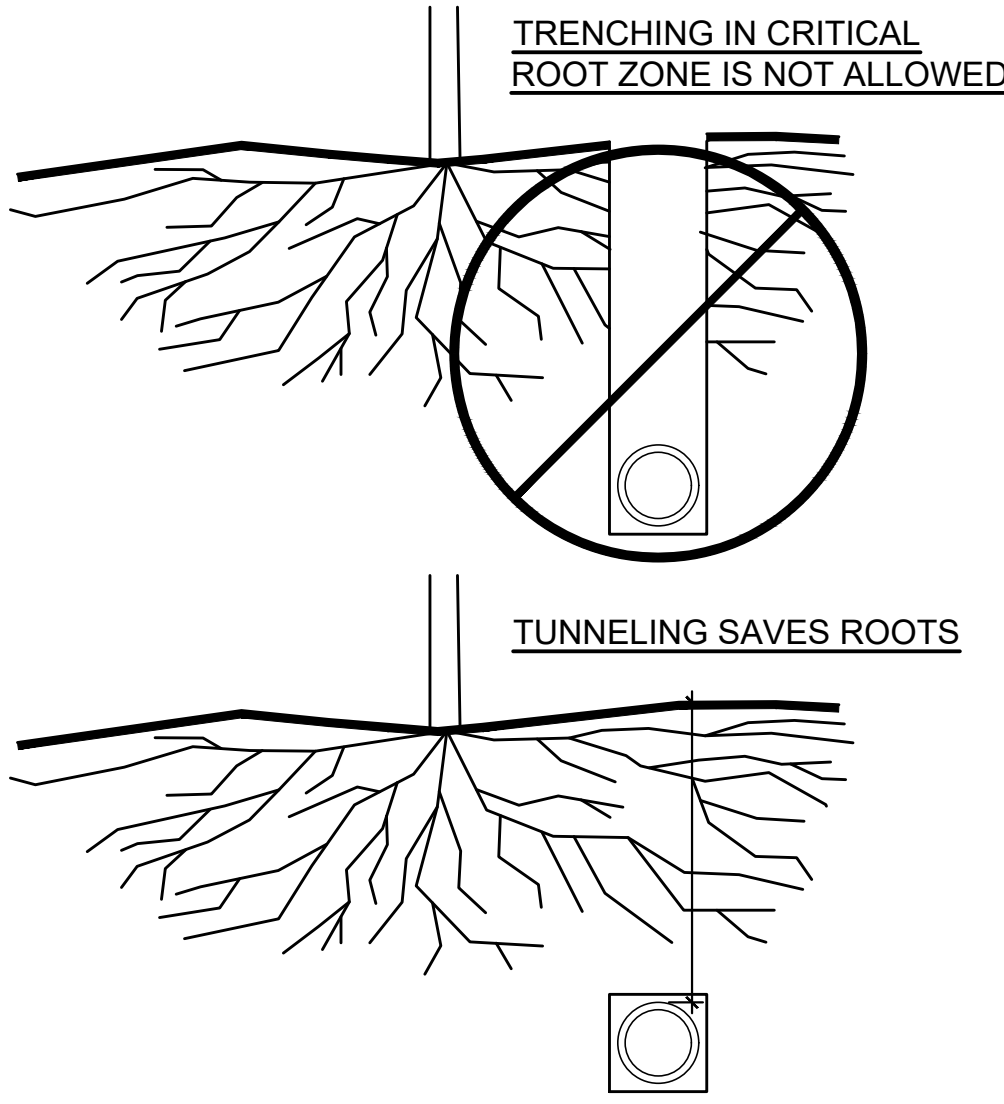
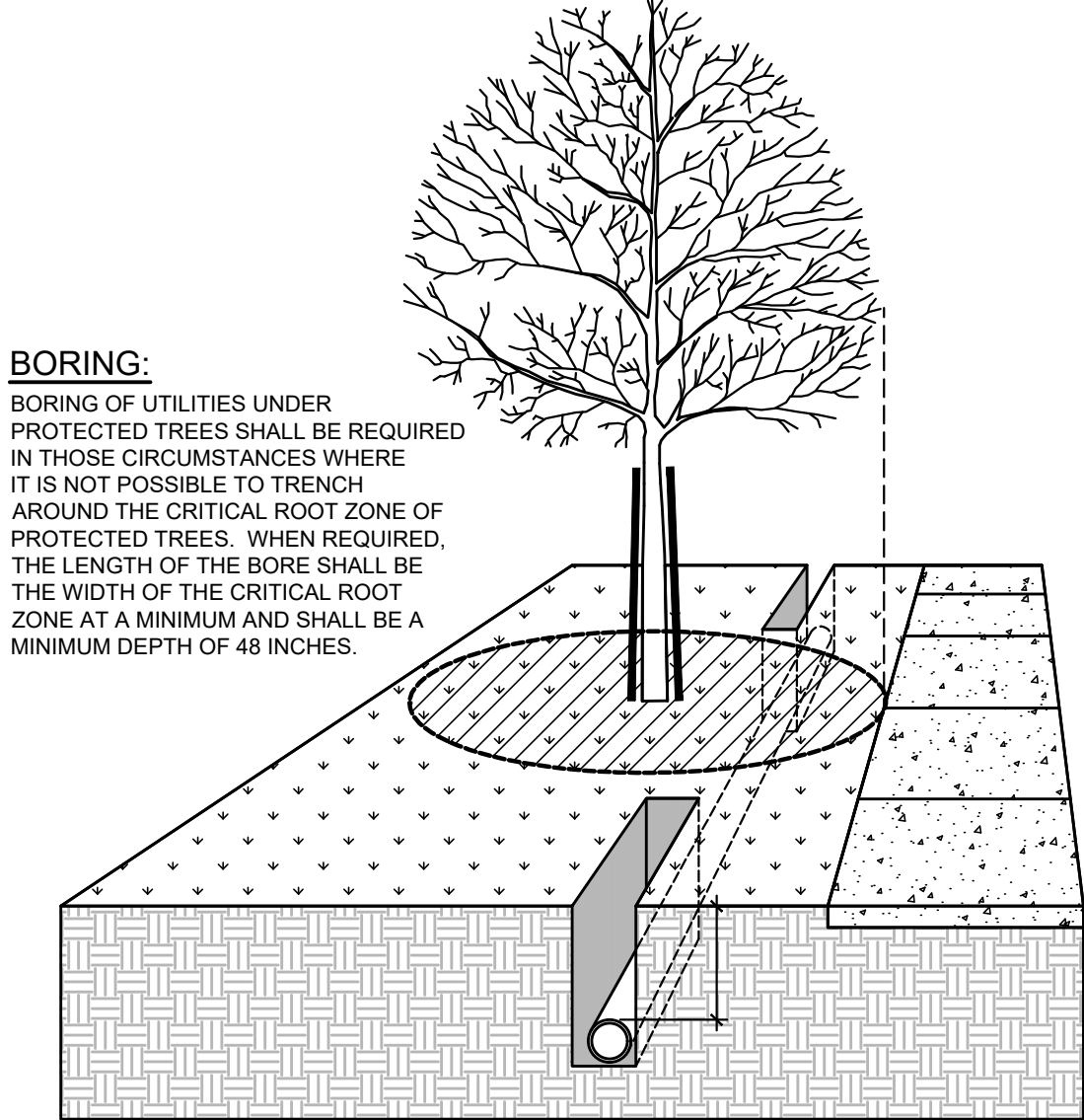
*THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY TREES TO REMAIN.

