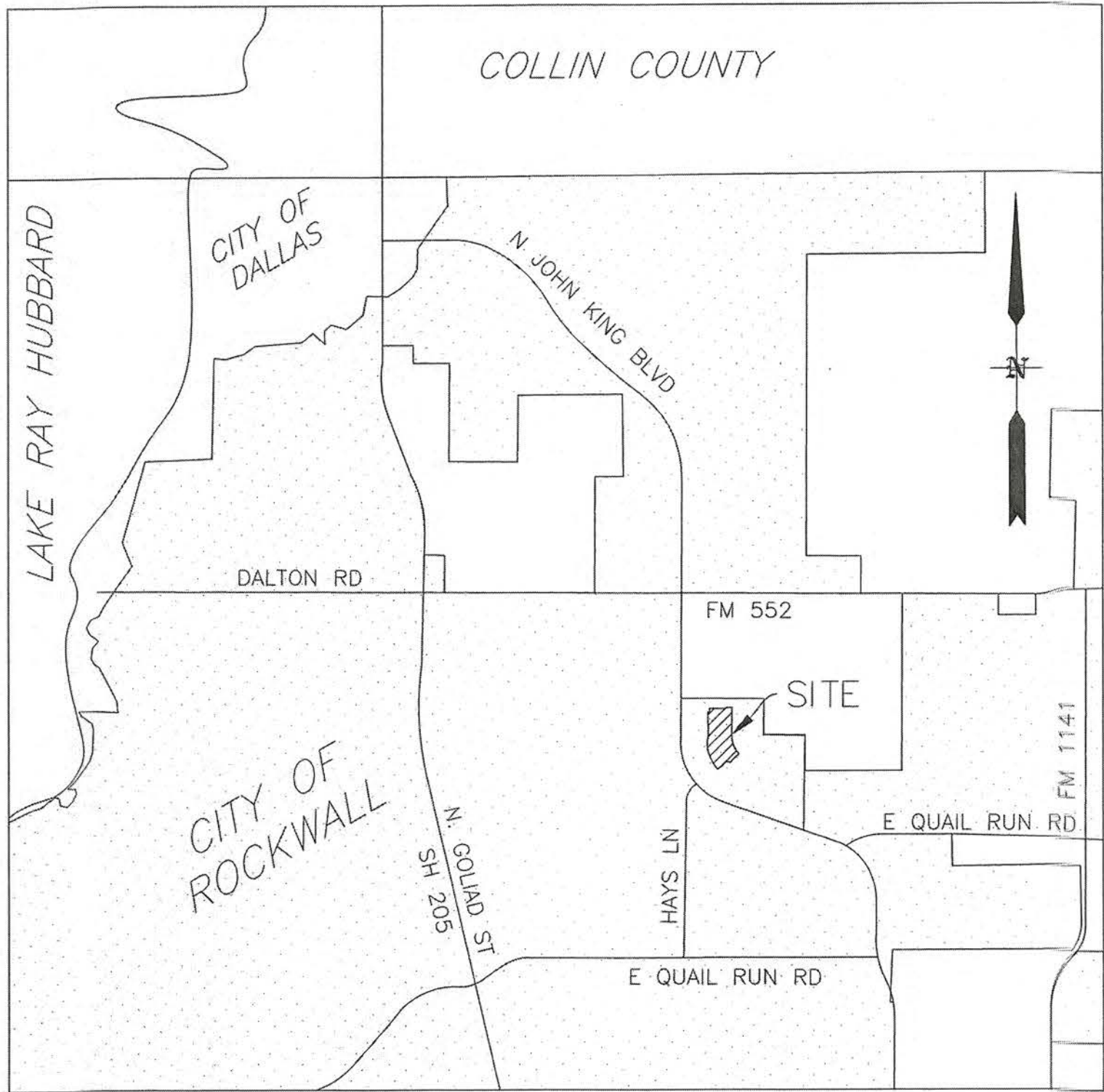


CONSTRUCTION PLANS FOR SADDLE STAR SOUTH AMENITY CENTER

1 OPEN SPACE LOT
AN ADDITION TO THE CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
2.174 ACRES

CONTACT INFORMATION:

Mayor: Jim Pruitt
Rockwall Engineer and Public Works:
Amy Williams, P.E. (972) 771-7746
City Manager:
Rick Crowley (972) 771-7700



VICINITY MAP
N.T.S.

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10	DRAINAGE AREA PROPOSED
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PROBABLE CONSTRUCTION DATE: MARCH 2021

RECORD DRAWINGS
To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.
PETTITT-ECD, L.P.
Ryan C. King, P.E. 4/15/2024
DATE

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
CITY 11-15-21
DATE

OWNER
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142
SADDLE STAR
SOUTH HOLDINGS, LLC
2200 ROSS AVE, STE. 4200W
DALLAS, TX 75201
GWENDOLYN REED
3076 HAYS RD
ROCKWALL, TX 75087
DEVELOPER
HINES
2200 ROSS AVE, SUITE 4200W
DALLAS, TX 75201
(214) 716-2900

*ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CAUTION! EXISTING UTILITIES

CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58
BM#2 (#104)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD AT THE TURN IN LANE FOR HAYS ROAD. THE MONUMENT #104 IS LOCATED 22' TO THE SOUTHWEST OF THE BEGINNING OF THE LEFT TURNING LANE ON JOHN KING BLVD.
ELEVATION = 538.47
BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'



ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
10/18/2021	ADDED EROSION CONTROL PLAN
10/19/2021	ADDED TREE EXHIBIT
DATE:	03/10/2021
PROJECT NO.:	06824
DWG FILE NAME:	06824 CV.DWG

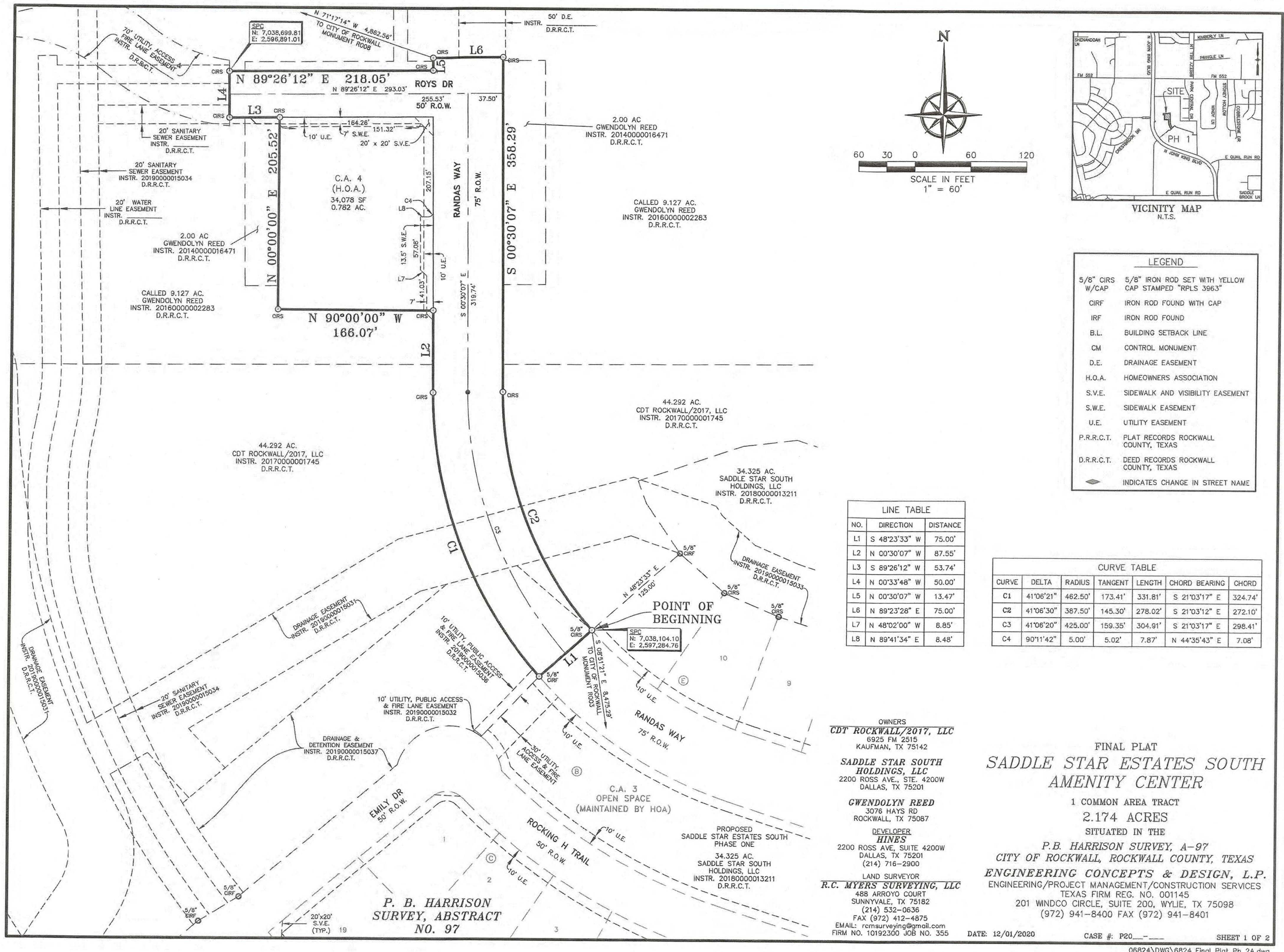
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635



03/10/2021 ISSUED FOR CONSTRUCTION

SADDLE STAR SOUTH AMENITY CENTER
THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
1
OF
27



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF
DESIGN.

CITY _____ DATE _____

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS SADDLE STAR SOUTH HOLDINGS LLC, BEING THE OWNER OF a 2.174 acre tract of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being part of a 44,292 acre tract of land described in deed to CDT Rockwall/2017, LLC, recorded in Instrument 20170000001745, Deed Records, Rockwall County, Texas (DRRCT), part of a called 2.00 acre tract of land described in deed to Gwendolyn Reed, recorded in Instrument No. 20140000018471, DRRCT, and part of a called 9.127 acre tract of land described in deed to Gwendolyn Reed, recorded in Instrument No. 20160000002283, DRRCT, said 2.174 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner in the northwest line of a 34.325 acre tract of land described in deed to Saddle Star Holdings, LLC, recorded in Instrument No. 20160000013211, DRRCT from which a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," found for the north corner of Saddle Star Estates South, Phase One, a proposed addition to the City of Rockwall, bears North 48 degrees 23 minutes 33 seconds East, a distance of 125.00 feet;

THENCE South 48 degrees 23 minutes 33 seconds West, along the common line of said Addition and said 34.325 acre tract, a distance of 75.00 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," found for an angle point in the common line of same, said corner being the beginning of a non-tangent curve to the right having a radius of 462.50 feet whose chord bears North 21 degrees 03 minutes 17 seconds West, a distance of 324.74 feet;

THENCE Northwesterly, along said curve to the right, through a central angle of 41 degrees 06 minutes 21 seconds, an arc distance of 331.81 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for the end of said curve;

THENCE North 00 degrees 30 minutes 07 seconds West, a distance of 87.55 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 90 degrees 00 minutes 00 seconds West, a distance of 166.07 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 00 degrees 00 minutes 00 seconds East, a distance of 205.52 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE South 89 degrees 26 minutes 12 seconds West, a distance of 53.74 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 00 degrees 33 minutes 48 seconds West, a distance of 50.00 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 89 degrees 26 minutes 12 seconds East, a distance of 218.05 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 00 degrees 30 minutes 07 seconds West, a distance of 13.47 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 89 degrees 23 minutes 28 seconds East, a distance of 75.00 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE South 00 degrees 30 minutes 07 seconds East, a distance of 358.29 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for the beginning of a tangent curve to the left having a radius of 387.50 feet whose chord bears South 21 degrees 03 minutes 12 seconds East, a distance of 272.10 feet;

THENCE Southeasterly, along said curve to the left, through a central angle of 41 degrees 06 minutes 30 seconds, an arc distance of 278.02 feet to POINT OF BEGINNING AND CONTAINING 94,715 square feet or 2.174 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

SADDLE STAR SOUTH HOLDINGS, LLC, the undersigned owner of the land shown on this plot, and designated herein as the SADDLE STAR ESTATES SOUTH, AMENITY CENTER, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicates to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. SADDLE STAR SOUTH HOLDINGS, LLC further certifies that all other parties who have a mortgage or lien interest in the SADDLE STAR ESTATES SOUTH, AMENITY CENTER subdivision have been notified and signed this plot. SADDLE STAR SOUTH HOLDINGS, LLC understands and does hereby reserve the easement strips shown on this plot for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. SADDLE STAR SOUTH HOLDINGS, LLC also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner/H.O.A. shall be responsible for all maintenance, repair and replacement of all drainage and detention systems.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

SADDLE STAR SOUTH HOLDINGS, LLC further acknowledges that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. SADDLE STAR SOUTH HOLDINGS, LLC, it's successors and assigns hereby waive any claim, damage, or cause of action that SADDLE STAR SOUTH HOLDINGS, LLC may have as a result of the dedication of exactions made herein.

FOR: SADDLE STAR SOUTH HOLDINGS, LLC (PROPERTY OWNER)

BY: NAME: _____
TITLE: _____

FOR: AMERICAN UNITED BANK OF TEXAS (LIEN HOLDER)

BY: NAME: _____
TITLE: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2020.

Notary Public in and for the State of Texas
My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2020.

Notary Public in and for the State of Texas
My Commission Expires: _____

Notes:

1. Bearings and Grid Coordinates shown hereon are per NAD 83 based on City of Rockwall Monument No.
2. A 5/8" iron rod with a yellow cap stamped "RPLS 3963" will be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
3. By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source, on occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
4. All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The Open Space Lots to be maintained by the Homeowners Association (HOA).
7. All drainage and detention easements to be maintained, repaired and replaced by property owner.

SURVEYOR'S CERTIFICATE

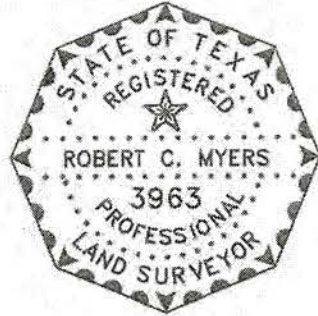
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 2020.

Preliminary, this document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document. This final plat is released on May 20, 2020 for review by the City and other parties for comments and progression to an approved Final Plat.

ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2020.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

OWNERS
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142

SADDLE STAR SOUTH
HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

GWENDOLYN REED
3076 HAYS RD
ROCKWALL, TX 75087

DEVELOPER
HINES
2200 ROSS AVE, SUITE 4200W
DALLAS, TX 75201
(214) 716-2900

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

FINAL PLAT
SADDLE STAR ESTATES SOUTH
AMENITY CENTER
1 COMMON AREA TRACT
2.174 ACRES
SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TX 75098
(972) 941-8400 FAX (972) 941-8401
DATE: 12/01/2020 CASE #: P20- SHEET 2 OF 2

06824\DWG\6824 Final Plat Ph 2A.dwg

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF
DESIGN.

CITY _____ DATE _____

GENERAL ITEMS

1. All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
2. Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
3. The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/enr.asp>
4. All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
5. Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
6. The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
7. All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
8. All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
9. The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
10. A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

1. The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees.
2. Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
3. All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
4. If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
5. All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
6. The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
7. CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
8. CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
9. All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
10. All adjacent streets/alleys shall be kept clean at all times.
11. CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
12. Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
13. During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
14. Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

15. All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
16. During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

TRAFFIC CONTROL

1. All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
2. When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
3. All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
4. All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
5. The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
6. Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
7. All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
8. Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am - 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
9. No traffic signs shall be taken down without permission from the City.
10. No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES

1. It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and .or any other underground utilities not on record or not shown on the plans.
2. The CONTRACTOR shall be responsible for damages to utilities
3. CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
4. All utilities shall be placed underground.
5. CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
6. The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call - 811 - line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
7. Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
 - a. No more than 500 linear feet of trench may be opened at one time.
 - b. Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
 - c. Applicable safety regulations shall be complied with.
11. This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
12. All underground lines shall be installed, inspected, and approved prior to backfilling.
13. All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

WATER LINE NOTES

1. The CONTRACTOR shall maintain existing water service at all times during construction.
2. Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
3. Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
4. CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
5. CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
6. All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
7. Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
8. All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
9. All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
10. Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
11. All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
12. All joints are to be megalog joints with thrust blocking.
13. Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
14. CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
15. All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

WASTEWATER LINE NOTES

1. The CONTRACTOR shall maintain existing wastewater service at all times during construction.
2. Wastewater line for 4-inch through 15-inch shall be Green PVC - SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC - PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
3. Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
4. Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
5. CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
6. All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
7. Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
8. All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.
9. All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
10. All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal.. Consheild must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
11. All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
12. If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
13. CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.

RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.

Ryan C. King
RYAN C. KING, P.E.

4/25/2024
DATE



GENERAL CONSTRUCTION NOTES Sheet 1 of 2 October 2020

CITY OF ROCKWALL ENGINEERING DEPARTMENT

385 S. Goliad
Rockwall, Texas 75087

P (972) 771-7746
F (972) 771-7748

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
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CITY

DATE

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

1. All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
2. Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
3. All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
4. No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

PAVING AND GRADING

1. All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
2. All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Streng th 28-Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement	
			Machine placed	Hand Placed	Bar #	Spacing (O.C.E.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

3. Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
4. No sand shall be allowed under any paving.
5. All concrete mix design shall be submitted to the City for review and approval prior to placement.
6. Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
7. All curb and gutter shall be integral (monolithic) with the pavement.
8. All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
9. All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
10. All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
11. All public sidewalks shall be doweled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
12. All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
13. Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
14. All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
15. Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
16. All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
17. CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
18. CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
19. CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

DRAINAGE / STORM SEWER NOTES

1. The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
2. All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
3. Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
4. All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
5. All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
6. All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
7. All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
8. All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.

RETAINING WALLS

1. All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
2. All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
3. All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
4. All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
5. No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

FINAL ACCEPTANCE AND RECORD DRWINGS/AS-BUILTS

1. Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
2. After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
3. Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
4. Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
5. The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
6. Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."

RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.

Ryan C. King
RYAN C. KING, P.E.

4/26/2024
DATE



GENERAL CONSTRUCTION NOTES
Sheet 2 of 2
October 2020

CITY OF ROCKWALL
ENGINEERING DEPARTMENT

385 S. Goliad
Rockwall, Texas 75087

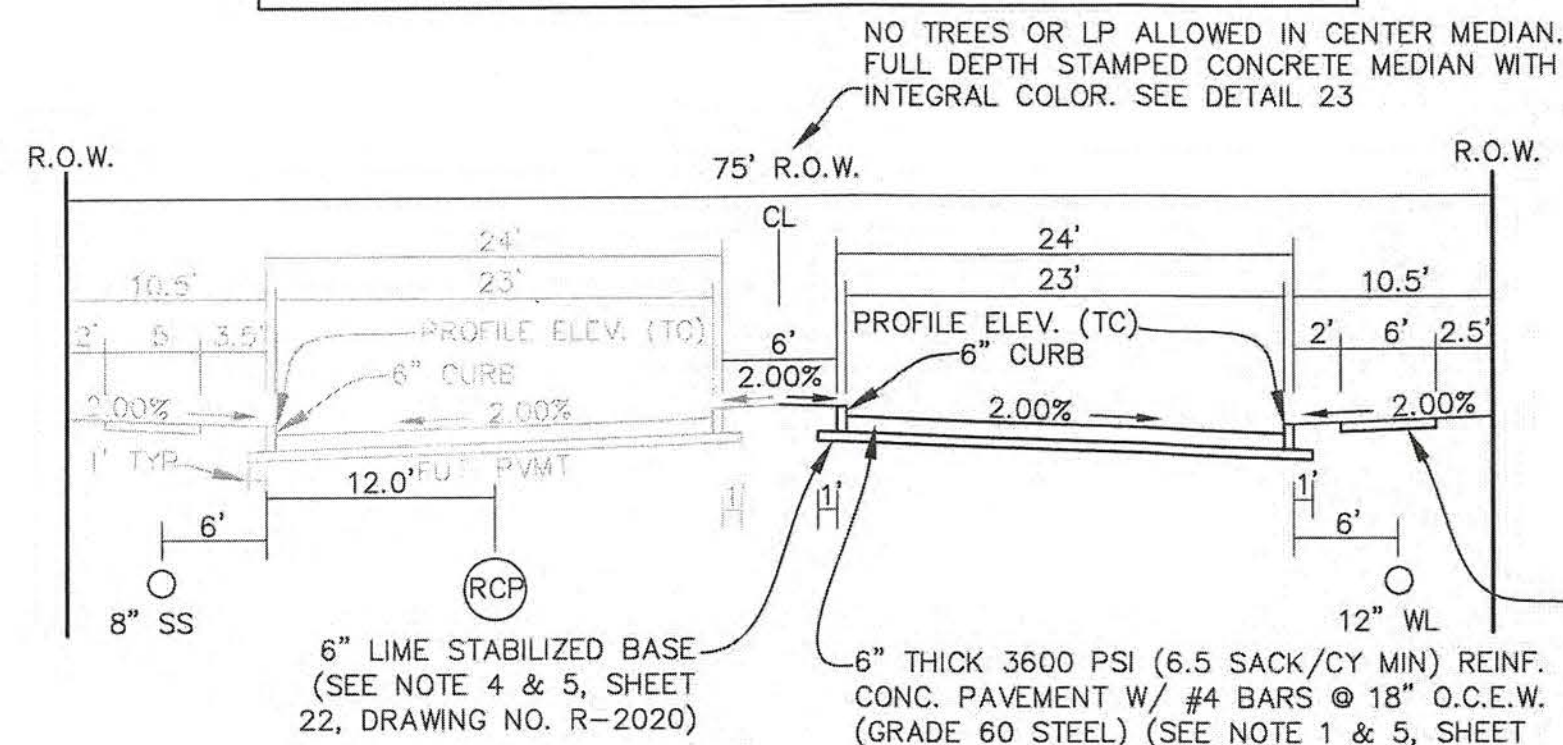
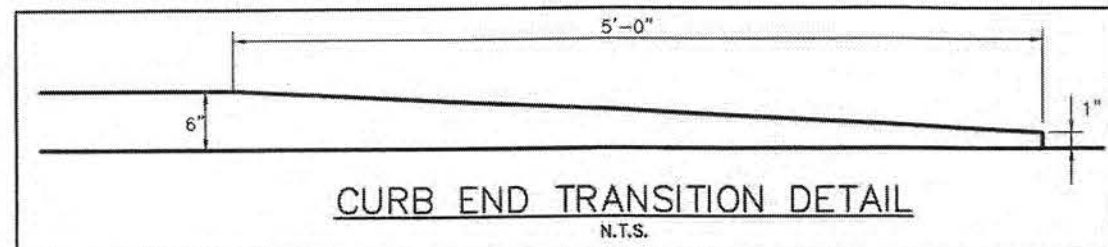
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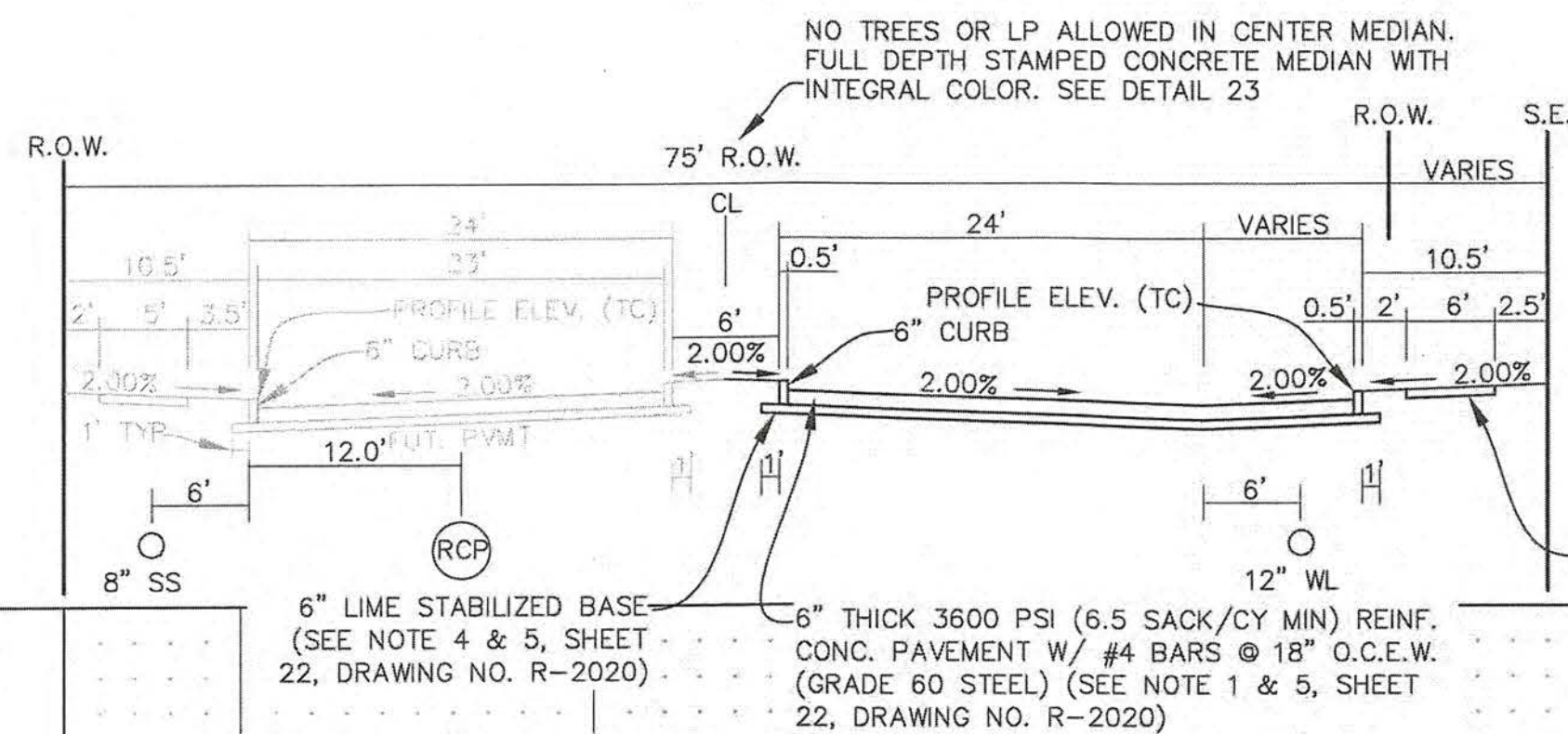
CITY

DATE

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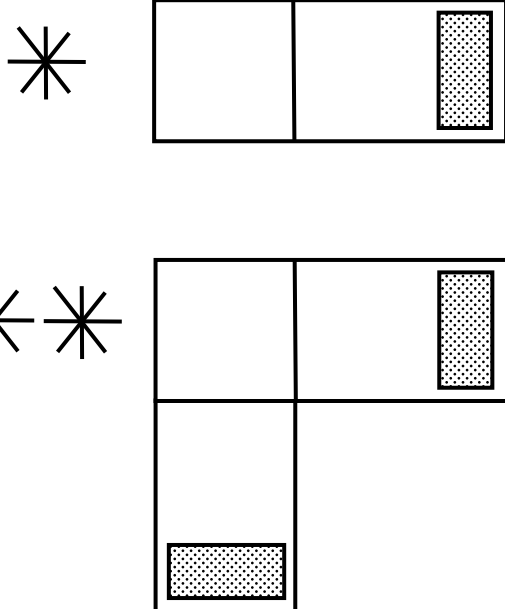


RANDAS WAY PAVEMENT SECTION
N.T.S.



