KROGER STORE SW575

CONSTRUCTION PLANS
for
KROGER STORE SW575
HORIZON RIDGE ADDITION

E. NEAL SURVEY, ABSTRACT NO. 207
THE CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

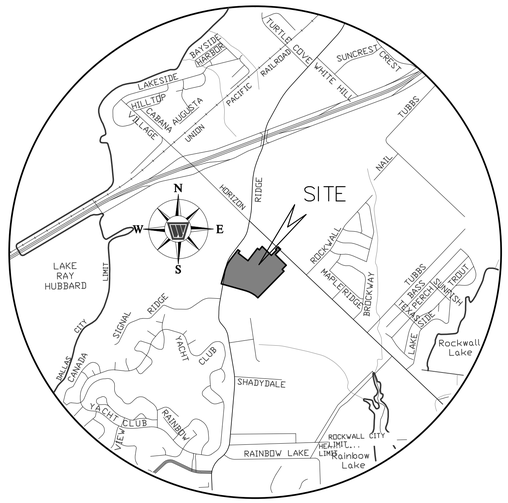
PROJECT DIRECTORY

MUNICIPALITY:

CITY OF ROCKWALL, TEXAS
385 S. GOLIAD STREET
ROCKWALL, TEXAS
CITY ENGINEER:
TIM TUMULTY

CLIENT:

KROGER TEXAS, L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062



VICINITY MAP
MAPSCO PAGE 30C, PANEL K
NOT TO SCALE

01/10/2014 – ISSUE FOR BID
12/05/2013 – 100% PERMIT AND REVIEW
10/24/2013 – 80% REVIEW SET
08/16/2013 – CITY 3rd SUBMITTAL
08/14/2013 – CITY 2nd SUBMITTAL
07/19/2013 – CITY SUBMITTAL
07/10/2013 – REVIEW SET

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PREPARED FOR

KROGER TEXAS, L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

DECEMBER 5, 2013

STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED
PROFESSIONAL ENGINEER

01-10-2014
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C. YOUNG, P.E. #85337

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF TERENCE C. YOUNG, REGISTERED PROFESSIONAL ENGINEER NO. 85337.

AS BUILT

Winkelmann & Associates, Inc. hereby states that this plan, to the best of our knowledge, is "As Built." Modifications from the originally approved construction documents have been made as per information provided by the contractor and field verified by Winkelmann & Associates, Inc. Winkelmann & Associates, Inc. does not certify as to the quality of construction as no inspection was performed.

WINKELMANN & ASSOCIATES, INC. — DATE 12/17/2014

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 325 (972) 490-7090
DALLAS, TEXAS 75230 (972) 490-7099 FAX
Texas Engineers Registration No. 89
Texas Surveyors Registration No. 100866-00

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WAI No. 31563.01(20) 31563-cov.dwg

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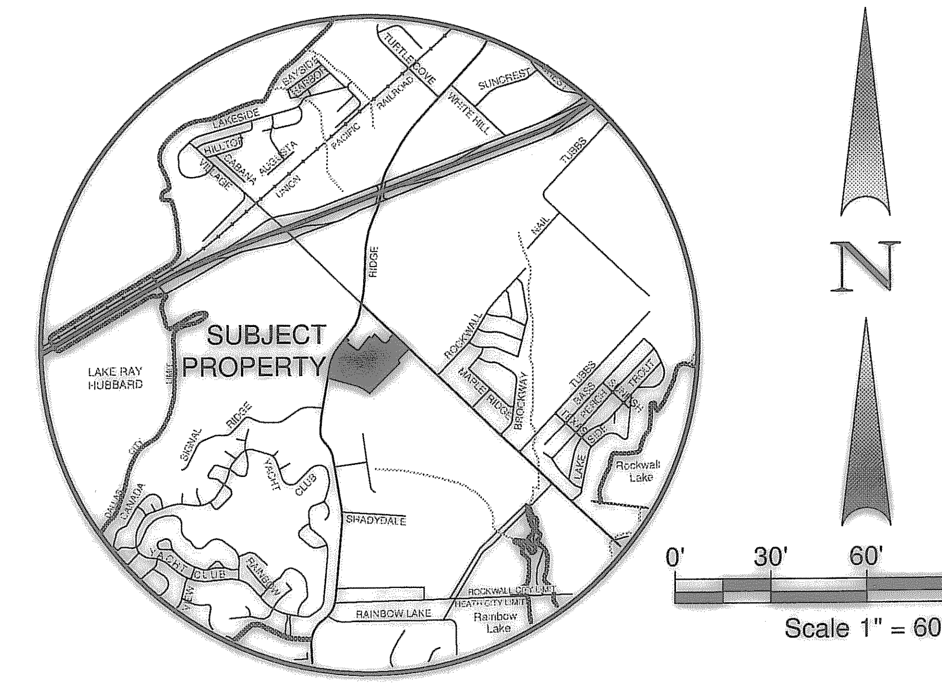
AREA TABLE

LOT	SQ. FT.	ACRES
LOT 23	92,612	2.126
LOT 24	380,170	8.724
LOT 25	154,478	3.546



VICINITY MAP
NOT TO SCALE

FLOOD NOTE

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C 0040 L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C1	90°00'00"	40.00	62.83	56.57	N00°42'38"W
C2	9°02'11"	60.00	9.46	9.45	S39°46'16"W

Horizon Ridge Addition
Lots 23, 24 & 25, Block A
Final Plat

ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	IRON ROD FOUND
⊗	IRON ROD SET w/CAP STAMPED "WAI"
CIRF	IRON ROD FOUND w/CAP
XCS	"X" CUT IN CONCRETE SET
XCF	"X" CUT IN CONCRETE FOUND
PKS	PK NAIL SET
PKF	PK NAIL FOUND
CC#	COUNTY CLERK'S INSTRUMENT No.
CM	CONTROLLING MONUMENT
B. L.	BUILDING LINE

CITY OF ROCKWALL, TEXAS - CONTROL MONUMENTATION
NAD-83 TX STATE PLANE, NORTH CENTRAL ZONE

MONUMENT NAME:	R006
NORTHING:	7,015,288.164
EASTING:	2,589,247.540
CONVERGENCE:	+1 06' 11.2427"
SCALE FACTOR:	0.999876247093

MONUMENT NAME:	R014
NORTHING:	7,007,583.687
EASTING:	2,589,825.481
CONVERGENCE:	+1 06' 13.9971"
SCALE FACTOR:	0.999877299732

CONSULTING ENGINEERS:
WINKELMANN & ASSOCIATES INC.
6750 HILLCREST PLAZA DRIVE
SUITE 325
DALLAS TX. 75230
(972) 490-7090

OWNER:
KROGER TEXAS, L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75602

FINAL PLAT
HORIZON-RIDGE ADDITION
LOTS 23, 24, & 25, BLOCK A
BEING A REPLAT OF LOTS 6, 17, 18 and 19,
BLOCK A, HORIZON-RIDGE ADDITION
BEING 14.400 ACRES
E. TEAL SURVEY SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NUMBER P2013-25

Winkelmann & Associates, Inc.
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6750 HILLCREST PLAZA DRIVE, SUITE 325 DALLAS, TEXAS 75230
(972) 490-7090 (972) 490-7099 FAX
Texas Engineers Registration No. 89
Texas Surveyors No. 100866-00 Expires 12/31/2012

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LOTS 23, 24, & 25, BLOCK A
14.400 ACRES

Date : 10.01.12
Scale : 1" = 60'
File : 31563-PPLT
Project No. : 31563.00

SHEET 1 OF 3

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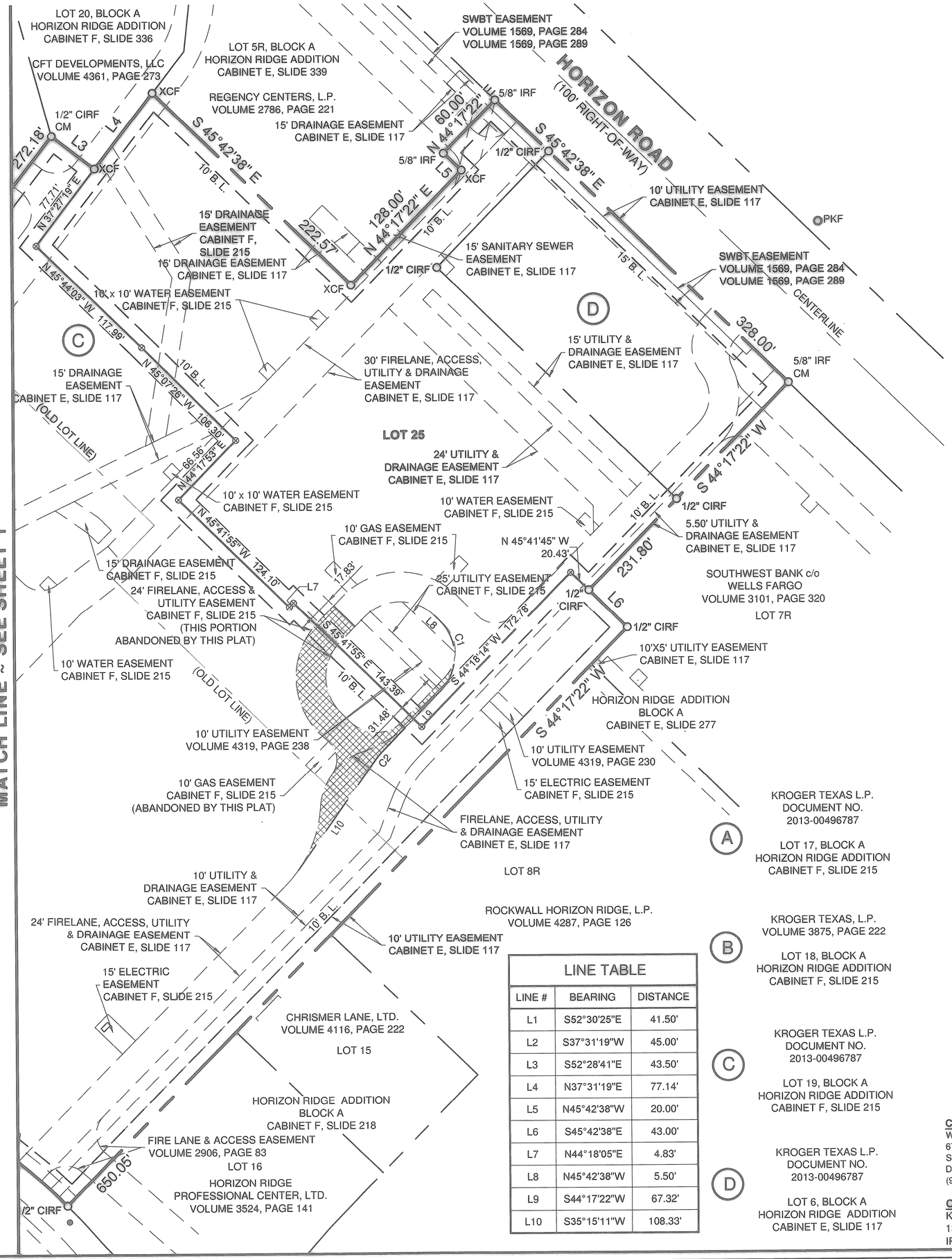
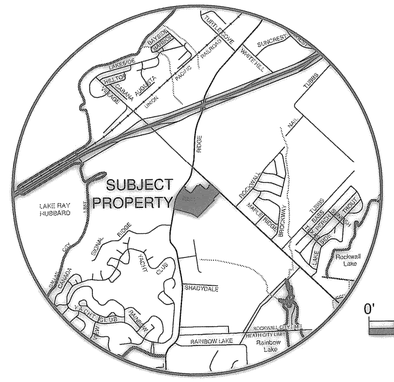


LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'
L7	N44°18'05"E	4.83'
L8	N45°42'38"W	5.50'
L9	S44°17'22"W	67.32'
L10	S35°15'11"W	108.33'



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(972) 490-7099 FAX
Texas Engineering Registration No. 99
Texas Surveying Registration No. 100866-00 Expires 12/31/2012

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CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS, L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75602

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Lots 23, 24 & 25, Block A
Final Plat

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HORIZON-RIDGE ADDITION
LOTS 23, 24, & 25, BLOCK A
14.400 ACRES

Date : 10.01.12
Scale : 1" = 60'
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SHEET 2 OF 3

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I2

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS KROGER TEXAS L.P., BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, and being all of Lots 17, 18 and 19, Block A, Horizon Ridge Addition, an addition to the City of Rockwall, according to the plat thereof recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and all of Lot 6, Block A, Horizon Ridge Addition, an addition to the City of Rockwall, according to the plat thereof recorded in Cabinet E, Slide 117, P.R.R.C.T., and being all of the tracts of land as described in deed to Kroger, Texas, L.P., recorded in Document No. 2013-00496787, Deed Records, Rockwall County, Texas (D.R.R.C.T.) and a portion of a tract of land as described in deed to Kroger Texas, L.P., recorded in Volume 3875, Page 222, D.R.R.C.T., and being more particularly described as follows:

BEGINNING a Railroad Spike set for corner at the intersection of the northerly right-of-way line of Arista Road (60' right-of-way) and the southeasterly right-of-way line of Ridge Road (F.M. Highway 740, variable width right-of-way), said iron road also being the westerly corner of said Lot 17, Block A;

THENCE departing said northerly right-of-way line of Arista Road and along the southeasterly right-of-way line of said Ridge Road the following:

North 15 deg 41 min 19 sec East, a distance of 254.23 feet to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner and the beginning of a curve to the right having a radius of 518.69 feet, a central angle of 21 deg 50 min 00 sec, a chord bearing of North 26 deg 36 min 19 sec East and a chord length of 196.46 feet;

Along said curve to the right, an arc distance of 197.65 feet to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner;

North 37 deg 31 min 19 sec East, a distance of 218.97 feet to an "X" cut in concrete found for corner in a northwesterly line of Lot 1, Block A, Walgreens R.D.I. Retail Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet D, Slide 369, P.R.R.C.T., and being the most northerly corner of aforementioned Lot 18, Block A;

THENCE departing the southeasterly right-of-way line of said Ridge Road the following:

South 52 deg 30 min 25 sec East, a distance of 41.50 feet, to a 60d Nail in concrete joint, found for corner;

South 37 deg 31 min 19 sec West, a distance of 45.00 feet, to an "X" cut in concrete found for corner;

South 52 deg 30 min 25 sec East, a distance of 213.50 feet, to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner, said iron rod being the most southerly corner of said Lot 1, Block A of said Walgreens R.D.I. Retail Addition;

North 37 deg 31 min 19 sec East, a distance of 272.18 feet, to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner, said iron rod being the most easterly corner of said Lot 1, Block A of said Walgreens R.D.I. Retail Addition;

South 52 deg 28 min 41 sec East, a distance of 43.50 feet, to an "X" cut in concrete found for corner;

North 37 deg 31 min 19 sec East, a distance of 77.14 feet, to an "X" cut in concrete found for corner;

South 45 deg 42 min 38 sec East, a distance of 222.57 feet, to an "X" cut in concrete found for corner;

North 44 deg 17 min 22 sec East, a distance of 128.00 feet, to an "X" cut in concrete found for corner;

North 45 deg 42 min 38 sec West, a distance of 20.00 feet, to a 5/8 inch iron rod found for corner;

North 44 deg 17 min 22 sec East, a distance of 60.00 feet, to a 5/8 inch iron rod found for corner in the southwesterly right-of-way line of Horizon Road, (F.M. No. 3097, 100 foot right-of-way), said iron rod being the most northerly corner of aforementioned Lot 19 Block A;

THENCE South 45 deg 42 min 38 sec East, along the southwesterly right-of-way line of said Horizon Road, a distance of 328.00 feet, to a 5/8 inch iron rod found for corner, said iron rod being the easterly corner of aforementioned Lot 6, Block A;

THENCE South 44 deg 17 min 22 sec West, departing the southwesterly right-of-way line of said Horizon Road, a distance of 231.80 feet, to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner at the most westerly corner of said Lot 6, Block A;

THENCE South 45 deg 42 min 38 sec East, along the southwest line of said Lot 6, Block A, a distance of 43.00 feet to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner;

THENCE South 44 deg 17 min 22 sec West, passing the most northerly corner of Lot 8R, Block A, at a distance of 40.16 feet, passing the most northerly corner of Lot 12 , Block A, at a distance of 344.49 feet and continuing for a total distance of 650.05 feet, to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner in the northerly right-of-way line of aforementioned Arista Road, said iron rod being the most westerly corner of said Lot 12, Block A and being the beginning of a non-tangent curve to the left, having a radius of 480.00 feet, a central angle of 29 deg 23 min 17 sec, a chord bearing North 59 deg 37 min 04 sec West, and a chord length of 243.51 feet;

THENCE, along said northerly right-of-way line of Arista Road and said curve to the left, an arc length of 246.20 feet, to a 1/2 inch iron rod with red plastic cap stamped "WAI" found for corner;

THENCE North 74 deg 18 min 41 sec West, continuing along the northerly right-of-way line of said Arista Road,a distance of 444.85 feet, to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 14.400 acres or 627,259 square feet of land, more or less.

Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 19th day of October, 2012, utilizing a G.P.S. bearing related to the City of Rockwall Monument No. R006 and No. R014.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS :

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **HORIZON-RIDGE ADDITION,** Lots 23, 24, & 25, Block A, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the HORIZON-RIDGE ADDITION subdivision have been notified and signed this plat.
I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

KROGER TEXAS, L.P., an Ohio limited partnership
By: KRGP Inc., an Ohio corporation, its general partner

BY: Patricia T. Ash
Patricia T. Ash
Vice President

STATE OF OHIO
COUNTY OF HAMILTON

Patricia T. Ash, Vice President of KRGP Inc., an Ohio corporation and the general partner of Kroger Texas, L.P., an Ohio limited partnership, appeared before me this dayand acknowledged that she executed this instrument on behalf of the corporation, which acted for the partnership.

Given upon my hand and seal of office this 30th day of January, 2014.

Notary Public in and for the State of Ohio — My Commission Expires: 6-15-14

NOTARY PUBLIC STATE OF OHIO
CARRIE A. CORTOLILLO
Notary Public, State of Ohio
My Commission Expires
June 15, 2014

Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
03/06/2014 08:09:30 AM
$150.00
20140000002896

SURVEYOR'S CERTIFICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Leonard J. Jueker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Leonard J. Lueker
Registered Professional Land Surveyor
Texas Registration No. 5714
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Drive, Suite 325
Dallas, Texas 75230
(972) 490-7090
l.lueker@winkelmann.com

STATE OF TEXAS — REGISTERED — LEONARD JAY LUEKER — 5714 — PROFESSIONAL — LAND SURVEYOR

Please note that the use of the word "CERTIFY" or "CERTIFICATE" used hereon constitutes an expression of professional opinion regarding those facts or findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Leonard J. Lueker, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 29 day of January, 2014.

Notary Public in and for the State of Texas — My Commission Expires: 11/22/16

Chris Fountain Commission Expires 11-22-2016

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission — Date: 8/13/2013

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 4th day of August, 2013.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 3rd day of March, 2014.

Mayor, City of Rockwall — City Secretary — City Engineer

CITY OF ROCKWALL TEXAS SEAL

CONSULTING ENGINEERS:
WINKELMANN & ASSOCIATES INC.
6750 HILLCREST PLAZA DRIVE
SUITE 325
DALLAS TX. 75230
(972) 490-7090

OWNER:
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SHEET 3 OF 3

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R.3

GENERAL PAVING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. AND NCTCOG 3rd EDITION SPECIFICATIONS SHALL APPLY, AND TxDOT SPECIFICATIONS SHALL TAKE PRECEDENCE IN TxDOT RIGHT-OF-WAY(S).

2. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN, AT LEAST 48 HOURS PRIOR TO ANY WORK IN A CITY STREET. TRAFFIC CONTROL MEASURES SHALL CONFORM TO PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE CITY WORK ZONE TRAFFIC CONTROL MANUAL. TRAFFIC CONTROL MEASURES SHALL BE INSTALLED FOR ANY WORK ACTIVITY THAT TAKES PLACE ON OR ADJACENT TO ANY CITY STREET OR ROADWAY. THE CITY ENGINEER MAY REQUIRE THE TRAFFIC CONTROL PLAN TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TEXAS.

3. CONTACT TRAFFIC ENGINEERING DIVISION AT LEAST 48 HOURS PRIOR TO WORK REQUIRING THE REMOVAL OR RELOCATION OF TRAFFIC SIGNS, TRAFFIC CONTROL EQUIPMENT OR OTHER TRAFFIC CONTROL APPURTENANCES.

4. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.

5. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISC. STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS. SEE ARCH. PLANS FOR PARKING LOT STRIPING DETAILS ADJACENT TO BUILDING.

6. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.

7. ALL CURB RADII ON FIRE LANES ARE AS NOTED.

8. THE CONTRACTOR SHALL SUBMIT A JOINT LAYOUT PLAN TO THE ENGINEER FOR APPROVAL PRIOR TO THE START OF PAVEMENT CONSTRUCTION.

9. ALL JOINTS SHALL EXTEND THROUGH THE CURB.

10. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET.

11. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.

12. TRANSVERSE JOINTS MAY BE SKEWED OR ADJUSTED BY SHIFTING TO MEET MANHOLES, INLETS, OTHER STRUCTURES, ETC.

13. ALL REINFORCING STEEL, SHALL BE NEW DOMESTIC BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY BAR CHAIRS.

14. SEE ARCHITECTURAL PLANS FOR PAVEMENT WITHIN GARDEN AREA, MISCELLANEOUS REINFORCED CONCRETE SIDEWALK ADJACENT TO BUILDING, TRUCK DOCK RETAINING WALLS, PATTERNED CONCRETE WARNING STRIP ADJACENT TO BUILDING, AND EXACT LOCATION OF PYLON SIGN.

15. SEE IRRIGATION PLAN FOR LOCATION OF PROPOSED SLEEVING.

16. NO SAND UNDER PAVING.

17. ALL CONCRETE BATCH DESIGNS TO BE APPROVED BY THE CITY AND MEET CITY AND NCTCOG 3rd EDITION SPECIFICATIONS AND DETAILS.

SITE GRADING GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY STANDARDS, SPECIFICATIONS, AND DETAILS. AND NCTCOG 3rd EDITION SPECIFICATIONS SHALL APPLY, AND TxDOT SPECIFICATIONS SHALL TAKE PRECEDENCE IN TxDOT RIGHT-OF-WAY(S).

2. VEGETATION, DEBRIS, AND TOPSOIL CONTAINING ORGANIC MATERIALS SHOULD BE CLEARED AND GRUBBED FROM THE ENTIRE SITE (APPROX. DEPTH OF 8 INCHES) AT THE BEGINNING OF EARTHWORK.

3. REFERENCE CIVIL SPECIFICATIONS AND PLAN SHEETS FOR PAVEMENT SUBGRADE PREPARATION REQUIREMENTS. REFERENCE ARCHITECTURAL SPECIFICATIONS FOR BUILDING PAD PREPARATION.

4. PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT SURFACE OR TOP OF CURB AT CURB LINE. THE LIMITS OF EARTHWORK IN PAVED AREAS IS THE BOTTOM OF PAVEMENT. PROPOSED CONTOURS SHOWN OUTSIDE PAVED AREAS ARE THE EXACT LIMITS OF GRADING.

5. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF EARTHWORK AND SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.

6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE SILT FENCES (OR OTHER METHOD APPROVED BY THE CITY) AS REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.

7. ROUGH GRADING UNDER PROPOSED PAVING AND ALL GENERAL SITE ROUGH GRADING SHALL BE BROUGHT TO WITHIN +/- 0.1 FOOT. ROUGH GRADING ELEVATIONS IN PAVED AREAS ARE TO BOTTOM OF PAVEMENT. SEE LANDSCAPE PLANS FOR ADDITIONAL GRADING ELEVATIONS IN LANDSCAPED AREAS.

8. FOR ALL WORK WITHIN STATE OR CITY RIGHT OF WAY, THE CONTRACTOR SHALL:
   A. NOTIFY THE TXDOT OR CITY A MINIMUM OF 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION AND HAVE ALL NECESSARY PERMITS.
   B. NOT STORE MATERIAL, EXCESS DIRT OR EQUIPMENT ON THE SHOULDERS OF PAVEMENT OR IN MEDIAN STRIPS. THE PAVEMENT SHALL BE KEPT CLEAN, FREE OF ANY MUD OR EXCAVATION WASTE FROM TRUCKS OR OTHER EQUIPMENT. ON COMPLETION OF THE WORK, ALL DEBRIS AND EXCESS MATERIAL SHALL BE REMOVED FROM THE RIGHT OF WAY.
   C. PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGMEN, LIGHTS, AND BARRICADES AS REQUIRED BY THE CITY AND IN ACCORDANCE WITH THE TEXAS MUTCD. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE STATE OF TEXAS, THE CITY, AND THE OWNER FROM ANY CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES, OR TO THE TRAVELING PUBLIC.
   D. POST NECESSARY BONDS AS REQUIRED BY THE CITY AND/OR THE STATE.

9. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE ARCHITECT, ENGINEER, AND THE OWNER, AT NO ADDITIONAL COST TO THE OWNER.

10. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXISTING STRUCTURES, FENCES, DEBRIS, OR TREES ON SITE, AND SHALL COORDINATE ALL REMOVAL WITH THE GENERAL CONTRACTOR. NO TREES OR OTHER ITEMS SHALL BE REMOVED WITHOUT THE APPROVAL OF THE ARCHITECT, ENGINEER, AND OWNER. ALL TREES NOT REMOVED SHALL BE GUARDED AND PRESERVED DURING CONSTRUCTION. IF DAMAGED, THE EXISTING TREE WILL BE REPLACED (EQUAL CALIPER) AT THE CONTRACTOR'S EXPENSE.

11. THE CONTRACTOR SHALL ESTABLISH VEGETATION ON ALL DISTURBED AREAS OF THE SITE. SUPPLY OF WATER AS NEEDED FOR VEGETATION GROWTH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

12. ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY THE GRADING CONTRACTOR AT HIS EXPENSE.

13. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.

14. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES.

15. ALL FILL TO BE COMPACTED PER GEOTECHNICAL REPORT – ALPHA REPORT NO. G130710 SECTION 7.3.

16. 75-80% OF ALL DISTURBED AREA TO HAVE A MIN 1" STAND OF GRASS PRIOR TO ENGINEERING DEPARTMENT ACCEPTANCE.

NOTE: THE GENERAL NOTES APPLY TO ALL SHEETS.

WATER AND SANITARY SEWER GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL ADHERE TO CITY STANDARD DETAILS AND SPECIFICATIONS AND THE NCTCOG 3rd EDITION STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ALL MATERIALS SHALL BE U.L. LISTED AND FACTORY MUTUAL APPROVED UNLESS DIRECTED OTHERWISE BY THE ARCHITECT, ENGINEER, OR THE CITY.

2. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ARCHITECT IMMEDIATELY IF A CONFLICT IS DISCOVERED.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN, COORDINATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING AND/OR CROSSING OTHER UTILITIES.

4. ALL WATER AND SANITARY SEWER SERVICES SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING, EXCEPT THE FIRE SPRINKLER LINE SHALL BE PLUGGED INSIDE OF THE BUILDING, AND UNLESS NOTED OTHERWISE. THE END OF THESE SERVICES SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED UNTIL THE CONNECTION IS MADE TO THE BUILDING PIPING.

5. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE, STRUCTURES, AND FITTING INSPECTED BY THE CITY WATER DEPARTMENT AND/OR CODE ENFORCEMENT INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING DISINFECTION AND PRESSURE TESTING OF ALL MAINS.

6. ALL WATER MAINS ARE TO BE AS SHOWN ON THE DRAWINGS. WATER MAINS SHALL HAVE A MIN. COVER OF 42 INCHES FROM FINISHED GRADE TO TOP OF PIPE AND SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH CITY STANDARD DETAILS. ALL FIRE HYDRANTS, BENDS AND PIPE ENDS SHALL BE BLOCKED WITH CONCRETE PER CITY STANDARD DETAILS.

7. ALL WATER SERVICES 3 INCHES AND SMALLER SHALL BE TYPE 'K' COPPER.

8. ALL FIRE HYDRANTS SHALL BE PRIMED AND PAINTED WITH A MACHINE IMPLEMENT GRADE ENAMEL PAINT. THE HYDRANT BODY AND BONNET SHALL BE PAINTED IN ACCORDANCE CITY STANDARDS.

9. ALL APPURTENANCES USED FOR FIRE PROTECTION SHALL CONFORM TO THE CURRENT CITY FIRE DEPARTMENT STANDARDS AND SPECIFICATIONS.

10. FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.

11. ALL SANITARY SEWER MAINS AND LATERALS SHALL BE SDR 35 PVC (ASTM 3034). SANITARY SEWER LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH CITY STANDARD DETAILS.

12. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE TRENCH SAFETY DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A TRENCH EXCAVATION PROTECTION PLAN PREPARED, SIGNED, AND SEALED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF TEXAS, FOR ALL CONSTRUCTION IN EXCAVATIONS DEEPER THAN 5 FEET, PRIOR TO START OF CONSTRUCTION. SAID SAFETY PLAN SHALL CONFORM TO ALL APPLICABLE FEDERAL AND STATE LAWS REGARDING EXCAVATING AND TRENCHING OPERATIONS.

13. THE CITY WILL INSPECT ALL "PUBLIC" UTILITY CONSTRUCTION. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.

14. FIRE HYDRANTS & WATER METERS TO BE PROTECTED BY EITHER 6" CURB OR BOLLARDS.

AS BUILT

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WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

No.	DATE	REVISION	APPROV.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ▪ SURVEYORS
8750 HILCREST PLAZA DRIVE, SUITE 325 (972) 480-7999
DALLAS, TEXAS 75231 (972) 480-7994 FAX
Texas Engineers Registration No. 89
Texas Surveyors Registration No. 100866-00

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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED
PROFESSIONAL ENGINEER
01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & FINAL CHECK OF THE REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

GENERAL NOTES
HORIZON RIDGE ADDITION
KROGER SW575 - 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: N/A
Date: DECEMBER 5, 2013
File: 31563-GEN
Project No.: 31563.01(20)

SHEET
C-3

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KROGER SW 575			
	RETAIL LOT 17	KROGER LOT 18	RETAIL LOT 19
LAND AREA	92,612 sf 2.126 Ac.	381,584 sf 8.760 Ac.	153,056 sf 3.514 Ac.
USE	RETAIL	RETAIL	RETAIL
PKG. SPCS. REQ'D.	69	362	93
BLDG. AREA EXISTING	17,179 sf	73,770 sf	30,052 sf
BLDG. AREA PROP.	0 sf	16,693 sf	−6,731 sf
BLDG. AREA TOTAL	17,179 sf	90,463 sf	23,321 sf
COVERAGE	18.55%	23.71%	15.24%
EXISTING HC PKG. SPCS.	4	8	5
PROP. HC PKG. SPCS.	4	10	5
EXISTING PKG. SPCS.	95	275	267
PROP. PKG. SPCS.	95	354	204
TOTAL EX. PKG. SPCS.	99	283	272
TOTAL PROP. PKG. SPCS.	99	364	209
PKG. RATIO	PROP. 5.76:1	PROP. 4.02:1	PROP. 8.96:1

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CONSULTING CIVIL ENGINEERS ■ SURVEYORS
8750 HILCREST PLAZA DRIVE, SUITE 325 (972) 485-7999
DALLAS, TEXAS 75231 (972) 485-7994 FAX
Texas Engineers Registration No. EP-3966-00
Texas Surveyors Registration No. LS-100

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E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

SITE PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1" = 50'
Date: DECEMBER 5, 2013
File: 31563-SITE PLAN
Project No.: 31563.01(20)

SHEET
C-4.1

Δ=021°50'00"
R=518.69'
L=197.65'
Ch L=196.46'
Ch B=N26°36'19"E

0' 25' 50' 100'
Scale 1" = 50'

VICINITY MAP
NOT TO SCALE

BOUNDARY LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

NOTE:
SEPARATE SIGN PERMIT WILL BE REQUIRED.

