

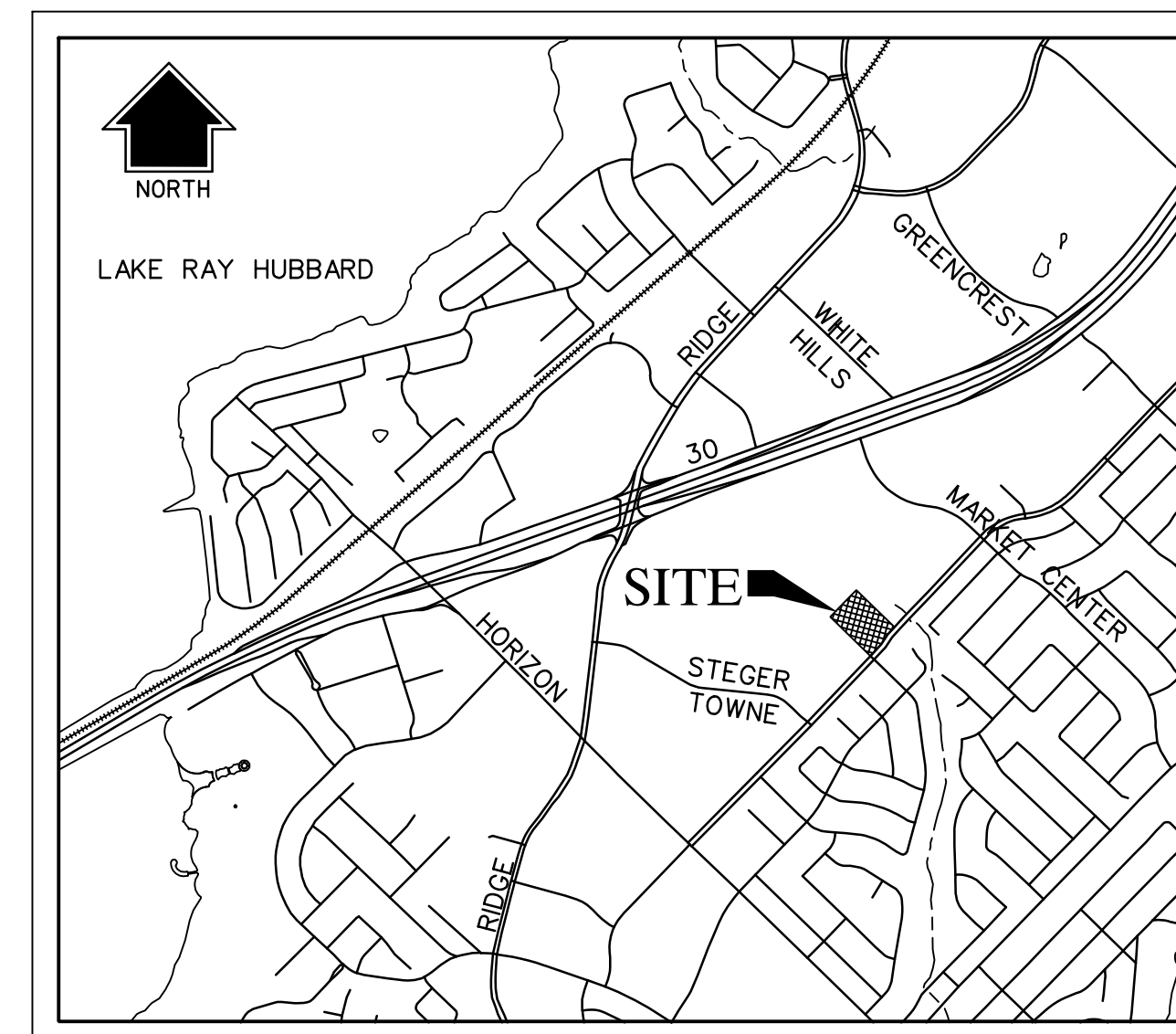
# ENGINEERING CONSTRUCTION PLANS FOR LAKE POINTE CHURCH

## SOUTHEAST PARKING LOT EXPANSION LOT 3, BLOCK A CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

### SHEET INDEX

	COVER SHEET
	FINAL PLAT
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*C1.01	

NOTES:  
\*FOR REFERENCE ONLY FROM RECORD DRAWINGS



LOCATION MAP  
N.T.S.  
MAPSCO NO. 30C-G



3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TEXAS 75034-8640  
TEL (214) 618-4570  
FAX (214) 618-4574  
TBPE FIRM #F-312

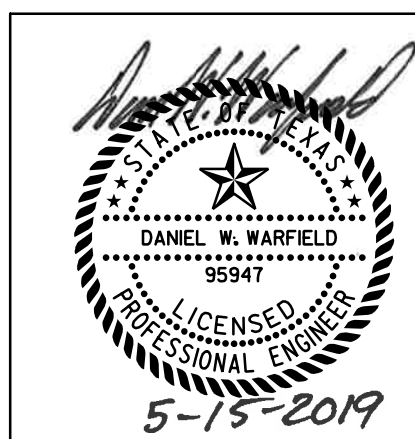
**RECORD DRAWING**

TO THE BEST OF OUR KNOWLEDGE  
HALFF ASSOCIATES, INC. HEREBY STATES  
THAT THIS PLAN IS A RECORD DRAWING.  
THESE RECORD DRAWINGS HAVE BEEN  
PREPARED BASED ON FIELD OBSERVATIONS,  
ON 09/10/2019, AND FIELD SURVEY  
WORK CONDUCTED AT THE SITE. THE  
ORIGINAL SEALED CONSTRUCTION  
DRAWINGS ARE ON FILE AT THE OFFICES  
OF:  
HALFF ASSOCIATES, INC., TBPE FIRM #312

ENGINEER OF RECORD:

*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBPE FIRM #312  
DATE 09/30/2019

Revision		
No.	Date	Description
1	09/30/2019	RECORD DRAWINGS



The seal appearing on this document was authorized by Daniel W. Warfield, P.E. 95947 on 05/15/19. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act. The record copy of this drawing is on file at the offices of Halff Associates, Inc., 3803 Parkwood Blvd., Frisco, Texas 75034. TBPE FIRM #F-312.

**OWNER / DEVELOPER**

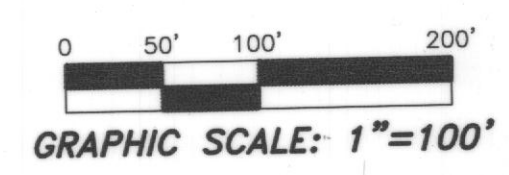
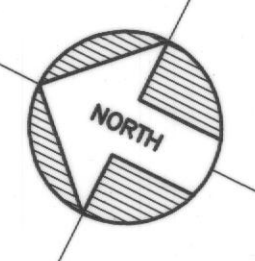
LAKE POINTE CHURCH- ROCKWALL CAMPUS  
701 INTERSTATE 30  
ROCKWALL, TX 75087  
CONTACT: JOHN WARDELL  
(PH) 469-698-2244