- MATERIAL STORAGE:** NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW INTO THE CRITICAL ROOT ZONE OF A PROTECTED TREE.
- TREE ATTACHMENTS:** NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
- VEHICULAR TRAFFIC:** NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
- GRADE CHANGES:** PAVING WITHIN THE DRIP LINE SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE OWNER'S REPRESENTATIVE.
- IMPERVIOUS PAVING:** NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
- ROOT PRUNING:** ALL ROOTS ONE INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

TREE PROTECTION NOTES

- THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION ZONE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA FOR LUNCH OR ANY OTHER WORK BREAKS. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAYBE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.
- TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PART 8) AND BE PERFORMED UNDER SUPERVISION OF AN ARBORIST.
- TRUNK PROTECTION ONLY WHERE FENCE IS NOT CONSTRUCTIBLE: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A RING OF 8 FOOT LONG 2 INCH X 6 - INCH PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD. REMOVE TRUNK PROTECTION UPON SUBSTANTIAL COMPLETION.

TREE TRENCHING AND TUNNELING



TREE TRENCHING AND TUNNELING NOTES

- IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY; AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWINGS: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
- WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

A1 TYPICAL TREE PROTECTION

1/2" = 1'-0"

PLANT DET 6_REV

CLIENT

Rockwall County

1101 E Yellowjacket Lane
Rockwall, TX 75087

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
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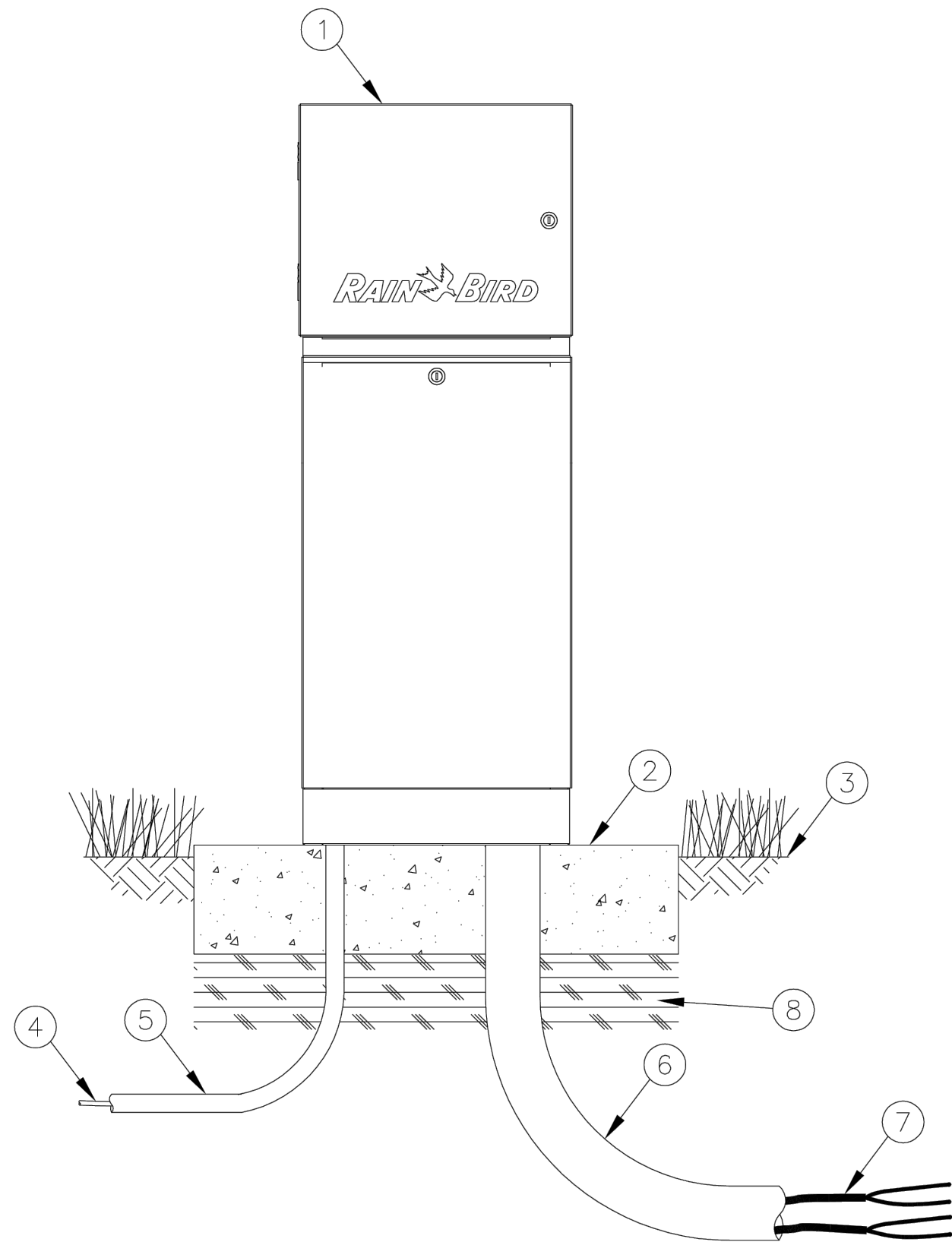
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5 07/30/2025 Record Drawings

