

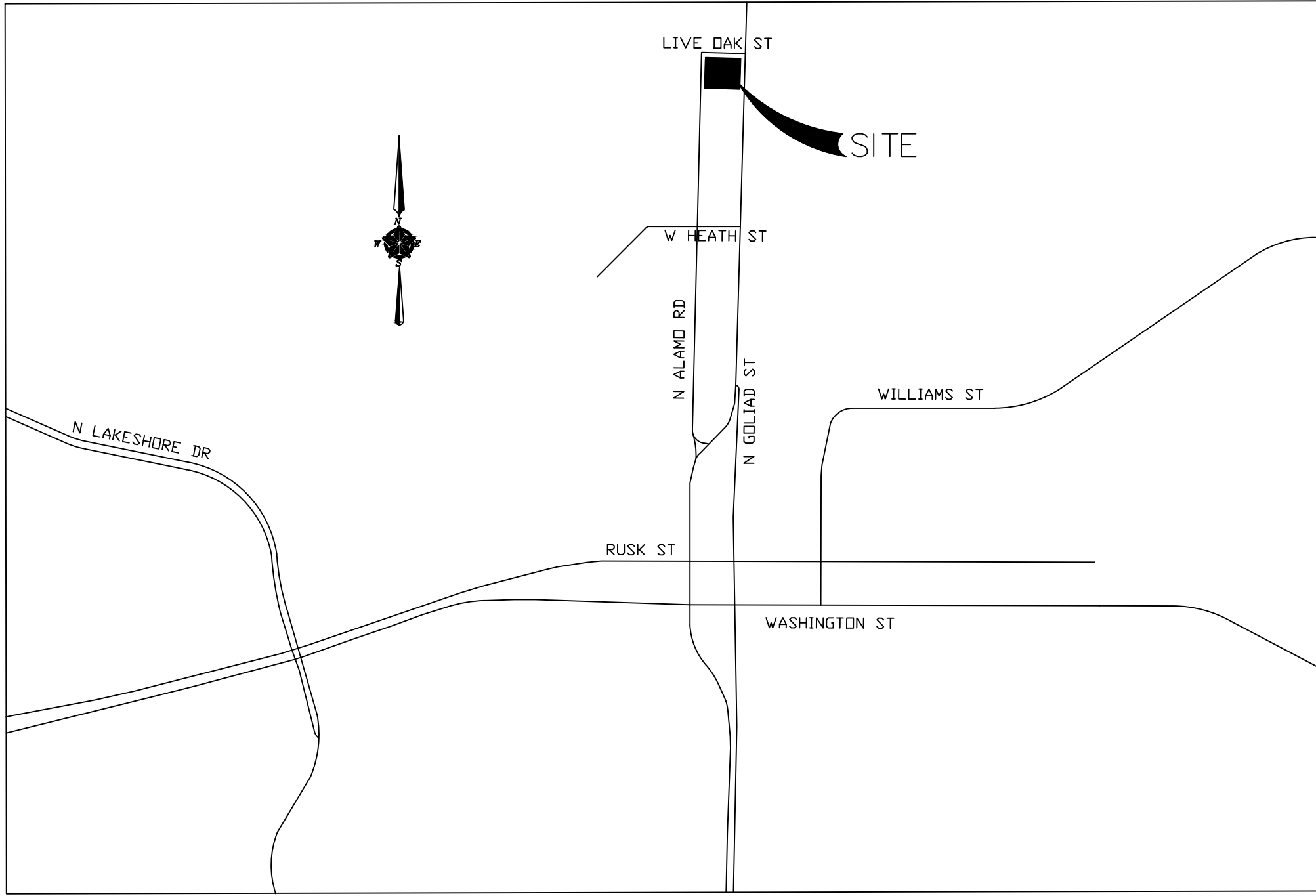
CONSTRUCTION PLANS

925 N. GOLIAD ST.

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

GENERAL NOTES (All Disciplines)

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS AND PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC.
3. ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION AND ANY WORK WITHIN TXDOT RIGHT OF WAY SHALL CONFORM TO TXDOT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE INDICATED ON APPROVED PLANS.
4. IF AN ITEM IS NOT COVERED IN THE CITY OF ROCKWALL SUBDIVISION REGULATIONS, THE CITY ENGINEER'S DECISION SHALL APPLY. IN CASE OF CONFLICT WITH THE CITY OF ROCKWALL SPECIFICATIONS, THE DESIGN ENGINEER SHALL BE NOTIFIED TO PROVIDE CLARIFICATION.
5. CONSTRUCTION INSPECTION MAY BE PERFORMED BY REPRESENTATIVES OF THE OWNER, ENGINEER, GEOTECHNICAL ENGINEER, AND REVIEWING AUTHORITIES AND AGENCIES. UNRESTRICTED ACCESS SHALL BE PROVIDED TO THEM AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND SCHEDULING REQUIRED INSPECTIONS.
6. CERTAIN CONSTRUCTION STAKING MAY BE PERFORMED BY THE OWNER'S ENGINEER. SEE THE CONTRACT DOCUMENTS FOR DETAILS OF THIS SERVICE.
7. IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
8. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES. CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITIES TO FINAL GRADE.
9. THE CONTRACTOR MUST CONFINE HIS ACTIVITY TO THE WORK AREA. NO ENCROACHMENTS ONTO ADJACENT PROPERTIES WILL BE ALLOWED UNLESS SPECIFIED IN THE PLANS AND HAVE AGREEMENT LETTERS FROM ADJACENT PROPERTY OWNERS. ANY DAMAGE RESULTING THEREFROM SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
10. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE TO ADJUST ANY EXISTING OR PROPOSED UTILITIES TO FINISHED GRADE.
11. ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.



VICINITY MAP
N.T.S.

INDEX OF PLANS

SHEET NO.	SHEET DESCRIPTION
01	COVER SHEET
02	SITE & LANDSCAPE PLAN
03	DEMOLITION PLAN
04	GRADING PLAN
05	DRAINAGE AREA MAP
06	PAVING PLAN
07	EROSION CONTROL PLAN
08	RAMP DETAILS
09	HANDRAIL DETAILS

AS BUILT DRAWINGS

TO THE BEST OF OUR KNOWLEDGE, ERIC L. DAVIS ENGINEERING INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

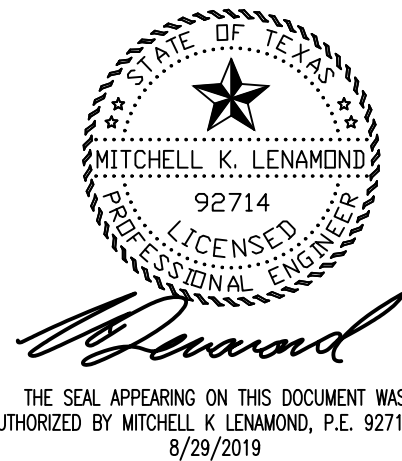
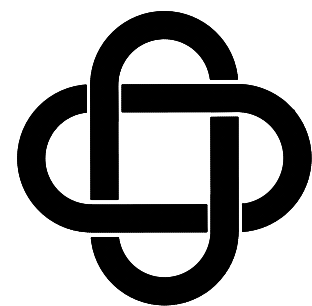
OWNER / DEVELOPER

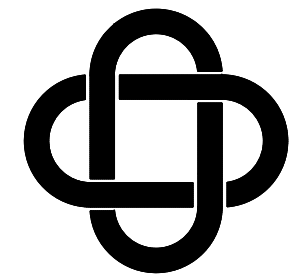
CARI FOOTE

P.O. BOX 1731
MARBLE FALLS, TX 78654

ERIC L. DAVIS ENGINEERING, INC.
F-3987

120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com





ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

SITE & LANDSCAPE PLAN
DESIGNED FOR:

CARI FOOTE

PLAN: SITE PLAN

ELD JOB NO.: 2069

DRAWN BY: BW

FIRM REGISTRATION #: 3987

BUILDER: CARI FOOTE

ADDITION: ISAAC PENA ADDITION

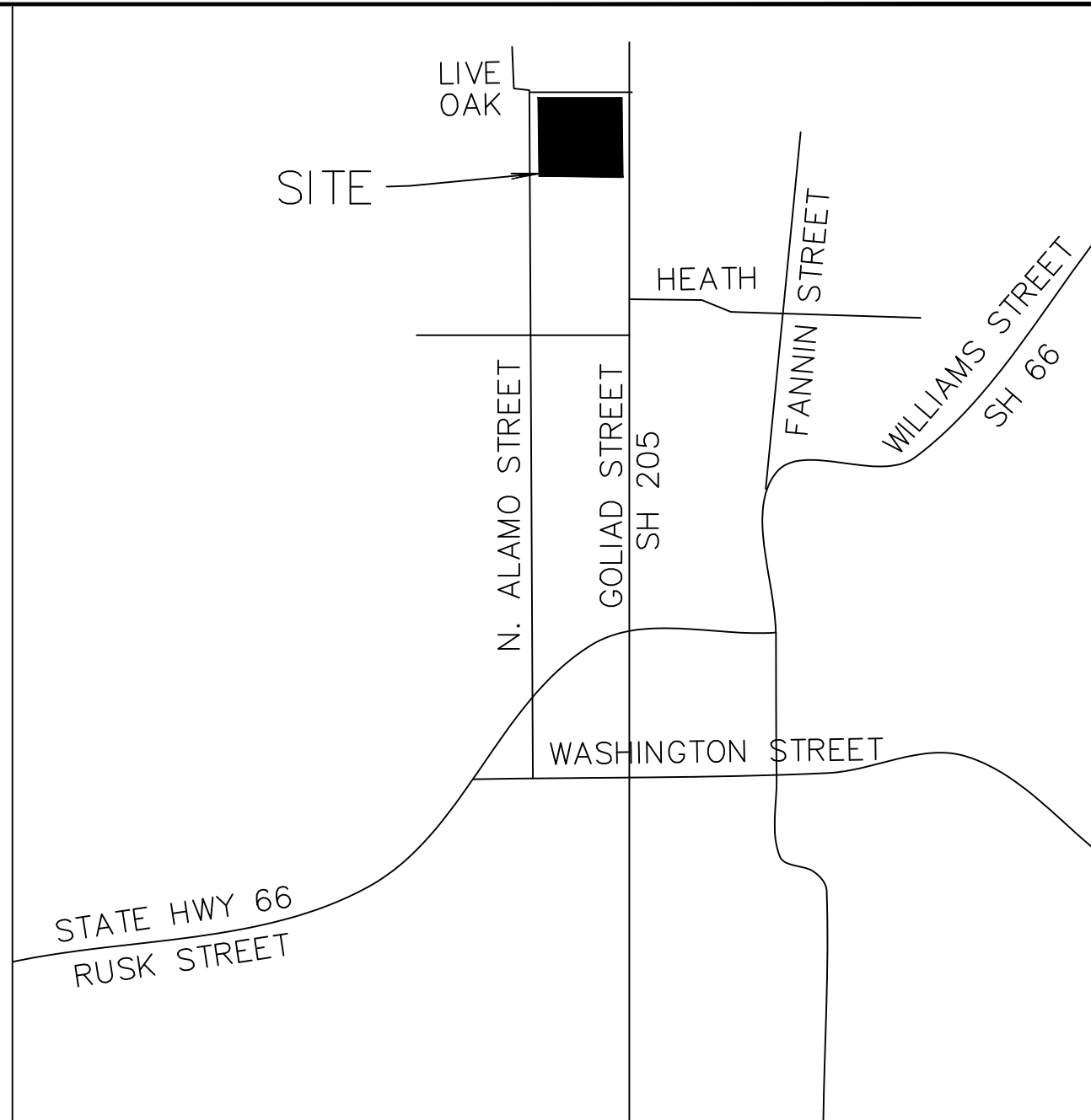
ADDRESS: 925 N. GOLIAD ST.