**CIVIL ENGINEER**

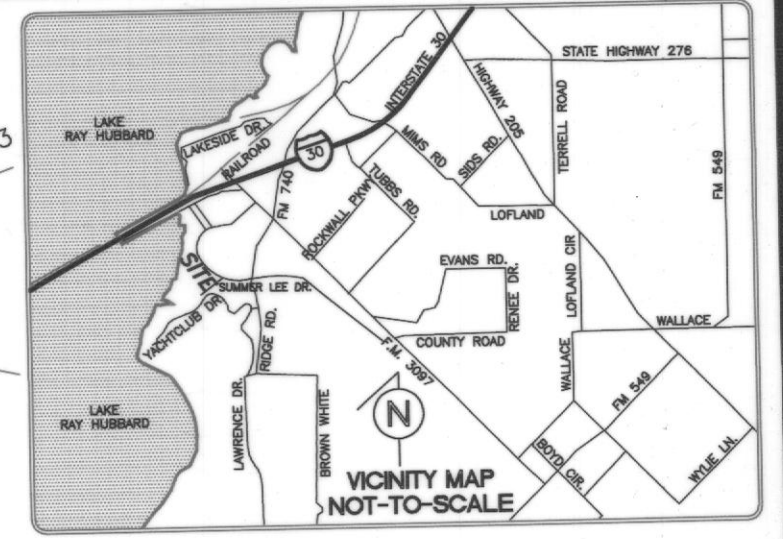
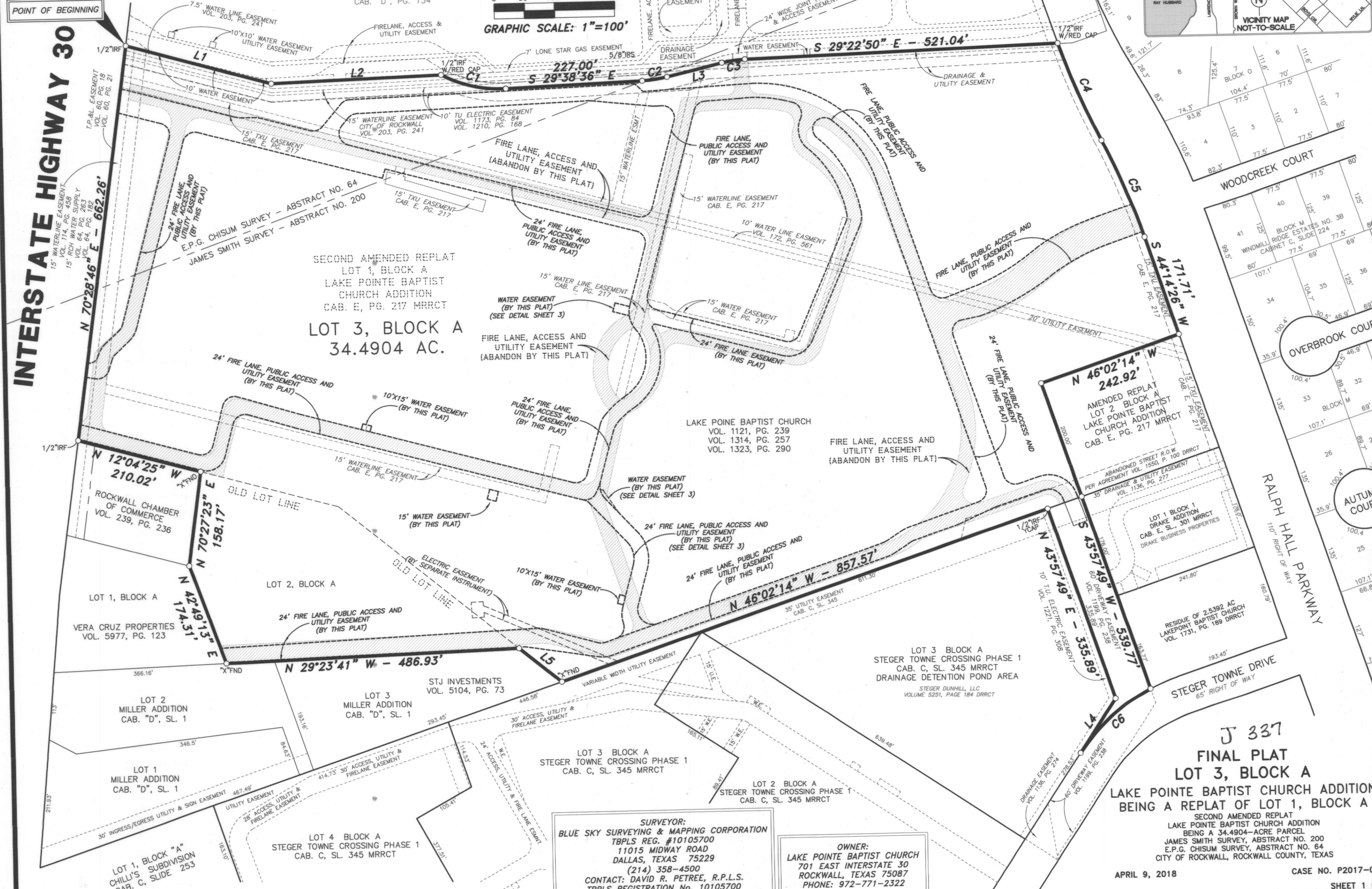
HALFF ASSOCIATES, INC.  
3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TX 75034  
TBPE FIRM #F-312  
CONTACT: DAN WARFIELD, P.E.  
(PH) 214-618-4570

NOTE:  
THE PURPOSE OF THIS PLAT IS TO ABANDON EXISTING AND DEDICATE NEW EASEMENTS.

= EXISTING EASEMENT TO BE ABANDONED BY THIS PLAT



**INTERSTATE HIGHWAY 30**



LOT 1A, BLOCK B  
RW MARKETCENTER ADDITION  
CAB. "D", PG. 134

SECOND AMENDED REPLAT  
LOT 1, BLOCK A  
LAKE POINTE BAPTIST  
CHURCH ADDITION  
CAB. E, PG. 217 MRRCT  
**LOT 3, BLOCK A**  
34.4904 AC.

LAKE POINTE BAPTIST CHURCH  
VOL. 1121, PG. 239  
VOL. 1314, PG. 257  
VOL. 1323, PG. 290

AMENDED REPLAT  
LOT 2, BLOCK A  
LAKE POINTE BAPTIST  
CHURCH ADDITION  
CAB. E, PG. 217 MRRCT

LOT 3 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT  
DRAINAGE DETENTION POND AREA  
STEGER DUNHILL, LLC  
VOLUME 5251, PAGE 184 DRCT

**J 337**  
**FINAL PLAT**  
**LOT 3, BLOCK A**  
**LAKE POINTE BAPTIST CHURCH ADDITION**  
BEING A REPLAT OF LOT 1, BLOCK A  
SECOND AMENDED REPLAT  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A 34.4904-ACRE PARCEL  
JAMES SMITH SURVEY, ABSTRACT NO. 200  
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**SURVEYOR:**  
BLUE SKY SURVEYING & MAPPING CORPORATION  
TBPLS REG. #10105700  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
(214) 358-4500  
CONTACT: DAVID R. PETREE, R.P.L.S.  
TBPLS REGISTRATION No. 10105700

**OWNER:**  
LAKE POINTE BAPTIST CHURCH  
701 EAST INTERSTATE 30  
ROCKWALL, TEXAS 75087  
PHONE: 972-771-2322

APRIL 9, 2018

CASE NO. P2017-048

SHEET 1 OF 4



~ EASEMENT LINE TABLE ~

NO.	BEARING	DISTANCE
L10	S70°28'46"W	72.02'
L11	S12°27'15"E	196.37'
L12	S27°42'55"E	19.26'
L13	S12°16'56"E	84.59'
L14	S77°24'22"E	48.77'
L15	S29°36'18"E	474.52'
L16	S17°01'31"W	19.00'
L17	S30°42'18"E	182.24'
L18	S44°00'31"W	219.95'
L19	S47°54'54"E	56.81'
L20	S46°20'41"E	59.74'
L21	S42°31'14"W	50.01'
L22	N46°20'41"W	60.73'
L23	N39°15'47"W	34.45'
L24	S43°50'33"W	249.48'
L25	S45°45'57"E	35.43'
L26	S42°17'11"W	7.88'
L27	N46°02'14"W	24.01'
L28	N42°17'11"E	7.18'
L29	N45°45'57"W	83.33'
L30	N51°42'01"W	63.97'
L31	N46°23'26"W	76.78'
L32	N59°53'58"W	35.10'
L33	N46°08'27"W	488.25'
L34	N18°33'21"W	123.63'
L35	N29°23'41"W	498.11'
L36	N42°49'13"E	25.11'
L37	S30°02'27"E	525.84'
L38	S11°51'30"E	91.71'
L39	S46°08'27"E	490.80'
L40	S59°53'58"E	35.10'
L41	S46°23'26"E	123.46'
L42	N43°59'46"E	540.14'
L43	S86°03'09"W	204.57'
L44	N12°24'29"W	215.32'
L45	S78°15'32"W	77.91'
L46	N12°20'35"W	490.68'
L47	N10°43'32"W	81.95'
L48	S77°32'09"W	56.30'
L49	N12°04'25"W	211.77'
L50	N70°28'46"E	24.20'
L51	S12°04'25"E	202.82'
L52	N77°32'09"E	68.96'
L53	S10°43'32"E	106.35'
L54	S12°20'35"E	468.27'
L55	N78°15'32"E	84.03'
L56	N77°43'40"E	102.79'
L57	N12°27'15"W	429.99'
L58	S80°33'58"W	16.02'
L59	N12°27'15"W	316.11'
L60	S77°34'02"W	320.98'
L61	N70°08'34"W	32.23'
L62	S80°01'01"W	18.65'
L63	N16°57'12"W	16.29'
L64	N70°28'46"E	24.04'
L65	S70°08'34"E	32.23'
L66	N77°34'02"E	320.96'
L67	N12°27'15"W	73.30'
L68	N70°28'46"E	40.31'
L69	S29°36'18"E	384.75'
L70	S21°19'01"E	100.63'
L71	S30°42'18"E	8.67'
L72	S77°43'40"W	150.28'
L73	N12°27'15"W	495.58'
L74	S77°24'22"E	16.96'
L75	N77°43'40"E	317.99'
L76	S31°03'47"E	55.81'
L77	S12°58'57"E	16.54'
L78	S86°03'09"W	204.57'
L79	N12°24'29"W	220.95'
L80	S46°08'27"E	19.31'
L81	N77°41'53"E	73.86'
L82	N19°41'53"E	90.84'
L83	S19°41'53"W	78.88'
L84	S77°41'53"W	64.48'
L85	N46°08'27"W	73.37'
L86	N19°41'52"E	44.77'
L87	N19°41'53"E	34.11'
L88	S12°16'27"E	4.88'
L89	S28°42'14"W	46.71'
L90	N12°20'35"W	138.26'
L91	S77°33'50"W	20.46'
L92	S77°33'50"W	16.74'
L93	N12°26'10"W	15.00'
L94	N77°33'50"E	16.75'
L95	S12°03'08"E	15.00'
L96	N12°16'20"W	28.44'
L97	N77°43'40"E	15.00'
L98	S12°16'20"E	25.18'