RANDAS WAY PAVEMENT SECTION WITH PARKING
N.T.S.

RECORD DRAWING DETAILS
BFR FIELD CHANGES



PROFILE VERTICAL
SCALE 1"=5'

CAUTION! EXISTING UTILITIES
CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
BM#1 (#102)
CIRTS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

BM#3 (#106)
CIRTS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS
& DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

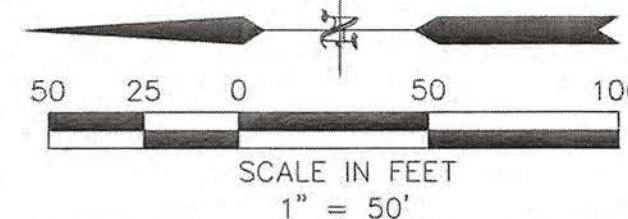
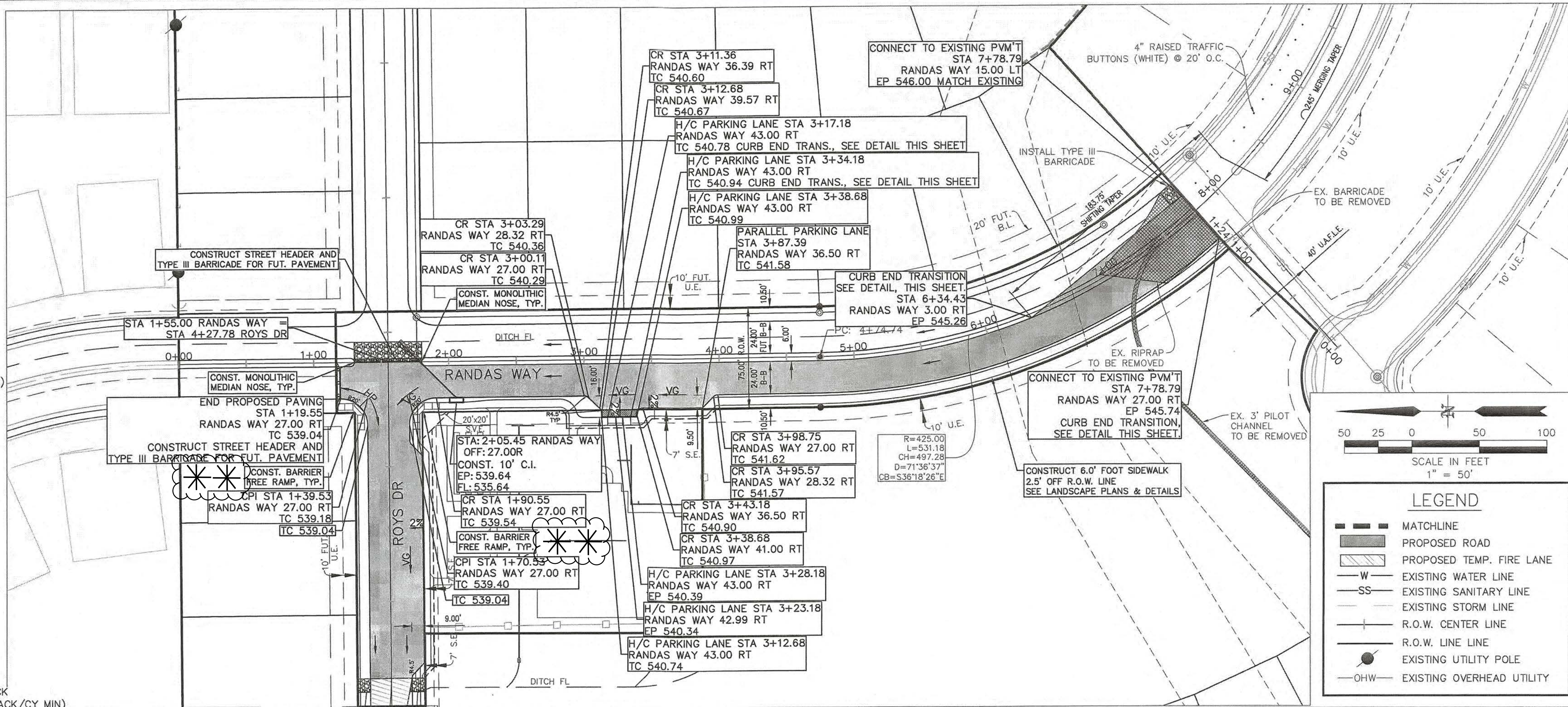
DRAWN: MJH DATE:
CHECKED: RCK DATE: 03/10/2021
PROJECT NO.: 06824
DWG FILE NAME: 06824 PV.DWG

THIS DOCUMENT IS RELEASED FOR
THE PURPOSE OF CONSTRUCTION.
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY RYAN C. KING, P.E. 123635



PAVING PLAN - RANDAS WAY
SADDLE STAR SOUTH AMENITY CENTER
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

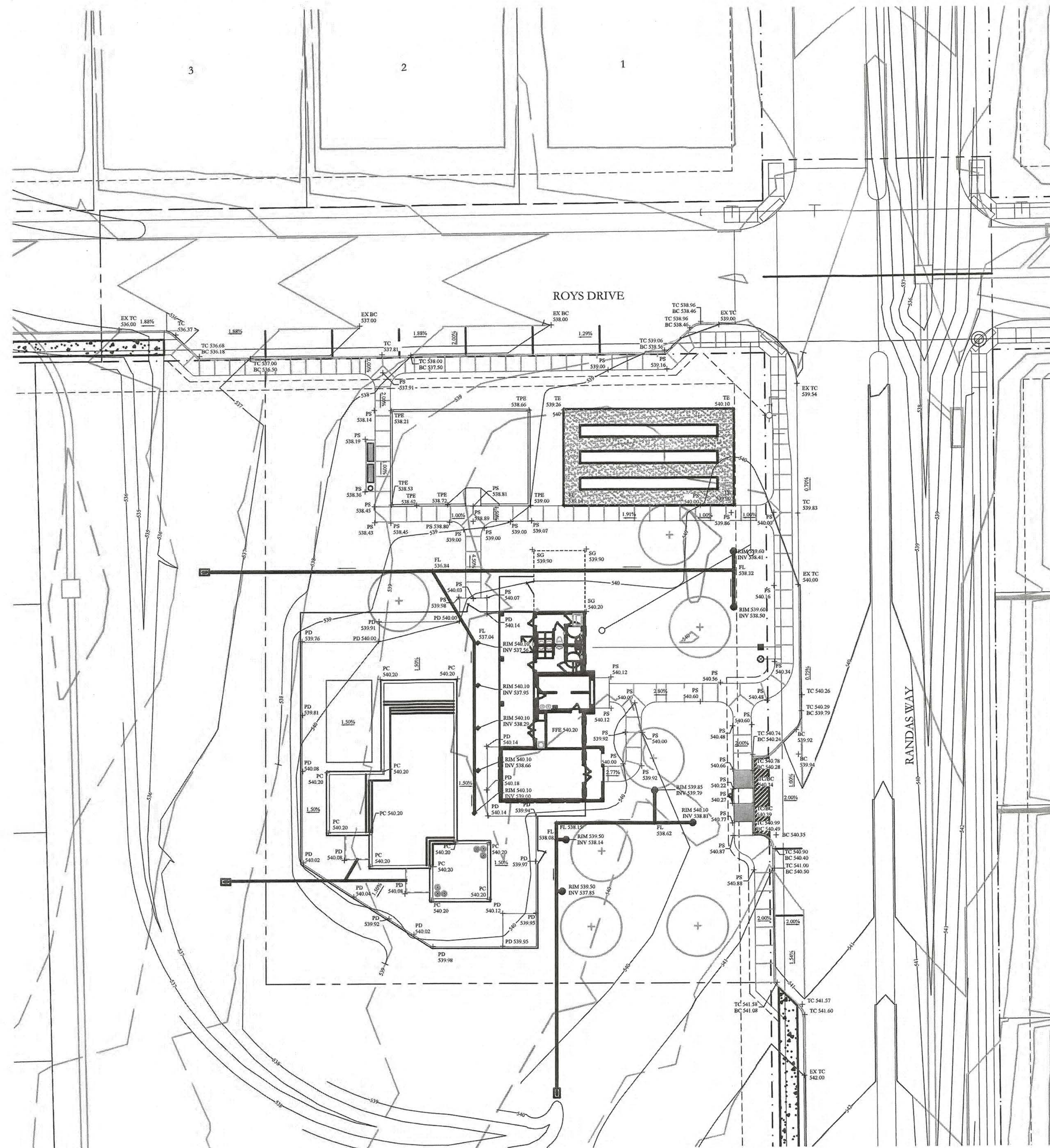
SHEET
6
OF
27



- LEGEND**
- MATCHLINE
 - PROPOSED ROAD
 - PROPOSED TEMP. FIRE LANE
 - W EXISTING WATER LINE
 - SS EXISTING SANITARY LINE
 - EXISTING STORM LINE
 - R.O.W. CENTER LINE
 - R.O.W. LINE LINE
 - EXISTING UTILITY POLE
 - OHW EXISTING OVERHEAD UTILITY

RECORD DRAWINGS
To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.
PETTITT-ECD, L.P.
Ryan C. King, P.E. 4/15/2024 DATE

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CITY: DATE:



LEGEND

- ~545~ PROPOSED MAJOR CONTOUR
- ~560~ PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- - - PROPOSED RETAINING WALL
- 558.1 PROPOSED ELEVATION
- 543.45TC PROPOSED TOP OF CURB

20 10 0 20 40
SCALE IN FEET
1" = 20'

SEE LANDSCAPE PLANS
FOR AMENITY CENTER
AND PRIVATE DRAINAGE
DESIGN

RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.
Ryan C. King, P.E. 4/25/2024
DATE

- GRADING NOTES:**
1. ALL WALLS SHALL BE ON ONE LOT INCLUDING FOOTINGS, TIE BACKS, OR STRUCTURAL FILL.
 2. ALL COMPACTION TO BE 95% STANDARD DENSITY USING A SHEEP FOOT ROLLER.
 3. ALL FINAL ELEVATIONS TO BE VERIFIED PRIOR TO CITY ACCEPTANCE.
 4. MAX SLOPE IS 4:1.
 5. MAX DRIVEWAY SLOPE IS 14%.
 6. WALLS 3' AND OVER MUST BE DESIGNED BY A LICENSED ENGINEER.

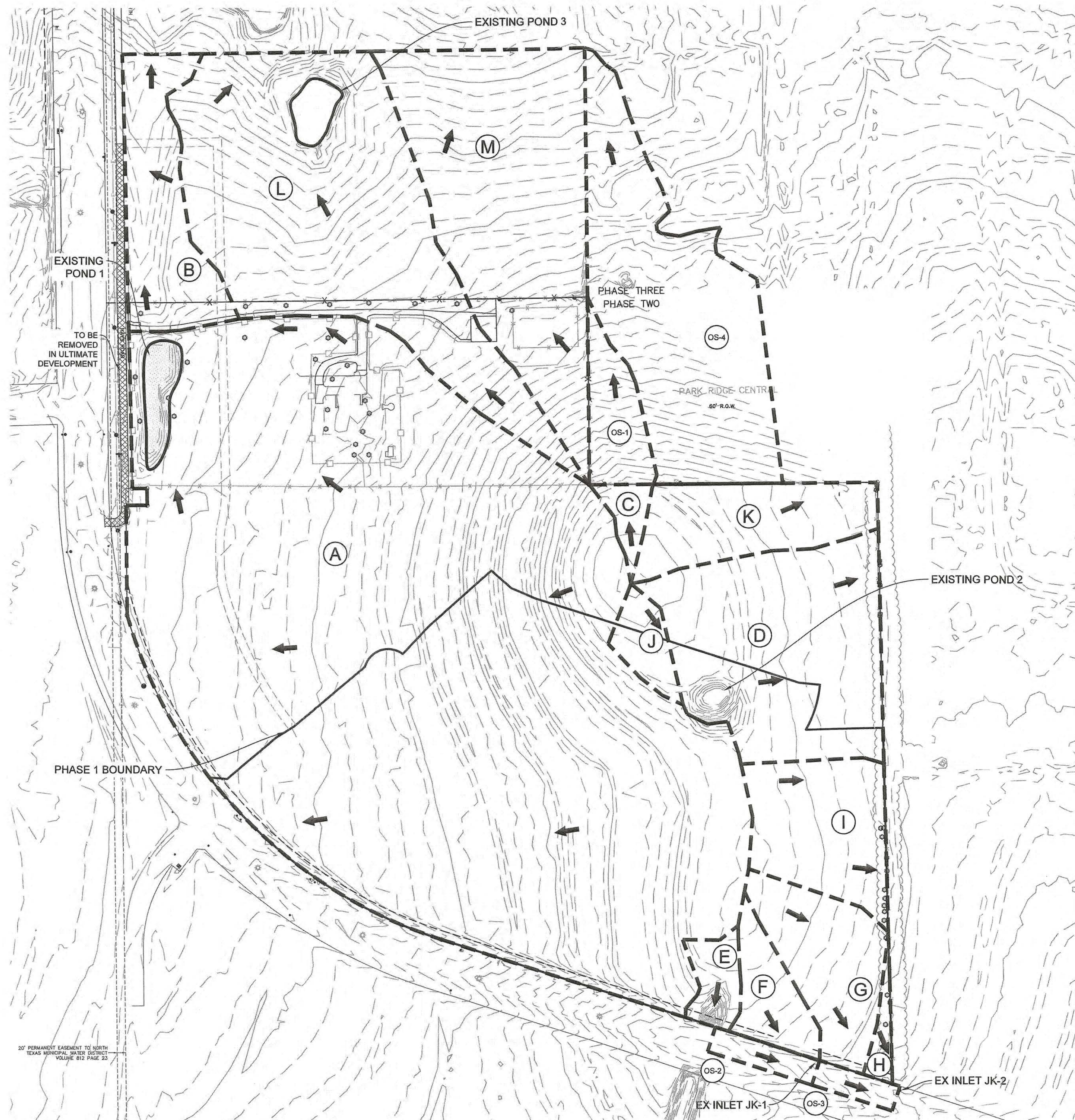
GRADING CONTRACTOR TO ENSURE THAT DRAINAGE IS MAINTAINED ACROSS ENTIRE SITE. NO PONDING SHALL OCCUR.

RELEASED FOR CONSTRUCTION
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CITY _____ DATE _____

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<p>CAUTION! EXISTING UTILITIES</p> <p>CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.</p>	<p>BENCHMARK: BM#1 (#102) CIR# "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58</p> <p>BM#3 (#106) CIR# "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT. ELEVATION = 557.33'</p>	<p>ENGINEERINGCONCEPTS & DESIGN, L.P.</p> <p>ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145 201 WINDCO CIR, STE 200, WYLIE, TX 75098 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM</p>	<p>REVISIONS:</p> <table border="1"><tr><td>DRAWN: MJH</td><td>DATE:</td></tr><tr><td>CHECKED: RCK</td><td>DATE: 03/10/2021</td></tr><tr><td>PROJECT NO.: 06824</td><td></td></tr><tr><td>DWG FILE NAME: 06824 GR.DWG</td><td></td></tr></table>	DRAWN: MJH	DATE:	CHECKED: RCK	DATE: 03/10/2021	PROJECT NO.: 06824		DWG FILE NAME: 06824 GR.DWG		<p>THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635</p> <p>STATE OF TEXAS REGISTERED PROFESSIONAL ENGINEER RYAN C. KING 123635 3/10/2021</p>	<p>GRADING PLAN - AMENITY CENTER</p> <p>SADDLE STAR SOUTH AMENITY CENTER</p> <p>CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS</p>	<p>SHEET 8 OF 27</p>
	DRAWN: MJH	DATE:												
CHECKED: RCK	DATE: 03/10/2021													
PROJECT NO.: 06824														
DWG FILE NAME: 06824 GR.DWG														



140 70 0 140 280
SCALE IN FEET
1" = 140'

LEGEND

- DRAINAGE AREA BOUNDARY
- 560- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- (D) EXISTING DRAINAGE AREA

Existing Drainage Area Calculations

Drainage Area	Area (AC)	Tc (Min)	C	K	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Description
A	37.01	20.00	0.35	1.00	8.30	107.50	TO EXISTING POND 1, THEN TO AREA B
B	2.47	20.00	0.35	1.00	8.30	7.18	TO OFFSITE NORTH
C	0.35	20.00	0.35	1.00	8.30	1.00	TO PARK RIDGE, THEN TO AREA M
D	5.45	20.00	0.35	1.00	8.30	15.82	TO EX. WINDMILL VALLEY (EAST)
E	0.55	20.00	0.35	1.00	8.30	1.60	TO EX. STOCK PASS
F	0.95	20.00	0.35	1.00	8.30	2.75	BASED ON JOHN KING DESIGN, TO JK-1 EX. INLET
G	2.05	20.00	0.35	1.00	8.30	5.94	BASED ON JOHN KING DESIGN, TO JK-2 EX. INLET
H	0.24	20.00	0.35	1.00	8.30	0.70	BASED ON GIDEON DESIGN
I	2.36	20.00	0.35	1.00	8.30	6.86	BASED ON GIDEON DESIGN
J*	0.58	20.00	0.35	1.00	8.30	1.69	TO WINDMILL VALLEY. NOT ACCOUNTED FOR BY GIDEON.
K	2.19	20.00	0.35	1.00	8.30	6.35	TO PARK RIDGE
L	9.27	20.00	0.35	1.00	8.30	26.91	TO OFFSITE NORTH
M	6.94	20.00	0.35	1.00	8.30	20.17	TO OFFSITE NORTH
OS-1	1.02	10.00	0.50	1.00	9.80	5.00	PARK RIDGE THEN FUTURE PHASE
OS-2	0.36	10.00	0.90	1.00	9.80	3.20	TO JK-1 EX. INLET
OS-3	0.28	10.00	0.90	1.00	9.80	2.50	TO JK-2 EX. INLET
OS-4	5.93	10.00	0.50	1.00	9.80	29.08	PARK RIDGE THEN FUTURE PHASE

COMPARISON - GIDEON GROVE-NORTH (6/5/2018)

GG-OS4=5.45 AC SS-D=5.45 AC
GG-OS2=2.61 AC SS-I=2.36 AC
GG-OS1=2.62 AC SS-F/G=3.00 AC
GG-OS3=0.24 AC SS-H=0.24 AC

*SS-J=0.58 AC GOES TO SS-D BUT WAS NOT ACCOUNTED FOR BY GIDEON AND THEREFORE SHOWN SEPARATELY.

-AREAS SHOWN FOR GIDEON APPEAR TO USE TOPO DATA THAT WAS NOT FIELD COLLECTED. THIS CREATES A DIFFERENCE IN GG-OS1/OS2 AND SS-I/F/G

COMPARISON - 205 BYPASS-SECTION 1 (11/11/2009)

205 BYP-B2=1.31 AC SS-F/OS2=1.31 AC
205 BYP-B3=2.62 AC SS-G/OS3=2.33 AC

*DIFFERENCE BETWEEN 205-BYP-B3 AND SS-G/OS3 IS SS-H IS SHOWN GOING TO GIDEON PER THOSE PLANS.

RECORD DRAWINGS

To the best of our knowledge, Pettit-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTIT-ECD, L.P.

Ryan C. King 4/25/2024
RYAN C. KING, P.E. DATE

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
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DESIGN.

CITY DATE

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BENCHMARK:
BM#1 (#102)
CIR'S "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.56

BM#3 (#106)
CIR'S "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS
& DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

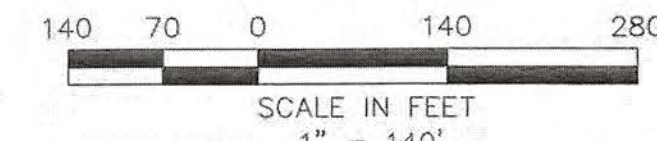
DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 DA.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635



DRAINAGE AREA EXISTING
SADDLE STAR SOUTH AMENITY CENTER
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
9
OF
27



LEGEND	
	DRAINAGE AREA BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING DRAINAGE AREA

Proposed Drainage Area Calculations							
Drainage Area	Area (AC)	Tc (min)	C	K	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Description
A-1	1.63	10.00	0.50	1.00	9.80	7.96	TO POND 1
A-2	2.36	10.00	0.50	1.00	9.80	11.57	TO POND 1
B-1	2.55	10.00	0.50	1.00	9.80	12.49	TO POND 2
B-2	2.73	10.00	0.50	1.00	9.80	13.36	TO POND 2
B-3	1.37	10.00	0.50	1.00	9.80	6.73	TO POND 2
B-4	2.57	10.00	0.50	1.00	9.80	12.61	TO POND 2
B-5a	1.41	10.00	0.50	1.00	9.80	6.91	TO POND 2
B-5b	0.66	10.00	0.50	1.00	9.80	3.22	TO POND 2
B-5c	0.82	10.00	0.50	1.00	9.80	4.01	TO POND 2
C-1	0.20	10.00	0.50	1.00	9.80	0.98	TO POND 2
C-2	1.26	10.00	0.50	1.00	9.80	6.15	TO POND 2
C-3	0.80	10.00	0.50	1.00	9.80	3.91	TO POND 2
C-4	1.33	10.00	0.50	1.00	9.80	6.50	TO POND 2
D-1	0.23	10.00	0.50	1.00	9.80	1.15	TO POND 1
D-2	0.30	10.00	0.50	1.00	9.80	1.47	TO POND 1
E-3	2.62	10.00	0.50	1.00	9.80	12.82	TO POND 2
E-4	1.11	10.00	0.50	1.00	9.80	5.46	TO POND 2
F-3a	0.99	10.00	0.50	1.00	9.80	4.85	TO POND 2
F-3b	0.51	10.00	0.90	1.00	9.80	4.50	TO POND 2
F-5	0.75	10.00	0.50	1.00	9.80	3.65	TO POND 2
F-6	3.13	10.00	0.50	1.00	9.80	15.36	TO POND 2
G-2	0.13	10.00	0.50	1.00	9.80	0.66	TO POND 2
P-1	0.99	10.00	0.50	1.00	9.80	4.87	TO POND 1
P-2	1.68	10.00	0.50	1.00	9.80	8.22	TO POND 2
X-1	0.16	10.00	0.50	1.00	9.80	0.80	TO GIDEON
X-2	0.61	10.00	0.50	1.00	9.80	3.00	TO GIDEON
X-3	0.84	10.00	0.50	1.00	9.80	4.12	TO GIDEON
X-4	0.44	10.00	0.50	1.00	9.80	2.18	TO JOHN KING (POND 1 BYPASS)
X-5	0.18	10.00	0.50	1.00	9.80	0.87	TO POND 2
X-6	0.05	10.00	0.50	1.00	9.80	0.23	TO JOHN KING (POND 1 BYPASS)
X-7	0.11	10.00	0.50	1.00	9.80	0.55	TO POND 1 (FUT A-3)
X-8	0.08	10.00	0.50	1.00	9.80	0.37	TO JOHN KING (POND 2 BYPASS)
X-9	0.05	10.00	0.50	1.00	9.80	0.22	TO POND 1 (FUT A-4)
X-11	1.02	10.00	0.50	1.00	9.80	4.97	POND 2 BYPASS
OS2	0.36	10.00	0.90	1.00	9.80	3.20	TO JOHN KING
OS3	0.28	10.00	0.90	1.00	9.80	2.49	TO JOHN KING
FUT OS7	0.18	10.00	0.50	1.00	9.80	0.86	TO PARK RIDGE, THEN TO AREA EX-M
FUT OS8	0.84	10.00	0.50	1.00	9.80	4.13	TO PARK RIDGE, THEN TO AREA EX-M
OS9	0.14	10.00	0.50	1.00	9.80	0.67	TO A-2
OS10	1.18	10.00	0.35	1.00	8.30	3.44	TO END OF LINE A
FUT OS11	5.93	10.00	0.50	1.00	9.80	29.06	TO PARK RIDGE, THEN TO AREA EX-M
FT-1	4.78	20.00	0.35	1.00	8.30	13.88	TO POND 2
FT-2	2.62	20.00	0.35	1.00	8.30	7.60	REMAINDER OF EX. D/J TO EX WINDMILL VALLEY
FT-3	7.63	20.00	0.35	1.00	8.30	22.15	TO POND 2
EX-B	2.00	20.00	0.35	1.00	8.30	5.80	TO POND 2
EX-C	0.35	20.00	0.35	1.00	8.30	1.00	TO PARK RIDGE, THEN TO AREA EX-M
EX-K	2.19	20.00	0.35	1.00	8.30	6.35	TO PARK RIDGE (EAST)
EX-L1	2.97	20.00	0.35	1.00	8.30	8.61	TO POND 2
EX-L2	4.35	20.00	0.35	1.00	8.30	12.63	TO POND 2
EX-M	6.54	20.00	0.35	1.00	8.30	18.99	TO OFFSITE NORTH

COMPARISON - GIDEON GROVE-NORTH (6/5/2018)
GG-OS2/OS3=2.85 AC (8.3 CFS) SS-X1/X2/X3=1.61 AC (7.90 CFS)

RECORD DRAWINGS
To the best of our knowledge, Petitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.
PETITT-ECD, L.P.
Ryan C. King, P.E.
4/26/2024
DATE

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
CITY _____ DATE _____

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BENCHMARK:
BM#1 (#102)
CIR "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58
BM#3 (#106)
CIR "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

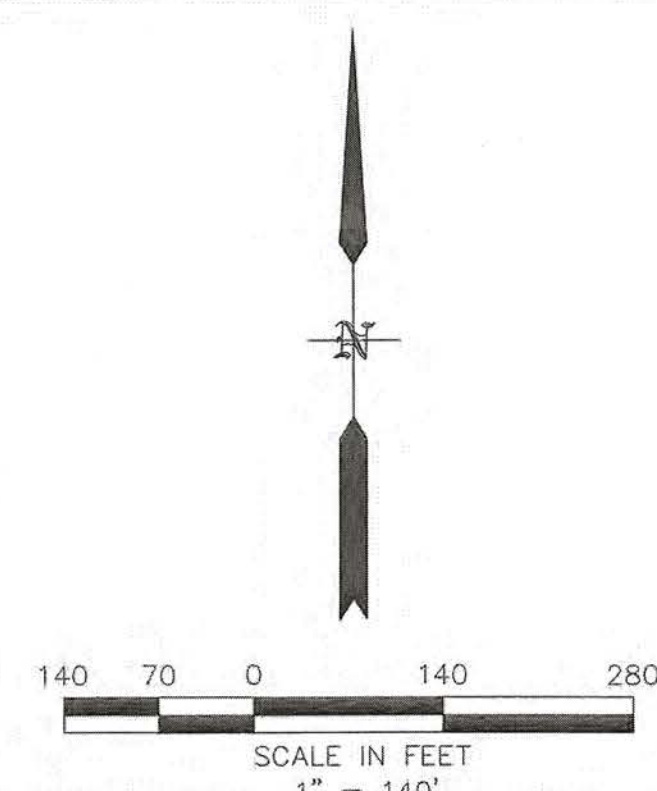
ENGINEERINGCONCEPTS & DESIGN, L.P.
ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:
DRAWN: MJH
CHECKED: RCK
PROJECT NO.: 06824
DWG FILE NAME: 06824 DA.DWG
DATE: 03/10/2021