AS BUILT

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WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

RIDGE ROAD (80' RIGHT-OF-WAY)

ARSTA ROAD (60' RIGHT-OF-WAY)

HORIZON ROAD (100' RIGHT-OF-WAY)

N 37°31'19" E 218.97'

S 52°30'25" E 254.23'

N 15°41'19" E 213.50'

N 37°31'19" E 272.18'

S 45°42'38" E 231.80'

N 44°17'22" E 60.00'

N 44°17'22" E 128.00'

S 45°42'38" 328.00'

S 44°17'22" W 650.05'

S 44°17'22" W

PROPOSED CONCRETE PARKING

PROPOSED RETAINING WALL

RECONFIGURED PAVEMENT MARKINGS

RE-STRIPE EX. PARKINGS

CONVERT TO TWO HC PARKING SPACES

PROPOSED 5' SIDEWALK

EXISTING DUMPSTER LOCATION

PROPOSED TRUCK LOADING/UNLOADING AREA

PROPOSED RETAINING WALL (TYP)

PROPOSED GUARD FENCE (TYP)

PROPOSED CONCRETE PARKING

EXISTING RETAIL 17,179 SF.

LOT 18, BLOCK A HORIZON RIDGE ADDITION CABINET F, SLIDE 215

EXISTING KROGER 73,770 S.F. FF=555.50

PROPOSED EXPANSION 16,693 S.F. FF=555.50

LOT 19, BLOCK A HORIZON RIDGE ADDITION CABINET F, SLIDE 215

EXISTING RETAIL 23,321 S.F.

FF=556.69

LOT 17, BLOCK A HORIZON RIDGE ADDITION CABINET F, SLIDE 215

LOT 1, BLOCK A WALGREENS R.O.A. RETAIL ADDITION CABINET D, SLIDE 369

LOT 6, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 117

LOT 12, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 277

LOT 8R, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 277

LOT 7R, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 277

LOT 8, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 117 & M.R.R.C.T.

LOT 10R, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 325 & 326

LOT 9R BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 325 & M.R.R.C.T.

LOT 10, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 117 & M.R.R.C.T.

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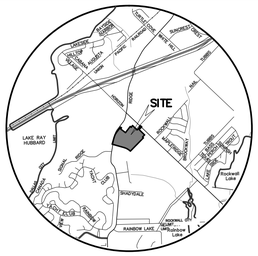
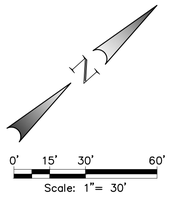


VICINITY MAP
NOT TO SCALE



STAGING LEGEND

- CONTRACTOR'S STAGING AREA (CONTAINERS & DUMPSTERS)
- STEEL STAGING AREA
- CASTING BEDS AREA
- STAGE 1 – 13,697 S.F. AREA
- STAGE 2 – 10,055 S.F. AREA

NOTES:
1. INSTALL 6' CHAIN LINK FENCE WITH GATE AROUND THE ENTIRE PERIMETER OF THE STAGING AREA.
2. ONCE PANELS ARE LIFTED AND STEEL UP. THE STAGING AREA MUST BE REDUCED ONLY TO THE SIZE FOR CONTAINERS AND DUMPSTERS.

AS BUILT

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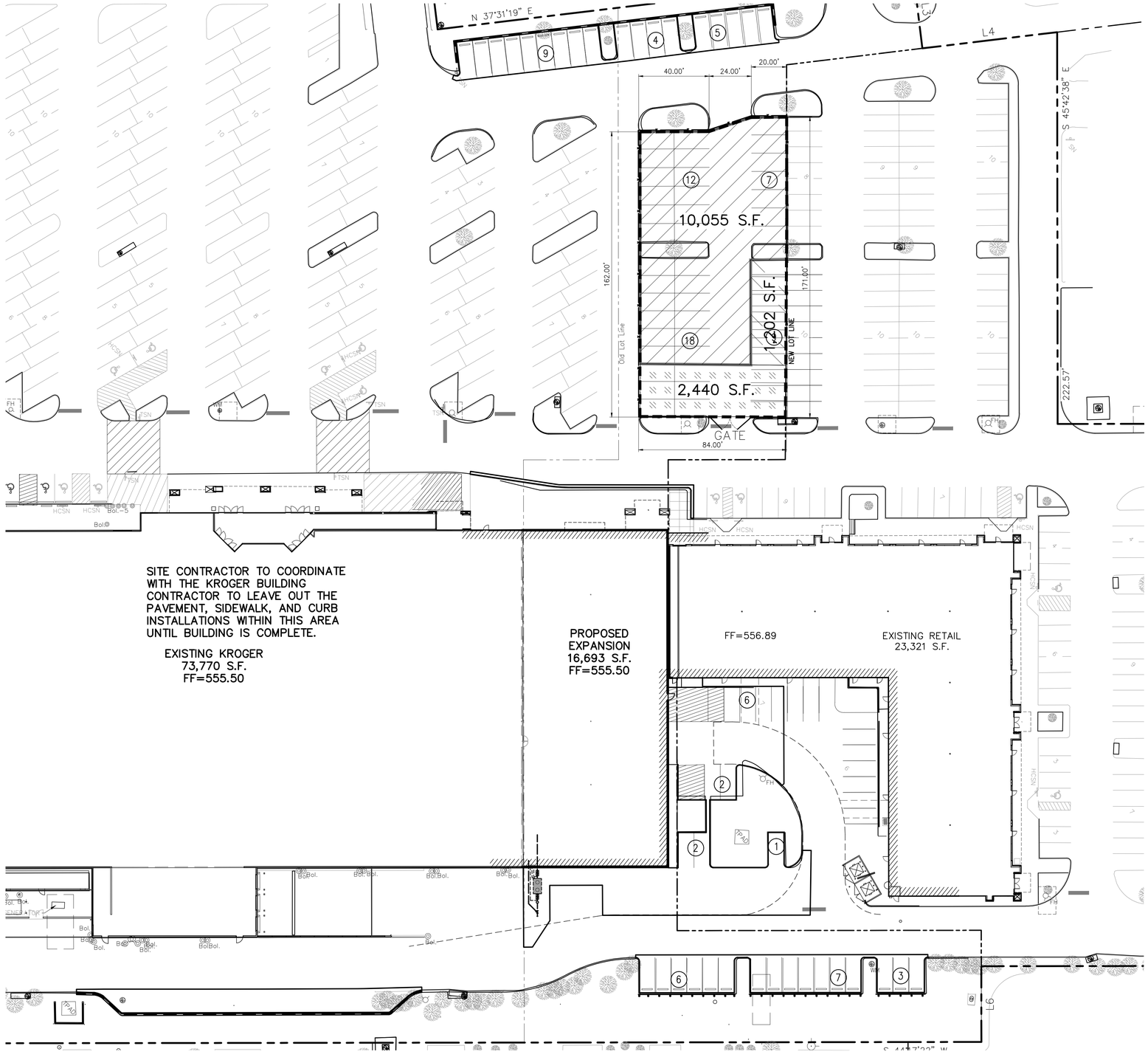
WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE



No.	DATE	REVISION	APPROV.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
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Texas Engineers Registration No. F-2966 Texas Surveyors Registration No. 100966-00

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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED PROFESSIONAL ENGINEER
01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & TERENCE C. YOUNG, REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

STAGING AREA PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1" = 30'
Date: DECEMBER 5, 2013
File: 31563-STG
Project No.: 31563.01(20)

SHEET
C-4.2

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LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

0' 15' 30' 60'

Scale: 1"=30'

Texas 811

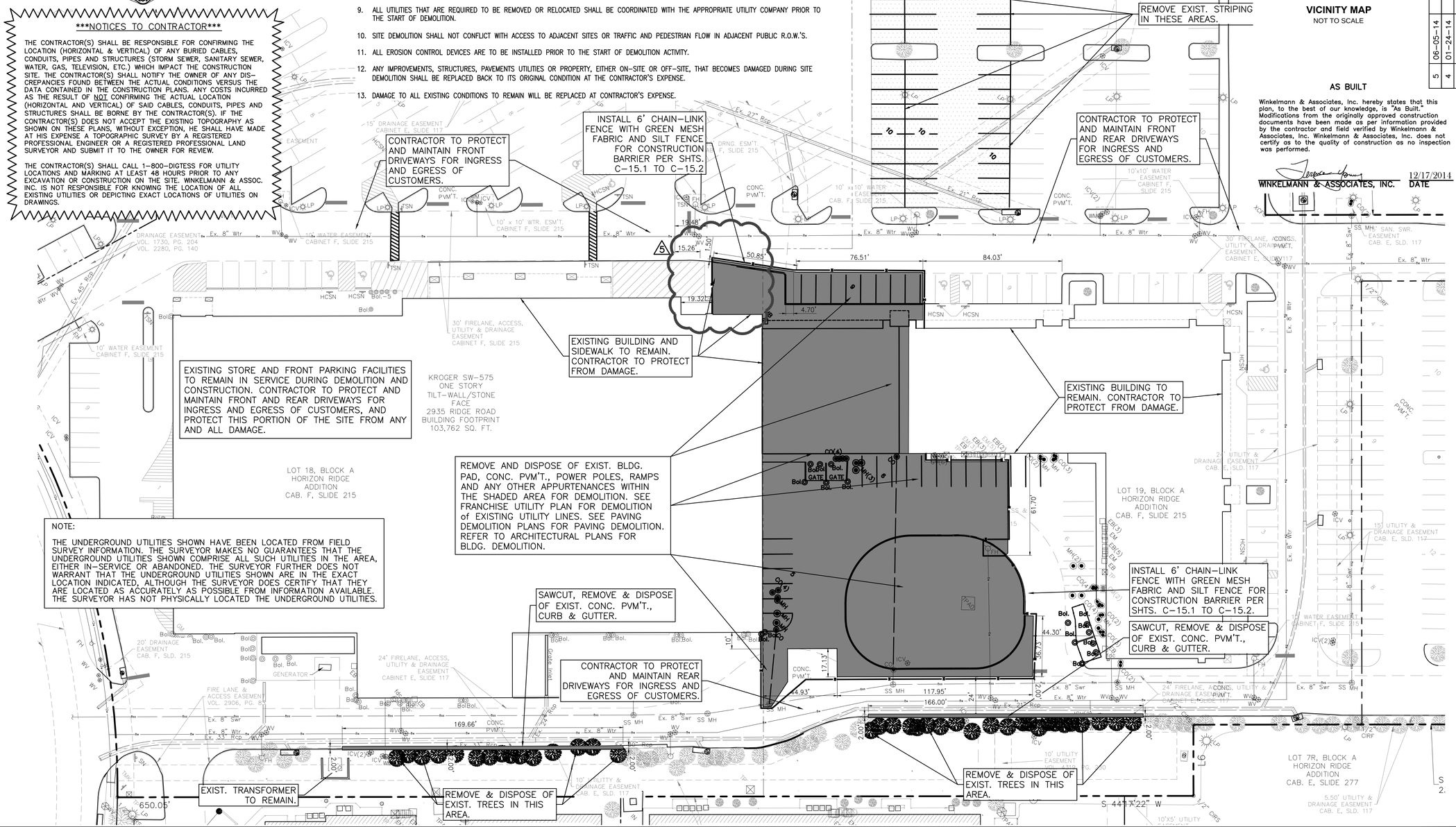
NOTICES TO CONTRACTOR

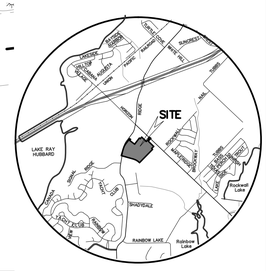
THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL & VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DIS-CREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR(S). IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

THE CONTRACTOR(S) SHALL CALL 1-800-DIGTESS FOR UTILITY LOCATIONS AND MARKING AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE. WINKELMANN & ASSOC. INC. IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

DEMOLITION GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES INCLUDING, BUT NOT LIMITED TO, STRUCTURES, FOUNDATIONS, CONCRETE, ASPHALT, STEEL, UTILITIES, DRAINAGE STRUCTURES, ETC.
2. CONTRACTOR TO DEMOLISH THE SITE SUCH THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED.
3. ALL UNSUITABLE MATERIAL THAT WOULD CONFLICT WITH THE PROPER CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED.
4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM ALL GOVERNING AGENCIES PRIOR TO THE START OF SITE DEMOLITION.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL EXISTING UTILITY SERVICES ARE DISCONNECTED OR PROTECTED PRIOR TO THE START OF DEMOLITION OF THE SITE.
6. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES ASSOCIATED WITH UTILITY COORDINATION.
7. THE EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN LOCATED BASED ON THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
8. PRIOR TO THE START OF ANY SITE DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
9. ALL UTILITIES THAT ARE REQUIRED TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF DEMOLITION.
10. SITE DEMOLITION SHALL NOT CONFLICT WITH ACCESS TO ADJACENT SITES OR TRAFFIC AND PEDESTRIAN FLOW IN ADJACENT PUBLIC R.O.W.'S.
11. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITY.
12. ANY IMPROVEMENTS, STRUCTURES, PAVEMENTS UTILITIES OR PROPERTY, EITHER ON-SITE OR OFF-SITE, THAT BECOMES DAMAGED DURING SITE DEMOLITION SHALL BE REPLACED BACK TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
13. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.





VICINITY MAP
NOT TO SCALE

AS BUILT

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WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

No.	DATE	REVISION	APPROV.
1	10-24-13	80% REVIEW SET	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
3	01-10-14	ISSUE FOR BID	T.C.Y.
4	01-24-14	ADDENDUM 1	T.C.Y.
5	06-05-14	ASI #2	T.C.Y.

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & DIRECTION OF THE REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED — PROFESSIONAL ENGINEER

01-10-2014

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
8750 HILCREST PLAZA DRIVE, SUITE 325
DALLAS, TEXAS 75231 (972) 485-7999
Texas Engineers Registration No. F-3966-00
Texas Surveyors Registration No. 100566-00

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E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

OVERALL DEMOLITION PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-DEM
Project No.: 31563.01(20)

SHEET
C-5.1

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0' 15' 30' 60'
Scale: 1"=30'

LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

EXISTING PAVEMENT TO BE REMOVED

Texas 811

NOTICES TO CONTRACTOR

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WINKELMANN & ASSOCIATES, INC. — DATE 12/17/2014

LOT 1, BLOCK A WALGREENS R.D.I. RETAIL ADDITION CAB. D, SLIDE 369

30' FIRELANE, ACCESS, UTIL. & DRAINAGE EASEMENT CABINET E, SLIDE 117

SAWCUT, REMOVE & DISCARD EX. CONC. CURB, GUTTER & PVM'T, AS SHOWN. CONTRACTOR TO PROTECT AND MAINTAIN FRONT DRIVEWAYS FOR INGRESS AND EGRESS OF CUSTOMERS.

EX. TREES TO BE REMOVED (TYP.).

213.50' MH

1/2" CIRS

N 37°31'19" E

186.42'

2.00'

272.18'

L3

L4

S 45°42'38" E

222.57'

VICINITY MAP
NOT TO SCALE
SITE
LAKE RAY HUBBARD
RAINBOW LANE
Robbins Lake

15' DRAINAGE EASEMENT CABINET F, SLIDE 215

30' FIRELANE, ACCESS, UTILITY & DRAINAGE EASEMENT CABINET F, SLIDE 215

15' DRAINAGE EASEMENT CABINET E, SLIDE 117

UTILITY & DRAINAGE EASEMENT CAB. E, SLD. 117

EXISTING CURBED ISLANDS TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.

REMOVE EX. STRIPING AND PREPARE SURFACE FOR NEW STRIPING IN THESE AREAS AS SHOWN.

INSTALL 6' CHAIN-LINK FENCE WITH GREEN MESH FABRIC AND SILT FENCE FOR CONSTRUCTION BARRIER PER SHTS. C-15.1 TO C-15.2.

CONTRACTOR TO PROTECT AND MAINTAIN FRONT AND REAR DRIVEWAYS FOR INGRESS AND EGRESS OF CUSTOMERS.

Ex. 39" Rcp

Ex. 27" Rcp

15' DRNG. ESM'T CAB. F, SLIDE 215

10' x 10' WTR. ESM'T CABINET F, SLIDE 215

10' WATER EASEMENT CABINET F, SLIDE 215

10'x10' WATER EASEMENT CABINET F, SLIDE 215

Ex. 8" Wtr

CONC. PVM'T.

19.48'

15.26'

50.85'

76.51'

84.03'

4.70'

19.32'

KROGER SW-575
ONE STORY
TILT-WALL/STONE FACE
2935 RIDGE ROAD
BUILDING FOOTPRINT
103,762 SQ. FT.

REMOVE EX. STRIPING AND PREPARE SURFACE FOR NEW STRIPING IN THESE AREAS AS SHOWN.

EXISTING BUILDING TO BE REMOVED. REFER TO ARCH. PLANS FOR DETAILS.

EXISTING BUILDING, SIDEWALK & PARKING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.

LOT 18, BLOCK A HORIZON RIDGE ADDITION CAB. F, SLIDE 215

LOT 19, BLOCK A HORIZON RIDGE ADDITION CAB. F, SLIDE 215

24' FIRELANE, ACCESS & UTILITY EASEMENT CABINET F, SLIDE 215

25' UTILITY EASEMENT CAB. F, SLD. 215

10' UTILITY EASEMENT VOL. 4324 PG. 238

24' UTILITY & DRAINAGE EASEMENT CAB. E, SLD. 117

No.	DATE	REVISION	APPROV.
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8750 HILCREST PLAZA DRIVE, SUITE 325 (972) 485-7999
DALLAS, TEXAS 75231 (972) 485-7994 FAX
Texas Engineers Registration No. EP-3966-00
Texas Surveyors Registration No. LS-100066-00
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STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER
01-10-2014

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & PERSONAL CONTROL OF THE REGISTERED PROFESSIONAL ENGINEER NO. 85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

FRONT DEMOLITION PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-DEM
Project No: 31563.01(20)

SHEET
C-5.2

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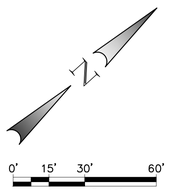

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LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
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LP	Light Pole	PKF	PK Nail Found
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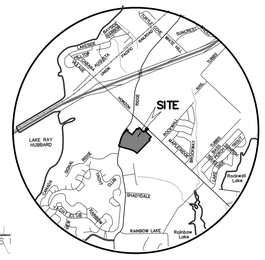
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

Texas 811

EXISTING PAVEMENT TO BE REMOVED



KROGER SW-575
ONE STORY
TILT-WALL/STONE FACE
2935 RIDGE ROAD
BUILDING FOOTPRINT
103,762 SQ. FT.

EXISTING BUILDING TO BE REMOVED. REFER TO ARCH. PLANS FOR DETAILS.

EXISTING BUILDING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.

EXISTING BUILDING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.

EXISTING GREASETRAP TO BE RELOCATED.

CONTRACTOR TO PROTECT AND MAINTAIN FRONT AND REAR DRIVEWAYS FOR INGRESS AND EGRESS OF CUSTOMERS.

REMOVE THIS SECTION OF EXISTING SEWER PIPE, MANHOLE TO REMAIN

EXIST. FIRE HYDRANT TO REMAIN AND BE PROTECTED.

EXIST. TRANSFORMER AND PAD TO REMAIN AND BE PROTECTED.

INSTALL 6' CHAIN-LINK FENCE WITH GREEN MESH FABRIC AND SILT FENCE FOR CONSTRUCTION BARRIER PER SHTS. C-15.1 TO C-15.2.

REMOVE & DISPOSE OF EXIST. TREES.

SAWCUT, REMOVE AND DISPOSE OF EXIST. CONC. AND ASPH. PVM'T. AND CURB, STRIPING, BOLLARDS, LOADING RAMP, AND ANY OTHER APPURTENANCES WITHIN THE SHADED AREA FOR DEMOLITION. SEE FRANCHISE UTILITY PLAN FOR EXISTING UTILITY LINES DEMOLITION.

SAWCUT, REMOVE & DISPOSE OF EXIST. CONC. PVM'T., CURB & GUTTER.

REMOVE & DISPOSE OF EXIST. TREES IN THIS AREA.

EXIST. TRANSFORMER TO REMAIN.

LOT 18, BLOCK A HORIZON RIDGE ADDITION CAB. F, SLIDE 215

LOT 19, BLOCK A HORIZON RIDGE ADDITION CAB. F, SLIDE 215

LOT 12, BLOCK A HORIZON RIDGE ADDITION CAB. E, SLIDE 277

LOT 8R, BLOCK A HORIZON RIDGE ADDITION CAB. E, SLIDE 277

LOT 7R, BLOCK A HORIZON RIDGE ADDITION CAB. E, SLIDE 277

30' FIRELANE, ACCESS, UTILITY & DRAINAGE EASEMENT CABINET F, SLIDE 215

24' FIRELANE, ACCESS, UTILITY & DRAINAGE EASEMENT CABINET E, SLIDE 117

25' UTILITY & DRAINAGE EASEMENT CAB. E, SLD. 117

15' UTILITY & DRAINAGE EASEMENT CAB. E, SLD. 117

10' UTILITY & DRAINAGE EASEMENT CAB. E, SLD. 117

10' UTILITY EASEMENT VOL. 4319, PG. 230

10'X5' UTILITY EASEMENT CAB. E, SLD. 117

5.50' UTILITY & DRAINAGE EASEMENT CAB. E, SLD. 117

15' WATER EASEMENT CABINET F, SLIDE 215

S 44°17'22" W 231.80'

AS BUILT

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WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

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2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
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Winkelmann & Associates, Inc.
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DALLAS, TEXAS 75238 (972) 490-7099
Texas Engineers Registration No. EP-3866-00
Texas Surveyors Registration No. LS-100 (972) 490-7094 FAX
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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED PROFESSIONAL ENGINEER

01-10-2014

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ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

REAR DEMOLITION PLAN
HORIZON RIDGE ADDITION
KROGER SW575 - 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-DEM
Project No.: 31563.01(20)

SHEET
C-5.3

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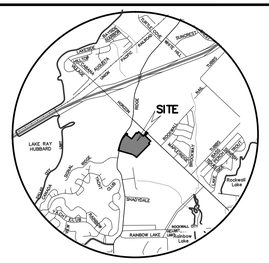
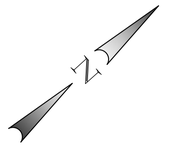


VICINITY MAP
NOT TO SCALE



0' 15' 30' 60'
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SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

ALL RADII ARE 2' UNLESS OTHERWISE NOTED.

BOUNDARY LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

BENCH MARKS:

BM #1 – "X" cut in concrete found for the most southerly southwest corner of Lot 1, Block A, Walgreens R.D.I. Retail Addition, as recorded in Cabinet D, Slide 369, Plat Records, Rockwall County, Texas.

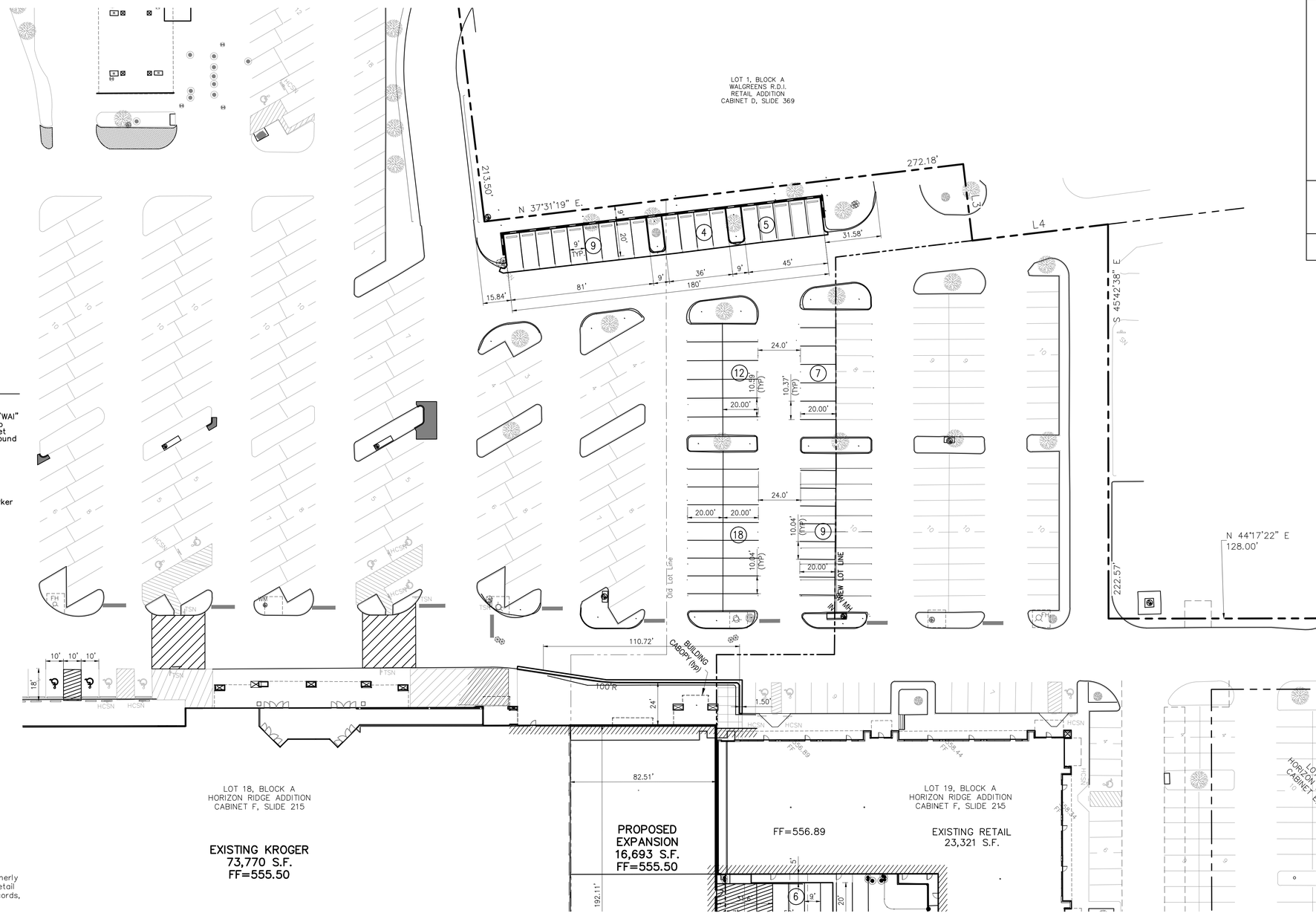
Elevation = 563.79 feet

BM #2 – P.K. Nail set in concrete 267.8 ± feet north of the centerline of Arista Road and 62.5 ± feet southeast of the centerline of Ridge Road

Elevation = 558.80 feet

BM #3 – "X" cut in top of inlet 13.0 ± feet southeast of the southeast corner of Lot 18, Block A Horizon Ridge Addition, as recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas.

Elevation = 547.36 feet



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DALLAS, TEXAS 75243 (972) 490-7999 FAX
Texas Engineers Registration No. EP-00966-00
Texas Surveyors Registration No. LS-100066-00

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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED
PROFESSIONAL ENGINEER

01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & PERSONAL CONTROL OF THE REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

DIMENSION CONTROL PLAN 1
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-DIM
Project No.: 31563.01(20)

SHEET
C-6.1

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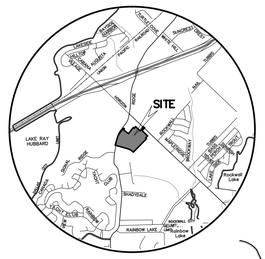

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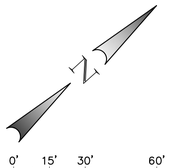
NOT TO SCALE



LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

BOUNDARY LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

BENCH MARKS:

BM #1 – "X" cut in concrete found for the most southerly southwest corner of Lot 1, Block A, Walgreens R.D.I. Retail Addition, as recorded in Cabinet D, Slide 369, Plat Records, Rockwall County, Texas.

Elevation = 563.79 feet

BM #2 – P.K. Nail set in concrete 267.8 ± feet north of the centerline of Arista Road and 62.5 ± feet southeast of the centerline of Ridge Road

Elevation = 558.80 feet

BM #3 – "X" cut in top of inlet 13.0 ± feet southeast of the southeast corner of Lot 18, Block A Horizon Ridge Addition, as recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas.

Elevation = 547.36 feet

LOT 18, BLOCK A
HORIZON RIDGE ADDITION
CABINET F, SLIDE 215

EXISTING KROGER
73,770 S.F.
FF=555.50

ALL RADII ARE 2' UNLESS OTHERWISE NOTED.

PROPOSED
EXPANSION
16,693 S.F.
FF=555.50

FF=556.89

LOT 19, BLOCK A
HORIZON RIDGE ADDITION
CABINET F, SLIDE 215

EXISTING RETAIL
23,321 S.F.

Old Lot Line

NEW LOT LINE

S 44°17'22" W

LOT 12, BLOCK A
HORIZON RIDGE ADDITION
CABINET E, SLIDE 277

LOT 8R, BLOCK A
HORIZON RIDGE ADDITION
CABINET E, SLIDE 277

LOT 7R, BLOCK A
HORIZON RIDGE ADDITION
CABINET E, SLIDE 277

AS BUILT

Winkelmann & Associates, Inc. hereby states that this plan, to the best of our knowledge, is "As Built." Modifications from the originally approved construction documents have been made as per information provided by the contractor and field verified by Winkelmann & Associates, Inc. Winkelmann & Associates, Inc. does not certify as to the quality of construction as no inspection was performed.

WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

No.	DATE	REVISION	APPROV.
4	01-24-14	ADDENDUM 1	T.C.Y.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ▪ SURVEYORS
8750 HILCREST PLAZA DRIVE, SUITE 325 (972) 485-7999
DALLAS, TEXAS 75231 (972) 485-7998 FAX
Texas Engineers Registration No. EP-0966-00
Texas Surveyors Registration No. LS-100066-00
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STATE OF TEXAS
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REGISTERED PROFESSIONAL ENGINEER

01-10-2014

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E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

DIMENSION CONTROL PLAN 2
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: 1" = 30'
Date: DECEMBER 5, 2013
File: 31563-DIM
Project No.: 31563.01(20)

SHEET
C-6.2

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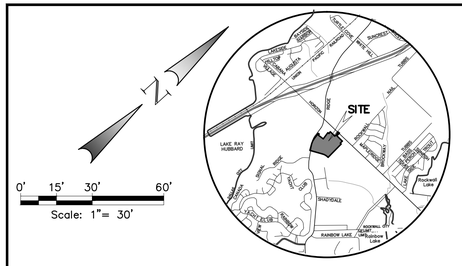
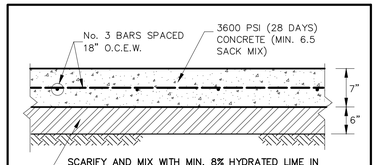
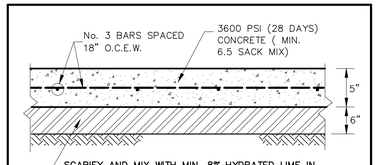


VICINITY MAP
NOT TO SCALE



FIRELANE/HEAVY DUTY CONC. PAVEMENT SECTION
N.T.S.



LIGHT DUTY CONCRETE PAVEMENT SECTION
N.T.S.

NOTE:
ALTERNATELY, LIME-STABILIZATION COULD BE ELIMINATED BY INCREASING CONCRETE PAVEMENT BY ONE INCH WITH 6" COMPACTED SUBGRADE TO 95% STD. PROCTOR AT 0 TO 4 PERCENT ABOVE OPTIMUM MOISTURE. NO SAND UNDER PAVING.

1. CONTRACTOR TO APPLY 2ND COAT OF STRIPING 2 WEEKS PRIOR TO GRAND OPENING. CONTRACTOR TO SEAL ALL THE PAVEMENT JOINTS ONSITE. RESTRIPE HC PER CSD-134.
2. CONTRACTOR TO SEAL ALL EXISTING & PROPOSED JOINTS. CONTRACTOR TO SAWCUT, REMOVE AND REPLACE EXISTING JOINT MATERIAL IF REQUIRED.
3. CONTRACTOR TO RESTRIPE ENTIRE PARKING LOT.
4. CONTRACTOR TO SEAL/REPAIR ALL EXISTING PAVEMENT CRACKS WITHIN LOT 18 (KROGER LOT)
5. ALL ABOVE WORKS ARE LIMITED WITHIN LOT 18 (KROGER LOT).

No.	DATE	REVISION	APPROV.
5	06-05-14	ASI #2	T.C.Y.
4	01-24-14	ADDENDUM 1	T.C.Y.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
8750 HALCROT PLAZA DRIVE, SUITE 325 (972) 485-7090
DALLAS, TEXAS 75247 (972) 485-7099 FAX
Texas Engineers Registration No. 10-3966-00
Texas Surveyors Registration No. 100805-00

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STATE OF TEXAS
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85337
REGISTERED PROFESSIONAL ENGINEER
01-10-2014

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E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

FRONT PAVING PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-PAV
Project No.: 31563.01(20)

SHEET
C-7.1

LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	X Cut in Concrete Set
WM	Water Meter	XCF	X Cut in Concrete Found
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LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

SIDEWALK PAVEMENT (TYP.)
4"-3,000 PSI (MIN. 5.5 SACK MIX) CONCRETE W/ #3 BARS AT 24" C-C BOTH WAYS

ALL RADII ARE 2' UNLESS OTHERWISE NOTED.

BOUNDARY LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

AS BUILT

Winkelmann & Associates, Inc. hereby states that this plan, to the best of our knowledge, is "As Built." Modifications from the originally approved construction documents have been made as per information provided by the contractor and field verified by Winkelmann & Associates, Inc. Winkelmann & Associates, Inc. does not certify as to the quality of construction as no inspection was performed.

WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

BENCH MARKS:

BM #1 – "X" cut in concrete found for the most southerly southwest corner of Lot 1, Block A, Walgreens R.D.I. Retail Addition, as recorded in Cabinet D, Slide 369, Plat Records, Rockwall County, Texas.

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Elevation = 558.80 feet

BM #3 – "X" cut in top of inlet 13.0 ± feet southeast of the southeast corner of Lot 18, Block A Horizon Ridge Addition, as recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas.

Elevation = 547.36 feet

REPAINT FIRE LANE SEE SHT. C-13.1 FOR DETAILS

CONTRACTOR TO CONST. RETAINING WALL.

CONTRACTOR TO SAW CUT EX. PVM'T. AND DOWEL TO EX. PVM'T., INSTALL 7" REINF. CONC. PVM'T. WITH CONSTRUCTION JOINT FULL LENGTH PER CITY OF ROCKWALL STANDARDS.

REPAIR EXISTING CONCRETE CURB AND PAVEMENT

LONGITUDINAL BUTT JOINT SEE SHT. C-13.1 FOR DETAILS

RESTRIPE PARKING SPACES IN THESE AREAS.

CONTRACTOR TO SAW CUT EX. PVM'T. AND DOWEL TO EX. PVM'T., INSTALL 7" REINF. CONC. PVM'T. WITH CONSTRUCTION JOINT FULL LENGTH PER CITY OF ROCKWALL STANDARDS.

REPAINT FIRE LANE SEE SHT. C-13.1 FOR DETAILS

RESTRIPE HC PARKING SPACES IN THESE AREAS.

STRIPE PEDESTRIAN AREAS 30' WIDE AND ACROSS DRIVE.

CONN. TO EX. CURB SEE SHT. C-13.1 FOR CURB DETAILS

RELOCATE EX. WHEEL STOPS 2' TOWARD BUILDING TO PROVIDE 18' PARKING SPACE WITH OVERHANG

CONTRACTOR TO CONSTRUCT REINF. CONC. PAVEMENT REFERENCE ARCH PLAN SHEET A1.2 FOR EXPANSION AND CONTROL JOINTS

CONN. TO EX. CURB SEE SHT. C-13.1 FOR CURB DETAILS

EXIST. REINF. CONC. PVM'T.

LOT 18, BLOCK A
HORIZON RIDGE ADDITION
CABINET F, SLIDE 215

LOT 19, BLOCK A
HORIZON RIDGE ADDITION
CABINET F, SLIDE 215

EXISTING KROGER
73,770 S.F.
FF=555.50

PROPOSED EXPANSION
16,693 S.F.
FF=555.50

FF=556.89

EXISTING RETAIL
23,321 S.F.

30' FIRELANE, ACCESS, UTILITY & DRAINAGE EASEMENT CABINET E, SLIDE 117

15' DRAINAGE EASEMENT CABINET F, SLIDE 215

10' WATER EASEMENT CABINET F, SLIDE 215

10' x 10' WATER EASEMENT CABINET F, SLIDE 215

24' FIRELANE, ACCESS & UTILITY EASEMENT CABINET F, SLIDE 215

24' UTILITY & DRAINAGE EASEMENT

S 52°30'25" E 213.50'

N 37°31'19" E

S 52°28'41" E 222.57'

L2

L4

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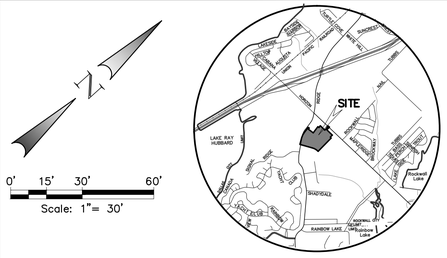
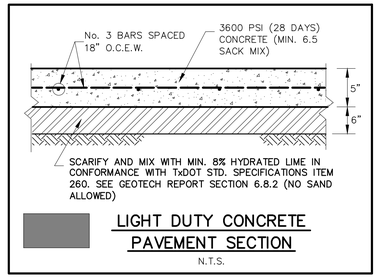
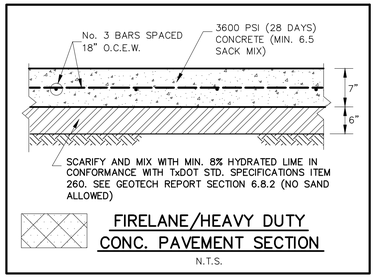


VICINITY MAP
NOT TO SCALE



LIGHT DUTY CONCRETE PAVEMENT SECTION
N.T.S.



FIRELANE/HEAVY DUTY CONC. PAVEMENT SECTION
N.T.S.

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LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
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LP	Light Pole	PKF	PK Nail Found
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CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
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SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

SIDEWALK PAVEMENT (TYP.)
4"-3,000 PSI (MIN. 5.5 SACK MIX) CONCRETE W/ #3 BARS AT 24" C-C BOTH WAYS

BOUNDARY LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
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L3	S52°28'41"E	43.50'
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BM #2 – P.K. Nail set in concrete 267.8 ± feet north of the centerline of Arista Road and 62.5 ± feet southeast of the centerline of Ridge Road

Elevation = 558.80 feet

BM #3 – "X" cut in top of inlet 13.0 ± feet southeast of the southeast corner of Lot 18, Block A Horizon Ridge Addition, as recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas.

Elevation = 547.36 feet

RELOCATE EX. WHEEL STOPS 2' TOWARD BUILDING TO PROVIDE 18' PARKING SPACE WITH OVERHANG

LOT 18, BLOCK A HORIZON RIDGE ADDITION CABINET F, SLIDE 215

EXISTING KROGER 73,770 S.F. FF=555.50

PROPOSED EXPANSION 16,693 S.F. FF=555.50

CONTRACTOR TO CONNECT TO EX. PVM'T. DOWEL TO EX. PVM'T., INSTALL 6" REINF. CONC. PVM'T. WITH CONSTRUCTION JOINT FULL LENGTH PER CITY OF ROCKWALL STANDARDS.

RESTRIPE PARKING SPACES IN THESE AREAS.

LOT 19, BLOCK A HORIZON RIDGE ADDITION CABINET F, SLIDE 215

FF=556.89

EXISTING RETAIL 23,321 S.F.

CONTRACTOR TO DOWEL TO EX. REINF. CONC. CURB PER CITY OF ROCKWALL STANDARDS.

TRANSITION FROM 6" CURB TO 0" CURB.

TRANSITION FROM 6" CURB TO 0" CURB.

CONTRACTOR TO CONNECT TO EX. PVM'T. DOWEL TO EX. PVM'T., INSTALL 7" REINF. CONC. PVM'T. WITH CONSTRUCTION JOINT FULL LENGTH PER CITY OF ROCKWALL STANDARDS.

REPAINT FIRE LANE SEE SHT. C-13.1 FOR DETAILS

CONTRACTOR TO CONNECT TO EX. PVM'T. DOWEL TO EX. PVM'T., INSTALL 7" REINF. CONC. PVM'T. WITH CONSTRUCTION JOINT FULL LENGTH PER CITY OF ROCKWALL STANDARDS.

LONGITUDINAL BUTT JOINT SEE SHT. C-13.1 FOR DETAILS

EXIST. REINF. CONC. PVM'T.

LONGITUDINAL BUTT JOINT SEE SHT. C-13.1 FOR DETAILS

EXIST. REINF. CONC. PVM'T.

REPAINT FIRE LANE SEE SHT. C-13.1 FOR DETAILS

CONTRACTOR TO CONST. RETAINING WALL.

RESTRIPE PARKING SPACES IN THIS AREA.

CONTRACTOR TO CONNECT TO EX. PVM'T. DOWEL TO EX. PVM'T., INSTALL 7" REINF. CONC. PVM'T. WITH CONSTRUCTION JOINT FULL LENGTH, AND STRIPE PER CITY OF ROCKWALL STANDARDS. CONTRACTOR TO INSTALL GUARD FENCE PER TxDOT DETAILS GF-(31)-11 (TYP.).

LOT 12, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 277

LOT 7R, BLOCK A HORIZON RIDGE ADDITION CABINET E, SLIDE 277

S 44°17'22" W

24' FIRELANE, ACCESS, UTILITY & DRAINAGE EASEMENT CABINET F, SLIDE 215

30' FIRELANE, ACCESS, UTILITY & DRAINAGE EASEMENT CABINET E, SLIDE 117

10' x 10' WATER EASEMENT CABINET F, SLIDE 215

10' UTILITY & DRAINAGE EASEMENT CAB. E, SLD. 117

FIRE LANE & ACCESS EASEMENT VOL. 2906, PG. 83

AS BUILT

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DALLAS, TEXAS 75231 (972) 485-7994 FAX
Texas Engineers Registration No. 8965
Texas Surveyors Registration No. 100966-00
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STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER

01-10-2014

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E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

REAR PAVING PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: 1" = 30'
Date: DECEMBER 5, 2013
File: 31563-PAV
Project No.: 31563.01(20)

SHEET
C-7.2

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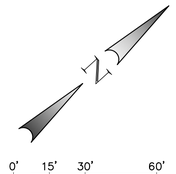

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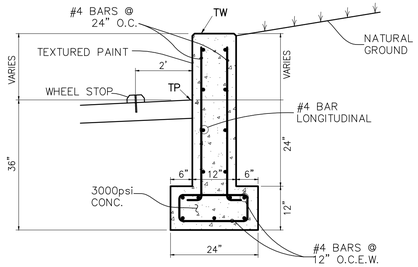
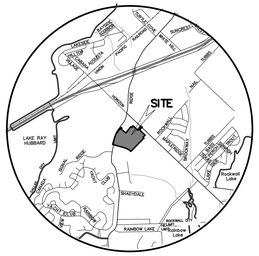
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter



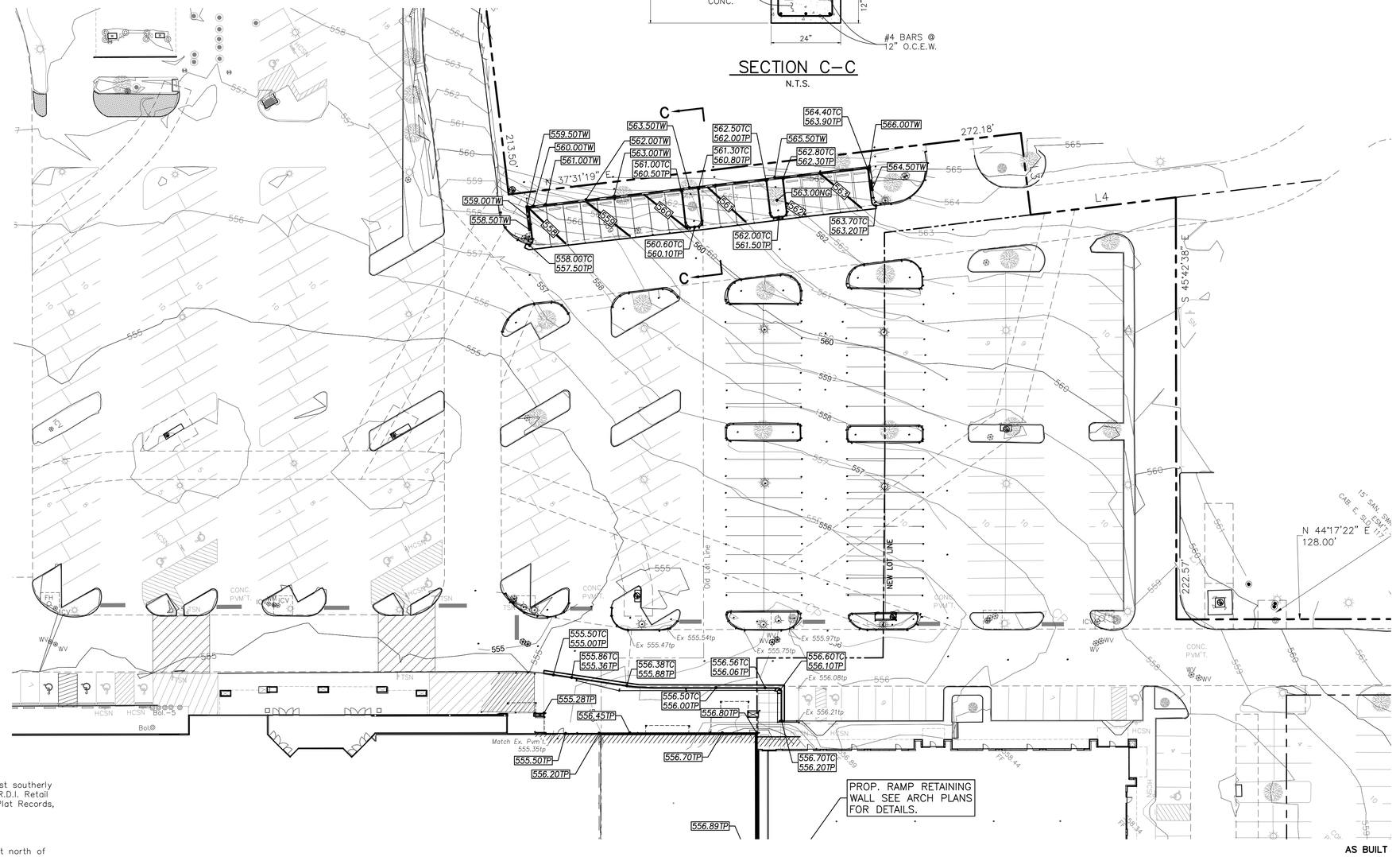
SECTION C–C
N.T.S.

GRADING LEGEND

- 550 — EXISTING CONTOURS
- 550 PROP. CONTOURS
- Ex. 550.50tp Ex. Spot Grade
- 550.50TC / 550.00TP PROP. TOP OF CURB / PROP. TOP OF PAVEMENT
- 550.00TP PROP. TOP OF PAVEMENT
- 550.00TW PROP. TOP OF WALL
- 550.00NG TOP NATURAL GROUND
- RETAINING WALL



VICINITY MAP
NOT TO SCALE



BENCH MARKS:

BM #1 – "X" cut in concrete found for the most southerly southwest corner of Lot 1, Block A, Walgreens R.D.I. Retail Addition, as recorded in Cabinet D, Slide 369, Plat Records, Rockwall County, Texas.

Elevation = 563.79 feet

BM #2 – P.K. Nail set in concrete 267.8 ± feet north of the centerline of Arista Road and 62.5 ± feet southeast of the centerline of Ridge Road

Elevation = 558.80 feet

BM #3 – "X" cut in top of inlet 13.0 ± feet southeast of the southeast corner of Lot 18, Block A Horizon Ridge Addition, as recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas.

Elevation = 547.36 feet

AS BUILT

Winkelmann & Associates, Inc. hereby states that this plan, to the best of our knowledge, is "As Built." Modifications from the originally approved construction documents have been made as per information provided by the contractor and field verified by Winkelmann & Associates, Inc. Winkelmann & Associates, Inc. does not certify as to the quality of construction as no inspection was performed.

WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

No.	DATE	REVISION	APPROV.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
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Texas Engineers Registration No. EP-3966-00
Texas Surveyors Registration No. LS-100 (972) 490-7999 FAX
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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED PROFESSIONAL ENGINEER

01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & PERSONAL CHARGE OF REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

FRONT GRADING PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1" = 30'
Date: DECEMBER 5, 2013
File: 31563-GRD
Project No.: 31563.01(20)

SHEET
C-8.1

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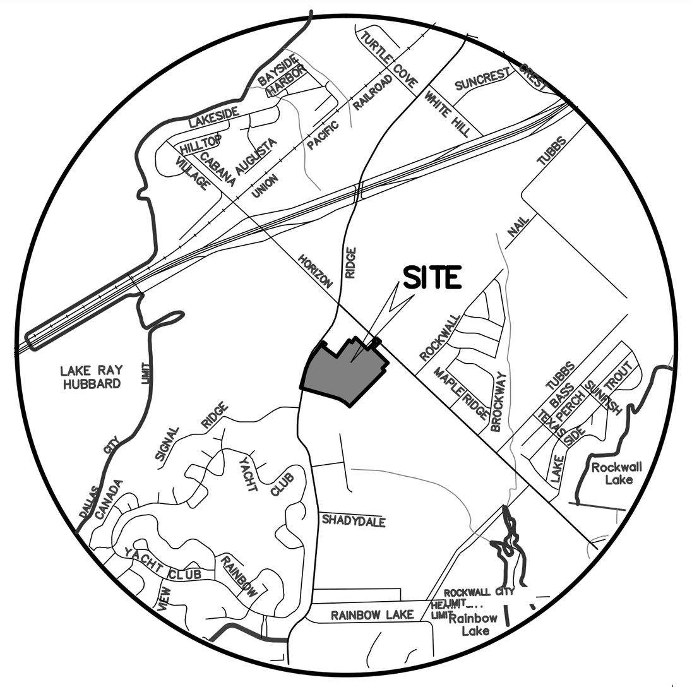

VICINITY MAP
NOT TO SCALE

LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

BOUNDARY LINE TABLE

LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

GRADING LEGEND

550	EXISTING CONTOURS
550	PROP. CONTOURS
Ex. 550.50tp	Ex. Spot Grade
550.50TC / 550.00TP	PROP. TOP OF CURB / PROP. TOP OF PAVEMENT
550.00TP	PROP. TOP OF PAVEMENT
550.50TW / 550.00BW	PROP. TOP OF WALL / PROP. BOTTOM OF WALL
	RETAINING WALL
	TURF REINFORCED MATTING

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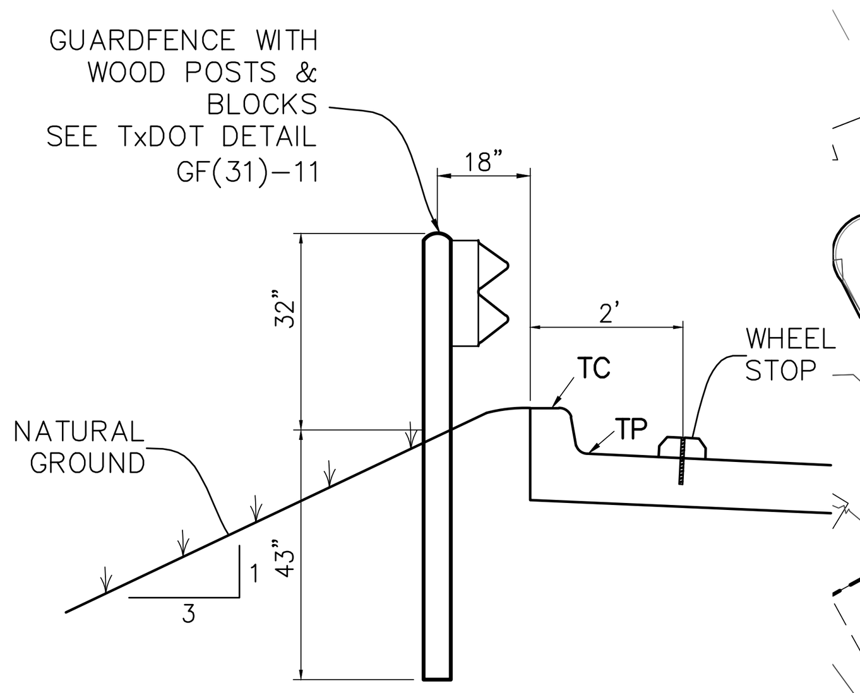
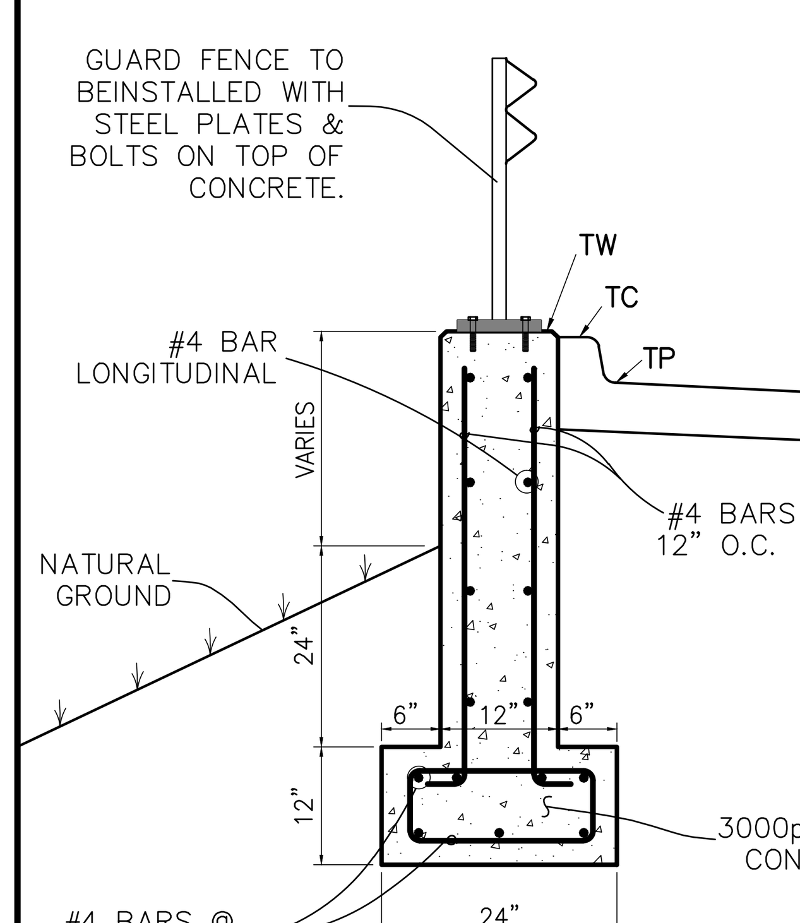
WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE



SECTION A-A
N.T.S.



SECTION B-B
N.T.S.

BENCH MARKS:

BM #1 – "X" cut in concrete found for the most southerly southwest corner of Lot 1, Block A, Walgreens R.D.I. Retail Addition, as recorded in Cabinet D, Slide 369, Plat Records, Rockwall County, Texas.
Elevation = 563.79 feet

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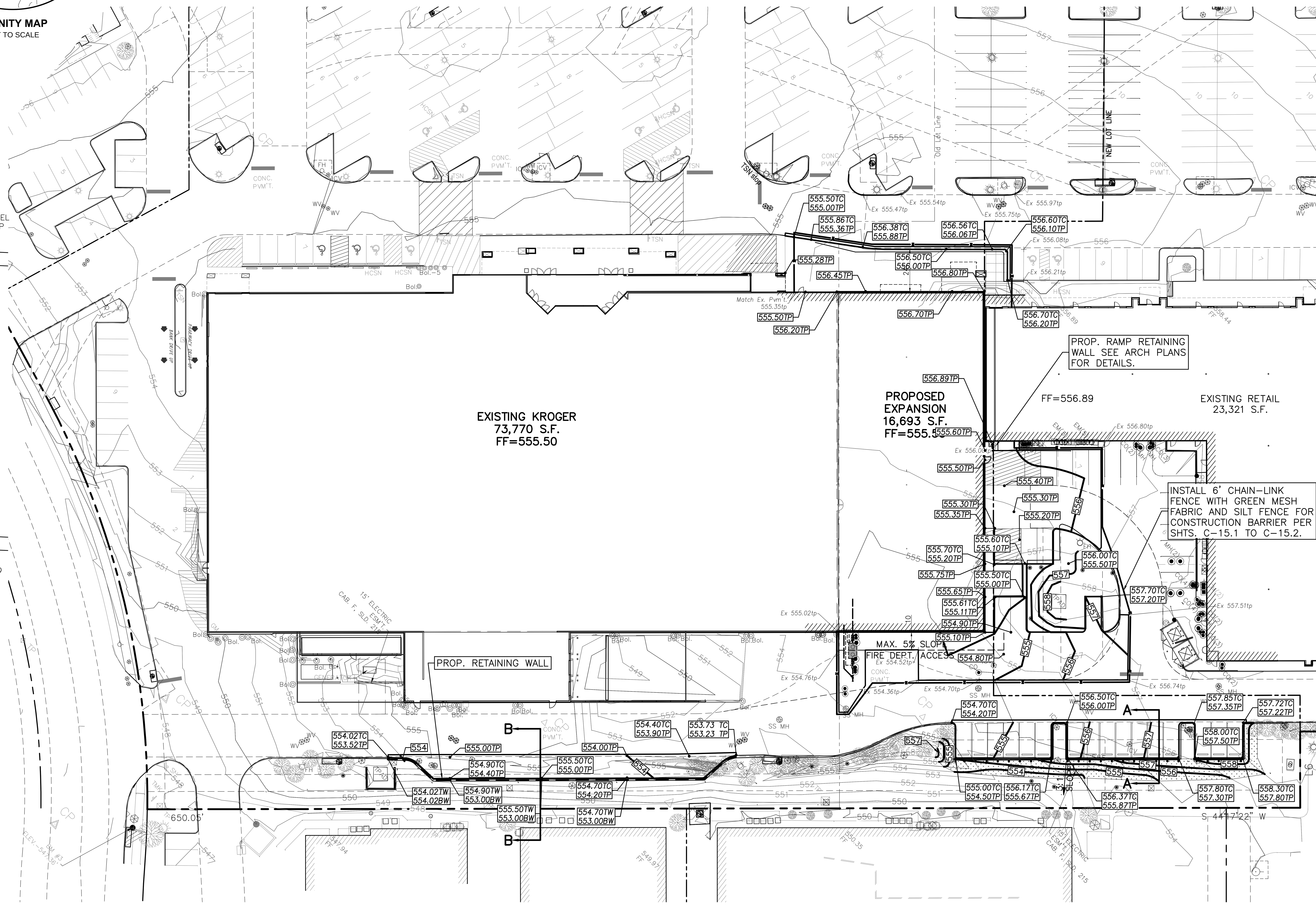
Elevation = 558.80 feet

BM #3 – "X" cut in top of inlet 13.0 ± feet southeast of the southeast corner of Lot 18, Block A Horizon Ridge Addition, as recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas.
Elevation = 547.36 feet



3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.
No.	DATE	REVISION	APPROV.

Winkelmann & Associates, Inc.
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(972) 490-7090 (972) 490-7099 FAX
Texas Engineers Registration No. 89
Texas Surveyors Registration No. 100866-00
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STATE OF TEXAS TERENCE C. YOUNG 85337 REGISTERED PROFESSIONAL ENGINEER
01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF TERENCE C. YOUNG, REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

REAR GRADING PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-GRD
Project No.: 31563.01(20)

SHEET
C-8.2

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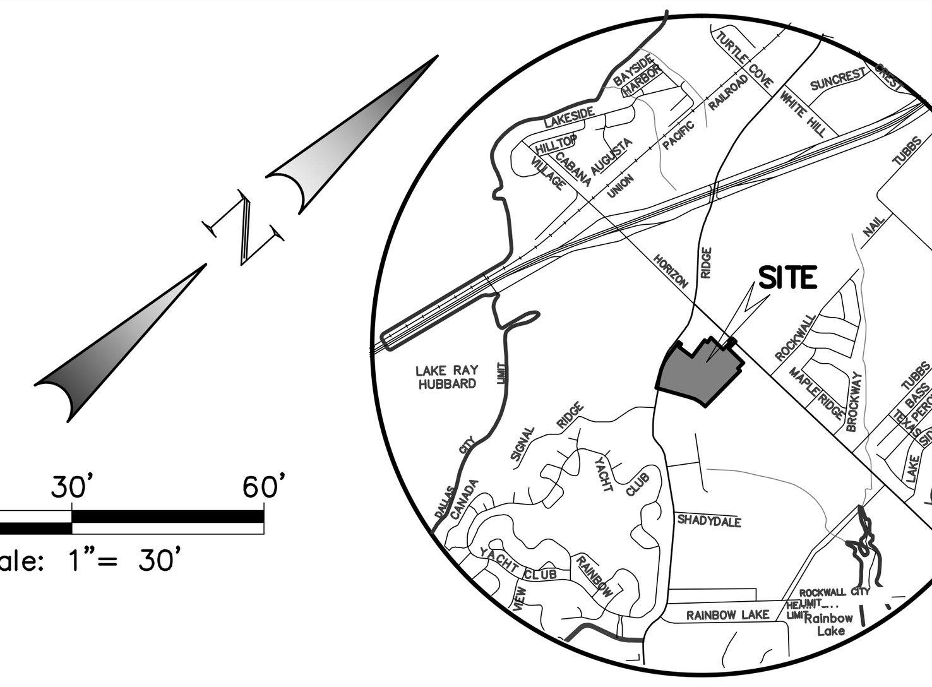
0' 15' 30' 60'
Scale: 1"= 30'



VICINITY MAP
NOT TO SCALE

BOUNDARY LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

LEGEND

- 550 — EXISTING CONTOURS
- [550] — PROP. CONTOURS
- PAD PREP LIMITS – REFER TO GEOTECH REPORT BY ALPHA TESTING, REPORT No. G121172 DATED AUGUST 17, 2012.

