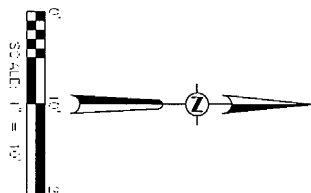
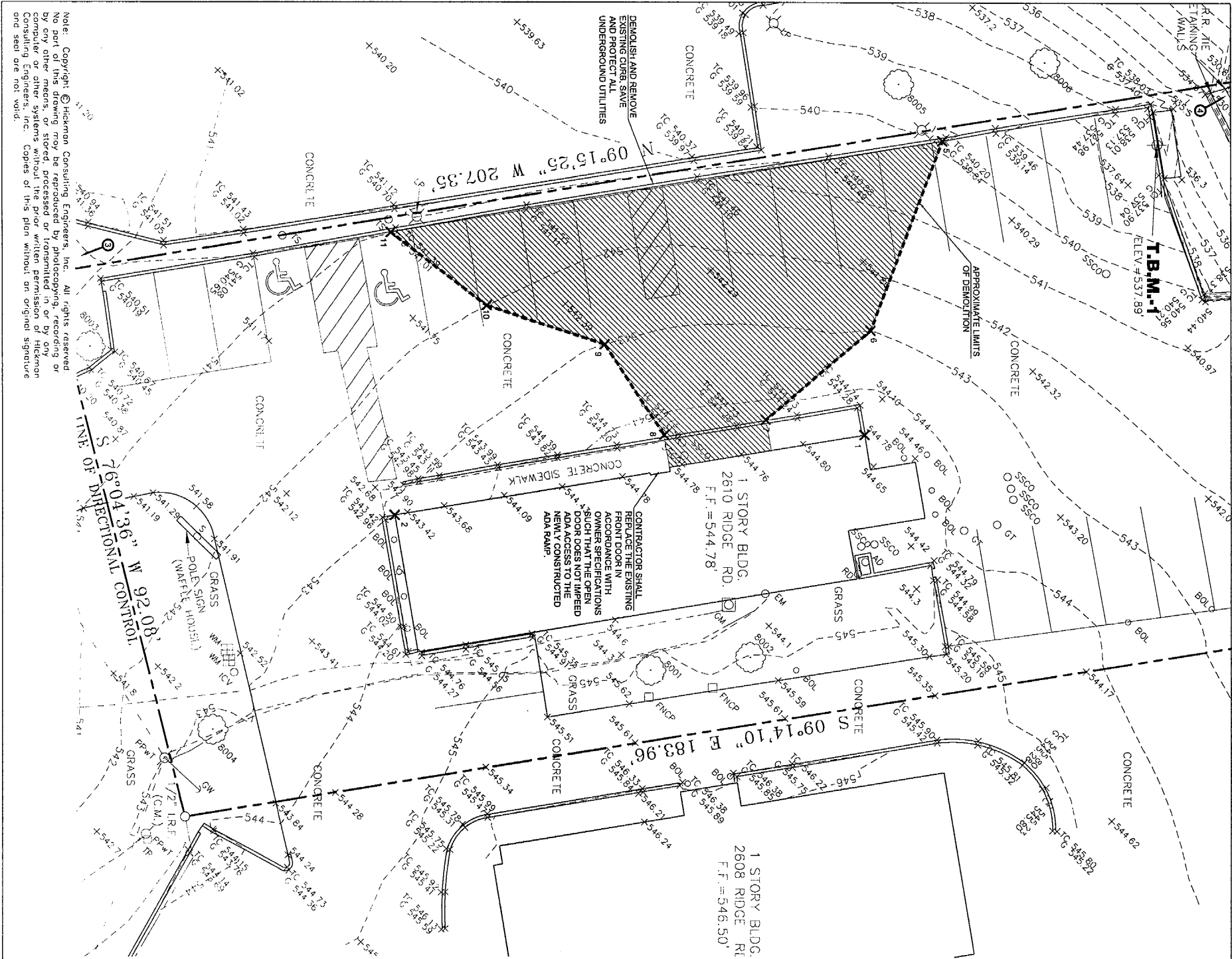


Point Table			
Point #	Raw Description	Elevation	Northing
1	BLDG CORN	511.8428	4936.9287
2	BLDG CORN	5034.4305	4950.2654
3	PROP CORN	4977.8434	4910.6254
4	PROP CORN	5182.4931	4877.2707
5	DEMO	5124.6866	4888.8049
6	DEMO	5112.8558	4919.8581
7	DEMO	5095.5976	4934.4893
8	DEMO	5078.6377	4937.0142
9	DEMO	5069.0728	4922.2082
10	DEMO	5049.6139	4915.8690
11	DEMO	5033.8578	4903.9000