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635



DRAINAGE AREA PROPOSED
SADDLE STAR SOUTH AMENITY CENTER
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



LEGEND	
	DRAINAGE AREA BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING DRAINAGE AREA

Ultimate Drainage Area Calculations							
Drainage Area	Area (AC)	Tc (min)	C	K	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Description
A-1	1.63	10.00	0.50	1.00	9.80	7.96	TO POND 1
A-2	2.36	10.00	0.50	1.00	9.80	11.57	TO POND 1
FUT A-3	1.64	10.00	0.50	1.00	9.80	8.04	TO POND 1
FUT A-4	2.16	10.00	0.50	1.00	9.80	10.56	TO POND 1
FUT A-5	0.83	10.00	0.50	1.00	9.80	4.06	TO POND 1
B-1	2.55	10.00	0.50	1.00	9.80	12.49	TO POND 2
B-2	2.73	10.00	0.50	1.00	9.80	13.36	TO POND 2
B-3	1.37	10.00	0.50	1.00	9.80	6.73	TO POND 2
B-4	2.57	10.00	0.50	1.00	9.80	12.61	TO POND 2
B-5a	1.41	10.00	0.50	1.00	9.80	6.91	TO POND 2
B-5b	0.66	10.00	0.50	1.00	9.80	3.22	TO POND 2
B-5c	0.82	10.00	0.50	1.00	9.80	4.01	TO POND 2
FUT C	1.80	10.00	0.50	1.00	9.80	8.82	TO POND 2
C-1	0.20	10.00	0.50	1.00	9.80	0.98	TO POND 2
C-2	1.26	10.00	0.50	1.00	9.80	6.15	TO POND 2
C-3	0.80	10.00	0.50	1.00	9.80	3.91	TO POND 2
C-4	1.33	10.00	0.50	1.00	9.80	6.50	TO POND 2
D-1	0.23	10.00	0.50	1.00	9.80	1.15	TO POND 1
D-2	0.30	10.00	0.50	1.00	9.80	1.47	TO POND 1
FUT E-1	2.44	10.00	0.50	1.00	9.80	11.96	TO POND 2
FUT E-2	1.70	10.00	0.50	1.00	9.80	8.33	TO POND 2
E-3	2.62	10.00	0.50	1.00	9.80	12.82	TO POND 2
E-4	1.11	10.00	0.50	1.00	9.80	5.46	TO POND 2
FUT F-1	1.66	10.00	0.50	1.00	9.80	8.12	TO POND 2
FUT F-2	1.40	10.00	0.50	1.00	9.80	6.85	TO POND 2
FUT F-3	1.99	10.00	0.50	1.00	9.80	9.74	TO POND 2
F-5	1.55	10.00	0.50	1.00	9.80	7.59	TO POND 2
F-6	2.14	10.00	0.50	1.00	9.80	10.49	TO POND 2
FUT F-7	2.46	10.00	0.50	1.00	9.80	12.04	TO POND 2
FUT F-8	2.59	10.00	0.50	1.00	9.80	12.67	TO POND 2
FUT G-1	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT G-2	2.36	10.00	0.50	1.00	9.80	11.56	TO POND 2
FUT H-1	1.42	10.00	0.50	1.00	9.80	6.93	TO POND 2
FUT H-2	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT J-1	2.52	10.00	0.50	1.00	9.80	12.35	TO NORTH BYPASS
FUT J-2	1.13	10.00	0.50	1.00	9.80	5.53	TO NORTH BYPASS
FUT K-1	0.68	10.00	0.50	1.00	9.80	3.33	TO POND 2
FUT K-2	2.37	10.00	0.50	1.00	9.80	11.59	TO POND 2
FUT K-3	2.70	10.00	0.50	1.00	9.80	13.23	TO POND 2
P-1	0.99	10.00	0.50	1.00	9.80	4.87	TO POND 1
P-2	1.68	10.00	0.50	1.00	9.80	8.22	TO POND 2
X-1	0.16	10.00	0.50	1.00	9.80	0.80	TO GIDEON
X-2	0.61	10.00	0.50	1.00	9.80	3.00	TO GIDEON
X-3	0.84	10.00	0.50	1.00	9.80	4.12	TO GIDEON
X-4	0.44	10.00	0.50	1.00	9.80	2.18	TO JOHN KING (POND 1 BYPASS)
X-6	0.05	10.00	0.50	1.00	9.80	0.23	TO JOHN KING (POND 1 BYPASS)
X-7	0.11	10.00	0.50	1.00	9.80	0.55	TO POND 1 (FUT A-3)
X-8	0.08	10.00	0.50	1.00	9.80	0.37	TO JOHN KING (POND 2 BYPASS)
X-9	0.05	10.00	0.50	1.00	9.80	0.22	TO POND 1 (FUT A-4)
FUT X-10	1.44	10.00	0.50	1.00	9.80	7.07	POND 2 BYPASS
X-11	0.39	10.00	0.50	1.00	9.80	1.91	POND 2 BYPASS
FUT X-12	0.44	10.00	0.50	1.00	9.80	2.16	TO OFFSITE NORTH
OS2	0.36	10.00	0.90	1.00	9.80	3.20	TO JOHN KING
OS3	0.28	10.00	0.90	1.00	9.80	2.49	TO JOHN KING
FUT OS7	0.18	10.00	0.50	1.00	9.80	0.86	TO PARK RIDGE, THEN AREA FUT K-2
FUT OS8	0.84	10.00	0.50	1.00	9.80	4.13	TO PARK RIDGE, THEN AREA FUT J-2
OS9	0.14	10.00	0.50	1.00	9.80	0.67	TO A-2
FUT OS11	5.93	10.00	0.50	1.00	9.80	29.06	TO PARK RIDGE, THEN AREA FUT X-12

RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.

Ryan C. King 4/25/2024
RYAN C. KING, P.E. DATE

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BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD., AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD., TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 DA.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635



DRAINAGE AREA ULTIMATE

SADDLE STAR SOUTH AMENITY CENTER

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
11
OF
27

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

Pipe Calculations																																											
Line Desc.	Upstream Sta.	Downstream Sta.	Dist. Btwn. Points	Area Number	D A (AC)	Coeff., CK	Incrim. CA	Accum-ulated CA	Time at Upstream	Design Storm Freq.	Rainfall Intensity, I (in/hr)	Storm Water Runoff, Q (cfs)	Cum. Runoff Q (cfs)	Number of Barrels	Storm Sewer Diameter, Ø (in)	RCP		Type	Area of Pipe (ft²)	Wetted Perimeter of Pipe (ft)	Hydraulic Radius of Pipe (ft)	Mann. Coeff. (in)	Flowline Elevation		Slope of Storm Pipe (%)	Velocity in Storm Pipe (fps)	Hydraulic Gradient Slope, S _f (ft/ft)	Storm Sewer Capacity Q (cfs)	Partial Flow	L*Sf	V1²/2g	V2²/2g	Head Loss Coeff, K _j	Velocity Head Loss Upstream (ft)	Inlet and Bend Losses	Flow Time Distance (V*60) (min)	Flow Time of Downstream Sta. (min)	Down-stream HGL	Upstream HGL	Starting HGL	Top of Curb Elevation	HGL Below Top of Curb	Remarks
																Span (ft)	Rise (ft)						Up-stream	Down-stream																			
1	2	3	4	17/36	18	19	20	21	22	23	24	25	25	5	6	7	8	9	10	11	12	13	14	15	16	28	30	26	27	31	34	35	37	38	38	29		33	32	39	40	41	42
E-1	59.40	5.00	54.40	INL E-1	1.11	0.50	0.56	0.56	10.00	100-YR	9.80	5.46	5.46	1	18	0	0	RCP	1.77	4.71	0.38	0.0130	535.64	535.37	0.50%	3.09	0.0027	7.43	No	0.147		0.15	1.25	0.00	0.19	0.29	10.29	536.03	536.21		539.64	3.43	
E-1	5.00	0.00	5.00	PVI		0.50	0.00	0.56	10.29	100-YR	9.75	0.00	5.46	1	18	0	0	RCP	1.77	4.71	0.38	0.0130	535.37	534.51	17.15%	3.09	0.0027	43.50	No	0.014	0.15	1.00	0.00	0.00	0.03	10.32	535.76	535.76	535.12				
																															1.12	0.35	1.06	0.39				535.12					

Inlet Calculations																												
Inlet Number	Inlet Location	Drainage Area No.	Time of Concentration (min)	Area (Acres)	Design Freq. (Yr)	C	K	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Mannings n	Long Gutter Slope, S _l %	Crown Cross Slope, S _c	Upstream Bypass and Crossover, Q ₁₀₀ (cfs)	Total Gutter Flow, Q ₁₀₀ (cfs)	Depth of Flow in Gutter, d ₁₀₀ (ft)	Depr. Depth at Inlet a, (ft)	Depr. Width at Inlet, W (ft)	Spread of Flow at Inlet, T ₁₀₀ (ft)	Allowed Spread of Flow at Inlet, T ₁₀₀ (ft)	Max. Depth of Flow in Gutter, d ₁₀₀ (ft)	Gutter Capacity, Q ₁₀₀ (cfs)	Inlet Length Req'd, Lt (ft)	Inlet Size	Inlet Type	Inlet Efficiency, %	Inlet Intercept Capacity, Q ₁₀₀ (cfs)	Carryover to Down-stream, Q ₁₀₀ (cfs)	To Inlet
1	2/3	7	8	10	5	6		9	11	16	17	19	12	13	25	20	21	23	22	24	26	35	36	15			38	38
E-1	Randas Way 2+05	E-4	10	1.11	100YR	0.50	1.00	9.80	5.46	0.0175	0.70%	0.02000		5.46	0.30	0.50	2.0	15.03	23.00	0.50	16.88	8.99	10	On Grade	100.0%	5.46	0.00	

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CAUTION! EXISTING UTILITIES

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BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH

CHECKED: RCK

PROJECT NO.: 06824

DWG FILE NAME: 06824 DA.DWG

DATE:

DATE: 03/10/2021

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635



DRAINAGE CALCULATIONS

SADDLE STAR SOUTH AMENITY CENTER

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

RECORD DRAWINGS.

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

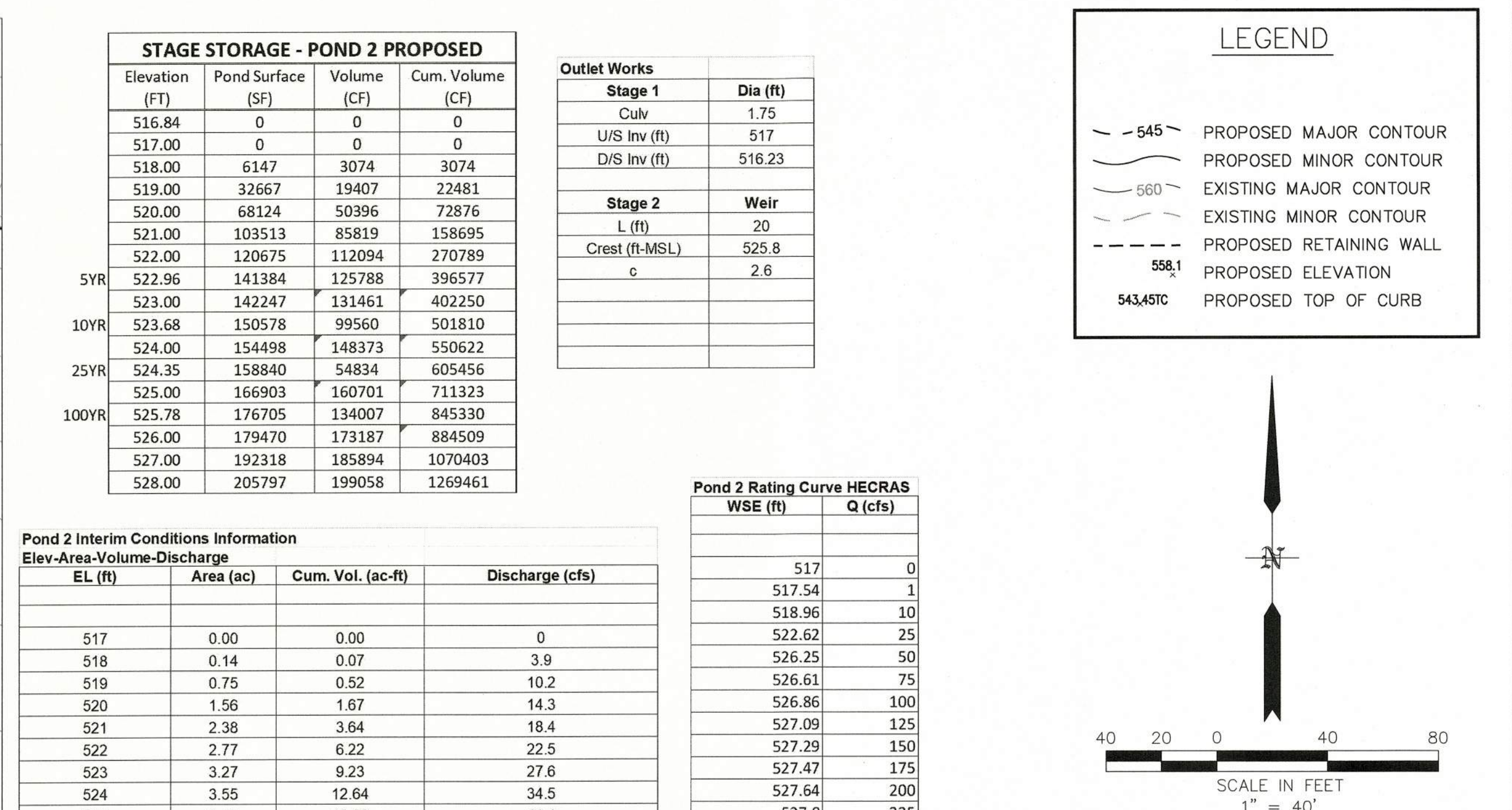
PETTITT-ECD, L.P.

RYAN C. KING, P.E.

4/26/2024
DATE

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____

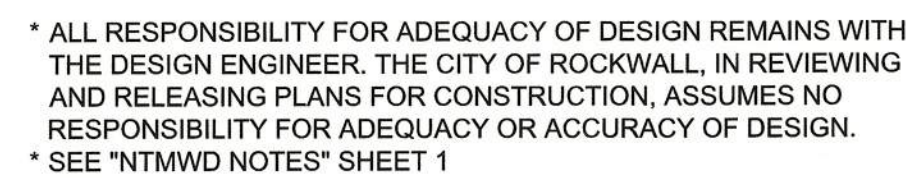


527.98	250
528	260

NOTES:

1. ALL DETENTION SYSTEMS TO BE COMPLETED PER PLAN AND FUNCTIONING PRIOR TO ANY PAVING CONSTRUCTION. THE BOTTOM AND SIDES TO HAVE EITHER ANCHORED CURLEX OR SOD. MUST BE SEEDDED WITH ANNUAL GRASS SEED.
2. NO CITY ACCEPTANCE UNTIL 75%-80% OF ALL DISTURBED AREA TO HAVE 1" MINIMUM STAND OF ANNUAL GRASS (NO WINTER RYE OR SIMILAR.

*REFER TO SADDLE STAR UNIT HYDROGRAPH
REPORT PREPARED BY MCLENDON
HYDROLOGY AND ENGINEERING, LLC. DATED
AUGUST 2022.



BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

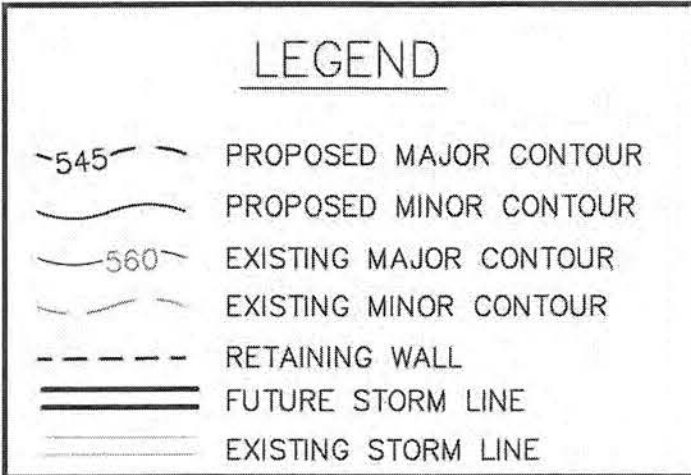
BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHWEST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8"x8" BOX CULVERT. ELEVATION = 557.33'

REVISONS:	
A 9/20/2022 REVISED VOLUME, OUTFALL, & CALCULATIONS	
DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 5/9/2023
PROJECT NO.: 06824-2	
DWG FILE NAME: 06824-2 DET.DWG	

SHEET
13
OF
27

SHEET
14
OF
27

CITY _____ DATE _____



RECORD DRAWING NOTE:

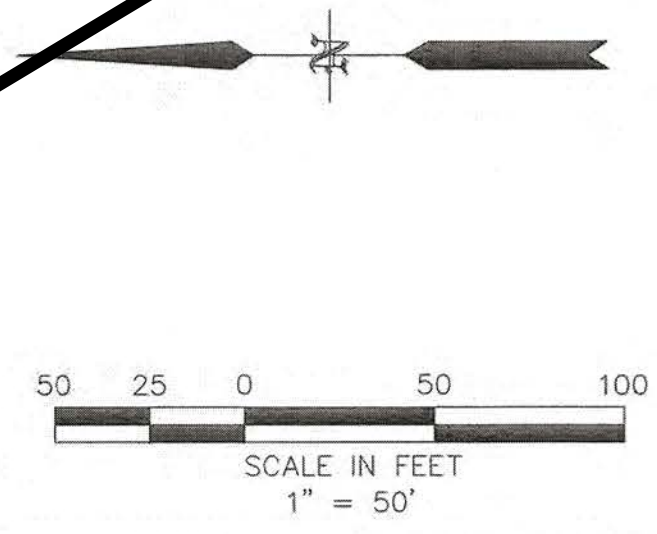
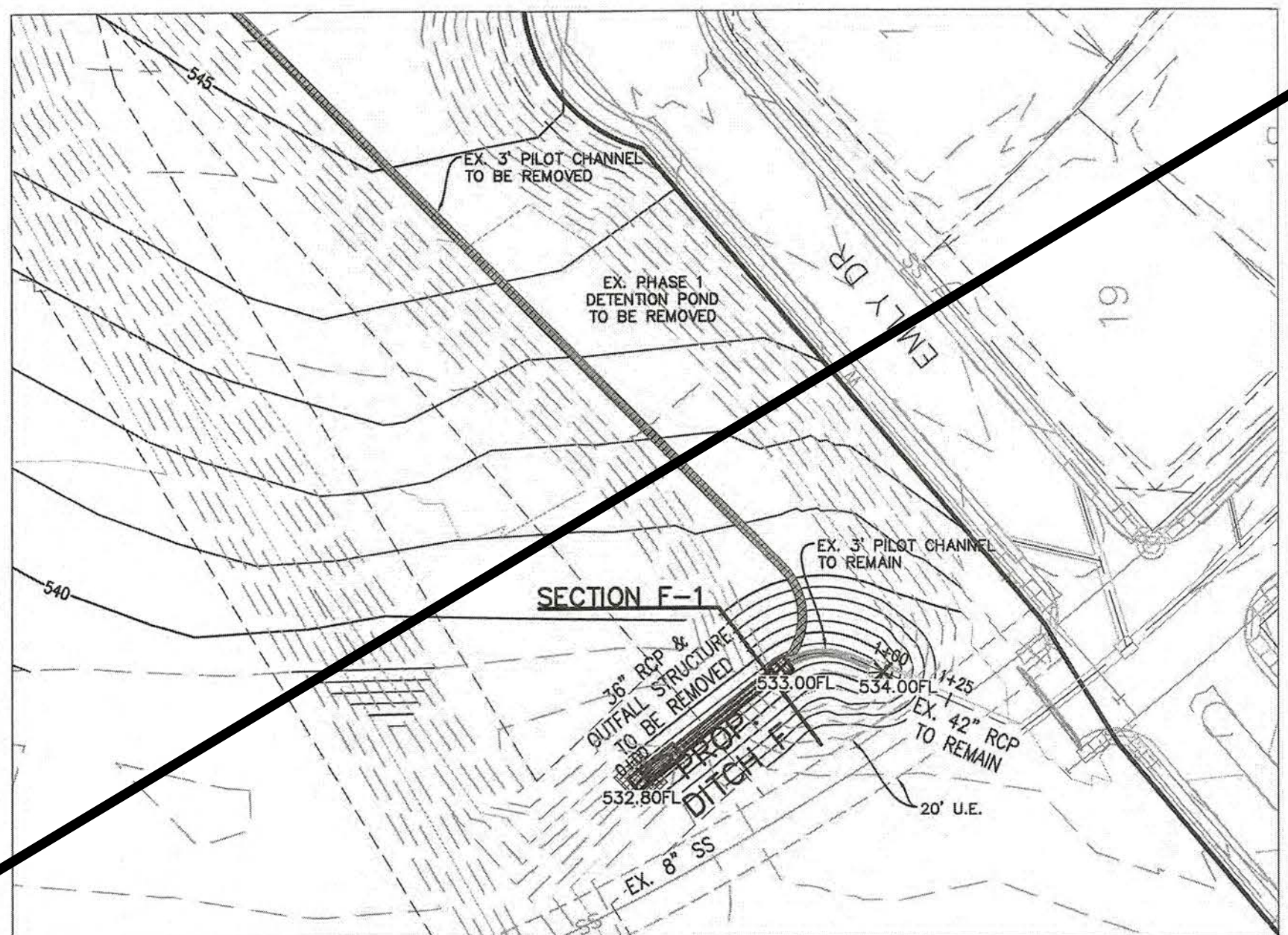
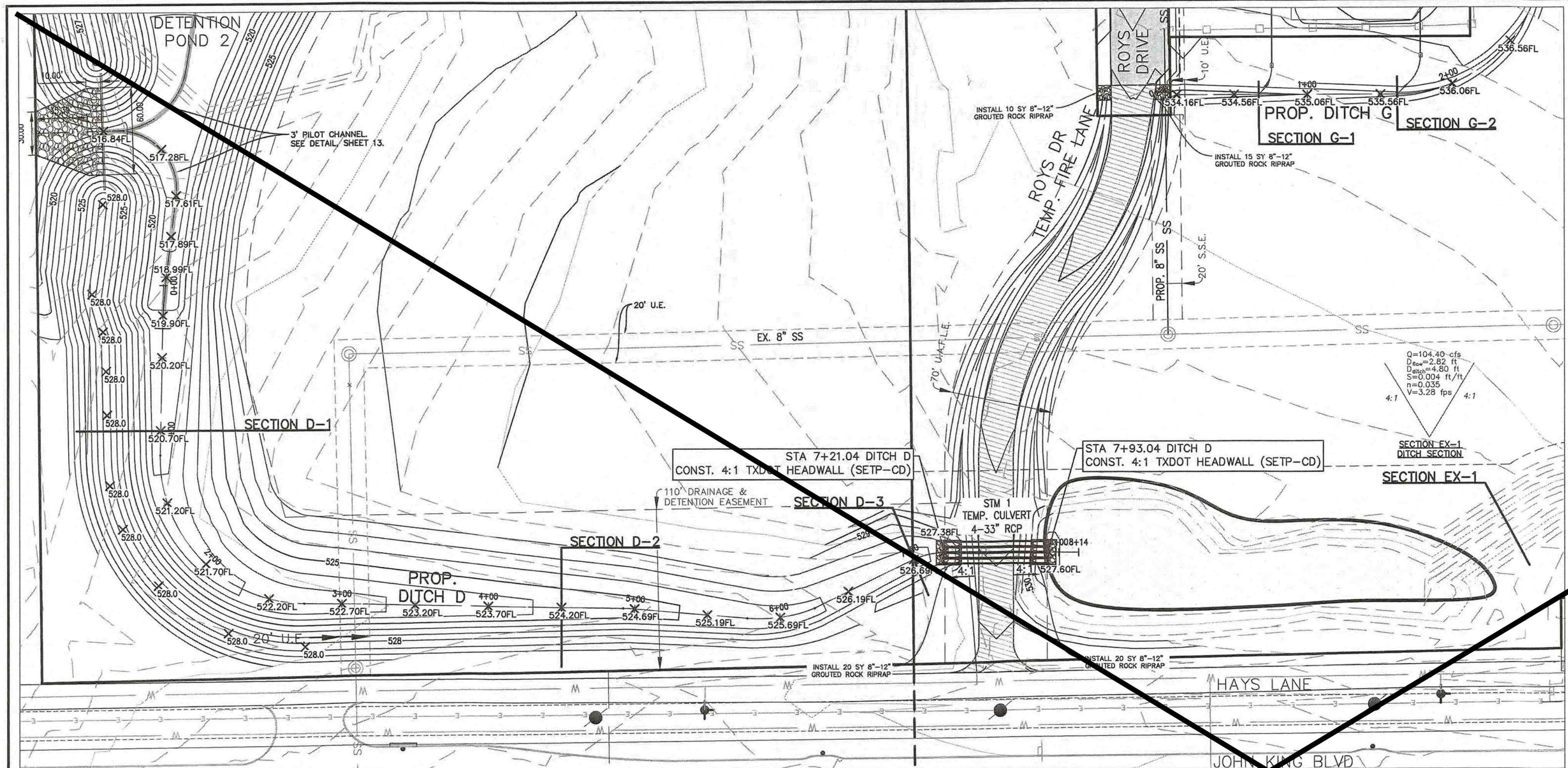
THE DITCHES AND STORM 1 SHOWN ON THIS SHEET WERE NOT CONSTRUCTED DUE TO CONCURRENT CONSTRUCTION OF SADDLE STAR SOUTH PHASE 2 (SEPARATE PLANS).

PETITT-ECD, L.P.