~ EASEMENT CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C10	44.00'	15°15'40"	11.72'	S20°05'05"E	11.69'
C11	44.00'	15°25'59"	11.85'	S19°59'56"E	11.82'
C12	20.00'	65°07'25"	22.73'	S44°50'39"E	21.53'
C13	20.00'	47°48'04"	16.69'	S53°30'20"E	16.21'
C14	230.52'	69°20'46"	279.01'	S05°23'15"W	262.29'
C15	20.00'	91°55'24"	32.09'	S01°57'11"E	28.76'
C16	394.06'	17°04'12"	117.40'	S58°59'07"E	116.97'
C17	366.93'	17°40'37"	113.20'	S53°34'10"E	112.76'
C18	332.28'	17°53'01"	103.71'	N54°41'18"W	103.29'
C19	407.45'	19°44'32"	140.39'	N56°23'43"W	139.70'
C20	19.69'	90°16'24"	31.02'	N89°38'56"W	27.91'
C21	20.00'	89°36'30"	31.28'	S00°57'42"E	28.19'
C22	49.00'	88°03'08"	75.30'	S01°44'23"E	68.11'
C23	25.00'	88°03'08"	38.42'	N01°44'23"W	34.75'
C24	44.00'	5°56'03"	4.56'	N48°43'59"W	4.56'
C25	44.00'	5°18'35"	4.08'	N49°02'43"W	4.08'
C26	20.00'	13°30'32"	4.72'	N53°08'42"W	4.70'
C27	44.00'	13°45'30"	10.57'	N53°01'12"W	10.54'
C28	44.00'	27°35'06"	21.18'	N32°20'54"W	20.98'
C29	44.00'	18°10'57"	13.96'	S20°56'58"E	13.90'
C30	20.00'	34°16'57"	11.97'	S28°59'59"E	11.79'
C31	20.00'	13°45'30"	4.80'	S53°01'12"E	4.79'
C32	44.00'	13°30'32"	10.37'	S53°08'42"E	10.35'
C33	20.00'	89°46'01"	31.33'	N88°43'34"E	28.23'
C34	211.45'	34°55'02"	128.86'	N27°12'04"E	126.88'
C35	19.14'	166°46'26"	55.72'	N71°48'46"W	38.03'
C36	210.95'	40°45'42"	150.07'	S32°22'05"W	146.93'
C37	44.00'	33°18'13"	25.58'	S69°24'02"W	25.22'
C38	44.00'	81°32'22"	62.62'	N53°10'40"W	57.47'
C39	5.00'	133°21'55"	11.64'	N79°05'26"W	9.18'
C40	99.55'	83°56'49"	145.86'	S76°12'01"W	133.16'
C41	133.94'	15°23'00"	35.96'	N67°18'07"W	35.85'
C42	44.00'	26°44'51"	20.54'	N88°22'03"W	20.35'
C43	96.69'	17°18'49"	29.22'	N82°33'30"E	29.11'
C44	20.00'	76°26'31"	26.68'	N50°33'50"W	24.75'
C45	20.00'	91°44'19"	32.02'	N56°35'41"W	28.71'
C46	32.00'	90°23'25"	50.48'	N57°16'08"W	45.41'
C47	20.00'	90°23'25"	31.55'	S57°16'08"E	28.38'
C48	20.00'	91°44'19"	32.02'	S56°35'41"E	28.71'
C49	20.00'	89°23'53"	31.21'	S57°02'32"E	28.14'
C50	44.00'	23°43'04"	18.21'	S89°52'56"E	18.08'
C51	157.94'	16°42'37"	46.06'	S69°40'06"E	45.90'
C52	75.55'	97°24'28"	128.45'	N72°19'32"E	113.53'
C53	44.00'	54°06'21"	41.55'	N50°40'29"E	40.02'
C54	20.00'	90°10'55"	31.48'	N32°38'12"E	28.33'
C55	20.00'	89°58'42"	31.41'	N57°26'36"W	28.28'
C56	44.00'	32°17'23"	24.80'	N86°17'16"W	24.47'
C57	20.00'	29°50'25"	10.42'	N85°03'47"W	10.30'
C58	20.00'	83°01'47"	28.98'	N58°28'06"W	26.51'
C59	15.00'	87°00'08"	22.78'	S58°15'27"E	20.65'
C60	44.00'	31°36'57"	24.28'	S85°57'03"E	23.97'
C61	20.00'	32°17'23"	11.27'	S86°17'16"E	11.12'
C62	20.00'	90°01'18"	31.42'	N32°33'24"E	28.29'
C63	44.00'	8°17'16"	6.36'	S25°27'40"E	6.36'
C64	44.00'	9°23'16"	7.21'	S26°00'40"E	7.20'
C65	20.00'	108°25'58"	37.85'	S23°30'41"W	32.45'
C66	20.00'	89°49'05"	31.35'	N57°21'48"W	28.24'
C67	20.00'	115°02'53"	40.16'	N45°04'12"E	33.74'
C68	20.00'	47°48'04"	16.69'	S53°30'20"E	16.21'
C69	20.00'	71°12'33"	24.86'	S66°40'03"E	23.29'
C70	228.59'	18°44'25"	74.77'	S24°25'35"E	74.43'
C71	20.01'	97°03'32"	33.90'	S37°38'09"W	29.99'
C72	43.14'	67°44'04"	51.00'	S54°16'34"W	48.09'
C73	186.95'	41°23'50"	135.07'	S32°03'01"W	132.16'
C74	20.00'	33°18'13"	11.63'	S69°24'03"W	11.46'
C75	20.00'	81°32'22"	28.46'	N53°10'40"W	26.12'
C76	20.00'	90°08'09"	31.46'	N32°39'36"E	28.32'
C77	20.00'	90°00'00"	31.42'	N88°51'33"E	28.28'
C78	44.00'	33°50'20"	25.99'	N60°46'43"E	25.61'
C79	40.00'	58°00'00"	40.49'	N48°41'53"E	38.78'
C80	20.00'	31°40'23"	11.06'	N03°51'41"E	10.92'
C81	20.00'	68°19'08"	23.85'	S54°37'31"E	22.46'
C82	96.69'	12°14'10"	20.65'	N85°05'49"E	20.61'
C83	30.00'	56°22'12"	29.52'	S47°52'58"W	28.34'
C84	64.00'	58°00'00"	64.79'	S48°41'53"W	62.06'
C85	25.00'	123°50'20"	54.03'	S15°46'43"W	44.11'
C86	30.00'	32°36'26"	17.07'	N36°00'06"E	16.84'
C87	44.00'	31°47'26"	24.41'	S39°31'02"W	24.10'
C88	44.00'	20°05'31"	15.43'	S65°27'30"W	15.35'
C89	44.00'	2°13'24"	1.71'	S76°36'58"W	1.71'