DISTURBED AREA
PAVEMENT - 2,354 SF
UNPAVED - 400 SF
TOTAL DISTURBED AREA 2,754 SF
LESS THAN 0.1 OF ACRE (4,356 SF)



- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOURS
 - PROPOSED CONTOUR
 - RIDGE
 - VALLEY
 - PROPOSED FIRE HYDRANTS
 - POWER POLE & GUY WIRE
 - SEWER LINE
 - WATER LINE
 - SEWER FORCE MAIN
 - OVERHEAD ELECTRIC LINE

- DEMOLITION NOTES**
1. CONTRACTOR SHALL MAINTAIN ACCESS TO THE BUSINESS AT ALL TIMES DURING CONSTRUCTION AND SHALL PROTECT ALL APPURTENANCES NOT IN THE AREA OF DEMOLITION, INCLUDING EXISTING PAVING NOT TO BE REMOVED.
 2. ALL CONCRETE PAVING SHALL BE SAW CUT FULL DEPTH PRIOR TO REMOVAL. ANY DAMAGE TO THE ADDITIONAL PAVING REQUIRED TO REMOVAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
 3. CONTRACTOR SHALL MAINTAIN ACCESS TO THE BUSINESS AT ALL TIMES DURING CONSTRUCTION AND SHALL PROTECT ALL APPURTENANCES NOT IN THE AREA OF DEMOLITION, INCLUDING EXISTING PAVING NOT TO BE REMOVED.
 4. CONTRACTOR SHALL MAINTAIN ACCESS TO THE BUSINESS AT ALL TIMES DURING CONSTRUCTION AND SHALL PROTECT ALL APPURTENANCES NOT IN THE AREA OF DEMOLITION, INCLUDING EXISTING PAVING NOT TO BE REMOVED.
 5. ALL PAINT STRIPES SHALL BE COMPLETELY REMOVED PRIOR TO REPAVING/RESTRIPING OF THE SITE.
 6. ALL CONSTRUCTION DEBRIS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE FOR PROPER DISPOSAL AT THE END OF EACH DAY OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.

NOTE
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS.

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DEMOLITION PLAN
ROCKWALL WAFFLE HOUSE ADA UPDATE
2610 RIDGE ROAD
ROCKWALL, TEXAS

FOR: WAFFLE HOUSE, INC.
5986 FINANCIAL DRIVE
ROCKWALL, TEXAS 75087
(720) 725-9315

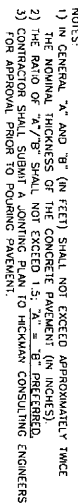
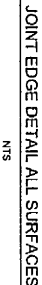
ENGINEER: HICKMAN CONSULTING ENGINEERS, INC.
3094 COUNTY ROAD 1024
FARMERSVILLE, TEXAS 75442
(972) 497-9889

BEFORE YOU DIG CALL:
1-800-245-4545

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

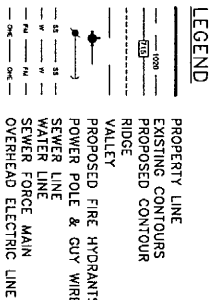
TEXAS ONE CALL SYSTEM

8" 3,600 PSI CONCRETE PAVING (AIR ENTRAINMENT 4%-(6%) WITH #4 BAR 18" ON CENTER IN BOTH DIRECTIONS SUBGRADE COMPACTED TO 95% PROCTOR WITHIN 0 TO +2% OPTIMUM MOISTURE CONTENT MIN 6.5 SACK MIX

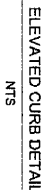


ALL PAVEMENTS

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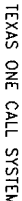
1. SAW CUT CONCRETE REBAR PER DETAIL THIS SHEET.
2. CONTRACTOR SHALL NOTIFY OWNER 3 DAYS PRIOR TO ANY CONCRETE POUR.
3. ANY WORK DONE IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND DETAILS OF THE JURISDICTION WITH AUTHORITY OVER THE RIGHT OF WAY.
4. ALL BARRIER FREE RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH TPOOT STANDARD DETAILS AND CONSTRUCTION DETAILS.
5. AFTER CONSTRUCTION, THE CONTRACTOR SHALL AND EXPANSION JOINTS SHALL BE INSPECTED AND RESEALED IF NECESSARY.
6. THE ORIGINAL SOILS REPORT SHALL BE REVIEWED BY THE CONTRACTOR PRIOR TO BEGINNING ANY WORK.
7. SEE PAVING DETAIL SHEET FOR ADDITIONAL NOTES AND DETAILS.
8. CONTRACTOR SHALL DOWEL INTO EXISTING PAVEMENT A MINIMUM OF 12" DEPTH EVERY 48" ALONG THE SAW CUT EDGE.
9. PERPENDICULAR TO THE SAW CUT EDGE, DOWELS SHALL BE MINIMUM OF 24" LONG 4# REBAR.
10. ALL CONCRETE BATCHES DOWELS TO BE APPROVED BY THE CITY.



