ENGINEERING PLANS

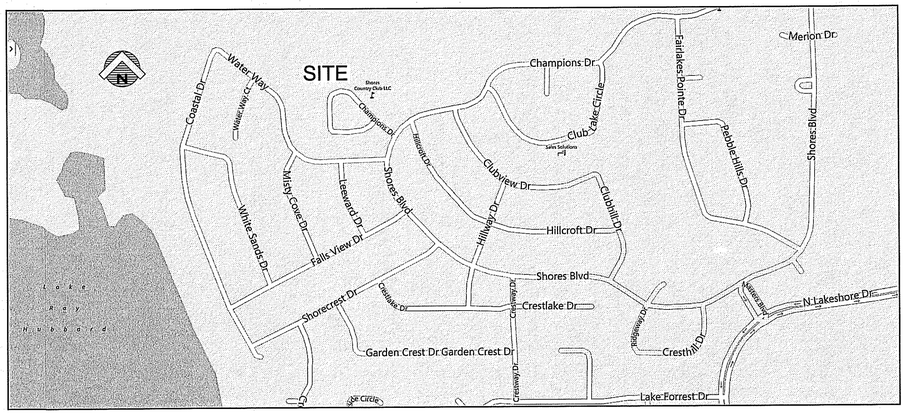
FOR

The Shores HOA CLUB HOUSE

LOT 2 - BLOCK "H" - THE SHORES CLUB HOUSE, PHASE 2

2600 CHAMPIONS DRIVE

ROCKWALL, TEXAS 75087



LOCATION MAP

1" = 1000'

GENERAL NOTE:

CONTRACTOR TO UTILIZE CITY APPROVED CONSTRUCTION PLANS FOR CONSTRUCTION OF ALL CIVIL RELATED FACILITIES. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CITY APPROVED SET AND BID SET WITH LATEST ADDENDUMS.

TABLE OF CONTENTS

OWNER

ROCKWALL GOLF AND ATHLETIC CLUB
2600 CHAMPIONS DRIVE
ROCKWALL, TEXAS 75087
972-771-0000
CONTACT: JAMES HAVEN

ARCHITECT

JOHNSON - RAMSEY
2235 RIDGE ROAD, SUITE 200
ROCKWALL, TEXAS 75087
972-771-1323

ENGINEER

GLENN ENGINEERING CORP.
105 DECKER COURT, SUITE 910
IRVING, TEXAS 75062
972-717-5151

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed — 12-03-2015 Date

Glenn Engineering Corporation

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062 FAX 972-717-2176

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

SEPTEMBER 2013

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

STATE OF TEXAS — MIKE GLENN — 85059 — LICENSED PROFESSIONAL ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 85059, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

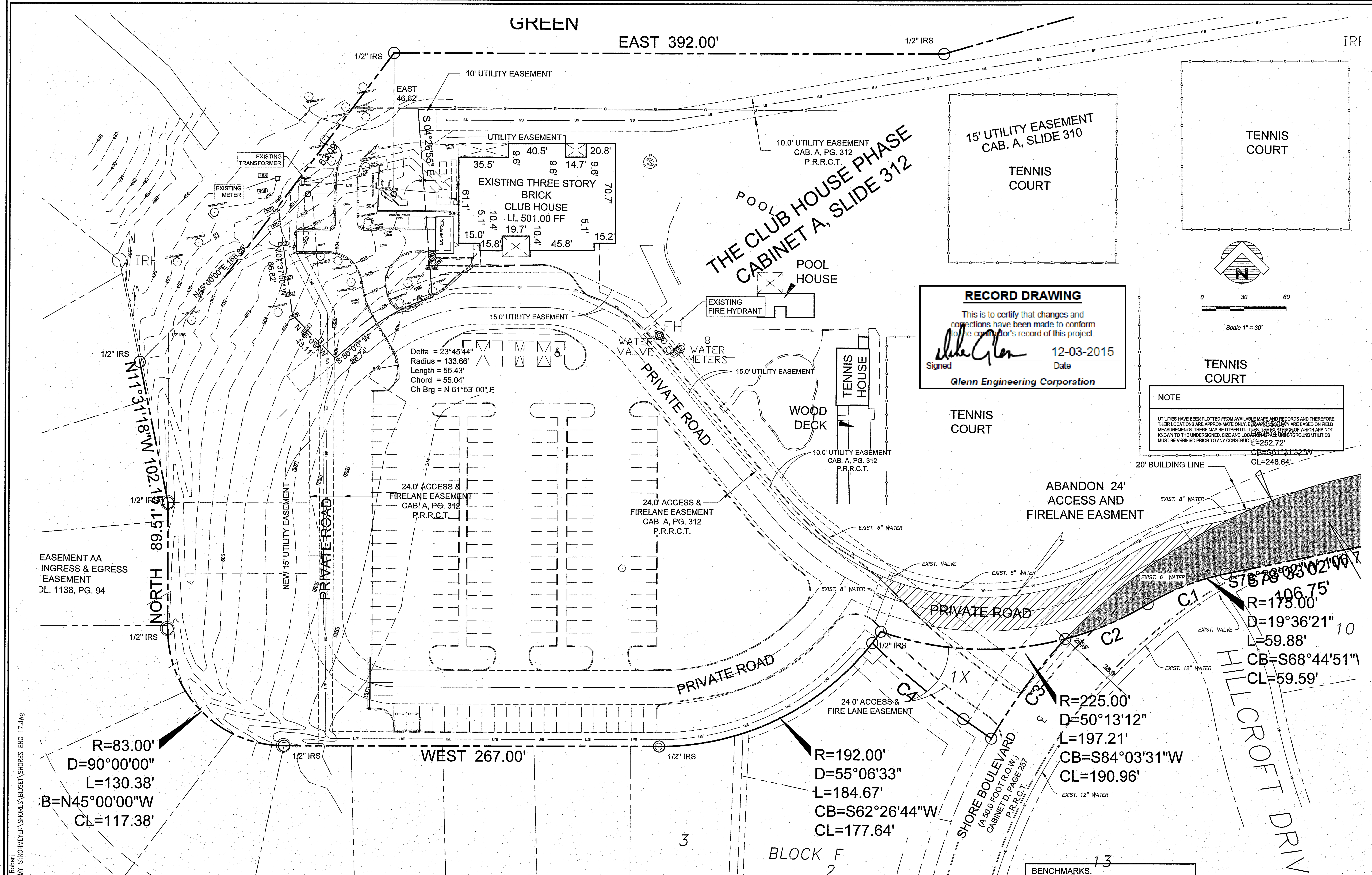
DATE 04/24/14

PROJECT 011112

C 1.01 COVER SHEET

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

Apr 24, 2014 - 4:57pm User: Robert
C:\Users\Public\Bob's Projects\JIMMY STROHMEYER\SHORES\BIDSET\SHORES ENG 17.dwg


GREEN
EAST 392.00'
1/2" IRS
10' UTILITY EASEMENT
EAST 46.62'
S 04°26'55" E
UTILITY EASEMENT
EXISTING TRANSFORMER
EXISTING METER
EXISTING THREE STORY BRICK CLUB HOUSE LL 501.00 FF
10.0' UTILITY EASEMENT CAB. A, PG. 312 P.R.R.C.T.
15' UTILITY EASEMENT CAB. A, SLIDE 310
TENNIS COURT
THE CLUB HOUSE PHASE CABINET A, SLIDE 312
POOL
POOL HOUSE
EXISTING FIRE HYDRANT
15.0' UTILITY EASEMENT
WATER VALVE
WATER METERS
Delta = 23°45'44"
Radius = 133.66'
Length = 55.43'
Chord = 55.04'
Ch Brg = N 61°53' 00" E
PRIVATE ROAD
TENNIS HOUSE
WOOD DECK
24.0' ACCESS & FIRELANE EASEMENT CAB. A, PG. 312 P.R.R.C.T.
NEW 15' UTILITY EASEMENT
EASEMENT AA INGRESS & EGRESS EASEMENT
N11°31'18"W 102.15'
NORTH 89.51'
20' BUILDING LINE
ABANDON 24' ACCESS AND FIRELANE EASMENT
EXIST. 8" WATER
EXIST. 6" WATER
EXIST. VALVE
EXIST. 12" WATER
R=405.00'
L=252.72'
CB=S61°31'32"W
CL=248.64'
S78°33'02"W 106.75'
C1
C2
C3
C4
R=175.00'
D=19°36'21"
L=59.88'
CB=S68°44'51"W
CL=59.59'
R=225.00'
D=50°13'12"
L=197.21'
CB=S84°03'31"W
CL=190.96'
R=192.00'
D=55°06'33"
L=184.67'
CB=S62°26'44"W
CL=177.64'
R=83.00'
D=90°00'00"
L=130.38'
CB=N45°00'00"W
CL=117.38'
WEST 267.00'
24.0' ACCESS & FIRE LANE EASEMENT
SHORE BOULEVARD (A 50.0 FOOT R.O.W.) CABINET D, PAGE 257 P.R.R.C.T.
HILLCROFT DRIVE
BLOCK F
BLOCK E
0 30 60
Scale 1" = 30'
N

RECORD DRAWING

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Signed: [signature] Date: 12-03-2015

Glenn Engineering Corporation

NOTE

UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE MAPS AND RECORDS AND THEREFORE. THEIR LOCATIONS ARE APPROXIMATE ONLY. ELEVATIONS SHOWN ARE BASED ON FIELD MEASUREMENTS. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS SHEET IS FOR REFERENCE ONLY

BENCHMARKS:

FINISH FLOOR OF CLUB HOUSE AT NORTH DOORS FACING GOLF COURSE. (LOWER LEVEL) ELEVATION 501.00'

BENCHMARK NO. 1:
"X" CUT SET IN CONCRETE LOCATED 117 +/- FEET WEST OF THE EXISTING BUILDING. ELEVATION - 501.31'

BENCHMARK NO. 2:
"X" CUT SET IN CONCRETE LOCATED 17.6 +/- FEET SOUTHWEST OF THE EXISTING BUILDING. ELEVATION - 491.54'

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 FAX 972-717-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

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NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

Apr 24, 2014 – 4:57pm User: Robert
C:\Users\Public\Bob's Projects\JIMMY STROHMEYER\SHORES\BIDSET\SHORES ENG 17.dwg

STATE OF TEXAS — MIKE GLENN — 35059 — REGISTERED ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35059, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

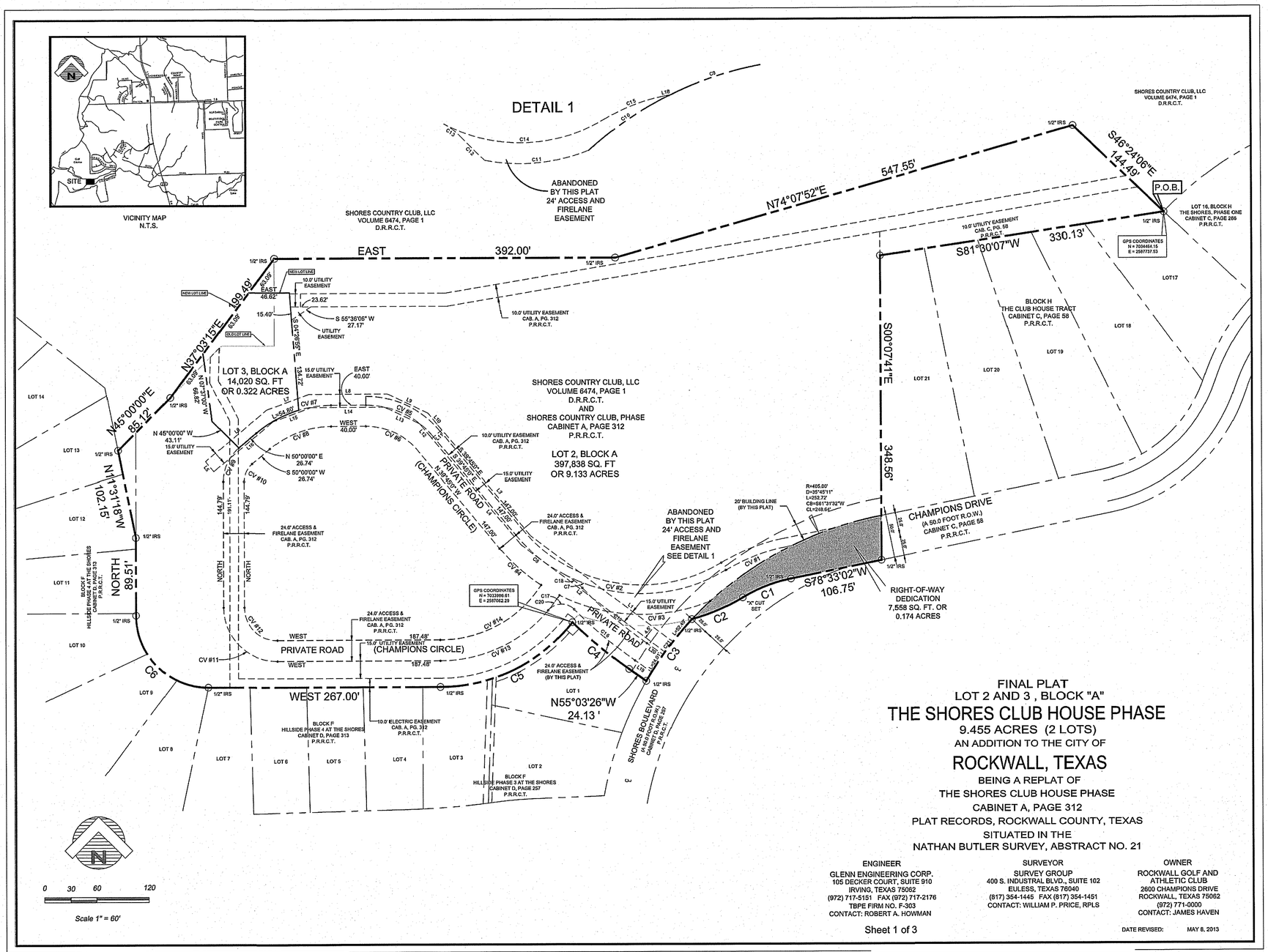
The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

DATE 04/24/14

PROJECT 011112

C 1.02 TOPOGRAPHIC SURVEY



FINAL PLAT
LOT 2 AND 3 , BLOCK "A"

THE SHORES CLUB HOUSE PHASE

9.455 ACRES (2 LOTS)
AN ADDITION TO THE CITY OF

ROCKWALL, TEXAS

BEING A REPLAT OF
THE SHORES CLUB HOUSE PHASE
CABINET A, PAGE 312
PLAT RECORDS, ROCKWALL COUNTY, TEXAS
SITUATED IN THE
NATHAN BUTLER SURVEY, ABSTRACT NO. 21

ENGINEER	SURVEYOR	OWNER
GLENN ENGINEERING CORP. 105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062 (972) 717-5151 FAX (972) 717-2176 TBPE FIRM NO. F-303 CONTACT: ROBERT A. HOWMAN	SURVEY GROUP 400 S. INDUSTRIAL BLVD., SUITE 102 EULESS, TEXAS 76040 (817) 354-1445 FAX (817) 354-1451 CONTACT: WILLIAM P. PRICE, RPLS	ROCKWALL GOLF AND ATHLETIC CLUB 2600 CHAMPIONS DRIVE ROCKWALL, TEXAS 75062 (972) 771-0000 CONTACT: JAMES HAVEN

Sheet 1 of 3

DATE REVISED: MAY 8, 2013

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed 12-03-2015 Date

Glenn Engineering Corporation

THIS SHEET IS FOR REFERENCE ONLY

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GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 105 DECKER COURT, SUITE 910
FAX 972-717-2176 IRVING, TEXAS 75062

STATE OF TEXAS
MIKE GLENN
35026
LICENSED PROFESSIONAL ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35026, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

DATE 04/24/14

PROJECT 011112

C 1.03 FINAL PLAT SHEET 1

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

Apr 24, 2014 - 5:18pm User: Robert
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OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Rockwall Golf and Athletic Club, LLC is the owner of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

Being a 9.455 acre tract of land situated in the Nathan Butler Survey, Abstract No. 21 in the City of Rockwall, Rockwall County, Texas, being a portion of that certain tract of land conveyed to Shores Country Club, LLC by deed as recorded in Volume 6474, Page 1, Deed Records, Rockwall County, Texas and being a portion of The Shores Club House Phase, Replat, an addition to the City of Rockwall, according to the plat thereof recorded in Cabinet A, Page 312, Plat Records, Rockwall County, Texas;