~ BOUNDARY LINE TABLE ~

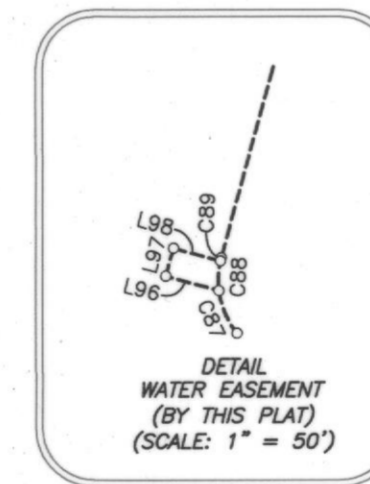
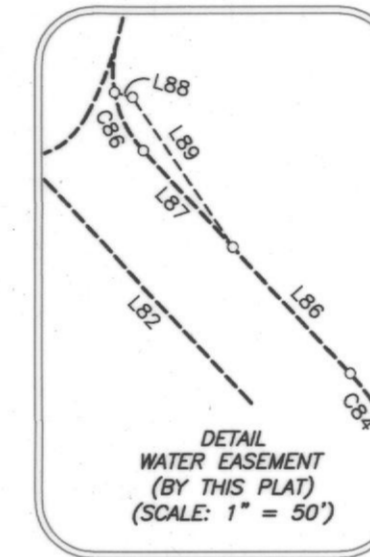
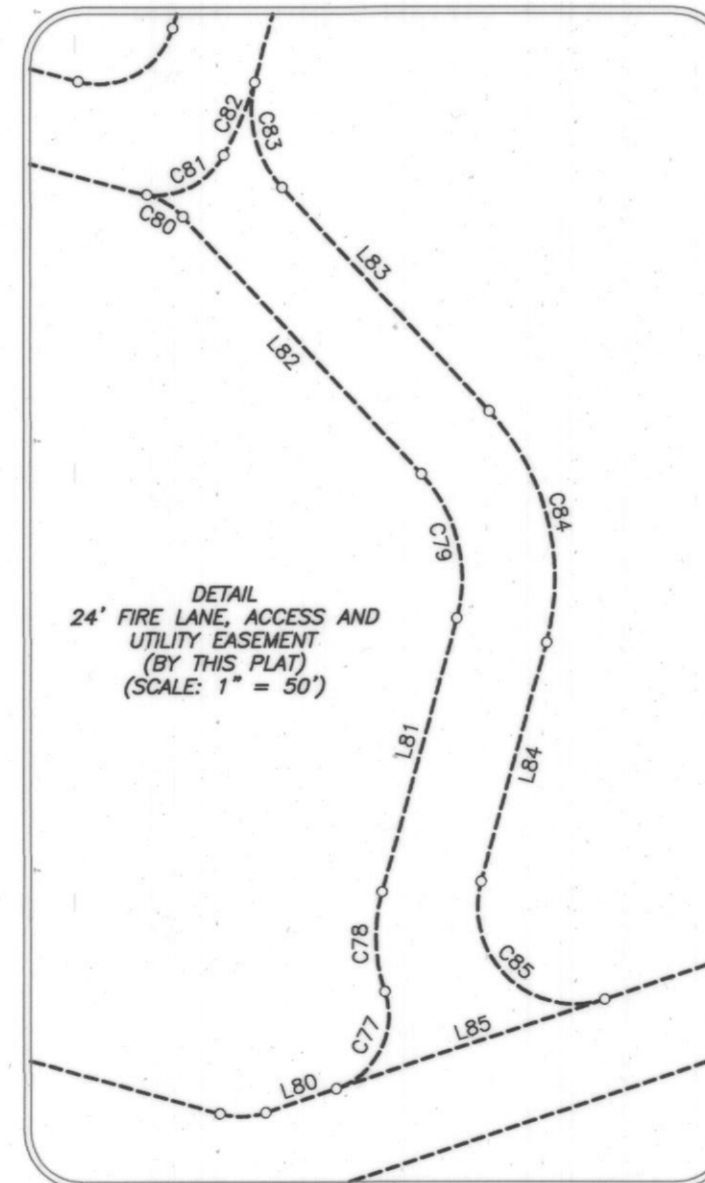
NO.	BEARING	DISTANCE
L1	S 11°47'11" E	249.84'
L2	S 29°22'50" E	282.69'
L3	S 41°04'08" E	94.02'
L4	S 83°42'50" E	108.03'
L5	N 11°47'11" E	90.49'

~ BOUNDARY CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	210.00'	30°23'51"	111.41'	S 14°26'40" E	110.11'
C2	210.00'	11°25'32"	41.88'	S 35°21'22" E	41.81'
C3	190.00'	11°41'18"	38.76'	S 35°13'29" E	38.69'
C4	1250.00'	08°10'23"	178.31'	S 39°29'51" W	178.16'
C5	1150.00'	08°49'46"	177.22'	S 39°49'33" W	177.04'
C6	315.00'	29°05'23"	159.93'	N 69°09'56" W	158.22'

NOTE:

THE PURPOSE OF THIS PLAT IS TO ABANDON EXISTING AND DEDICATE NEW EASEMENTS.



SURVEYOR:  
BLUE SKY SURVEYING & MAPPING CORPORATION  
TBPLS REG. #10105700  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
(214) 358-4500  
CONTACT: DAVID R. PETREE, R.P.L.S.  
TBPLS REGISTRATION No. 10105700

OWNER:  
LAKE POINTE BAPTIST CHURCH  
701 EAST INTERSTATE 30  
ROCKWALL, TEXAS 75087  
PHONE: 972-771-2322

J 339  
FINAL PLAT  
LOT 3, BLOCK A  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A REPLAT OF LOT 1, BLOCK A  
SECOND AMENDED REPLAT  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A 34.4904-ACRE PARCEL  
JAMES SMITH SURVEY, ABSTRACT NO. 200  
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APRIL 9, 2018

CASE NO. P2017-048

SHEET 3 OF 4

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, LAKEPOINTE BAPTIST CHURCH IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64 AND THE JAMES SMITH SURVEY, ABSTRACT NO. 200 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF LOT 1 IN BLOCK A OF SECOND AMENDED REPLAT OF LOT 1 IN BLOCK A OF LAKE POINT BAPTIST CHURCH ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET E, SLIDE 217 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THOSE TRACTS OF LAND AS DESCRIBED IN WARRANTY DEED TO THE CHURCH ON THE ROCK AS RECORDED IN VOLUME 286, PAGE 11 AND VOLUME 248, PAGE 323 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 30, SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 1 IN BLOCK A;

THENCE FOLLOWING ALONG THE EAST LINE OF SAID LOT IN BLOCK A OF LAKE POINT BAPTIST CHURCH ADDITION AND THE WEST LINE OF SAID LOT 1A IN BLOCK B OF RW MARKETCENTER ADDITION THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) THROUGH (8);

- 1. SOUTH 11' 47' 11" EAST FOR A DISTANCE OF 249.84 FEET TO A POINT FOR CORNER;
2. SOUTH 29' 22' 50" EAST FOR A DISTANCE OF 282.69 FEET TO A 1/2" IRON ROD WITH RED CAP FOUND FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 210.00 FEET WITH A CENTRAL ANGLE OF 30' 23' 51" AND A CHORD BEARING SOUTH 14' 26' 40" EAST AT A DISTANCE OF 110.11 FEET;
3. SOUTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT FOR AN ARC DISTANCE OF 111.41 FEET TO A POINT FOR CORNER;
4. SOUTH 29' 38' 36" EAST FOR A DISTANCE OF 227.00 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 210.00 FEET WITH A CENTRAL ANGLE OF 11' 25' 32" AND A CHORD BEARING SOUTH 35' 21' 22" EAST AT A DISTANCE OF 41.81 FEET;
5. SOUTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT FOR AN ARC DISTANCE OF 41.88 FEET TO A POINT FOR CORNER;
6. SOUTH 41' 04' 08" EAST FOR A DISTANCE OF 94.02 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 190.00 FEET WITH A CENTRAL ANGLE OF 11' 41' 18" AND A CHORD BEARING SOUTH 35' 13' 29" EAST AT A DISTANCE OF 38.69 FEET;
7. SOUTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 38.76 FEET TO A POINT FOR CORNER;
8. SOUTH 29' 22' 50" EAST FOR A DISTANCE OF 521.04 FEET TO A 1/2" IRON ROD WITH RED CAP FOUND FOR CORNER, SAID POINT BEING THE SOUTHEASTERLY CORNER OF AFORESAID LOT 1 IN BLOCK A OF LAKEPOINTE BAPTIST CHURCH ADDITION AND BEING IN THE NORTHWEST RIGHT-OF-WAY LINE OF RALPH HALL PARKWAY (110' RIGHT-OF-WAY), SAID POINT ALSO BEING THE SOUTHWEST CORNER OF AFORESAID LOT 1A IN BLOCK B OF RW MARKETCENTER ADDITION, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 1250.00 FEET WITH A CENTRAL ANGLE OF 08' 10' 23" AND A CHORD BEARING SOUTH 39' 29' 51" WEST AT A DISTANCE OF 178.16 FEET;

THENCE SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT AND ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY FOR AN ARC DISTANCE OF 178.31 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1150.00 FEET WITH A CENTRAL ANGLE OF 08' 49' 46" AND A CHORD BEARING SOUTH 39' 49' 33" WEST AT A DISTANCE OF 177.04 FEET;

THENCE SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY FOR AN ARC DISTANCE OF 177.22 FEET TO A POINT FOR CORNER;

THENCE SOUTH 44' 14' 26" WEST AND CONTINUING ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY FOR A DISTANCE OF 171.71 FEET TO A POINT FOR CORNER, SAID POINT BEING THE EASTERLY CORNER OF LOT 2 IN BLOCK A OF AMENDED REPLAT OF LAKE POINTE BAPTIST CHURCH ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET E, SLIDE 217 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 46' 02' 14" WEST AND DEPARTING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY AND ALONG THE COMMON LINE OF AFORESAID LOTS 1 AND 2 IN BLOCK A OF LAKEPOINTE BAPTIST CHURCH ADDITION FOR A DISTANCE OF 242.92 FEET TO A POINT FOR CORNER;