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ROCKWALL WAFFLE HOUSE ADA UPDATE

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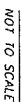
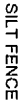
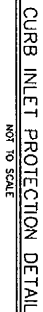
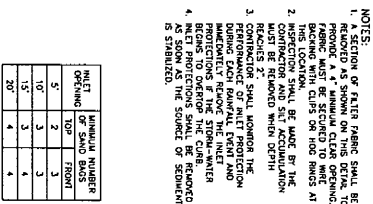


SCALE: AS SHOWN
DATE: FEB 2013
DRAWN BY: IN
CHK'D BY: MHH
JOB NO: XXXXX
FILE:
DATE OF SUBMITTAL:

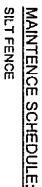
PAVING AND STRIPING PLAN
ROCKWALL WAFFLE HOUSE ADA UPDATE
 2610 RIDGE ROAD
 ROCKWALL, TEXAS
 WAFFLE HOUSE, INC
 5986 FINANCIAL DRIVE
 NORCROSS, GA 30071



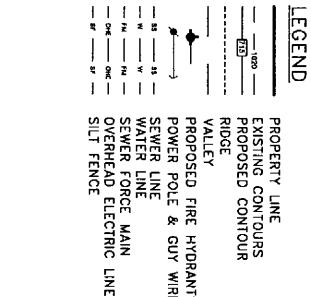
Hickman Consulting Engineers, Inc.
3094 County Road 1024
Farmersville, Texas 75442
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SILT FENCE SHOULD BE INSPECTED WEEKLY AND AFTER MAJOR RAINFALL EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM BEHIND FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. INSPECT THE BASE OF THE FENCE TO ENSURE NO CARPS HAVE DEVELOPED AND RE-FENCE AS NECESSARY. INSPECT FENCE POSTS TO ENSURE THAT THEY ARE PROPERLY SUPPORTING THE FENCE. STRAIGHTEN, RESET AND MO POSTS IF NECESSARY. IF FILTER FABRIC IS RIPPED, DAMAGED OR DELETED/REPLACED, IT ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS AND DETAILS.



- EROSION CONTROL NOTES:**

1. SOIL EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE CURRENT CITY OR COUNTY SEEDMENT AND EROSION CONTROL ORDINANCE.
2. SEDIMENT TRAPS, SILT FENCE, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT ON SITE MUST BE CONSTRUCTED AND FUNCTIONAL BEFORE ANY GRADING OR LAND DISTURBANCE TAKES PLACE.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION WHICH MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DOMINANT (UNDISTURBED) FOR LONGER THAN SIXTY (60) DAYS, THIS INCLUDES APPLICATION OF BASE MATERIAL ON AREAS TO BE PAVED.
4. THE CITY ENGINEER AND APPROPRIATE STATE AGENCIES SHALL NAME A SEEDMENT AND EROSION CONTROL PLAN TO BE SUBMITTED AND THE OVERALL EFFECTIVENESS OF THE EROSION CONTROL PROGRAM. IF THE EROSION AND SEDIMENT ON-SITE INSPECTION INDICATES THAT THE APPROVED CONTROL MEASURES ARE NOT EFFECTIVE IN CONTROLLING THE EROSION AND SEDIMENTATION OR BECAUSE OF A CHANGE OF CIRCUMSTANCES, THE APPROVED PLAN CAN NOT BE CARRIED OUT. ADDITIONAL MEASURES MAY BE REQUIRED TO BE INSTALLED.
5. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY BY THE SITE FOREMAN. ANY STRUCTURES THAT ARE DAMAGED OR IN OPERABLE MAY BE IMMEDIATELY REPAIRED OR REPLACED.
6. CONTRACTORS SHALL CONSTRUCT A PIT OR WASH BASIN FOR WASH OUT OF CONCRETE TRUCKS. CONTRACTOR SHALL CONSTRUCT AND ENCLOSURE TO STORE ALL TRASH AND WASTE MATERIAL UNTIL PROPER DISPOSAL AT AN OFF-SITE FACILITY.
7. CONTRACTOR SHALL SUPPLY SILL PROTECTION FOR ANY TEMPORARY FUEL STORAGE TANK ON SITE DURING CONSTRUCTION.
8. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE ON THE PROJECT.
9. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER.
10. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISOR AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
11. IF OFF-SITE SOIL, BORROW OR SPILL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPILL AREAS ARE CONSIDERED PART OF THIS PROJECT SITE AND THEREFORE SHALL COMPLY WITH ALL EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
12. MOVABLE VEGETATION SHALL BE ESTABLISHED PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