EXISTING STORE AND FRONT PARKING FACILITIES TO REMAIN IN SERVICE DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR TO PROTECT AND MAINTAIN FRONT AND REAR DRIVEWAYS FOR INGRESS AND EGRESS OF CUSTOMERS, AND PROTECT THIS PORTION OF THE SITE FROM ANY AND ALL DAMAGE.

NOTE:

1. INFORMATION PROVIDED HEREON WAS TAKEN FROM STRUCTURAL PLANS XX.X & XX.X, & ALPHA REPORT NO. G130710 DATED JUNE 14, 2013. REFER TO PROJECT MANUAL SECTIONS 00 31 32 AND 31 20 00.

2. Three PASSES ARE REQUIRED TO PASS SWELL TEST.

LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	"X" Cut in Concrete Set
WM	Water Meter	XCF	"X" Cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
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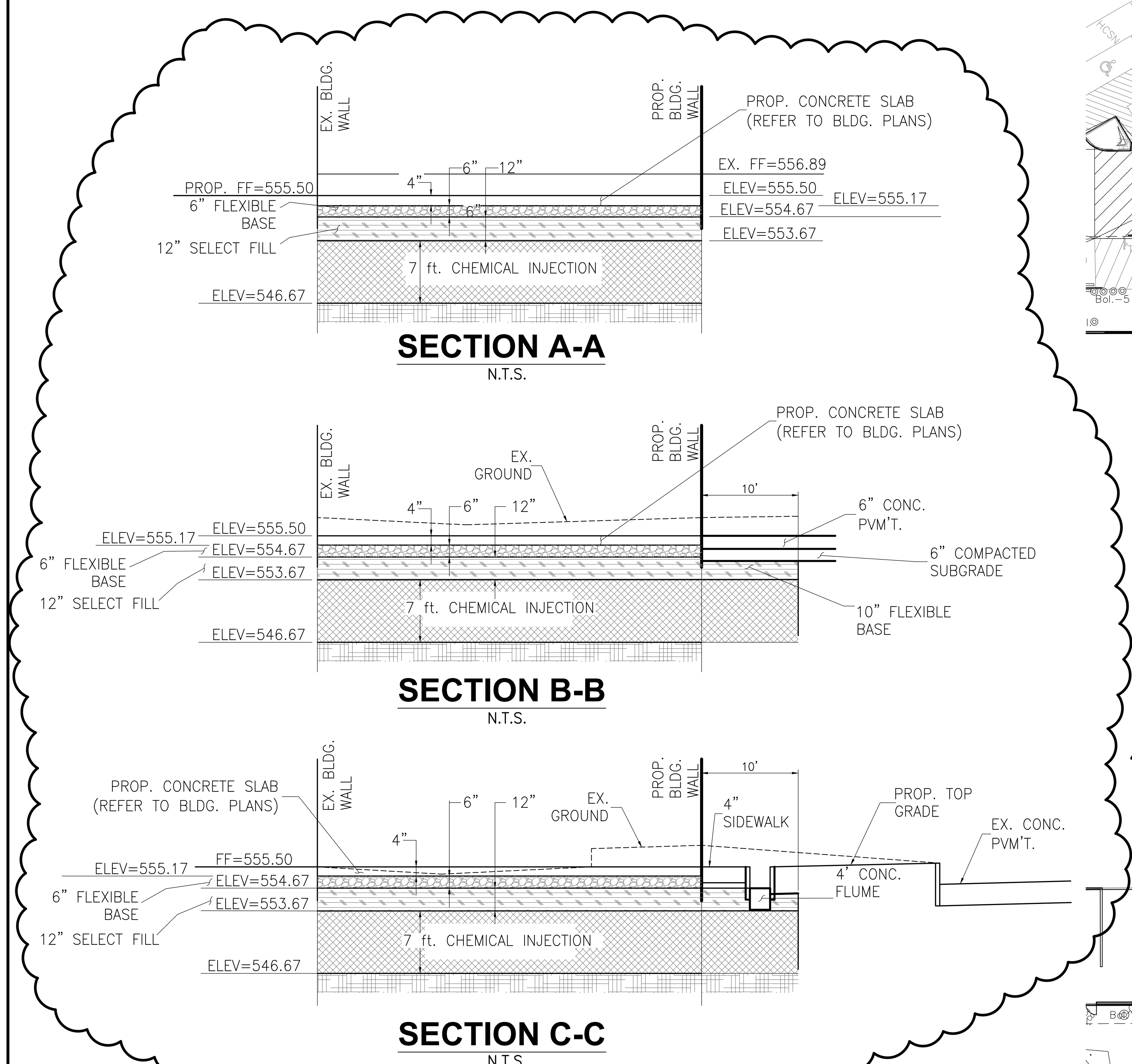

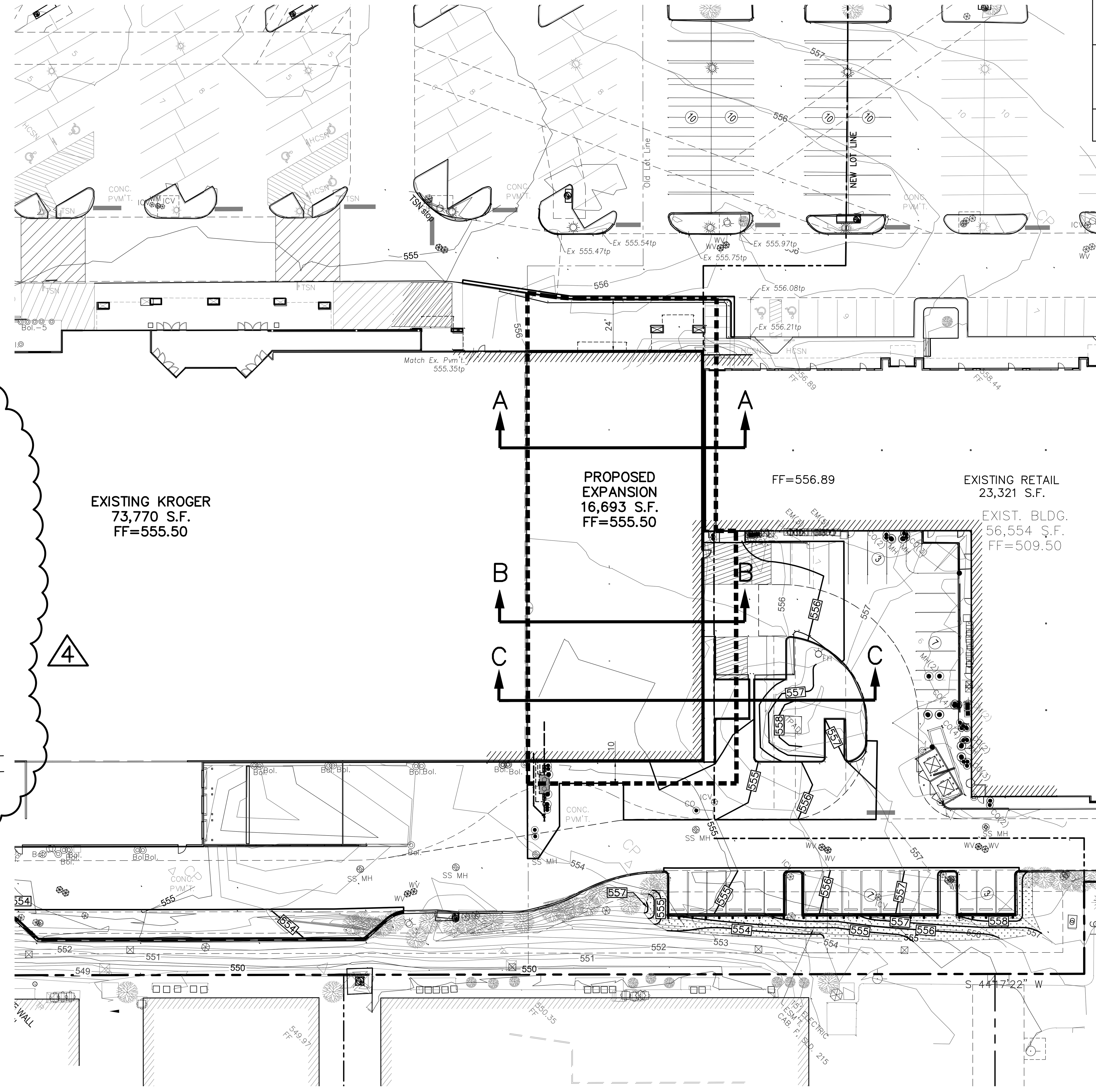

BENCH MARKS:

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Elevation = 558.80 feet

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Elevation = 547.36 feet

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WINKELMANN & ASSOCIATES, INC. 12/17/2014
DATE

No.	DATE	REVISION	APPROV.
4	03/20/14	ASI #1	TCY
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
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DALLAS, TEXAS 75230
(972) 490-7090
(972) 490-7099 FAX
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Texas Surveyors Registration No. 100866-00

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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED
PROFESSIONAL ENGINEER
03-20-2014

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF TERENCE C. YOUNG, REGISTERED PROFESSIONAL ENGINEER NO. 85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

BUILDING PAD PREPARATION PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1" = 30'
Date: DECEMBER 5, 2013
File: 31563-GRD
Project No.: 31563.01(20)

SHEET
C-8.3

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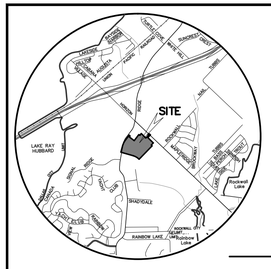
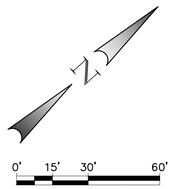
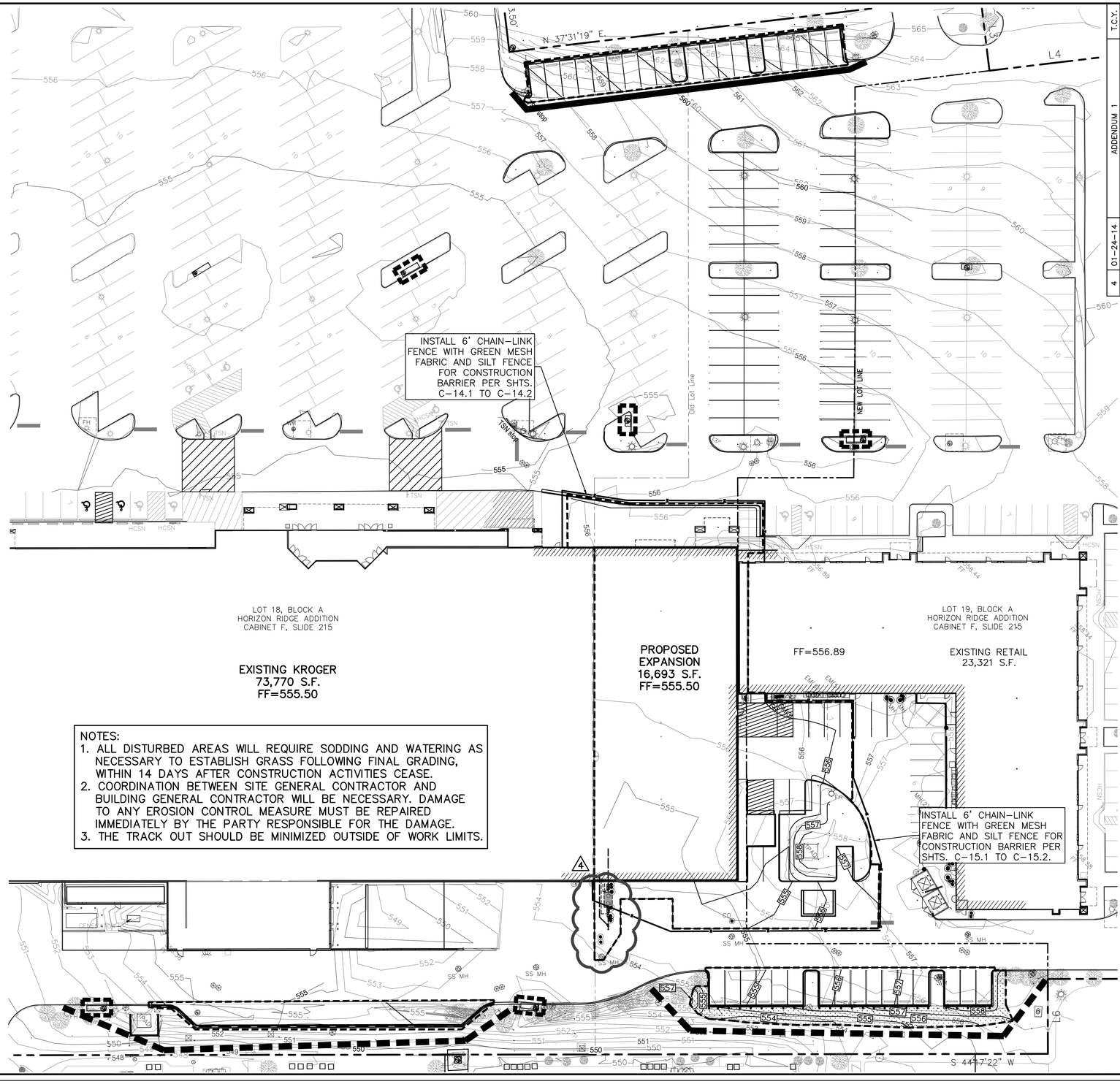


VICINITY MAP
NOT TO SCALE



LEGEND

- 535 — EXISTING CONTOURS
- 510 — PROP. CONTOURS
- INLET PROTECTION
- SILT FENCE
- CONCRETE WASHOUT AREA 10 MIL. LINER WITH BERM AROUND
- TURF REINFORCED MATTING
- DISTURBED AREA (0.98 AC.)
- 12" TEMP. EROSION CONTROL LOG



GENERAL CONSTRUCTION SEQUENCING & PHASING

I. INSTALL CONSTRUCTION FENCE WITH & SILT BARRIER ALONG PERIMETER BOTTOM PRIOR TO COMMENCEMENT OF WORK. SILT FENCE TO BE ATTACHED TO CHAINLINK FENCE WITH NYLON TIES WITH OVERLAP ON TOP OF PAVEMENT, OVERLAP HELD DOWN WITH SOLID ROW OF SANDBAGS.
II. IMPLEMENT DEMOLITION.
IV. ROUGH GRADE SITE.
V. INSTALL UTILITIES & INLET PROTECTION.
VI. SOIL STABILIZATION IN AREAS TO BE PAVED.
VII. PAVE SITE.
VIII. REMOVE CONSTRUCTION FENCING, SILT BARRIER AND INLET PROTECTION.

NOTES:
1. ALL DISTURBED AREAS WILL REQUIRE SODDING AND WATERING AS NECESSARY TO ESTABLISH GRASS FOLLOWING FINAL GRADING, WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITIES CEASE.
2. COORDINATION BETWEEN SITE GENERAL CONTRACTOR AND BUILDING GENERAL CONTRACTOR WILL BE NECESSARY. DAMAGE TO ANY EROSION CONTROL MEASURE MUST BE REPAIRED IMMEDIATELY BY THE PARTY RESPONSIBLE FOR THE DAMAGE.
3. THE TRACK OUT SHOULD BE MINIMIZED OUTSIDE OF WORK LIMITS.

AS BUILT

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WINKELMANN & ASSOCIATES, INC. — DATE 12/17/2014

No.	DATE	REVISION	APPROV.
4	01-24-14	ADDENDUM 1	T.C.Y.
3	01-10-14	ISSUE FOR BID	T.C.Y.
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Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ▪ SURVEYORS
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DALLAS, TEXAS 75231 (972) 490-7094 FAX
Texas Engineers Registration No. F-9366-00
Texas Surveyors Registration No. LA-100866-00

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STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER
01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & FIRSTHAND KNOWLEDGE OF A REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

EROSION CONTROL PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-ERO
Project No.: 31563.01(20)

SHEET
C-9.1

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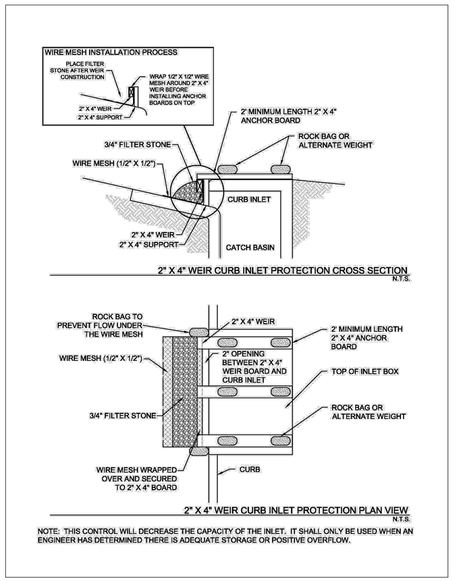

Figure 3.5 Schematics of 2"x4" Weir Curb Inlet Protection
(Source: Modified from Washington Suburban Sanitary Commission Detail SC-16.0)

3.4.1 Primary Use

Inlet protection is typically used as a secondary sediment barrier, due to its limited effectiveness and numerous disadvantages. It is used to reduce sediment in storm sewer systems by serving as a back-up system for areas that have newly applied erosion controls or for other sediment controls that cannot achieve adequate sediment removal by themselves.

Inlet protection may be used as a primary sediment control only when all other primary controls are infeasible because of site configuration or the type of construction activity.

3.4.2 Applications

Inlet protection is best applied at low point (sump) inlets where stormwater runoff will pond behind the protection measure, and then either filter through the protection measure or flow over a weir created by it. Most inlet protection measures depend on ponding to be effective. These types of inlet protection are not applicable to on-grade curb inlets, where the inlet protection will cause stormwater runoff to bypass the inlet and overload downstream inlets. Only inlet protection measures that allow for use of the inlet opening (e.g. inlet inserts) are applicable as inlet protection for on-grade inlets.

Inlet protection is normally used in new developments with new inlets and roads that are not in public use. It has limited applications in developed areas due to the potential for flooding, traffic safety, pedestrian safety, and maintenance problems. Potential applications in developed areas are on parking lot inlets where water can pond without causing damage and during major repairs to existing roadways where no other controls are viable.

The application of inlet protection is highly variable due to the wide variety of inlet configurations (existing and new) and site conditions. The schematics in Section 6 show example applications; however, applications in most cases must be site adapted. Different methods and materials may be used. It is the responsibility of the designer to ensure that the methods and materials applied for inlet protection are appropriate to the site and flow conditions following the design criteria in Section 3.

3.4.3 Design Criteria

General

- Drainage patterns shall be evaluated to ensure inlet protection will not divert flow or flood the roadway or adjacent properties and structures.
- Inlet protection measures or devices that completed block the inlet are prohibited. They must also include a bypass capability in case the protection measures are clogged.
- Inlet protection must be designed to pass the conveyance storm (25-year, 24-hour) without creating a road hazard or damaging adjacent property. This may be accomplished by any of the following measures:
  - An overflow weir on the protection measure.
  - An existing positive overflow swale on the inlet.
  - Sufficient storage volume around the inlet to hold the ponded water until it can all filter into the inlet.
  - Other engineered method.
- Positive overflow drainage is critical in the design of inlet protection. If overflow is not provided for at the inlet, temporary means shall be provided to route excess flows through established swales, streets, or other watercourses to minimize damage due to flooding.
- Filter fabric and wire mesh used for inlet protection shall meet the material requirements specified in *Section 3.10 Silt Fence*.

- Block and gravel (crushed stone or recycled concrete) protection is used when flows exceed 0.5 cubic feet per second and it is necessary to allow for overtopping to prevent flooding.
- The tube and filler for organic filter tubes shall be in accordance with the criteria in *Section 3.6 Organic Filter Tube*.
- Bags used to secure inlet protection devices on pavement shall be filled with aggregate, filter stone, or crushed rock that is less likely than sand to be washed into an inlet if the bag is broken. Filled bags shall be 24 to 30 inches long, 16 to 18 inches wide, and 6 to 8 inches thick. Bags shall be polypropylene, polyethylene, or polyamide woven fabric with a minimum unit weight of 4 ounces per square yard and meet the following criteria:
  - Greater than 300 psi Mullen Burst Strength using ASTM D3786 Standard Test Method for Hydraulic Bursting Strength of Textile Fabrics-Diaphragm Bursting Strength Tester Method.
  - Greater than 70 percent UV Stability using ASTM D4355 Standard Test Method for Deterioration of Geotextiles by Exposure to Light, Moisture, and Heat in a Xenon Arc Type Apparatus.

Curb Inlet Protection

- Municipality approval is required before installing inlet protection on public streets.
- Special caution must be exercised when installing curb inlet protection on publicly traveled streets or in developed areas. Ensure that inlet protection is properly designed, installed and maintained to avoid flooding of the roadway or adjacent properties and structures.
- A two inch overflow gap or weir is required on all curb inlet protection devices.
- Traffic cones, warning signs, or other measures shall be installed to warn motorists when the inlet protection measures extend beyond the gutter line.
- 2 inch X 4 inch Weir Protection:
  - Bend wire mesh around the 2 inch x 4 inch board and staple to the board. Bend wire mesh around the bottom of the board, the curb opening, and along the pavement to form a cage for the rock.
  - Rock bags shall be placed perpendicular to the curb, at both ends of the wooden frame, to disrupt the flow and direct water into the rock filter. Stack the bags two high if needed.
- Organic Filter Tube Protection:
  - The diameter of the tube shall be at least 2 inches less than the height of the inlet opening. The tube should not be allowed to block the entire opening, since it will clog.
  - The tube shall be placed on 4 inch x 4 inch or 2 inch x 4 inch wire mesh to prevent the tube from sagging into the inlet.
  - The tube should be long enough to extend a minimum of 12 inches past the curb opening on each side of the inlet.
- Hog Wire Weir Protection:
  - The filter fabric and wire mesh shall extend a minimum of 12 inches past the curb opening on each side of the inlet.
  - Filter fabric shall be placed on 2 inch x 4 inch wire mesh to prevent the tube from sagging into the inlet.
  - Rock bags are used to hold the wire mesh and filter fabric in contact with the pavement. At least one bag shall be placed on either side of the opening, parallel to and up against the concrete curb. The bags are in intended to disrupt and slow the flow and ensure it does not go under the fabric. Add bags if needed.

These types of inserts are recommended in applications where prior or current land use in or adjacent to the construction areas may result in the discharge of pollutants.

- Proprietary protection devices shall be in accordance with the General criteria at the beginning of this section and any criteria listed under Curb Inlet Protection and Area Inlet Protection that are not specific to an inlet protection method.

3.4.4 Design Guidance and Specifications

Specifications for construction of this item may be found in the Standard Specifications for Public Works Construction – North Central Texas Council of Governments, Section 201.15 Inlet Protection.

3.4.5 Inspection and Maintenance Requirements

Inlet protection should be inspected regularly (at least as often as required by the TPDES Construction General Permit). Inlet controls should also be inspected after every storm event to check for collapse into the inlet or other damages that may block flow in the inlet. In addition to routine inspection, inlet protection devices should be observed and monitored during larger storm events to verify that they are not ponding or diverting water in a manner that floods a roadway or damages property.

Floatable debris and other trash caught by the inlet protection should be removed after each storm event. Sediment should also be removed from curb inlet protection after each storm event because of the limited storage area associated with curb inlets.

Sediment collected at area inlet protection should be removed before it reaches half the height of the protection device. Sediment should be removed from inlets with excavated impoundment protection before the volume of the excavation is reduced by 50 percent. In addition, the weep holes should be checked and kept clear of blockage.

Concrete blocks, 2 inch x 4 inch boards, stakes, and other materials used to construct inlet protection should be checked for damaged and repaired or replaced if damaged.

When filter fabric or organic filter tubes are used, they should be cleaned or replaced when the material becomes clogged. For systems using filter stone, when the filter stone becomes clogged with sediment, the stones must be pulled away from the inlet and cleaned or replaced.

Because of the potential for inlet protection to divert runoff or cause localized flooding, remove inlet protection as soon as the drainage area contributing runoff to the inlet is stabilized. Ensure that all inlet protection devices are removed at the end of the construction.

3.4.6 Example Schematics

The following schematics are example applications of the construction control. They are intended to assist in understanding the control's design and function.

The schematics are **not for construction**. They may serve as a starting point for creating a construction detail, but they must be site adapted by the designer. In addition, dimensions and notes appropriate for the application must be added by the designer.

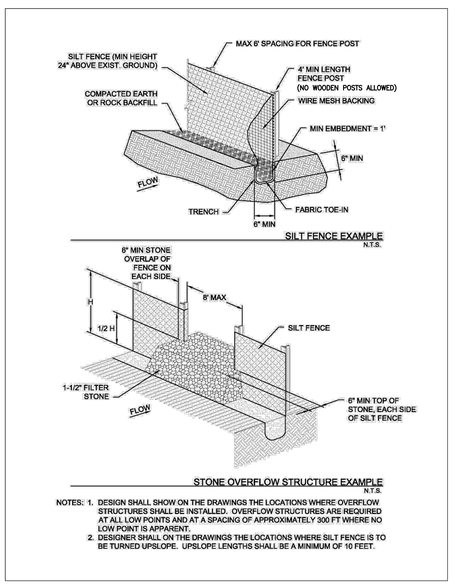

Figure 3.28 Schematics of Silt Fence

3.10.1 Primary Use

Silt fence is normally used as a perimeter control on the down slope side of disturbed areas and on side slopes where stormwater may runoff the area. It is only feasible for non-concentrated, sheet flow conditions. If it becomes necessary to place a silt fence where concentrated flows may be occur (e.g. where two silt fences join at an angle, or across minor channels or gullies), it will be necessary to reinforce the silt fence at that area by a rock berm or sand bag berm, or other structural measures that will support the silt fence.

3.10.2 Applications

Silt fence is an economical means to treat overland, non-concentrated flows for all types of projects. Silt fences are used as perimeter control devices for both site developers and linear (roadway) type projects. They are most effective with coarse to silty soil types. Due to the potential of clogging and limited effectiveness, silt fences should be used with caution in areas that have predominantly clay soil types. In this latter instance, a soils engineer or soil scientist should confirm the suitability of silt fence for that application. Additional controls may be needed to remove fine silts and clay soils suspended in stormwater.

3.10.3 Design Criteria

- Fences are to be constructed along a line of constant elevation (along a contour line) where possible.
- Silt fence can interfere with construction operations; therefore, planning of access routes onto the site is critical.
- Maximum drainage area shall be 0.25 acre per 100 linear feet of silt fence.
- Maximum flow to any 20 foot section of silt fence shall be 1 CFS.
- Maximum distance of flow to silt fence shall be 200 feet or less. If the slope exceeds 10 percent the flow distance shall be less than 50 feet.
- Maximum slope adjacent to the fence shall be 2:1.
- Silt fences shall not be used where there is a concentration of water in a channel, drainage ditch or swale, nor should it be used as a control on a pipe outfall.
- If 50 percent or less soil, by weight, passes the U.S. Standard Sieve No. 200; select the apparent opening size (A.O.S.) to retain 85percent of the soil.
- If 85 percent or more of soil by weight, passes the U.S. Standard Sieve No. 200, silt fences shall not be used unless the soil mass is evaluated and deemed suitable by a soil scientist or geotechnical engineer concerning the erodibility of the soil mass, dispersive characteristics, and the potential grain-size characteristics of the material that is likely to be eroded.
- Stone overflow structures or other outlet control devices shall be installed at all low points along the fence or spaced at approximately 300 feet if there is no apparent low point.
- Filter stone for overflow structure shall be 1 ½ inches washed stone containing no fines. Angular shaped stone is preferable to rounded shapes.
- Silt fence fabric must meet the following minimum criteria:
  - Tensile Strength, ASTM D4632 Test Method for Grab Breaking Load and Elongation of Geotextiles, 90-lbs.
  - Puncture Rating, ASTM D4833 Test Method for Index Puncture Resistance of Geotextiles, Geomembranes, and Related Products, 60-lbs.
  - Mullen Burst Rating, ASTM D3786 Standard Test Method for Hydraulic Bursting Strength of Textile Fabrics-Diaphragm Bursting Strength Tester Method, 280-psi.

  - Apparent Opening Size, ASTM D4751 Test Method for Determining Apparent Opening Size of a Geotextile, U.S. Sieve No. 30(max) to No. 100 (min).
  - Ultraviolet Resistance, ASTM D4355 Standard Test Method for Deterioration of Geotextiles by Exposure to Light, Moisture, and Heat in a Xenon Arc Type Apparatus, Minimum 70 percent.
- Fence posts shall be steel and may be T-section or L-section, 1.3 pounds per linear foot minimum, and 4 feet in length minimum. Wood posts may be used depending on anticipated length of service and provided they are 4 feet in length minimum and have a nominal cross section of 2 inches by 4 inches for pine or 2 inches by 2 inches for hardwoods.
- Silt fence shall be supported by steel wire fence fabric as follows:
  - 4 inch x 4 inch mesh size, W1.4 /1.4, minimum 14 gauge wire fence fabric;
  - Hog wire, 12 gauge wire, small openings installed at bottom of silt fence;
  - Standard 2 inch x 2 inch chain link fence fabric; or
  - Other welded or woven steel fabrics consisting of equal or smaller spacing as that listed herein and appropriate gauge wire to provide support.
- Silt Fence shall consist of synthetic fabric supported by wire mesh and steel posts set a minimum of 1-foot depth and spaced not more than 6-feet on center.
- A 6 inch wide trench is to be cut 6 inches deep at the toe of the fence to allow the fabric to be laid below the surface and backfilled with compacted earth or gravel to prevent bypass of runoff under the fence. Fabric shall overlap at abutting ends a minimum of 3 feet and shall be joined such that no leakage or bypass occurs. If soil conditions prevent a minimum toe-in depth of 6 inches or installation of support post to depth of 12 inches, silt fences shall not be used.
- Sufficient room for the operation of sediment removal equipment shall be provided between the silt fence and other obstructions in order to properly maintain the fence.
- The last 10 feet (or more) at the ends of a line of silt fence shall be turned upslope to prevent bypass of stormwater. Additional upslope runs of silt fence may be needed every 200 to 400 linear feet, depending on the traverse slope along the line of silt fence.