DATE DESCRIPTION

Irrigation
Details

L-504

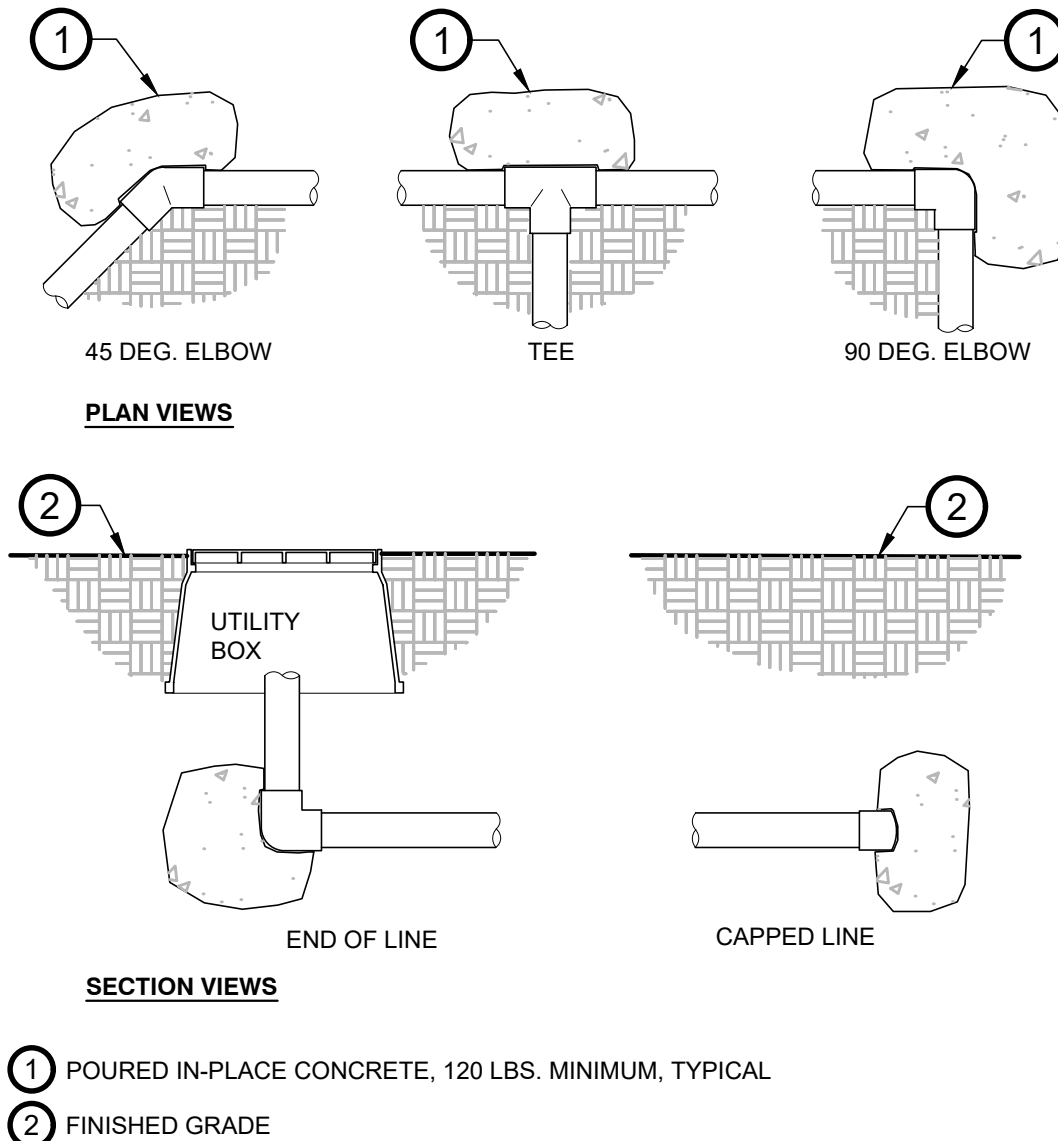


- 1 TWO-WIRE DECODER CONTROLLER:
RAIN BIRD ESP-LXD TWO-WIRE DECODER CONTROLLER
WITH LXMM METAL CABINET AND LXMPED METAL
PEDESTAL. INSTALL CONTROLLER, CABINET AND PEDESTAL
PER MANUFACTURER'S RECOMMENDATIONS.
- 2 CONCRETE PAD: 6-INCH MINIMUM THICKNESS
- 3 FINISH GRADE
- 4 POWER SUPPLY WIRE
- 5 1-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL
FOR POWER SUPPLY
- 6 3-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL
FOR TWO-WIRE CABLE
- 7 MAXICABLE TWO-WIRE PATH TO DECODERS
USE A DIFFERENT CABLE JACKET COLOR FOR EACH PATH.
- 8 COMPACTED SUBGRADE

NOTES:
1. ESP-LXD CONTROLLER COMES WITH 50 STATIONS
AVAILABLE. TWO ADDITIONAL 75 STATION ESPLXD-SUM75
MODULES MAY BE ADDED TO EXPAND THE CONTROLLER
UP TO 200 TOTAL STATIONS.
2. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE
GROUND RESISTANCE OF 10 OHMS OR LESS.