BEGINNING at a 1/2 inch iron rod found for corner, said point being at the northeast corner of Lot 17, Bloc H, The Club House Tract Addition, Replat, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 58, Plat Records, Rockwall County, Texas, same point being the northwest corner of Lot 16, Block H, The Shores Addition, Phase One, and addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 286, Plat Records, Rockwall County, Texas, said point also being the most easterly southeast corner of said 9.455 acre tract of land being described;

THENCE South 81 degrees 30 minutes 07 seconds West, along the common line of said The Club House Tract Addition and said 9.455 acre tract of land being described, a distance of 330.13 feet to a 1/2 inch iron rod set for corner, said point being the northwest corner of Lot 21, Block H, The Club House Tract Addition, Replat, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 58, Plat Records, Rockwall County, Texas, same point being at an el corner of said 9.455 acre tract of land being described;

THENCE South 00 degrees 07 minutes 41 seconds East, along the common line of said Lot 21, Block H and said 9.455 acre tract of land being described, a distance of 348.56 feet to a 1/2 inch iron rod set for corner, said point being the most southerly southeast corner of said 9.455 acre tract of land being described, same point being in the south line of said Champions Drive (a 50.0 foot right-of-way);

THENCE South 78 degrees 33 minutes 02 seconds West, along the south line of said 9.455 acre tract of land being described, a distance of 106.75 feet to a 1/2 inch iron rod set for corner, said point being the beginning of a curve to the left having a radius of 175.00 feet a delta angle of 19 degrees 36 minutes 21 seconds, and a chord bearing and distance of South 68 degrees 44 minutes 51 seconds West, 59.59 feet;

THENCE in a southwesterly direction along said curve to the left and along said south line of said 9.455 acre tract of land being described, an arc distance of 59.88 feet to an "X" cut set for corner, said point being at the centerline of Shores Boulevard (a 50.0 foot right-of-way), said point being the beginning of a reverse curve to the right having a radius of 225.00 feet, a delta angle of 16 degrees 14 minutes 02 seconds, and a chord bearing and distance of South 67 degrees 03 minutes 56 seconds West, 63.54 feet;

THENCE in a southwesterly direction along said curve to the right, an arc distance of 63.75 feet to a 1/2 inch iron rod set for corner, said point being in the north line of said Shores Boulevard, said point being the beginning of a curve to the left having a radius of 405.00 feet a delta angle of 12 degrees 31 minutes 28 seconds, and a chord bearing and distance of South 36 degrees 30 minutes 29 seconds West, 88.35 feet;

THENCE in a southwesterly direction along said curve to the left and along said north line of said Shores Boulevard, an arc distance of 88.53 feet to 1/2 inch iron rod set for corner, said point being the most southerly southwest corner of said 9.455 acre tract of land being described, said point being the east corner of Lot 1, Block F, Hillside Phase 3 at The Shores Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet D, Page 257, Plat Records, Rockwall County, Texas;

THENCE North 55 degrees 03 minutes 26 seconds West, departing the north line of said Shores Boulevard and along the common line of said Lot 1 and said 9.455 acre tract of land being described, a distance of 24.13 feet to a 1/2 inch iron rod set for corner, said point being the beginning of a curve to the right having a radius of 510.00 feet a delta angle of 09 degrees 30 minutes 50 seconds, and a chord bearing and distance of North 50 degrees 18 minutes 01 seconds West, 84.59 feet;

THENCE in a northwesterly direction along said curve to the right and continuing along said common line of said Lot 1 and said 9.455 acre tract of land being described, an arc distance of 84.68 feet to 1/2 inch iron rod set for corner, said point being the northeast corner of said Lot 1, Block F, same point being the beginning of a non-tangent curve to the right having a radius of 192.00 feet, a delta angle of 52 degrees 05 minutes 10 seconds, and a chord bearing and distance of South 63 degrees 57 minutes 25 seconds West, 168.59 feet;

THENCE in a southwesterly direction and along said curve to the right and along the common line of said 9.455 acre tract of land being described and said Hillside Phase 4 at The Shores Addition, an arc distance of 174.54 feet to a 1/2 inch iron rod set for corner;

THENCE South 90 degrees 00 minutes 00 seconds West, continuing along the common line of said 9.455 acre tract of land being described and said Hillside Phase 4 at The Shores Addition, a distance of 267.00 feet to a 1/2 inch iron rod set for corner, said point being in the north line of Lot 7, Block F, Hillside Phase 4 at The Shores Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet D, Page 257, Plat Records, Rockwall County, Texas, same point being the beginning of a curve to the right having a radius of 83.00 feet a delta angle of 90 degrees 00 minutes 00 seconds, and a chord bearing and distance of North 45 degrees 00 minutes 00 seconds West, 117.38 feet;

THENCE in a northwesterly direction and along said curve to the right and continuing along the common line of said 9.455 acre tract of land being described and said Hillside Phase 4 at The Shores Addition, an arc distance of 130.38 feet to a 1/2 inch iron rod set for corner;

THENCE North 00 degrees 00 minutes 00 seconds East, continuing along the common line of said 9.455 acre tract of land being described and said Hillside Phase 4 at The Shores Addition, a distance of 89.51 feet to a 1/2 inch iron rod set for corner;

THENCE North 11 degrees 31 minutes 18 seconds West, continuing along the common line of said 9.455 acre tract of land being described and said Hillside Phase 4 at The Shores Addition, a distance of 102.15 feet to a 1/2 inch iron rod set for corner, said point being the most westerly northwest corner of said The Shores Club House Phase;

THENCE North 45 degrees 00 minutes 00 seconds East, departing the east line of said Hillside Phase 4 at The Shores Addition and along the north line of said The Shores Club House Phase, a distance of 85.12 feet to a 1/2 inch iron rod set for corner;

THENCE North 37 degrees 03 minutes 15 seconds East, a distance of 199.49 feet to a 1/2 inch iron rod set for corner;

THENCE North 90 degrees 00 minutes 00 seconds East, along the north line of said The Shores Club House Phase, a distance of 392.00 feet to a 1/2 inch iron rod set for corner;

THENCE North 74 degrees 07 minutes 52 seconds East, continuing along the north line of said The Shores Club House Phase, a distance of 547.55 feet to a 1/2 inch iron rod set for corner, said point being the northeast corner of said The Shores Club House Phase;

THENCE South 46 degrees 24 minutes 06 seconds East, continuing along the north line of said The Shores Club House Phase, a distance of 144.49 feet to the POINT of BEGINNING and containing 411,858 square feet or 9.455 acre of computed land

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We Rockwall Golf and Athletic Club, LLC the undersigned owner of the land shown on this plat, and designated herein as the THE SHORES CLUB HOUSE, PHASE 2 ADDITION, REPLAT subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the THE SHORES CLUB HOUSE, PHASE 2 ADDITION, REPLAT subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

____
Owners

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ______________, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ________day of ______________, 2014

Notary Public in and for the State of Texas | *My Commission Expires:*

____
Signature of Party with Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ______________, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ________ Day of ______________,

Notary Public in and for the State of Texas | *My Commission Expires:*

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, William P. Price, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

____
William P. Price
Registered Public Surveyor No.3047

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William P. Price, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ________ Day of ______________,2014.

Notary Public in and for the State of Texas | My Commission Expires:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission | Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ________ day of ______________, 2013.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within on hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ________ day of ______________, 2014.

Mayor, City of Rockwall | City Secretary | City Engineer

NOTES:

P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS
D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY TEXAS
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCING
1. IRF - Iron Rod Found
2. IRFC - Iron Rod Found Capped
3. IRS - Iron Rod Set
4. C.M. - Controlling Monument
6. Basis of Bearing - The Basis of Bearing of this survey is N 90°00'00" East, as shown hereon, based on the north line of The Shores Club House Phase, an addition to the City of Rockwall, according to the plat thereof recorded in Cabinet A, Page 312, Plat Records, Rockwall County, Texas.

FINAL PLAT
LOT 2 AND 3 , BLOCK "A"
THE SHORES CLUB HOUSE PHASE
9.455 ACRES (2 LOTS)
AN ADDITION TO THE CITY OF
ROCKWALL, TEXAS
BEING A REPLAT OF
THE SHORES CLUB HOUSE PHASE
CABINET A, PAGE 312
PLAT RECORDS, ROCKWALL COUNTY, TEXAS
SITUATED IN THE
NATHAN BUTLER SURVEY, ABSTRACT NO. 21

ENGINEER	SURVEYOR	OWNER
GLENN ENGINEERING CORP. 105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062 (972) 717-5151 FAX (972) 717-2176 TBPE FIRM NO. F-303 CONTACT: ROBERT A. HOWMAN	SURVEY GROUP 400 S. INDUSTRAL BLVD., SUITE 102 EULESS, TEXAS 76040 (817) 354-1445 FAX (817) 354-1451 CONTACT: WILLIAM P. PRICE, RPLS	ROCKWALL GOLF AND ATHLETIC CLUB 2600 CHAMPIONS DRIVE ROCKWALL, TEXAS 75062 (972) 771-0000 CONTACT: JAMES HAVEN

Sheet 2 of 3

DATE REVISED: MAY 8, 2013

RECORD DRAWING

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Signed | 12-03-2015 Date

Glenn Engineering Corporation

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GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 FAX 972-717-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

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STATE OF TEXAS
MIKE GLENN
The seal appearing on this document was authorized by Mike Glenn, P.E. 35059, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

CASE # SP 2013-018

DATE 04/24/14

PROJECT 011112

C1.04
FINAL PLAT
SHEET 2

Apr 24, 2014 - 5:18pm User: Robert
C:\Users\Public\Bob's Projects\JIMMY STROHMEYER\SHORES\BIDSET\SHORES ENG 17.dwg

CURVE TABLE					
C=	R=	L=	D=	CB=	CL=
C1	R=175.00'	L=59.88'	D=19°36'21"	CB=S68°44'51"W	CL=59.59
C2	R=225.00'	L=63.75'	D=16°14'02"	CB=S67°03'56"W	CL=63.54
C3	R=405.00'	L=88.53'	D=12°31'28"	CB=S36°30'29"W	CL=88.35
C4	R=510.00'	L=84.69'	D=9°30'51"	CB=N50°18'01"W	CL=84.59
C5	R=192.00'	L=174.54'	D=52°05'10"	CB=S63°57'25"W	CL=168.59
C6	R=83.00'	L=130.38'	D=90°00'00"	CB=N45°00'00"W	CL=117.38
C7	R=188.00'	L=15.00'	D=4°34'22"	CB=S69°13'52"E	CL=15.00
C8	R=188.00'	L=73.56'	D=22°25'02"	CB=S50°57'14"E	CL=73.09
C9	R=405.00'	L=109.10'	D=15°26'05"	CB=S71°41'04"W	CL=108.77
C10	R=405.00'	L=113.94'	D=16°07'11"	CB=S55°54'26"W	CL=113.57
C11	R=212.00'	L=121.82'	D=32°55'25"	CB=S84°38'35"W	CL=120.15
C12	R=474.00'	L=38.30'	D=4°37'45"	CB=N45°31'42"W	CL=38.29
C13	R=75.00'	L=24.80'	D=18°56'54"	CB=N52°41'17"W	CL=24.69
C14	R=188.00'	L=193.23'	D=58°53'21"	CB=N88°23'36"E	CL=184.83
C15	R=212.00'	L=72.54'	D=19°36'21"	CB=N68°44'52"E	CL=72.19
C16	R=498.00'	L=91.62'	D=10°32'29"	CB=N49°47'12"W	CL=91.49
C17	R=20.00'	L=33.31'	D=95°25'36"	CB=S87°46'14"W	CL=29.59
C18	R=75.00'	L=24.80'	D=18°56'54"	CB=S52°41'17"E	CL=24.69
C19	R=474.00'	L=97.98'	D=11°50'36"	CB=S49°08'08"E	CL=97.80
C20	R=162.00'	L=21.44'	D=7°35'04"	CB=N36°15'54"E	CL=21.43
C21	R=405.00'	L=15.00'	D=02°07'20"	CB=N36°54'22"W	CL=15.00

LINE TABLE		
LINE	LENGTH	BEARING
L1	204.57	S53°05'38"E
L2	206.32	N53°05'38"W
L3	164.98	S39°45'00"E
L4	166.74	N39°45'00"W
L5	15.00	N40°00'00"W
L6	91.94	N50°00'00"E
L7	51.53	N70°00'00"E
L8	90.68	N90°00'00"E
L9	51.33	S64°52'30"E
L10	25.04	S39°45'00"E
L11	15.00	S50°15'00"W
L12	21.69	N39°45'00"W
L13	44.65	N64°52'30"W
L14	84.69	S90°00'00"W
L15	46.24	S70°00'00"W
L16	89.30	S50°00'00"W
L17	28.12	N20°46'08"E
L18	8.77	S78°33'02"W
L19	23.33	S55°03'26"E
L20	22.78	S55°03'26"E

PRIVATE ROAD CURVE TABLE

CV #1
Delta = 19°36'21"
Radius = 212.00
Length = 72.54
Chord = 72.19
Ch Brg = N 68°44'52" E

CV #2
Delta = 81°18'21"
Radius = 188.00
Length = 266.78
Chord = 245.95
Ch Brg = S 80°23'55" E

CV #3
Delta = 48°20'57"
Radius = 212.00'
Length = 178.90'
Chord = 173.64'
Ch Brg = N 87°38'39" W

CV #4
Delta = 17°13'32"
Radius = 212.00'
Length = 63.74'
Chord = 63.50'
Ch Brg = S 48°21'30" E

CV #5
Delta = 50°15'00"
Radius = 101.22'
Length = 88.77
Chord = 85.95'
Ch Brg = S 64°52'30" E

CV #6
Delta = 50°15'00"
Radius = 77.22'
Length = 67.72'
Chord = 65.57'
Ch Brg = S 64°52'30" E

CV # 7
Delta = 40°0000"
Radius = 133.66'
Length = 93.31'
Chord = 91.43'
Ch Brg = N 70°00'00" E

CV #8
Delta = 40°00'00"
Radius = 109.66'
Length = 76.56'
Chord = 75.01'
Ch Brg = N 70°00'00" E

CV #9
Delta = 50°00'00"
Radius = 50.60'
Length = 44.16'
Chord = 42.77'
Ch Brg = N 25°00'00" E

CV #10
Delta = 50°00'00"
Radius = 26.60'
Length = 23.21'
Chord = 22.48'
Ch Brg = N 25°00'00" E

CV #11
Delta = 90°00'00"
Radius = 62.00'
Length = 97.39'
Chord = 87.69'
Ch Brg = N 45°0'0" W

CV # 12
Delta = 90°00'00"
Radius = 38.00'
Length = 59.69'
Chord = 53.74'
Ch Brg = N 45°00'00" W

CV #13
Delta = 57°31'38"
Radius = 162.00
Length = 162.65
Chord = 155.91
Ch Brg = S 61d14'11" W

CV #14
Delta = 57°03'30"
Radius = 138.00'
Length = 137.43'
Chord = 131.82'
Ch Brg = S 61°28'15" W

FINAL PLAT
LOT 2 AND 3 , BLOCK "A"
THE SHORES CLUB HOUSE PHASE
9.455 ACRES (2 LOTS)
AN ADDITION TO THE CITY OF
ROCKWALL, TEXAS
BEING A REPLAT OF
THE SHORES CLUB HOUSE PHASE
CABINET A, PAGE 312
PLAT RECORDS, ROCKWALL COUNTY, TEXAS
SITUATED IN THE
NATHAN BUTLER SURVEY, ABSTRACT NO. 21

ENGINEER
GLENN ENGINEERING CORP.
105 DECKER COURT, SUITE 910
IRVING, TEXAS 75062
(972) 717-5151 FAX (972) 717-2176
TBPE FIRM NO. F-303
CONTACT: ROBERT A. HOWMAN

SURVEYOR
SURVEY GROUP
400 S. INDUSTRAL BLVD., SUITE 102
EULESS, TEXAS 76040
(817) 354-1445 FAX (817) 354-1451
CONTACT: WILLIAM P. PRICE, RPLS

OWNER
ROCKWALL GOLF AND ATHLETIC CLUB
2600 CHAMPIONS DRIVE
ROCKWALL, TEXAS 75062
(972) 771-0000
CONTACT: JAMES HAVEN

DATE REVISED: MAY 8, 2013

THIS SHEET IS FOR REFERENCE ONLY

RECORD DRAWING
This is to certify that changes and corrections have been made to conform to the contractor's record of this project.
Signed 12-03-2015 Date
Glenn Engineering Corporation