3.10.4 Design Guidance and Specifications

Specifications for construction of this item may be found in the Standard Specifications for Public Works Construction – North Central Texas Council of Governments, Section 201.5 Silt Fence and in the Standard Specifications for Construction and Maintenance of Highways, Streets and Bridges (TxDot 2004) Item 506.2.J and Item 506.4.C.9.

The American Society for Testing and Materials has established standard specifications for silt fence materials (ASTM D6461) and silt fence installation (ASTM D6462).

3.10.5 Inspection and Maintenance Requirements

Silt fence should be inspected regularly (at least as often as required by the TPDES Construction General Permit) for buildup of excess sediment, undercutting, sags, and other failures. Sediment should be removed before it reaches half the height of the fence. In addition, determine the source of excess sediment and implement appropriate measures to control the erosion. Damaged or clogged fabric must be repaired or replaced as necessary.

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2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
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STATE OF TEXAS
TERENCE C. YOUNG
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PROFESSIONAL ENGINEER
01-10-2014

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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

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EROSION CONTROL DETAILS
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: N/A
Date: DECEMBER 5, 2013
File: 31563-ERO
Project No.: 31563.01(20)

SHEET
C-9.2

AS BUILT

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WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

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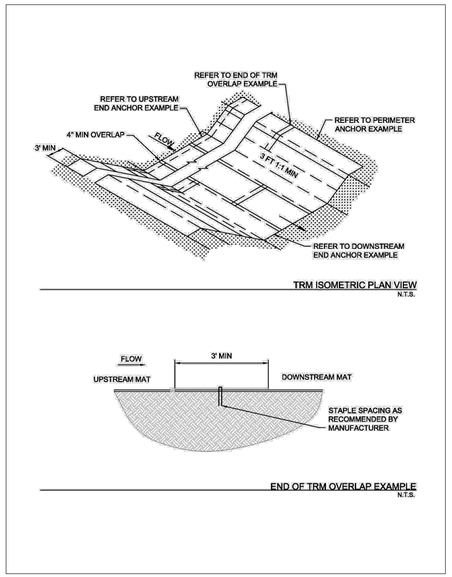

Figure 2.11 Schematics of Turf Reinforcement Mats
(Sources: Modified from American Excelsior Company and Texas Department of Transportation)

2.8.1 Primary Use

Turf reinforcement mats (TRMs) are primarily used to provide temporary and final stabilization of channels where design discharges exert velocities and shear stresses that exceed the limits of mature vegetation. They are also used to stabilize steep slopes where it's difficult to establish vegetation.

2.8.2 Applications

TRMs provide long-term erosion protection in channels where flow conditions exceed the ability of vegetation alone to withstand erosive forces (grades in excess of 2 percent or velocities exceeding 6 feet per second). Turf reinforcement mats may provide channel protection for conditions of up to approximately 8 lbs/ft^2 sheer stress.

TRMs may also be used for short lengths of steep cut/fill slopes on which establishment of vegetation is difficult. TRMs also contain void spaces that can retain soil that would erode without protection, and thus give vegetation a change to establish.

2.8.3 Design Criteria

- The designer shall specify the manufacturer, type of TRM to be used, and dimensioned limits of installation based on the site topography and drainage.
- The type and class of TRM must be specified in accordance with the manufacturer's guidance for the slope of the area to be protected, the flow rate (sheet flow on cut/fill slopes) or velocity (concentrated flow in swales) of stormwater runoff in contact in with the TRM, shear stress, and the design life (duration) of the TRM.
- TRMs specified on projects should meet the applicable "Minimum Performance Standards for TxDOT" as published by TxDOT in its "Erosion Control Report." Alternatively, the TRM may be listed on the most current annual "Approved Products List for TxDOT" applicable to TxDOT Item 169 Soil Retention Mat and its Special Provisions.
- TRMs shall meet the following criteria when applied on slopes of 0.5:1 or flatter.
  - Minimum thickness of 0.25 inches using ASTM D6525 Standard Test Method for Measuring Nominal Thickness of Permanent Rolled Erosion Control Products.
  - UV stability of 80 percent at 500 hours using ASTM D4355 Standard Test Method for Deterioration of Geotextiles by Exposure to Light, Moisture and Heat in a Xenon Arc Type Apparatus.
  - Minimum tensile strength of 175 lbs/ft using ASTM D6818 Standard Test Method for Ultimate Tensile Properties of Turf Reinforcement Mats.
- TRMs shall be installed vertically down slope (across contours) on steep cut/fill slopes and embankments. In channels, TRMs shall be installed along the contours (parallel to flow) below the water surface elevation of the flood mitigation storm (100-year, 24-hour) and vertically across any steep slopes for high banks above the water surface elevation.
- On cut/fill slopes and channels designed to receive turf reinforcement mats for temporary or final stabilization, the installation of the TRMs shall be initiated immediately after completing grading of the slope or channel, and in no case later than 14 days after completion of grading these features. Do not delay installation of TRMs on these highly-erodible areas until completion of construction activities and stabilization of the remainder of the site.
- Prior to the installation of the TRM, all rocks, dirt clods, stumps, roots, trash and any other obstructions that would prevent the TRM from lying in direct contact with the soil shall be removed.
- Installation and anchoring shall conform to the recommendations shown within the manufacturer's published literature for the turf reinforcement mat. Anchors (staples) shall be a minimum of 6 inches in length and 1 inch wide. They shall be made of 8-gauge wire, or equivalent.

- The end of each TRM roll shall overlap the next end of the next roll by a minimum of 3 feet. Sides of rolls typically overlap a minimum of 4 inches.
- The perimeter of the TRM installation shall be anchored into a trench that is a minimum of 6 inches deep.
- The upstream end of TRMs used for channel protection shall be anchored a minimum of 12 inches, while the downstream end should be anchored 6 inches.
- Trenches shall be excavated for anchoring, followed by placement and tamping of fill on top of the mat.

2.8.4 Design Guidance and Specifications

Specifications for this item may be found in Item 169 of the Standard Specifications for Construction and Maintenance of Highways, Streets and Bridges (TXDOT 2004).

2.8.5 Inspection and Maintenance Requirements

Turf reinforcement mats should be inspected regularly (at least as often as required by the TPDES Construction General Permit) for bare spots caused by weather or other events. The mats should be checked for uniform contact with the soil, security of the lap joints, and flushness of the staples with the ground. Missing or loosened mats must be replaced or re-anchored.

2.8.6 Example Schematics

The following schematics are example applications of the construction control. They are intended to assist in understanding the control's design and function.

The schematics are **not for construction**. The designer is responsible for working with TRM manufacturers to ensure the proper TRM is specified based on the site topography and drainage. Installation measures should be dictated by the TRM manufacturer and are dependent on the type of TRM installed. Manufacturer's recommendations for overlap, anchoring, and stapling shall always be followed. Criteria shown here are applicable only when they are more stringent than those provided by the manufacturer.

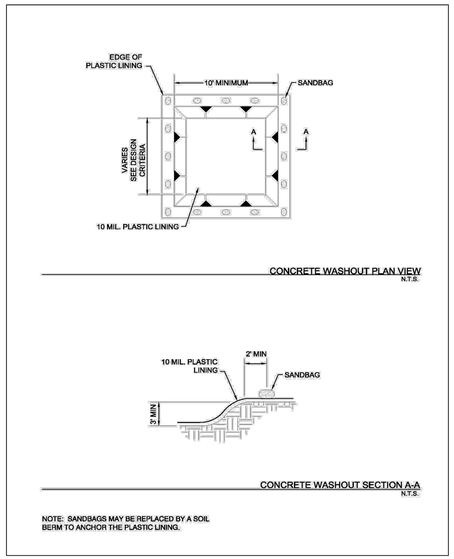

Figure 4.1 Schematics of Concrete Washout Containment

4.3.1 Primary Use

Concrete waste management is used to prevent the discharge of concrete wash water and waste into stormwater runoff. A number of water quality parameters can be affected by the introduction of concrete, especially fresh concrete. Concrete affects the pH of runoff, causing significant chemical changes in water bodies and harming aquatic life. Suspended solids in the form of both cement and aggregated dust are also generated from both fresh and demolished concrete waste.

4.3.2 Applications

Concrete waste management is applicable to all construction sites where existing concrete is being demolished or new concrete is being placed, regardless of the size of the total area disturbed. It is also applicable on repair and maintenance projects that may not be required to implement erosion and sediment controls.

4.3.3 Design Criteria

- The discharge of washout water to an inlet, swale, or any portion of the storm drainage system or a natural drainage system (e.g. channel) shall be prohibited.
- Construction plan notes shall state that the discharge of concrete washout to anything except a designated containment area is prohibited.
- Show the location of the concrete washout containment on the drawings, or require the contractor to provide this information.
- The contractor should be required to designate the site superintendent, foreman, or other person who is responsible for concrete placement to also be responsible for concrete waste management.

Unacceptable Waste Concrete Disposal Practices

- Dumping in vacant areas on the job-site.
- Illicit dumping onto off-site lots or any other placed not permitted to receive construction demoliotion debris.
- Dumping into ditches, drainage facilities, or natural water ways.
- Using concrete waste as fill material or bank stabilization.

Recommended Disposal Procedures

- Identify pre-determined, regulated, facilities for disposal of solid concrete waste. Whenever possible, haul the concrete waste to a recycling facility. Disposal facilities must have a Class IV (or more stringent) municipal solid waste permit from the TCEQ.
- A concrete washout pit or other containment shall be installed a minimum of 50 feet away from inlets, swales, drainage ways, channels, and other waters, if the site configuration provides sufficient space to do so. In no case shall concrete washout occur closer than 20 feet from inlets, swales, drainage ways, channels and other waters.
- Provide a washout area with a minimum of 6 cubic feet of containment volume for every 10 cubic yards of concrete poured. Alternatively, the designer may provide calculations sizing the containment based on the number of concrete trucks and pumps to be washed out.
- The containment shall be lined with plastic (minimum 10 millimeters thick) or an equivalent measure to prevent seepage to groundwater.
- Mosquitoes do not typically breed in the high pH of concrete washout water. However, the concrete washout containment should be managed in a manner that prevents the collection of other water that could be a potential breeding habitat.

  - Do not excavate the washout area until the day before the start of concrete placement to minimize the potential for collecting stormwater.
  - Do not discharge any water or wastewater into the containment except for concrete washout to prevent dilution of the high pH environment that is hostile to mosquitoes.
  - Remove the waste concrete and grade the containment closed within a week of completing concrete placement. Do not leave it open to collect stormwater.
  - If water must be pumped from the containment, it shall be collected in a tank, neutralized to lower the pH, and then hauled to a treatment facility for disposal. Alternatively, it may be hauled to a batch plant that has an onsite collection facility for concrete washout water.
  - Do **not** pump water directly from the containment to the Municipal Separate Storm Sewer System or a natural drainage way without treating for removal of fine particles and neutralization of the pH.
- Multiple concrete washout areas may be needed for larger projects to allow for drying time and proper disposal of the washout water and waste concrete.
- Portable, pre-fabricated, concrete washout containers are commercially available and are an acceptable alternative to excavating a washout area.
- Evaporation of the washout water and recycling of the concrete waste is the preferred disposal method. After the water has evaporated from the washout containment, the remaining cuttings and fine sediment shall be hauled from the site to a concrete recycling facility or a solid waste disposal facility.
- Remove waste concrete when the washout containment is half full. Always maintain a minimum of one foot freeboard.
- Use waste and recycling haulers and facilities approved by the local municipality.
- When evaporation of the washout water is not feasible, discharge from the collection area shall only be allowed if a passive treatment system is used to remove the fines. Criteria are in *Section 3.7 Passive Treatment System*. Mechanical mixing is required within the containment for passive treatment to be effective. The pH must be tested, and discharge is allowed only if the pH does not exceed 8.0. The pH may be lowered by adding sulfuric acid to the water. Dewatering of the collection area after treatment shall follow the criteria in *Section 3.3 Dewatering Controls*.
- Care shall be exercised when treating the concrete washout water for discharge. Monitoring must be implemented to verify that discharges do not violate groundwater or surface water quality standards.
- On large projects that are using a nearby batch plant, a washout facility associated with the plant and under the plant's TPDES Multi-Sector General Permit may be used instead of installing an onsite containment area for truck washout.

Education

- Drivers and equipment operators should be instructed on proper disposal and equipment washing practices (see above).
- Supervisors must be made aware of the potential environmental consequences of improperly handled concrete waste.

Enforcement

- The construction site manager or foreman must ensure that employees and pre-mix companies follow proper procedures for concrete disposal and equipment washing.
- Employees violating disposal or equipment cleaning directives must be re-educated or disciplined if necessary.

Demolition Practices

- Monitor weather and wind direction to ensure concrete dust is not entering drainage structures and surface waters.
- Spray water on structures being demolished to wet them before start of demolition operations. Reapply water whenever dust is observed.
- Construct sediment traps or other types of sediment detention devices downstream of demolition activities to capture and treat runoff from demolition wetting operations.

4.3.4 Design Guidance and Specifications

No specification for concrete waste management is currently available in the Standard Specifications for Public Works – North Central Texas Council of Governemtns.

4.3.5 Inspection and Maintenance Requirements

Concrete waste management controls should be inspected regularly (at least as often as required by the TPDES Construction General Permit) for proper handling of concrete waste. Check concrete washout pits and make repairs as needed. Washout pits should not be allowed to overflow. Maintain a schedule to regularly remove concrete waste and prevent over-filling.

If illicit dumping of concrete is found, remove the waste and reinforce proper disposal methods through education of employees.

4.3.6 Example Schematics

The following schematics are example applications of the construction control. They are intended to assist in understanding the control's design and function.

The schematics are **not for construction**. They may serve as a starting point for creating a construction detail, but they must be site adapted by the designer. In addition, dimensions and notes appropriate for the application must be added by the designer.

AS BUILT

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WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

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Winkelmann & Associates, Inc.
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DALLAS, TEXAS 75231 (972) 490-7094 FAX
Texas Engineers Registration No. EP-00956-00
Texas Surveyors Registration No. LS-100066-00
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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED
PROFESSIONAL ENGINEER
01-10-2014

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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

EROSION CONTROL DETAILS
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: N/A
Date: DECEMBER 5, 2013
File: 31563-ERO
Project No.: 31563.01(20)

SHEET
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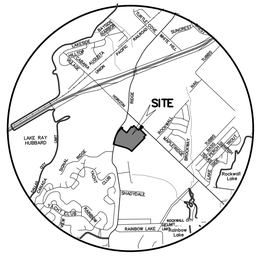

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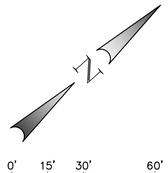

AREA NO. X
ACREAGE #

PROPOSED DRAINAGE DIVIDE
512 EXISTING CONTOURS
512 PROPOSED CONTOURS
FLOW ARROW

DRAINAGE AREA CALCULATIONS

ID.	AREA (Acres)	C	Tc (min.)	I_{100} (in./hr.)	Q_{100} (cfs)	REMARKS
4	1.20	0.80	10	9.8	9.41	10' CURB INLET
5	0.61	0.80	10	9.8	4.78	5' CURB INLET
7	1.44	0.80	10	9.8	11.29	10' CURB INLET
8	1.30	0.80	10	9.8	10.19	10' CURB INLET
11	1.12	0.80	10	9.8	8.78	5' CURB INLET
15	0.43	0.80	10	9.8	3.37	5' CURB INLET
16	0.15	0.80	10	9.8	1.18	OFF SITE
17	0.33	0.80	10	9.8	2.59	5' CURB INLET
18	0.10	0.80	10	9.8	0.78	OFF SITE

ID.	AREA (Acres)	C	Tc (min.)	I_{100} (in./hr.)	Q_{100} (cfs)	REMARKS
20	0.56	0.80	10	9.8	4.39	5' CURB INLET
21	0.56	0.80	10	9.8	4.39	5' CURB INLET
22	0.19	0.80	10	9.8	1.49	5' CURB INLET
23	1.95	0.80	10	9.8	15.29	10' CURB INLET
24	0.63	0.80	10	9.8	4.94	TRENCH DRAIN
25	0.62	0.80	10	9.8	4.86	10' CURB INLET
26	0.49	0.80	10	9.8	3.84	5' CURB INLET
27	0.09	0.80	10	9.8	0.71	OFF SITE

AS BUILT

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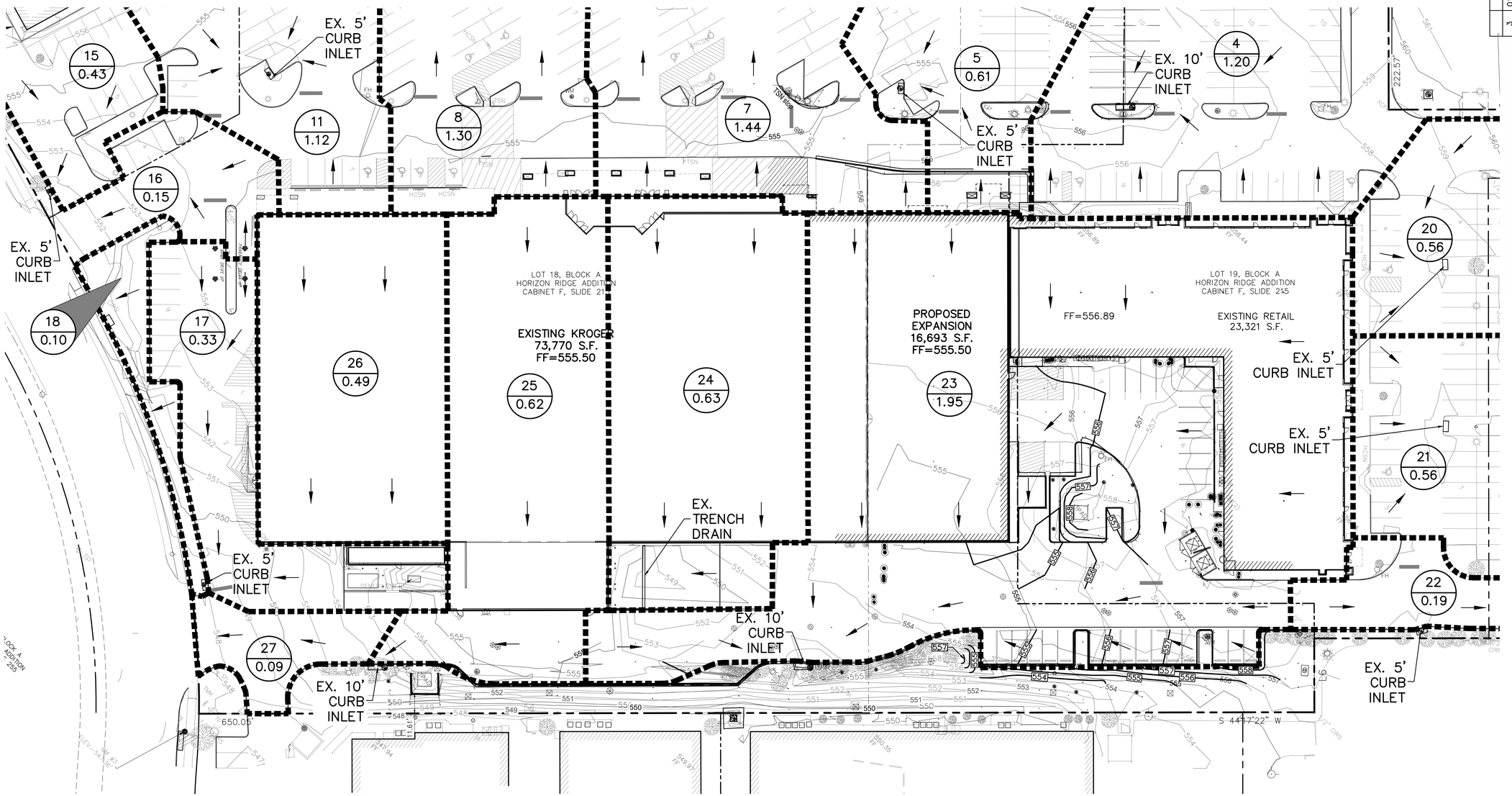

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01-10-2014

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SW 575

DRAINAGE AREA MAP
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 30'
Date: DECEMBER 5, 2013
File: 31563-DAM
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SHEET
C-10

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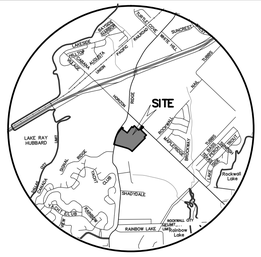
0' 15' 30' 60'
Scale: 1"= 30'



VICINITY MAP
NOT TO SCALE

BOUNDARY LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.14'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

NOTICES TO CONTRACTOR

THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL & VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DIS-CREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR(S). IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

THE CONTRACTOR(S) SHALL CALL 1-800-DIGTESS FOR UTILITY LOCATIONS AND MARKING AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE. WINKELMANN & ASSOC. INC. IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

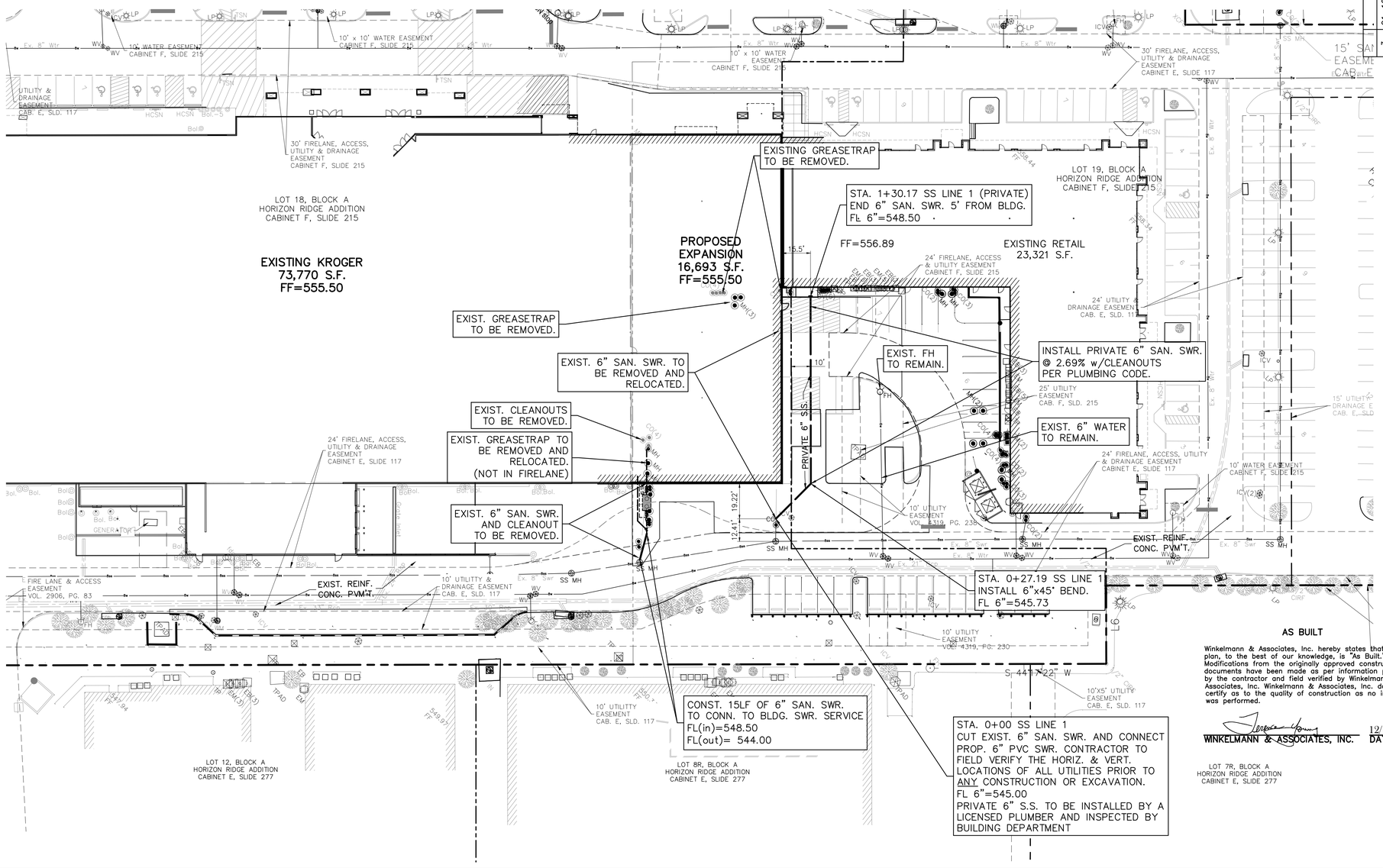
NOTE:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

Texas811

REFER TO THE FRANCHISE UTILITY PLAN FOR ROUTING OF PROPOSED ELECTRIC AND TELEPHONE.

LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	X Cut in Concrete Set
WM	Water Meter	XCF	X Cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
TV	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter



BENCH MARKS:

BM #1 – "X" cut in concrete found for the most southerly southwest corner of Lot 1, Block A, Walgreens R.D.I. Retail Addition, as recorded in Cabinet D, Slide 369, Plat Records, Rockwall County, Texas.
Elevation = 563.79 feet

BM #2 – P.K. Nail set in concrete 267.8 ± feet north of the centerline of Arista Road and 62.5 ± feet southeast of the centerline of Ridge Road
Elevation = 558.80 feet

BM #3 – "X" cut in top of inlet 13.0 ± feet southeast of the southeast corner of Lot 18, Block A Horizon Ridge Addition, as recorded in Cabinet F, Slide 215, Plat Records, Rockwall County, Texas.
Elevation = 547.36 feet

AS BUILT

Winkelmann & Associates, Inc. hereby states that this plan, to the best of our knowledge, is "As Built." Modifications from the originally approved construction documents have been made as per information provided by the contractor and field verified by Winkelmann & Associates, Inc. Winkelmann & Associates, Inc. does not certify as to the quality of construction as no inspection was performed.

WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

No.	DATE	REVISION	APPROV.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
8750 HILCREST PLAZA DRIVE, SUITE 325
DALLAS, TEXAS 75231 (972) 485-7095
Texas Engineers Registration No. 69 (972) 485-7094 FAX
Texas Surveyors Registration No. 100866-00

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STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER
01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & PERSONAL CONTROL OF REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

WATER & SEWER PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: 1" = 30'
Date: DECEMBER 5, 2013
File: 31563-UTL
Project No.: 31563.01(20)

SHEET
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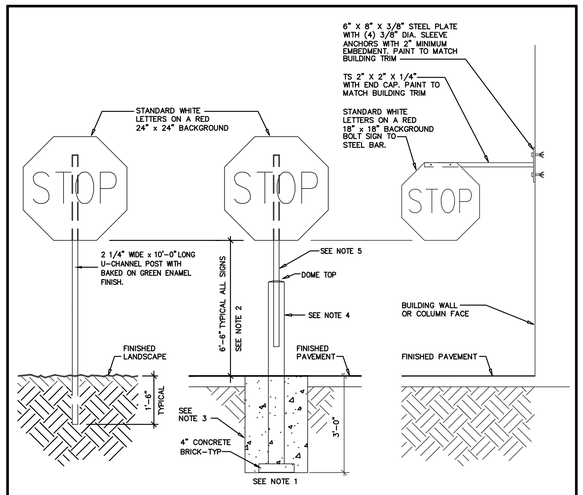
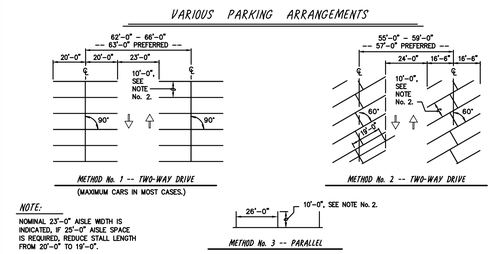


NOTES:

1. INSTALL ALL SIGNS WHERE INDICATED ON SITE PLAN.
2. ADJUST MOUNTING HEIGHTS TO MEET LOCAL CODES WHERE APPLICABLE.
3. SET ALL POSTS IN 16" DIAMETER x 36" DEEP CONCRETE FOUNDATION.
4. 4" x 6'-0" CONCRETE FILLED SCHEDULE 40 STEEL POST CENTERED IN FOUNDATION, PAINTED YELLOW. SEE SPECS.
5. 2 1/4" WIDE x 6'-0" LONG U-CHANNEL POST WITH BAKED ON GREEN ENAMEL FINISH.
6. LIGHT DUTY -- LANDSCAPED AREAS and AREAS NOT SUBJECT TO VEHICULAR TRAFFIC.
   HEAVY DUTY -- PAVED AREAS and AREAS SUBJECT TO VEHICULAR TRAFFIC or NOT PROTECTED IN LANDSCAPED AREAS.

TRAFFIC CONTROL SIGNS	DATE: 8/8/11 SCALE: NONE DRAWN: ZAW
MASTER SPECIFICATION DETAIL	CSD-60

VARIOUS PARKING ARRANGEMENTS



NOTE:

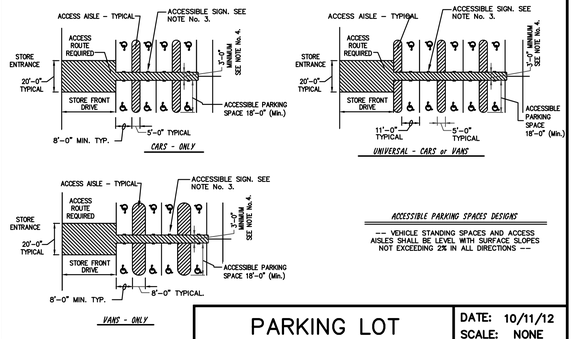
NOMINAL 23'-0" AISLE WIDTH IS INDICATED. IF 25'-0" AISLE SPACE IS REQUIRED, REDUCE STALL LENGTH FROM 20'-0" TO 19'-0".

NOTES:

1. DRIVE IMMEDIATELY IN FRONT OF STORE TO BE A MINIMUM OF 30'-0" WIDE.
2. 10'-0" WIDE PARKING SPACE IS PREFERRED, 9'-6" or ABSOLUTE MINIMUM 9'-0" WIDE MAY ONLY BE USED IF KROGER SPECIFICALLY APPROVES.

ACCESSIBLE PARKING SPACES PER STATE AND LOCAL CODES:

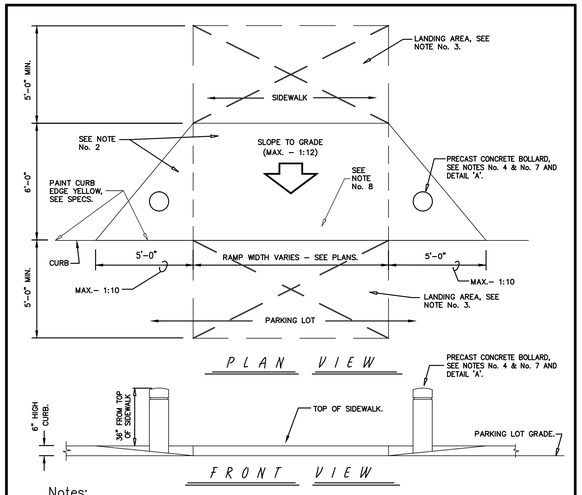
3. PARKING SPACES TO BE SIGNED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN SPACES SHALL HAVE ADDITIONAL VAN ACCESSIBLE SIGN MOUNTED BELOW THE SYMBOL. NO PARKING BLOCKS/BUMPERS. REFER TO CSD-61.
4. ACCESSIBLE ROUTE WITH 3'-0" MIN. CLEAR WIDTH BETWEEN SIGN POSTS -- EXCEPT CALIFORNIA TO BE 4'-0".