THENCE SOUTH 43' 57' 49" WEST ALONG THE COMMON LINE OF AFORESAID LOTS 1 AND 2 IN BLOCK A OF LAKEPOINTE BAPTIST CHURCH ADDITION AND PASSING THE WESTERLY CORNER OF SAID LOT 2 AND THE NORTHERLY CORNER OF LOT 1 IN BLOCK 1 OF DRAKE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET E, SLIDE 301 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS AND ALONG THE SOUTHEASTERLY LINE OF A 60' DRIVEWAY EASEMENT FOR A DISTANCE OF 539.77 FEET TO A POINT FOR CORNER IN THE NORTHEAST RIGHT-OF-WAY LINE OF STEGER TOWNE DRIVE (65' RIGHT-OF-WAY), SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 315.00 FEET WITH A CENTRAL ANGLE OF 29' 05' 23" AND A CHORD BEARING NORTH 69' 09' 56" WEST AT A DISTANCE OF 158.22 FEET;

THENCE NORTHWESTERLY ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF SAID STEGER TOWNE DRIVE FOR AN ARC DISTANCE OF 159.93 FEET TO A POINT FOR CORNER, SAID POINT BEING IN THE SOUTH LINE OF LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "C", SLIDE 345 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT ALSO BEING IN THE SOUTH LINE OF A TRACT OF LAND DESCRIBED IN DEED TO STEGER DUNHILL, LLC AS RECORDED IN VOLUME 5251, PAGE 184 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 83' 42' 50" EAST ALONG THE SOUTH LINE OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 AND THE COMMON NORTH LINE OF SAID 60' DRIVEWAY EASEMENT FOR A DISTANCE OF 108.03 FEET TO A POINT FOR CORNER;

THENCE NORTH 43' 57' 49" EAST ALONG THE EASTERLY LINE OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 AND THE COMMON NORTH LINE OF SAID 60' DRIVEWAY EASEMENT FOR A DISTANCE OF 335.89 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING THE EASTERLY CORNER OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 ADDITION AND BEING IN THE WESTERLY LINE OF LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION;

THENCE NORTH 46' 02' 14" WEST ALONG THE WESTERLY LINE OF SAID LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION AND THE NORTHEASTERLY LINE OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 FOR A DISTANCE OF 857.57 FEET TO AN "X" CUT IN CONCRETE FOUND FOR CORNER, SAID POINT BEING THE MOST SOUTHERLY SOUTHEAST CORNER OF LOT 3 OF MILLER ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 1 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 11' 47' 11" EAST ALONG THE COMMON LINE OF SAID LOT 3 OF MILLER ADDITION AND SAID LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION FOR A DISTANCE OF 90.49 FEET TO A POINT FOR CORNER;

THENCE NORTH 29' 23' 41" WEST ALONG THE EASTERLY LINE OF SAID MILLER ADDITION AND THE WEST LINE OF SAID LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION FOR A DISTANCE OF 486.93 FEET TO AN "X" CUT IN CONCRETE FOUND FOR CORNER, SAID POINT BEING IN THE EAST LINE OF LOT 2 OF SAID MILLER ADDITION, SAID POINT ALSO BEING THE SOUTHERLY CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO VERA CRUZ PROPERTIES AS RECORDED IN VOLUME 5977, PAGE 123 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 42' 49' 13" EAST ALONG THE SOUTH LINE OF SAID VERA CRUZ TRACT FOR A DISTANCE OF 174.31 FEET TO A POINT FOR CORNER, SAID POINT BEING THE SOUTHEAST CORNER OF SAID VERA CRUZ TRACT AND THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL CHAMBER OF COMMERCE AS RECORDED IN VOLUME 239, PAGE 236 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 70' 27' 23" EAST ALONG THE SOUTH LINE OF SAID ROCKWALL CHAMBER OF COMMERCE FOR A DISTANCE OF 158.17 FEET TO AN "X" CUT IN CONCRETE FOUND FOR CORNER;

THENCE NORTH 12' 04' 25" WEST ALONG THE EAST LINE OF SAID ROCKWALL CHAMBER OF COMMERCE FOR A DISTANCE OF 210.02 FEET TO A 1/2" IRON ROD FOUND FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 30;

THENCE NORTH 70' 28' 46" EAST FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 30 FOR A DISTANCE OF 662.26 FEET TO THE POINT OF BEGINNING AND CONTAINING 34.4904 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 3, BLOCK A, LAKE POINTE BAPTIST CHURCH ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LAKE POINTE BAPTIST CHURCH ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING;

- (1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ADJUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

NOTE: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE 10th DAY OF April, 2018.

LAKE POINTE CHURCH
BY: John Wardell, Trustee

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN WARDELL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 10th DAY OF April, 2018.

BRAD BASSETT
Commission # 11771880
My Commission Expires
October 20, 2019



Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
05/18/2018 02:28:09 PM
\$200.00
20180000006587

COPY



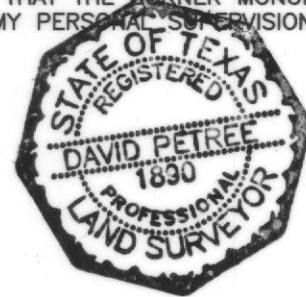
SURVEYOR:
BLUE SKY SURVEYING & MAPPING CORPORATION
TBPLS REG. #10105700
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
(214) 358-4500
CONTACT: DAVID R. PETREE, R.P.L.S.
TBPLS REGISTRATION No. 10105700

OWNER:
LAKE POINTE BAPTIST CHURCH
701 EAST INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 972-771-2322

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890

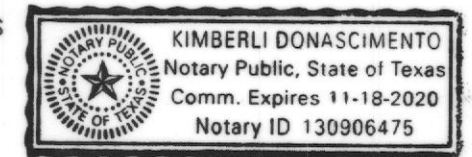


STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID PETREE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 10 DAY OF April, 2018.

Kimberli Donascimento
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:



RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE 2 DAY OF October, 2018.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS 15th DAY OF May, 2018.

Shelli Miller, Mayor, City of Rockwall
Kirsty Cole, City Secretary
Amy Willis, City Engineer



J 340
FINAL PLAT
LOT 3, BLOCK A
LAKE POINTE BAPTIST CHURCH ADDITION
BEING A REPLAT OF LOT 1, BLOCK A
SECOND AMENDED REPLAT
LAKE POINTE BAPTIST CHURCH ADDITION
BEING A 34.4904-ACRE PARCEL
JAMES SMITH SURVEY, ABSTRACT NO. 200
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**GENERAL NOTES:**

1. All work shall conform to the requirements of the City of Rockwall Standard of Design and shall be in accordance with the specifications for this project, these plans, and the North Central Texas Council of Governments (NCTCOG) Standard Specifications for Public Works Construction, 4th Edition.
2. Contractor is responsible for, and must obtain prior to construction, all necessary construction permits required by the City of Rockwall.
3. The Contractor shall abide by all applicable federal, state, and local laws governing excavation. The Contractor shall provide detailed plans and specifications for trench safety systems that comply with applicable laws governing excavation. These plans shall be sealed by an Engineer experienced in the design of trench safety systems and licensed by the State of Texas. Submit plan to the Owner prior to commencing work. The Contractor shall be solely responsible for all aspects of work related to excavation.
4. Existing utility locations shown are taken from available records provided by the utility Owner and field locations of surface appurtenances. Locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. Some utility lines may not be shown. Contractor shall assume responsibility for actual field location and protection of existing facilities whether shown or not. Contractor shall also assume responsibility for repairs to existing facilities, whether shown or not, damaged by contractor's activities. Differences in horizontal or vertical location of existing utilities shall not be a basis for additional expense.
5. Contractor shall locate and adjust existing utility manhole lids, cleanouts, water valves and other surface appurtenances as required for new construction. Contractor shall coordinate utility adjustments with other disciplines and the appropriate utility agencies and provide for all fees for permits, connections, inspections, etc.
6. The Contractor shall protect existing property monumentation and primary control. Any such points which the Contractor believes will be destroyed shall have offset points established by the Contractor prior to construction. Any monumentation destroyed by the Contractor shall be reestablished at his expense.
7. Any damages that may occur to real property or existing improvements shall be restored by the Contractor to at least the same condition that the real property or existing improvements were in prior to the damages. This restoration shall be subject to the Owner's approval; moreover, this restoration shall not be a basis for additional compensation to the Contractor. Restoration shall include, but not be limited to, regrading, revegetation, replacing fences, replacing trees, etc.
8. It shall be the responsibility of the Contractor to:
  - A. Prevent any damage to private property and property owner's poles, fences, shrubs, etc.
  - B. Provide access to all drives during construction.
  - C. Protect all underground utilities to remain in service.
  - D. Notify all utility companies and verify location of all utilities prior to start of construction.
9. Contractor shall maintain positive drainage at all time during construction. Ponding of water in streets, drives, truck courts, trenches, etc. will not be allowed.
10. Contractor shall maintain existing sanitary sewer and water service at all times during construction.
11. Contractor is responsible for coordination with utility companies and adjustment of existing sanitary sewer cleanouts, water meters and any other appurtenances to new grade as required.
12. Pavement removal and repair shall conform to the City of Rockwall requirements. All sawcuts shall be full depth cuts. Contractor shall make efforts to protect concrete and/or asphalt edges. Any large spalled or broken edges shall be removed by sawcutting pavement prior to replacement.
13. Fire service shall be sized and designed by a State of Texas licensed fire protection engineer/contractor registered in the State of Texas.
14. All underground fire lines shall be installed by a state licensed fire protection contractor.
15. All utility crossings shall comply with TCEQ Chapter 217 and 290 regulations and city requirements.