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151, 105 DECKER COURT, SUITE 910 — FAX 972-717-2176, IRVING, TEXAS 75062

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

DATE
04/24/14

PROJECT
011112

C 1.05
FINIAL PLAT
SHEET 3

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

Apr 24, 2014 – 5:18pm User: Robert
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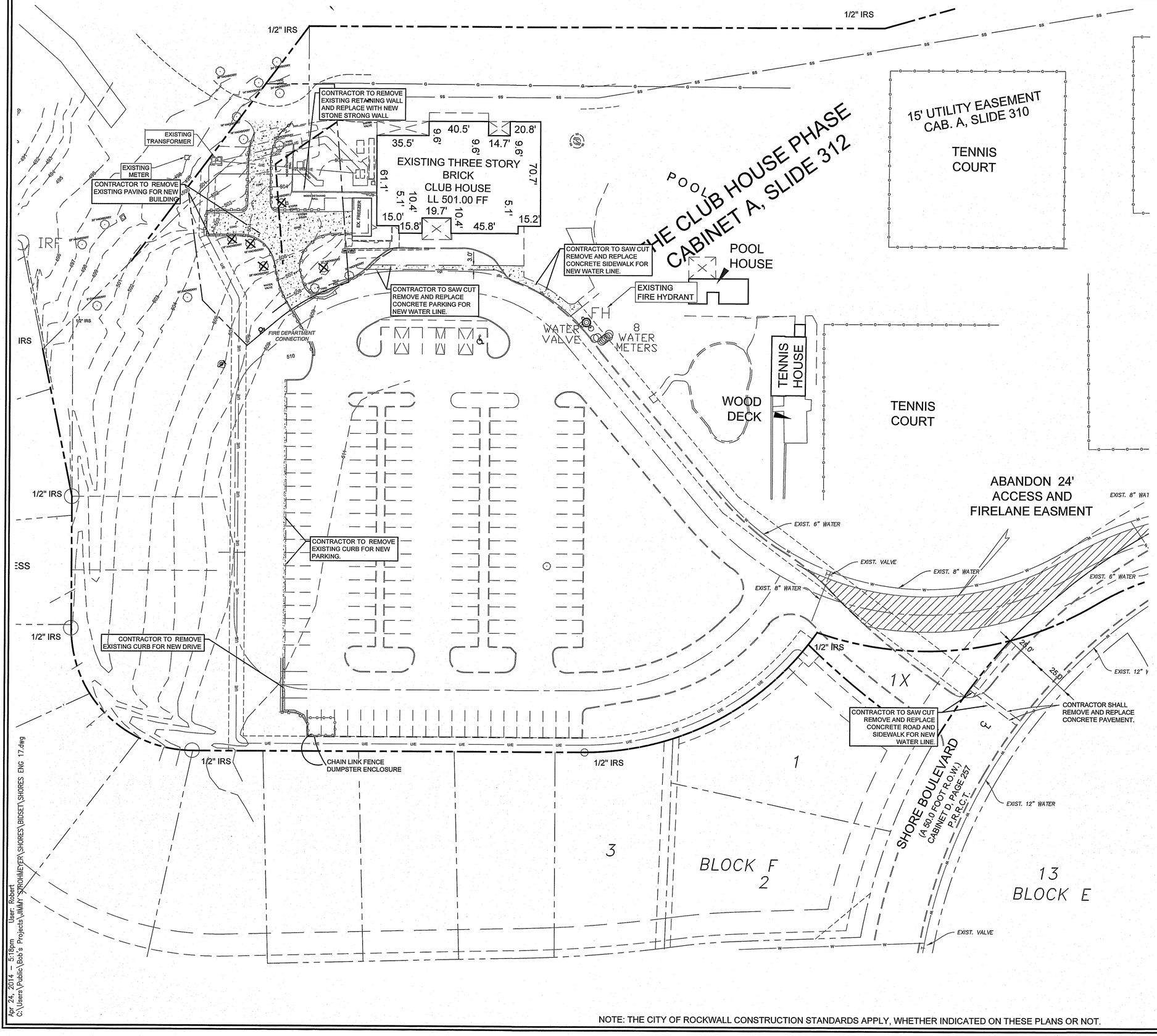

DEMOLITION NOTES:

1. CONTRACTOR SHALL CONSULT ALL UTILITY COMPANIES AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DEMOLITION. REMOVAL AND RELOCATION OF ALL UTILITY LINES, METERS, VALVES, ETC. SHALL BE PERFORMED PER REQUIREMENTS OF THE CITY OF ROCKWALL & UTILITY COMPANIES. ANY DAMAGE TO PUBLIC UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
2. ALL DEMOLITION AND CONSTRUCTION TO BE KEPT WITHIN THE BOUNDARIES OF THE SITE OR AS DESIGNATED BY CONSTRUCTION ENGINEER. ANY DAMAGE BY CONTRACTOR TO ADJOINING PROPERTIES OR ITEMS NOT IN THE DESIGNATED DEMOLITION AREA SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
3. REMOVE SURFACE PAVING AS NEEDED TO COMPLETE PAVING PLAN.
4. REMOVE EXISTING SIGNAGE, INCLUDING POSTS AND FOUNDATIONS.
5. REMOVE ANY OTHER ITEMS NOT INDICATED ABOVE BUT WHICH MUST BE DEMOLISHED TO COMPLETE PROJECT AS DESIGNATED BY SITE PLAN.

SPRINKLER NOTES:

NOTE:

Contractor shall terminate/cap off all irrigation lines as required. The Contractor is responsible for making all necessary changes to the irrigation system that are required to keep the remaining areas outside the construction areas in working order. This includes relocation of any valves, piping, controls, etc. to operate the system.

At the completion of the construction project, this contractor is responsible for installation of an irrigation system throughout the areas that were involved in the construction. Equipment installed shall be the same as that which was removed. Owner will provide the equipment that was removed to the contractor. Any additional equipment required will be by the contractor.

DEMOLITION LEGEND:

- EXISTING CONCRETE TO BE REMOVED AND HAULED OFF
- 14" Oak — EXISTING TREE TO BE REMOVED AND HAULED OFF

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed — Date: 12-03-2015

Glenn Engineering Corporation

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151, 105 DECKER COURT, SUITE 910, IRVING, TEXAS 75062
FAX 972-717-2176

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

STATE OF TEXAS — MIKE GLENN — 35058 — REGISTERED ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35058, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

DATE 04/24/14

PROJECT 011112

CD 1.01 DEMOLITION PLAN

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

Apr 24, 2014 - 5:18pm User: Robert
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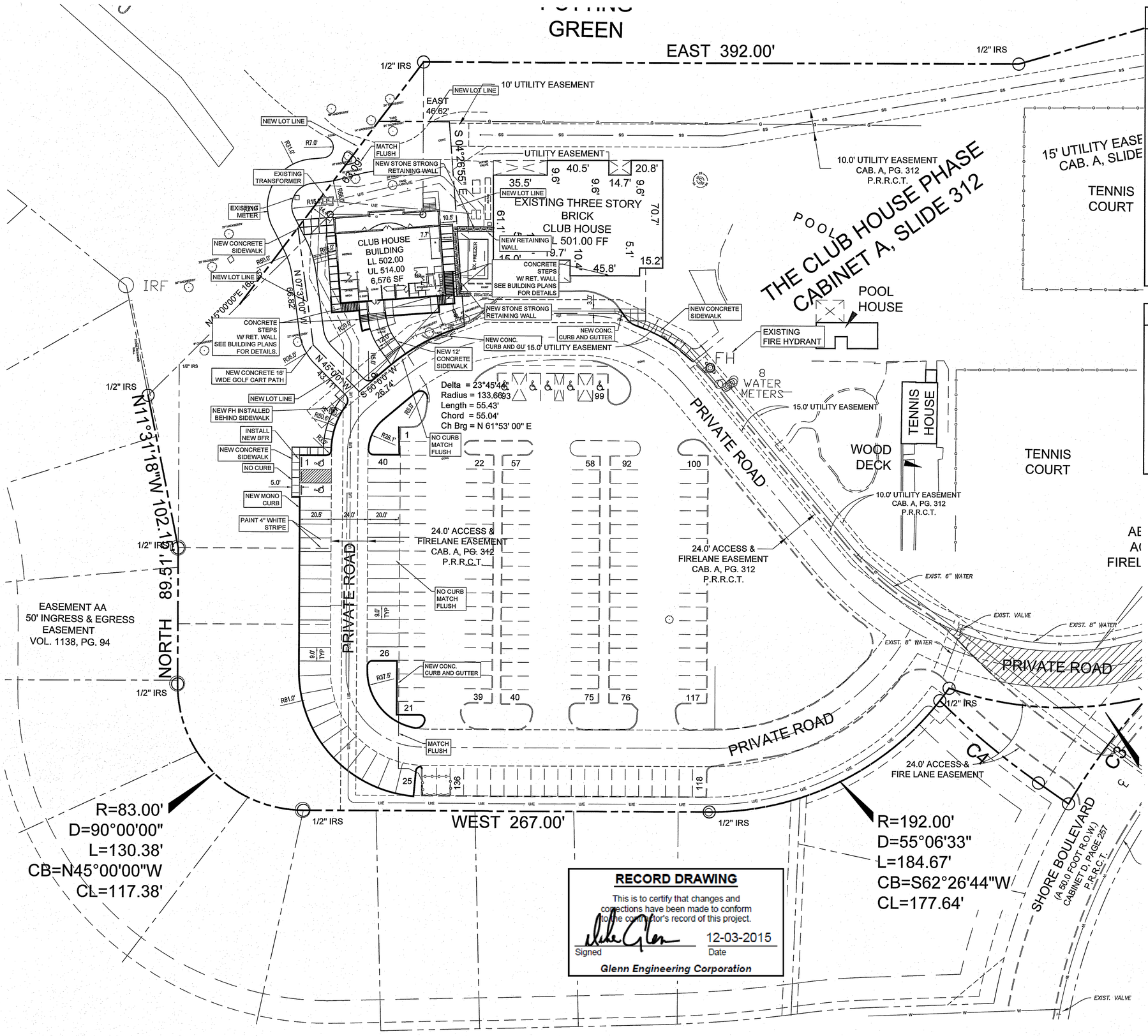


GENERAL NOTES:

1. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY'S SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.

2. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.

3. ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS AND N.C.T.C.O.G., 3rd ADDITION.

4. IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.

5. IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.

6. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.

GENERAL NOTES:

1. STRIPING & SIGNAGE DIMENSIONS ARE FROM FACE OF CURB.

2. CONCRETE SIDEWALKS SHALL BE A MINIMUM OF 4 INCHES THICK, CONSTRUCTED OF 3,600 PSI, 6.5 SACK MIX, 28 DAYS CONCRETE WITH 4-6% ENTRAINED AIR AND REINFORCED WITH #3 BARS AT 18" O.C.E.W. TOOLED CONSTRUCTION JOINTS SHALL BE 5'-0" O.C. ONE-HALF INCH EXPANSION JOINTS SHALL BE PLACED EVERY 40 FEET AND WHERE NEW WORK IS CONSTRUCTED ADJACENT TO OTHER CONCRETE WORK (WALLS, FOUNDATION, CURB, ETC.). THE JOINTS SHALL BE FILLED WITH 1/2-INCH PRE-MOLDED GRAY BITUMINOUS EXPANSION JOINT FILLER AND SHALL EXTEND THE ENTIRE DEPTH AND WIDTH OF THE CONCRETE SECTION. ALL HC RAMPS TO BE TRUNCATED DOME PLATES, COLOR TO MATCH CITY SPECIFICATIONS.

FINISH OF SIDEWALKS SHALL BE WITH A BROOM FINISH PER ENGINEER WALKS SHALL HAVE TOOLED CURB EDGES.

3. ANY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR TO MEET OR EXCEED EXISTING CONDITIONS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING THE PLANS FOR CONSTRUCTIONS, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN"

CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND ELEVATIONS PRIOR TO CONSTRUCTION.

ZONING
ZONED PD-3

BUILDING DATA
2 - STORY
MAX. BUILDING HIEGHT - 28'-0"
TOTAL SQUARE FEET (BOTH FLOORS) - 6,576 SF
USE - CLUB HOUSE

N

0 30 60

Scale 1" = 30'

LOT 2 LAND COVERAGE 0.32 ACRES		
TOTAL LAND AREA	14,020 S.F.	
OPEN SPACE	5,916 S.F.	42.2 PERCENT
BUILDING FOOTPRINT	6,576 S.F.	46.9 PERCENT
PAVING AND WALKS	1,528 S.F.	10.9 PERCENT

IMPERVIOUS CALCULATION	
BUILDING, SIDEWALKS AND PAVING	8,104 SF
EXISTING CART PATH (TO BE REMOVED)	3,601 SF
NET IMPERVIOUS AREA ADDED	4,503 SF. OR 0.10 AC.

PARKING TABULATIONS PROVIDED	
EXISTING	
PARKING PROVIDED = VISITOR/STAFF REGULAR (9' X 18.0')	131
VISITOR/STAFF HANDICAP	+ 5
EXISTING PARKING PROVIDED	136
PROPOSED	
PARKING PROVIDED = VISITOR/STAFF REGULAR (9' X 18.0')	38
VISITOR/STAFF HANDICAP	+ 2
PRPOSED PARKING PROVIDED	40
TOTAL PARKING PROVIDED	176

SP2013 - 018

RECORD DRAWING
This is to certify that changes and corrections have been made to conform to the contractor's record of this project.
Signed 12-03-2015 Date
Glenn Engineering Corporation

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-772-5151 FAX 972-772-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

STATE OF TEXAS
MIKE GLENN
35099
REGISTERED
PROFESSIONAL
ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35099, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

DATE 04/24/14

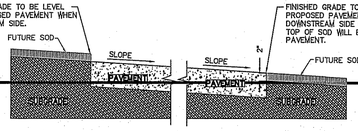
PROJECT 011112

CS 1.01 SITE PLAN

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

Apr 24, 2014 – 5:18pm User: Robert
C:\Users\Public\Bob's Projects\JIMMY STROHMEYER\SHORES\BIDSET\SHORES ENG 17.dwg

ALL FILL MATERIAL PLACED EITHER ON-SITE OR OFF-SITE SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN 8 INCH LIFTS PER GEOTECHNICAL REPORT. USING A SHEEP'S FOOT ROLLER.