Ryan C King 4/25/2020
RYAN C. KING, P.E. DATE

CITY _____ DATE _____

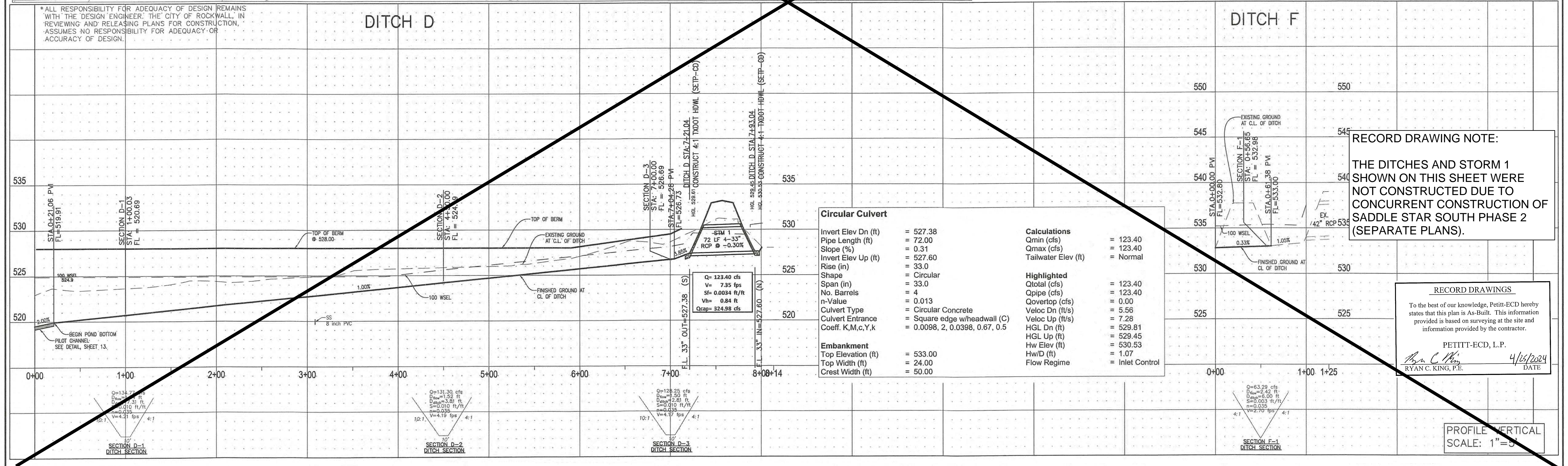
SHEET
15
OF
27



- LEGEND**
- MATCHLINE
 - W— PROPOSED WATER LINE
 - W— EXISTING WATER LINE
 - SS— PROPOSED SANITARY LINE
 - SS— EXISTING SANITARY LINE
 - S— PROPOSED STORM LINE
 - S— EXISTING STORM LINE
 - +— EXISTING CENTER LINE
 - +— R.O.W. LINE
 - +— EXISTING UTILITY POLE
 - +— EXISTING OVERHEAD UTILITY

SEE RIPRAP DETAILS, SHEET 27.

ALL RCP PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.



RECORD DRAWING NOTE:

THE DITCHES AND STORM 1 SHOWN ON THIS SHEET WERE NOT CONSTRUCTED DUE TO CONCURRENT CONSTRUCTION OF SADDLE STAR SOUTH PHASE 2 (SEPARATE PLANS).

RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.
Ryan C. King
DATE: 4/16/2024

PROFILE VERTICAL
SCALE: 1"=5'

CAUTION! EXISTING UTILITIES

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ELEVATION = 531.58

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ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-00145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/10/2021

DRAWN: MJH **DATE:** 03/10/2021
CHECKED: RCK **DATE:** 03/10/2021
PROJECT NO.: 06824
DWG FILE NAME: 06824 ST.DWG

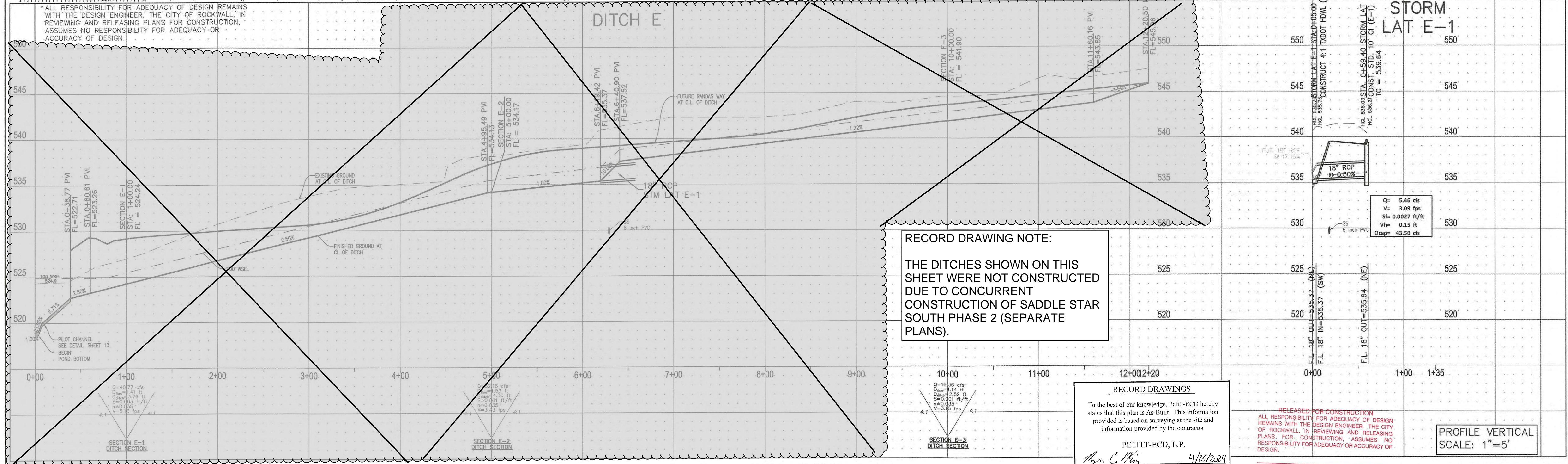
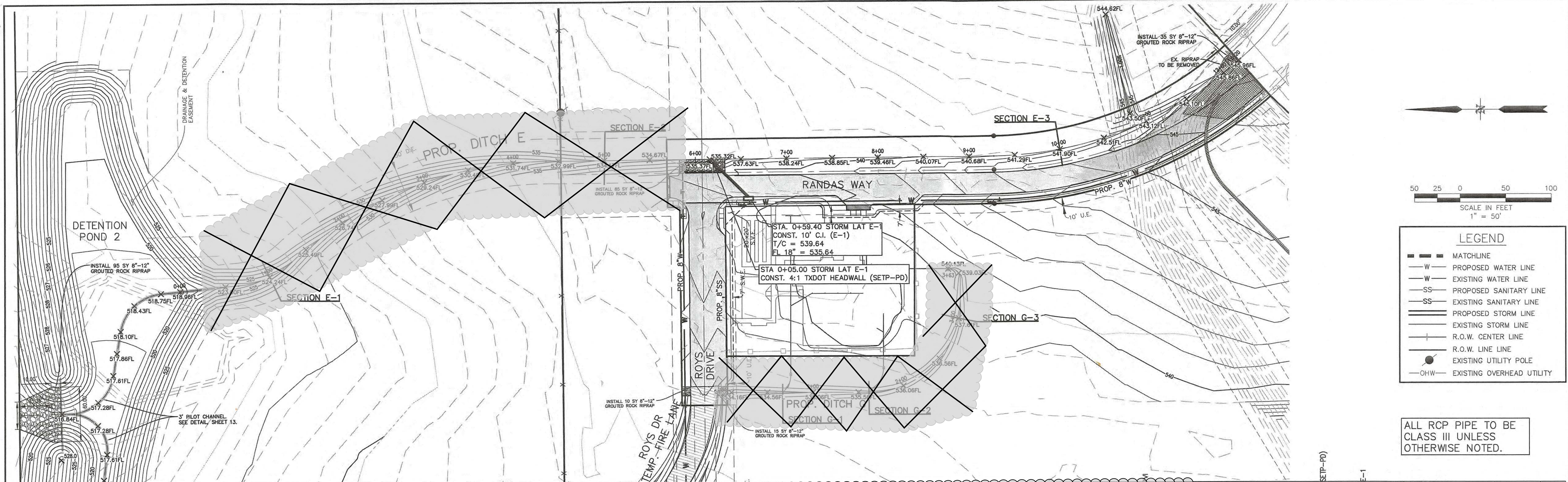
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

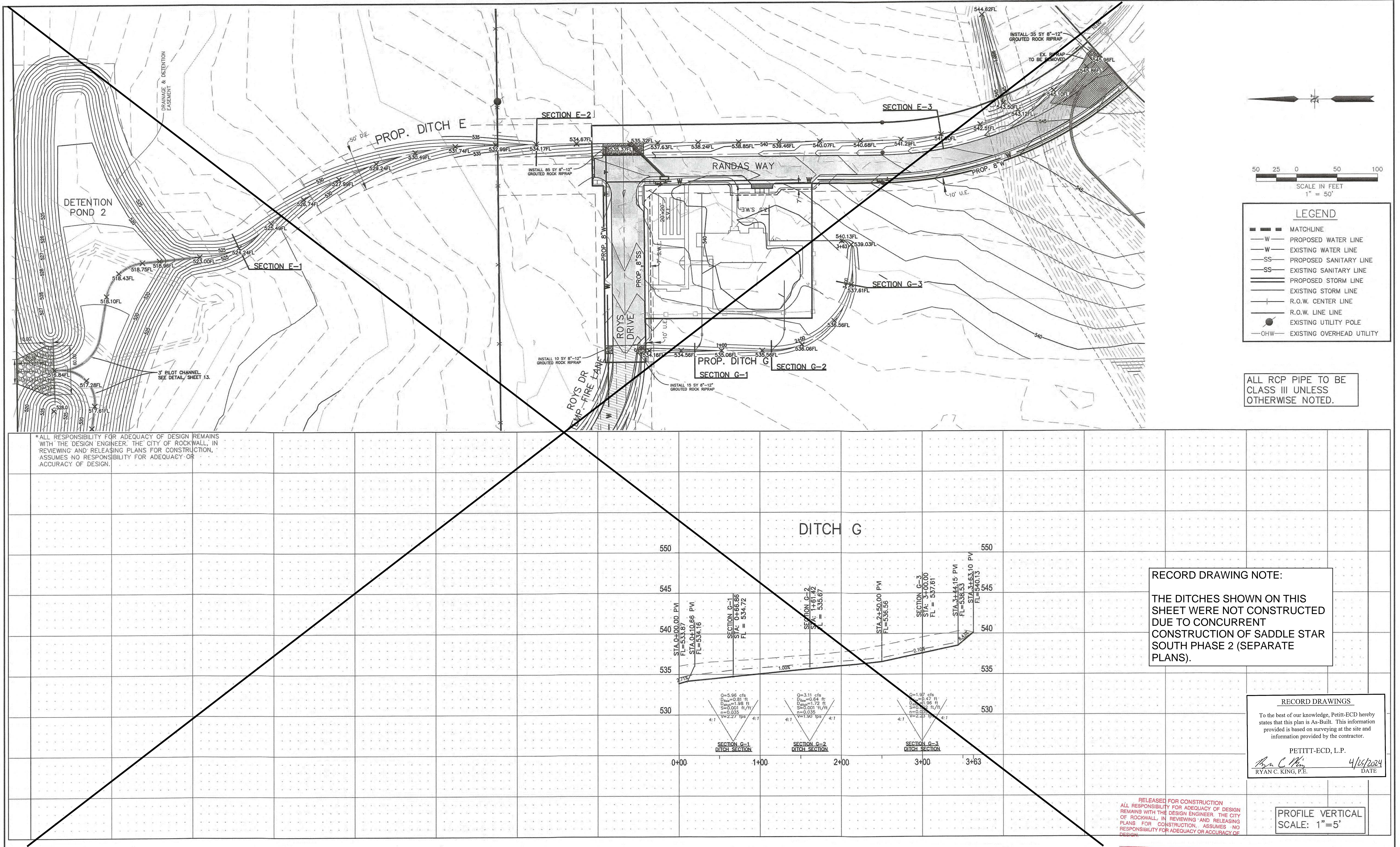
STATE OF TEXAS
123635
3/10/2021

STORM PLAN - DITCH D & F

SADDLE STAR SOUTH AMENITY CENTER
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

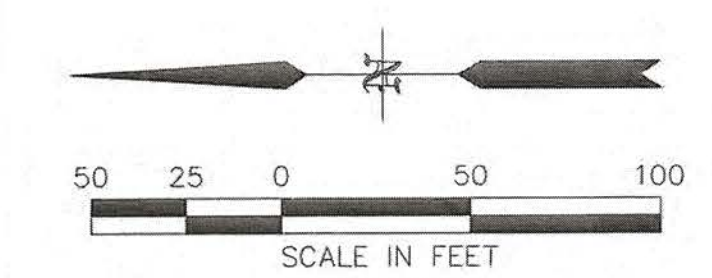
SHEET 16 OF 27



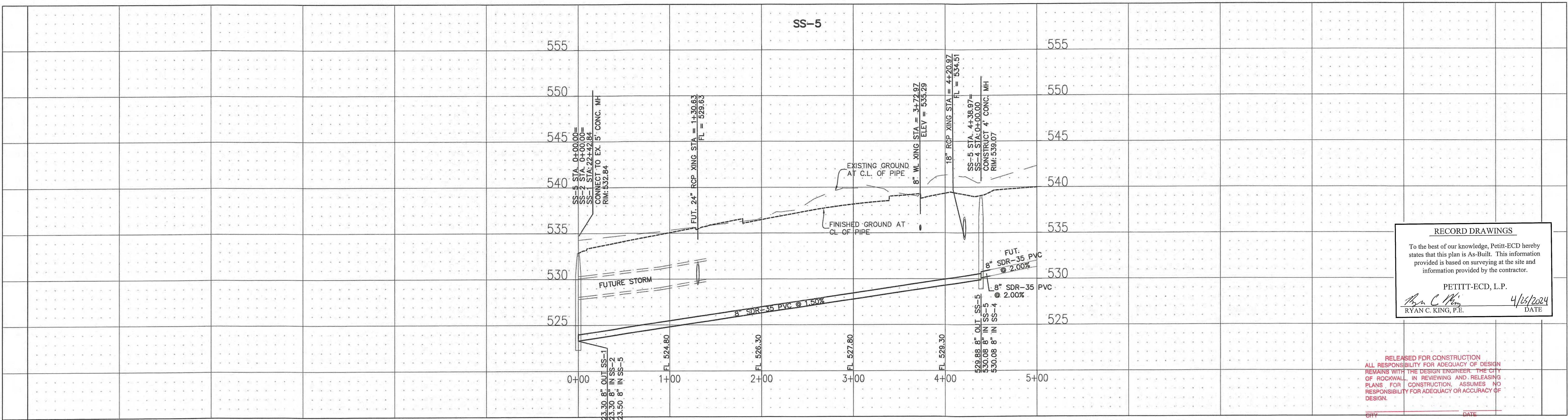
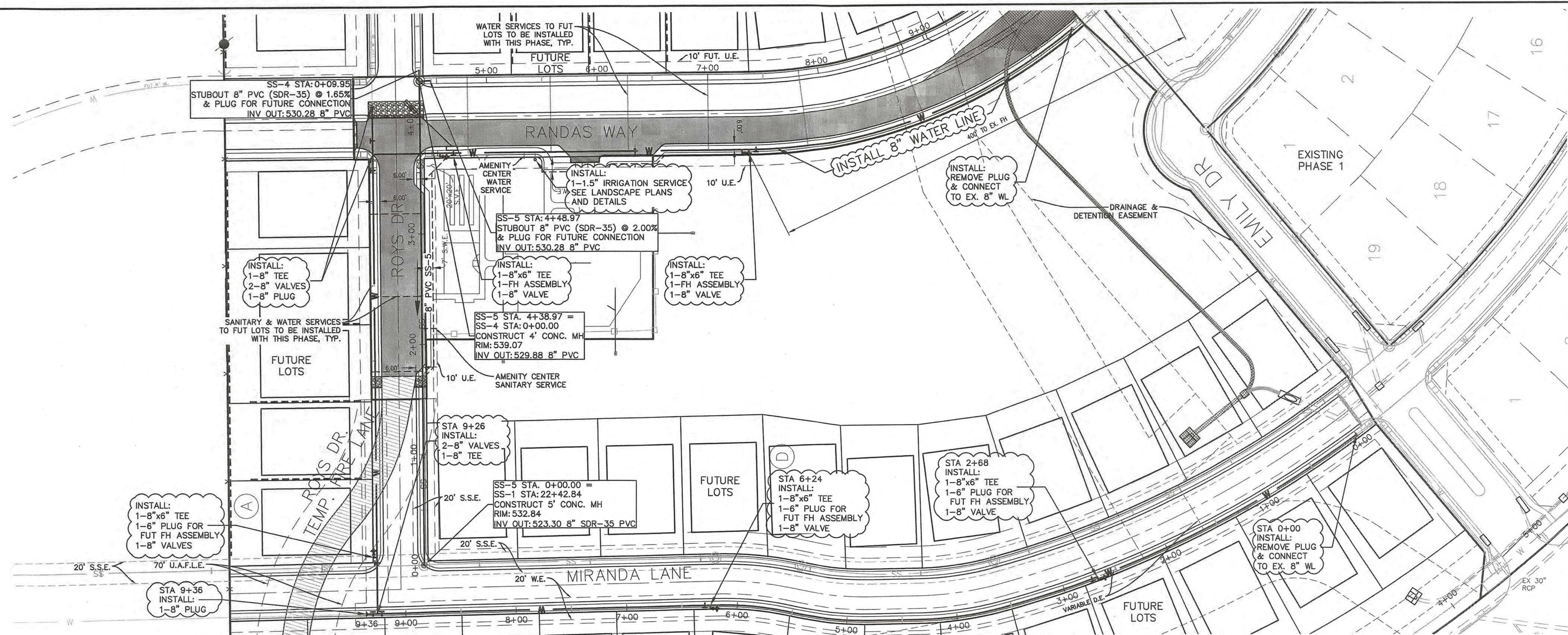


LEGEND

- MATCHLINE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED SANITARY LINE
- EXISTING SANITARY LINE
- PROPOSED STORM LINE
- EXISTING STORM LINE
- R.O.W. CENTER LINE
- R.O.W. LINE LINE
- EXISTING UTILITY POLE
- OHW- EXISTING OVERHEAD UTILITY
- PROPOSED SANITARY SERVICE
- PROPOSED WATER SERVICE



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RECORD DRAWINGS

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PETTITT-ECD, L.P.
Ryan C. King, P.E.
4/25/2024
DATE

RELEASED FOR CONSTRUCTION

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DATE

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BENCHMARK: BM#1 (#102) CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58

BM#3 (#106) CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT. ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH DATE: 03/10/2021
CHECKED: RCK
PROJECT NO.: 06824
DWG FILE NAME: 06824 UT.DWG

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

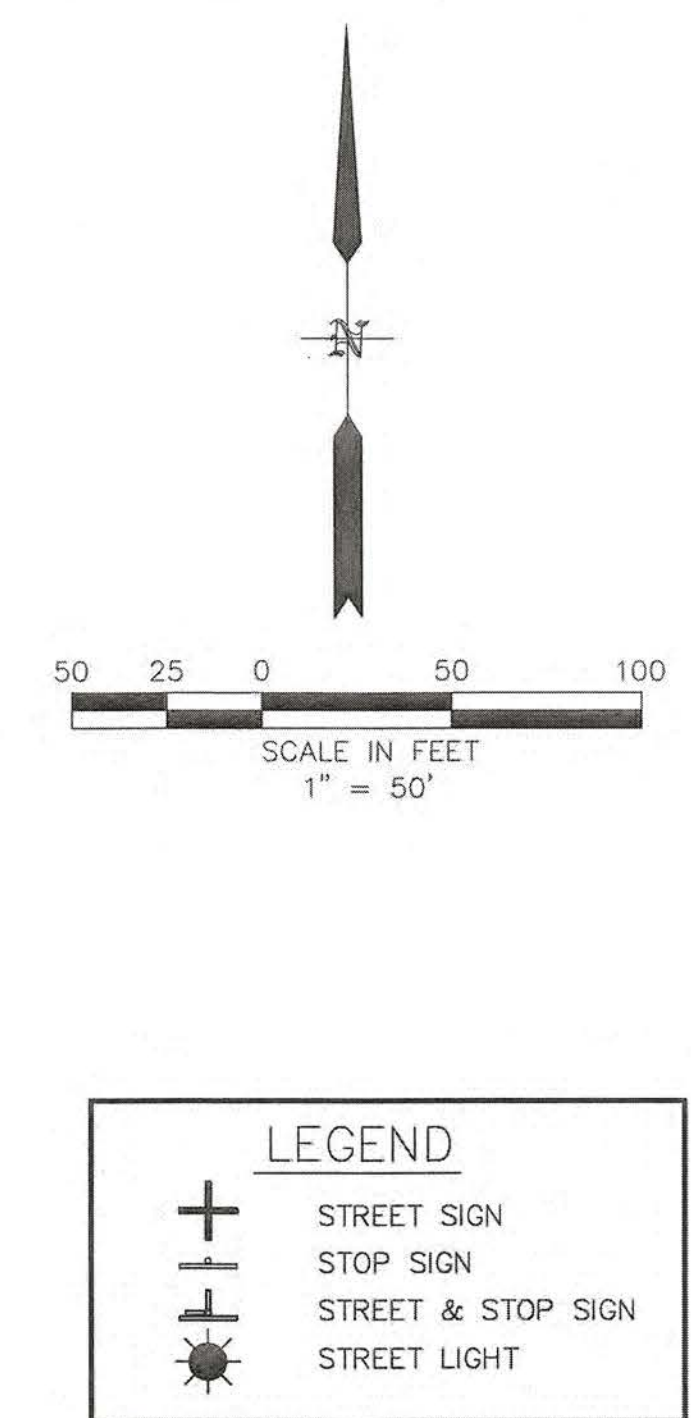
STATE OF TEXAS
REGISTERED PROFESSIONAL ENGINEER
RYAN C. KING
123635
3/10/2021

UTILITY PLAN & PROFILE

SADDLE STAR SOUTH AMENITY CENTER

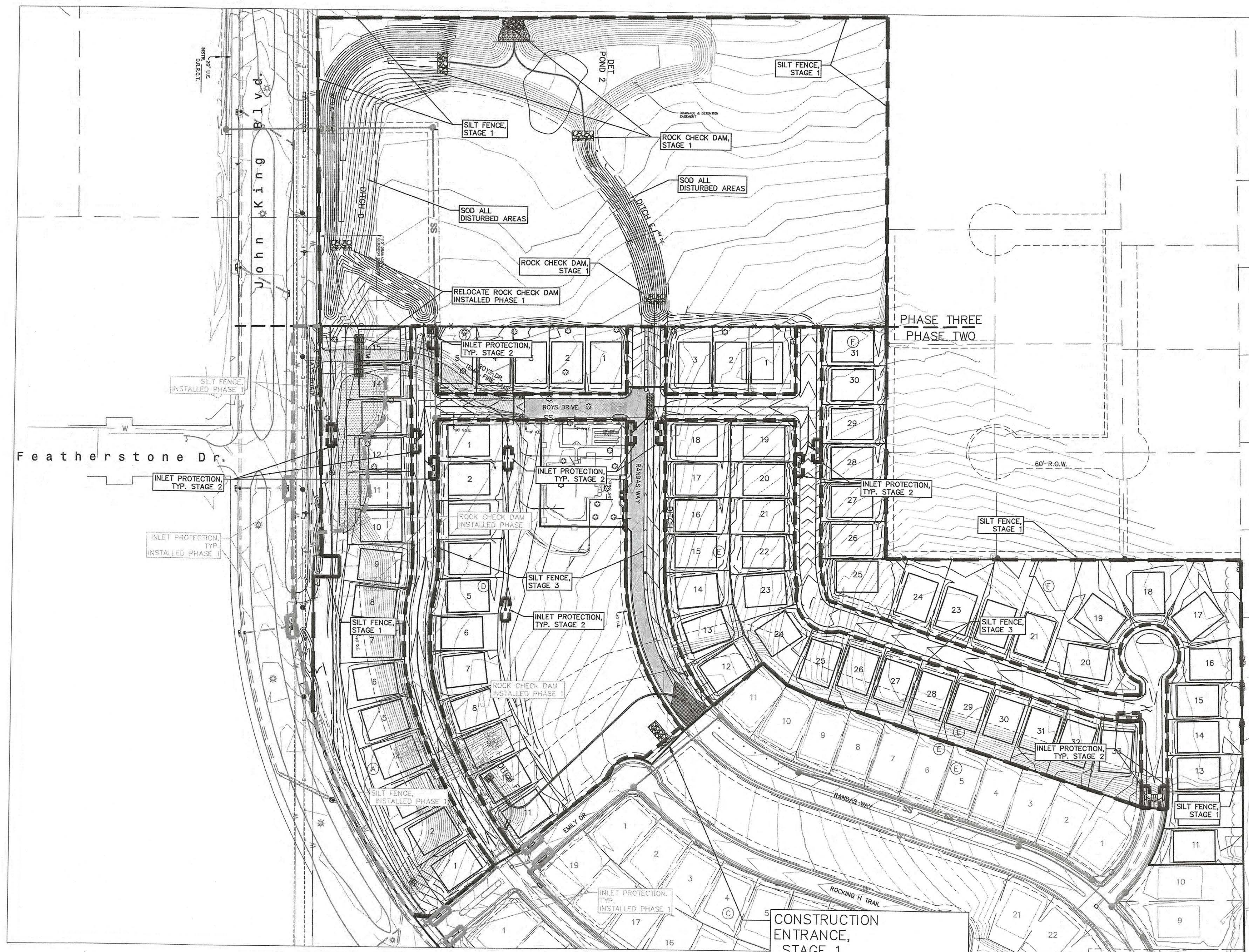
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 19 OF 27



CITY _____ DATE _____

SHEET
20
OF
27



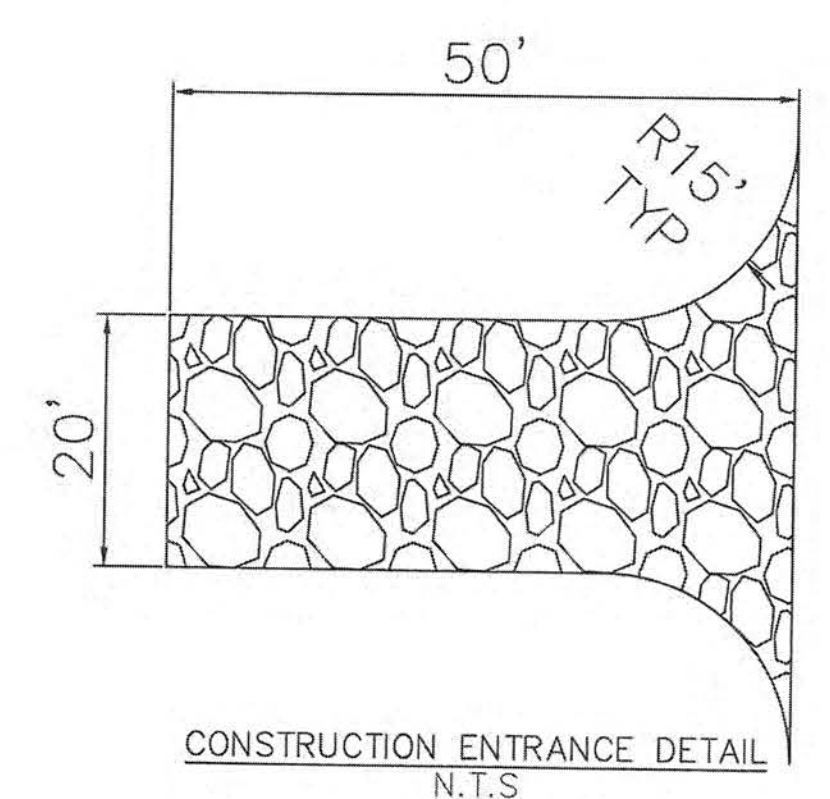
RECORD DRAWINGS

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PETTITT-ECD, L.P.
RYAN C. KING, P.E.
4/25/2024
DATE

LEGEND

- MATCHLINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- RETAINING WALL



OWNER
SADDLE STAR
SOUTH HOLDINGS, LLC.
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

DEVELOPER
SADDLE STAR
DEVELOPMENT, LLC.
3076 HAYS LANE
ROCKWALL, TX 75087

NOTES:
THE DETENTION SYSTEM TO BE INSTALLED AND FUNCTIONING PER PLAN PRIOR TO ANY CONCRETE PLACEMENT WHICH INCLUDES SIDES AND BOTTOM OF THE DETENTION POND TO HAVE ANCHORED SEEDED CURLEX OR SOD.