NOTE:
CONTRACTOR TO VERIFY HOA LOCATION OF ALL EXISTING BEGINNING ANY CONSTRUCT NOTIFY THE ENGINEER OF EXISTING UTILITIES SHOWN BASED ON COMBINATION OF

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TEXAS ONE CALL SYSTEM

EROSION CONTROL PLAN

ROCKWALL WAFFLE HOUSE ADA UPDATE

ROCKWALL, TEXAS

WAFLE HOUSE, INC.
5986 FINANCIAL DRIVE
NORCROSS, GA 30071
(770) 729-5915

HICKMAN CONSULTING ENGINEERS, INC.
3094 COUNTY ROAD 1024
FARMERSVILLE, TX 75442
(972) 497-9889

SCALE: AS SHOWN
DATE: FEB 2013
DRAWN BY: IN
CHK'D BY: MHH
JOB NO: XXXXX
FILE:
DATE
OF SUBMITTAL:

EROSION CONTRPOL PLAN
ROCKWALL WAFFLE HOUSE ADA UPDATE
2610 RIDGE ROAD
ROCKWALL, TEXAS
WAFFLE HOUSE, INC
5986 FINANCIAL DRIVE
NORCROSS, GA 30071



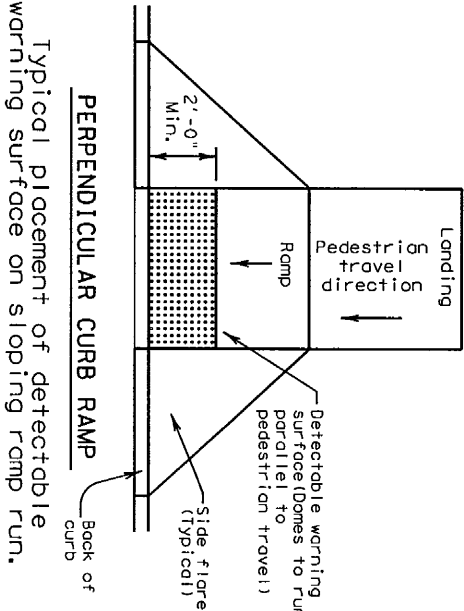
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Farmersville, Texas 75442
Ph (972)497-9889 • Fax (972)793-8654
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C-4.0 SHEET	REVISION	DESCRIPTION