LOT: 1 BLOCK: 1

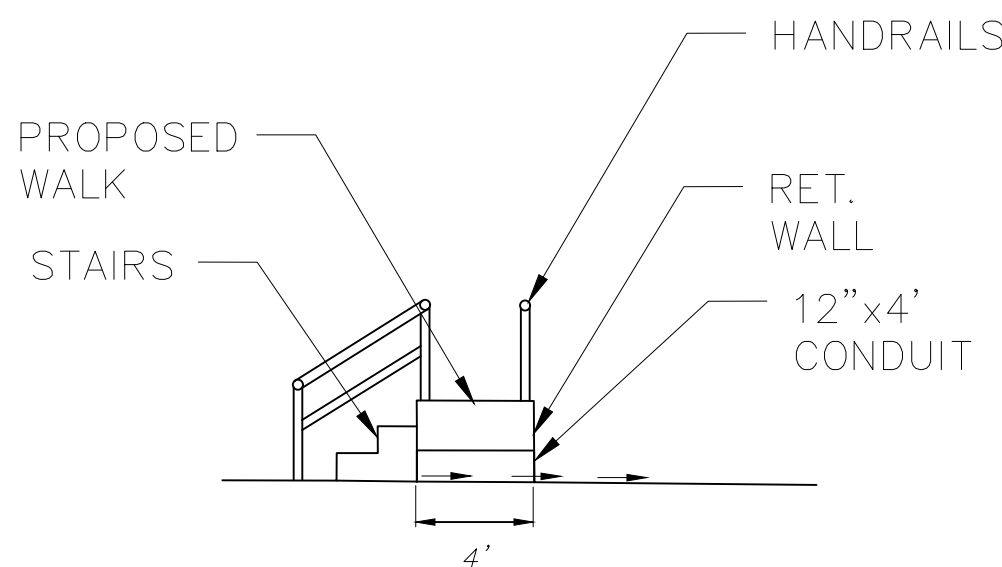
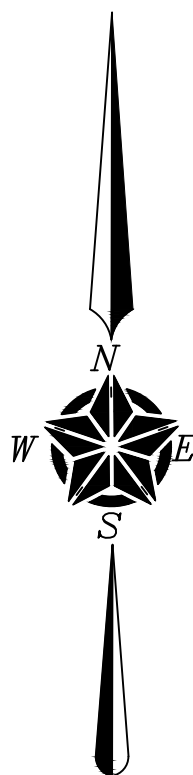
CITY: ROCKWALL, TX

SCALE: 1"=20'

SHEET 02



VICINITY MAP
N.T.S.



SECTION A-A
N.T.S.

AS BUILT DRAWINGS

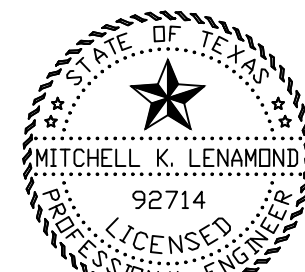
NOTES:

TxDOT PERMIT REQUIRED FOR DRIVEWAY REMOVAL ON SH 205.

ALL DISTURBED R.O.W.s TO BE SODDED PRIOR TO CITY ACCEPTANCE AND CERTIFICATE OF OCCUPANCY

HANDRAILS TO EXTEND 1' PAST TOP STEP AND BOTTOM STEP.

SP2019-009

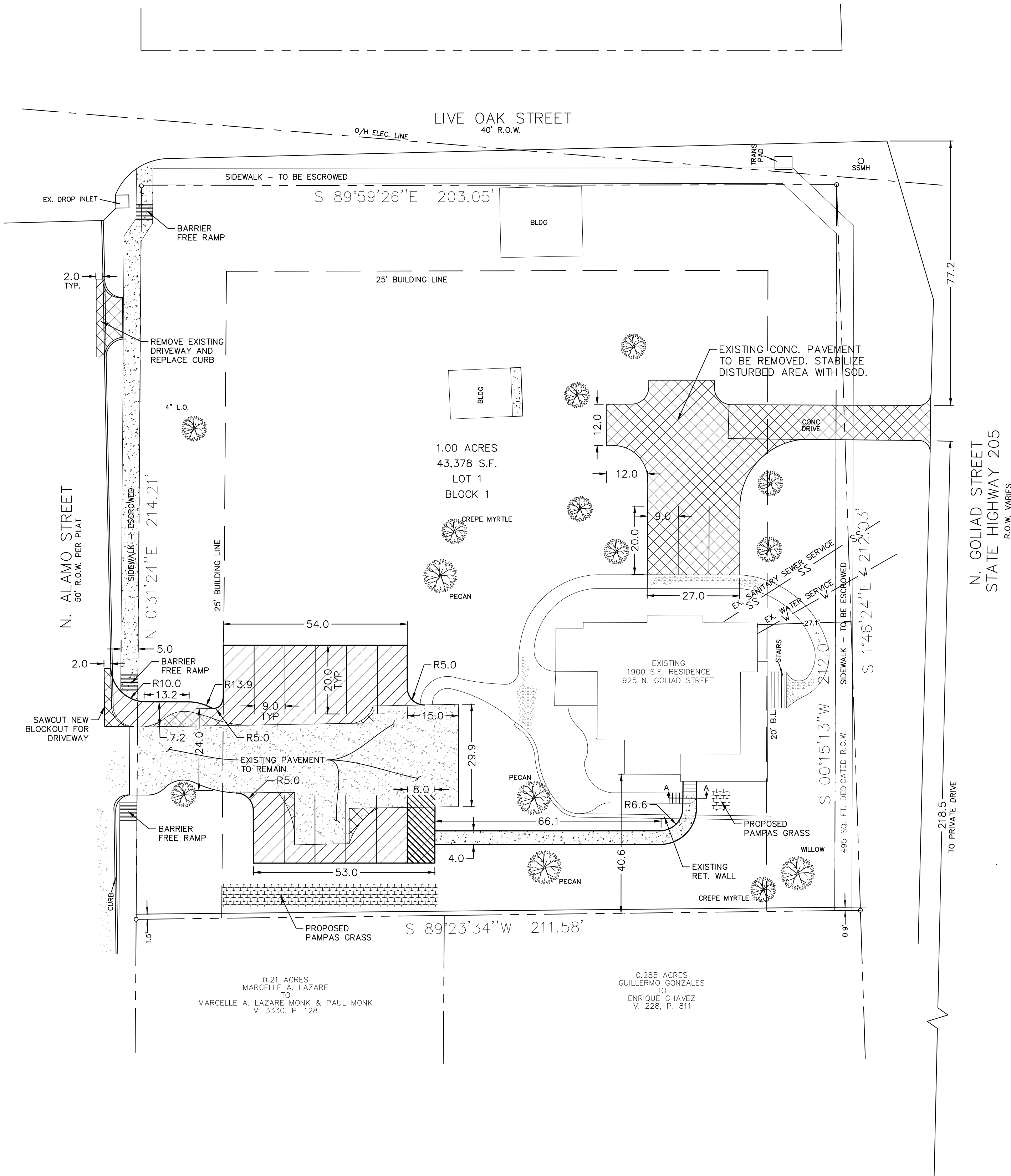


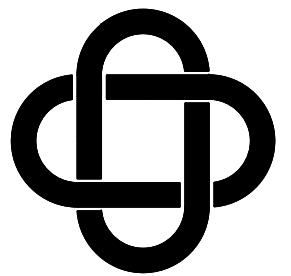
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON
8/29/2019

DEVELOPMENT SYNOPSIS

ZONING: PD 50
PROPOSED USE: OFFICE
PROPERTY AREA: 43,378 SF, 1.00 AC
BUILDING AREA: 1,900 SF
EX. PAVEMENT AREA: 4935 SF
PR. PAVEMENT AREA: 4932 SF
PARKING REQUIRED: 4 (1 ADA)
PARKING PROVIDED: 11 (1 ADA)

	DRIVE PAVEMENT ADDITION 2218 SF
	SIDEWALK PAVEMENT ADDITION 333 SF
	PAVEMENT REMOVAL 2554 SF





ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

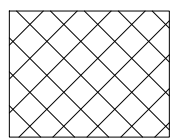
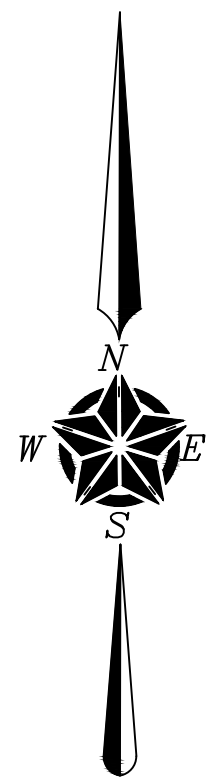
DEMOLITION PLAN
DESIGNED FOR:

CARI FOOTE

BUILDER: CARI FOOTE	PLAN: DEMOLITION
ADDITION: ISAAC PENA ADDITION	ELD JOB NO.: 2069
ADDRESS: 925 N. GOLIAD ST.	DRAWN BY: BW
LOT: 1 BLOCK: 1	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	

SCALE: 1"=20'