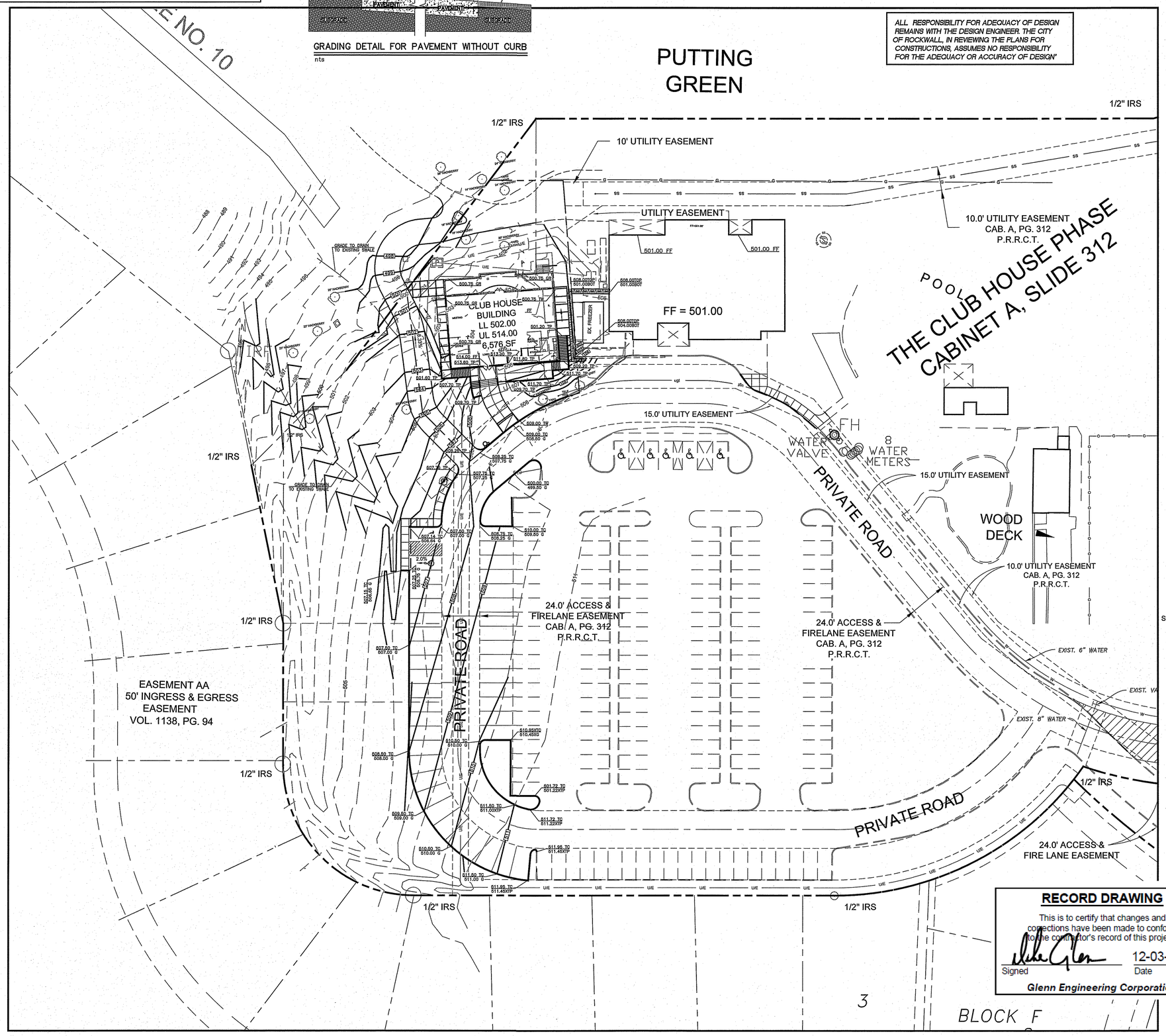
GRADING DETAIL FOR PAVEMENT WITHOUT CURB

nts

ALL CONSTRUCTION SHALL BE PER CITY OF ROCKWALL STANDARDS

CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND ELEVATIONS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING THE PLANS FOR CONSTRUCTIONS, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN'

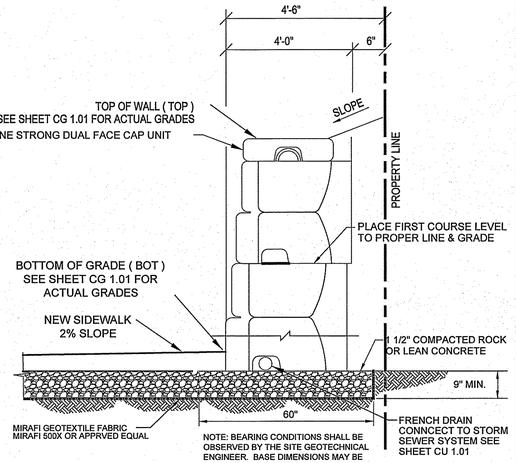


GENERAL GRADING AND DRAINAGE NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND CITY OF ROCKWALL STANDARDS AND SPECIFICATIONS AND N.C.T.C.O.G.,. 3RD EDITION.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
4. IN THE EVENT AN ITEM IS NOT COVERED IN THE CITY OF ROCKWALL SPECIFICATIONS, THE CITY ENGINEER'S DECISION SHALL APPLY.
5. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS".
6. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT AND PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, IMMEDIATELY NOTIFY ENGINEER. MINOR ADJUSTMENTS OF FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL 'FLUSH OUT' AT ANY JUNCTURE WITH EXISTING PAVING.
7. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION.
8. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
9. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND/OR ESTABLISH A BENCHMARK (BASE UPON EXISTING CONDITION SHOWN ON THIS PLAN) PRIOR TO CONSTRUCTION.
11. AT ALL DOORWAYS CONCRETE SIDEWALK SHALL MEET FLUSH WITH FOUNDATION SLAB AND MEET ALL ADA AND TDLR REQUIREMENTS.
12. ALL EXISTING UTILITIES SHALL BE ADJUSTED BY THE CONTRACTOR DUE TO CONSTRUCTION.

LEGEND

756.40 TW	= PROPOSED TOP OF WALK
753.80 TP	= PROPOSED TOP OF PAVEMENT
754.00 TC	= PROPOSED TOP OF CURB
753.50 GR	= PROPOSED TOP OF GROUND
757.00 TS	= PROPOSED TOP OF SLAB
750	= EXISTING CONTOUR
435.77XGR	= EXISTING SHOTS
435.77XTI	= EXISTING TOP INLET
435.77XTC	= EXISTING TOP CURB
	= DIRECTION OF FLOW



BIG BLOCK RETAINING WALL SYSTEM

STONE STRONG - PRECAST MODULAR BLOCK RETAINING WALL SYSTEM

NOT TO SCALE

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed — 12-03-2015 Date

Glenn Engineering Corporation

GLENN ENGINEERING

TEXAS REGISTRATION NUMBER: F-303

PHONE 972-717-5151, 105 DECKER COURT, SUITE 910, IRVING, TEXAS 75062, FAX 972-717-2176

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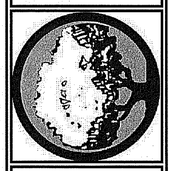
STATE OF TEXAS — MIKE GLENN — 95006 — LICENSED PROFESSIONAL ENGINEER

The seal appearing on this document was authorized by Mike Glenn, P.E. 95006, on APRIL 24, 2014

JOHNSTON-RAMSAY

ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087



The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

DATE 04/24/14

PROJECT 011112

CG 1.01 GRADING PLAN

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

Apr 24, 2014 - 5:18pm User: Robert
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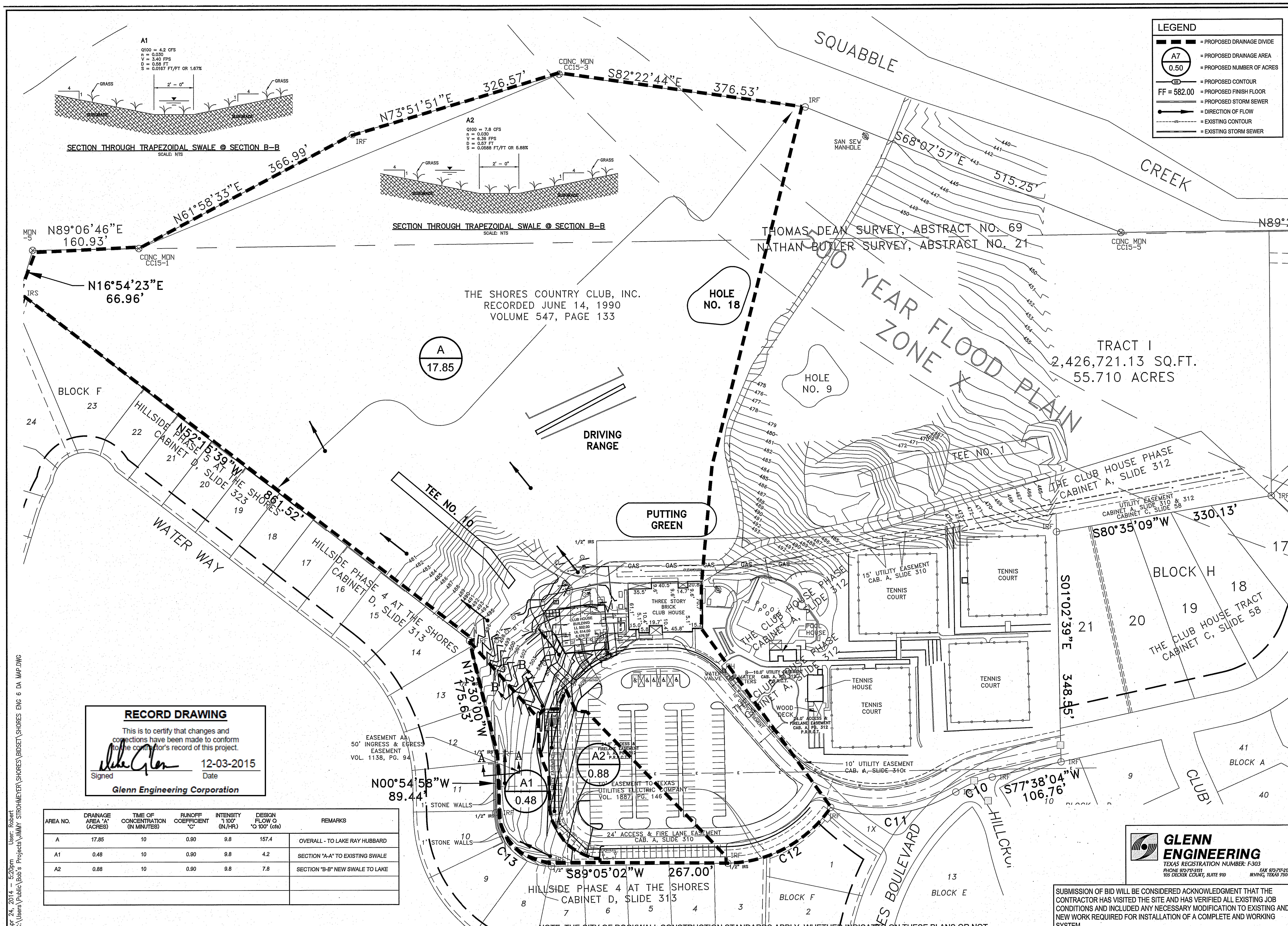

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Signed [signature] Date 12-03-2015

Glenn Engineering Corporation

AREA NO.	DRAINAGE AREA "A" (ACRES)	TIME OF CONCENTRATION (IN MINUTES)	RUNOFF COEFFICIENT "C"	INTENSITY "I 100" (IN./HR.)	DESIGN FLOW Q "Q 100" (cfs)	REMARKS
A	17.85	10	0.90	9.8	157.4	OVERALL - TO LAKE RAY HUBBARD
A1	0.48	10	0.90	9.8	4.2	SECTION "A-A" TO EXISTING SWALE
A2	0.88	10	0.90	9.8	7.8	SECTION "B-B" NEW SWALE TO LAKE

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

Apr 24, 2014 – 5:20pm User: Robert
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SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 FAX 972-717-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

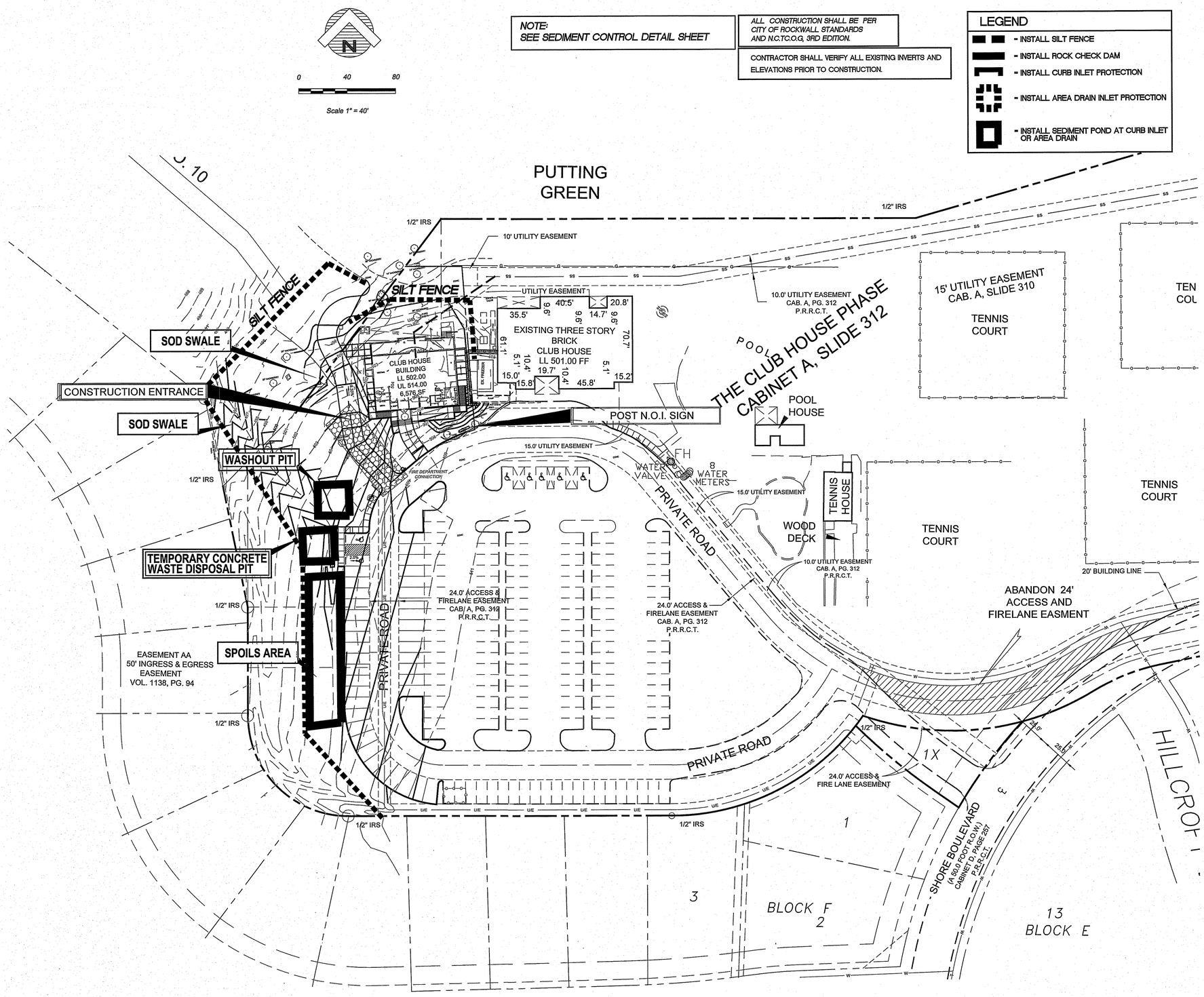
The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

DATE
04/24/14

PROJECT
011112

CG 1.02
DRAINAGE AREA MAP



SEDIMENT CONTROL NOTES

1. CONTRACTOR TO CHOOSE LOCATION OF CONSTRUCTION ENTRANCE. THIS ENTRANCE MUST BE USED BY ALL TRAFFIC ENTERING OR EXITING THE SITE. SEE SHEET FOR STABILIZED CONSTRUCTION ENTRANCE DETAILS.
2. SEDIMENT CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO THE CONTRACT DOCUMENTS AND AS DIRECTED BY THE ENGINEER. ALL DEVICES SHALL BE MAINTAINED SUCH THAT THEY FUNCTION AS INTENDED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
3. CURB INLET PROTECTION SHALL BE INSTALLED AS SOON AS STORM DRAINAGE HAS BEEN CONSTRUCTED.
4. PLYWOOD INLET PROTECTION TO BE PLACED AT UPSTREAM END OF ALL UNFINISHED PIPING AT DAYS END.
5. ALL SEDIMENT CONTROL MEASURES TO REMAIN IN PLACE UNTIL ENTIRE SITE IS STABILIZED.
6. THE EXTENT AND DURATION OF DISTURBANCE TO THE DRAINAGEWAYS SHALL BE MINIMIZED. THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED:
   - A. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
   - B. INSTALL SILT FENCE PRIOR TO DISTURBING SOIL. PERIMETER SILT FENCE TO BE INSTALLED OUTSIDE OF ANY POINT TO BE DISTURBED.
   - C. DURING CONSTRUCTION, INLET PROTECTION SHALL BE INSTALLED AS NEEDED. ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED PER CONTRACT REQUIREMENTS. ALL DISTURBED AREAS WHICH ARE INACTIVE FOR LONG PERIODS OF TIME SHALL BE VEGETATED.
   - D. ONLY WHEN ENTIRE SITE IS STABILIZED AND CONSTRUCTION IS COMPLETED, SHALL SEDIMENT CONTROL MEASURES BE REMOVED.
7. CONTRACTOR SHALL CONTROL MUD ACCUMULATION ON ALL STREETS SURROUNDING THE PROJECT. NO MUD ACCUMULATION WILL BE ALLOWED IN PUBLIC STREETS.
8. MAINTAIN ALL FILTERS DURING CONSTRUCTION TO PREVENT ANY BLOCKAGES FROM ACCUMULATED SEDIMENT. ADDITIONAL HAY BALES MAY BE REQUIRED DURING CONSTRUCTION AS SPECIFIED BY ENGINEER OR CITY INSPECTOR.
9. ALL PROPOSED PARKING AREAS TO BE PAVED AS SOON AS POSSIBLE AFTER SUBGRADE IS PREPARED.
10. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS ONLY WHEN THERE IS A SUFFICIENT GROWTH OF GROUND COVER TO PREVENT FURTHER EROSION.
11. GROUND COVER (VEGETATION) SHALL BE ESTABLISHED IMMEDIATELY UPON ESTABLISHING FINAL GRADE AT ANY LOCATION.
12. ALL POSSIBLE EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE ANY OTHER LAND DISTURBING ACTIVITY OCCURS.
13. 75% - 80% OF ALL DISTURBED AREAS TO HAVE A MINIMUM OF 1" STAND OF GRASS PRIOR TO ENGINEERING ACCEPTANCE.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING THE PLANS FOR CONSTRUCTIONS, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed 12-03-2015 Date