C1 PEDESTAL CONTROLLER

NTS

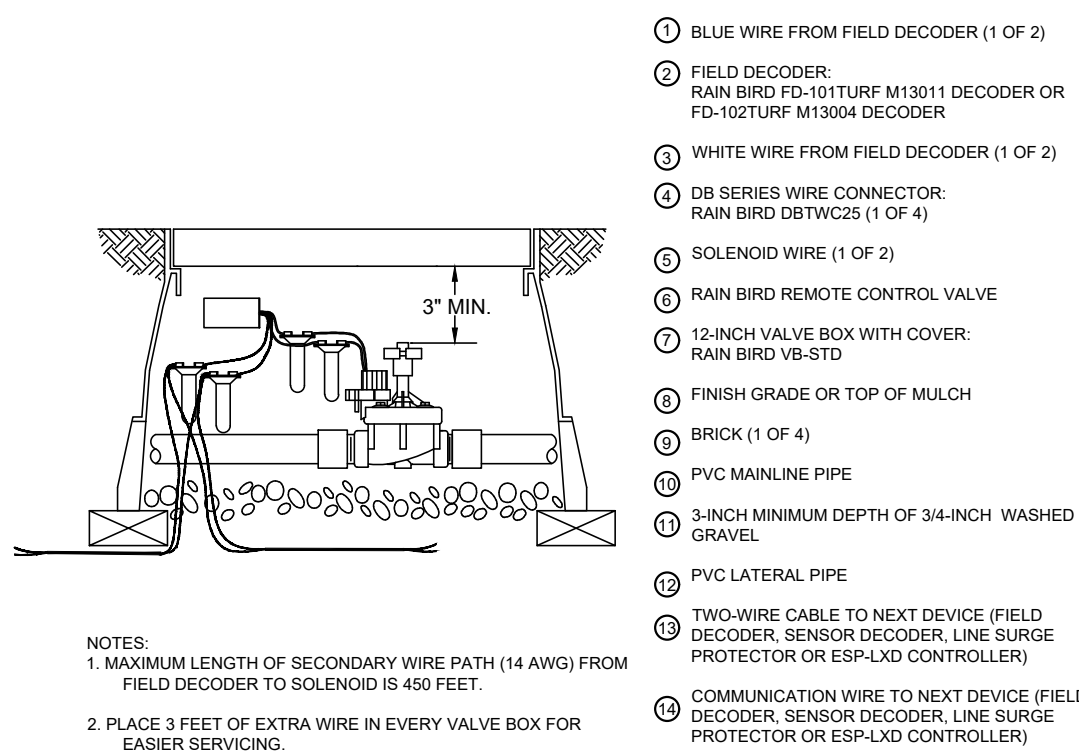


- 1 POURED IN-PLACE CONCRETE, 120 LBS. MINIMUM, TYPICAL
- 2 FINISHED GRADE

C4 THRUST BLOCKING

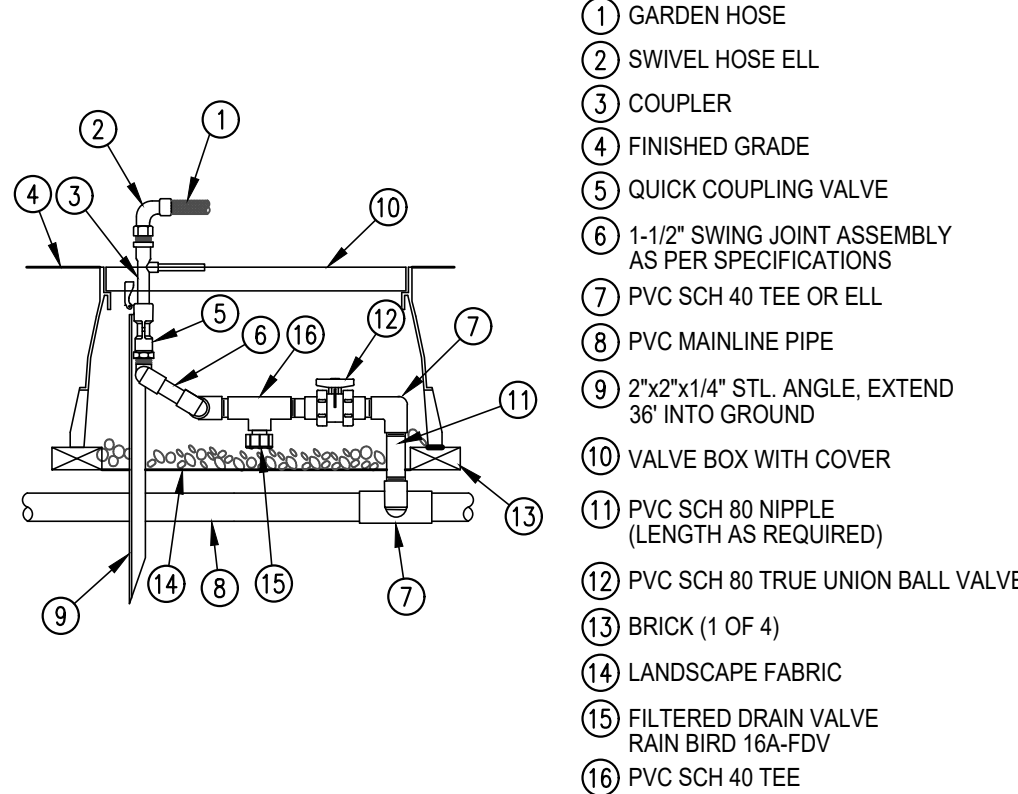
3/4" = 1'-0"