SHEET 03



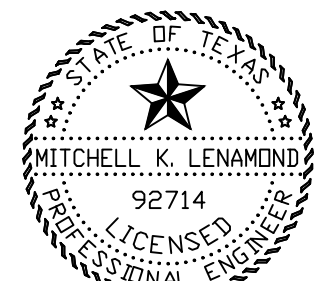
PAVEMENT REMOVAL
2554 SF

AS BUILT DRAWINGS

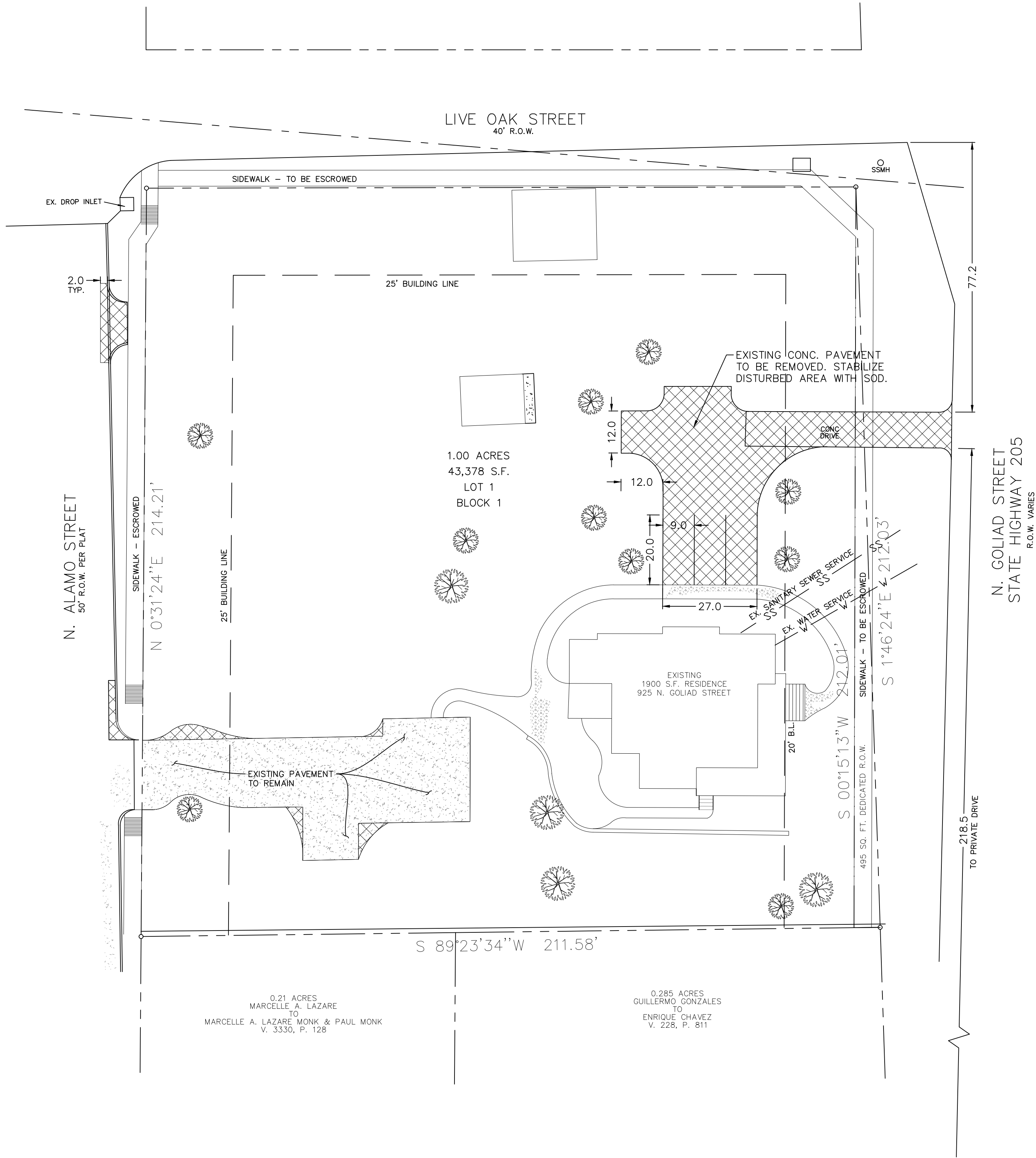
NOTES:

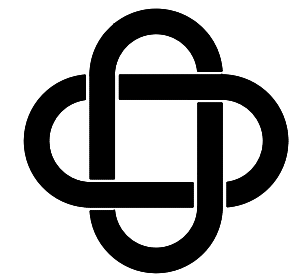
TxDOT PERMIT REQUIRED FOR
DRIVEWAY REMOVAL ON SH 205.

ALL DISTURBED R.O.W.s TO BE
SODDED PRIOR TO CITY
ACCEPTANCE AND CERTIFICATE
OF OCCUPANCY



Mitchell K. Lenamond
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON
6/29/2019





ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

DIMENSIONAL CONTROL
DESIGNED FOR:

CARI FOOTE

PLAN: DIMENSIONAL CONTROL

ELD JOB NO.: 2069

DRAWN BY: BW

FIRM REGISTRATION #: 3987

BUILDER: CARI FOOTE

ADDITION: ISAAC PENA ADDITION

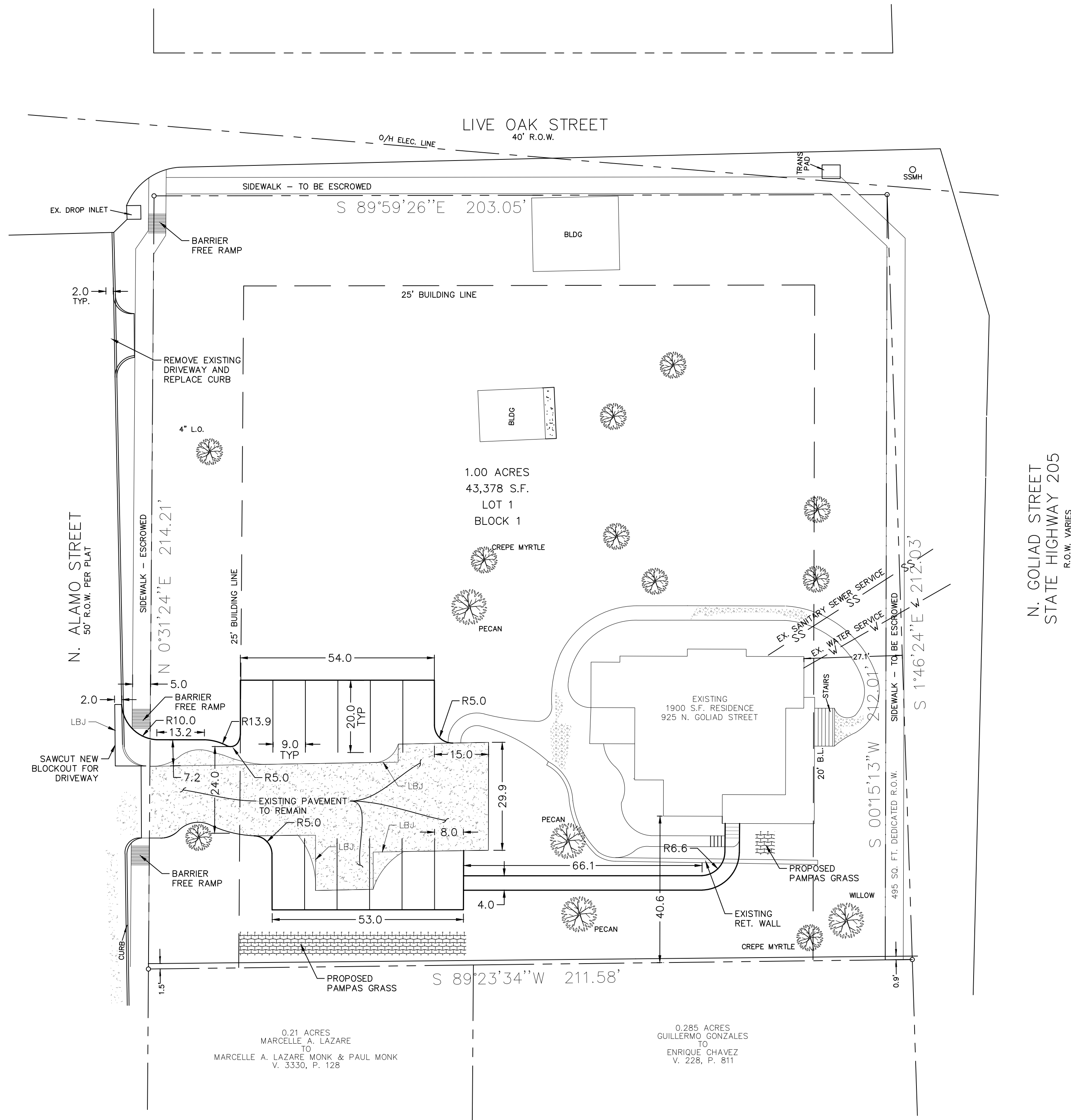
ADDRESS: 925 N. GOLIAD ST.

LOT: 1 BLOCK: 1

CITY: ROCKWALL, TX

SCALE: 1"=20'