Glenn Engineering Corporation

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-775-5151
105 DECKER COURT, SUITE 910
FAX 972-719-2176
IRVING, TEXAS 75062

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

STATE OF TEXAS
MIKE GLENN
35026
The seal appearing on this document was authorized by Mike Glenn, P.E. 35026, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

DATE 04/24/14

PROJECT 011112

CG 1.03 SWPPP PLAN

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SITE DESCRIPTION

PROJECT NAME & LOCATION: THE SHORES HOMEOWNERS ASSOC.
2501 CHAMPION DRIVE
ROCKWALL, TEXAS 75087

OWNER NAME & ADDRESS: ROCKWALL GOLF AND ATHLETIC CLUB
2501 CHAMPION DRIVE
ROCKWALL, TEXAS 75087

PROJECT DESCRIPTION: NEW CLUB HOUSE BUILDING

SEQUENCE OF MAJOR ACTIVITIES: PLACEMENT OF EROSION CONTROL DEVICES
DENUDE SITE
INSTALLATION OF UTILITY LINES

PLACEMENT OF CONCRETE PAVEMENT

PLACEMENT OF LANDSCAPE AND GRASS
REMOVAL OF EROSION CONTROL DEVICES

MAJOR SOIL DISTURBING ACTIVITIES: DENUDE SITE
INSTALLATION OF UTILITY LINES
PLACEMENT OF LANDSCAPE AND GRASS

PRE-DEVELOPMENT RUNOFF COEFFICIENT: 0.70

FINAL RUNOFF COEFFICIENT AFTER CONSTRUCTION: 0.90

TOTAL PROJECT AREA: 0.32 ACRES

TOTAL AREA TO BE DISTURBED: 0.58 ACRES

DESCRIPTION OF EXISTING SOIL: CLAY SOILS

DESCRIPTION OF STABILIZATION OF EXISTING DRAINAGE WAYS:
SILT FENCE
INLET PROTECTION

DESCRIPTION OF EXISTING QUALITY OF STORM WATER DISCHARGE FOR SITE (IF AVAILABLE):

NAME OF RECEIVING WATERS:
ON-SITE SWALE
LAKE RAY HUBBARD

ADDITIONAL COMMENTS:

ESTIMATED PROJECT START DATE: MARCH 2014

ESTIMATED PROJECT END DATE: NOVEMBER 2014

SEQUENCE AND TIMING OF INDICATED EROSION CONTROL PRACTICES AND/OR FEATURES
(INCLUDE TREATMENT OF STOCKPILED DIRT FOR FUTURE USE)

PRIOR TO STARTING CONSTRUCTION:
PLACEMENT OF SILT FENCES
INSTALLATION OF INLET PROTECTION FOR STREET INLETS

DURING CONSTRUCTION:
INSPECTION AND MAINTENANCE OF SILT FENCES
INSTALLATION OF INLET PROTECTION FOR ON-SITE PAVING

COMPLETION OF SITE:
INSTALLATION OF LANDSCAPE AND GRASS
REMOVAL OF EROSION CONTROL DEVICES

SITE RATING FACTOR UTILIZING INDICATED EROSION CONTROL & MEASURES = 0.70
(MUST BE 0.70 OR LARGER)

EROSION AND SEDIMENT CONTROLS

MAINTENANCE/INSPECTION PROCEDURES

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A RAIN GAUGE UTILIZING MIN. 0.1 INCHES INCREMENTS AT THE PROJECT SITE.
2. CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OF 0.5 INCH OR GREATER. IF A REPAIR IS NECESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE DATE.
3. INSPECTION WILL BE PERFORMED BY THE OWNERS REPRESENTATIVE AT LEAST ONCE A WEEK AS WELL AS AFTER EVERY 0.5 INCH OF RAIN OR GREATER. AN INSPECTION AND MAINTENANCE REPORT WILL BE MADE FOR EACH INSPECTION AND KEPT AT THE PROJECT SITE. THE INSPECTION SHOULD USE THE OPERATOR INSPECTION FORM IN THE NCTCOG CONSTRUCTION BMP MANUAL OR OTHER FORM APPROVED BY THE CITY.
4. THE CONTRACTOR SHALL KEEP RECORDS OF THE CONSTRUCTION ACTIVITY ON THE SITE.

OTHER (DESCRIBE)

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EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES

DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME WITHIN 21 DAYS.

TEMPORARY	PERMANENT	
X	X	SEED OR SOD
___	X	VEGETATION OTHER THAN SEED OR SOD
X	X	EROSION CONTROL MATS
___	___	PRESERVATION OF NATURAL VEGETATION
___	___	OTHER (DESCRIBE)

ADDITIONAL COMMENTS:

STRUCTURAL PRACTICES

TEMPORARY	PERMANENT	
X	___	SILT FENCE
X	___	HAY BALES
___	___	ROCK BERMS
___	___	DIVERSION,INTERCEPTOR, OR PERIMETER DIKES
___	___	DIVERSION, INTERCEPTOR, OR PERIMETER SWALES
___	___	PIPE SLOPE DRAIN
___	___	TRIANGULAR SEDIMENT FILTER DIKE
X	___	INLET PROTECTION
___	___	STONE OUTLET SEDIMENT TRAP
___	___	SEDIMENT BASIN (REQUIRED FOR 10 ACRES OR LARGER WHERE ATTAINABLE)
___	___	CHECK DAM
___	___	TEMPORARY SEDIMENT TANK
X	___	STABILIZED CONSTRUCTION ENTRY
___	___	SANDBAG BERM
___	___	OTHER (DESCRIBE):

ADDITIONAL COMMENTS:

OTHER ADDITIONAL STORM WATER MANAGEMENT FEATURES

PERMANENT	
X	CURB & GUTTER
X	STORM SEWER INLETS
X	STORM SEWER
___	CULVERTS
___	STORM WATER DETENTION POND
___	VELOCITY DISSAPATION DEVICES
___	OTHER (DESCRIBE):

ALLOWABLE NON-STORM WATER DISCHARGES

- DISCHARGES FROM FIRE FIGHTING ACTIVITIES.
- FIRE HYDRANT FLUSHING. *
- WATER USED TO WASH VEHICLES OR CONTROL DUST.
- POTABLE WATER SOURCES (INCLUDING WATERLINE FLUSHING CONTAINING LESS THAN 1000 GALLONS). *
- UNCONTAMINATED GROUND WATER (INCLUDING DEWATERING GROUNDWATER INFILTRATION).
- FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS.
- SPRINGS, RIPARIAN HABITATS, WETLANDS AND UNCONTAMINATED GROUNDWATER.
- IRRIGATION WATER.
- EXTERIOR BUILDING WASH DOWN WITHOUT DETERGENTS.
- PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILL MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED.
- AIR CONDITIONING CONDENSATE.

* HEAVILY CHLORINATED WATER (3.5 MG/L OR GREATER FREE CHLORINE) RESULTING FROM WATER LINE STERILIZATION SHALL BE DIRECTED UNDER PERMIT TO THE SANITARY SEWER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL APPLY TO THE ENGINEERING DEPARTMENT FOR A SANITARY SEWER DISCHARGE PERMIT AFTER THE MANDATORY CHLORINE RETENTION TIME (USUALLY 24 HOURS). THE HEAVILY CHLORINATED WATER MAY BE DISCHARGED TO THE SANITARY SEWER, BEGINNING TWO WORKING DAYS AFTER PERMIT APPLICATION.

Legend

—SF— Silt Fence	[S] Covered Storage
— — — Limits of Construction	Vegetated/Preserved Buffer Strip
——— Property Boundary	© Concrete Wash Area
—600— Elevation Contours	Inlet Protection
[Building] Building Foot Print	North Arrow
[T] Covered Trash	Stabilized Construction Entrance
——> Direction of Storm Water Runoff Flow	□ Rock □ Daily Mulch □ Swale □ Other (Specify) □ Erosion Mat

MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR GREATER. IF A REPAIR IS NECESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE DATE BUT WITHIN 48 HOURS.

OTHER BEST MANAGEMENT (HOUSEKEEPING) PRACTICES
THE FOLLOWING INDICATED PRACTICES SHALL BE FOLLOWED:

LIME STABILIZATION
X ATTACHED BMP S-11 FROM NCTCOG CONSTRUCTION BMP MANUAL
— OTHER (DESCRIBE):

SOLID WASTE MANAGEMENT
X ATTACHED BMP W-1 FROM NCTCOG CONSTRUCTION BMP MANUAL
— OTHER (DESCRIBE):

HAZARDOUS WASTE MANAGEMENT
X ATTACHED BMP W-2 FROM NCTCOG CONSTRUCTION BMP MANUAL
— STORAGE AREAS (DESCRIBE):

— OTHER (DESCRIBE):

CONCRETE WASTE MANAGEMENT
X ATTACHED BMP W-3 FROM NCTCOG CONSTRUCTION BMP MANUAL
— OTHER (DESCRIBE):

SANDBLASTING WASTE MANAGEMENT
X ATTACHED BMP W-4 FROM NCTCOG CONSTRUCTION BMP MANUAL
— OTHER (DESCRIBE):

DUST REDUCTION MEASURES
— DISTURBED AREAS DAMPENED PERIODICALLY FOR DUST CONTROL
X EXCESS DIRT ON ADJACENT ROADS REMOVED DAILY
— OTHER (DESCRIBE):

Concrete Waste Management

DESCRIPTION
Concrete waste at construction sites comes in two forms; 1)excess fresh concrete mix including truck and equipment washing, and 2) concrete dust and concrete debris resulting from demolition. Both forms have the potential to impact water quality through storm water runoff contact with the waste.

PRIMARY USE
Concrete waste is present at most construction sites. This BMP should be utilized at sites in which concrete waste is present.

APPLICATIONS
A number of water quality parameters can be affected by introduction of concrete – especially fresh concrete. Concrete affects the pH of runoff, causing significant chemical changes in water bodies and harming aquatic life. Suspended solids in the form of both cement and aggregate dust are also generated from both fresh and demolished concrete waste.

Current Unacceptable Waste Concrete Disposal Practices
- Dumping in vacant areas on the job-site.
- Illicit dumping off-site.
- Dumping into ditches or drainage facilities.

Recommended Disposal Practices
- Avoid unacceptable disposal practices listed above.
- Develop pre-determined, safe concrete disposal areas.
- Provide a washout area with a minimum of 6 cubic feet of containment area volume for every 10 cubic yards of concrete poured.
- Never dump waste concrete illicitly or without property owners knowledge and consent.
- Treat runoff from storage areas through the use of structural controls as required.

Education
- Drivers and equipment operators should be instructed on proper disposal and equipment washing practices (see above).
- Supervisors must be made aware of the potential environmental consequences of improperly handled concrete waste.

Enforcement
- The construction site manager or foreman must ensure that employees and pre-mix companies follow proper procedures for concrete disposal and equipment washing.
- Employees violating disposal or equipment cleaning directives must be re-educated or disciplined if necessary.

Demolition Practices
- Monitor weather and wind direction to ensure concrete dust is not entering drainage structures and surface waters. Where appropriate, construct sediment traps or other types of sediment detention devices downstream of demolition activities.

Requirements
- Use pre-determined disposal sites for waste concrete.
- Prohibit dumping waste concrete anywhere but pre-determined areas.
- Assign pre-determined truck and equipment washing areas
- Educate drivers and operators on proper disposal and equipment cleaning procedures.

Education
- Minimal cost impact for training and monitoring.
- Concrete disposal cost depends on availability and distance to suitable disposal areas.
- Additional costs involved in equipment washing could be significant.

LIMITATIONS
This concrete waste management program is one part of a comprehensive construction site waste management program.

Applications: Perimeter Control; Slope Protection; Sediment Trapping; Channel Protection; Temporary Stabilization; Permanent Stabilization; [Waste Management]; [Housekeeping Practices]

Targeted Constituents: ○ Sediment; ● Nutrients Toxic Materials; ○ Oil & Grease; ● Floatable Materials; ● Other Construction Wastes

Implementation Requirements: ◒ Capital Costs; ◒ Maintenance; ◒ Training; ○ Suitability for Slopes > 5%

Legend: ● Significant Impact; ◒ Medium Impact; ○ Low Impact; ? Unknown or Questionable Impact

W–3

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed ________ Date 12-03-2015

Glenn Engineering Corporation

Solid Waste Management

DESCRIPTION
Large volumes of solid waste are often generated at construction sites including: packaging, pallets, wood waste, concrete waste, soil, electrical wiring, cuttings, and a variety of other materials. The solid waste management practice lists techniques to minimize the potential of storm water contamination from solid waste through appropriate storage and disposal practices.

PRIMARY USE
These practices should be a part of all construction practices. By limiting the trash and debris on site, storm water quality is improved along with reduced clean up requirements at the completion of the project.

APPLICATIONS
The solid waste management practice for construction sites is based on proper storage and disposal practices by construction workers and supervisors.. Key elements of the program are education and modification of improper disposal habits.. Cooperation and vigilance is required on the part of supervisors and workers to ensure that the recommendations and procedures are followed. Following are lists describing the targeted materials and recommended procedures:

- Targeted Solid Waste Materials
  - Paper and cardboard containers
  - Plastic packaging
  - Styrofoam packing and forms
  - Insulation materials (non-hazardous)
  - Wood pallets
  - Wood cuttings
  - Pipe and electrical cuttings
  - concrete, brick, and mortar waste
  - Shingle cuttings and waste
  - Roofing tar
  - Steel (cuttings, nails, rust residue)
  - Gypsum board cuttings and waste
  - Sheathing cuttings and waste
  - Miscellaneous cuttings and waste
  - Food waste
  - Demolition waste

Storage Procedures
- Wherever possible, minimize production of solid waste materials.
- Designate a foreman or supervisor to oversee and enforce proper solid waste procedures.
- Instruct construction workers in proper solid waste procedures.
- Segregate potentially hazardous waste from non-hazardous construction site debris.
- Keep solid waste materials under cover in either a closed dumpster or other enclosed trash container that limits contact with rain and runoff.
- Store waste materials away from drainage ditches, swales and catch basins.
- Do not allow trash containers to overflow.
- Do not allow waste materials to accumulate on the ground.
- Prohibit littering by workers and visitors.
- Police area daily for litter and debris.
- Enforce solid waste handling and storage procedures.

Disposal Procedures
- If feasible, segregate recyclable wastes from non-recyclable waste materials and dispose of properly.
- General construction debris may be hauled to a licensed construction debris landfill (typically less expensive than a sanitary landfill).
- Use waste facilities approved by local jurisdiction.
- Runoff which comes into contact with unprotected waste shall be directed into structural be dirt treatment such as silt fence to remove debris.

Education
- Educate all workers on solid waste storage and disposal procedures.
- Instruct workers in identification of solid waste and hazardous waste.
- Have regular meetings to discuss and reinforce disposal procedures (incorporate in regular safety seminars).
- Clearly mark on all solid waste containers which materials are acceptable.

Quality Control
- Foreman and/or construction supervisor shall monitor on-site solid waste storage and disposal procedures.
- Discipline workers who repeatedly violate procedures.

Requirements
- Job-site waste handling and disposal education and awareness program.
- Commitment by management to implement and enforce Solid Waste Management Program.
- Compliance by workers.
- Sufficient and appropriate waste storage containers.
- Timely removal of stored solid waste materials.
- Possible modest cost impact for additional waste storage containers.
- Minimal overall cost impact.

LIMITATIONS
Only addresses non-hazardous solid waste.
One part of a comprehensive construction site management program.