FX-IR-FX-AUXEQ-11

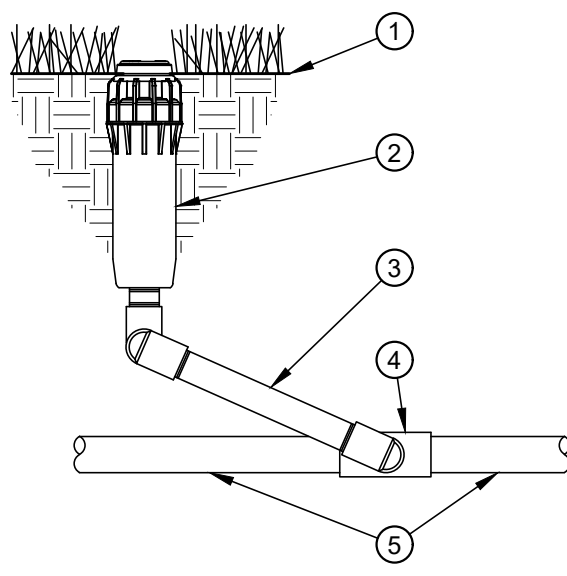


- 1 BLUE WIRE FROM FIELD DECODER (1 OF 2)
- 2 FIELD DECODER:
RAIN BIRD FD-101TURF M13011 DECODER OR
FD-102TURF M13004 DECODER
- 3 WHITE WIRE FROM FIELD DECODER (1 OF 2)
- 4 DB SERIES WIRE CONNECTOR:
RAIN BIRD DBWC25 (1 OF 4)
- 5 SOLENOID WIRE (1 OF 2)
- 6 RAIN BIRD REMOTE CONTROL VALVE
- 7 12-INCH VALVE BOX WITH COVER:
RAIN BIRD VB-STD
- 8 FINISH GRADE OR TOP OF MULCH
- 9 BRICK (1 OF 4)
- 10 PVC MAINLINE PIPE
- 11 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED
GRAVEL
- 12 PVC LATERAL PIPE
- 13 TWO-WIRE CABLE TO NEXT DEVICE (FIELD
DECODER, SENSOR DECODER, LINE SURGE
PROTECTOR OR ESP-LXD CONTROLLER)
- 14 COMMUNICATION WIRE TO NEXT DEVICE (FIELD
DECODER, SENSOR DECODER, LINE SURGE
PROTECTOR OR ESP-LXD CONTROLLER)

NOTES:
1. MAXIMUM LENGTH OF SECONDARY WIRE PATH (14 AWG) FROM
FIELD DECODER TO SOLENOID IS 450 FEET.
2. PLACE 3 FEET OF EXTRA WIRE IN EVERY VALVE BOX FOR
EASIER SERVICING.



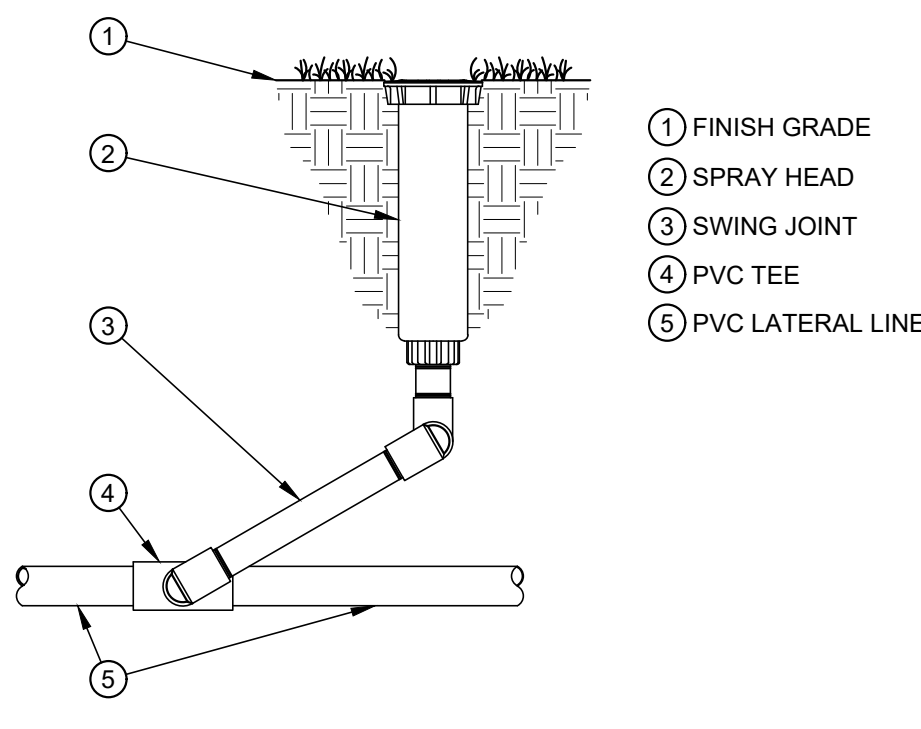
- 1 GARDEN HOSE
- 2 SWIVEL HOSE ELL
- 3 COUPLER
- 4 FINISHED GRADE
- 5 QUICK COUPLING VALVE
- 6 1-1/2" SWING JOINT ASSEMBLY
AS PER SPECIFICATIONS
- 7 PVC SCH 40 TEE OR ELL
- 8 PVC MAINLINE PIPE
- 9 2"x2"x1/4" STL. ANGLE, EXTEND
36" INTO GROUND
- 10 VALVE BOX WITH COVER
- 11 PVC SCH 80 NIPPLE
(LENGTH AS REQUIRED)
- 12 PVC SCH 80 TRUE UNION BALL VALVE
- 13 BRICK (1 OF 4)
- 14 LANDSCAPE FABRIC
- 15 FILTERED DRAIN VALVE
RAIN BIRD 16A-FDV
- 16 PVC SCH 40 TEE