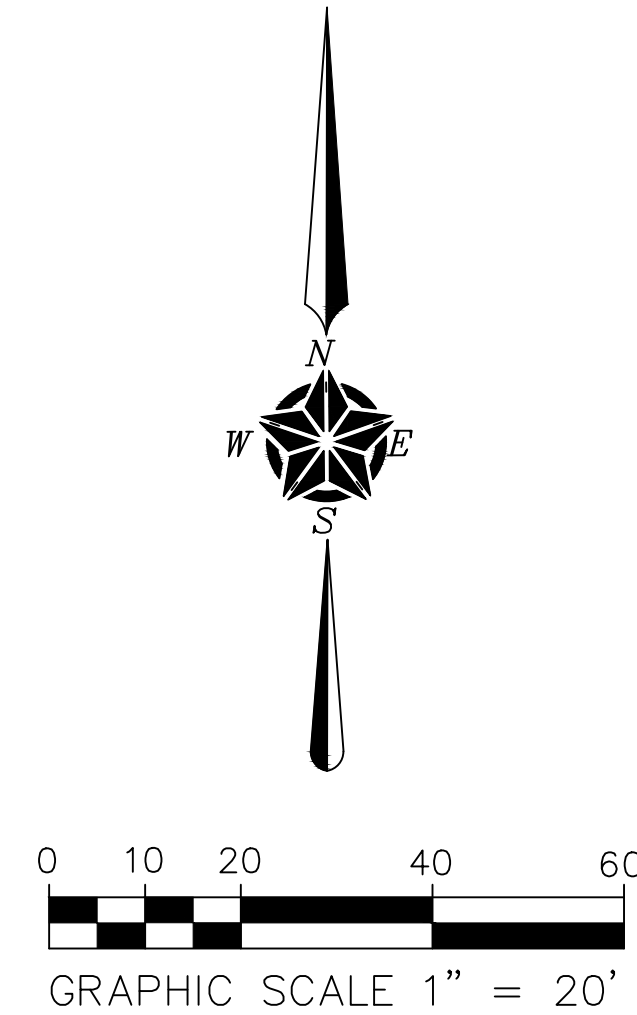
SHEET 04



AS BUILT DRAWINGS

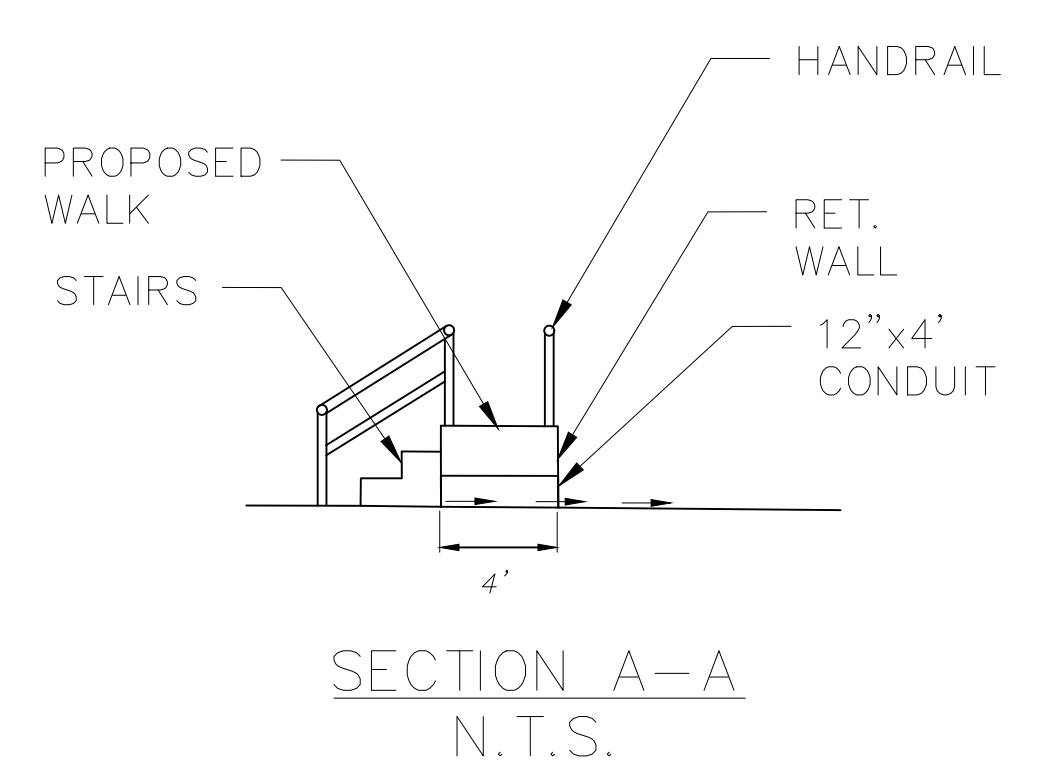
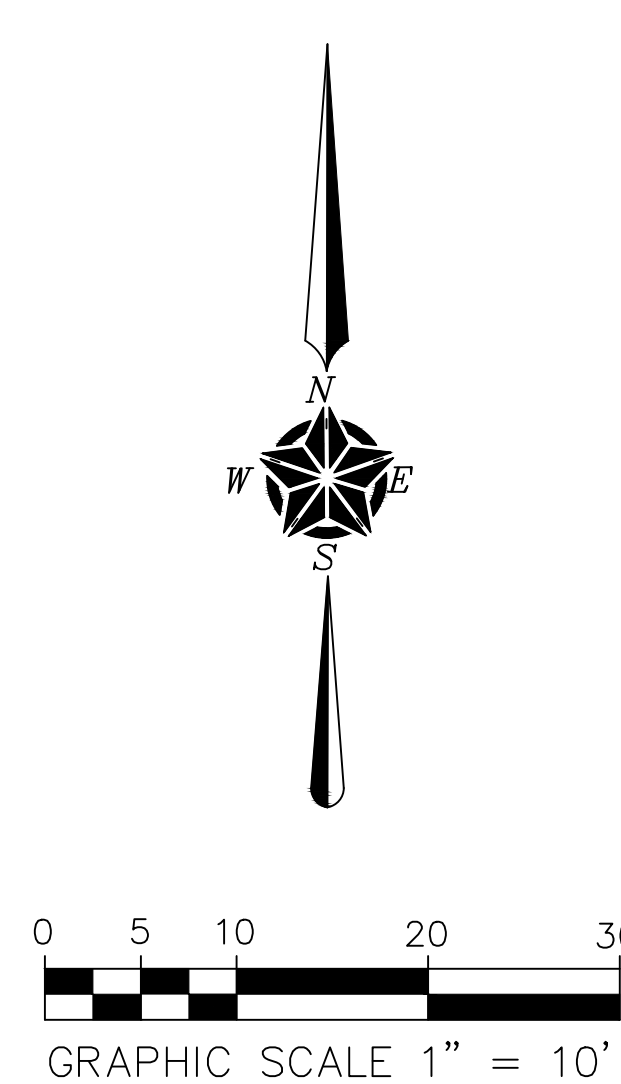
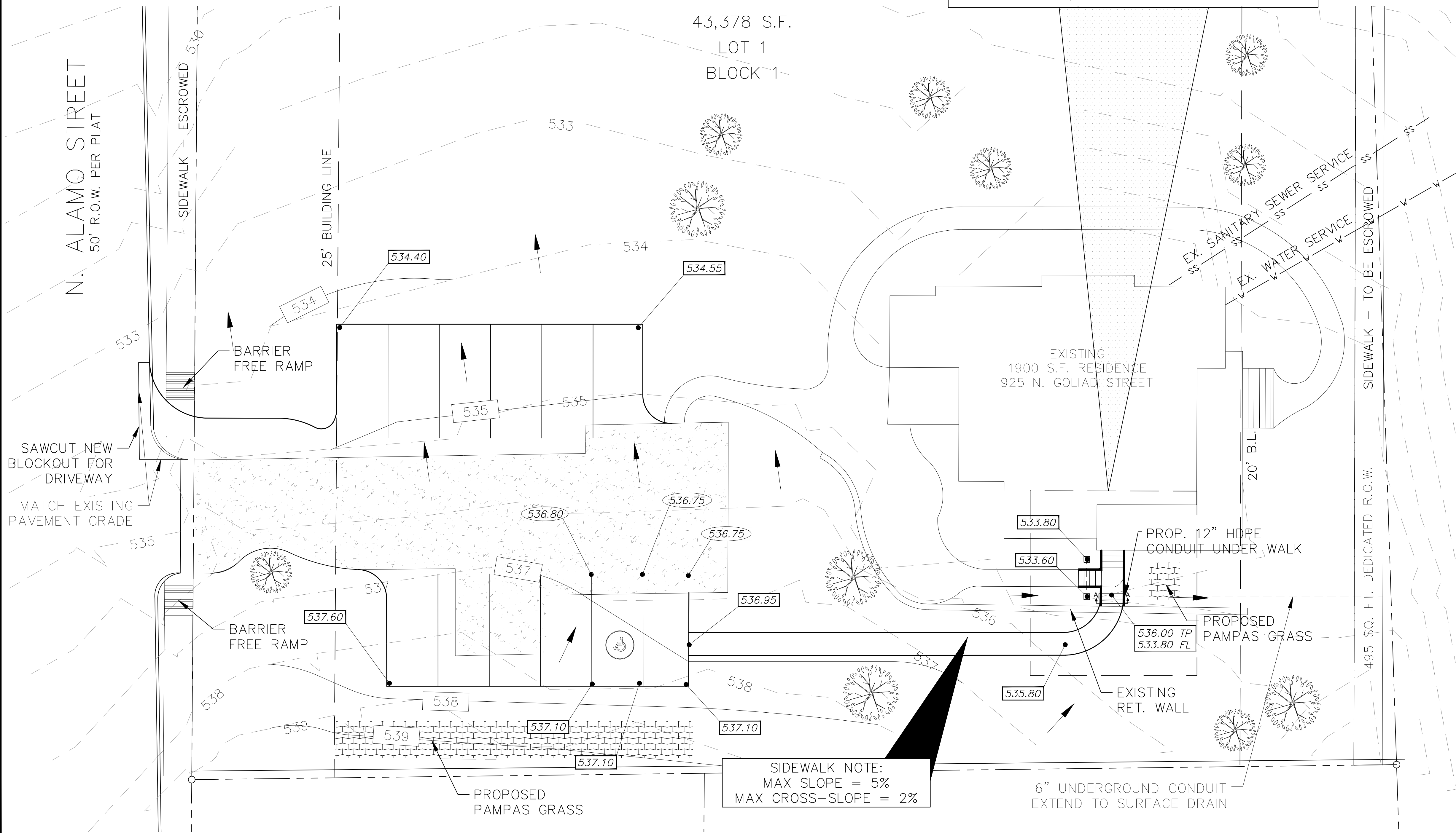


THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON
8/29/2019



- NOTE:
1. SITE PREPARATION MUST COMPLY WITH PROJECT GEOTECHNICAL REPORT SPECIFICATIONS.
 2. REMOVE AND DISCARD ALL VEGETATION WHERE GRADING IS PROPOSED
 3. SITE DRAINAGE MUST BE WELL DEVELOPED AND DIRECTED AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. FLOWLINE SLOPES OF SWALES AND SIDE YARDS SHALL NOT BE LESS THAN 1.25%. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE.
 4. BACKFILL AROUND THE FOUNDATION SHALL BE WITH COHESIVE SOIL.
 5. ROOF DOWNSPOUTS AND DRAINS SHALL BE EXTENDED AND DRAIN AWAY FROM FOUNDATION.
 6. PAVING AND STRUCTURAL DESIGN BY OTHERS.
 7. ALL FILL TO BE 95% STD. DENSITY USING A SHEEP'S FOOT ROLLER.
 8. ALL RIGHT-OF-WAYS TO BE SODDED.
 9. NO CITY ACCEPTANCE OR CERTIFICATE OF OCCUPANCY WILL BE GIVEN UNTIL 75-80% OF ALL DISTURBED AREA TO HAVE 1" STAND OF GRASS (NO WEEDS OR WINTER RYE ALLOWED) ESTABLISHED.

ALL ELEVATIONS ARE BASED ON SURVEY DATA PROVIDED BY THE OWNER AND/OR SURVEYOR. DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR DISCREPANCIES RESULTING FROM SURVEY DATA.



LEGEND	
---	EASEMENT
XXX	EXISTING SPOT ELEVATION
XXX	PROPOSED SPOT ELEVATION
---	PROPERTY LINE
---	PROPOSED CONTOURS
---	EXISTING CONTOURS
---	PROPOSED FLOW DIRECTION
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
TG	TOP OF GROUND
12' x 12' AREA DRAIN	

AS BUILT DRAWINGS



05/30/2019

ERIC L. DAVIS ENGINEERING, INC.