Applications: Perimeter Control; Slope Protection; Sediment Trapping; Channel Protection; Temporary Stabilization; Permanent Stabilization; [Waste Management]; [Housekeeping Practices]

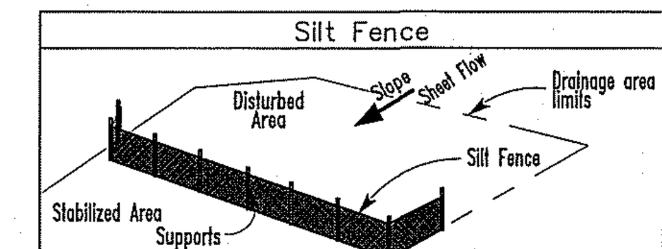
Targeted Constituents: ○ Sediment; ● Nutrients Toxic Materials; ○ Oil & Grease; ● Floatable Materials; ● Other Construction Wastes

Implementation Requirements: ◒ Capital Costs; ◒ Maintenance; ◒ Training; ○ Suitability for Slopes > 5%

Legend: ● Significant Impact; ◒ Medium Impact; ○ Low Impact; ? Unknown or Questionable Impact

W–1

Silt Fence



DESCRIPTION
A silt fence consists of geotextile fabric supported by poultry netting or other backing stretched between metal posts with the lower edge of the fabric securely embedded in the soil. The fence is typically located downstream of disturbed areas to intercept runoff in the form of sheet flow. Silt fence provides both filtration and time for sedimentation to reduce sediment and it reduces the velocity of the runoff. Properly designed silt fence is economical since it can be re-located during construction and re-used on other projects.

PRIMARY USE
Silt fence is normally used as perimeter control located downstream of disturbed areas. It is only feasible for non-concentrated, sheet flow conditions.

APPLICATIONS
Silt fence is an economical means to treat overland, non-concentrated flows for all types of projects. Silt fences are used as perimeter control devices for both site developments and linear (roadway) type projects. They are most effective with coarse to silty soil types. Due to the potential of clogging, silt fence should not be used with clay soil types.

In order to reduce the length of silt fence, it should be placed adjacent to the down slope side of the construction activities.

elevation (along a contour line) where possible.
- Maximum slope adjacent to the fence is 1:1
- Maximum distance of flow to silt fence should be 200 feet or less.
- Maximum concentrated flow to silt fence shall be 1 CFS per 20 feet of fence.
- If 50% or less of soil, by weight, passes the U.S. Standard sieve No. 200, select the equivalent opening size (E.O.S.) to retain 85% of the soil.
- Maximum equivalent opening size shall be 70 (#70 sieve).
- Minimum equivalent opening size shall be 100 (#100 sieve).
- If 85% or more of soil, by weight, passes the U.S. Standard sieve No. 200, silt fences shall not be used due to potential clogging.
- Sufficient room for the operation of sediment removal equipment shall be provided between the silt fence and other obstructions in order to properly maintain the fence.
- The ends of the fence shall be turned upstream to prevent bypass of stormwater. bypass of stormwater.

LIMITATIONS
Minor ponding will likely occur at the upstream side of the silt fence resulting in minor focalized flooding.

Fences which are constructed in swales or low areas subject to concentrated flow may be concentrated overtopped resulting in failure of the filter fence. Silt fences subject to areas of concentrated flow (waterways with flows > 1 cfs) are not acceptable.

Silt fence can interfere with construction operations, therefore planning of access routes onto the site is critical.

Silt fence can fail structurally under heavy storm flows, creating maintenance problems and reducing the effectiveness of the system.

MAINTENANCE REQUIREMENTS
Inspections should be made on a weekly basis, especially after large storm events.
Iif the fabric becomes clogged, it should be cleaned or if necessary, replaced.

Sediment should be removed when it reaches approximately one-half the height of the fence.

Applications: [Perimeter Control]; [Slope Protection]; [Sediment Trapping]; Channel Protection; Temporary Stabilization; Permanent Stabilization; Waste Management; Housekeeping Practices

Targeted Constituents: ● Sediment; ○ Nutrients Toxic Materials; ○ Oil & Grease; ◒ Floatable Materials; ○ Other Construction Wastes

Implementation Requirements: ◒ Capital Costs; ● Maintenance; ○ Training; ◒ Suitability for Slopes > 5%

Legend: ● Significant Impact; ◒ Medium Impact; ○ Low Impact; ? Unknown or Questionable Impact

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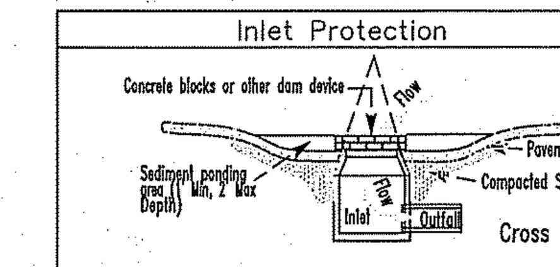
S–1

Inlet Protection



DESCRIPTION
Inlet protection consists of a variety of methods of intercepting sediment at low point inlets through the use of stone, filter fabric and other materials. This is normally located at the inlet, providing either detention or filtration to reduce sediment and floatable materials in storm water.

PRIMARY USE
Inlet protection is normally used as a secondary defense in site erosion control due to the limited effectiveness and applicability of the technique. It is normally used in new developments that include new inlets or roads with new curb inlets or during major repairs to existing roadways. Inlet protection has limited use in developed areas due to the potential for flooding, traffic safety and pedestrian safety and maintenance problems. Inlet protection can reduce sediment in storm sewer system by serving as a back up system to on-site controls or by reducing sediment loads from controls with limited effectiveness such as straw bale dikes.

APPLICATIONS
Different variations are used for different conditions as follows:

- Filter barrier protection (similar to a silt fence barrier around the inlet) is appropriate when the drainage area is less than five (5) percent. This type of protection is not applicable in paved areas. (See details, Section 9)
- Block and gravel (crushed stone, recycled concrete is also appropriate) protection is used when flows exceed 0.5 cfs and it is necessary to allow for overtopping to prevent flooding (See sketch at top of fact sheet).
- Wire mesh and gravel protection (crushed stone, recycled concrete is also appropriate) is used when flows exceed 0.5 cfs and construction traffic may occur over the inlet. This form of protection may be used with both curb and drop inlets (See details Section 9).
- Excavated impoundment protection around a drop inlet may be used for protection against sediment entering a storm drain system. With this method, it is necessary to install weep holes to allow the impoundment to drain completely. The impoundment shall be sized such that the volume of excavation shall be equal to 1800 to 3600 cubic feet per acre of contributing drainage area entering the inlet for full effectiveness. Smaller volumes can be used for reduced effectiveness (SEE details Section 9).

Filter fabric protection shall be designed and maintained in a manner similar to silt fence.
- Maximum depth of flow shall be (8) eight inches or less depending on vehicular and pedestrian traffic.
- Positive drainage is critical in the design of inlet protection. If overflow is not prodded for at the inlet, flows which exceed the capacity of the inlet protection system shall be routed through established swales, streets or other watercourses to minimize damage due to ponding and to provide for public safety.

LIMITATIONS
Ponding will occur at the inlet with possible flooding as a result.

Inlet protection is only viable at low point inlets. Inlets which are on a slope cannot be effectively protected because storm water will bypass the inlet and continue downstream, causing an overload condition at inlets beyond.

MAINTENANCE REQUIREMENTS
Inspections should be made on a weekly basis, especially after large (>0.5 inches) storm events. When silt fence is used and the fabric becomes clogged, it should be cleaned or if necessary, replaced. Also, sediment should be removed when it reaches approximately one-half the height of the fence. If a sump is used, sediment should be removed when the volume of the basin is reduced by 50%.

For systems using stone filters, when the stone filter becomes clogged with sediment, the stones must be pulled away from the inlet and cleaned or replaced. Since cleaning of gravel at a construction site may be difficult, an alternative approach would be to use the clogged stone as fill material and put new stone around the inlet.

Applications: Perimeter Control; Slope Protection; [Sediment Trapping]; Channel Protection; Temporary Stabilization; Permanent Stabilization; Waste Management; Housekeeping Practices

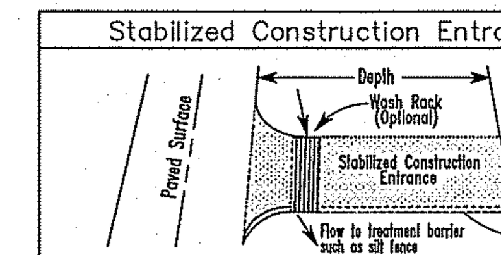
Targeted Constituents: ◒ Sediment; ○ Nutrients Toxic Materials; ○ Oil & Grease; ◒ Floatable Materials; ○ Other Construction Wastes

Implementation Requirements: ● Capital Costs; ● Maintenance; ○ Training; ○ Suitability for Slopes > 5%

Legend: ● Significant Impact; ◒ Medium Impact; ○ Low Impact; ? Unknown or Questionable Impact

Fe=0.67–0.75
S–4

Stabilized Construction Entrance



DESCRIPTION
A stabilized construction entrance consists of a pad consisting of 4" – 6" gravel, crushed stone, on top of geotextile filter cloth to facilitate the wash down and removal of sediment and other debris from construction equipment prior to exiting the construction site. For added effectiveness, a wash rack area can be incorporated into the design to further reduce sediment tracking. For long term projects, cattle guards or other type of permanent rack system can be used in conjunction with a wash rack. This directly addresses the problem of silt and mud deposition in roadways used for construction site access.

PRIMARY USE
Stabilized construction entrances are used primarily for sites in which significant truck traffic occurs on a daily basis. It reduces the need to remove sediment from streets. If used properly, it also directs the majority of traffic to to a single location, reducing the number and quantity of disturbed areas on the site and providing protection for other structural controls through traffic control.

APPLICATIONS
Stabilized construction entrances are a required part of the erosion control plan for all site developments larger than 5 acres and a recommended practice for all construction sites. It is not suitable for long, linear projects. If possible, small entrances should be incorporated into small lot construction due to the large percentage of disturbed area on the site and the high potential for offsite tracking of silt and mud.

DESIGN CRITERIA
- Stabilized construction entrances are to be constructed such that drainage across the entrance is directed to a controlled, stabilized outlet on site with provisions for storage, proper filtration and removal of wash water.
- The entrance must be properly graded so that storm water is not allowed to leave the site and enter roadways.
- Minimum width of entrance shall be 15 feet, but in no case shall the width be less than that of the entry way to be used.
- Minimum depth of entrance shall be 12 inches for the entire length of the control.
- Minimum dimensions for entrances of tract areas less than 1 acre shall be an average lot depth of 100 feet with a minimum entrance width of 15 feet and a minimum entrance depth of 20 feet.

LIMITATIONS
Selection of the construction entrance location is critical in that to be effective, it must be used exclusively.

Stabilized entrances are rather expensive considering that it must be installed in combination with one or more other sediment control techniques, but it may be cost effective compared to labor intensive street cleaning.

MAINTENANCE REQUIREMENTS
Inspections should be made on a regular basis and after large storm events in order to ascertain whether or not sediment and pollution are being effectively detained on site.

When sediment has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.

Periodic re-grading and top dressing with additional stone must be done to keep the efficiency of the entrance from diminishing.

Applications: Perimeter Control; Slope Protection; Sediment Trapping; Channel Protection; [Temporary Stabilization]; Permanent Stabilization; Waste Management; Housekeeping Practices

Targeted Constituents: ◒ Sediment; ○ Nutrients Toxic Materials; ○ Oil & Grease; ○ Floatable Materials; ○ Other Construction Wastes

Implementation Requirements: ● Capital Costs; ◒ Maintenance; ○ Training; ○ Suitability for Slopes > 5%

Legend: ● Significant Impact; ◒ Medium Impact; ○ Low Impact; ? Unknown or Questionable Impact

Fe=N/A
S–9

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING THE PLANS FOR CONSTRUCTIONS, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN

OWNER

ROCKWALL GOLF AND ATHLETIC CLUB
2600 CHAMPIONS DRIVE
ROCKWALL, TEXAS 75087
972-771-0000
CONTACT: JAMES HAVEN

ARCHITECT

JOHNSON - RAMSEY
2235 RIDGE ROAD, SUITE 200
ROCKWALL, TEXAS 75087
972-771-1323

ENGINEER

GLENN ENGINEERING CORP.
105 DECKER COURT, SUITE 910
IRVING, TEXAS 75062
972-717-5151

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 FAX 972-717-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

STATE OF TEXAS — MIKE GLENN — 35059 — REGISTERED PROFESSIONAL ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35059, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

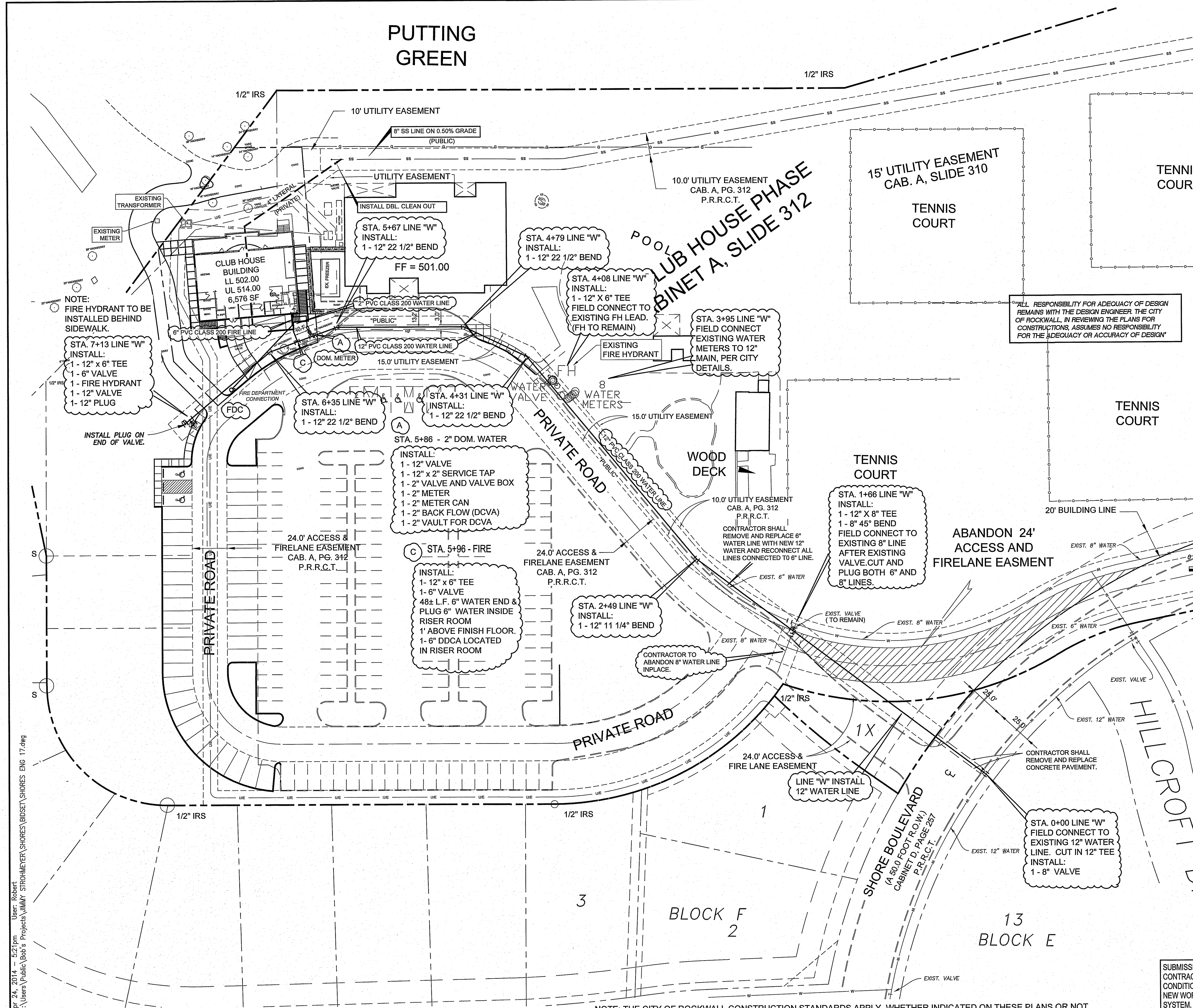
The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