ACCESSIBLE PARKING SPACES DESIGNS

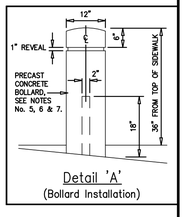
-- VEHICLE STANDING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2% IN ALL DIRECTIONS --

PARKING LOT STRIPING DETAIL	DATE: 10/11/12 SCALE: NONE DRAWN: ZAW
MASTER SPECIFICATION DETAIL	CSD-134



Notes:

1. DIMENSIONS ARE BASE UPON 6" HIGH CURB.
2. RAMP SURFACE SHALL HAVE NON-SLIP CONCRETE FINISH.
3. RAMP SHALL HAVE LANDING AREA (SLOPE SHALL NOT EXCEED 1:12) AT BOTH TOP AND BOTTOM, FULL WIDTH OF RAMP AND A MINIMUM CLEAR 5'-0" LONG DIMENSION.
4. PRECAST CONCRETE BOLLARDS, SEE SPECS., CONTRACTOR SUPPLIED AND INSTALLED.
5. PRECAST CONCRETE BOLLARDS, TO INCLUDED DOMED TOP, 1" REVEAL, SAND BLAST FINISH WITH 2" PVC INSERT FOR REBAR DOWEL.
6. PRECAST CONCRETE BOLLARDS TO BE INSTALLED IN MASTIC INCLUDING 24" @ REBAR DOWEL, INSTALLED WITH 17" EXPOSED. CAULK BASE TO SIDEWALK. FIELD CUT PRECAST BOLLARD TO MATCH RAMP SLOPE.
7. PRECAST CONCRETE BOLLARD -- TYPICAL ALL RAMP LOCATIONS.
   -- BOLLARD TO BE POSITIONED IN MIDDLE OF THE SLOPED SIDES OF RAMPS TO DETER SHOPPING CARTS FROM CROSSING AND POSSIBLY TURNING OVER.
   -- BUILDING COLUMN MAY BE USED IN LIEU OF BOLLARD IF COLUMN OCCURS WITHIN SIDE SLOPED AREA.
8. PROVIDE SPECIAL SURFACE ON RAMP WHERE SPECIFICALLY REQUIRED BY STATE OR LOCAL CODES.



RAMP AT PEDESTRIAN CROSSING	DATE: 8/8/11 SCALE: NONE DRAWN: ZAW
MASTER SPECIFICATION DETAIL	ASD-124A

AS BUILT

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WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

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2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
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Texas Engineers Registration No. F-3966-00 (972) 490-7099 FAX
Texas Surveyors Registration No. LS-100066-00
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STATE OF TEXAS — LONG — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER

01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION AND CONTROL OF THE REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

KROGER DETAILS
HORIZON RIDGE ADDITION
KROGER SW575 - 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: N/A/
Date: DECEMBER 5, 2013
File: 31563-KOTL
Project No.: 31563.01(20)

SHEET
C-12.1

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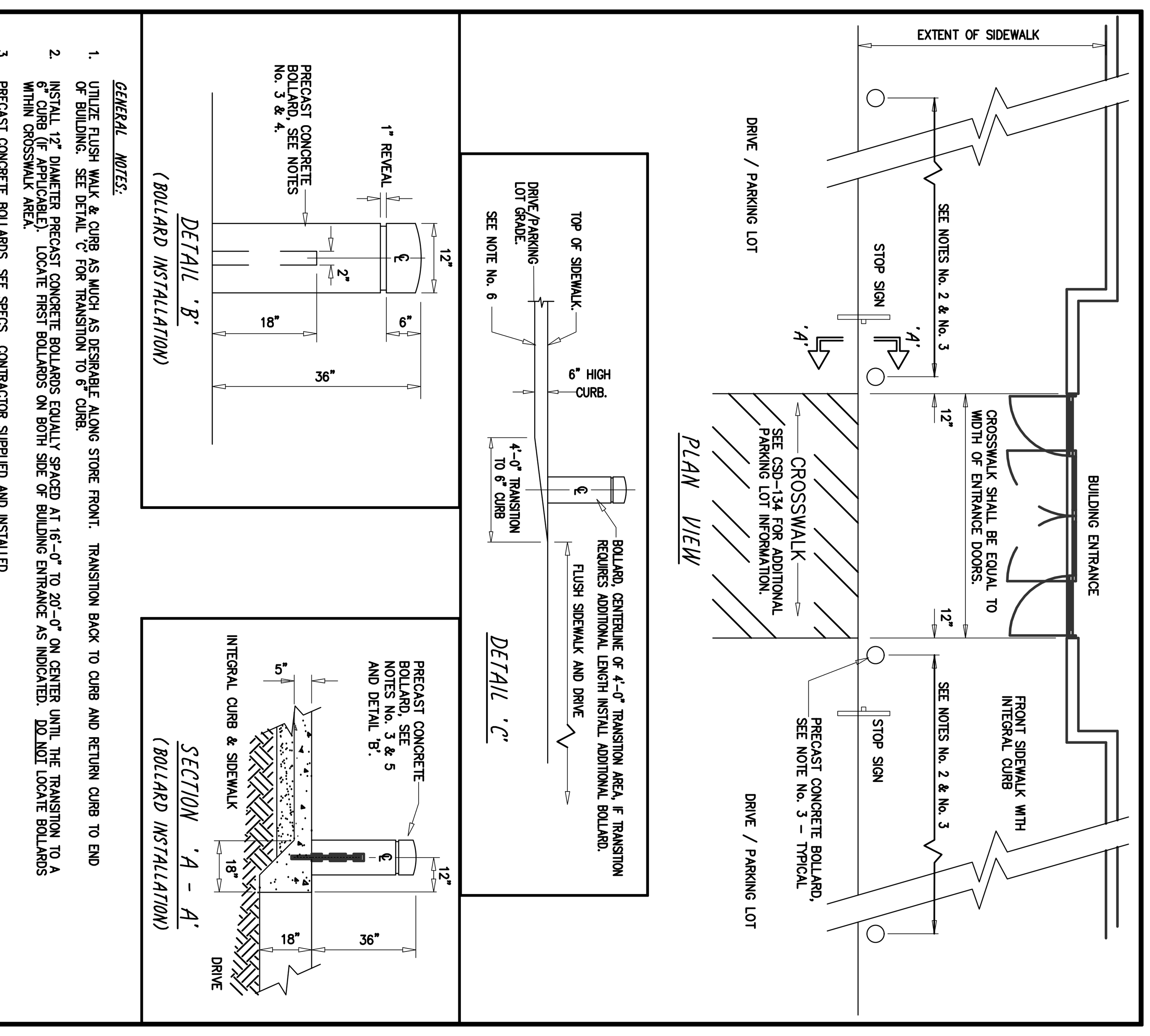
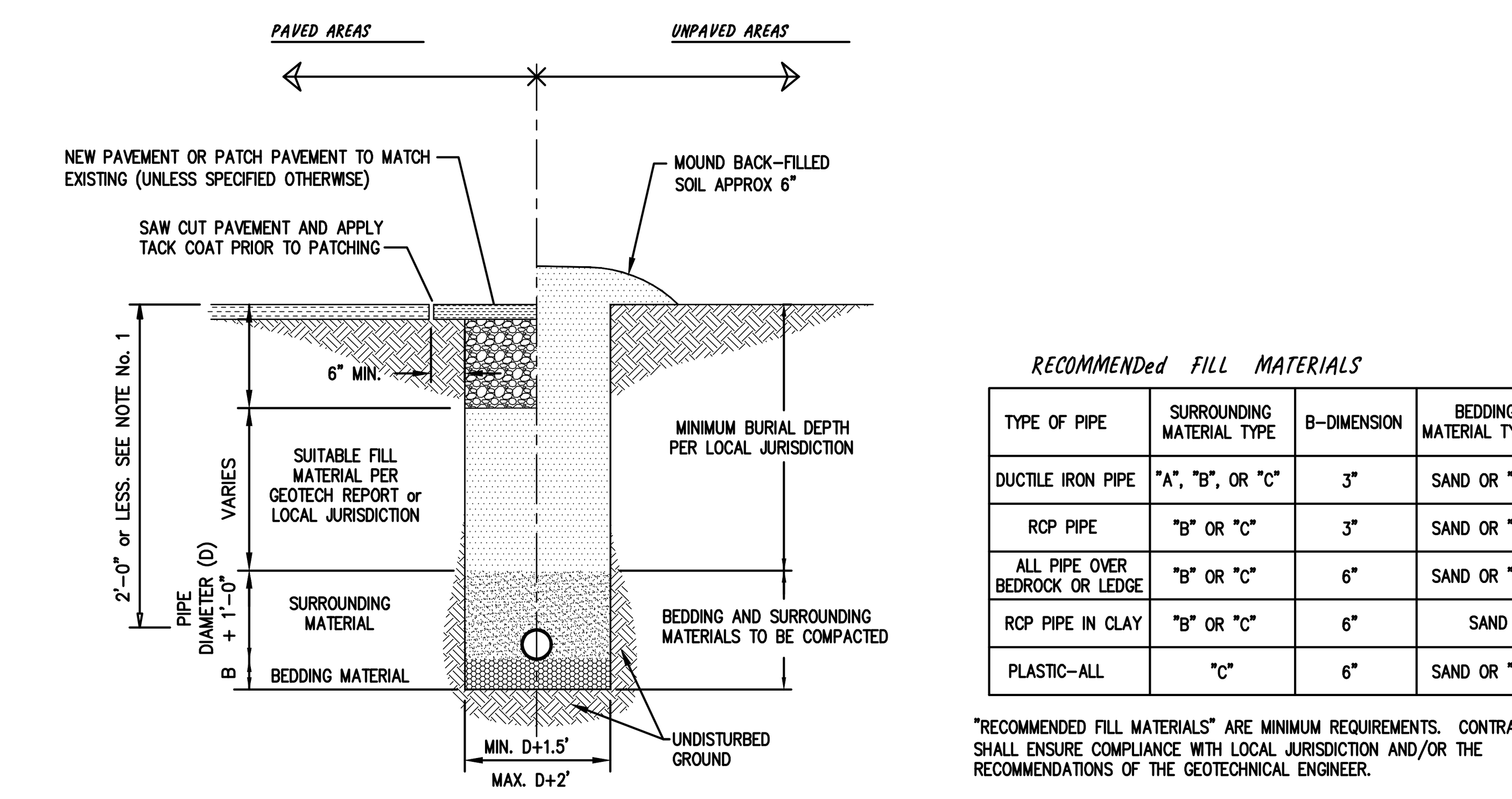


GENERAL NOTES:

1. UTILIZE FLUSH WALK & CURB AS MUCH AS DESIRABLE ALONG STORE FRONT. TRANSITION BACK TO CURB AND RETURN CURB TO END OF BUILDING. SEE DETAIL 'C' FOR TRANSITION TO 6" CURB.
2. INSTALL 12" DIAMETER PRECAST CONCRETE BOLLARDS EQUALLY SPACED AT 16'-0" TO 20'-0" ON CENTER UNTIL THE TRANSITION TO A 6" CURB (IF APPLICABLE). LOCATE FIRST BOLLARDS ON BOTH SIDE OF BUILDING ENTRANCE AS INDICATED. DO NOT LOCATE BOLLARDS WITHIN CROSSWALK AREA.
3. PRECAST CONCRETE BOLLARDS, SEE SPECS., CONTRACTOR SUPPLIED AND INSTALLED.
4. PRECAST CONCRETE BOLLARDS TO INCLUDE DOMED TOP, 1" REVEAL, SAND BLAST FINISH WITH 2" PVC INSERT FOR REBAR DOWEL.
5. PRECAST CONCRETE BOLLARDS TO BE INSTALLED IN MASTIC INCLUDING 24" #9 REBAR DOWEL, INSTALLED WITH 17" EXPOSED. CAULK BASE TO SIDEWALK.
6. PAINT TRANSITION AND 6" CURB YELLOW, SEE SPECIFICATIONS.
7. SEE SPECIFICATION SECTION 32 17 00 - PAVING SPECIALTIES FOR MORE INFORMATION.

FLUSH WALK AT PEDESTRIAN CROSSING
DATE: 04/19/13
SCALE: NONE
DRAWN: JFQ
MASTER SPECIFICATION DETAIL
ASD-161



RECOMMENDed FILL MATERIALS

TYPE OF PIPE	SURROUNDING MATERIAL TYPE	B-DIMENSION	BEDDING MATERIAL TYPE
DUCTILE IRON PIPE	"A", "B", OR "C"	3"	SAND OR "C"
RCP PIPE	"B" OR "C"	3"	SAND OR "C"
ALL PIPE OVER BEDROCK OR LEDGE	"B" OR "C"	6"	SAND OR "C"
RCP PIPE IN CLAY	"B" OR "C"	6"	SAND
PLASTIC-ALL	"C"	6"	SAND OR "C"

"RECOMMENDED FILL MATERIALS" ARE MINIMUM REQUIREMENTS. CONTRACTOR SHALL ENSURE COMPLIANCE WITH LOCAL JURISDICTION AND/OR THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

MATERIAL TYPES:

"A": GRAVEL OR EXCAVATED MATERIAL WHICH HAS NO STONES GREATER THAN 1.5" DIAMETER.

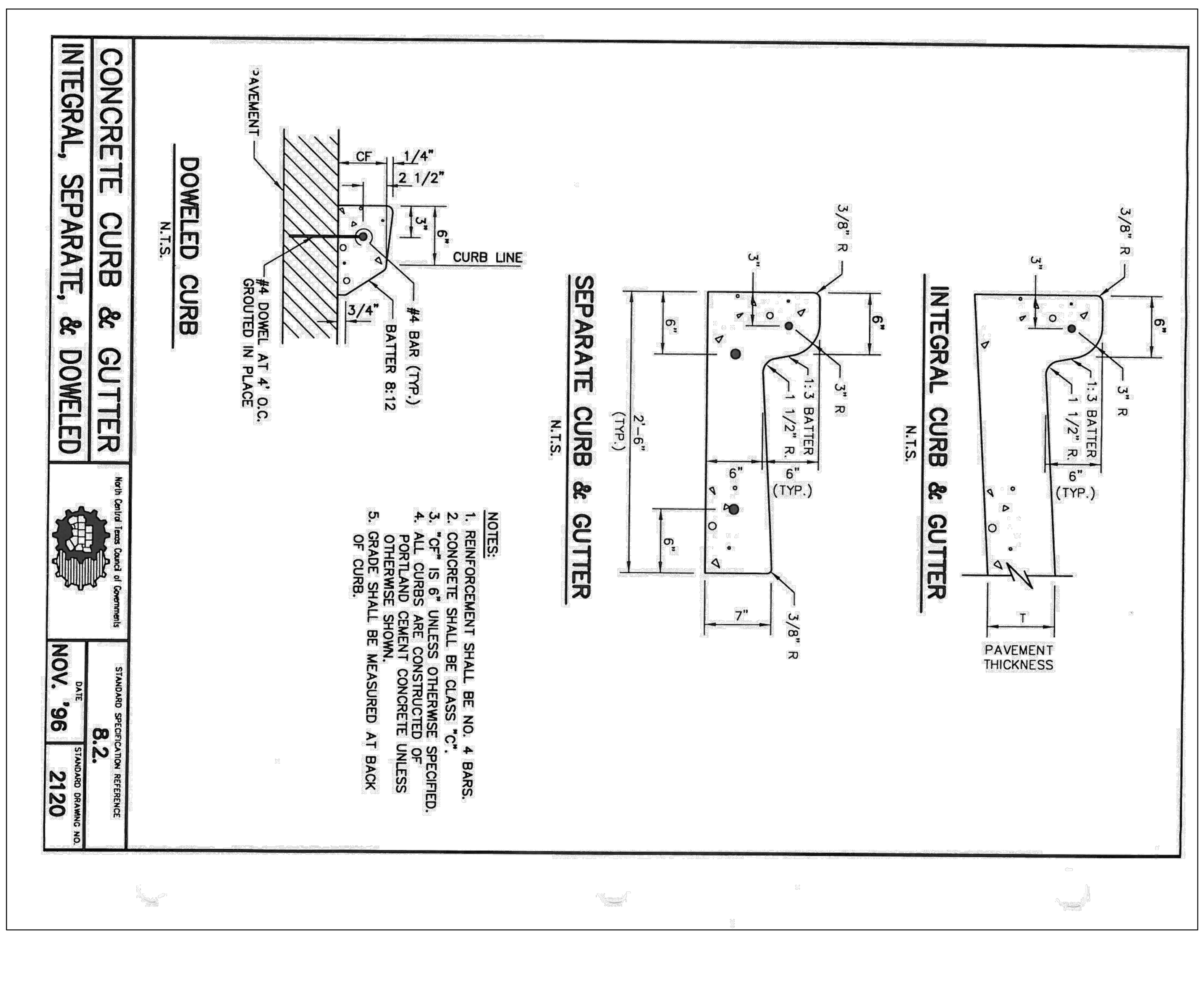
"B": STONE WITH 100% PASSING 1.5" SQUARE SIEVE, A MAXIMUM OF 25% PASSING A 3/4" SQUARE SIEVE AND A MAXIMUM 5% PASSING A 1/2" SQUARE SIEVE, PEA GRAVEL, BANK RUN, or RUN OF BANK.

"C": CRUSHED STONE WITH 100% PASSING A 1" SQUARE SIEVE AND 0-5% PASSING A 1/4" SQUARE SIEVE, PEA GRAVEL, OR OTHER NATURAL FREE DRAINING STONE MATERIAL WITH LESS THAN 10% P200 (PASSING No. 200 SIEVE).

NOTES:

1. THE SURROUND MATERIAL MUST BE INSTALLED TO THE PAVEMENT BASE ELEVATION IF THERE IS LESS THAN 2'-0" OF FILL OVER THE PIPE.
2. COMPACT ALL BACK FILL UNDERNEATH, AROUND AND ABOVE PROPOSE PIPES TO 95% STANDARD PROCTOR IN PAVED AND STRUCTURAL AREAS, 90% STANDARD PROCTOR IN UNPAVED OR NON-STRUCTURAL AREAS. THE UPPER 12" OF TRENCH BACKFILL MATERIAL IN PAVED/STRUCTURAL AREAS MUST BE COMPACTED TO 98% STANDARD PROCTOR (ASTM-698).
3. WHERE A PIPE HAS A SLOPE GREATER THAN OR EQUAL TO 4% OR WHERE GROUNDWATER IS PRESENT, CLAY DAMS SHALL BE INSTALLED AROUND THE PIPE EVERY 100' TO PREVENT WASHOUT AROUND THE PIPE.
4. ALL SUITABLE FILL SHOULD NOT CONTAIN STONES GREATER THAN 4" IN DIAMETER, FROZEN LUMPS, AND SHALL CONTAIN A MINIMAL AMOUNT OF ORGANIC MATERIALS (LESS THAN 3%).
5. MATERIAL IS TO BE PLACED AT NO MORE THAN 8" INTERVALS AND COMPACTED BEFORE PLACING NEXT LAYER.

TRENCH DETAIL for PRIVATE
DATE: 10-2-06
SCALE: NONE
DRAWN: JFQ
MASTER SPECIFICATION DETAIL
CSD-2



NOTES:
1. REINFORCEMENT SHALL BE NO. 4 BARS.
2. CONCRETE SHALL BE CLASS "C".
3. "CF" IS 6" UNLESS OTHERWISE SPECIFIED.
4. ALL CURBS ARE CONSTRUCTED OF PORTLAND CEMENT CONCRETE UNLESS OTHERWISE SHOWN.
5. GRADE SHALL BE MEASURED AT BACK OF CURB.

CONCRETE CURB & GUTTER
INTEGRAL, SEPARATE, & DOWELED
North Central Texas Council of Governments
STANDARD SPECIFICATION REFERENCE 8.2.
DATE NOV. '96
STANDARD DRAWING NO. 2120

AS BUILT

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WINKELMANN & ASSOCIATES, INC. 12/17/2014
DATE

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THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF TERENCE C. YOUNG, REGISTERED PROFESSIONAL ENGINEER NO. 85337

SW 575

Scale: N/A/
Date: DECEMBER 5, 2013
File: 31563-KDTL
Project No.: 31563.01(20)

SHEET
C-12.2

KROGER/NCTCOG DETAILS
HORIZON RIDGE ADDITION
KROGER SW575 - 2935 RIDGE ROAD
ROCKWALL, TEXAS

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

01-10-2014

STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED
PROFESSIONAL ENGINEER

Winkelmann & Associates, Inc.
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(972) 490-7090
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Texas Engineers Registration No. 89
Texas Surveyors Registration No. 100866-00
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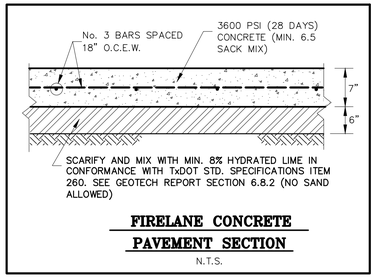
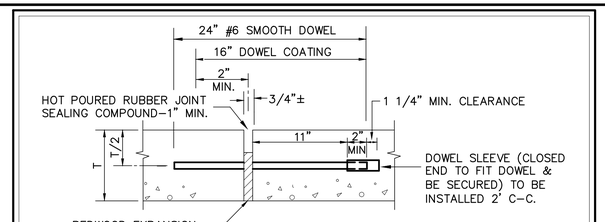


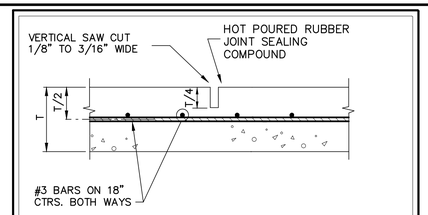
FIRELANE CONCRETE PAVEMENT SECTION

N.T.S.



TYPICAL EXPANSION JOINT

MAX. SPACING = 60' O.C.E.W.
N.T.S.



SAWED DUMMY JOINT

MAX. SPACING = 15' O.C.E.W.
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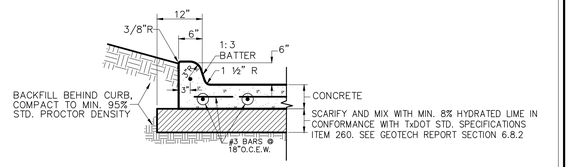
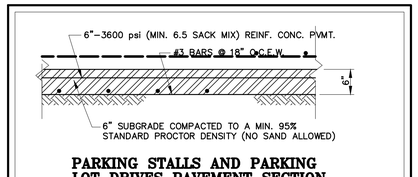


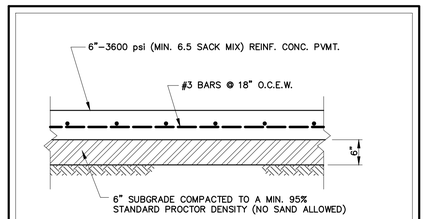
TYPICAL CONCRETE PAVEMENT AND INTEGRAL CONCRETE CURB SECTION

N.T.S.



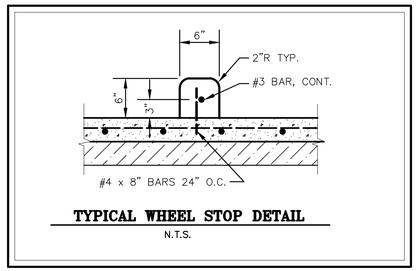
PARKING STALLS AND PARKING LOT DRIVES PAVEMENT SECTION

N.T.S.



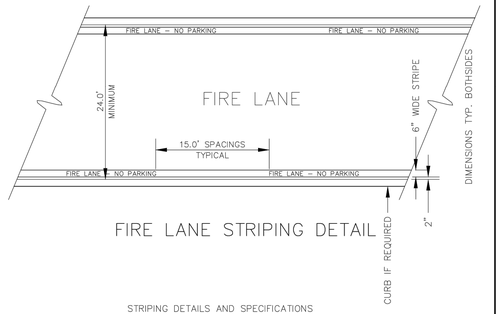
MAIN DRIVES, LOADING DOCKS, HEAVY TRUCK ENTRANCES PAVEMENT SECTION

N.T.S.



TYPICAL WHEEL STOP DETAIL

N.T.S.



FIRE LANE STRIPING DETAIL

STRIPING DETAILS AND SPECIFICATIONS

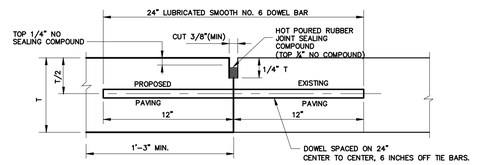
A. PAINT:

1. STRIPE SHALL BE SIX(6) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT. COLOR SHALL BE "TRAFFIC RED" GLIDDEN NO. 63251 OR EQUAL.
2. LETTERS SHALL BE FOUR(4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC PAINT. COLOR SHALL BE "TRAFFIC WHITE" GLIDDEN NO. 563245 OR EQUAL.

B. APPLICATION:

1. PAVEMENT SHALL BE PREPARED BY SAND BLASTING OR GRINDING FOLLOWED BY HIGH PRESSURE AIR TO BLOW OFF DEBRIS. ALL CURE SHALL BE REMOVED FROM NEW PAVEMENT TO ALLOW PROPER BONDING OF PAINT.
2. STRIPE MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
3. LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.

FIRELANE MARKING DETAIL

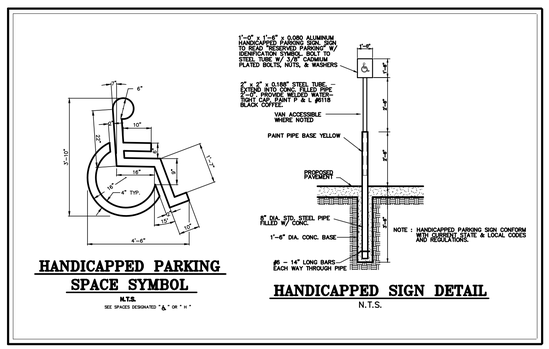


NOTES: T = PAVEMENT THICKNESS

1. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONSTRUCTION OPTION.
2. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL RIG.
3. HAND DRILLING IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

LONGITUDINAL BUTT JOINT

N.T.S.



HANDICAPPED PARKING SPACE SYMBOL

N.T.S.
SEE SPACES DESIGNATED "A" OR "H"

HANDICAPPED SIGN DETAIL

N.T.S.

AS BUILT

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WINKELMANN & ASSOCIATES, INC. — DATE 12/17/2014

No.	DATE	REVISION	APPROV.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
8750 HILCREST PLAZA DRIVE, SUITE 325 (972) 485-7999
DALLAS, TEXAS 75231 (972) 485-7994 FAX
Texas Engineers Registration No. F-3966-00
Texas Surveyors Registration No. 100566-00
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STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER

01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & PERSONAL CONTROL OF REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

CIVIL DETAILS
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: N/A
Date: DECEMBER 5, 2013
File: 31563-CIV
Project No.: 31563.01(20)

SHEET
C-13.1

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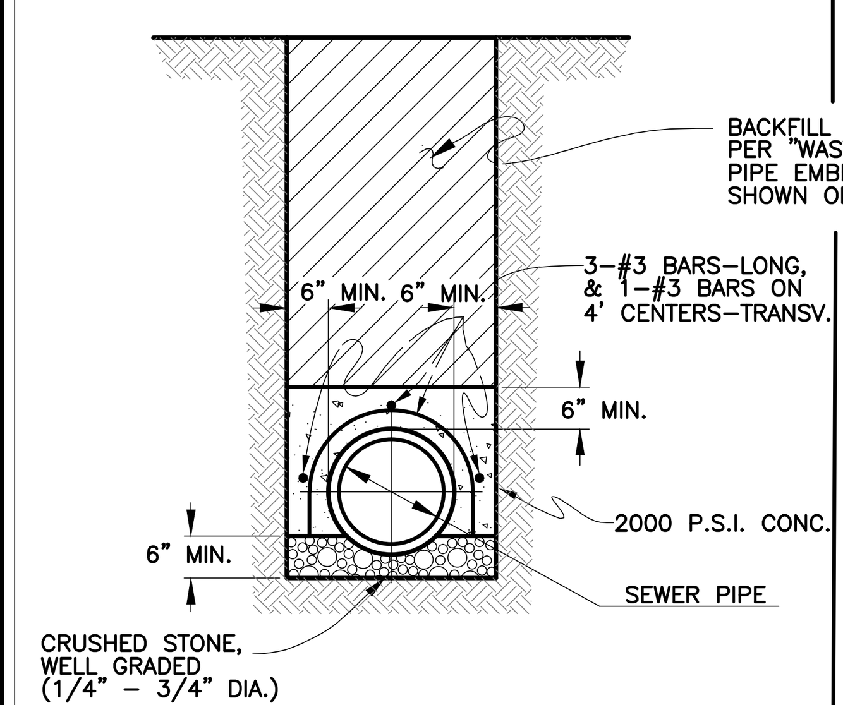
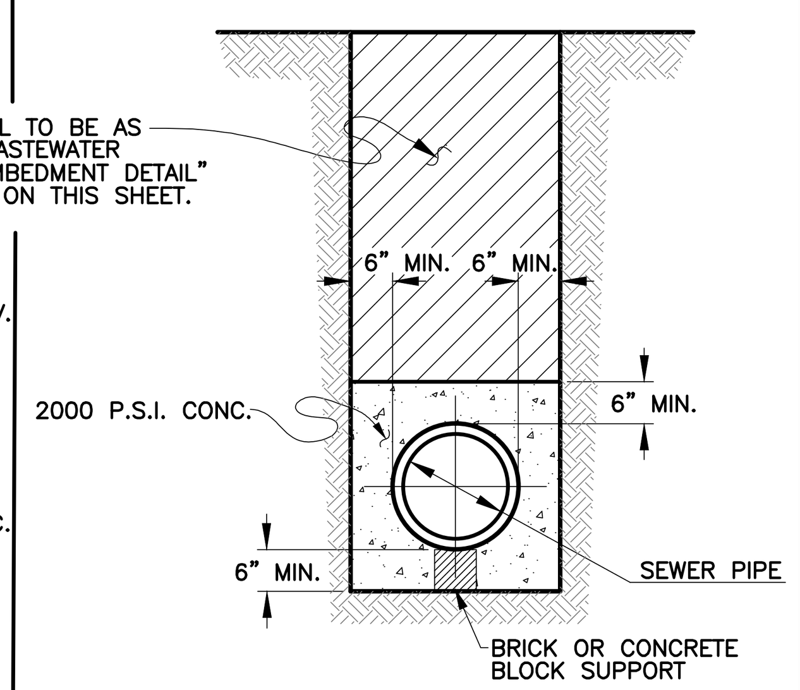


CAP DETAIL
N.T.S.



ENCASEMENT DETAIL
N.T.S.