- 1 FINISH GRADE
- 2 ROTOR POP-UP SPRINKLER
- 3 SWING JOINT
- 4 PVC SCH 40 TEE OR ELL
- 5 LATERAL PIPE

B3 ROTOR HEAD

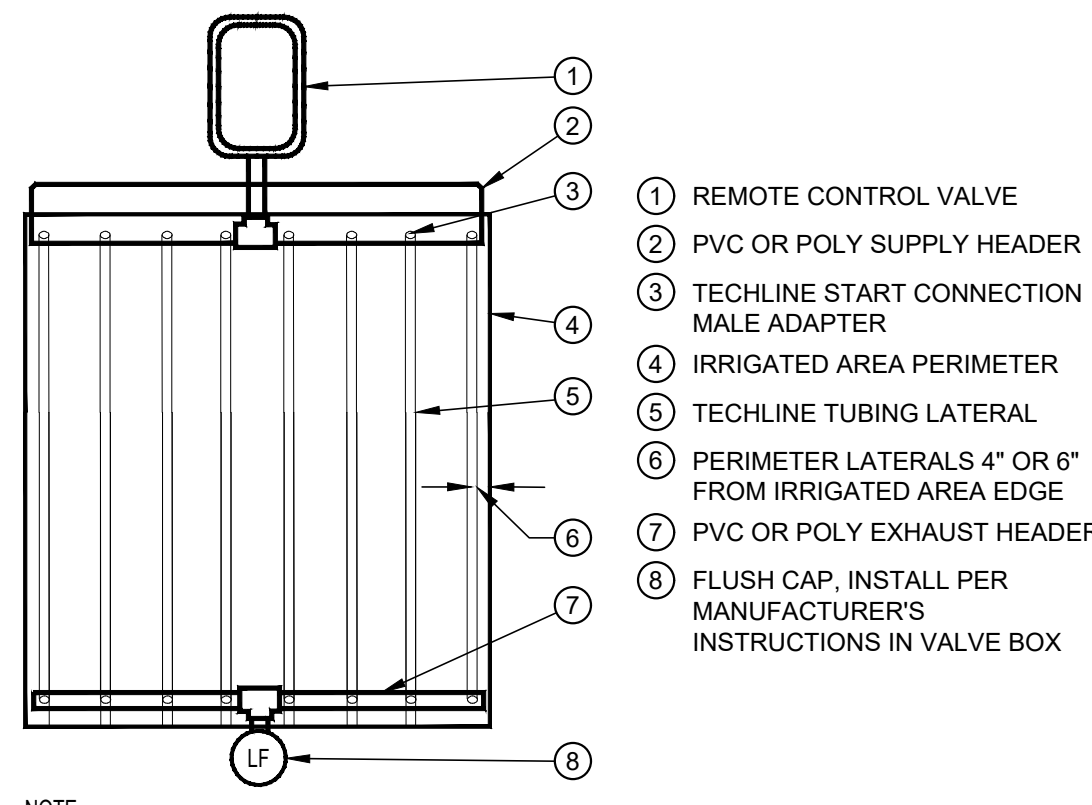
NTS



- 1 FINISH GRADE
- 2 SPRAY HEAD
- 3 SWING JOINT
- 4 PVC TEE
- 5 PVC LATERAL LINE

B4 POP-UP SPRAY HEAD

1'-1/2" = 1'-0"

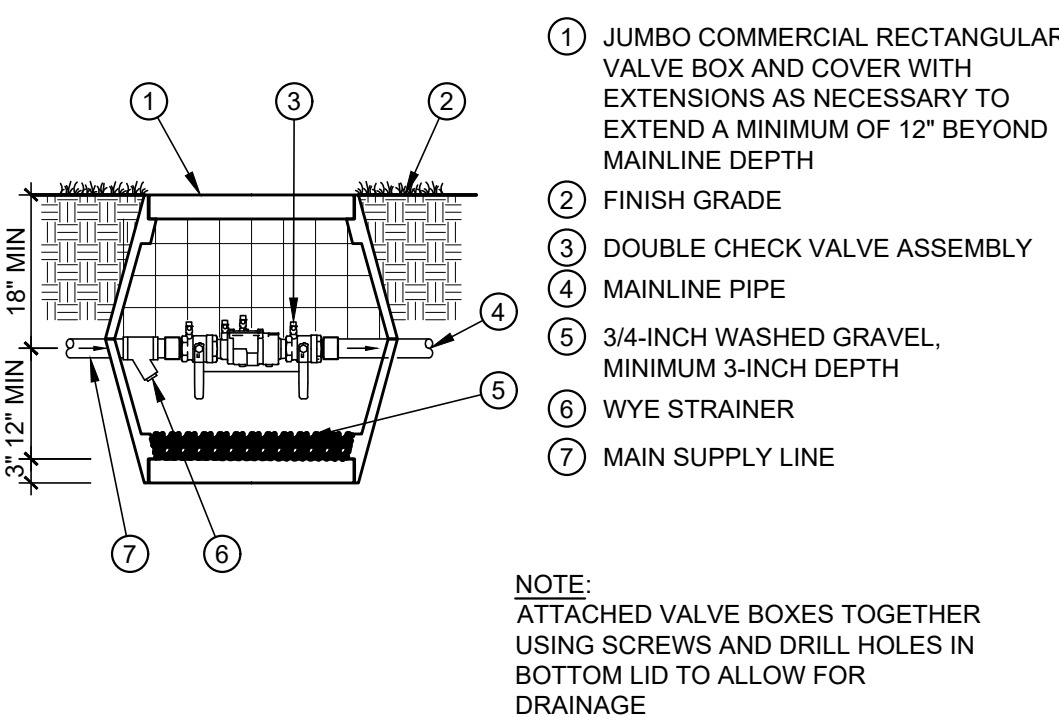


- 1 REMOTE CONTROL VALVE
- 2 PVC OR POLY SUPPLY HEADER
- 3 TECHLINE START CONNECTION
MALE ADAPTER
- 4 IRRIGATED AREA PERIMETER
- 5 TECHLINE TUBING LATERAL
- 6 PERIMETER LATERALS 4" OR 6"
FROM IRRIGATED AREA EDGE
- 7 PVC OR POLY EXHAUST HEADER
- 8 FLUSH CAP, INSTALL PER
MANUFACTURER'S
INSTRUCTIONS IN VALVE BOX

NOTE:
1. INSTALL ACCORDING TO MANUFACTURER'S
SPECIFICATIONS

B5 DRIP DETAIL

1/2" = 1'-0"