F-3987

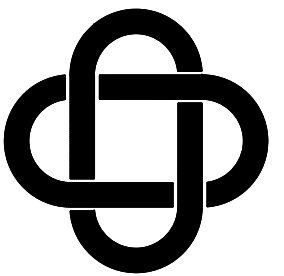
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

GRADING PLAN
DESIGNED FOR:
CARI FOOTE

BUILDER: CARI FOOTE	PLAN: GRADING
ADDITION: ISAAC PENA ADDITION	ELD JOB NO.: 2069
ADDRESS: 925 N. GOLIAD ST.	DRAWN BY: BW
LOT: 1 BLOCK: 1	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	

SCALE: 1"=10'

SHEET 04



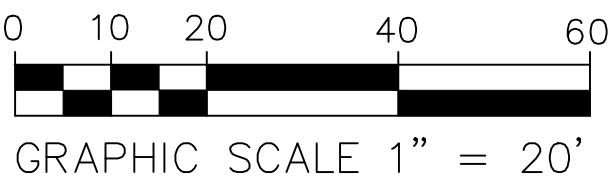
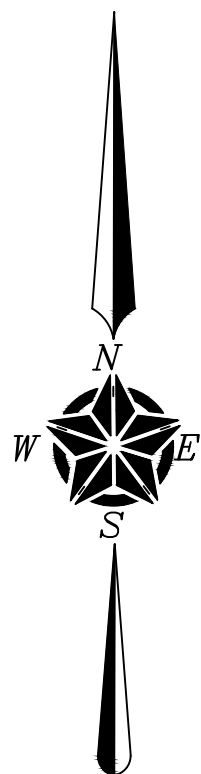
ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

DRAINAGE AREA MAP
DESIGNED FOR:
CARI FOOTE

BUILDER: CARI FOOTE	PLAN: DRAINAGE AREA MAP
ADDITION: ISAAC PENA ADDITION	ELD JOB NO.: 2069
ADDRESS: 925 N. GOLIAD ST.	DRAWN BY: BW
LOT: 1 BLOCK: 1	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	

SCALE: 1"=20'

SHEET 05



AS BUILT DRAWINGS



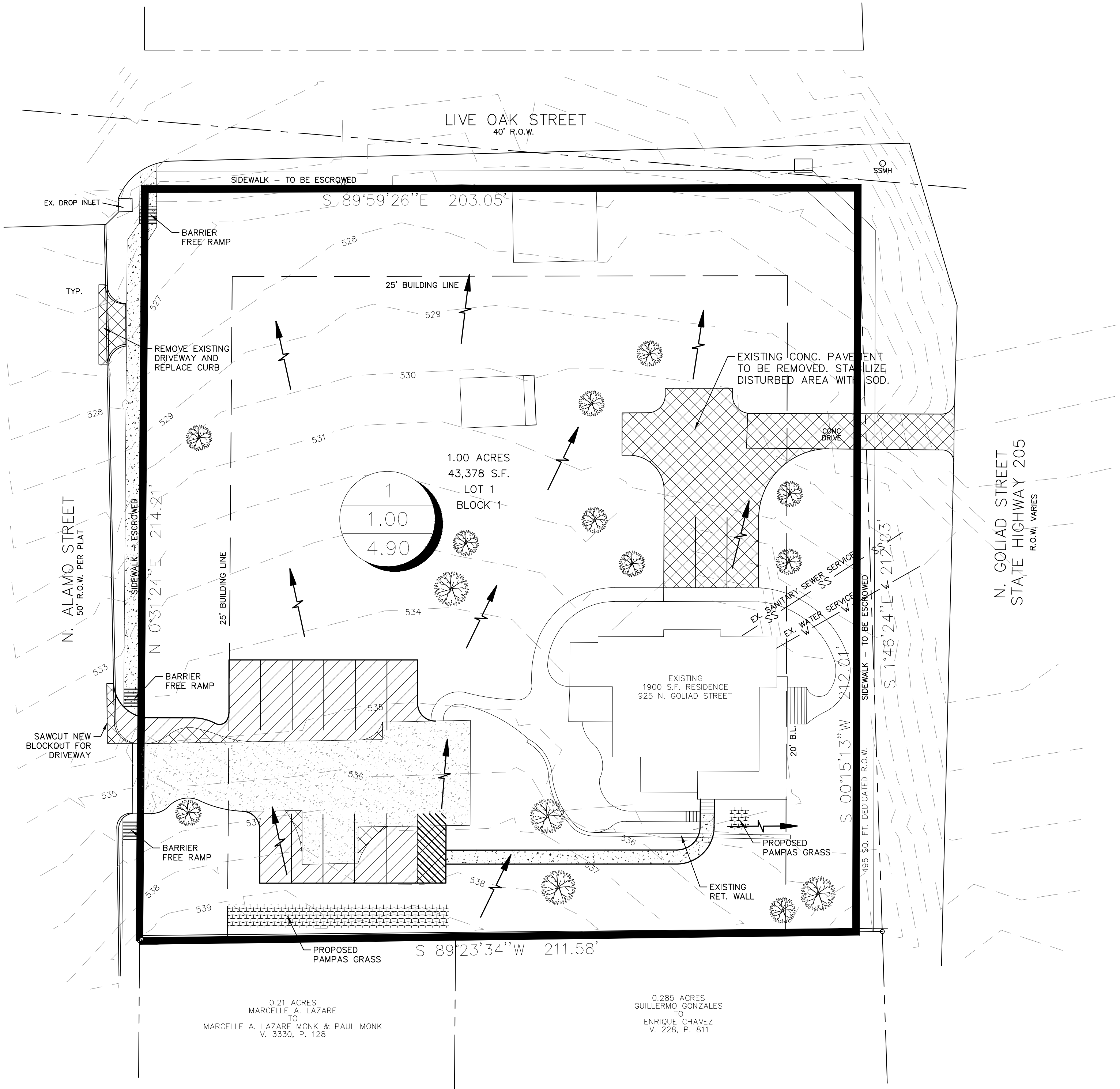
Mitchell K. Lenamond
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON
8/29/2019

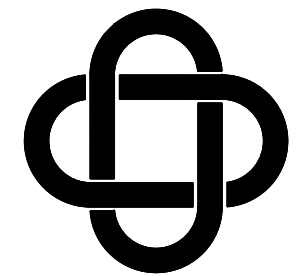
- DRIVE PAVEMENT ADDITION
- SIDEWALK PAVEMENT ADDITION
- PAVEMENT REMOVAL

IMPERVIOUS AREA (SF)	
DRIVE ADDED	2218
PRIVATE WALK ADDED	333
DRIVE REMOVED	-2554
TOTAL	-3

- DIRECTION OF FLOW
- DRAINAGE AREA NO.
AREA (ACRES)
Q₁₀₀ (CFS)

PROPOSED ADDITION OF IMPERVIOUS AREA IS
OFFSET BY REMOVAL OF EXISTING DRIVEWAY PAVEMENT.





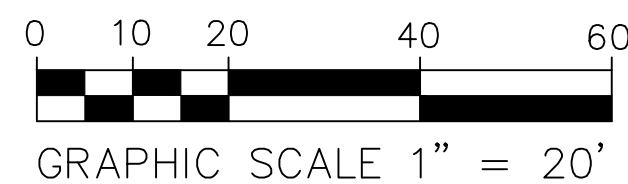
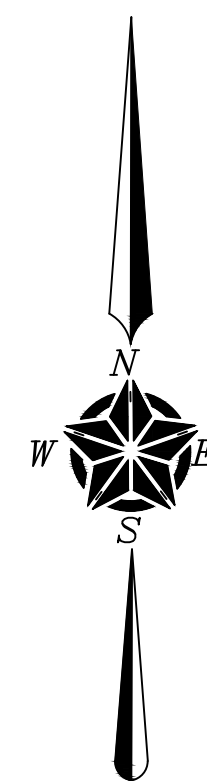
ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

PAVING PLAN
DESIGNED FOR:
CARI FOOTE

BUILDER: CARI FOOTE	PLAN: PAVING
ADDITION: ISAAC PENA ADDITION	ELD JOB NO.: 2069
ADDRESS: 925 N. GOLIAD ST.	DRAWN BY: BW
LOT: 1 BLOCK: 1	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	

SCALE: 1"=20'

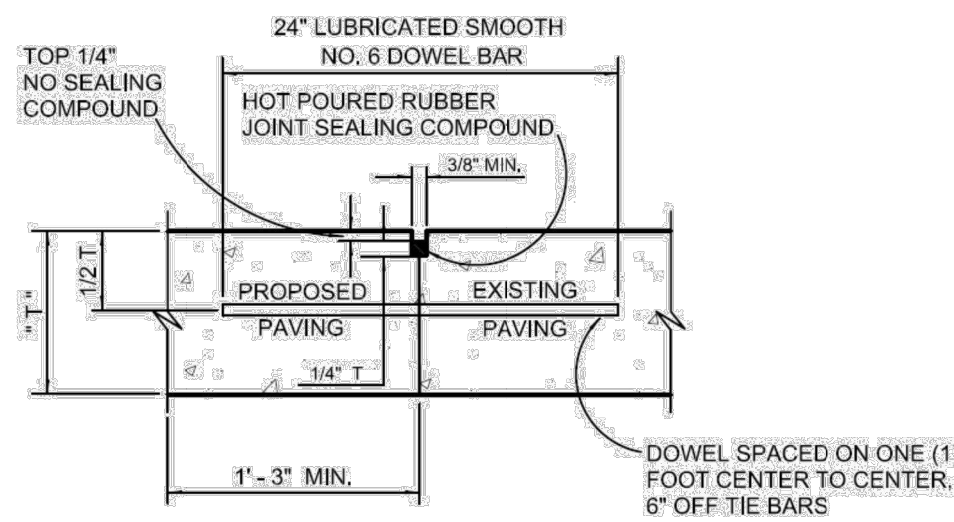
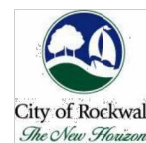
SHEET 06



AS BUILT DRAWINGS



THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON
8/29/2019



NOTES: T = PAVEMENT

1. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 2. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
- DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.

LONGITUDINAL BUTT JOINT
NOT TO SCALE

REINFORCED CONCRETE PAVEMENT

LONGITUDINAL BUTT JOINT



DATE: AUG. 15
DRAWING NO: R-2051

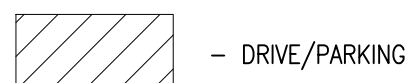
Page 214

SUBGRADE PREPARATION, AS A MINIMUM, SHOULD INCLUDE:

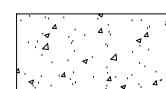
- A. STRIP VEGETATION AND ORGANIC MATERIALS.
- B. PROOFROLL EXPOSED SUBGRADE.
- C. SCARIFY EXPOSED SUBGRADE TO A DEPTH OF 6". WATER AND COMPACT AS NECESSARY TO ACHIEVE 95% OF ASTM D-698 DENSITY AT +2% OR HIGHER OF OPTIMUM MOISTURE.
- D. EXCAVATED AREAS MAY BE BACKFILLED WITH CLEAN ON-SITE SOILS PLACED IN LOOSE LIFTS NO GREATER THAN 8" THICK AND COMPACTED AS OUTLINED ABOVE.