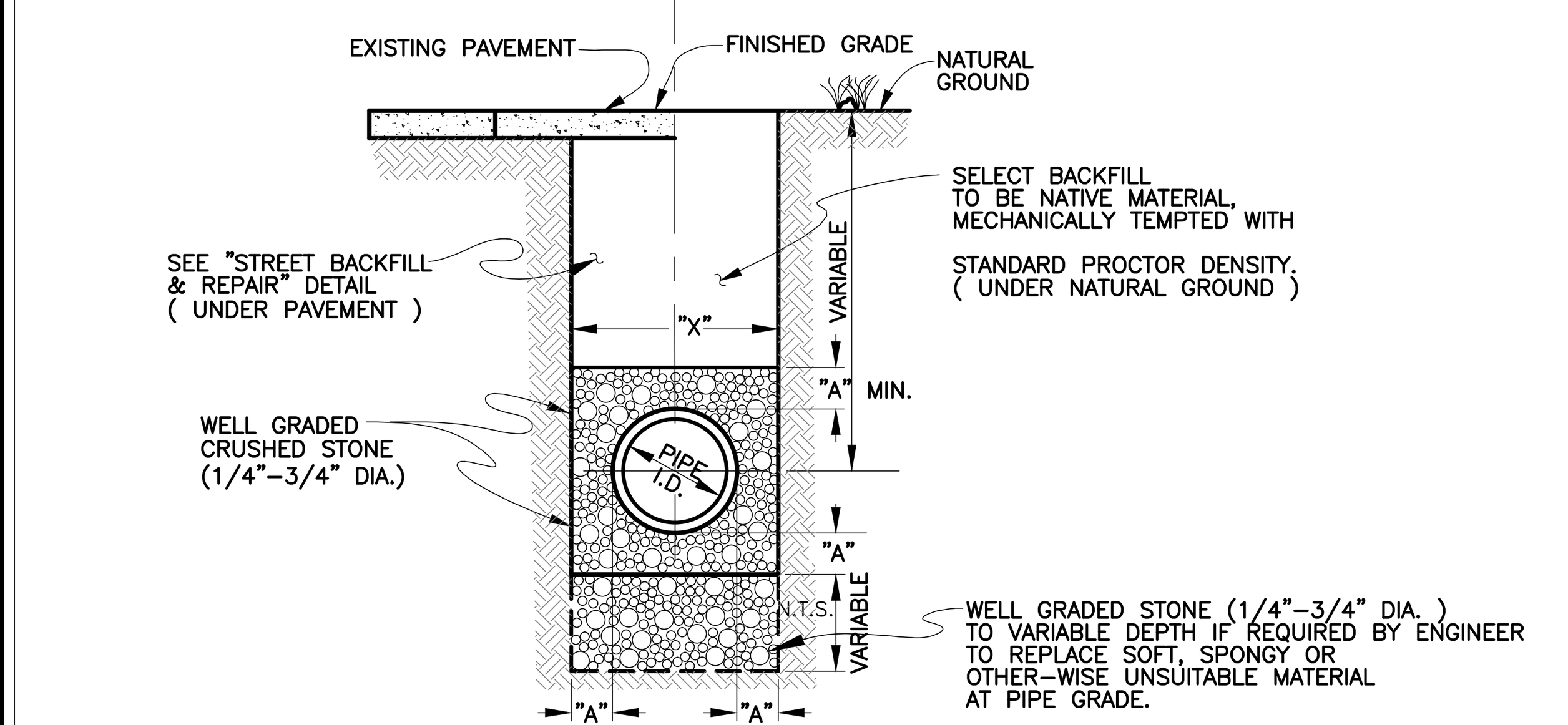
SECTION 1

WASTEWATER LINES WITHIN EXISTING STREETS, (STREET LIMITS SHALL EXTEND FROM 2' BEYOND BACK OF CURB TO 2' BEYOND BACK OF CURB)
BACKFILL AND STREET REPAIR SHALL BE AS PER "STREET BACKFILL & REPAIR" DETAILS ON THIS SHEET.

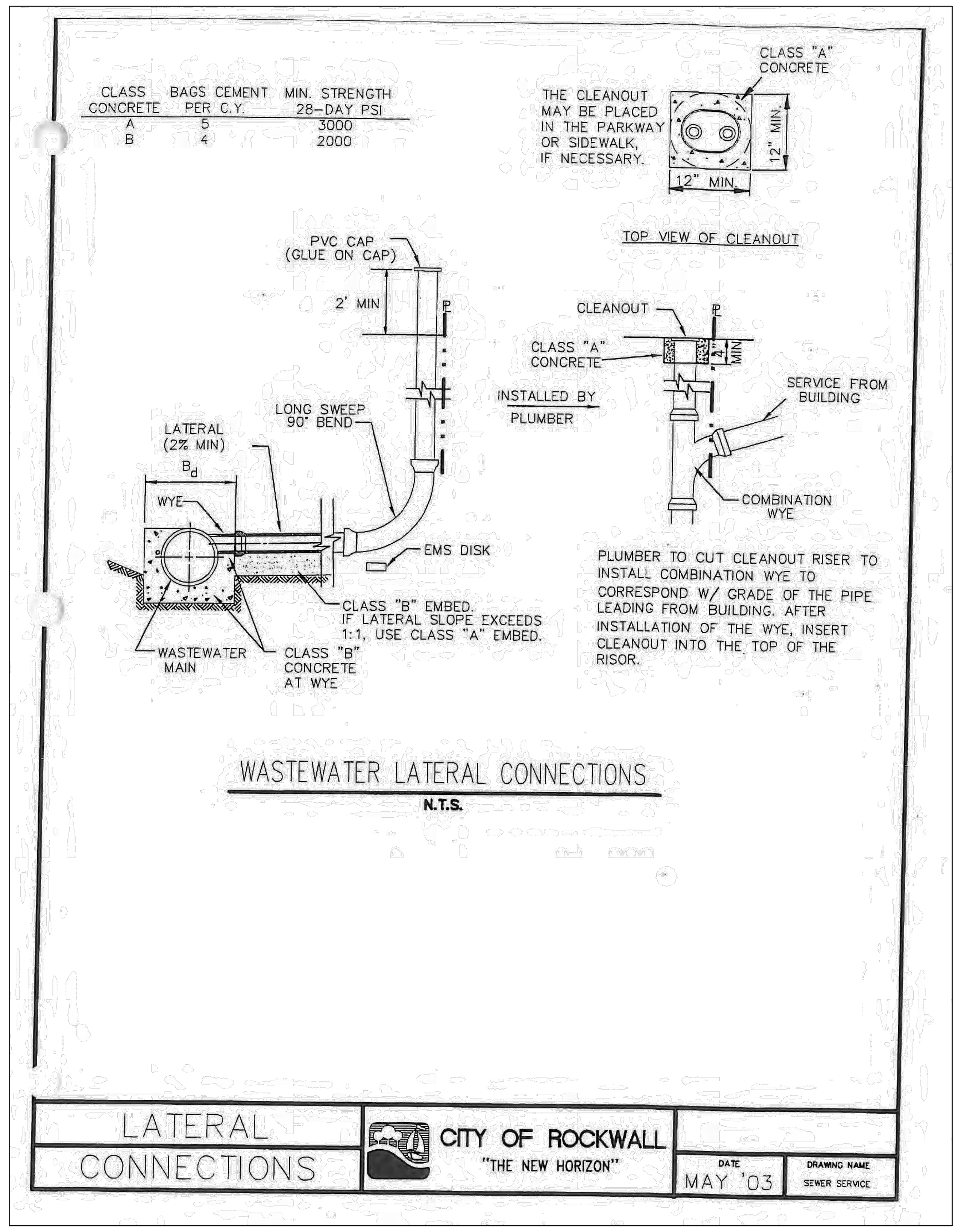
SECTION 2

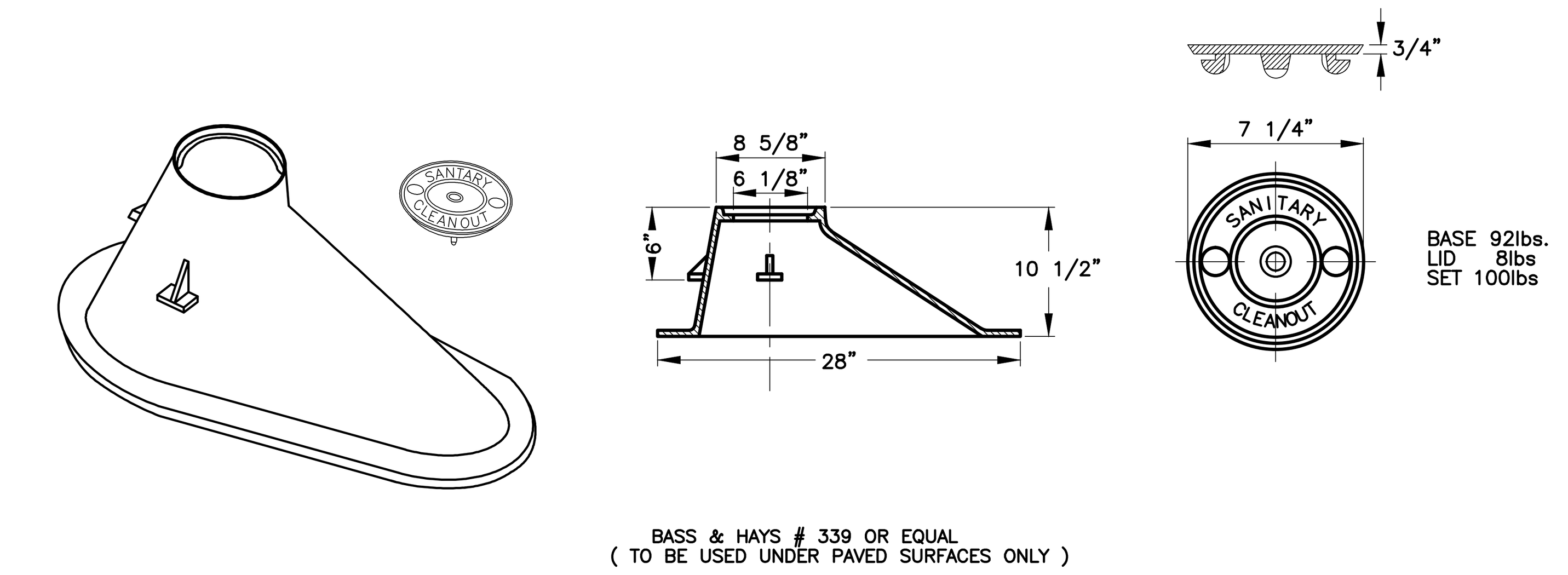
WASTEWATER LINES OUTSIDE & 2' BEYOND OF EXISTING STREETS (BACK OF CURB) TYPICAL HALF SECTION.
BACKFILL SHALL BE COMPACTED TO 90% MIN. PROCTOR DENSITY.

6-8 LIFTS @ 95% MINIMUM



WASTEWATER PIPE LINE EMBEDMENT DETAIL FOR PRIVATE LINE





BASS & HAYS # 339 OR EQUAL
(TO BE USED UNDER PAVED SURFACES ONLY)

CAST IRON CLEAN-OUT BOOT
N.T.S.

No.	DATE	REVISION	APPROV.
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1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 325 DALLAS, TEXAS 75230 (972) 490-7090 (972) 490-7099 FAX
Texas Engineers Registration No. 89
Texas Surveyors Registration No. 100866-00

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STATE OF TEXAS
TERENCE C. YOUNG
85337
REGISTERED PROFESSIONAL ENGINEER
01-10-2014

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CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
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IRVING, TEXAS 75062

SW 575

CIVIL DETAILS
HORIZON RIDGE ADDITION
KROGER SW575 - 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: N/A
Date: DECEMBER 5, 2013
File: 31563-CIV
Project No.: 31563.01(20)

SHEET
C-13.2

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WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

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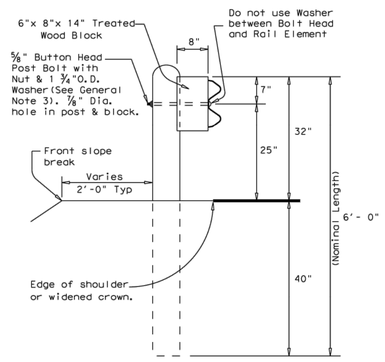
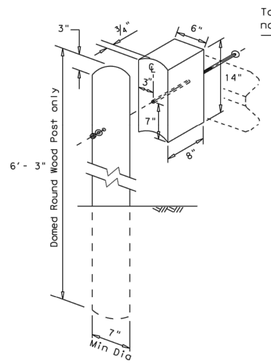
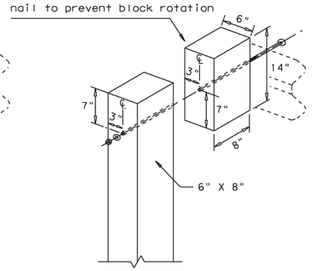
DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



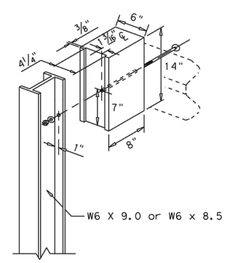
TYPICAL POST



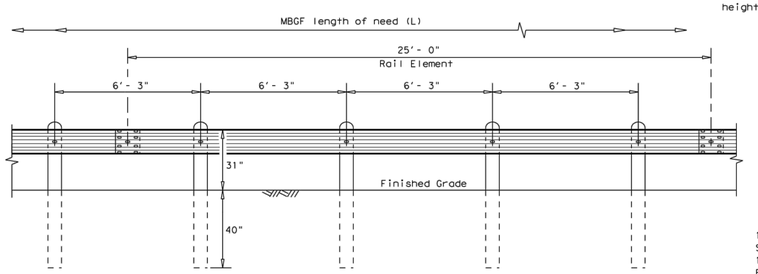
WOOD BLOCK TO ROUND WOOD POST



WOOD BLOCK TO RECTANGULAR WOOD POST

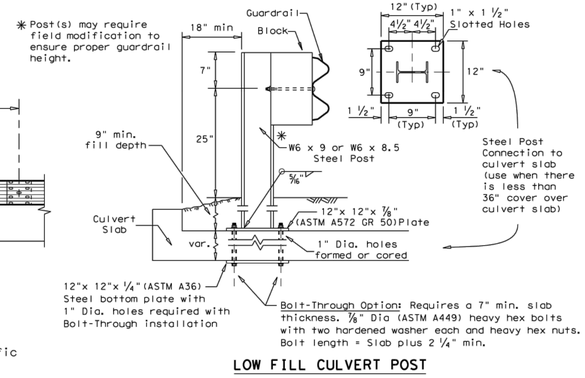


WOOD BLOCK TO STEEL POST



ELEVATION MID-SPAN RAIL SPLICE

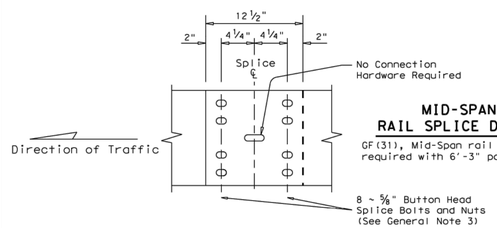
Showing a 25'- 0" section of W-Beam rail, 12'- 6" rail sections may also be supplied (See General Note 2)



LOW FILL CULVERT POST

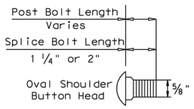
For use on culverts up to 50 ft. in length. Culverts of 25 ft. or less, See GF(31)LS standard for "Long Span" option.

Epoxy Note:
Epoxy Anchor Option: This option may only be used if the culvert slab is 8" min. thick. Threaded anchor rods must be 7/8" Dia. ASTM A449 or A193 Grade B7 with heavy hex nut, and one hardened washer each. Embed anchor rods 6" with Hilti HIT RE 500 epoxy adhesive. Other Type III Class C epoxy adhesives meeting the requirements of DMS-6100, "Epoxies and Adhesives", may be used if it can be demonstrated that they meet or exceed the strength of Hilti HIT RE 500 with the same embedment depth and threaded rod dia. Follow the manufacturer's requirements for installing epoxied threaded rods. Extend rods 1/4" min. beyond nut.



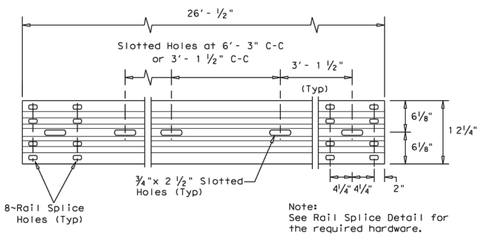
MID-SPAN RAIL SPLICE DETAIL

GF(31), Mid-Span rail splices are required with 6'-3" post spacings.



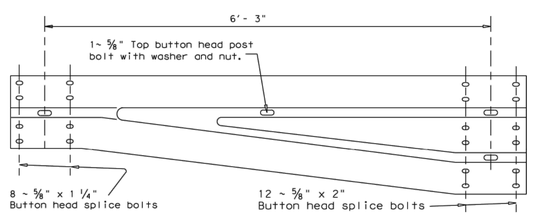
BUTTON HEAD BOLT

Post and Splice Bolts (See General Note 3)



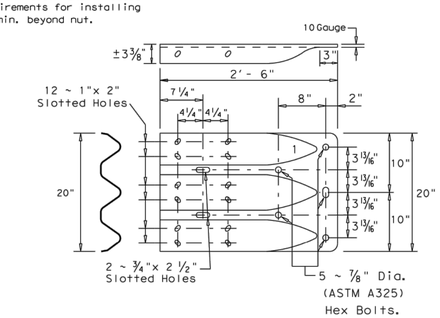
ELEVATION 25'- 0" (NOM.) W-BEAM SECTION

12'- 6" rail sections may also be supplied (See General Note 2)



NON-SYMMETRICAL TRANSITION FROM W-BEAM TO CONCRETE RAIL (10 GA.)

(See GF(31)DAT for Downstream Connection to Concrete Rail)



THRIE-BEAM TERMINAL CONNECTION (10 GA.)

(See General Note 3 for required hardware)

GENERAL NOTES

1. The type of post (round wood post, rectangular wood post, or steel post) will be as shown in the plans. The exact position of MBGF shall be shown in the plans or as directed by the Engineer. Steel posts to be galvanized in accordance with Item 445, "Galvanizing."
2. Rail element shall meet the requirements of Item 540,"Metal Beam Guard Fence" except as modified in the plans. The Contractor may furnish rail elements of 25'- 0", or 12'- 6" (nom.) lengths. Rail elements may have slotted holes at 3'-1½" C-C or 6'-3" C-C. A special length of rail may be manufactured to accommodate the downstream anchor terminal (DAT) and the transition sections of guardrail.
3. Button head "post" bolts (ASTM A307) shall be of sufficient length to extend through the full thickness of the nut (ASTM A563) and Type A (1 ¾" O.D.)washer and not more than 1" beyond it. Button head "splice" bolts (ASTM A307) are ⅝" x 1 ¼" (or 2" long at triple rail splices) with a ⅝" double recessed nut (ASTM A563). Thrie beam "connection" ⅞" dia. (ASTM A325) hex bolts shall be of sufficient length to extend through the full thickness of the rail, washers, and nuts.
4. Fittings (bolts, nuts, and washers) shall be galvanized in accordance with Item 445, "Galvanizing." Fittings shall be subsidiary to the bid item.
5. Crown shall be widened to accommodate the Metal Beam Guard Fence.
6. The lateral approach to the guard fence, shall have a maximum slope of 1V:10H.
7. If shown elsewhere in the plans or as directed by the Engineer, the guard fence may be flared at a rate of 25:1 or flatter.
8. Unless otherwise shown in the plans, guard fence placed in the vicinity of curbs shall be positioned so that the face of curb is located directly below or behind the face of the rail. Rail placed over curbs shall be installed so that the post bolt is located approximately 25 inches above the gutter pan or edge of shoulder.
9. If solid rock is encountered within 0 to 18" of the finished grade, drill a 22" dia. hole, or drill two 12" dia. front to back overlapping holes, 24" into the rock. If solid rock is encountered below 18",drill a 12" dia. hole, 12" into the rock or to the standard embedment depth, whichever maybe less. Any excess post length, after meeting these depths, may be field cut to ensure proper guardrail mounting height. Backfill with a cohesionless material.
10. Posts shall not be set in concrete, of any depth.
11. Special fabrication will be required at installations having a curvature of less than 150 ft. radius.
12. Unless otherwise shown in the plans, a composite material post and/or block that meets the requirements of DMS-7210,"Composite Material Posts and Blocks for Metal Beam Guard Fence" may be substituted for posts and/or blocks of similar dimensions. The Construction Division, TxDOT maintains a Material Producer List (MPL) for producers of materials conforming to DMS-7210. Only producers on the MPL may furnish composite material posts and/or blocks.
13. For posts located partially or wholly between precast box culvert units, the use of a cast-in-place concrete closure between boxes is required. See Detail "A" on Bridge Standard SCP-MD.

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WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

Texas Department of Transportation — Design Division Standard

METAL BEAM GUARD FENCE

GF(31)-11

FILE: gf3111.dgn	DN: TxDOT	CK: AM	DW: VP	CK:
©TxDOT December 2011	CONT	SECT	JOB	HIGHWAY
REVISIONS				
	DIST	COUNTY		SHEET NO.

No.	DATE	REVISION	APPROV.
3	01-10-14	ISSUE FOR BID	T.C.Y.
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Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ▪ SURVEYORS
8750 HALCROFT PLAZA DRIVE, SUITE 325 (972) 485-7099
DALLAS, TEXAS 75231 (972) 485-7094 FAX
Texas Engineers Registration No. 10-3966-00
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STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER
01-10-2014

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E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

GUARD FENCE DETAILS
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: N/A
Date: DECEMBER 5, 2013
File: 31563-TDS
Project No.: 31563.01(20)

SHEET
C-14

DATE:
FILE:

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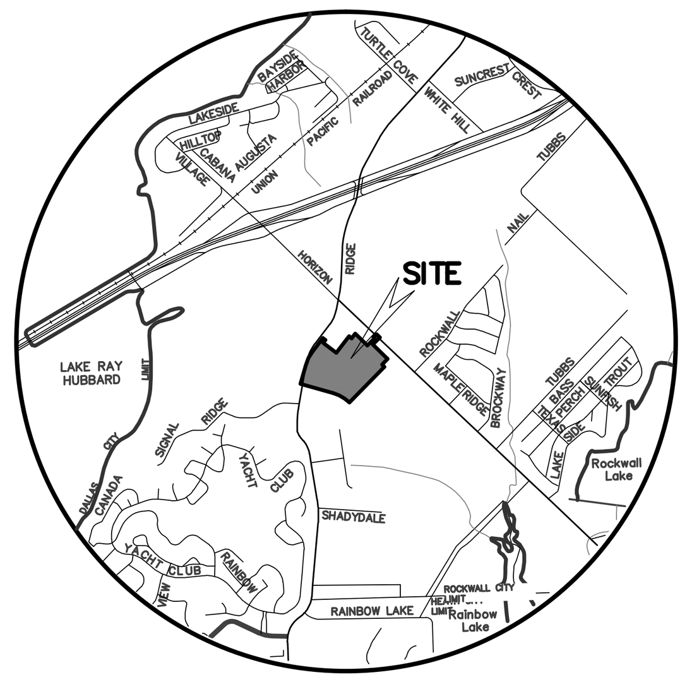
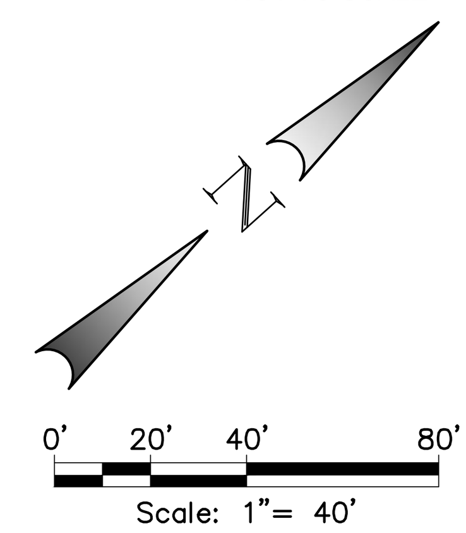
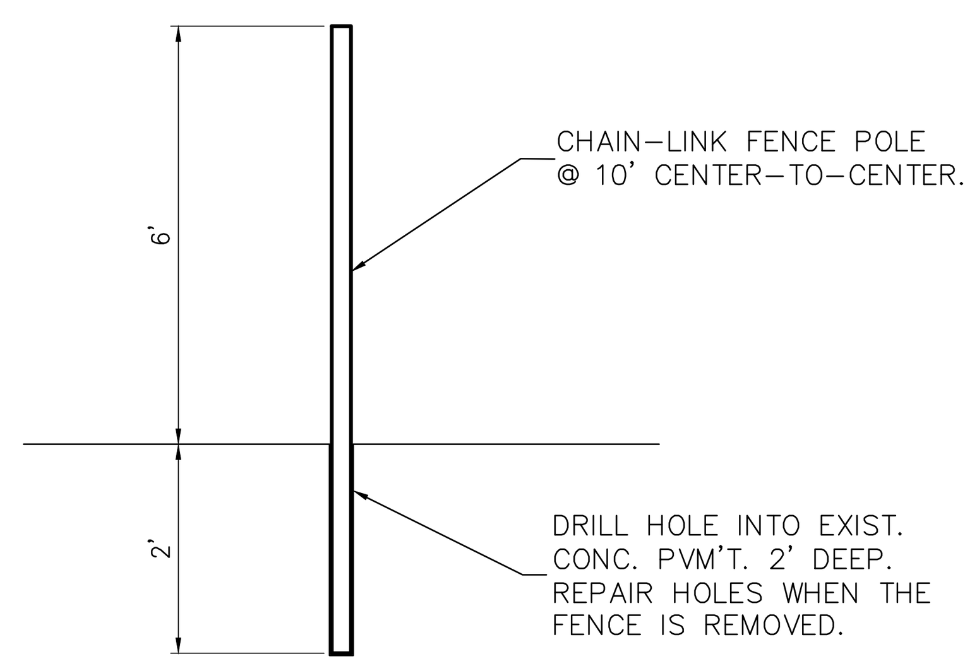


VICINITY MAP

NOT TO SCALE





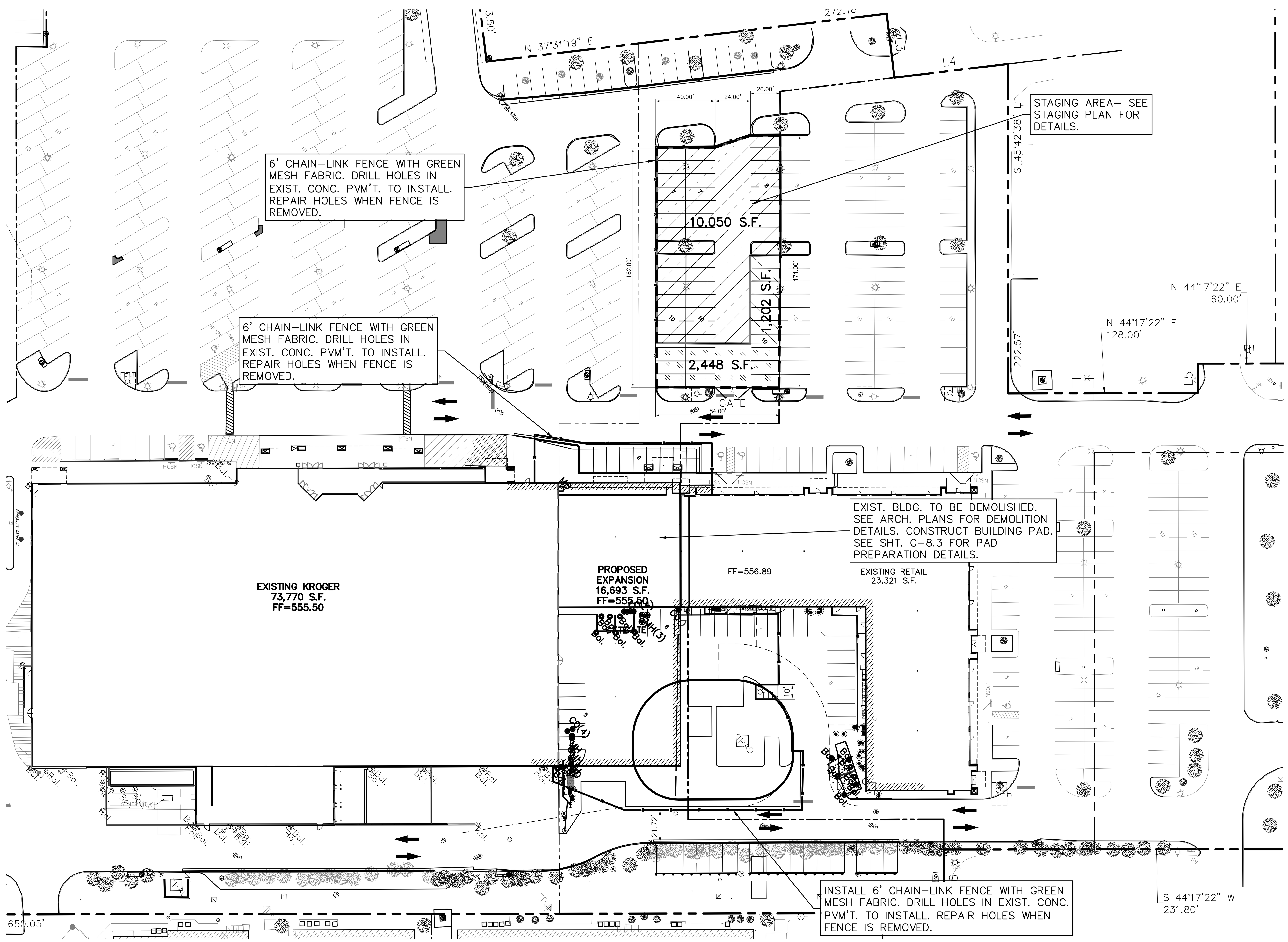
FENCE POLE INSTALL DETAIL

N.T.S.

PHASE 1 TRAFFIC PLAN:

1. 6' CHAIN-LINK FENCE WITH GREEN MESH FABRIC INSTALLED; DRILL HOLES IN EXISTING CONC. PVM'T. 10' APART AND 2' DEEP. HOLE SIZE TO FACILITATE FENCE POSTS USED. REPAIR HOLES WHEN THE FENCE IS REMOVED.