DATE
04/24/14

PROJECT
011112

CG 1.04
SWPPP
DETAILS


PUTTING GREEN
1/2" IRS
1/2" IRS
10' UTILITY EASEMENT
8" SS LINE ON 0.50% GRADE (PUBLIC)
UTILITY EASEMENT
INSTALL DBL. CLEAN OUT
10.0' UTILITY EASEMENT CAB. A, PG. 312 P.R.R.C.T.
CLUB HOUSE PHASE
CABINET A, SLIDE 312
POOL
15' UTILITY EASEMENT CAB. A, SLIDE 310
TENNIS COURT
TENNIS COURT
TENNIS COURT
TENNIS COURT
EXISTING TRANSFORMER
EXISTING METER
4" LATERAL (PRIVATE)
CLUB HOUSE BUILDING UL 502.00 UL 514.00 6,576 SF
EX. FREEZER
FF = 501.00
STA. 5+67 LINE "W" INSTALL: 1 - 12" 22 1/2° BEND
STA. 4+79 LINE "W" INSTALL: 1 - 12" 22 1/2° BEND
STA. 4+08 LINE "W" INSTALL: 1 - 12" X 6" TEE FIELD CONNECT TO EXISTING FH LEAD. (FH TO REMAIN)
STA. 3+95 LINE "W" FIELD CONNECT EXISTING WATER METERS TO 12" MAIN, PER CITY DETAILS.
NOTE: FIRE HYDRANT TO BE INSTALLED BEHIND SIDEWALK.
2" PVC CLASS 200 WATER LINE
"PUBLIC"
6" PVC CLASS 200 FIRE LINE
12" PVC CLASS 200 WATER LINE
EXISTING FIRE HYDRANT
STA. 7+13 LINE "W" INSTALL: 1 - 12" x 6" TEE 1 - 6" VALVE 1 - FIRE HYDRANT 1 - 12" VALVE 1- 12" PLUG
DOM. METER
15.0' UTILITY EASEMENT
FIRE DEPARTMENT CONNECTION
FDC
STA. 6+35 LINE "W" INSTALL: 1 - 12" 22 1/2° BEND
STA. 4+31 LINE "W" INSTALL: 1 - 12" 22 1/2° BEND
WATER VALVE
8 WATER METERS
FH
15.0' UTILITY EASEMENT
INSTALL PLUG ON END OF VALVE.
STA. 5+86 - 2" DOM. WATER INSTALL: 1 - 12" VALVE 1 - 12" x 2" SERVICE TAP 1 - 2" VALVE AND VALVE BOX 1 - 2" METER 1 - 2" METER CAN 1 - 2" BACK FLOW (DCVA) 1 - 2" VAULT FOR DCVA
PRIVATE ROAD
12" PVC CLASS 200 WATER LINE "PUBLIC"
WOOD DECK
TENNIS COURT
24.0' ACCESS & FIRELANE EASEMENT CAB. A, PG. 312 P.R.R.C.T.
STA. 5+96 - FIRE INSTALL: 1 - 12" x 6" TEE 1- 6" VALVE 48± L.F. 6" WATER END & PLUG 6" WATER INSIDE RISER ROOM 1' ABOVE FINISH FLOOR. 1- 6" DDCA LOCATED IN RISER ROOM
24.0' ACCESS & FIRELANE EASEMENT CAB. A, PG. 312 P.R.R.C.T.
10.0' UTILITY EASEMENT CAB. A, PG. 312 P.R.R.C.T.
CONTRACTOR SHALL REMOVE AND REPLACE 6" WATER LINE WITH NEW 12" WATER AND RECONNECT ALL LINES CONNECTED T0 6" LINE.
STA. 1+66 LINE "W" INSTALL: 1 - 12" X 8" TEE 1 - 8" 45° BEND FIELD CONNECT TO EXISTING 8" LINE AFTER EXISTING VALVE.CUT AND PLUG BOTH 6" AND 8" LINES.
ABANDON 24' ACCESS AND FIRELANE EASMENT
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING THE PLANS FOR CONSTRUCTIONS, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN"
20' BUILDING LINE
EXIST. 8" WATER
EXIST. 6" WATER
EXIST. VALVE (TO REMAIN)
EXIST. 8" WATER
EXIST. 6" WATER
STA. 2+49 LINE "W" INSTALL: 1 - 12" 11 1/4° BEND
CONTRACTOR TO ABANDON 8" WATER LINE INPLACE.
EXIST. 8" WATER
PRIVATE ROAD
PRIVATE ROAD
EXIST. VALVE
EXIST. 12" WATER
1/2" IRS
1X
HILLCROFT DR.
24.0' ACCESS & FIRE LANE EASEMENT
CONTRACTOR SHALL REMOVE AND REPLACE CONCRETE PAVEMENT.
LINE "W" INSTALL 12" WATER LINE
1/2" IRS
1/2" IRS
1
SHORE BOULEVARD (A 50.0 FOOT R.O.W.) CABINET D, PAGE 257 P.R.R.C.T.
STA. 0+00 LINE "W" FIELD CONNECT TO EXISTING 12" WATER LINE. CUT IN 12" TEE INSTALL: 1 - 8" VALVE
EXIST. 12" WATER
3
BLOCK F
2
13
BLOCK E
EXIST. VALVE
N
0 30 60
Scale 1" = 30'
TEXAS ONE CALL SYSTEM, INC. 1-800-245-4545 STOP-CALL BEFORE YOU DIG!
Apr 24, 2014 – 5:21pm User: Robert
C:\Users\Public\Bob's Projects\JIMMY STROHMEYER\SHORES\BIDSET\SHORES ENG 17.dwg

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

GENERAL WATER NOTES

1. WATER DISTRIBUTION SYSTEM MATERIAL AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF ROCKWALL CONSTRUCTION STANDARDS, WHETHER INDICATED ON THESE PLANS OR NOT.
2. CONCRETE BLOCKING SHALL BE INSTALLED AT ALL BENDS, VALVES AND FIRE HYDRANTS.
3. ALL MAINS SHALL BE BURIED A MINIMUM DEPTH OF 42" BELOW TOP OF ADJACENT CURB OR AS DIRECTED BY THE ENGINEER.
4. WATER PIPE SHALL BE PVC CLASS 200.
5. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
6. ALL FIRE HYDRANTS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF ROCKWALL. CONTRACTOR SHALL NOTIFY ROCKWALL FIRE DEPARTMENT PRIOR TO PLACING OF PIPE TO ARRANGE FOR REQUIRED INSPECTIONS.
7. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING WATER VALVES PRIOR CONNECTION TO EXISTING WATER SYSTEM.
8. CONTRACTOR TO INSTALL "KNOX" PADLOCKS ON ALL GATES ACROSS FIRE LANE.
9. CONTRACTOR TO REMOVE ALL INACTIVE UTILITY LINES INCLUDING WATER, SANITARY, STORM AND ROOD DRAIN LINES FROM UNDER NEW BUILDING. REMOVE AND RECOMPACT SUBGRADE TO 95% STANDARD PROCTOR PER CITY OF ROCKWALL STANDARDS.

GENERAL SANITARY SEWER NOTES

1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND OTHERS WHO MAY HAVE BURIED EQUIPMENT OR PIPELINES IN THE VICINITY OF CONSTRUCTION PRIOR TO COMMENCING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF TIE-IN TO EXISTING SEWER SYSTEM. IF GRADES NEED ADJUSTMENT DUE TO UNFORESEEN CONFLICTS. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO LAYING PIPE.
3. ALL SANITARY SEWER PIPE, MANHOLES, AND RELATED APPURTENANCES SHALL CONFORM TO THE MATERIAL AND CONSTRUCTION SPECIFICATIONS SHALL COMPLY WITH THE CITY OF ROCKWALL CONSTRUCTION STANDARDS, WHETHER INDICATED ON THESE PLANS OR NOT.
4. PARTICULAR ATTENTION SHALL BE PAID TO THE INSTALLATION, EMBEDMENT AND BACKFILL OF SEWER PIPE. ALL EMBEDMENT SHALL CONFORM TO THE CITY OF ROCKWALL STANDARDS.
5. SPECIAL CARE SHALL BE TAKEN IN ADHERING TO THOSE SPECIFICATIONS REGARDING PIPE JOINTS, PIPE EMBEDMENT AND TESTING OF INSTALLED WATER AND SANITARY SEWER PIPES.
6. SEWER PIPE SHALL BE PVC SDR 35.
7. SERVICES SHALL BE 4" PVC, SDR 35 AND SHALL BE INSTALLED AS SHOWN.
8. CONTRACTOR SHALL MEET ALL O.S.H.A. REQUIREMENTS REGARDING TRENCH SAFETY IN THE CONSTRUCTION OF THIS SEWER SERVICE.
9. ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.

ALL CONSTRUCTION SHALL BE PER CITY OF ROCKWALL STANDARDS AND N.C.T.C.O.G, 3RD EDITION.

CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND ELEVATIONS PRIOR TO CONSTRUCTION.

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed: [signature] Date: 12-03-2015

Glenn Engineering Corporation

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 FAX 972-717-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

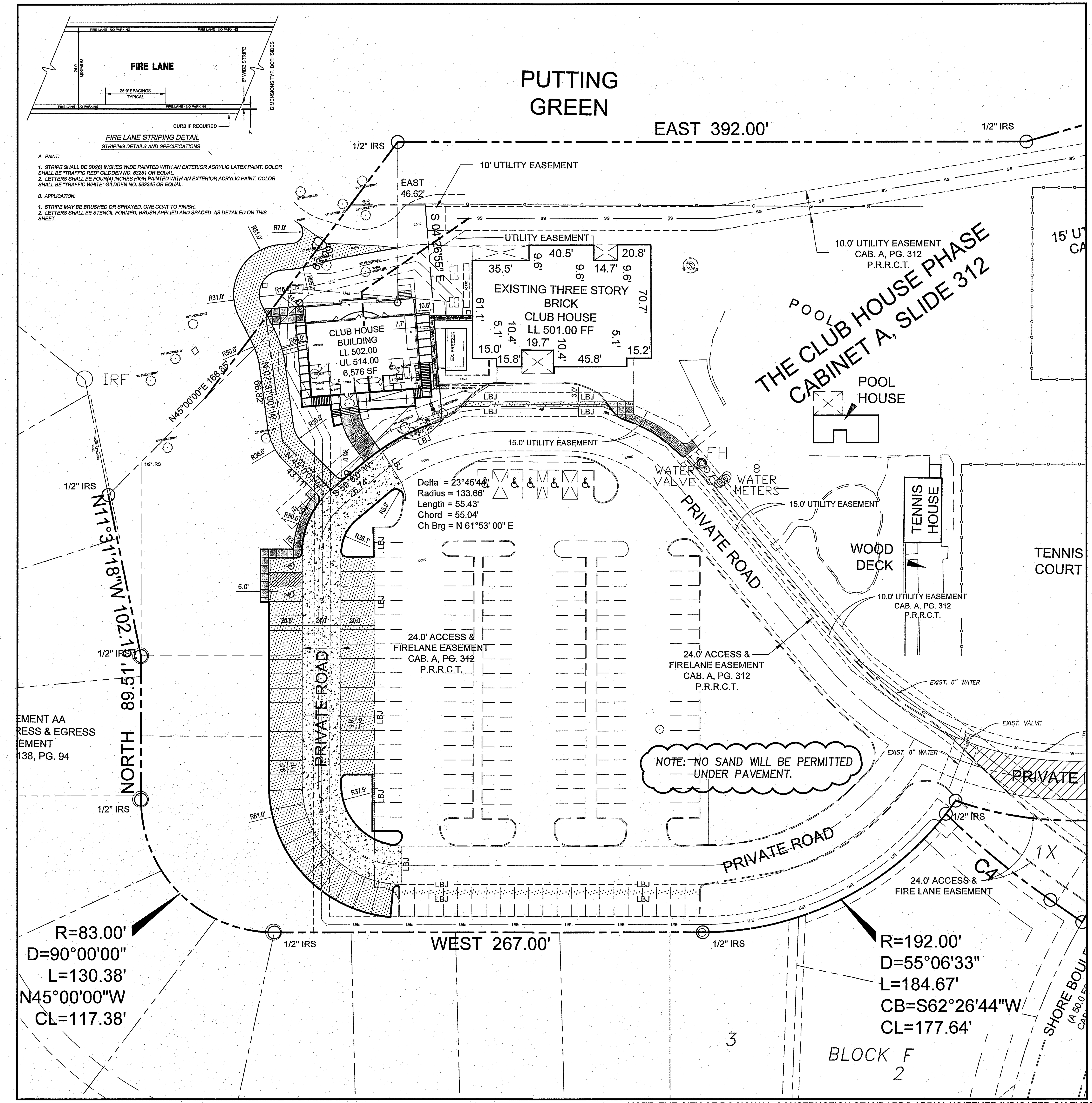
The seal appearing on this document was authorized by Mike Glenn, P.E. 35099, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

DATE	04/24/14
PROJECT	011112
CU 1.01	UTILITY PLAN



FIRE LANE STRIPING DETAIL

STRIPING DETAILS AND SPECIFICATIONS

A. PAINT:

1. STRIPE SHALL BE SIX(6) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT. COLOR SHALL BE "TRAFFIC RED" GILDDEN NO. 63251 OR EQUAL.
2. LETTERS SHALL BE FOUR(4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC PAINT. COLOR SHALL BE "TRAFFIC WHITE" GILDDEN NO. 563245 OR EQUAL.

B. APPLICATION:

1. STRIPE MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
2. LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

PAVING NOTES:

THE INITIAL SOIL TEST AND REPORT BY TERRACON CONSULTANTS, INC PROJECT NO 94105209 & ANY AND ALL SUBSEQUENT REPORTS PREPARED FOR THIS PROJECT BY TERRACON OR BY OTHER FIRM, AGENCY OR ENTITY, EVEN THOUGH CONTAINED IN THE PLANS AND/OR SPECIFICATIONS FOR THIS PROJECT, ARE MADE A PART OF THIS PLAN. A COPY CAN BE OBTAINED THROUGH THE ARCHITECT OR ENGINEER.

I. PAVEMENT SUB GRADE FOR A & B, BELOW:

SINCE THE NEW ADDITIONS WILL BE SUPPORTED ABOVE GRADE, SITE PREPARATION FOR THE NEW ADDITIONS IS EXPECTED TO BE LIMITED. HOWEVER, THE EXISTING SUBGRADE SHOULD BE PROPERLY PREPARED IN AREAS TO RECEIVE NEW FILL.

AFTER COMPLETION OF NECESSARY STRIPPING, CLEARING, AND EXCAVATING AND PRIOR TO PLACING ANY REQUIRED FILL, THE EXPOSED SUBGRADE SHOULD BE CAREFULLY EVALUATED BY PROBING AND TESTING. ANY UNDESIRABLE MATERIAL (ORGANIC MATERIAL, WET, SOFT, OR LOOSE SOIL) STILL IN PLACE SHOULD BE REMOVED

THE EXPOSED SOIL SUBGRADE SHOULD BE FATHER EVALUATED BY PROOF-ROLLING WITH A HEAVY PNEUMATIC TIRED ROLLER, LOADED DUMP TRUCK OR SIMILAR EQUIPMENT WEIGHING APPROXIMATELY 20 TONS TO CHECK FOR POCKETS OF SOFT OR LOOSE MATERIAL HIDDEN BENEATH A THIN CRUST OF POSSIBLY BETTER SOIL.

PROOF-ROLLING PROCEDURES SHOULD BE OBSERVED ROUTINELY BY A PROFESSIONAL ENGINEER OR HIS DESIGNATED REPRESENTATIVE.

ANY UNDESIRABLE MATERIAL (ORGANIC MATERIAL, WET, SOFT, OR LOOSE SOIL) EXPOSED SHOULD BE REMOVED AND REPLACED WITH WELL-COMPACTED MATERIAL.

PRIOR TO PLACEMENT OF ANY FILL, THE EXPOSED SOIL SUBGRADE SHOULD THEN BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES AND RECOMPACTED.

DUE TO THE NATURE OF THE CLAYEY SOILS FOUND NEAR THE SURFACE AT THE BORINGS, TRAFFIC OF HEAVY EQUIPMENT (INCLUDING HEAVY COMPACTION EQUIPMENT) MAY CREATE PUMPING AND GENERAL DETERIORATION OF SHALLOW SOILS. THEREFORE, SOME CONSTRUCTION DIFFICULTIES SHOULD BE ANTICIPATED DURING PERIODS WHEN THESE SOILS ARE SATURATED.
SANDY/SILTY CLAY MATERIALS WITH A PLASTICITY INDEX BELOW 25 SHOULD BE COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND WITHIN THE RANGE OF 1 PERCENTAGE POINT BELOW TO 3 PERCENTAGE POINTS ABOVE THE MATERIAL'S OPTIMUM MOISTURE CONTENT.