**EROSION CONTROL NOTES**

1. Refer to the Erosion Control Sheets, sheets C3.01 and C3.02, for Erosion Control notes.

**DEMOLITION NOTES:**

1. For additional extents for demolition, refer to grading, storm drainage, paving, and dimension control, water and sanitary sewer plans.
2. Information provided on this plan does not delineate any underground foundation or objects that currently may be covered.
3. The contract shall be responsible for proper removal and disposal of materials as required by the Owner or Owner's representative.

**GRADING NOTES:**

1. No grading or earthwork shall commence until filing of a Notice of Intent to the Texas Commission of Environmental Quality (TCEQ) if applicable and Implementation of the Storm water Pollution Prevention Plan by the Contractor. A site erosion control plan and stormwater pollution prevention plan shall be prepared and provided to the City of Rockwall by others prior to start of construction.
2. The existing ground surface shall be stripped of vegetation, roots, old construction debris, and other organic materials. Material unsuitable for fill shall be removed from the site and properly disposed of.
3. The subgrade should be firm and able to support the construction equipment without displacement. Soft or yielding subgrade should be corrected and made stable before construction proceeds. The subgrade shall be proof rolled using a heavy pneumatic tire roller, loaded dump truck or similar piece of heavy equipment.
4. All areas to receive fill shall be stripped of vegetation and the top six (6) inches scarified prior to receiving any fill. Fill material shall be placed in loose lifts not exceeding 8-inches in uncompacted thickness. The fill material shall be uniform with respect to material type and moisture content. Clods and chunks of material shall be broken down and the fill material mixed by disking, blading, or plowing, as necessary, so that a material of uniform moisture and density is obtained for each lift. Water required to bring the fill material to the proper moisture content should be sprinkled evenly through each layer.
5. The on-site soils are suitable for use in site grading. Imported fill material shall be clean soil with a Liquid Limit less than 40 and no rock greater than 4 inches in maximum dimension. The fill material shall be free of vegetation and debris.
6. The fill material shall be compacted between 95 and 98 percent of the maximum dry density as determined by the Standard Proctor test, ASTM D 698. In conjunction with the compacting operation, the fill material shall be brought to the proper moisture content. The moisture content of the compacted soils should be maintained between -2 and +2 percent of the optimum value (determined from ASTM D 698). All fill to be compacted using a sheep's foot roller.
7. The Contractor shall administer sprinklers for dust control, earthwork or base construction as required or as directed by the Engineer in accordance with the TXDOT Standard Specification for Construction, Item 204-Sprinkling.
8. Contractor's work shall include pavement removal and disposal required for new walk, drive, curb, gutter and other grading features. Contractor shall be responsible for all coordination, inspection and testing required by the Owner and/or the City of Rockwall.
9. All sidewalks shall maintain 2% cross slope maximum. Longitudinal slopes along sidewalks and accessible routes shall not exceed 5% in the direction of travel. Slopes within designated handicap parking or loading areas shall not exceed 2% in any direction.
10. 4:1 Horizontal: Vertical is the maximum allowable slope within the earthen areas.
11. Site grading and pavement subgrade shall be prepared in accordance with the Geotechnical Report No. G161157 prepared by ALPHA TESTING dated 06/10/2016.
12. Proposed spot elevations represent gutter elevation unless noted otherwise.

**PAVING NOTES:**

1. Pavement removal and repair shall conform to City of Rockwall requirements. All sawcuts shall be full depth cuts. Contractor shall make efforts to protect concrete. Any large spalled or broken edges shall be removed by sawcutting pavement prior to replacement.
2. Contractor's work shall include pavement removal and disposal required for new walk, drive, curb, gutter and other paving features. Contractor shall be responsible for all coordination, inspection and testing required by the Owner and/or the City of Rockwall.
3. Concrete paving joints shall be constructed as recommended in the geotechnical report noted below. Expansion joints shall be placed at changes in direction of paving, at driveways and/or as shown on the drawings. Seal all joints as shown on the drawings.
4. Paving sections shall be sawcut in 15' x15' squares.
5. Site grading and pavement subgrade shall be prepared in accordance with the Geotechnical Report No. G161157 prepared by ALPHA TESTING dated 06/10/2016.
6. Unless otherwise indicated on plans, all dimensions are to face of curb or face of building and are perpendicular to property line. These dimensions are provided to tie the Architect's Site Plan to the property lines.
7. All sidewalks and handicap parking areas shall meet current ADA standards for minimum and maximum slopes.

**RECORD DRAWING**

TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON FIELD OBSERVATIONS, ON 09/30/2019, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THE ORIGINAL, SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF: HALFF ASSOCIATES, INC., TPBE FIRM #312

ENGINEER OF RECORD:

*Daniel W. Warfield*  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC. TPBE FIRM #312  
 DATE 09/30/2019

BENCHMARKS				
#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

**LAKE POINTE CHURCH**  
**SOUTHEAST PARKING LOT EXPANSION**  
 701 Interstate 30 Rockwall, TX 75087



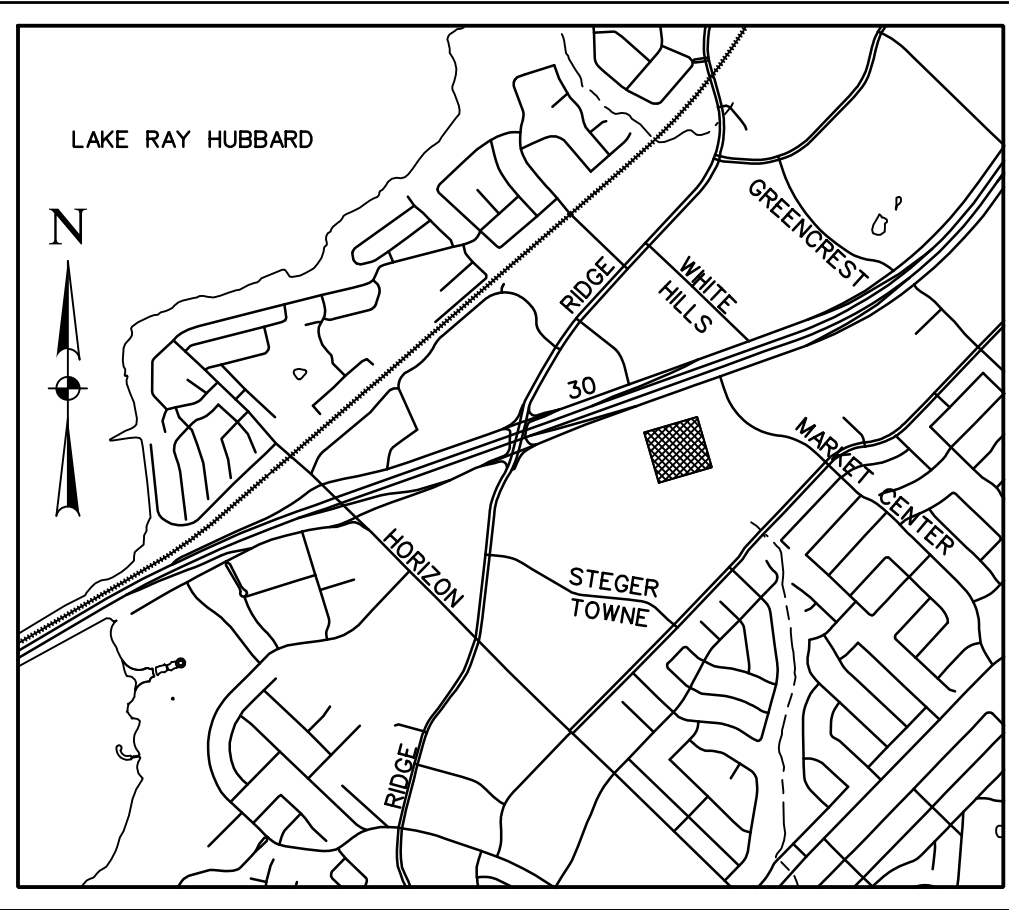
Revision No.	Date	Description
1	09/30/2019	RECORD DRAWINGS