- STAGE ONE (PRIOR TO START OF ROUGH GRADING)**
1. SILT FENCE TO BE INSTALLED AS SHOWN ON PLAN OR AS REQUIRED.
 2. INSTALL ROCK CHECK DAMS AT EXISTING OUTFALLS.
 3. INSTALL ROCK CHECK DAMS AS SHOWN AT COMPLETION OF ROUGH GRADING IN THE AREA.
- STAGE TWO (AFTER UTILITY CONSTRUCTION AND PRIOR TO PAVING CONSTRUCTION)**
1. SILT FENCE SHALL BE PLACED AROUND TOP OF INLETS UNTIL TOPPED OUT, PREVENT EROSION MATERIAL FROM ENTERING STORM SEWER SYSTEM.
- STAGE THREE (AFTER PAVING CONSTRUCTION)**
1. SILT FENCE SHALL BE PLACED IN ROW ALONG PAVEMENT AS SHOWN WHERE REQUIRED BY SLOPE CONDITIONS.
 2. ALL PARKWAYS AND DISTURBED AREA IN STREET R.O.W. TO BE SEED WITH GRASS AND CURLEX (ANCHORED) AS PER CITY STANDARDS.
 3. VEGETATION TO BE ESTABLISHED IN ALL OFFSITE DISTURBED AREAS.
 4. SOD IS REQUIRED IN JOHN KING BLVD R.O.W. ON ANY DISTURBED AREAS.
 5. 75%-80% OF ALL DISTURBED AREA TO HAVE A MINIMUM OF 1" STAND OF ANNUAL GRASS (NO RYE OR WEEDS) PRIOR TO CITY ACCEPTANCE.
 6. ALL RIGHT OF WAYS (JOHN KING) TO BE SODDED PRIOR TO CITY ACCEPTANCE.

SITE ACREAGE: 5.459 AC
DISTURBED ACREAGE: 18.883 AC

RELEASED FOR CONSTRUCTION
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CONSTRUCTION ENTRANCE, STAGE 1
(SEE PHASE 1 PLANS FOR CONSTRUCTION ENTRANCE OFF JOHN KING BLVD)

CAUTION: EXISTING UTILITIES
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ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.
ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
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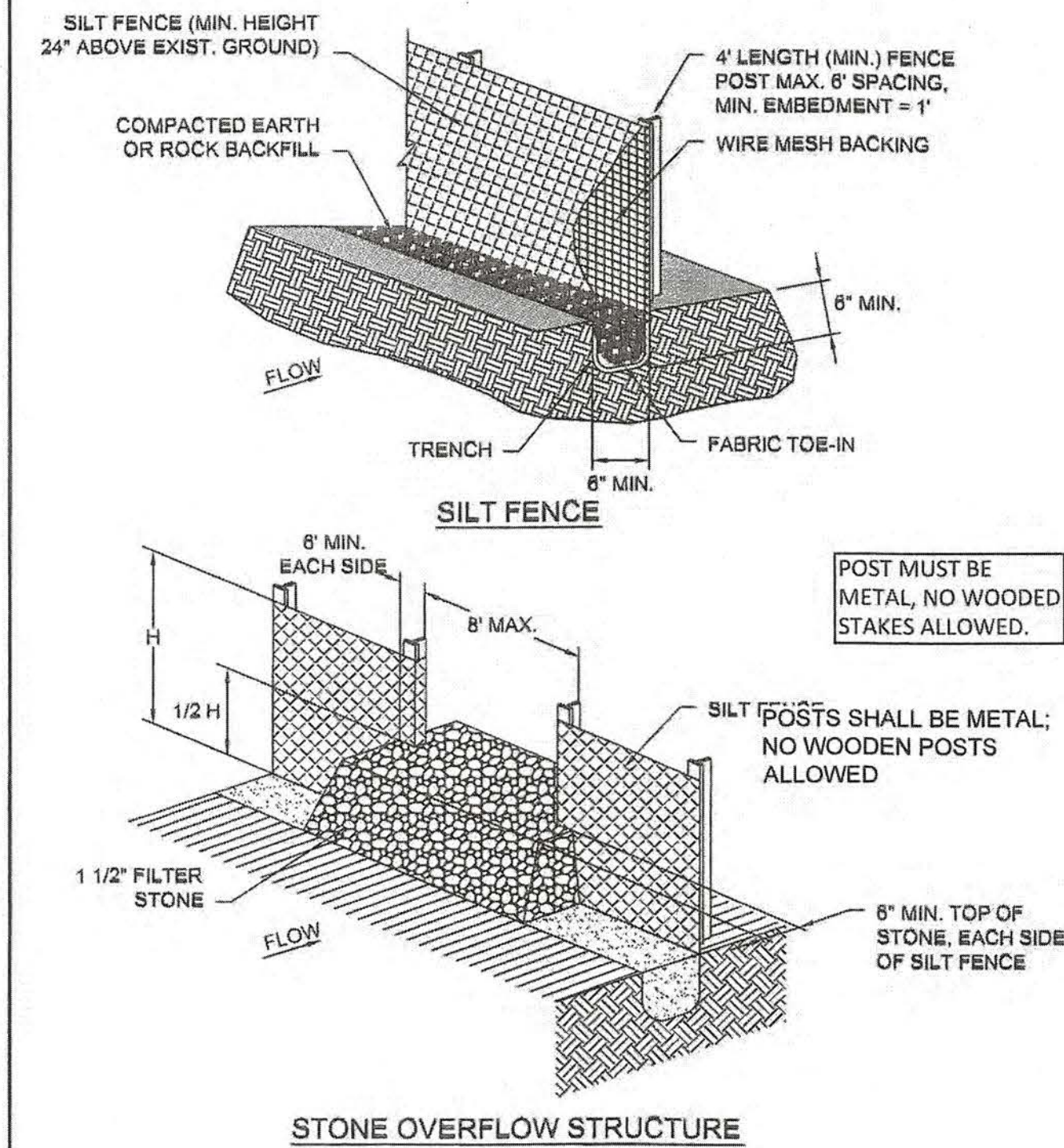
REVISIONS:
10/18/2021 ADDED EROSION CONTROL PLAN

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO: 06824	
DWG FILE NAME: 06824 ECDWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

EROSION CONTROL PLAN
SADDLE STAR SOUTH AMENITY CENTER
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 21-A OF 27



SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5 *
		DATE Mar. 2018
		STANDARD DRAWING NO. R-1020A

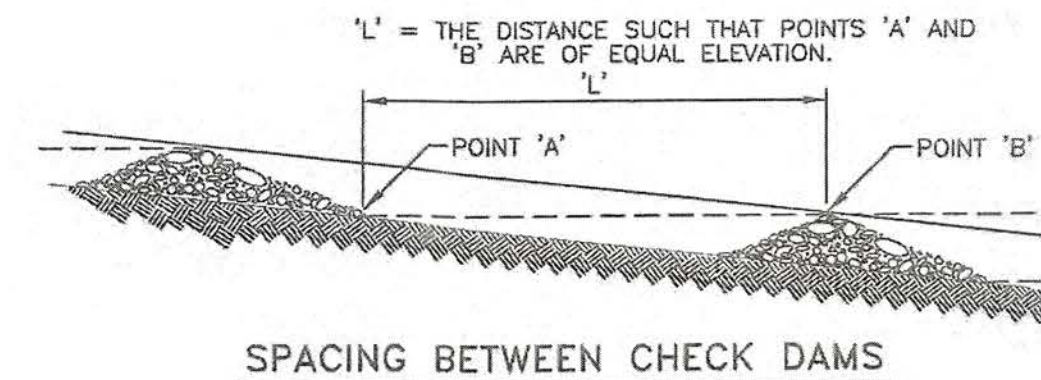
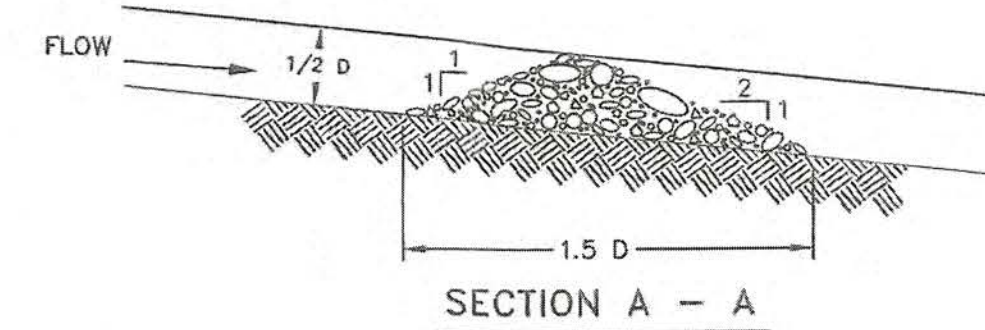
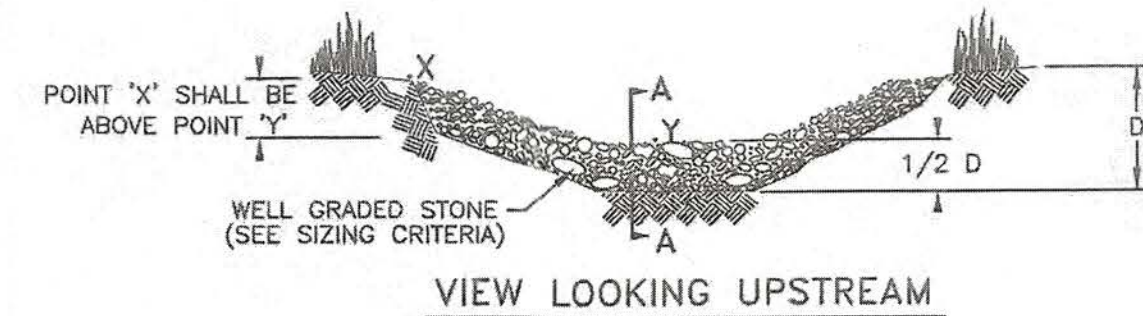
*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5 *
		DATE Mar. 2018
		STANDARD DRAWING NO. R-1020B

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.



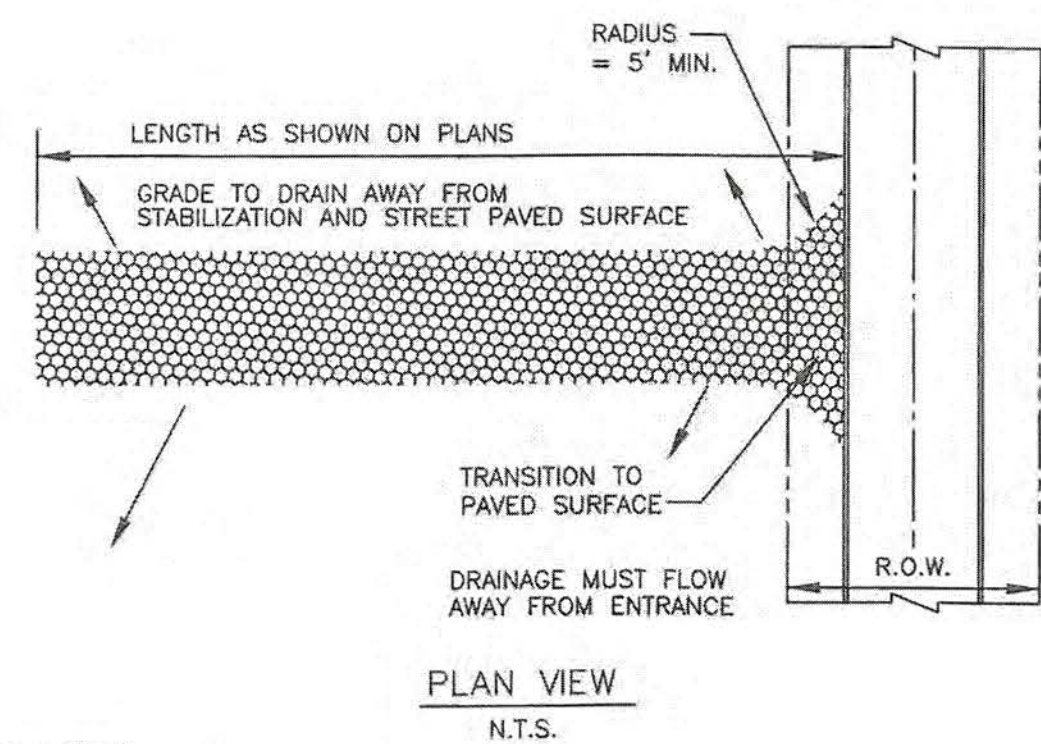
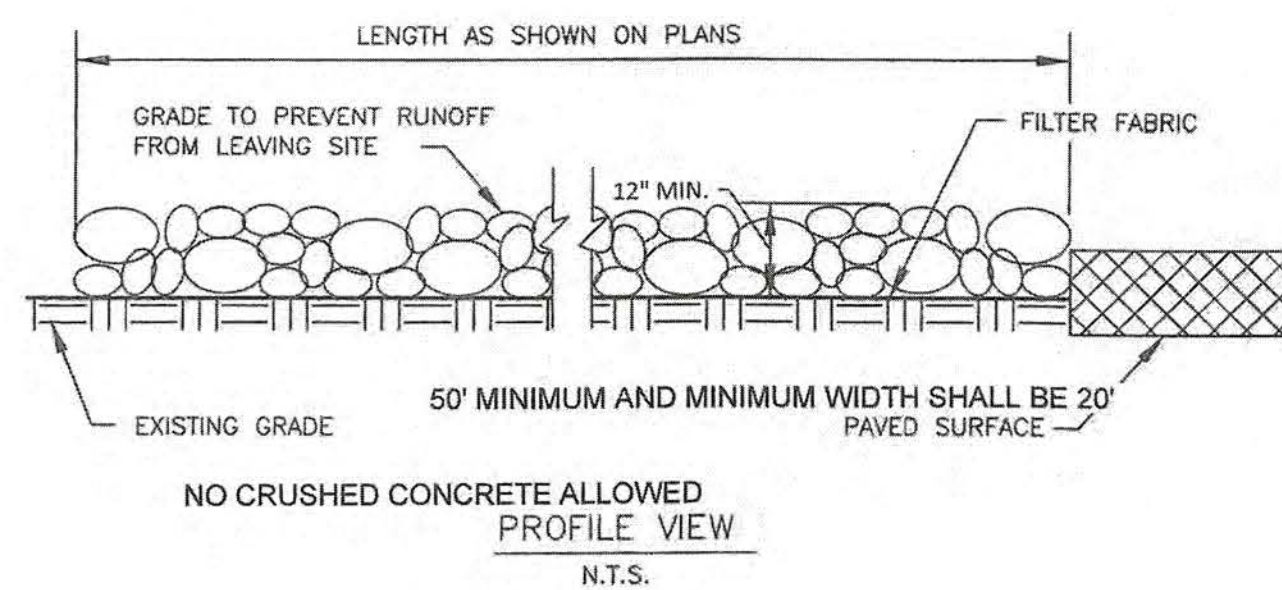
ROCK CHECK DAM	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 201.9
		DATE OCT. '04
		STANDARD DRAWING NO. 1060A

ROCK CHECK DAM GENERAL NOTES:

1. STONE SHALL BE WELL GRADED WITH SIZE RANGE FROM 1 1/2 TO 3 1/2 INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS.
2. THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
3. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
4. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
5. FILTER STONE SHALL BE WRAPPED IN APPROPRIATE SIZED WIRE MESH TO CONTAIN STONE AND BURIED SIX (6") INCHES MINIMUM.

ROCK CHECK DAM	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.9 *
		DATE Mar. 2018
		STANDARD DRAWING NO. R-1060B

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.



STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.11 *
		DATE Mar. 2018
		STANDARD DRAWING NO. R-1070A

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.11 *
		DATE Mar. 2018
		STANDARD DRAWING NO. R-1070B

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.

RYAN C. KING, P.E. 4/15/2024 DATE

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY DATE

CAUTION! EXISTING UTILITIES

CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL UTILITIES FROM ALL EXISTING DAMAGE DURING CONSTRUCTION.

CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 DT.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