CLAY, SANDY CLAY, AND SHALY CLAY SOILS WITH A PLASTICITY INDEX EQUAL TO OR GREATER THAN 25 SHOULD BE COMPACTED TO A DRY DENSITY BETWEEN 93 AND 98 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE COMPACTED MOISTURE CONTENT OF THE CLAYS DURING PLACEMENT SHOULD BE WITHIN THE RANGE OF 2 TO 6 PERCENTAGE POINTS ABOVE OPTIMUM.
CLAYEY MATERIALS USED AS FILL SHOULD BE PROCESSED AND THE LARGEST PARTICLE OF CLOD SHOULD BE LESS THAN 6 INCHES PRIOR TO COMPACTION.

COMPACTION SHOULD BE ACCOMPLISHED BY PLACING FILL IN ABOUT 8-INCH THICK LOOSE LIFTS AND COMPACTING EACH LIFT TO A LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY AND MOISTURE CONTENT TESTS SHOULD BE PREFORMED ON EACH LIFT. AS A GUIDE, ONE TEST PER 2,500 SQ FT PER LIFT IS RECOMMENDED IN BUILDING AREA. UTILITY TRENCH BACKFILL SHOULD BE TESTED AT A RATE OF ONE TEST PER 300 LINEAL FEET OF TRENCH. LIFT PER EACH

B. ON-SITE SIDEWALKS

CONCRETE SIDEWALKS SHALL BE A WIDTH AS DESIGNATED ON SITE PLAN AND A MINIMUM OF 4 INCHES THICK, CONSTRUCTED OF 3,600 PSI, IN 28 DAYS CONCRETE WITH 4-6% ENTRAINED AIR AND REINFORCED WITH #4 BARS AT 18" O.C.E.W. SUPPORTED WITH PROPER SUPPORT CHAIRS. EXPANSION JOINTS SHALL BE AT 60' MAXIMUM O.C. AND SAWCUT CONTRACTION JOINTS AT MAXIMUM 15' O.C.. ALL JOINTS TO BE CLEANED AND FILLED WITH HOT POURED RUBBER (GRAY) WITH #3 BARS AT 18" O.C.E.W. TOOLED CONSTRUCTION JOINTS SHALL BE 5'-0" O.C. ONE-HALF INCH EXPANSION JOINT SHALL BE PLACED EVERY 60 FEET AND WHERE NEW WORK IS CONSTRUCTED ADJACENT TO OTHER CONCRETE WORK (WALLS, FOUNDATION, CURB, ETC.). THE JOINTS SHALL BE FILLED WITH 1/2-INCH PRE MOLDED GRAY BITUMINOUS EXPANSION JOINT FILLER AND SHALL EXTEND THE ENTIRE DEPTH AND WIDTH OF THE CONCRETE SECTION.

FINISH OF SIDEWALKS SHALL BE WITH A BROOM FINISH PER ENGINEER. WALKS SHALL HAVE TOOLED CURB EDGES & TOOLED JOINTS. (SAW CUTTING WILL BE PERMITTED)

WALKS SHALL HAVE TOOLED CURB EDGES & TOOLED JOINTS.

III. FINISHING FOR CONCRETE DRIVEWAY, PARKING LOT AND STREET CURBS

THE EXPOSED SURFACES OF DRIVEWAYS AND PARKING LOT SHALL HAVE A MONOLITHIC FINISH BY FLOATING WITH A WOODEN FLAT UNTIL A SLIGHT EXCESS OF SAND APPEARS ON THE SURFACES. IN NO CASE SHALL THE SURFACE BE LEFT SLICK OR WITH A GLOSSY FINISH. EXPOSED SURFACES OF SIDEWALKS SHALL HAVE A MONOLITHIC FINISH BY TRAWLING WITH A STEEL TROWEL AND BRUSHED LIGHTLY WITH AN APPROVED BROOM. THE EDGE OF ALL CONCRETE SHALL BE NEATLY ROUNDED TO THE REQUIRED RADII WITH AN EDGING TOOL.

THE EXPOSED SURFACE OF CURBS AND CURBS WITH GUTTER SHALL BE SHAPED WITH A "MULE" AND BRUSHED WITH A WET BRUSH AT RIGHT ANGLE TO THE LINE OF THE CURB TO PRODUCE A UNIFORM TEXTURED SURFACE. THE EDGES SHALL BE NEATLY ROUNDED OFF TO THE REQUIRED RADII. USE OF GROUT OVER A ROUGH FINISHED TEXTURE WILL NOT BE ALLOWED.

GENERAL PAVING NOTES

1. REMOVE AND STORE BRICK PAVERS. BRICK PAVERS TO BE RE SET BACK TO THEIR ORIGINAL LOCATIONS AFTER REPAIR OF THE ROOF DRAIN LINES AND REGRADING OF THE COURTYARDS. ALTERNATE TO REPLACE BRICK PAVERS WITH SAME SIZE 4" CONCRETE PADS.
2. ALL EXISTING PAVEMENT CAULK SHALL BE REMOVED, JOINTS SHALL BE CLEANED AND FREE OF DEBRIS ALL JOINTS THEN SHALL BE RECAULKED PER SPECIFICATIONS. (BOTH PAVEMENT AND SIDEWALKS / ALL JOINTS)
3. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ROCKWALL STANDARD DETAILS AND SPECIFICATIONS AND N.C.T.C.O.G., 3RD EDITION.
4. CONTRACTOR TO VERIFY EXISTING PAVEMENT ELEVATIONS PRIOR TO CONSTRUCTION.
5. NEW PAVING INSTALLED SHALL "FLUSH-OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
6. BARRIER FREE RAMPS SHALL COMPLY WITH CITY'S STANDARD DETAILS. (TRUNCATED DOME PLATES)
7. ALL SUBGRADE UNDER PAVEMENT SHALL BE COMPACTED TO 95% OF ASTM D-698 AND MOISTURE CONDITIONED.
8. ALL FIRE LANES SHALL PER STRIPED OR RESTRIPED IN ACCORDANCE WITH CITY STANDARDS.

0 30 60

Scale 1" = 30'

TEXAS ONE CALL SYSTEM, INC. 1-800-245-4545 STOP-CALL BEFORE YOU DIG!

ALL CONSTRUCTION SHALL BE PER CITY OF ROCKWALL STANDARDS AND N.C.T.C.O.G, 3RD EDITION.

CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND ELEVATIONS PRIOR TO CONSTRUCTION.

PAVING LEGEND

LBJ = LONGITUDIAL BUTT JOINT PER CITY STANDARD DETAIL

PROPOSED 7" 3,600 P.S.I. - MIN. 6.5 SACK, REINFORCED CONCRETE PAVEMENT OVER 6" OF LIME OR CEMENT STABILIZED SUBGRADE WITH #4 REBARS ON 18" CENTERS EACH WAY

PROPOSED 5" 3,600 P.S.I. - MIN. 6.5 SACK REINFORCED CONCRETE PAVEMENT OVER UNTREATED SUBGRADE STABILIZATION COMPACTED TO 95% DENSITY WITH #4 REBARS ON 18" CENTERS EACH WAY.

PROPOSED 4" 3,600 P.S.I. - MIN. 6.5 SACK REINFORCED CONCRETE SIDEWALK PAVEMENT OVER UNTREATED SUBGRADE STABILIZATION COMPACTED TO 95% DENSITY WITH #3 REBARS ON 18" CENTERS EACH WAY.

NOTE: SOIL STABILIZATION MAY VARY BASED ON LOCATION OF PAVEMENT. REFERENCE GEOTECHNICAL REPORT FOR RECOMENDATIONS.

RECORD DRAWING

This is to certify that changes and corrections have been made to conform to the contractor's record of this project.

Signed: [signature] Date: 12-03-2015

Glenn Engineering Corporation

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 FAX 972-717-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

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STATE OF TEXAS — MIKE GLENN — 35059 — REGISTERED ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35059, on APRIL 24, 2014

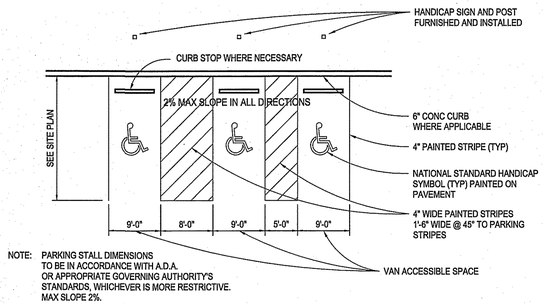
JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

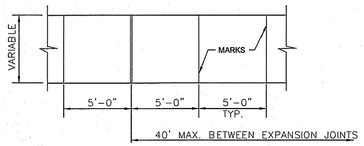
DATE	04/24/14
PROJECT	011112
CP 1.01	PAVING PLAN

Apr 24, 2014 — 5:21pm User: Robert
C:\Users\Public\Bob's Projects\JIMMY STROHMEYER\SHORES\BIDSET\SHORES ENG 17.dwg



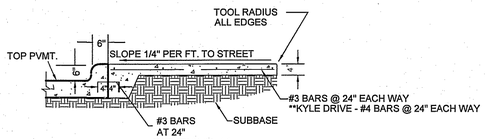
NOTE: PARKING STALL DIMENSIONS TO BE IN ACCORDANCE WITH A.D.A. OR APPROPRIATE GOVERNING AUTHORITY'S STANDARDS, WHICHEVER IS MORE RESTRICTIVE. MAX SLOPE 2%.

ACCESSIBLE PARKING STALL DETAILS
NOT TO SCALE

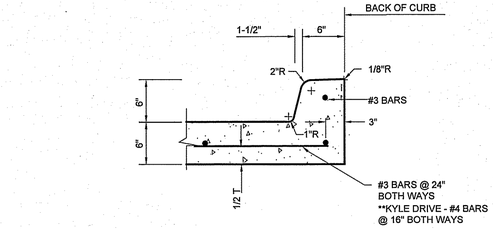


NOTE: AT MARKINGS THE CONCRETE SHALL BE CUT 1" DEEP, FOLLOWED BY GROOVING TOOL. STRENGTH SHALL BE 3000 p.s.i. WITH #3 BARS @ 24" O.C.

SIDEWALK PLAN
NOT TO SCALE

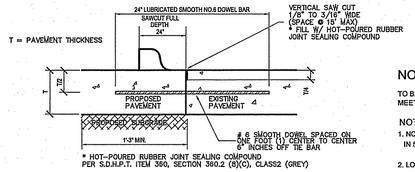


SIDEWALK TYPICAL SECTION
NOT TO SCALE



INTEGRAL CURB + GUTTER
NOT TO SCALE

LONGITUDINAL BUTT DETAIL

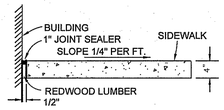


NOTES

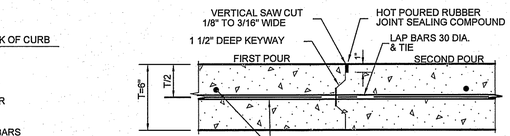
TO BE USED WHERE PROPOSED CONCRETE PAVEMENT MEETS EXISTING CONCRETE PAVEMENT

NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5", 6" AND 7" PAVEMENT THICKNESS.
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.

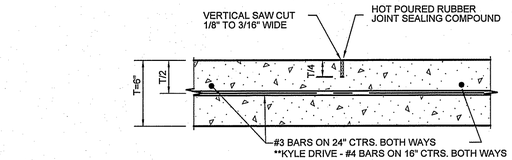
DRILLING BY HAND IS NOT APPLICABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.



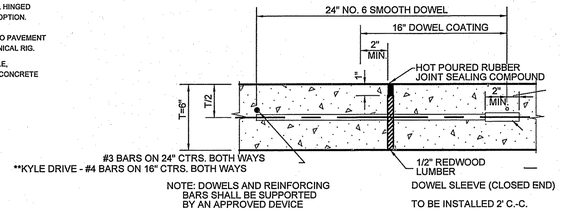
WALK/BUILDING/CURB INTERFACE
NOT TO SCALE



CONSTRUCTION JOINT DETAIL (L)
NOT TO SCALE

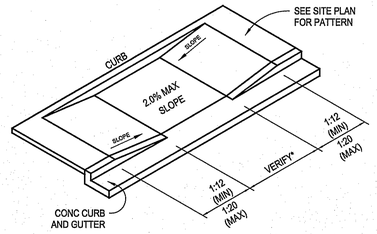


SAWED DUMMY JOINT DETAIL (T)
NOT TO SCALE



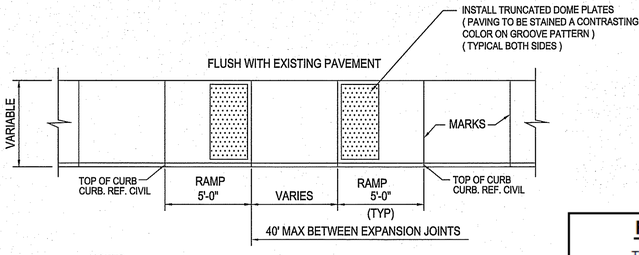
NOTE: DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE

TRANSVERSE EXPANSION JOINT DETAIL (E)
NOT TO SCALE



HANDICAP RAMP DETAIL
NTS

NOTE:
ALL ADA REQUIREMENTS SHALL MEET STATE AND FEDERAL STANDARDS.



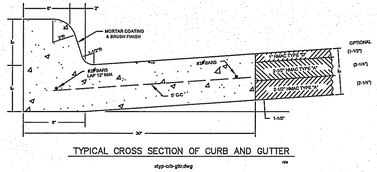
NOTES:
1. INSTALL TRUNCATED DOME PLATES, PER MANUFACTURE DETAILS AND SPECIFICATIONS. SIDEWALK PAVING STRENGTH SHALL BE 3600 p.s.i. WITH #3 BARS @ 16" O.C.
2. SEE HANDICAP DETAIL ABOVE.

FLUSH HANDICAP RAMP
NTS

GENERAL NOTES

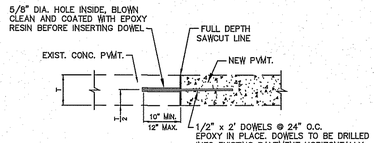
1. CONCRETE FOR STEPS TO BE CLASS A CONCRETE.
2. BARS SHALL CONFORM TO SECTION 2.2.6 OF THE NCTCOG SPECIFICATIONS, 3RD EDITION.
3. BAR LAPS SHALL BE 30 DIAMETERS.
4. ALL EXPOSED SURFACES EXCEPT STEP TREADS AND WALK SHALL RECEIVE A RUBBED FINISH.
5. STEP TREADS AND WALK SHALL RECEIVE A NON-SKID WOOD FLOAT FINISH.
6. WIDTH OF TREAD AND/OR DEPTH OF RISE OF ALL STEPS MAY BE MODIFIED IF SO INDICATED ON THE PLANS.
7. EXPANSION JOINTS SHALL BE COMPOSED OF 1/2" PREMOLDED JOINT FILLER.

Typical 6" Curb



TYPICAL CROSS SECTION OF CURB AND GUTTER

Anchor Joint Exhibit



"ANCHOR JOINT" DOWEL-ON DETAIL
N.T.S.

STANDARD METHOD FOR JOINING NEW REINFORCED CONCRETE PAVMENT TO EXISTING CONCRETE PAVEMENT

RECORD DRAWING
This is to certify that changes and corrections have been made to conform to the contractor's record of this project.
Signed 12-03-2015 Date
Glenn Engineering Corporation

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING THE PLANS FOR CONSTRUCTIONS, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN"

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE 972-717-5151 FAX 972-717-2176
105 DECKER COURT, SUITE 910 IRVING, TEXAS 75062

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

GENERAL GRADING AND DRAINAGE NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND LOCAL GOVERNING AUTHORITIES STANDARDS AND SPECIFICATIONS.

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT.

STATE OF TEXAS
MIKE GLENN
35026
REGISTERED PROFESSIONAL ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35026, on APRIL 24, 2014

JOHNSTON-RAMSAY
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087

The Shores HOA Clubhouse
2601 Champions Dr. ROCKWALL, TEXAS 75087

DATE 04/24/14
PROJECT 011112
CP 1.02 PAVING DETAILS

CASE # SP 2013-018 LOT 2 - BLOCK H - THE SHORES CLUB HOUSE, PHASE 2

Apr 24, 2014 - 5:21pm User: Robert
C:\Users\Public\Bob's Projects\JIMMY STROHMEYER\SHORES\BIDSET\SHORES ENG 17.dwg