SAWED CONTRACTION (DUMMY) JOINTS SPACED AT 15'-0" MAX AND EXPANSION JOINTS AT 90' MAX IN PAVING.

METHODS AND PLACEMENT SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, 4TH EDITION AS AMENDED BY CITY OF ROCKWALL UNLESS SUPERSEDED BY CITY OF ROCKWALL SPECIFICATIONS

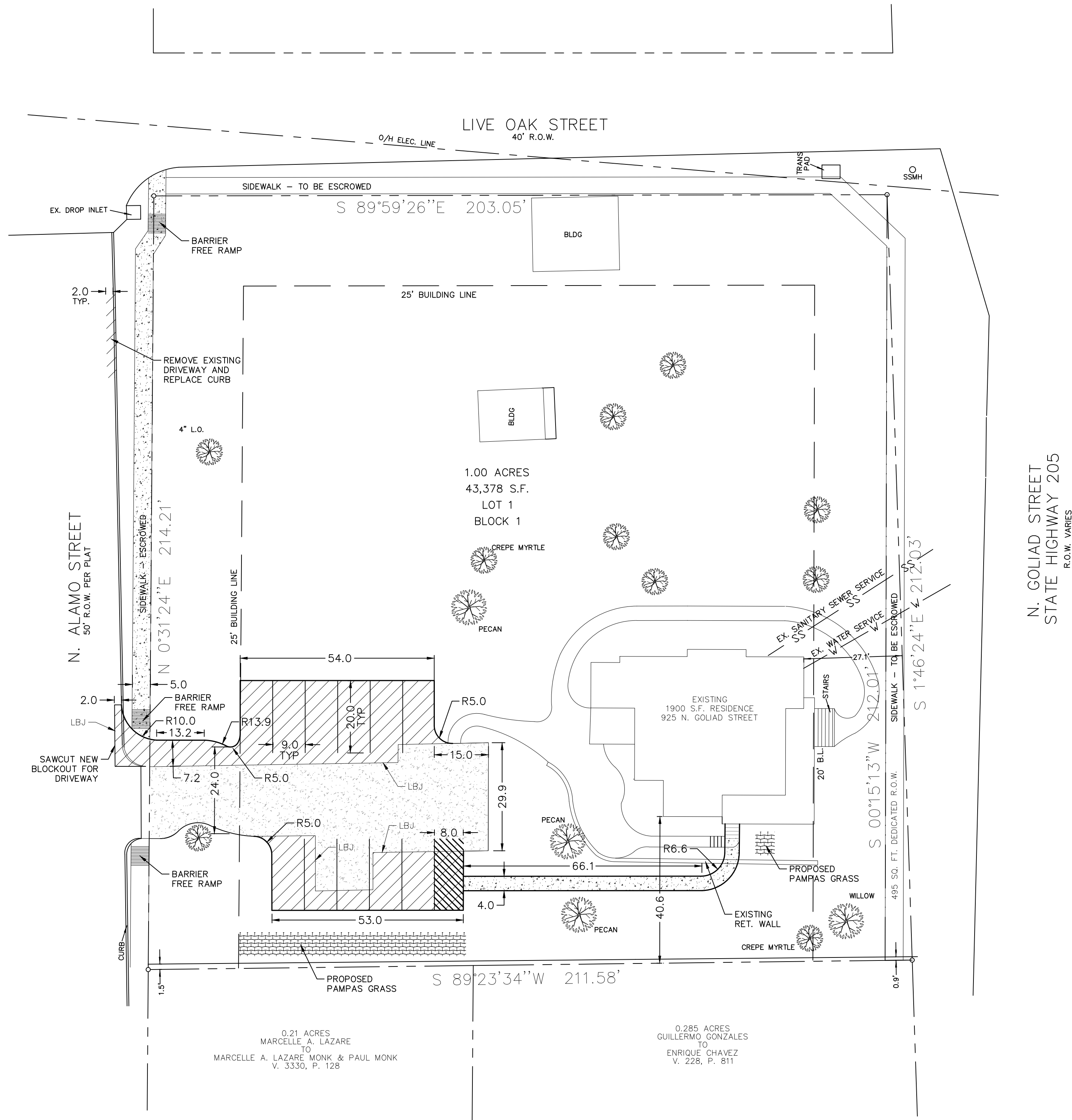


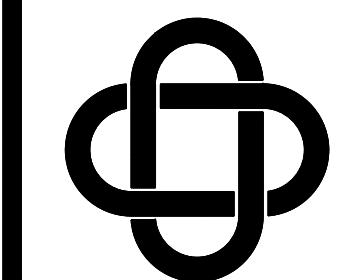
- DRIVE/PARKING



- SIDEWALK

PAVING REQUIREMENTS		
SECTION	DRIVE/PARKING	SIDEWALK
PAVING	5" - 3600 PSI CLASS "C" 6.5 SACK CONC #3 BARS @ 24" OCEW	4" - 3000 PSI CONC MIN. 5.5 SACK #3 BARS @ 24" OCEW
SUBGRADE	6"-6% MINIMUM LIME STABILIZED SUBGRADE TO PI < 15 AT +2 OR HIGHER OF OPTIMUM. NO SAND UNDER PAVING. 2 ADDITIONAL INCHES OF CONC. THICKNESS MAY BE USED IN LIEU OF LIME STABILIZATION.	COMPACTED TO 95% STANDARD PROCTOR. NO SAND UNDER PAVING.





ERIC L. DAVIS ENGINEERING, INC.

F-3987

 120 East Main Street
 Forney, Texas 75126
 972/564-0592 Fax 972/564-6523
 E-Mail ericdavis@eldengineering.com

 EROSION CONTROL PLAN
 DESIGNED FOR:

CARI FOOTE

PLAN: EROSION CONTROL

ELD JOB NO.: 2069

ADDITION: ISAAC PENA ADDITION

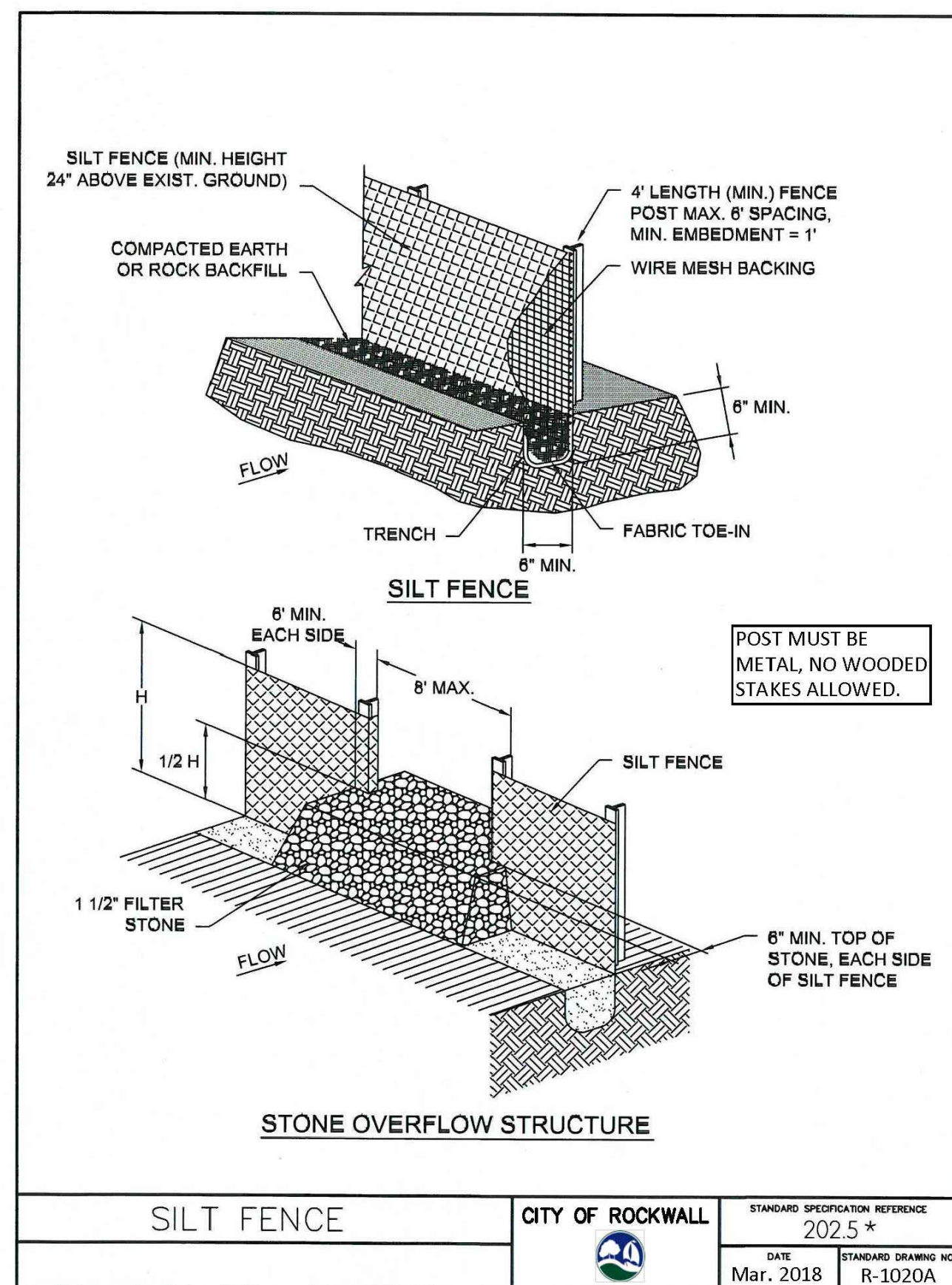
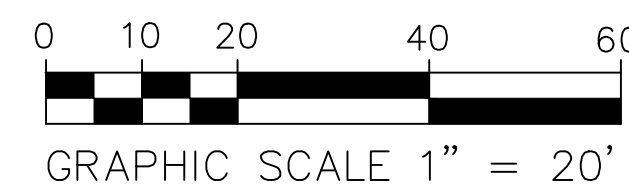
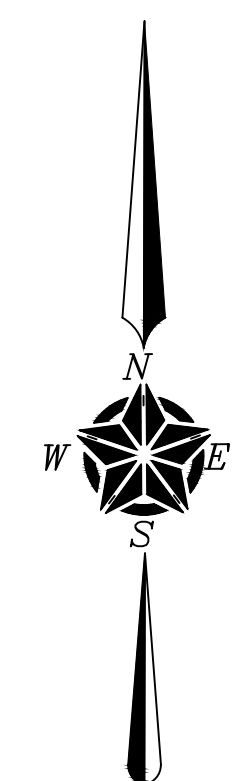
DRAWN BY: BW