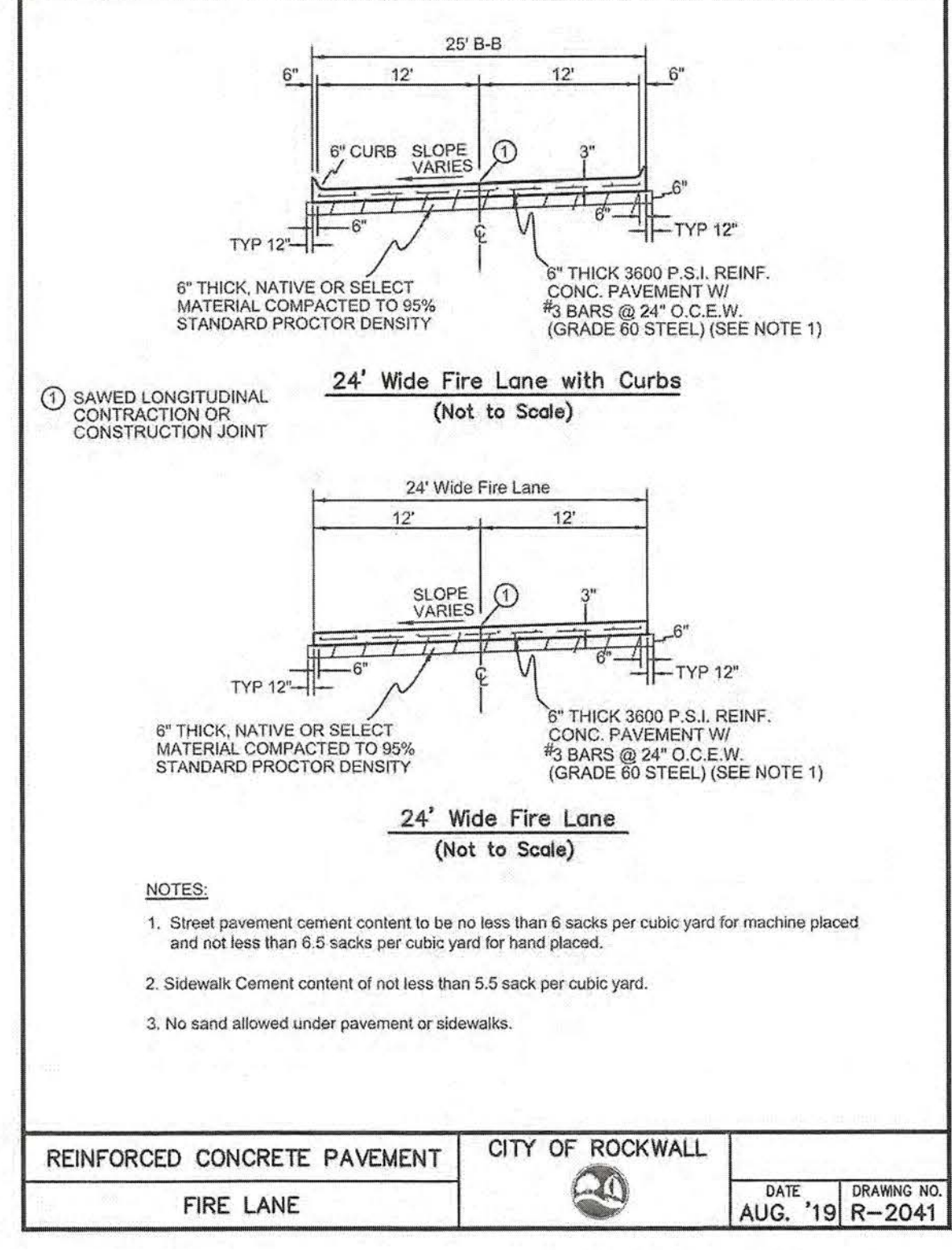
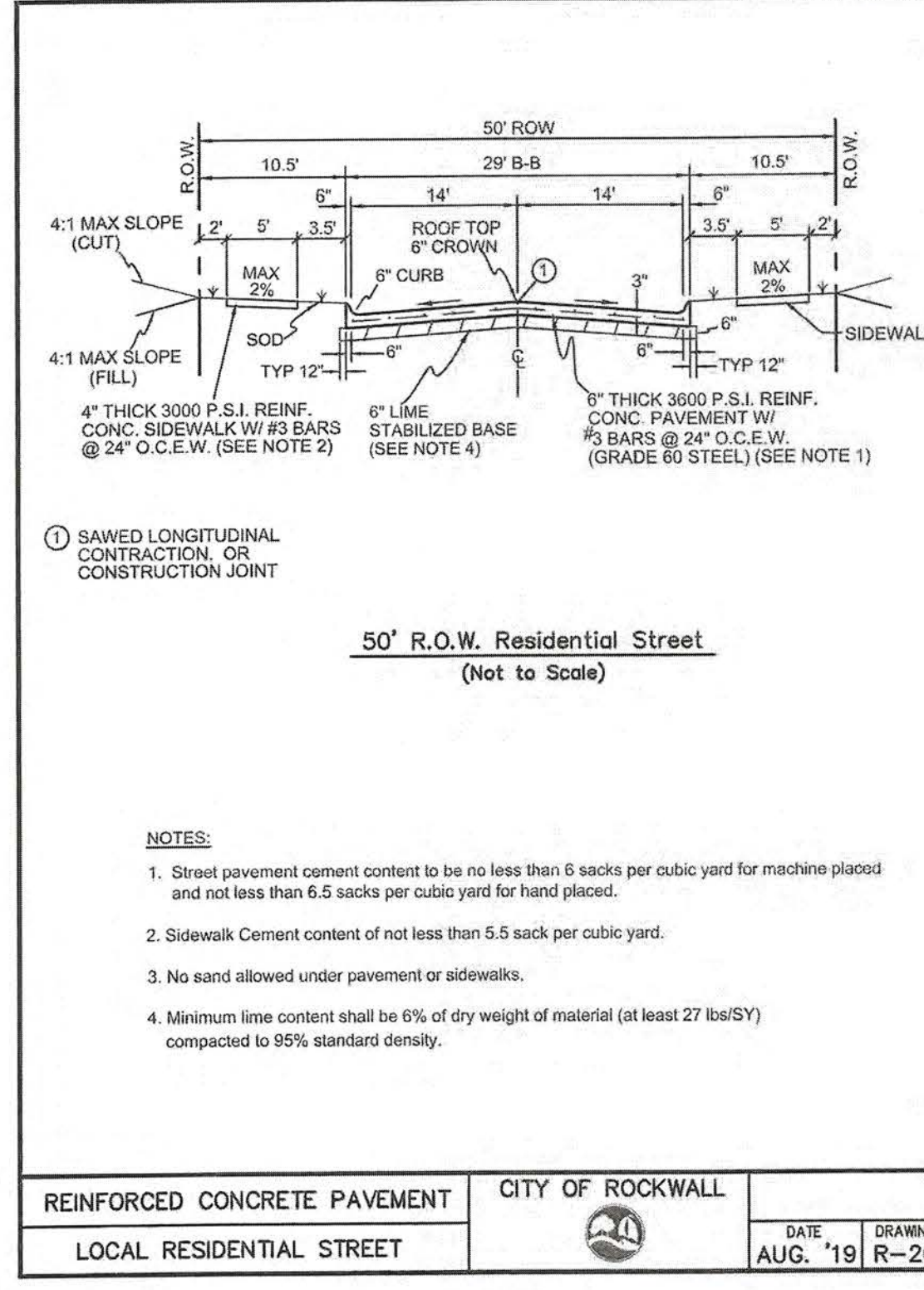
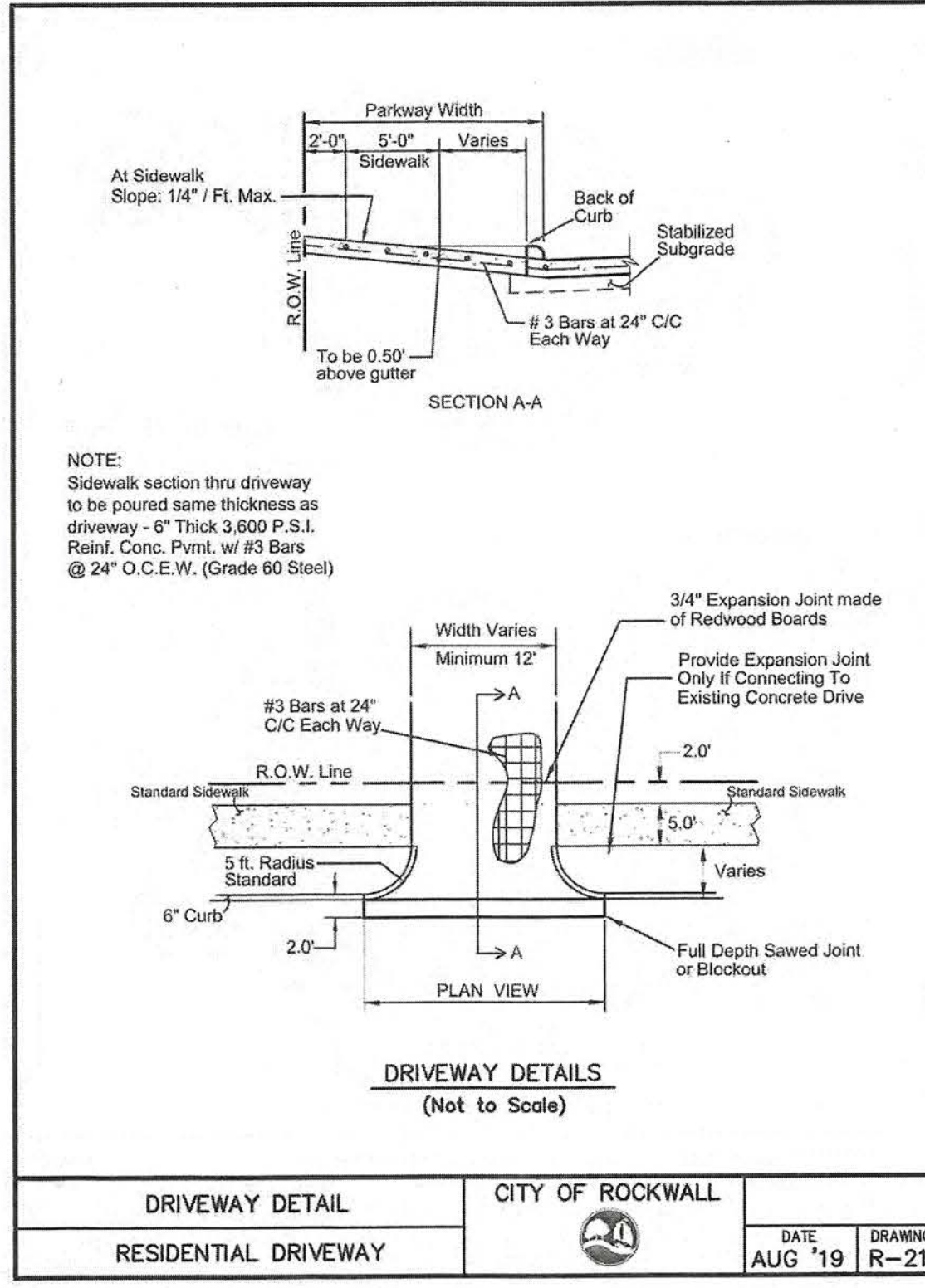
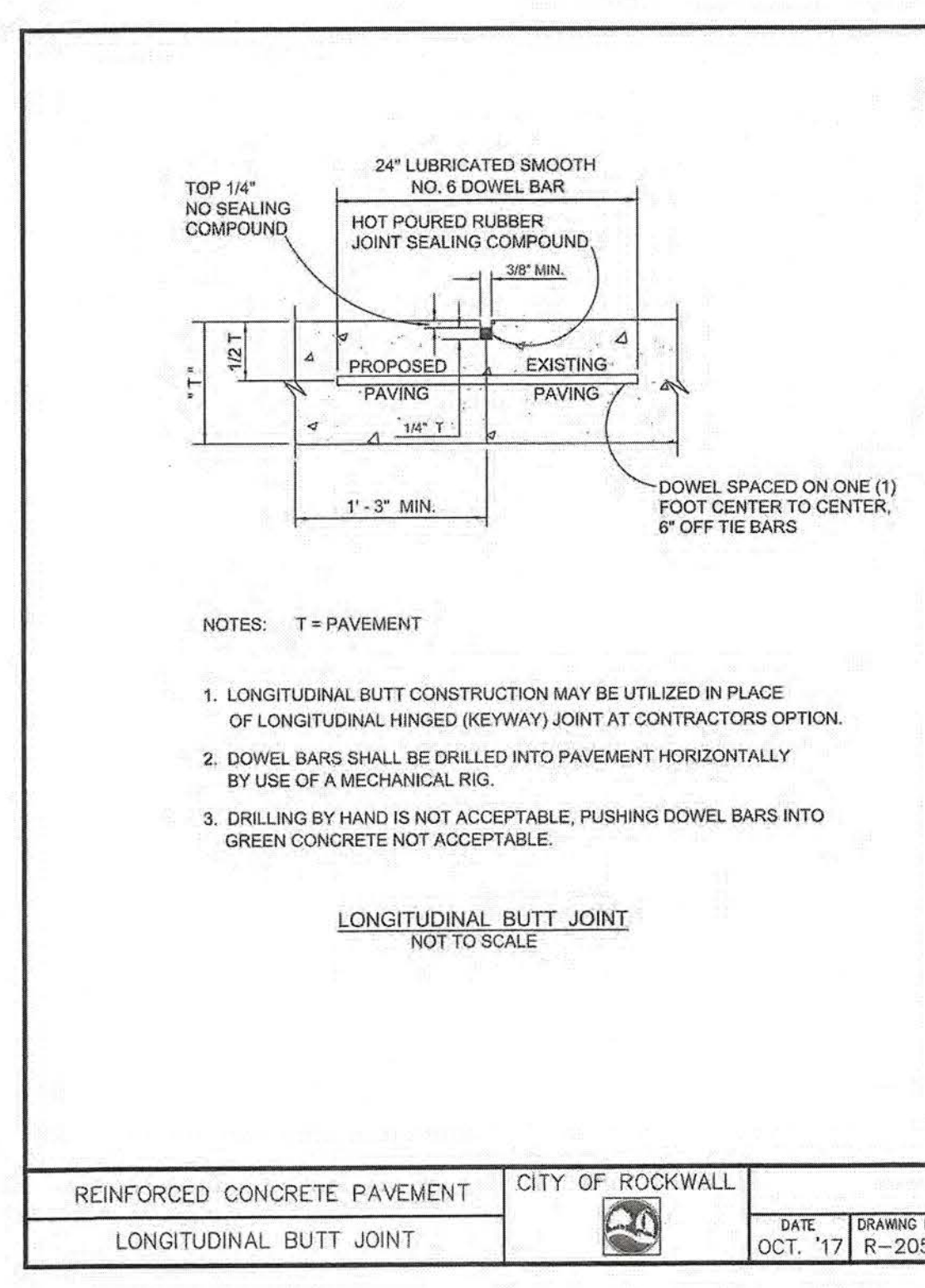
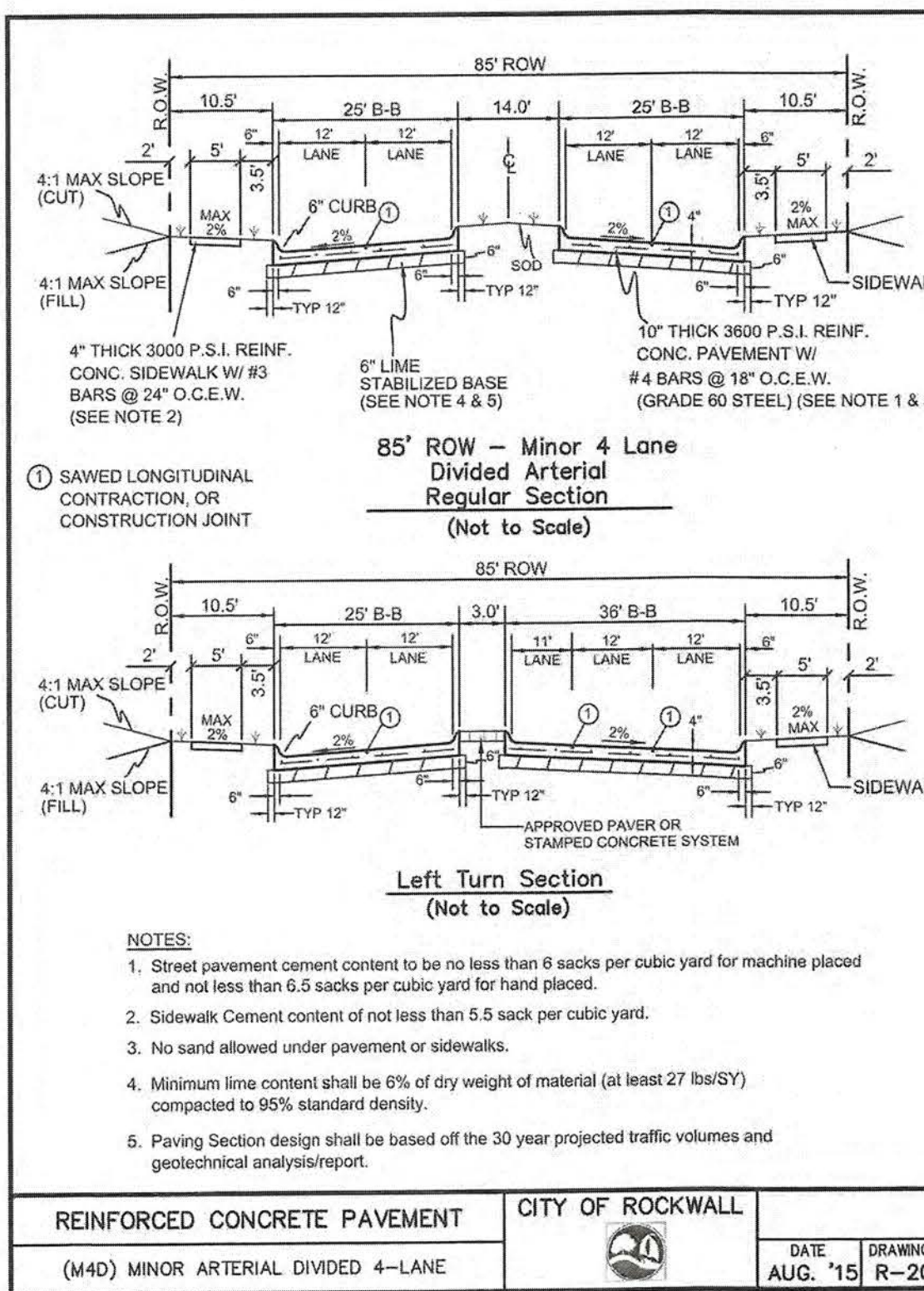
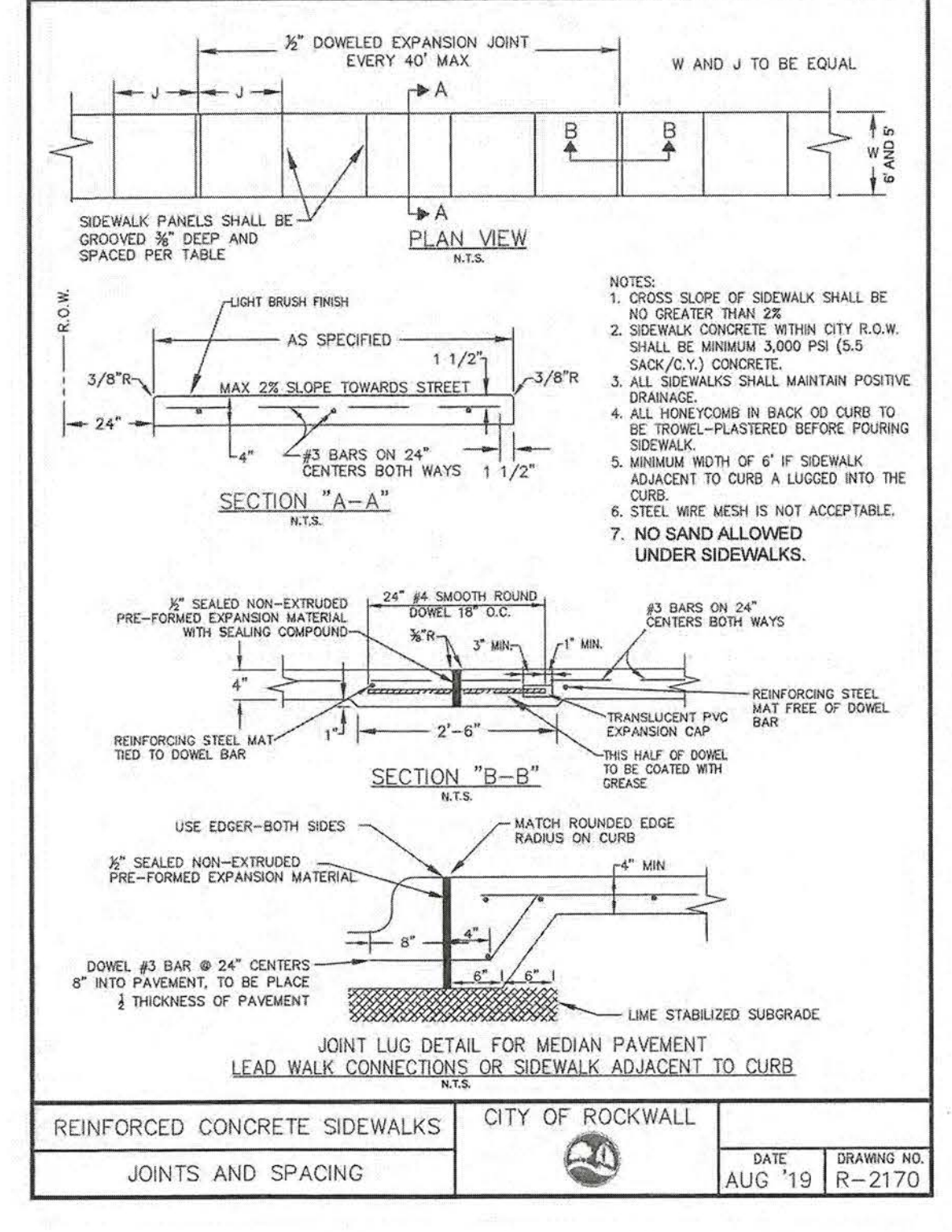
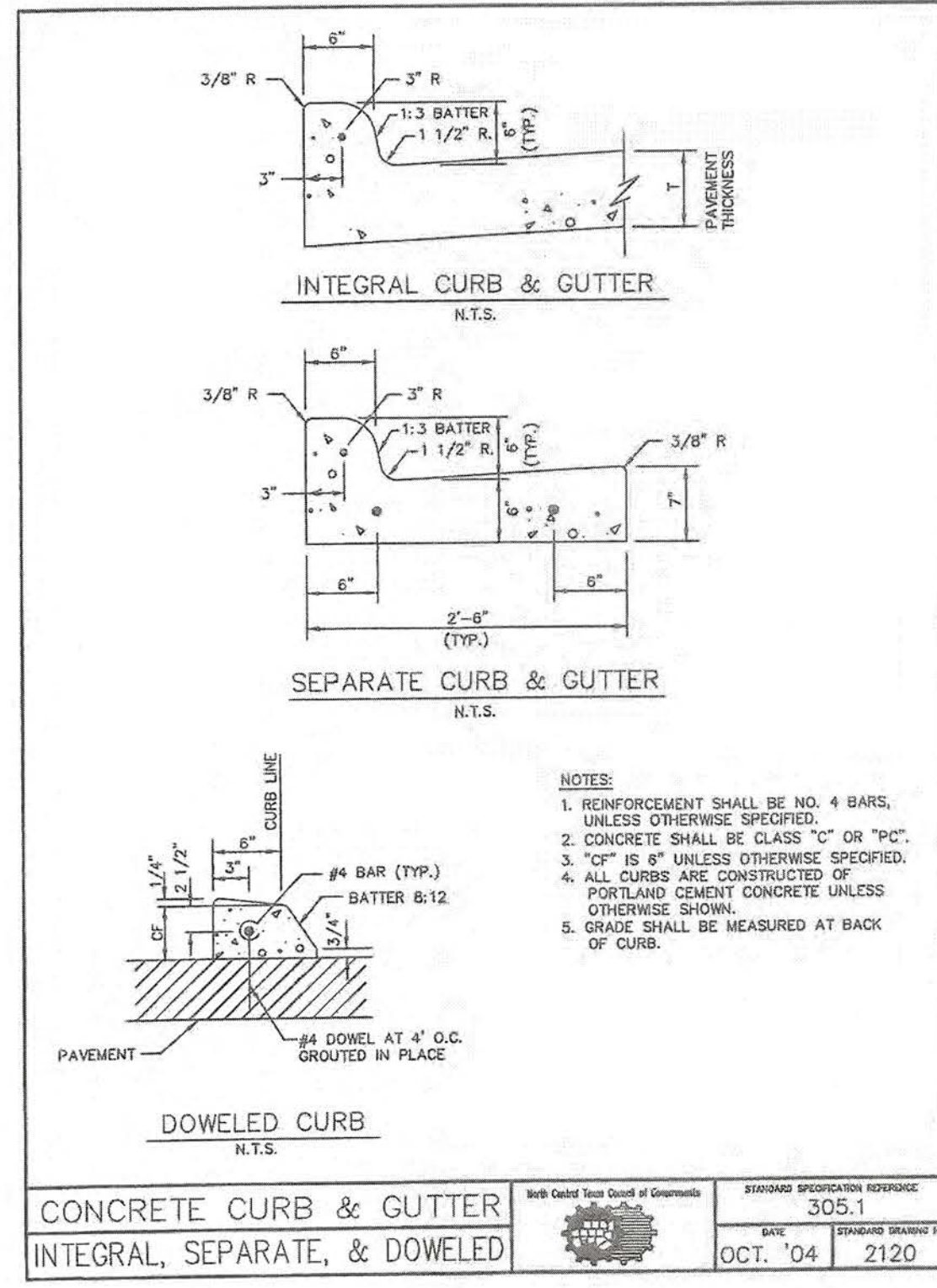
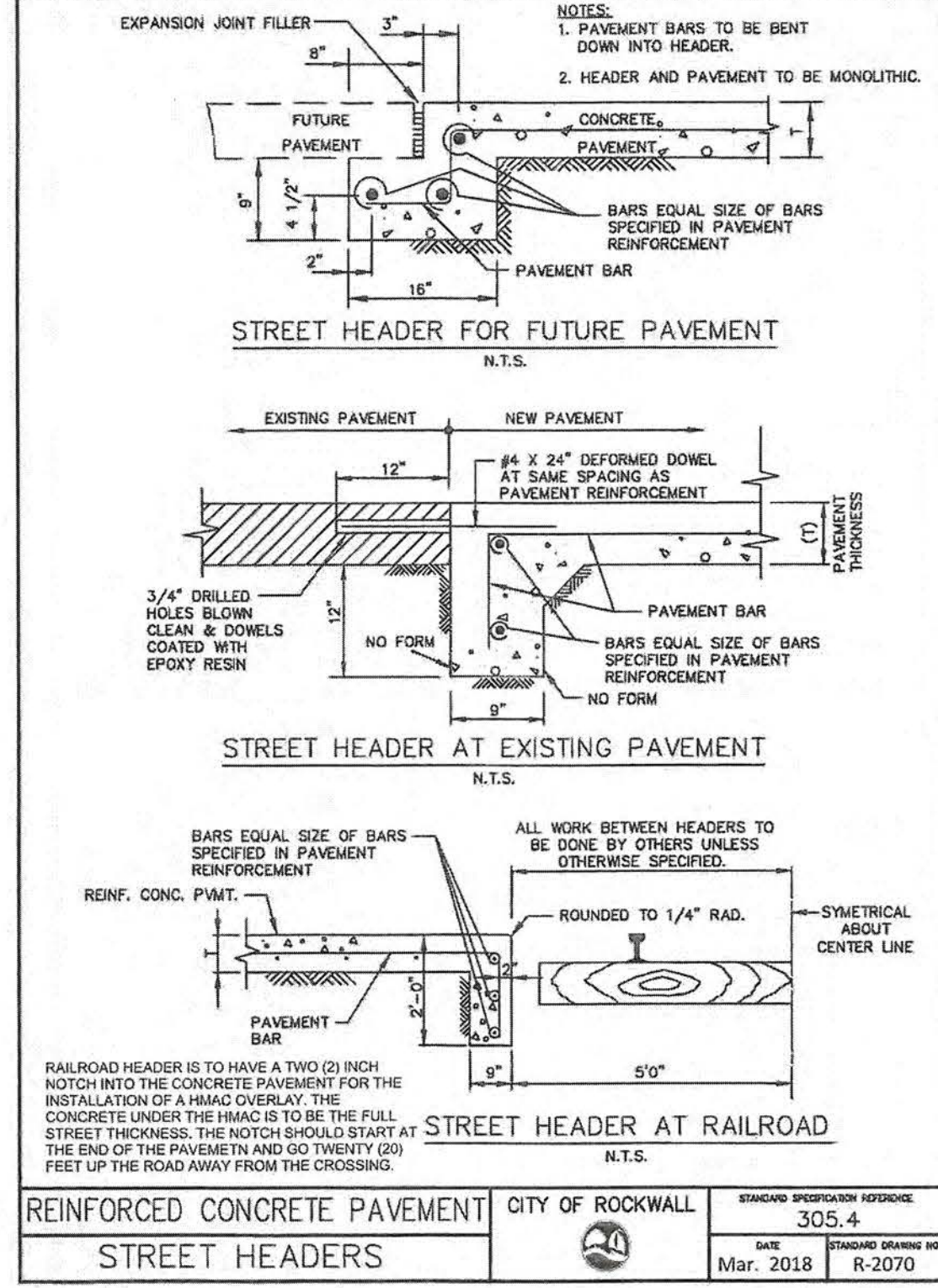
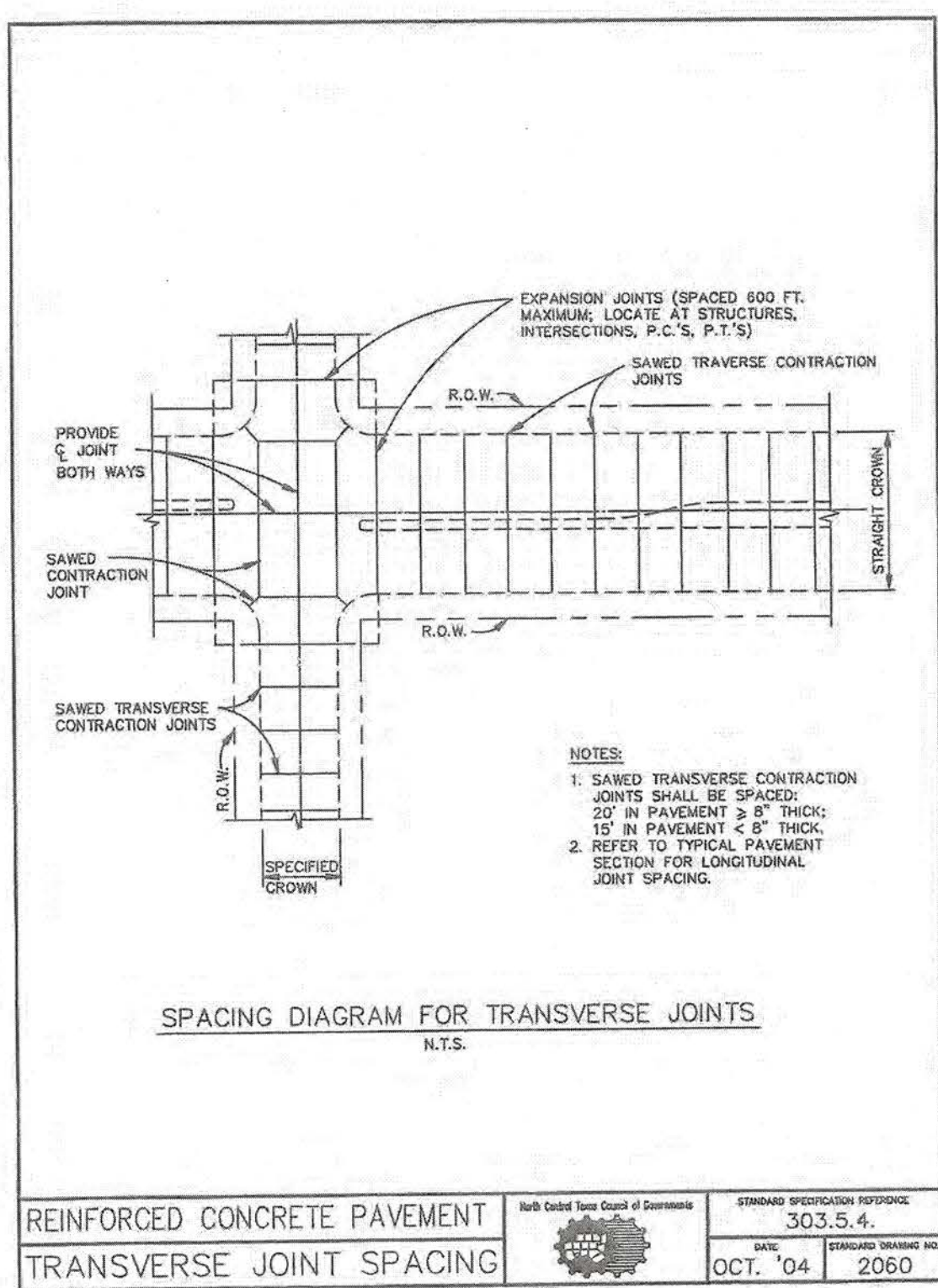
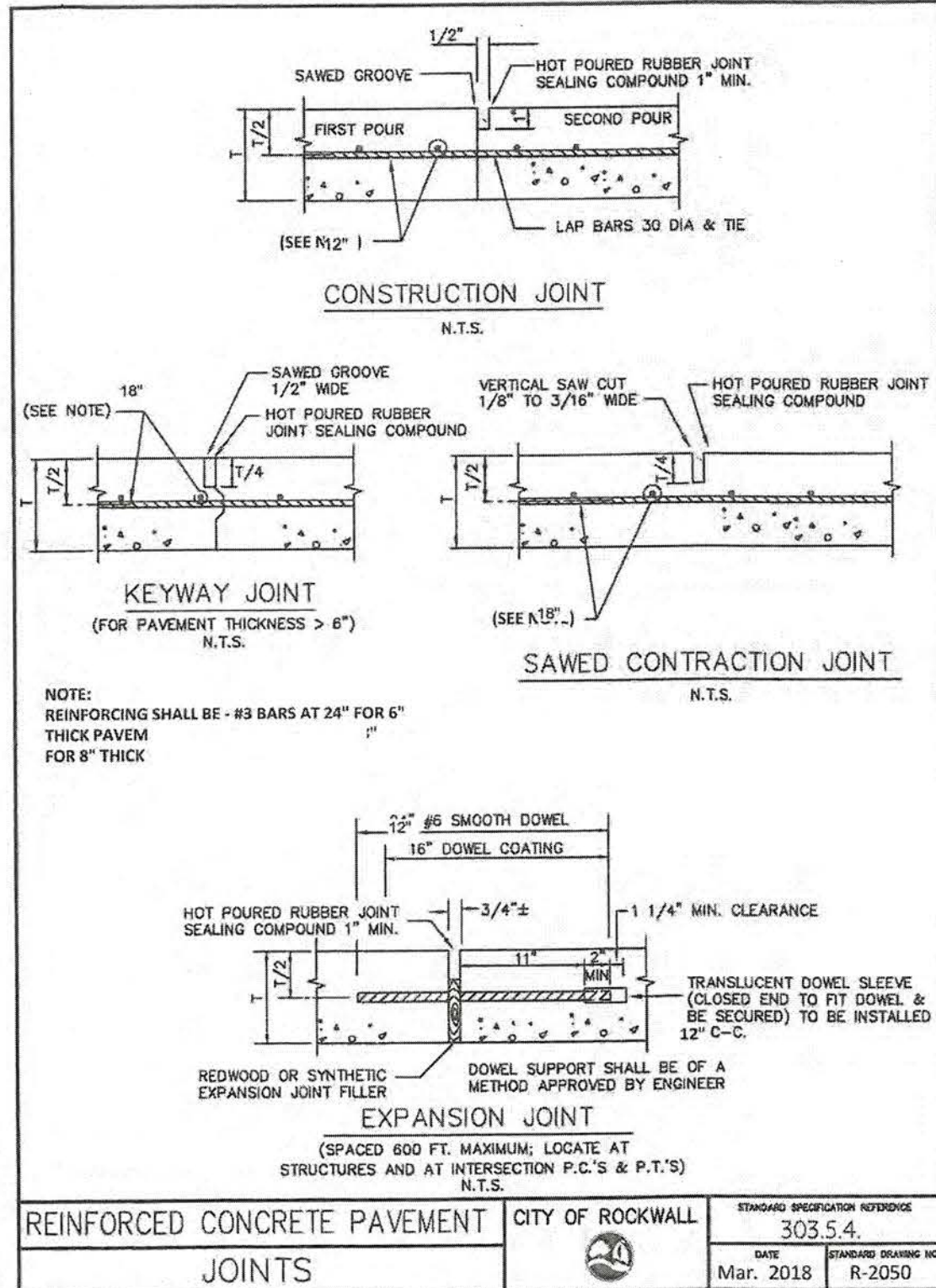


EROSION CONTROL DETAILS

SADDLE STAR SOUTH AMENITY CENTER

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 21 OF 27



RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.
Ryan C. King, P.E.
4/25/2024
DATE

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____

CAUTION! EXISTING UTILITIES

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BENCHMARK: BM#1 (#102)
CIRCS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
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ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH DATE: 03/10/2021
CHECKED: RCK DATE: 03/10/2021
PROJECT NO.: 06824
DWG FILE NAME: 06824.DT.DWG