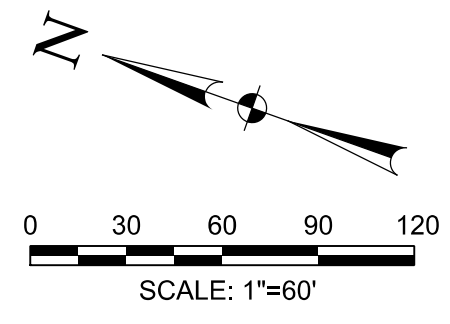
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Project No.: 35866  
 Issued: 9/30/2019  
 Drawn By: CAD  
 Checked By: DWW  
 Scale: AS NOTED

Sheet Title  
**GENERAL NOTES**  
**C0.02**  
 Sheet Number

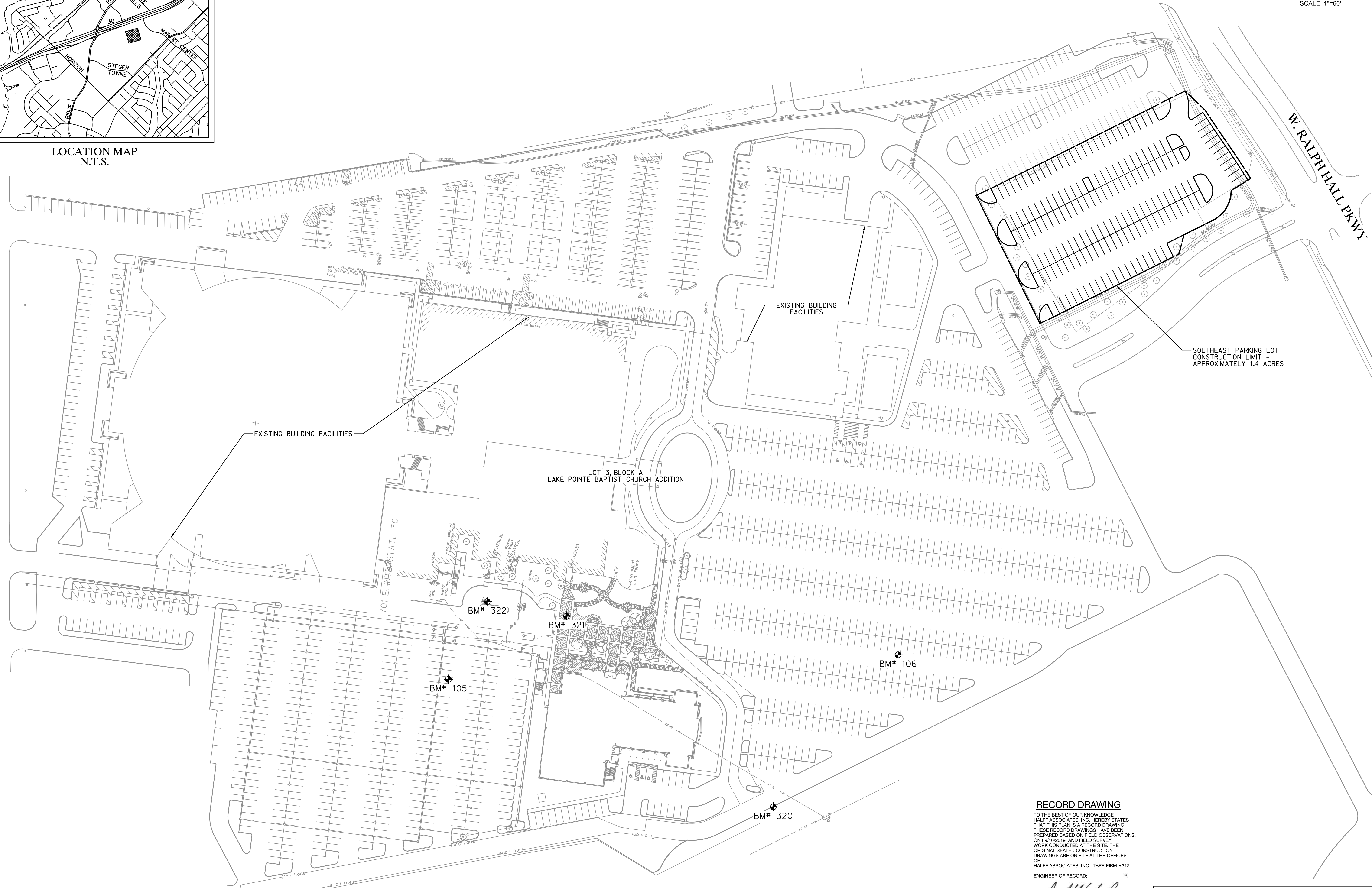


LOCATION MAP  
N.T.S.



I-30 FRONTAGE ROAD

W. RALPH HALL PKWY



LOT 3, BLOCK A  
LAKE POINTE BAPTIST CHURCH ADDITION

EXISTING BUILDING FACILITIES

EXISTING BUILDING FACILITIES

SOUTHEAST PARKING LOT  
CONSTRUCTION LIMIT =  
APPROXIMATELY 1.4 ACRES

BM# 322

BM# 321

BM# 105

BM# 106

BM# 320

701 INTERSTATE 30

**RECORD DRAWING**

TO THE BEST OF OUR KNOWLEDGE  
HALFF ASSOCIATES, INC. HEREBY STATES  
THAT THIS PLAN IS A RECORD DRAWING.  
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ON 08/10/2019, AND FIELD SURVEY  
WORK CONDUCTED AT THE SITE. THE  
ORIGINAL SEALED CONSTRUCTION  
DRAWINGS ARE ON FILE AT THE OFFICES  
OF:  
HALFF ASSOCIATES, INC., TPBE FIRM #312

ENGINEER OF RECORD:

*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TPBE FIRM #312  
DATE 09/30/2019

BENCHMARKS				
#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

**LAKE POINTE CHURCH**  
**SOUTHEAST PARKING LOT EXPANSION**  
701 Interstate 30 Rockwall, TX 75087



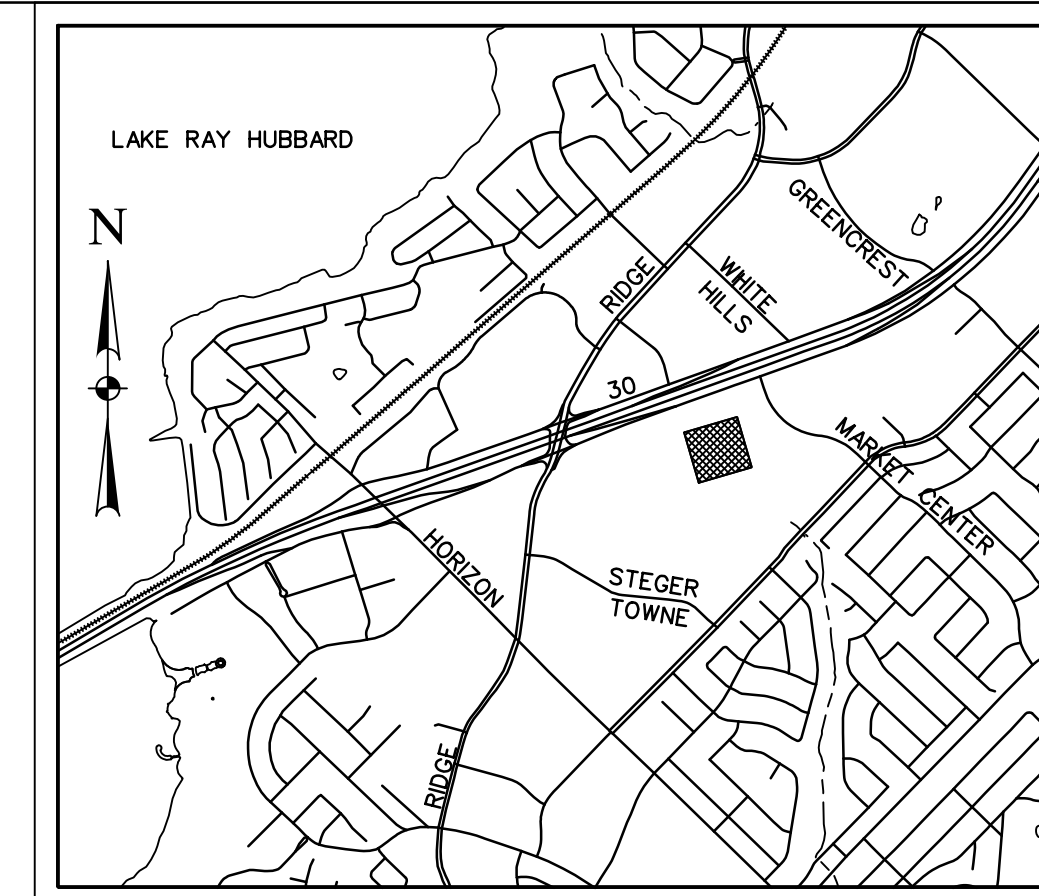
Revision No.	Date	Description
1	09/30/2019	RECORD DRAWINGS



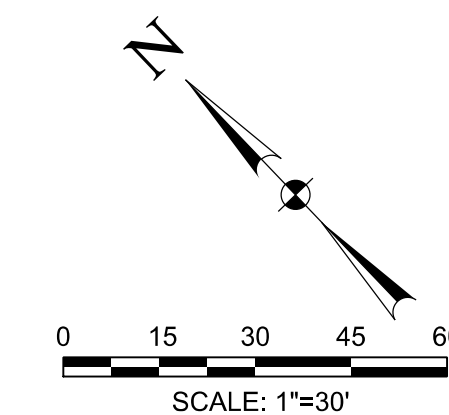
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Project No.:	35866
Issued:	9/30/2019
Drawn By:	CAD
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	SITE LOCATION PLAN
Sheet Number	C1.01

**CAUTION!!!**  
EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)



LOCATION MAP  
N.T.S.