FIRM REGISTRATION #: 3987

BUILDER: CARI FOOTE

SCALE: 1"=20'

SHEET 07



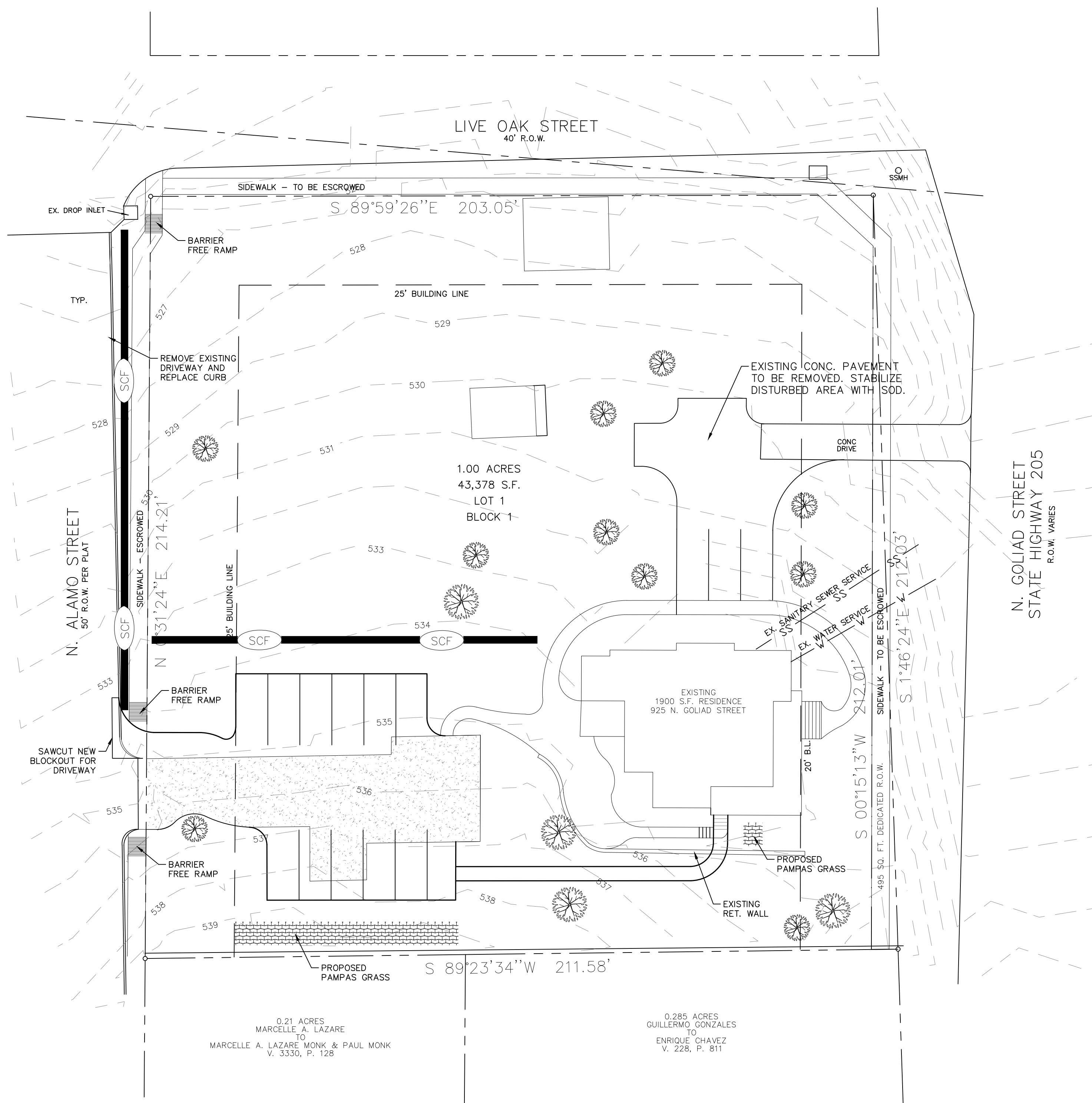
*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

SILT FENCE GENERAL NOTES:

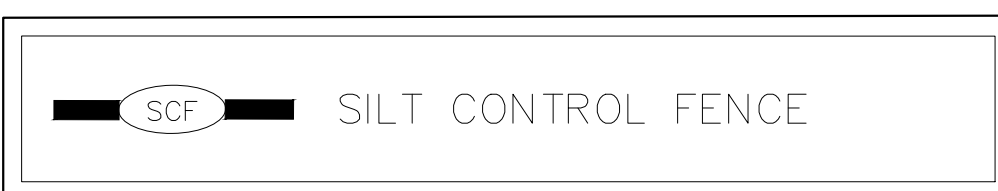
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5*
	DATE Mar. 2018	STANDARD DRAWING NO. R-1020B

*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.



PLAN SHEET LEGEND



NOTE:

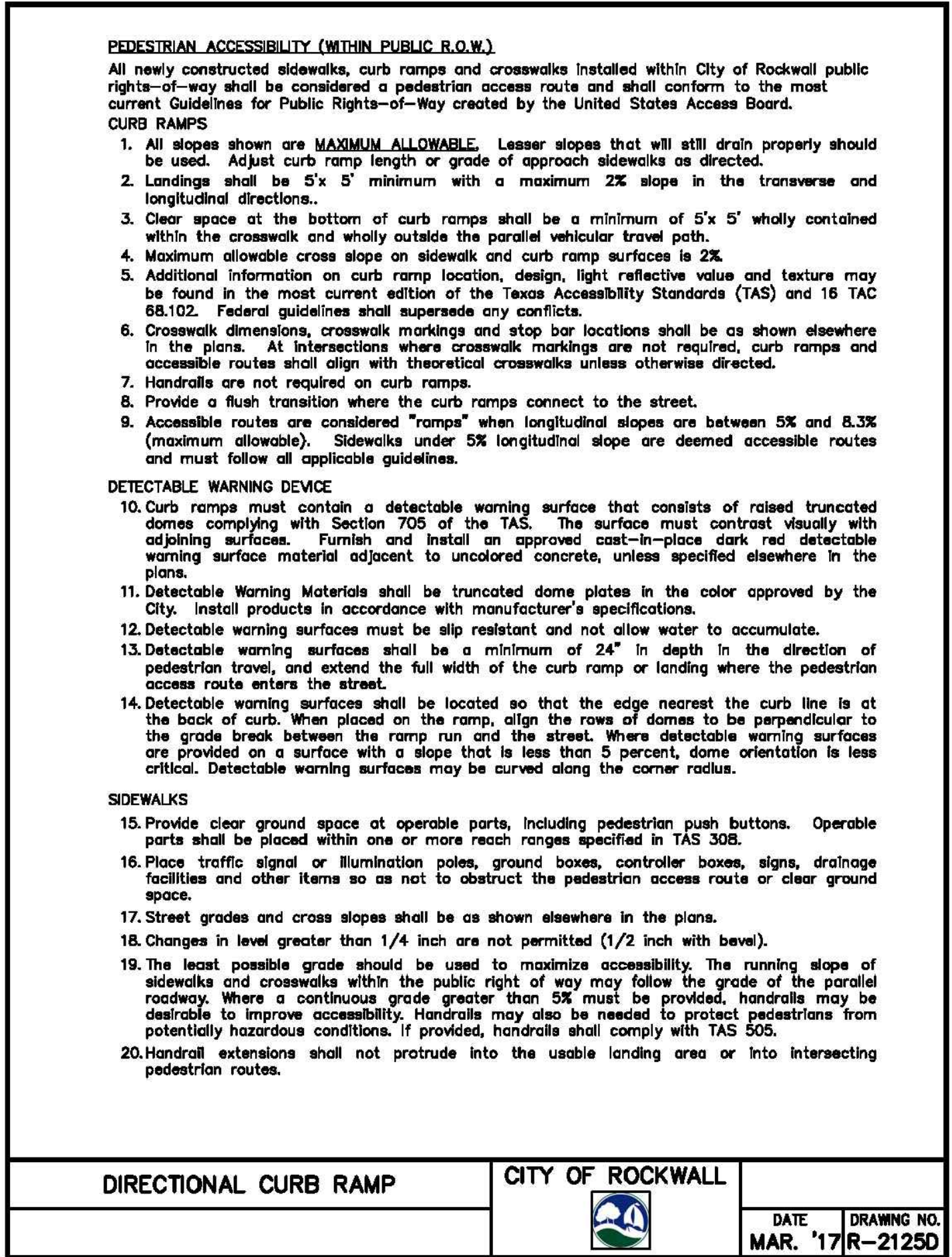
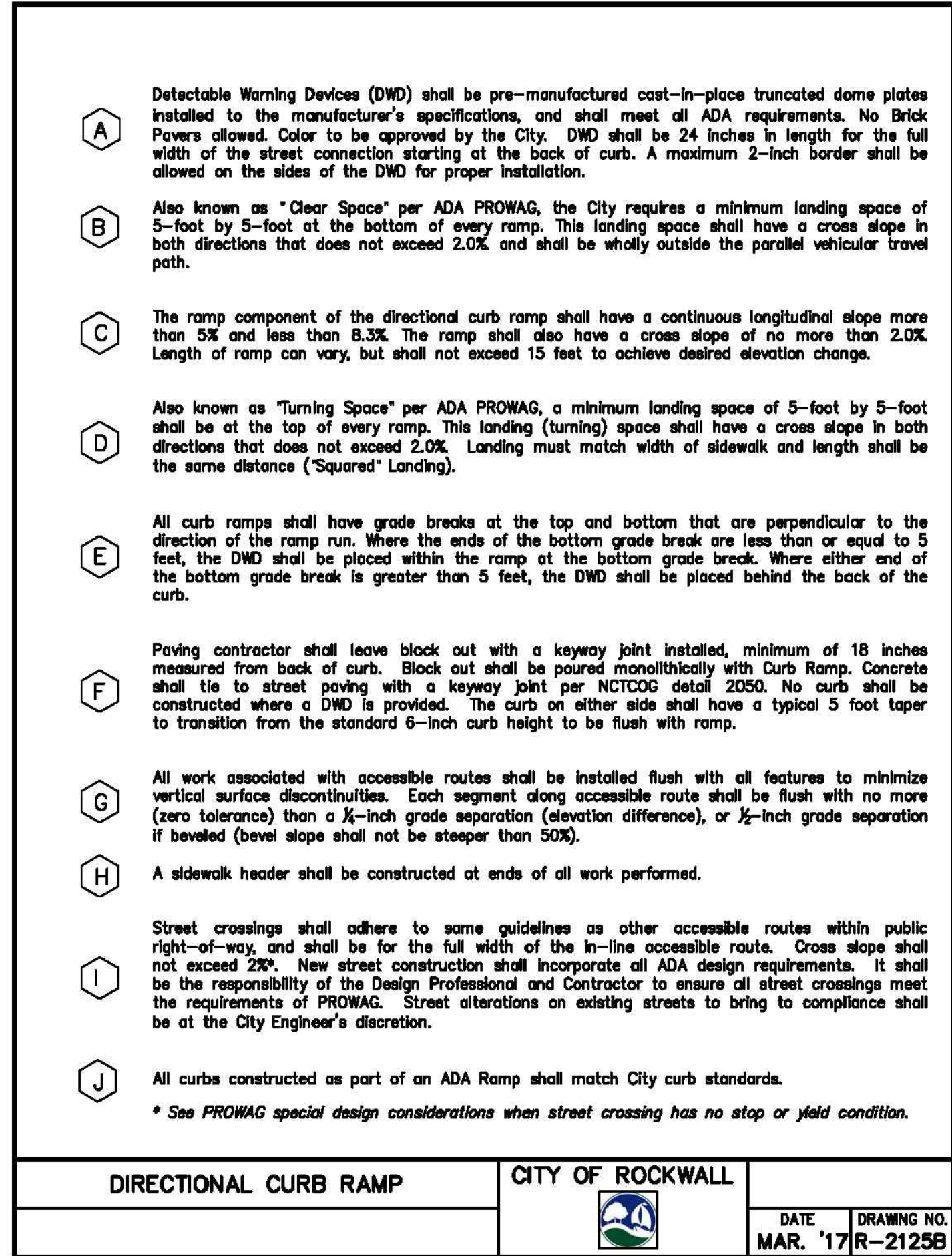
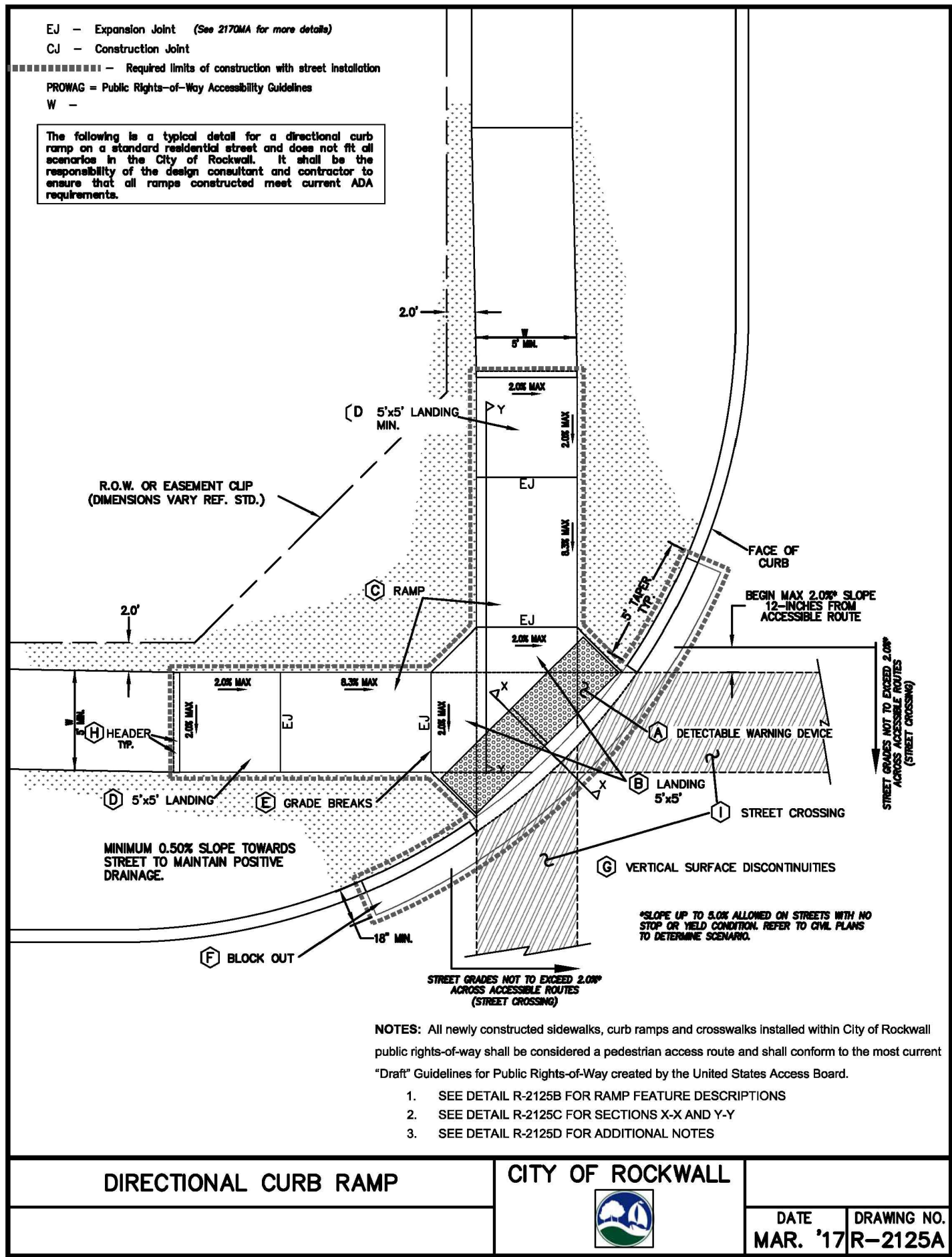
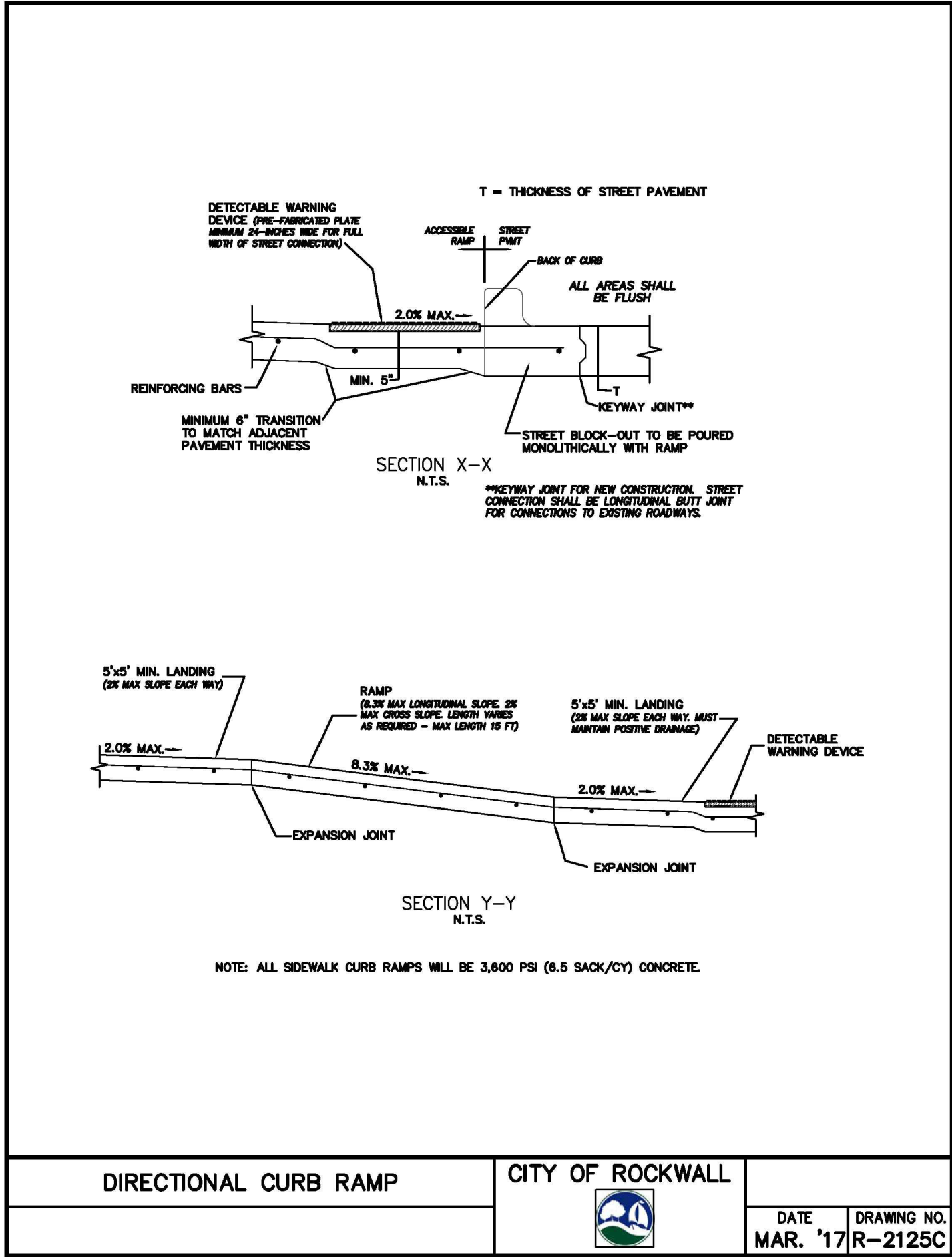
NO WOODEN POSTS ARE TO BE USED FOR THE SILT CONTROL FENCE. SEE DETAIL.

ALL DISTURBED R.O.W.s TO BE SODDED PRIOR TO CITY ACCEPTANCE AND CERTIFICATE OF OCCUPANCY

AS BUILT DRAWINGS



THE SEAL APPEARING ON THIS DOCUMENT WAS
 AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON
 6/29/2019



ERIC L. DAVIS ENGINEERING, INC.

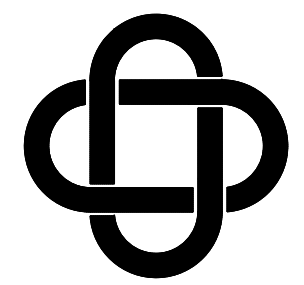
F-3987

120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

RAMP DETAILS
DESIGNED FOR:

CARI FOOTE

BUILDER: CARI FOOTE	PLAN: DETAILS
ADDITON: ISAAC PENA ADDITION	ELD JOB NO.: 2069
ADDRESS: 925 N. GOLIAD ST.	DRAWN BY: BW
LOT: 1 BLOCK: 1	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	



ERIC L. DAVIS ENGINEERING, INC.

F-3987

120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

HANDRAIL DETAILS
DESIGNED FOR:

CARI FOOTE

PLAN: DETAILS

ELD JOB NO.: 2069

DRAWN BY: BW

FIRM REGISTRATION #: 3987

BUILDER: CARI FOOTE

ADDITION: ISAAC PENA ADDITION

ADDRESS: 925 N. GOLIAD ST.

LOT: 1 BLOCK: 1

CITY: ROCKWALL, TX

SCALE: N/A

SHEET 09