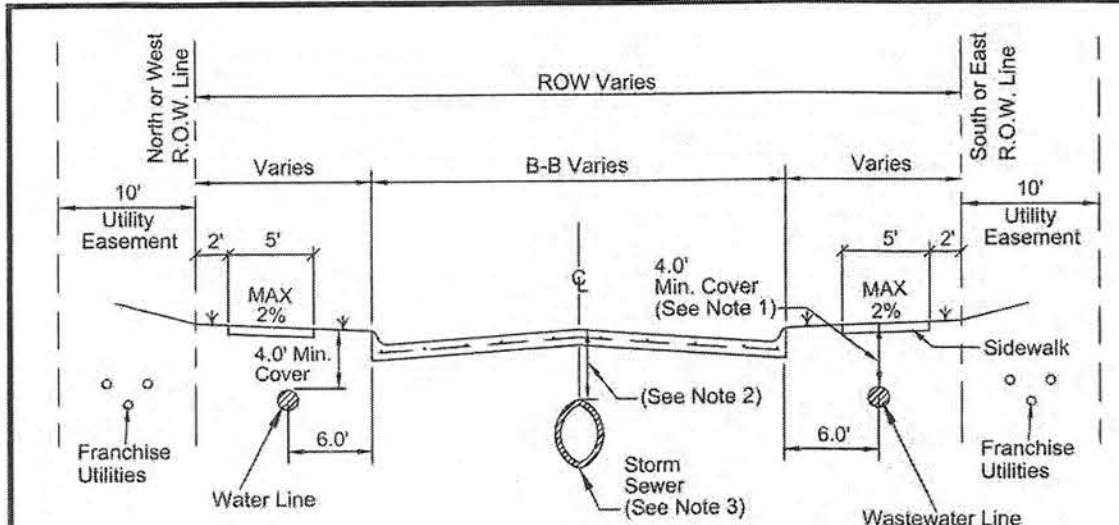
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

STATE OF TEXAS
REGISTERED PROFESSIONAL ENGINEER
123635
3/10/2021

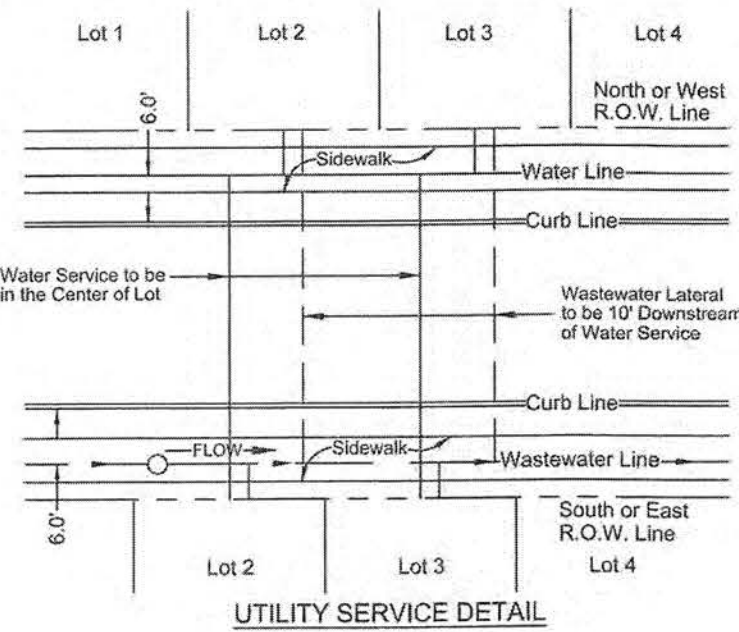
PAVING DETAILS 1

SADDLE STAR SOUTH AMENITY CENTER
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

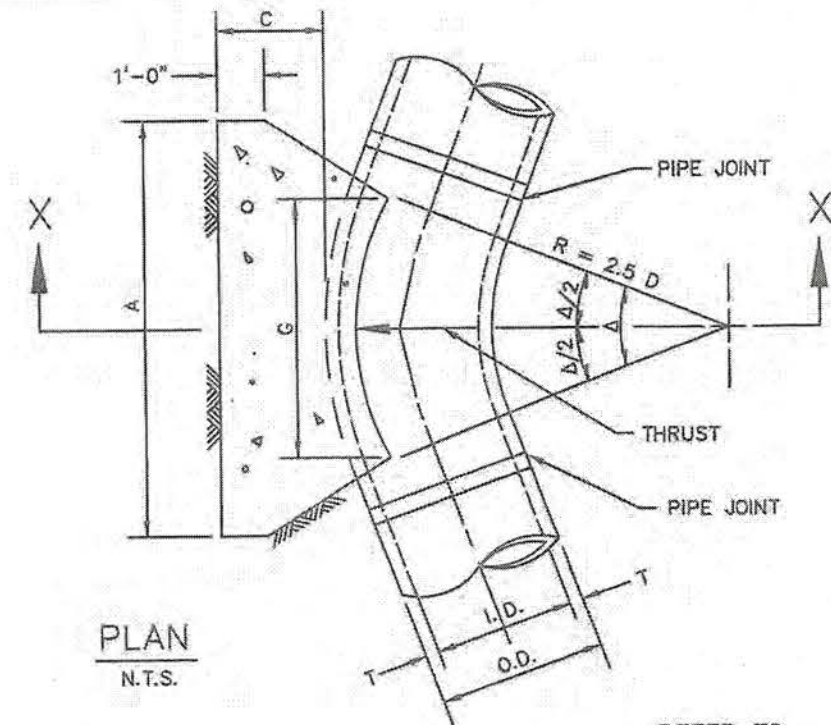
SHEET 22 OF 27



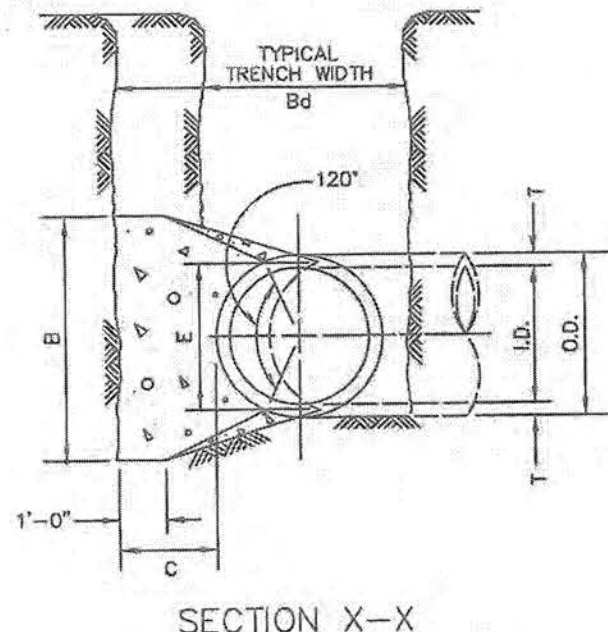
- NOTE:**
1. If wastewater line has a cover greater than ten feet (10') than pipe shall be minimum SDR 26 and no services allowed.
 2. If cover is two (2) feet or less than Class IV RCP is required.
 3. Horizontal location of storm sewer for divided roads to be determined by design engineer. Not to be placed in the roadway.



GENERAL UNDERGROUND CONDUIT CITY OF ROCKWALL
UTILITIES LOCATION DETAIL
DATE OCT. '17 DRAWING NO. R-3000



PLAN N.T.S.
REFER TO STD. DWG. No. 4040 FOR GENERAL NOTES.



HORIZONTAL THRUST BLOCK AT PIPE BEND
DATE OCT. '04 STANDARD DRAWING NO. 4010A

I.D. (IN.)	T (IN.)	Δ = 11.25°	Δ = 22.50°	E (FT.)
4.6, 8	0.4	1.5	1.5	0.8
10.12	0.5	1.5	1.5	1.2
16.18	0.6	1.5	1.5	1.6
20	0.7	1.5	1.5	1.8
24	0.9	1.5	1.5	2.1
30	2.9	1.5	1.5	2.6
36	4.5	1.5	2.3	3.3
42	5.0	1.8	2.6	3.8
48	5.5	2.0	3.0	4.3
54	6.0	2.3	3.4	4.8
60	6.5	2.5	3.8	5.3
66	6.8	2.8	4.1	5.7
72	7.5	3.0	4.5	6.3
78	7.5	3.3	4.9	6.7
84	8.0	3.5	5.3	7.2
90	8.5	3.8	5.8	7.7
96	9.0	4.0	6.0	8.2

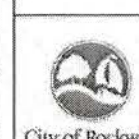
Δ = 11.25°						Δ = 22.50°											
		ROCK						ROCK									
I.D. (IN.)	G (FT.)	THRUST (TONS)	A (FT.)	B VOL. (C.Y.)	ROCK (C.Y.)	I.D. (IN.)	G (FT.)	THRUST (TONS)	A (FT.)	B VOL. (C.Y.)	ROCK (C.Y.)						
4.6, 8	0.4	1.0	1.0	1.5	0.1	10.1	0.6, 8	0.2	1.5	0.1	1.0	0.1					
10.12	0.6	2.2	1.5	1.5	0.1	10.12	1.1	4.4	2.0	2.5	0.3	1.5	0.1				
16.18	0.8	5.0	2.0	2.5	0.3	16.18	1.6	9.9	3.0	3.5	0.6	2.0	2.5	0.3			
20	0.9	6.2	2.0	3.5	0.4	1.5	3.0	0.2	1.0	1.2	1.3	3.5	0.7	2.0	3.0	0.4	
24	1.1	8.9	3.0	3.5	0.5	1.5	3.0	0.3	2.4	22	17.7	4.0	4.5	1.0	3.0	3.5	0.5
30	1.4	10.4	3.0	3.5	0.6	2.0	3.5	0.4	3.0	27	20.7	5.0	5.5	1.2	3.0	4.0	0.8
36	1.7	15.0	3.5	4.5	0.9	2.0	4.0	0.5	3.6	33	29.8	5.5	6.5	2.3	4.0	4.3	
42	1.9	20.4	4.5	5.0	1.5	2.5	0	0.8	4.2	38	40.5	7.0	6.0	3.9	4.5	5.0	2.1
48	2.2	26.6	4.5	6.0	2.0	2.5	0	1.0	4.8	44	48.0	8.0	7.0	5.7	4.5	6.0	2.8
54	2.5	33.7	6.0	6.5	3.0	3.0	6.0	1.4	5.4	48	52.9	8.0	8.0	6.0	6.0	6.0	4.1
60	2.7	41.6	6.0	7.0	3.8	3.0	7.0	1.8	6.0	55	62.7	9.5	9.0	10.6	7.0	7.0	5.3
66	3.0	50.3	6.5	8.0	5.1	3.5	8.0	2.7	6.6	60	100.1	10.5	10.0	14.1	6.5	8.0	7.2
72	3.3	59.9	7.5	8.0	6.3	4.0	8.0	3.3	7.2	6.6	119.1	11.0	11.0	17.6	7.5	8.0	9.1
78	3.6	70.2	8.0	9.0	8.1	4.0	9.0	3.9	7.8	7.1	139.8	12.0	12.0	22.6	8.0	9.0	11.8
84	3.8	81.5	8.5	10.0	10.3	4.5	10.0	5.3	8.4	7.6	162.1	13.0	12.5	27.2	8.5	10.0	14.7
90	4.1	93.5	9.5	10.0	12.2	5.0	10.0	6.3	9.0	8.2	186.1	14.0	13.5	33.7	9.5	10.0	17.8
96	4.4	106.4	10.0	11.0	15.0	5.0	11.0	7.4	9.6	8.7	217.7	15.0	14.5	41.2	10.0	11.0	21.2

TABLES OF DIMENSIONS AND QUANTITIES
HORIZONTAL THRUST BLOCK AT PIPE BEND
DATE OCT. '04 STANDARD DRAWING NO. 4010B

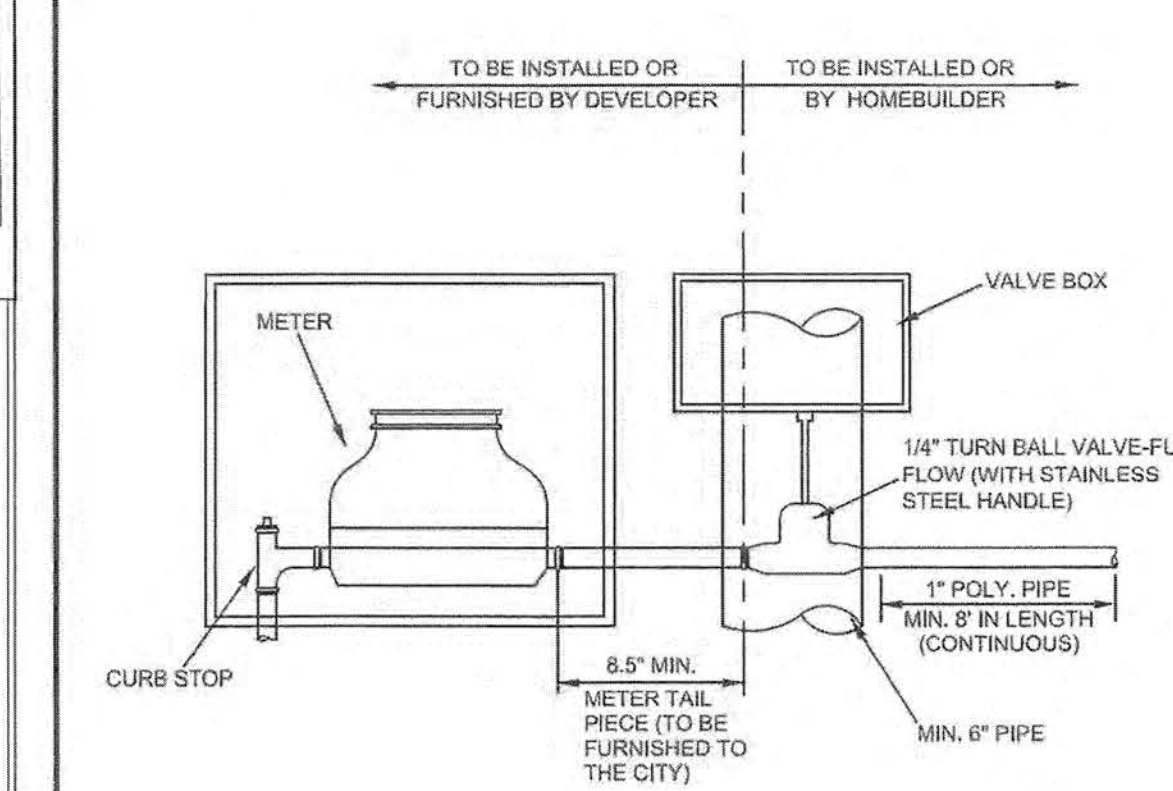
Δ = 30°						Δ = 45°						
I.D. (IN.)	EARTH		ROCK			I.D. (IN.)	EARTH		ROCK			
	G (FT.)	THRUST (TONS)	A (FT.)	B VOL. (C.Y.)			G (FT.)	THRUST (TONS)	A (FT.)	B VOL. (C.Y.)		
4.6, 8	1.0	2.6	2.0	1.5	0.1	10.12	1.3	5.9	2.0	0.2	1.5	0.1
10.12	1.5	5.9	2.5	2.5	0.3	16.18	1.6	9.2	2.5	0.5	2.0	0.3
16.18	2.2	13.2	3.5	4.0	0.8	2.0	2.3	19.5	4.5	1.2	3.0	0.8
20	2.4	16.3	4.5	4.0	1.0	24	3.0	26.4	5.5	1.5	3.5	0.9
24	2.9	23.4	6.0	4.0	1.4	3.5	3.5	0.7	24.3	3.6	8.0	2.5
30	3.6	27.5	6.5	4.0	1.8	3.5	4.0	0.9	30	5.4	4.0	3.5
36	4.4	39.5	7.0	6.0	3.4	4.5	4.5	1.6	36	5.8	5.0	3.2
42	5.1	53.8	8.0	7.0	5.5	4.0	5.0	2.8	42	6.5	5.8	5.0
48	5.8	70.3	8.0	7.4	6.0	4.0	5.8	3.6	48	7.5	7.0	8.1
54	6.5	89.0	10.0	9.0	7.0	6.5	5.4	9.7	54	9.7	13.1	15.0
60	7.3	110.0	10.0	10.0	13.9	7.5	7.3	6.0	60	10.7	16.5	10.0
66	8.0	132.9	12.5	11.0	18.9	8.5	8.0	9.6	66	11.8	19.5	18.0
72	8.7	158.2	13.5	12.0	24.0	9.0	12.3	7.2	72	12.9	23.9	19.5
78	9.4	185.6	14.5	13.0	30.0	10.5	15.8	7.8	78	13.9	27.4	21.5
84	10.1	215.3	15.5	14.0	37.1	10.5	10.5	15.6	84	15.0	31.8	23.0
90	10.9	247.1	16.5	15.0	45.0	11.5	11.0	23.9	90	16.1	35.5	25.5
96	11.6	281.2	18.0	16.0	55.5	12.5	11.5	28.9	96	17.1	41.6	28.0

Δ = 67.50°						Δ = 90°						
I.D. (IN.)	G (FT.)	EARTH			ROCK	I.D. (IN.)	G (FT.)	EARTH			ROCK	
		THRUST (TONS)	A (FT.)	B (FT.)	VOL. (C.Y.)			THRUST (TONS)	A (FT.)	B (FT.)	VOL. (C.Y.)	
4.6, 8	2.1	5.6	3.0	2.0	0.3	10.12	2.7	12.6	3.5	2.5	0.4	1.5
10.12	3.3	12.6	3.5	2.5	0.4	16.18	3.3	19.7	4.0	3.0	0.5	2.0
16.18	4.7	26.3	7.5	4.0	1.9	20	4.0	16.0	6.5	2.5	1.0	3.5
20	5.2	34.9	9.0	4.0	2.3	25	5.5	20.0	8.0	4.0	2.4	4.5
24	5.9	41.0	10.5	4.5	2.5	30	6.6	44.0	10.0	4.5	3.1	6.0
30	6.2	50.3	11.5	4.5	3.5	36	7.9	64.0	14.5	4.5	5.0	8.0
36	6.8	58.9	12.0	5.0	4.8	42	9.9	75.0	15.5	5.0	6.7	10.0
36	9.4	84.9	14.5	6.0	8.2	48	13.9	107.0	18.0	6.0	11.4	12.0
42	10.9	115.5	17.0	7.0	12.8	54	13.9	140.0	21.0	7.0	17.8	14.0
48	12.5	150.9	19.0	8.0	18.4	60	15.9	193.0	24.0	8.0	28.2	16.0
54	14.0	191.0	21.0	9.0	26.0	66	17.9	242.0	27.0	9.0	36.9	18.0
60	15.8	235.8	24.0	10.0	35.6	72	19.8	298.0	30.0	10.0	50.3	20.0
66	17.1	285.3	26.0	11.0	48.0	78	21.8	362.8	33.0	11.0	66.2	22.0
72	18.7	339.5	28.0	12.0	57.8	84	23.8	431.8	36.0	12.0	80.6	24.0
78	20.2	398.5	31.0	13.0	75.7	90	25.7	506.7	39.0	13.0	105.2	26.0
84	21.8	462.1	33.5	14.0	94.7	96	27.7	587.7	42.0	14.0	134.4	28.0
90	23.3	530.5	35.5	15.0	114.4	102	29.7	674.4	45.0	15.0	164.9	30.0
						108	31.7	767.7	48.0	16.0	197.4	32.0

TABLES OF DIMENSIONS AND QUANTITIES
HORIZONTAL THRUST BLOCK AT PIPE BEND
DATE OCT. '04 STANDARD DRAWING NO. 4010C

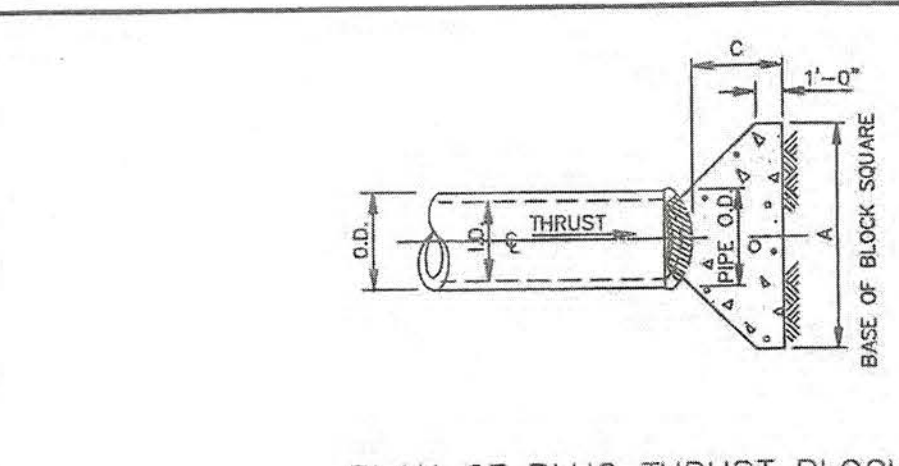


City of Rockwall
Public Works Division

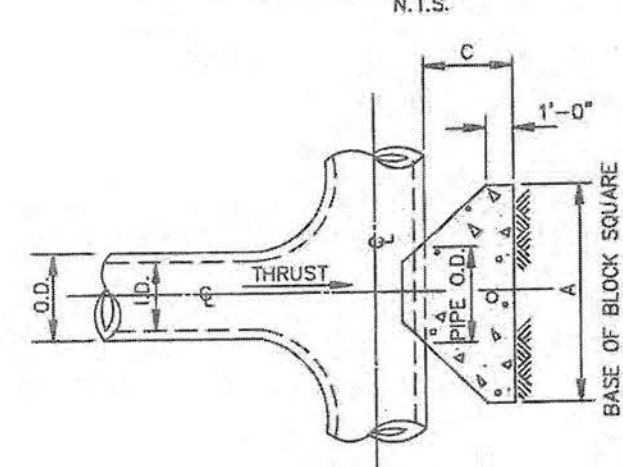


TO BE INSTALLED OR FURNISHED BY DEVELOPER
TO BE INSTALLED OR BY HOMEOWNER
METER
CURB STOP
METER TAIL PIECE (TO BE FURNISHED TO THE CITY)
8.5" MIN.
1" POLY. PIPE MIN. 6" IN LENGTH (CONTINUOUS)
VALVE BOX
1/4" TURN BALL VALVE-FULL FLOW (WITH STAINLESS STEEL HANDLE)
MIN. 6" PIPE
NOTE: VALVE BOX TO BE TRAFFIC RATED IF UNDER PAVING.

SINGLE SERVICE METER TAIL CONNECTION
NOT TO SCALE
WATER METER DETAIL
SINGLE SERVICE
CITY OF ROCKWALL
DATE AUG. '15 DRAWING NO. R-4145