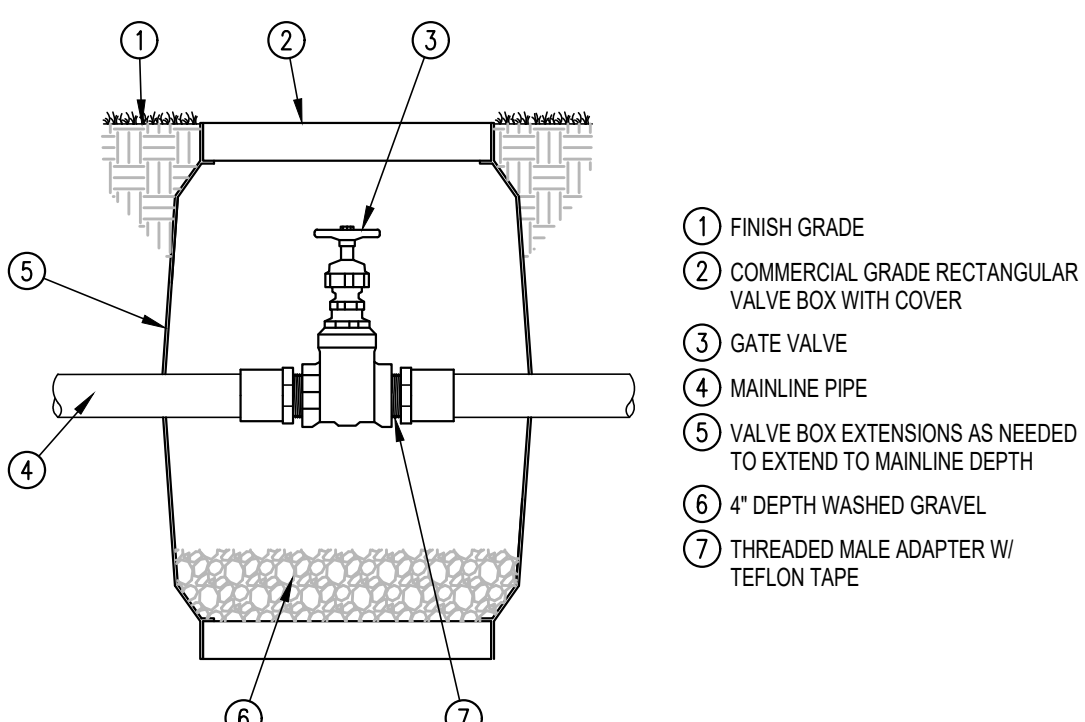


- 1 JUMBO COMMERCIAL RECTANGULAR
VALVE BOX AND COVER WITH
EXTENSIONS AS NECESSARY TO
EXTEND A MINIMUM OF 12" BEYOND
MAINLINE DEPTH
- 2 FINISH GRADE
- 3 DOUBLE CHECK VALVE ASSEMBLY
- 4 MAINLINE PIPE
- 5 3/4-INCH WASHED GRAVEL,
MINIMUM 3-INCH DEPTH
- 6 WYE STRAINER
- 7 MAIN SUPPLY LINE

NOTE:
ATTACHED VALVE BOXES TOGETHER
USING SCREWS AND DRILL HOLES IN
BOTTOM LID TO ALLOW FOR
DRAINAGE

A1 DOUBLE CHECK ASSEMBLY

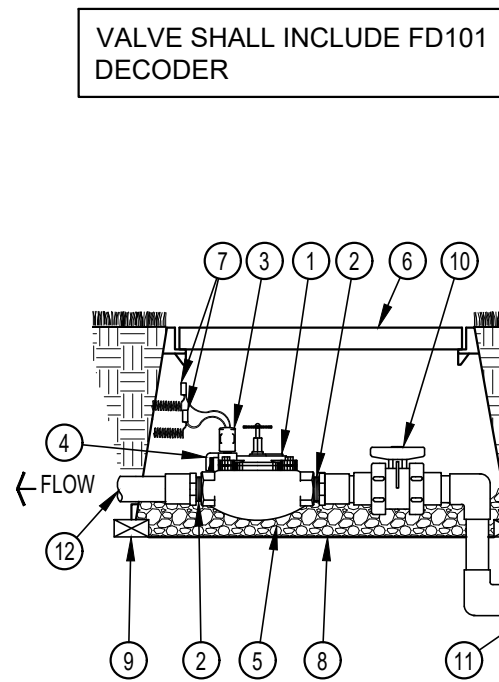
1/2" = 1'-0"



- 1 FINISH GRADE
- 2 COMMERCIAL GRADE RECTANGULAR
VALVE BOX WITH COVER
- 3 GATE VALVE
- 4 MAINLINE PIPE
- 5 VALVE BOX EXTENSIONS AS NEEDED
TO EXTEND TO MAINLINE DEPTH
- 6 4" DEPTH WASHED GRAVEL
- 7 THREADED MALE ADAPTER W/
TEFLON TAPE
- 8 BRICK SUPPORT (1 OF 4)
- 9 SCH. 80 TRUE UNION BALL
VALVE
- 10 PVC MAINLINE PIPE
- 11 PVC LATERAL PIPE

A2 SHUT OFF VALVE

1/2" = 1'-0"