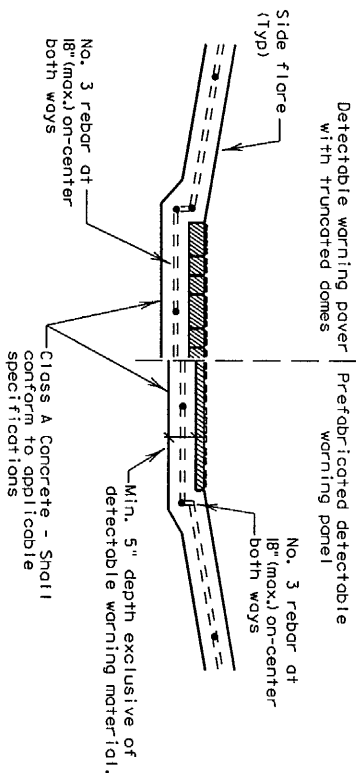
General Notes

Curb Ramps

1. Install a curb ramp or blended transition at each pedestrian street crossing.
 2. All slopes shown are maximum allowable, lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
 3. The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable. Where a 5' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 4' for short distances.
 4. 5' x 5' posting areas at intervals not to exceed 200' are required.
 4. Landings shall be 5' x 5' minimum with a maximum 2% slope in any direction.
 5. Maneuvering space at the bottom of curb ramps shall be a minimum of 4' x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
 6. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
 7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
 8. Additional information on curb ramp location, design, light reflective value and texture may be found in the current edition of the Texas Accessibility Standards (TAS) and 16 TAC 68.102.
 9. To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curbs. Medians should be designed to provide accessible passage over or through them.
 10. Small channelization islands, which do not provide a minimum 5' x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
 11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
 12. Handrails are not required on curb ramps. Provide curb ramps wherever an accessible route crosses (penetrates) a curb.
 13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
 14. Place concrete at a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
 15. Provide a smooth transition where the curb ramps connect to the street.
 16. Curbs shown on Sheet 1 within the limits of payment are considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
 17. Existing features that comply with TAS may remain in place unless otherwise shown on the plans.
- Detectable Warning Material**
18. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cost-in-place dark brown or dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
 19. Detectable Warning Materials must meet TxDOT Departmental Materials Specification DMS 4350 and be listed on the Material Producer List. Install products in accordance with manufacturer's specifications.
 20. Detectable warning surfaces must be slip resistant and not allow water to accumulate.
 21. Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
 22. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. Align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Detectable warning surfaces may be curved along the corner radius.
 23. Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.



Typical placement of detectable warning surface on sloping ramp run.



SECTION: CURB RAMP AT DETECTABLE WARNING

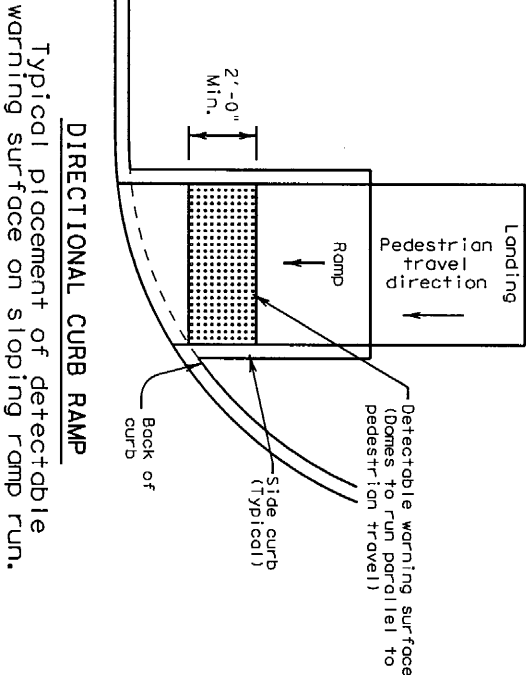
DETECTABLE WARNINGS

Detectable Warning Pavers

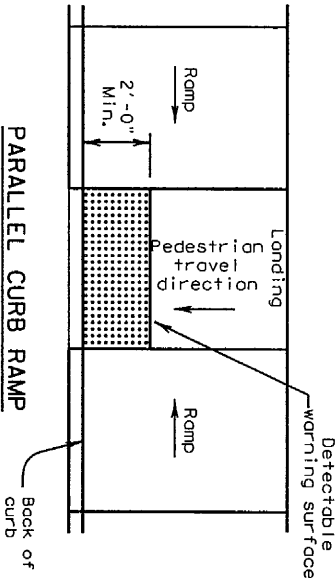
24. Furnish detectable warning paver units meeting all requirements of ASTM C-936, C-33. Lay in a two by two unit basket weave pattern or as directed.
25. Lay full-size units first followed by closure units consisting of at least 25 percent of a full unit. Cut detectable warning paver units using a power saw.

Sidewalks

26. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within one or more reach ranges specified in TAS 308.
27. Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.
28. Street grades and cross slopes shall be as shown elsewhere in the plans.
29. Changes in level greater than 1/4 inch are not permitted.
30. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than 5% must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with TAS 505.
31. Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.
32. Driveways and turnouts shall be constructed and paid for in accordance with Item "Intersections, Driveways and Turnouts". Sidewalks shall be constructed and paid for in accordance with Item, "Sidewalks".
33. Sidewalk details are shown elsewhere in the plans.




Typical placement of detectable warning surface on sloping ramp run.



Typical placement of detectable warning surface on landing at street edge.

PARALLEL CURB RAMP



Texas Department of Transportation

Design Division Standard

PEDESTRIAN FACILITIES

CURB RAMPS

PED-12A

FILE: Ped12A.dgn		DN: TxDOT	CK: PK	DN: TxDOT	CA: HD
TxDOT		CON: SECT	JOB	HIGWAY	
REV: 13, 2012		DIST	COUNTY	SHEET NO.	

DATE:
FILE:

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