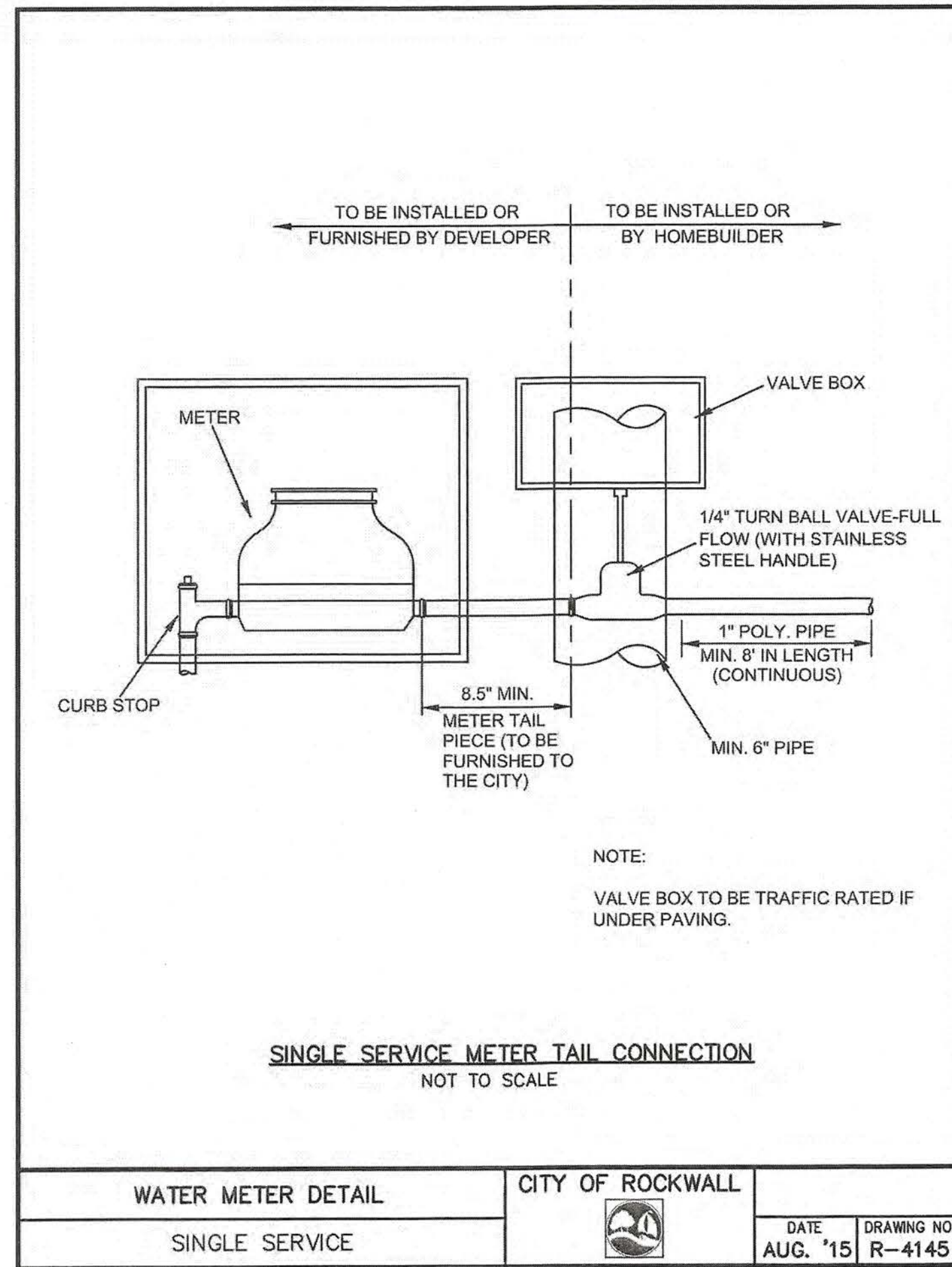
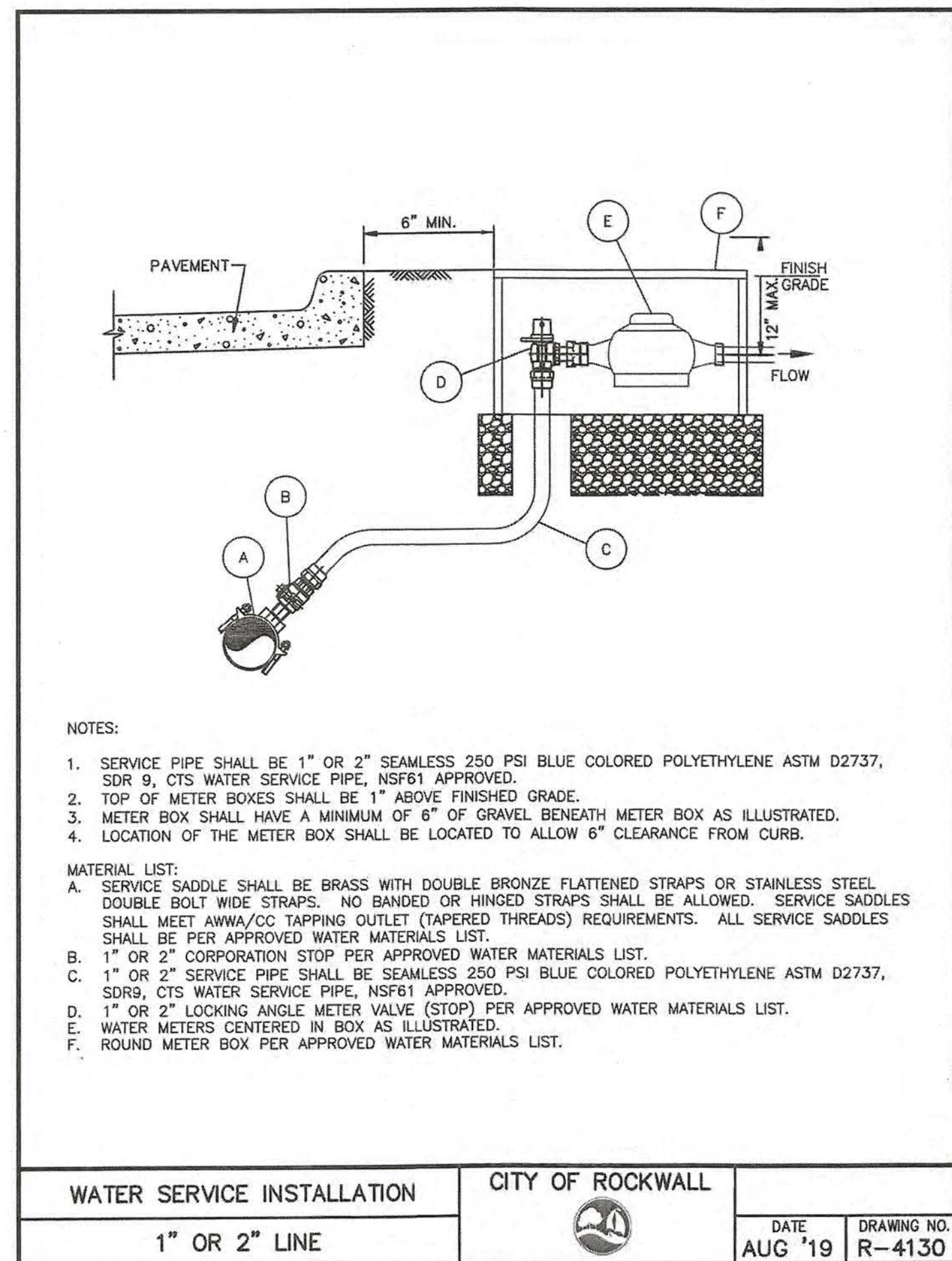
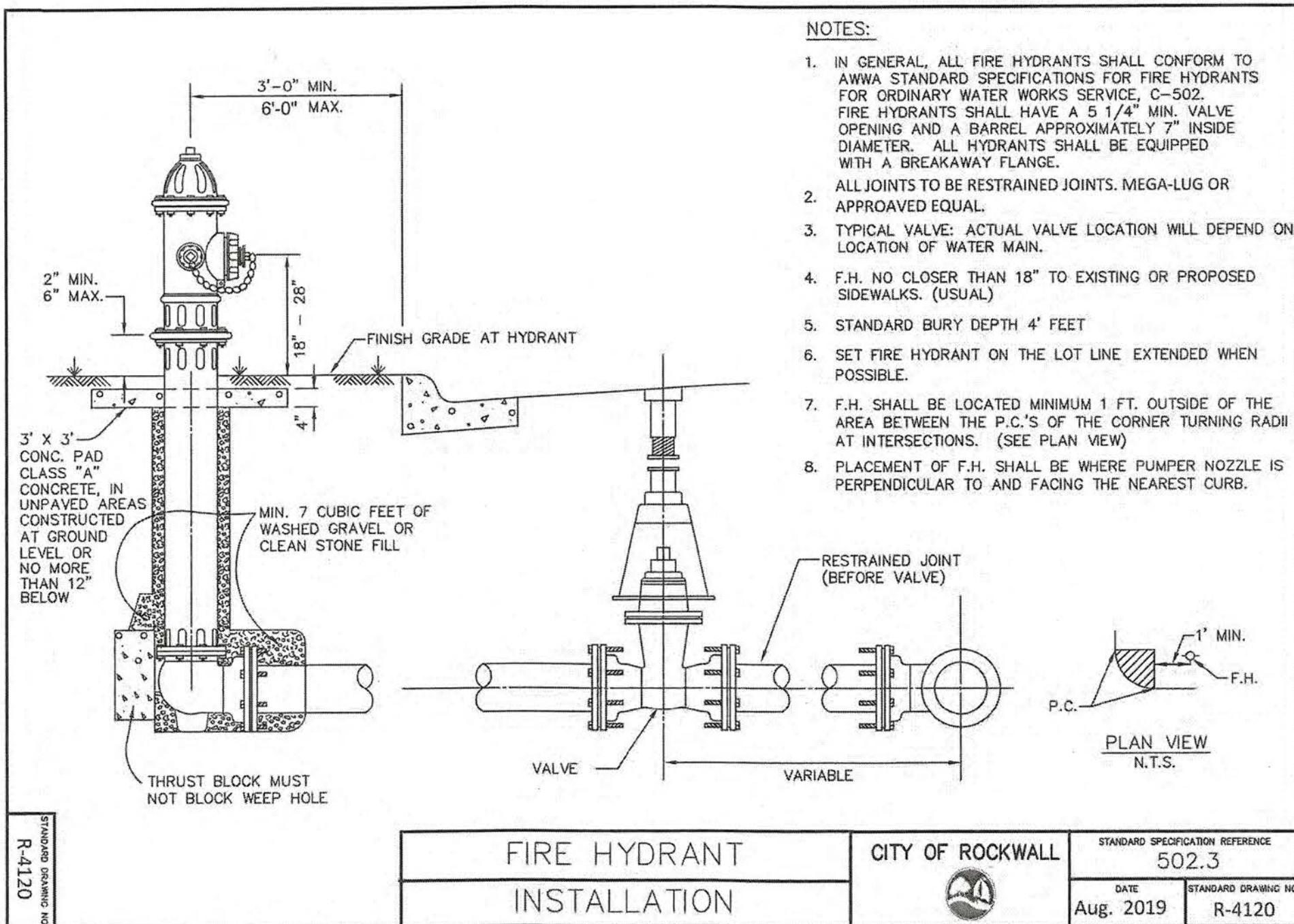


PLAN OF PLUG THRUST BLOCK
N.T.S.



PLAN OF TEE THRUST BLOCK
N.T.S.

N.T.S.									
		EARTH				ROCK			
I.D. (IN.)	THRUST (TONS)	C (FT.)	A (FT.)	B VOL. (C.Y.)	A (FT.)	C VOL. (C.Y.)			
4.6, 8	5.1	1.5	2.5	0.3	2.0	0.2			
10.12	11.3	1.5	3.5	0.6	2.5	0.3			
16.18	22.6	2.0	4.5	1.1	3.0	0.4			
20	31.5	2.0	5.0	1.8	4.0	0.8			
24	42.5	2.5	7.0	3.1	5.0	1.2			
30	53.5	3.0	7.5	4.5	5.5	1.7			
36	64.5	4.0	9.0	7.1	6.5	2.4			
42	104.4	4.5	10.8	11.0	7.5	3.2			
48	136.9	5.0	12.0	15.0	8.5	4.2			
54	169.3	5.5	13.5	21.4	9.5	5.1			
60	212.0	6.0	15.0	28.4	10.5	5.8			
66	257.0	6.5	16.5	36.9	11.5	6.9			
72	306.0	7.5	18.0	47.2	12.5	7.7			
78	358.0	8.0	19.0	58.9	13.5	8.7			
84	416.0	8.5	20.5	72.3	14.4	9.7			
90	477.0	9.0	22.5	87.5	15.5	10.8			
96	477.0	9.5	23.5	104.8	16.5	11.0			



RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.

Ryan C. King 4/25/2024
RYAN C. KING, P.E. DATE

RELEASED FOR CONSTRUCTION

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY DATE

CAUTION! EXISTING UTILITIES

CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:

BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

BM#5 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS
& DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH DATE:

CHECKED: RCK DATE: 03/10/2021

PROJECT NO.: 06824

DWG FILE NAME: 06824 DT.DWG

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

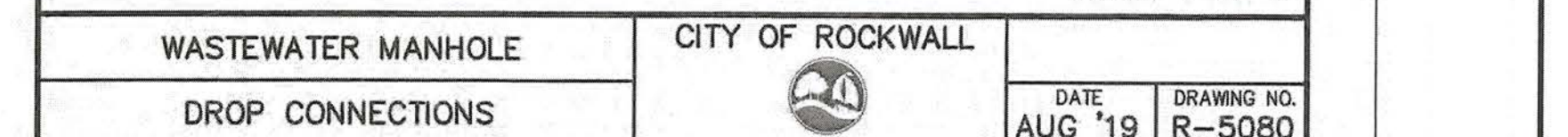
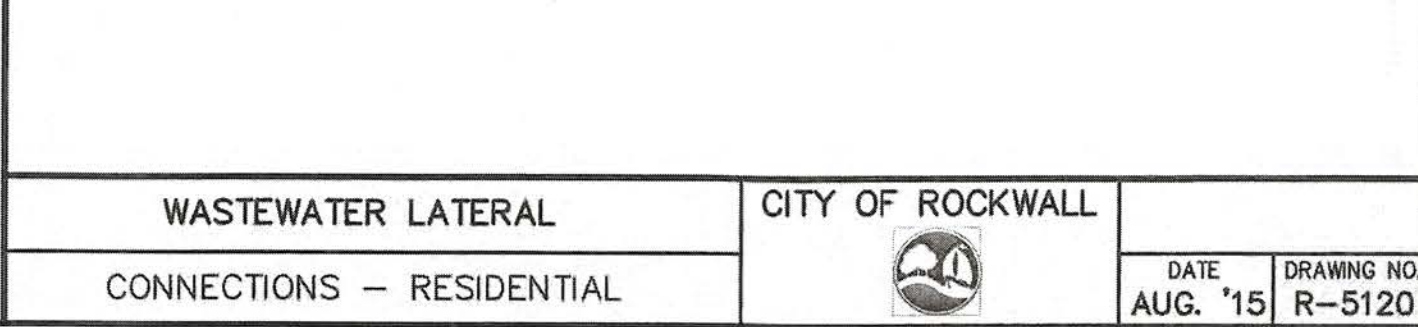
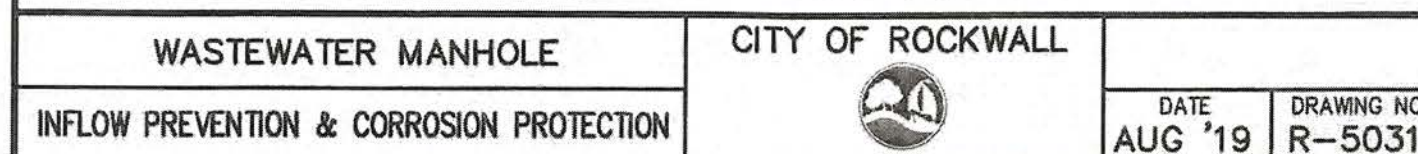
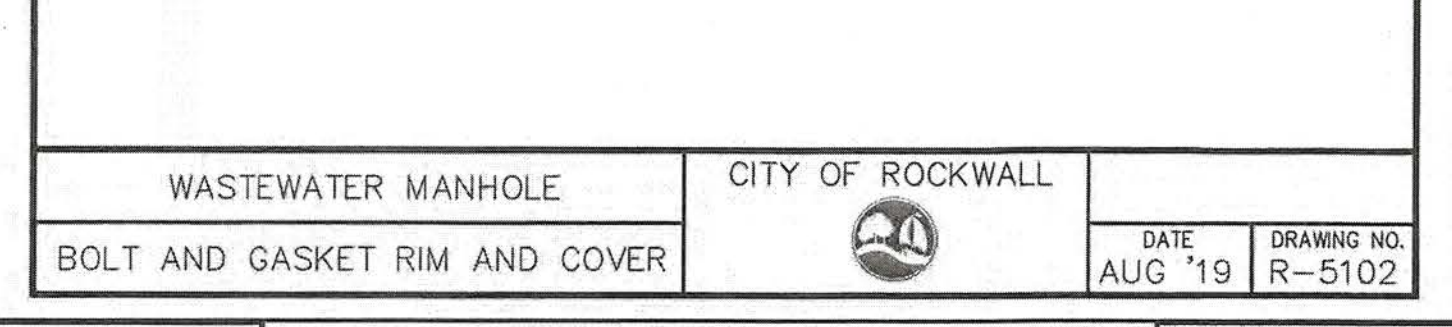
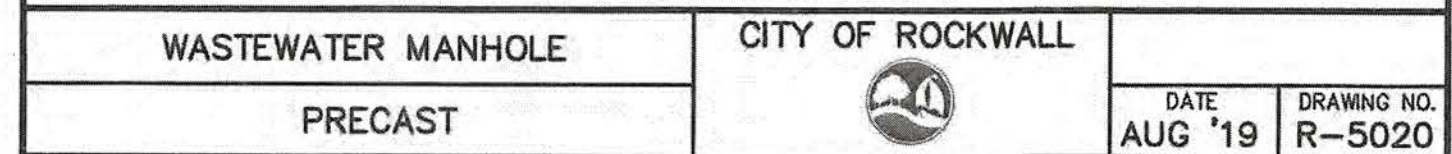
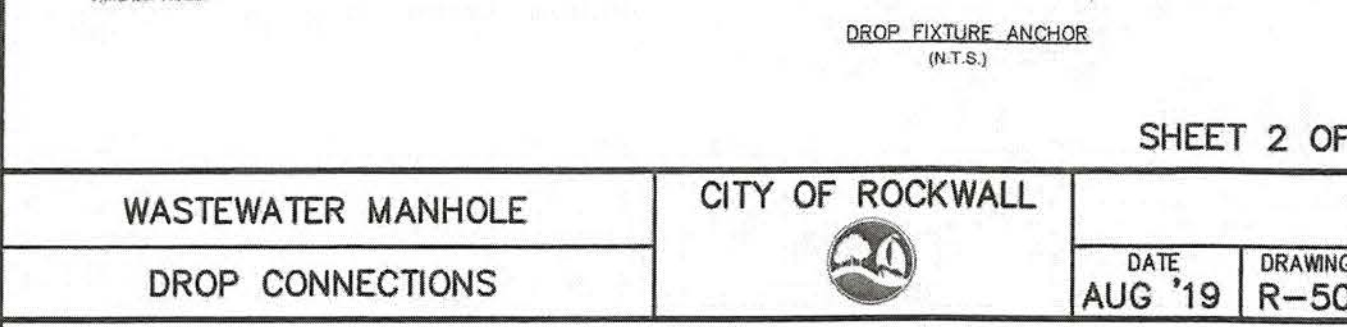
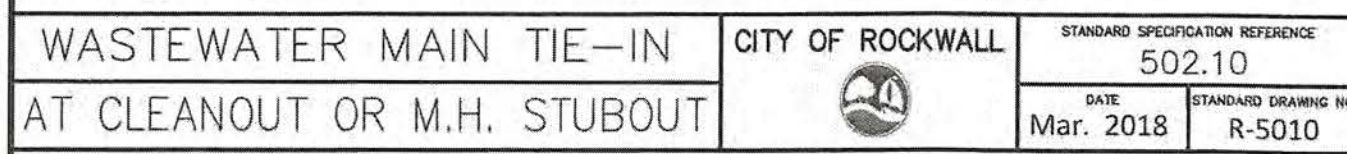


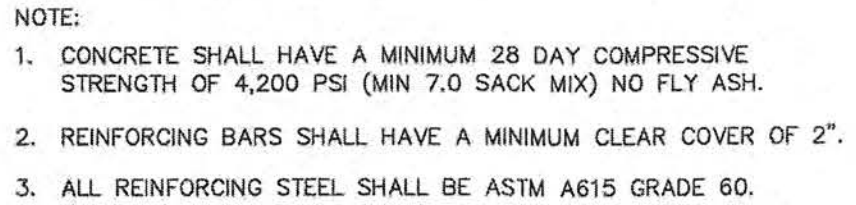
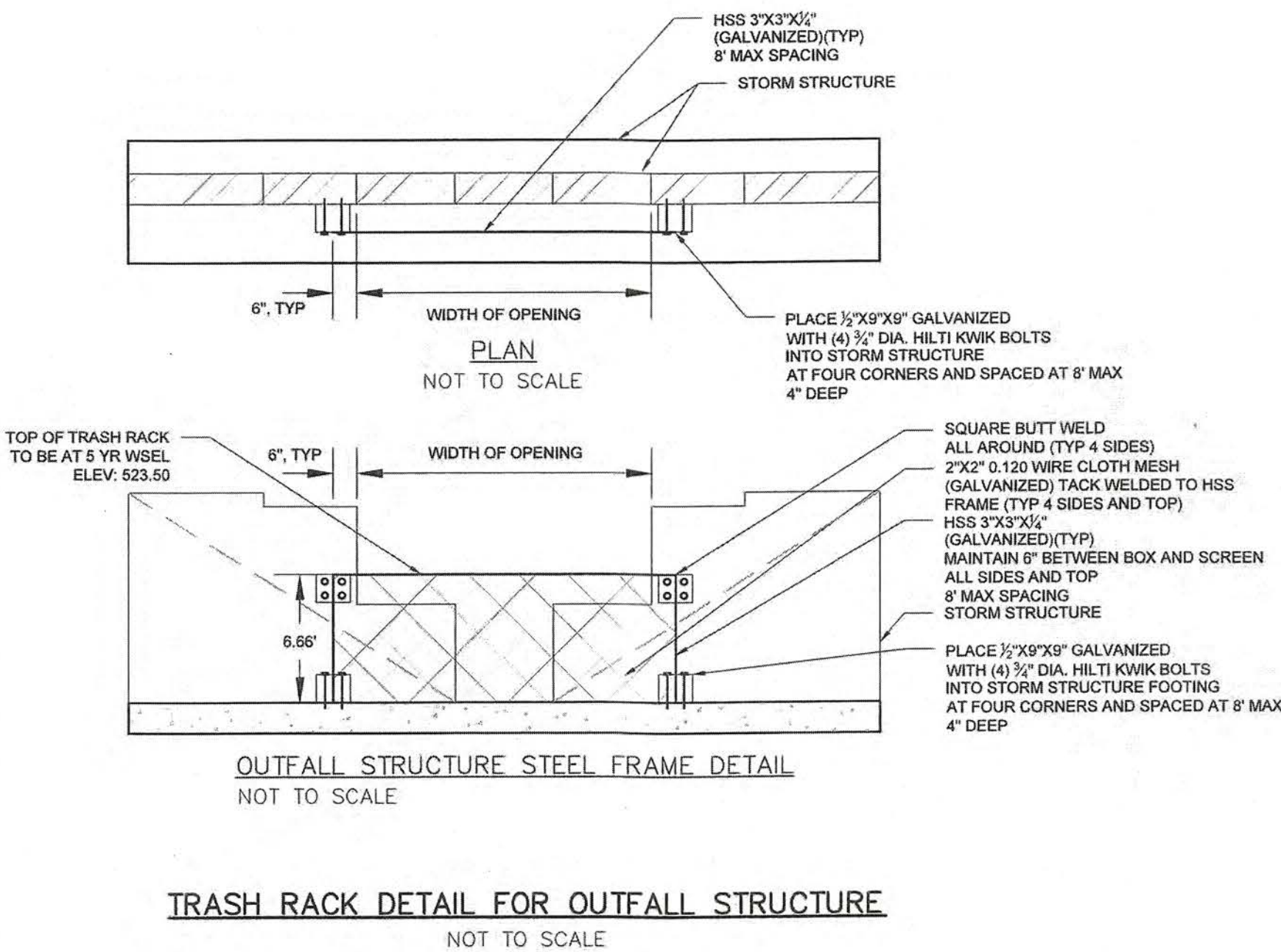
WATER DETAILS 2

SADDLE STAR SOUTH AMENITY CENTER

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

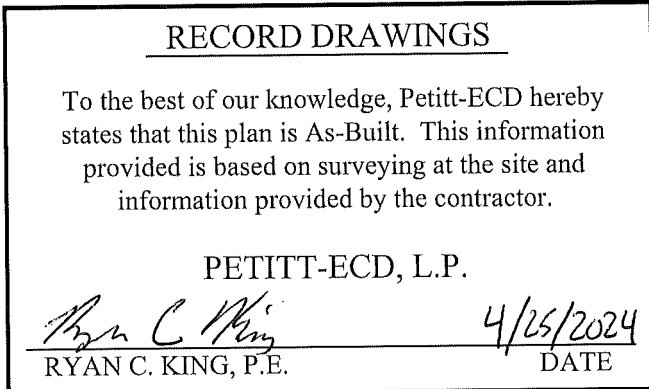
SHEET
25
OF
27

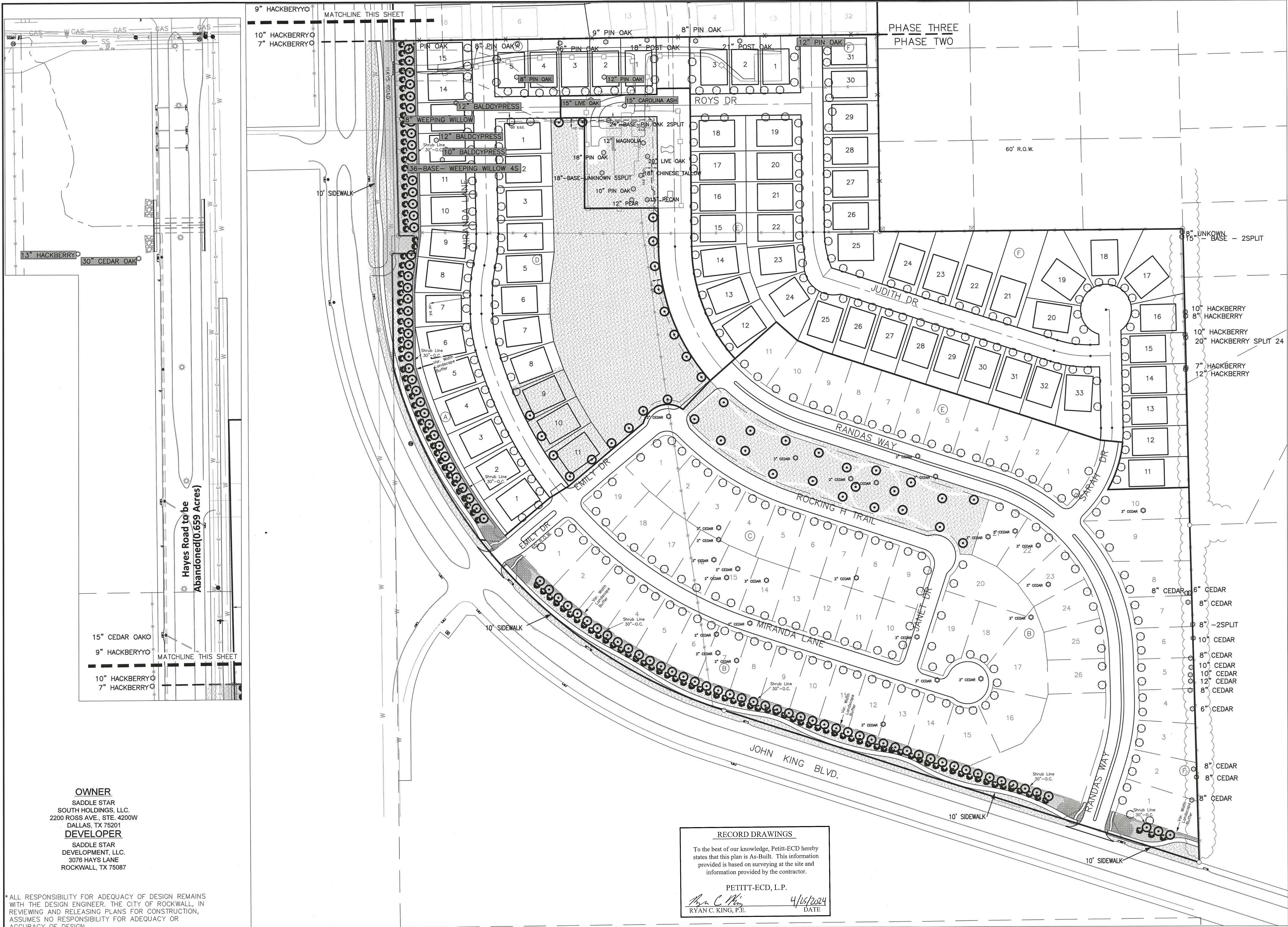




1. All materials and construction shall conform to "Standard Specifications for Public Works Construction" by North Central Texas Council of Governments(NCTCOG) most recent amendment if not covered by City of Rockwall's standards or specified on the plans.
2. Excavated material shall be disposed of by the contractor at his expense.
3. All concrete structures shall be class F (4200psi, min. 7.0 sack concrete).
No fly ash is allowed in concrete structures.

RELEASED FOR CONSTRUCTION
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DESIGN.





LEGEND

EXISTING TREE

PROPOSED 4" CANOPY TREE
(Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)

PROPOSED 3" CANOPY TREE
(Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)

PROPOSED 3" EASTERN RED CEDAR

PROPOSED 2" ORNAMENTAL TREE
(Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Grape Myrtle, Texas Mountain Laurel and Desert Willow)

- BERMUDA GRASS
- SHRUB BED
- BEE HAPPY MIX
- WHITE CRUSHED GRANITE
- TEXAS RIVER ROCK MIX

SADDLE STAR SOUTH TREES to be REPLACED

- 82 - 4" CANOPY TREE
- 316 - 3" CANOPY TREE
- 112 - 6' ACCENT TREE

1260 CALIPER INCHES

SADDLE STAR SOUTH TREES to be REMOVED

- 1 - 8" PIN OAK
- 2 - 12" PIN OAK
- 1 - 15" LIVE OAK
- 1 - 15" CAROLINA ASH
- 1 - 8" WEEPING WILLOW
- 1 - 36" WEEPING WILLOW
- 1 - 10" BALDCYPRESS
- 2 - 12" BALDCYPRESS
- 1 - 30" CEDAR ELM
- 1 - 13" HACKBERRY

183 CALIPER INCHES

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DESIGN.

OWNER
SADDLE STAR
SOUTH HOLDINGS, LLC.
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

DEVELOPER
SADDLE STAR
DEVELOPMENT, LLC.
3076 HAYS LANE
ROCKWALL, TX 75087

*ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS
WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN
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DAMAGE DURING CONSTRUCTION.

BENCHMARK:
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ELEVATION = 531.58

BM#3 (#106)
CIR'S "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO
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SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'x8' BOX
CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS
& DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

RECORD DRAWINGS
To the best of our knowledge, Pettitt-ECD hereby
states that this plan is As-Built. This information
provided is based on surveying at the site and
information provided by the contractor.

PETTITT-ECD, L.P.
Ryan C. King, P.E. 4/25/2024 DATE

REVISIONS:

DRAWN: RCK DATE: 03/10/2021

CHECKED: RKH DATE: 03/10/2021

PROJECT NO.: 06824

DWG FILE NAME: 06824 TREESCAPE.DWG

LANDSCAPE/TREE PLAN

SADDLE STAR SOUTH
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
27-B
OF
27