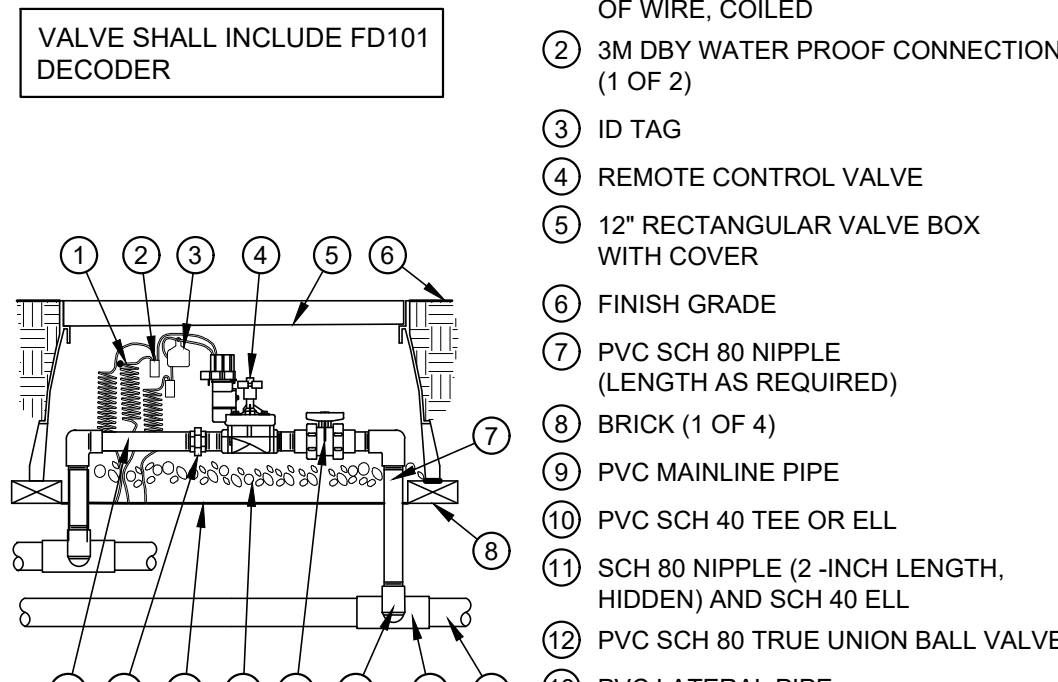


VALVE SHALL INCLUDE FD101
DECODER

- 1 REMOTE CONTROL VALVE
- 2 INSTALL THREADED
MALE ADAPTER WITH
TEFLON TAPE, TYP
- 3 SOLENOID
- 4 MANUAL BLEED LEVER
- 5 3/4 INCH GRAVEL SUPPORT
- 6 12" RECTANGULAR VALVE BOX
WITH EXTENSIONS AS
NECESSARY TO EXTEND
BELOW VALVE ASSEMBLY A
MIN. OF 3", TYP
- 7 EXPANSION COIL AND 3M DBY
WATERPROOF CONNECTOR
- 8 LANDSCAPE FABRIC
- 9 BRICK SUPPORT (1 OF 4)
- 10 SCH. 80 TRUE UNION BALL
VALVE
- 11 PVC MAINLINE PIPE
- 12 PVC LATERAL PIPE

A3 MASTER VALVE

1" = 1'-0"

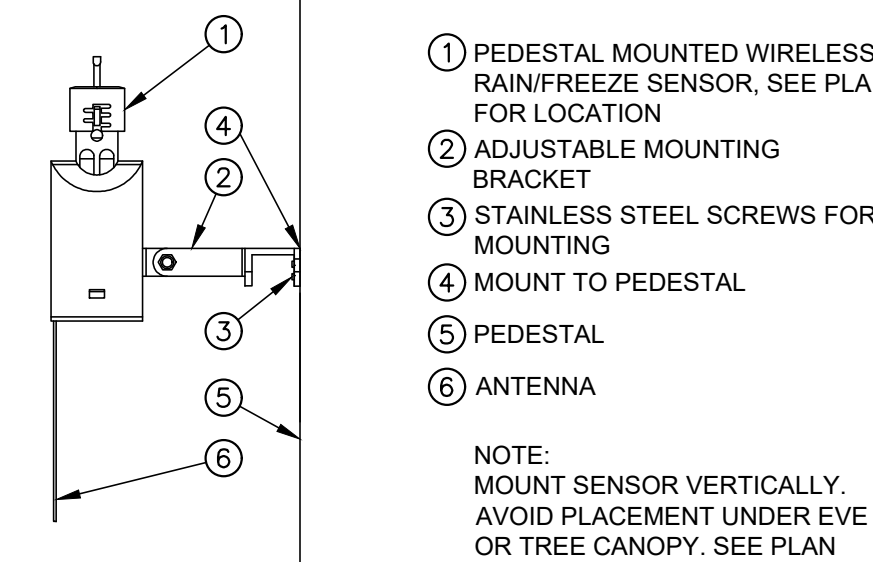


VALVE SHALL INCLUDE FD101
DECODER

- 1 30-INCH LINEAR LENGTH
OF WIRE, COILED
- 2 3M DBY WATER PROOF CONNECTION
(1 OF 2)
- 3 ID TAG
- 4 REMOTE CONTROL VALVE
- 5 12" RECTANGULAR VALVE BOX
WITH COVER
- 6 FINISH GRADE
- 7 PVC SCH 80 NIPPLE
(LENGTH AS REQUIRED)
- 8 BRICK (1 OF 4)
- 9 PVC MAINLINE PIPE
- 10 PVC SCH 40 TEE OR ELL
- 11 SCH 80 NIPPLE (2-INCH LENGTH,
HIDDEN) AND SCH 40 ELL
- 12 PVC SCH 80 TRUE UNION BALL VALVE
- 13 PVC LATERAL PIPE
- 14 3.0-INCH MINIMUM DEPTH OF
3/4 INCH WASHED GRAVEL
- 15 LANDSCAPE FABRIC
- 16 PVC SCH 80 TRUE UNION

A4 VALVE DETAIL

1/2" = 1'-0"



- 1 PEDESTAL MOUNTED WIRELESS
RAIN/FREEZE SENSOR, SEE PLAN
FOR LOCATION
- 2 ADJUSTABLE MOUNTING
BRACKET
- 3 STAINLESS STEEL SCREWS FOR
MOUNTING
- 4 MOUNT TO PEDESTAL
- 5 PEDESTAL
- 6 ANTENNA

NOTE:
MOUNT SENSOR VERTICALLY.
AVOID PLACEMENT UNDER EVE
OR TREE CANOPY. SEE PLAN
FOR LOCATIONS

A5 RAIN / FREEZE SENSOR

3" = 1'-0"