2. MAINTAIN TWO-WAY TRAFFIC FLOW IN THE FRONT AND REAR AT ALL TIMES.



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No.	DATE	REVISION	APPROV.
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CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

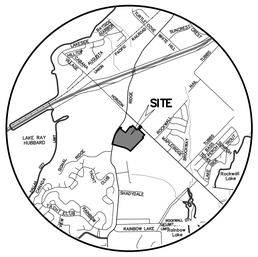
KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

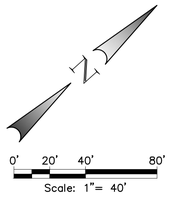
TRAFFIC CONTROL PLAN 1
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

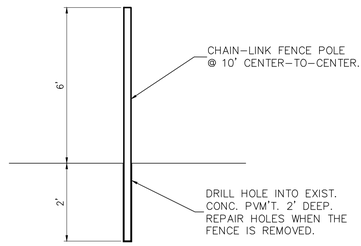
Scale: 1"= 40'
Date: DECEMBER 5, 2013
File: 31563-TRF
Project No.: 31563.01(20)

SHEET
C-15.1



VICINITY MAP
NOT TO SCALE

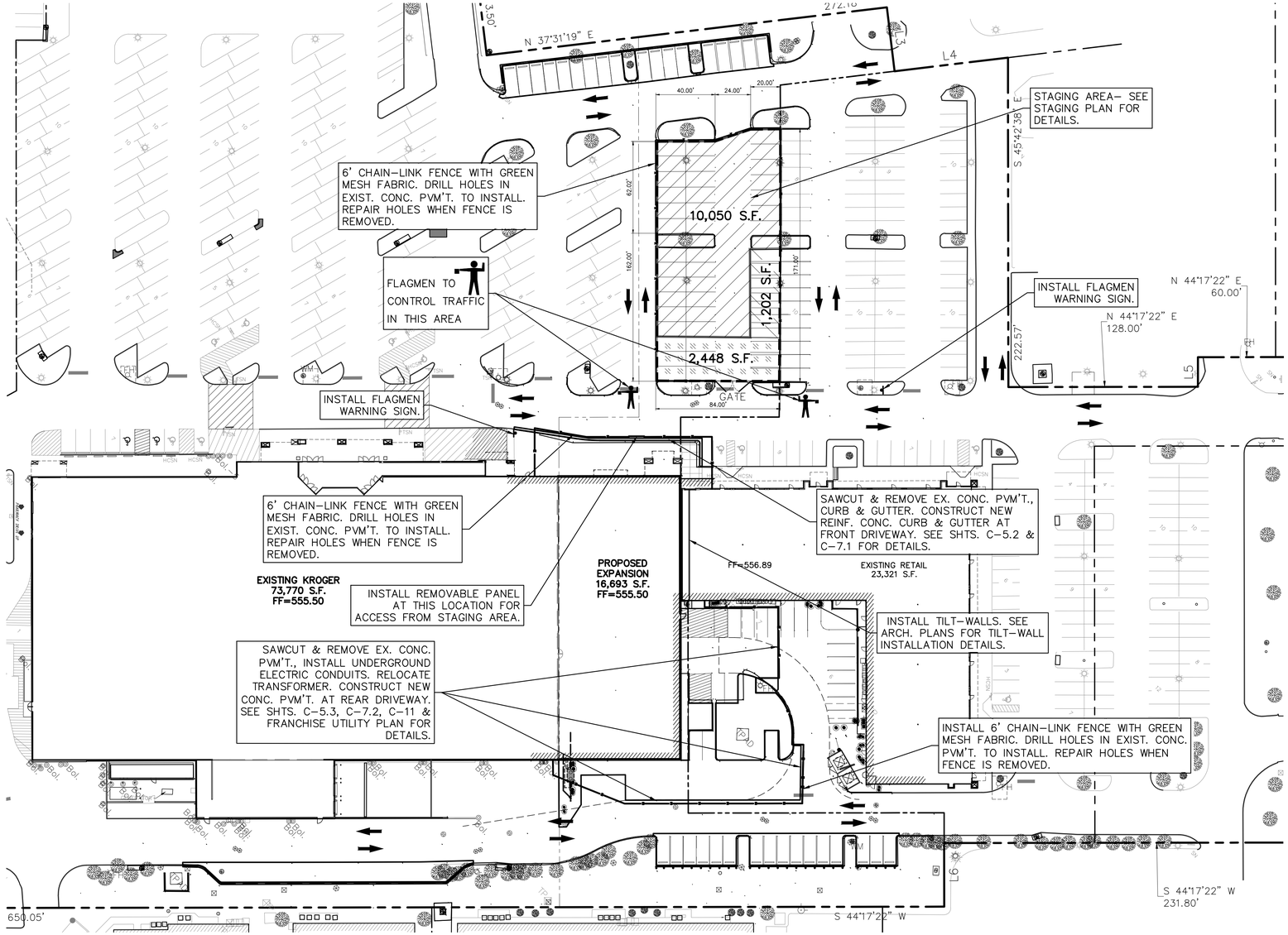




FENCE POLE INSTALL DETAIL
N.T.S.

PHASE 2 TRAFFIC PLAN:

1. 6' CHAIN-LINK FENCE WITH GREEN MESH FABRIC INSTALLED; DRILL HOLES IN EXISTING CONC. PVM'T. 10' APART AND 2' DEEP. HOLE SIZE TO FACILITATE FENCE POSTS USED. REPAIR HOLES WHEN THE FENCE IS REMOVED.
2. FLAGMEN TO BE USED BY CROSSOVER POINT TO DIRECT TRAFFIC DURING DELIVERY OF THE TILT-WALLS. PLACE FLAGMEN WARNING SIGNS ON EITHER SIDE OF CROSSOVER AS SHOWN.
3. MAINTAIN TWO-WAY TRAFFIC FLOW IN THE FRONT AND REAR AT ALL TIMES.



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WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

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3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ▪ SURVEYORS
8750 HILLCREST PLAZA DRIVE, SUITE 325 (972) 485-7999
DALLAS, TEXAS 75243 (972) 485-7994 FAX
Texas Engineers Registration No. 89
Texas Surveyors Registration No. 100966-00

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STATE OF TEXAS — TERENCE C. YOUNG — 85337 — REGISTERED PROFESSIONAL ENGINEER

01-10-2014

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION & TERENCE C. YOUNG, REGISTERED PROFESSIONAL ENGINEER NO. 85337

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TERENCE C YOUNG, P.E. #85337

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

SW 575

TRAFFIC CONTROL PLAN 2
HORIZON RIDGE ADDITION
KROGER SW575 - 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: 1"= 40'
Date: DECEMBER 5, 2013
File: 31563-TRF
Project No.: 31563.01(20)

SHEET
C-15.2

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MATCHLINE 1, SHEET L-2

N 37°31'19" E 272.18'

L3 L4 L5 L6

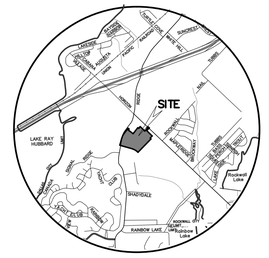
S 45°42'38" E 222.57'

S 44°17'22" W 231.80'

S 44°17'22" W 650.05'

ELEV.=547.36'

0' 20' 40' 80'
Scale 1:40



VICINITY MAP
NOT TO SCALE

EXISTING KROGER
73,770 S.F.
FF=555.50

PROPOSED
EXPANSION
16,693 S.F.
FF=555.50

FF=556.89

EXISTING RETAIL
23,321 S.F.

ASPHALT PAVEMENT

HORIZON ROAD
(100' RIGHT-OF-WAY)

NOTE:
NO LANDSCAPE PLANTINGS
WITHIN 18" OF PARKING
LOT CURBS.

BERMUDA SOD ALL DISTURBED AREAS

15' ELECTRIC ESMT. CAB. F, SLD. 215

15' SAN. SWR. EASEMENT CAB. E, SLD. 117

(1) Tadi 3"-Cal

(1) Quvi 3"-Cal

(1) Quvi 4"-Cal

TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. SOD TURF IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.

REF SHEET L-2 FOR ORDINANCE AND NOTES
REF SHEET L-3 FOR TREE SURVEY

PLANT LIST

Symbol	Quantity	Code Name	Scientific Name	Common Name	Planting Size	Comments
	5	Quvi	Quercus virginiana	Southern live oak	3"-Cal	B&B, FULL, SINGLE STRAIGHT TRUNK
	7	Quvi	Quercus virginiana	Southern live oak	4" -Cal	B&B, FULL, SINGLE STRAIGHT TRUNK
	3	Tadi	Taxodium distichum	Bald cypress	3"-Cal	B&B, FULL, SINGLE STRAIGHT TRUNK
	74	IlvoN	Ilex vomitoria 'Nana'	Dwarf yaupon	Existing	
	12	Rain	Raphiolepis indica	Indian hawthorn	Existing	

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WINKELMANN & ASSOCIATES, INC. 12/17/2014 DATE

DFL Group, LLC
PARKS + OPEN SPACE PLANNING - LANDSCAPE ARCHITECTURE
8233B MID CITIES BLVD, NORTH RICHLAND HILLS, TX 76180 817-479-0730

12/05/13

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF JOHN R. FAIN, LANDSCAPE ARCHITECT REGISTRATION NUMBER 805 ON 12/05/13, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(E) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

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DALLAS, TEXAS 75243 (972) 490-9664 FAX
Texas Engineers Registration No. F-3966-00
Texas Surveyors Registration No. 100805-00
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E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

LANDSCAPE PLAN
HORIZON RIDGE ADDITION
KROGER SW575 - 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: 1" = 40'
Date: DECEMBER 5, 2013
File: 31563-LAN
Project No.: 31563.01(20)

SHEET
L-1

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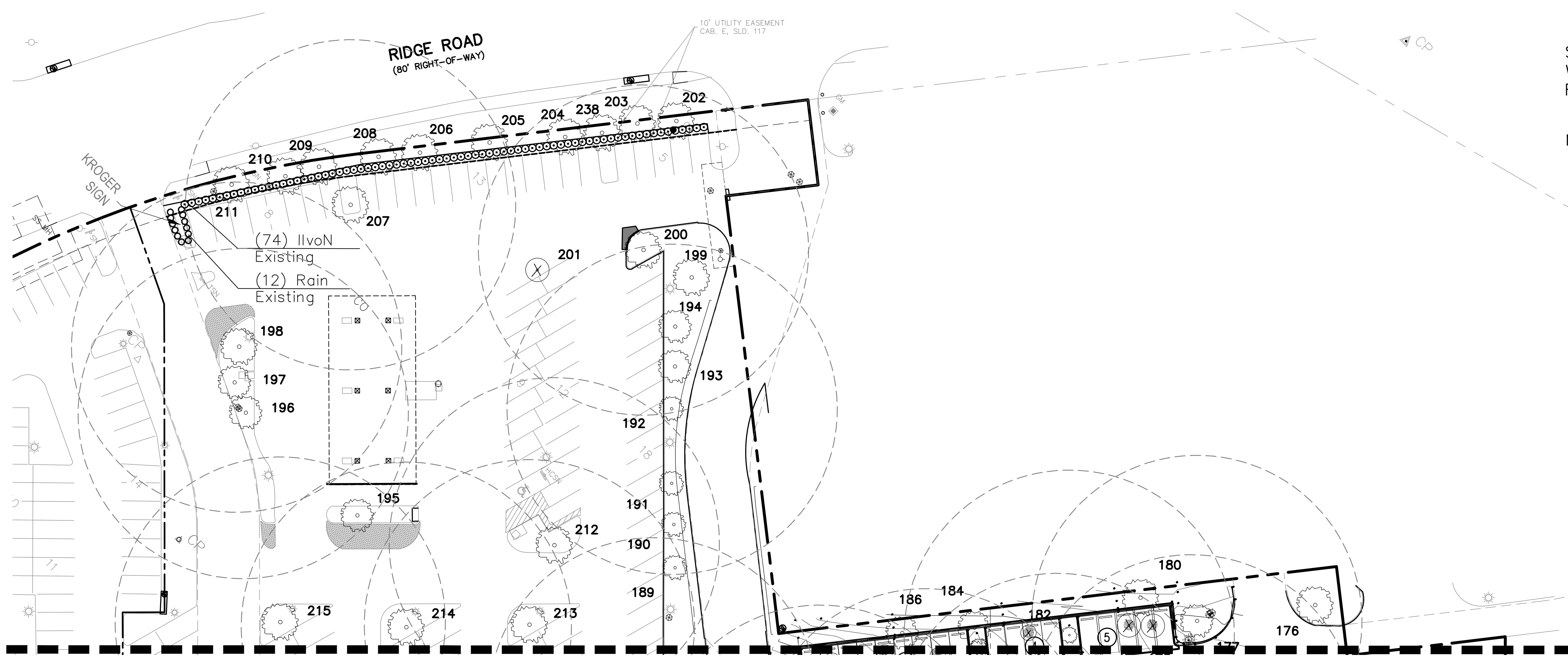
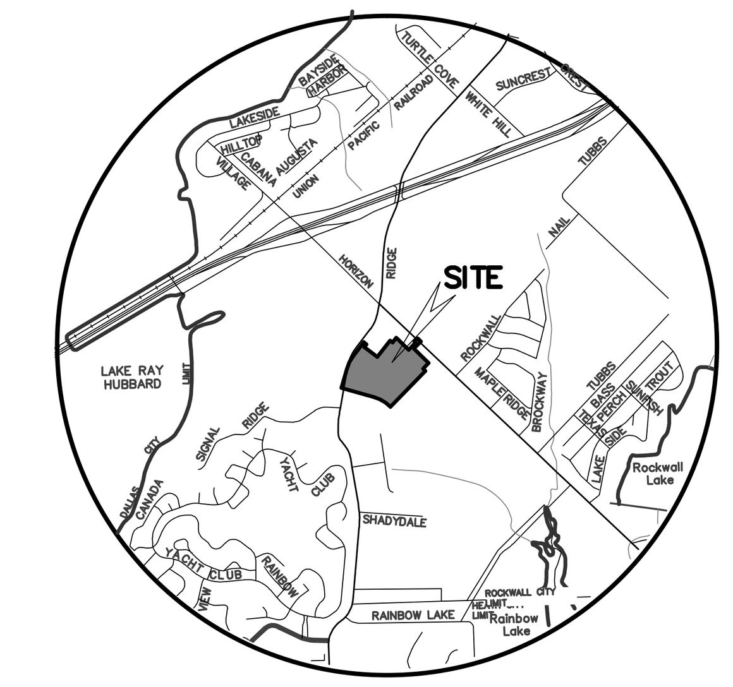
CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER	
	REQUIRED	PROVIDED
	10'	10'
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE	
	REQUIRED (RIDGE RD)	PROVIDED
	333'/50 = 7 TREES	10 EXISTING TREES
	REQUIRED (ARISTA RD)	PROVIDED
	305'/50 = 7 TREES	8 EXISTING TREES
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING	
	REQUIRED	PROVIDED
	275,634 X 5% = 13,782 SF	25,100 SF
PARKING LOT TREES	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES	
	REQUIRED	PROVIDED
	444 SPACES/10 = 45 TREES	40 EXISTING TREES 8 NEW TREES
PARKING LOT TREES	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE	
	REQUIRED	PROVIDED
	ALL SPACES WITHIN 80'	ALL SPACES WITHIN 80'
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA	
	REQUIRED	PROVIDED
	416,377 X 15% =62,456 SF	45,803 SF
LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD	
	REQUIRED	PROVIDED
	62,456 X 50% = 31,228 SF	31,778 SF
DETENTION AREA REQUIRED TREES	ONE (1) TREE PER 750 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED
	N/A	N/A

PLANTING NOTES:

1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE ONLY ON APPROVAL OF CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURES INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4;1 OR GREATER.
15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
16. BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)



MATCHLINE 1, SHEET L-1

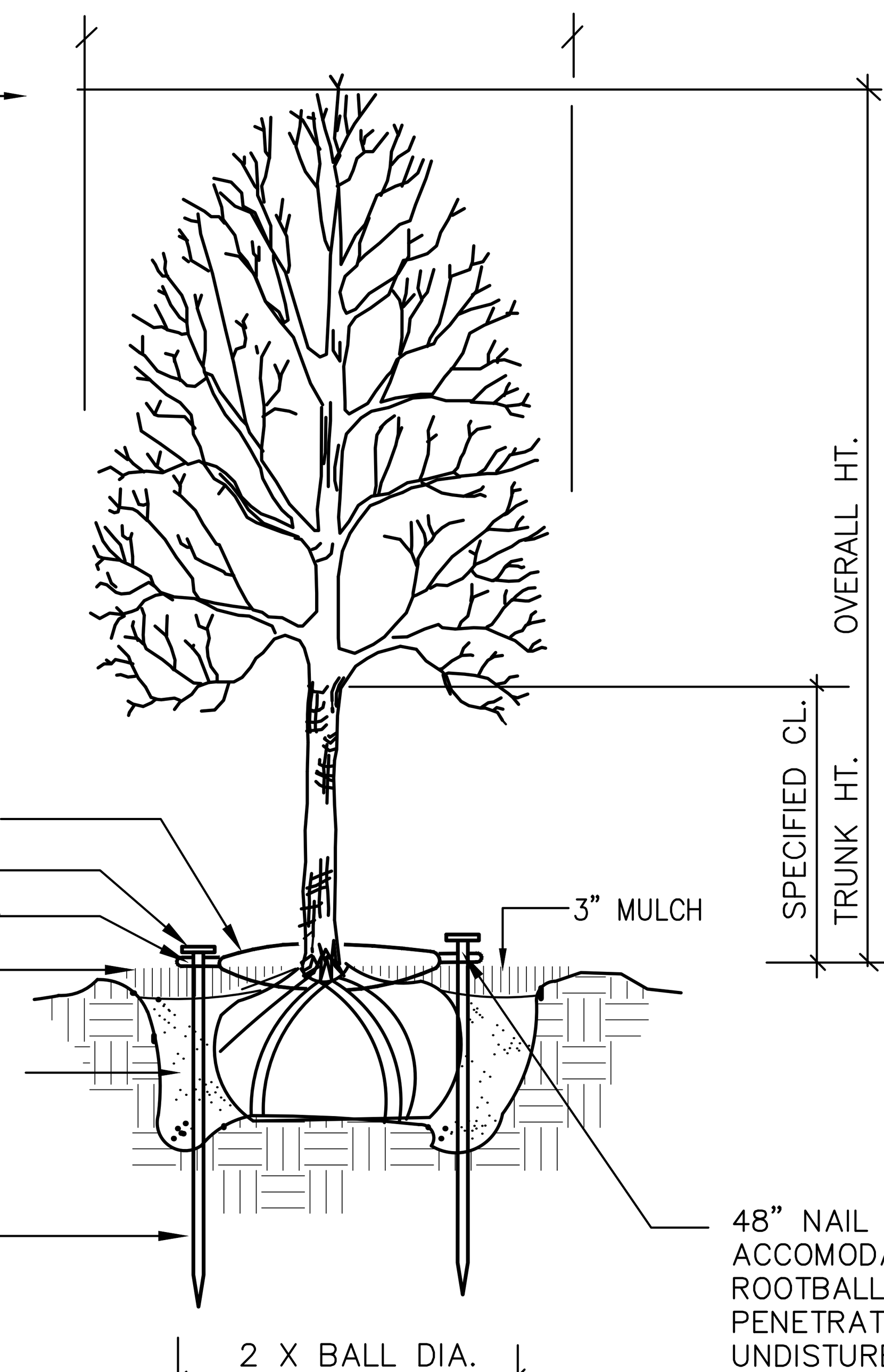


VICINITY MAP
NOT TO SCALE

Contact Information:
TREE STAKE SOLUTIONS
www.treestakesolutions.com
281.723.9081

THIN BRANCHES BY 1/3 RETAINING SHAPE OF PLANT. (DO NOT CUT LEADER.)

ALL TREES
- PLANT SO THAT TOP OF ROOT BALL IS 2" ABOVE THE FINISHED GRADE
- PAINT ALL CUTS OVER 1" DIA.
- FLAG GUYING WIRES WITH SURVEYOR TAPE



SAFETY STAKE BY TREE STAKE SOLUTIONS

SCALE: NOT TO SCALE

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PARKS + OPEN SPACE PLANNING · LANDSCAPE ARCHITECTURE
8233B MID CITIES BLVD, NORTH RICHLAND HILLS, TX 76180 817-479-0730

REGISTERED LANDSCAPE ARCHITECT — JOHN R. FAIN — 805 — STATE OF TEXAS
12/05/13

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6750 HILLCREST PLAZA DRIVE, SUITE 325
DALLAS, TEXAS 75230
(972) 490-7090
(972) 490-7099 FAX
Texas Engineers Registration No. 89
Texas Surveyors Registration No. 100866-00
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CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

LANDSCAPE PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

SW 575

Scale: 1"= 40'
Date: DECEMBER 5, 2013
File: 31563-LAN
Project No.: 31563.01(20)

SHEET
L-2

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Tree Survey

	Cal.	Species	Condition
101	8"	CEDAR	PRESERVE
102	8"	CEDAR	PRESERVE
103	8"	CEDAR	REMOVE UNPROTECTED
104	8"	CEDAR	PRESERVE
105	8"	CEDAR	REMOVE UNPROTECTED
106	8"	CEDAR	REMOVE UNPROTECTED
107	8"	CEDAR	REMOVE UNPROTECTED
108	8"	CEDAR	REMOVE UNPROTECTED
109	8"	CEDAR	REMOVE UNPROTECTED
110	8"	CEDAR	REMOVE UNPROTECTED
111	1"	CEDAR	REMOVE UNPROTECTED
112	1"	CEDAR	REMOVE UNPROTECTED
113	1"	CEDAR	REMOVE UNPROTECTED
114	1"	CEDAR	REMOVE UNPROTECTED
115	1"	CEDAR	REMOVE UNPROTECTED
116	8"	CEDAR	REMOVE UNPROTECTED
117	8"	CEDAR	REMOVE UNPROTECTED
118	8"	CEDAR	REMOVE UNPROTECTED
119	8"	CEDAR	REMOVE UNPROTECTED
120	1"	CEDAR	REMOVE UNPROTECTED
121	1"	CEDAR	REMOVE UNPROTECTED
122	1"	CEDAR	REMOVE UNPROTECTED
123	1"	CEDAR	REMOVE UNPROTECTED
124	1"	CEDAR	REMOVE UNPROTECTED
125	1"	CEDAR	REMOVE UNPROTECTED

Tree Survey

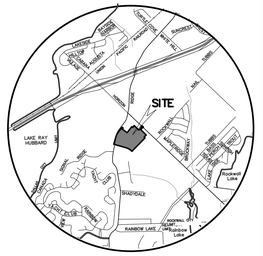
	Cal.	Species	Condition
126	8"	CEDAR	PRESERVE
127	8"	CEDAR	REMOVE
128	1"	CEDAR	PRESERVE
129	1"	CEDAR	PRESERVE
130	1"	CEDAR	PRESERVE
131	8"	CEDAR	REMOVE
132	1"	CEDAR	REMOVE UNPROTECTED
133	1"	CEDAR	REMOVE UNPROTECTED
134	1"	CEDAR	REMOVE UNPROTECTED
135	1"	CEDAR	REMOVE UNPROTECTED
136	1"	CEDAR	PRESERVE
137	1"	CEDAR	PRESERVE
138	8"	CEDAR	PRESERVE
139	1"	CEDAR	PRESERVE
140	1"	CEDAR	REMOVE UNPROTECTED
141	1"	CEDAR	REMOVE UNPROTECTED
142	1"	CEDAR	REMOVE UNPROTECTED
143	1"	CEDAR	REMOVE UNPROTECTED
144	1"	CEDAR	REMOVE UNPROTECTED
145	1"	CEDAR	REMOVE UNPROTECTED
146	1"	CEDAR	REMOVE UNPROTECTED
147	1"	CEDAR	REMOVE UNPROTECTED
148	8"	CEDAR	PRESERVE
149	8"	CEDAR	REMOVE
150	8"	CEDAR	REMOVE

Tree Survey

	Cal.	Species	Condition
151	8"	CEDAR	REMOVE
152	1"	CEDAR	REMOVE UNPROTECTED
153	1"	CEDAR	REMOVE UNPROTECTED
154	1"	CEDAR	REMOVE UNPROTECTED
155	1"	CEDAR	REMOVE UNPROTECTED
156	1"	CEDAR	REMOVE UNPROTECTED
157	1"	CEDAR	REMOVE UNPROTECTED
158	1"	CEDAR	REMOVE UNPROTECTED
159	1"	CEDAR	REMOVE UNPROTECTED
160	10"	CEDAR	REMOVE
161	8"	CEDAR	REMOVE
162	7"	CEDAR	REMOVE
163	8"	CEDAR	PRESERVE
164	10"	CEDAR	PRESERVE
165	8"	CEDAR	PRESERVE
166	2"	CEDAR	PRESERVE
167	2"	CEDAR	PRESERVE
168	8"	CRAPE MYRTLE	PRESERVE
169	7"	BALD CYPRESS	PRESERVE
170	7"	BALD CYPRESS	PRESERVE
171	5"	BALD CYPRESS	PRESERVE
172	7"	BALD CYPRESS	PRESERVE
173	3"	BALD CYPRESS	PRESERVE
174	4"	BALD CYPRESS	PRESERVE
175	7"	BALD CYPRESS	PRESERVE

Tree Survey

	Cal.	Species	Condition
176	6"	BALD CYPRESS	PRESERVE
177	3"	BALD CYPRESS	PRESERVE
178	6"	CRAPE MYRTLE	REMOVE
179	6"	CRAPE MYRTLE	REMOVE
180	3"	BALD CYPRESS	PRESERVE
181	6"	BALD CYPRESS	PRESERVE
182	6"	CRAPE MYRTLE	REMOVE
183	4"	CRAPE MYRTLE	PRESERVE
184	4"	BALD CYPRESS	PRESERVE
185	4"	CRAPE MYRTLE	REMOVE
186	5"	BALD CYPRESS	PRESERVE
187	3"	CRAPE MYRTLE	REMOVE UNPROTECTED
188	4"	CRAPE MYRTLE	REMOVE
189	3"	BALD CYPRESS	PRESERVE
190	3"	BALD CYPRESS	PRESERVE
191	3"	BALD CYPRESS	PRESERVE
192	3"	BALD CYPRESS	PRESERVE
193	3"	BALD CYPRESS	PRESERVE
194	3"	BALD CYPRESS	PRESERVE
195	2"	BALD CYPRESS	PRESERVE
196	2"	BALD CYPRESS	PRESERVE
197	2"	BALD CYPRESS	PRESERVE
198	2"	BALD CYPRESS	PRESERVE
199	3"	BALD CYPRESS	PRESERVE
200	3"	BALD CYPRESS	PRESERVE



VICINITY MAP
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WINKELMANN & ASSOCIATES, INC. — 12/17/2014 DATE

Tree Survey

	Cal.	Species	Condition
201	3"	BALD CYPRESS	REMOVE UNPROTECTED
202	4"	LIVE OAK	PRESERVE
203	4"	LIVE OAK	PRESERVE
204	4"	BALD CYPRESS	PRESERVE
205	4"	BALD CYPRESS	PRESERVE
206	5"	LIVE OAK	PRESERVE
207	10"	BALD CYPRESS	PRESERVE
208	3"	LIVE OAK	PRESERVE
209	6"	BALD CYPRESS	PRESERVE
210	3"	LIVE OAK	PRESERVE
211	4"	LIVE OAK	PRESERVE
212	8"	BALD CYPRESS	PRESERVE
213	6"	BALD CYPRESS	PRESERVE
214	6"	BALD CYPRESS	PRESERVE
215	8"	BALD CYPRESS	PRESERVE
216	8"	BALD CYPRESS	PRESERVE
217	6"	BALD CYPRESS	PRESERVE
218	8"	BALD CYPRESS	PRESERVE
219	6"	BALD CYPRESS	PRESERVE
220	8"	BALD CYPRESS	PRESERVE
221	6"	BALD CYPRESS	PRESERVE
222	5"	BALD CYPRESS	PRESERVE
223	6"	WAX MYRTLE	PRESERVE
224	4"	WAX MYRTLE	PRESERVE
225	4"	WAX MYRTLE	PRESERVE

Tree Survey

	Cal.	Species	Condition
226	6"	CEDAR ELM	PRESERVE
227	6"	CEDAR ELM	PRESERVE
228	5"	CEDAR ELM	PRESERVE
229	5"	CEDAR ELM	PRESERVE
230	8"	CRAPE MYRTLE	PRESERVE
231	8"	CRAPE MYRTLE	PRESERVE
232	8"	CRAPE MYRTLE	PRESERVE
233	4"	CEDAR ELM	PRESERVE
234	6"	LEYLAND CYPRESS	PRESERVE
235	6"	LEYLAND CYPRESS	PRESERVE
236	6"	LEYLAND CYPRESS	PRESERVE
237	6"	LEYLAND CYPRESS	PRESERVE
238	3"	LIVE OAK	PRESERVE
239			
240			
241			
242			
243			
244			
245			
246			
247			
248			
249			
250			

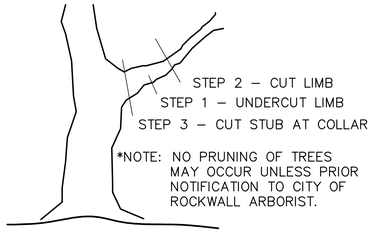
TREE MITIGATION NOTES:
1. CRAPE MYRTLE TREES TO REMOVE (26" TOTAL).
2. 100% REQUIRED MITIGATION ON CRAPE MYRTLES.
3. 26" X 100% = 26" REQUIRED MITIGATION.
4. 7 X 4" NEW TREES = 28" ADDED

REF SHEET L-1 FOR PLAN
REF SHEET L-2 FOR PLANT LEGEND

LEGEND

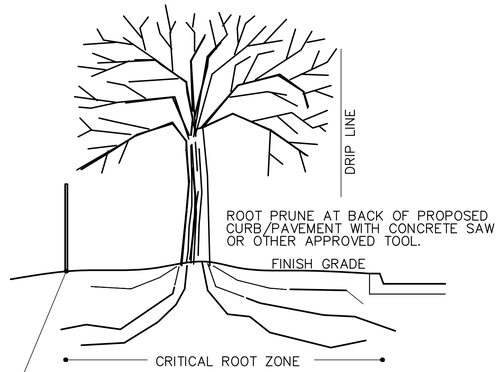
499 — EXISTING TREE TO BE PRESERVED/PROTECTED

499 — EXISTING TREE TO BE REMOVED BY PERMIT



*NOTE: NO PRUNING OF TREES MAY OCCUR UNLESS PRIOR NOTIFICATION TO CITY OF ROCKWALL ARBORIST.

TREE PRUNING
SCALE: NONE



INSTALL 6 FT ORANGE VINYL PROTECTIVE FENCE AT DRIP LINE – ALL PROTECTED TREES.

DO NOT PARK OR DRIVE VEHICLES OR CONSTRUCTION EQUIPMENT BENEATH DRIP LINE.

DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ARBORIST.

DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.

TREE PROTECTION FENCING/PRUNING
SCALE: NONE

DFL Group, LLC
PARKS + OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE
8233B MID CITIES BLVD, NORTH RICHLAND HILLS, TX 76180 817-479-0730

12/05/13

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No.	DATE	REVISION	APPROV.
3	01-10-14	ISSUE FOR BID	T.C.Y.
2	12-05-13	100% PERMIT AND REVIEW	T.C.Y.
1	10-24-13	80% REVIEW SET	T.C.Y.

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Texas Engineers Registration No. E9
Texas Surveyors Registration No. 100566-00

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SW 575

E. NEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

KROGER TEXAS L.P.
1331 E. AIRPORT FREEWAY
IRVING, TEXAS 75062

LANDSCAPE PLAN
HORIZON RIDGE ADDITION
KROGER SW575 – 2935 RIDGE ROAD
ROCKWALL, TEXAS

Scale: N/A
Date: DECEMBER 5, 2013
File: 31563-LAN
Project No.: 31563.01(20)

SHEET
L-3

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