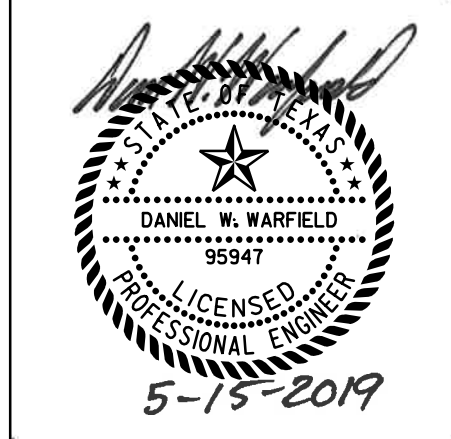
**LEGEND:**

- EX. F/O --- EXISTING FIBER OPTIC
- EX. TEL --- EXISTING TELEPHONE LINE
- EX. GAS --- EXISTING GAS LINE
- EX. SS --- EXISTING SANITARY SEWER
- EX. OHE --- EXISTING OVERHEAD ELECTRIC
- EX. UGE --- EXISTING UNDERGROUND ELECTRIC
- EX. WL --- EXISTING WATER LINE
- 455 --- STORM SEWER
- 454 --- MAJOR CONTOUR LINE
- 460 --- MINOR CONTOUR LINE
- 461 --- EXISTING MAJOR CONTOUR LINE
- --- EXISTING MINOR CONTOUR LINE
- --- PROPERTY LINE
- --- EASEMENT LINE
- --- ASPHALT
- PP --- POWER POLE
- --- SANITARY SEWER MANHOLE
- --- WATER VALVE
- --- FIRE HYDRANT
- ⊗ --- WATER METER

**LAKE POINTE CHURCH**  
**SOUTHEAST PARKING LOT EXPANSION**  
701 Interstate 30 Rockwall, TX 75087



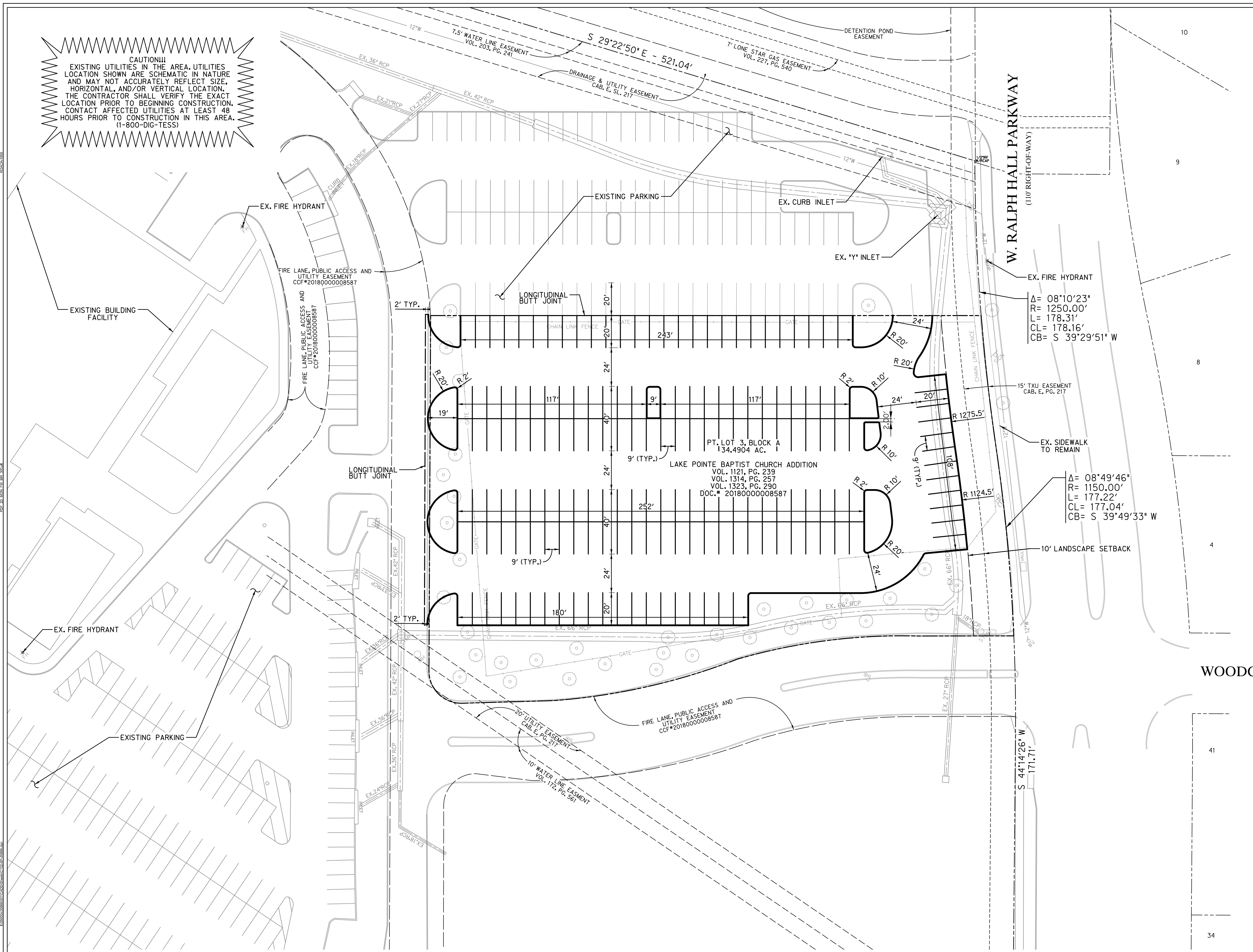
Revision No.	Date	Description
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Issued:	9/30/2019
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Checked By:	DWW
Scale:	AS NOTED
Sheet Title	SITE PLAN

**C1.02**  
Sheet Number



PARKING TABLE	
ZONING	COMMERCIAL
PROPOSED USE	CHURCH
ARTIFICIAL LOT AREA (SF/AC)	77,248 SF / 1.77 AC
BUILDING AREA (SF)	N/A
BUILDING HEIGHT	N/A
TOTAL PARKING REQUIRED	N/A
TOTAL PARKING PROVIDED	169 SPACES

**OWNER / DEVELOPER**  
JOHN WARDELL  
LAKE POINTE CHURCH- ROCKWALL CAMPUS  
701 INTERSTATE 30  
ROCKWALL, TX 75087  
(PH) 469-698-2244

**CIVIL ENGINEER**  
HALFF ASSOCIATES, INC.  
3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TX 75034  
TBPE FIRM #F-312  
CONTACT: DAN WARFIELD, P.E.  
(PH) 214-618-4570

**RECORD DRAWING**  
TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON FIELD OBSERVATIONS, ON 09/10/2019, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THE ORIGINAL SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF:  
HALFF ASSOCIATES, INC., TBPE FIRM #312  
ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBPE FIRM #312  
DATE 09/30/2019

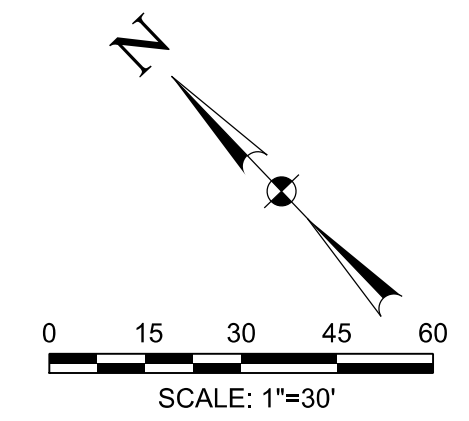
**SITE PLAN**  
**LAKE POINTE CHURCH**  
**PART OF LOT 3, BLOCK A**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**  
**MARCH, 2019**

CASE #: \_\_\_\_\_



# LAKE POINTE CHURCH SOUTHEAST PARKING LOT EXPANSION

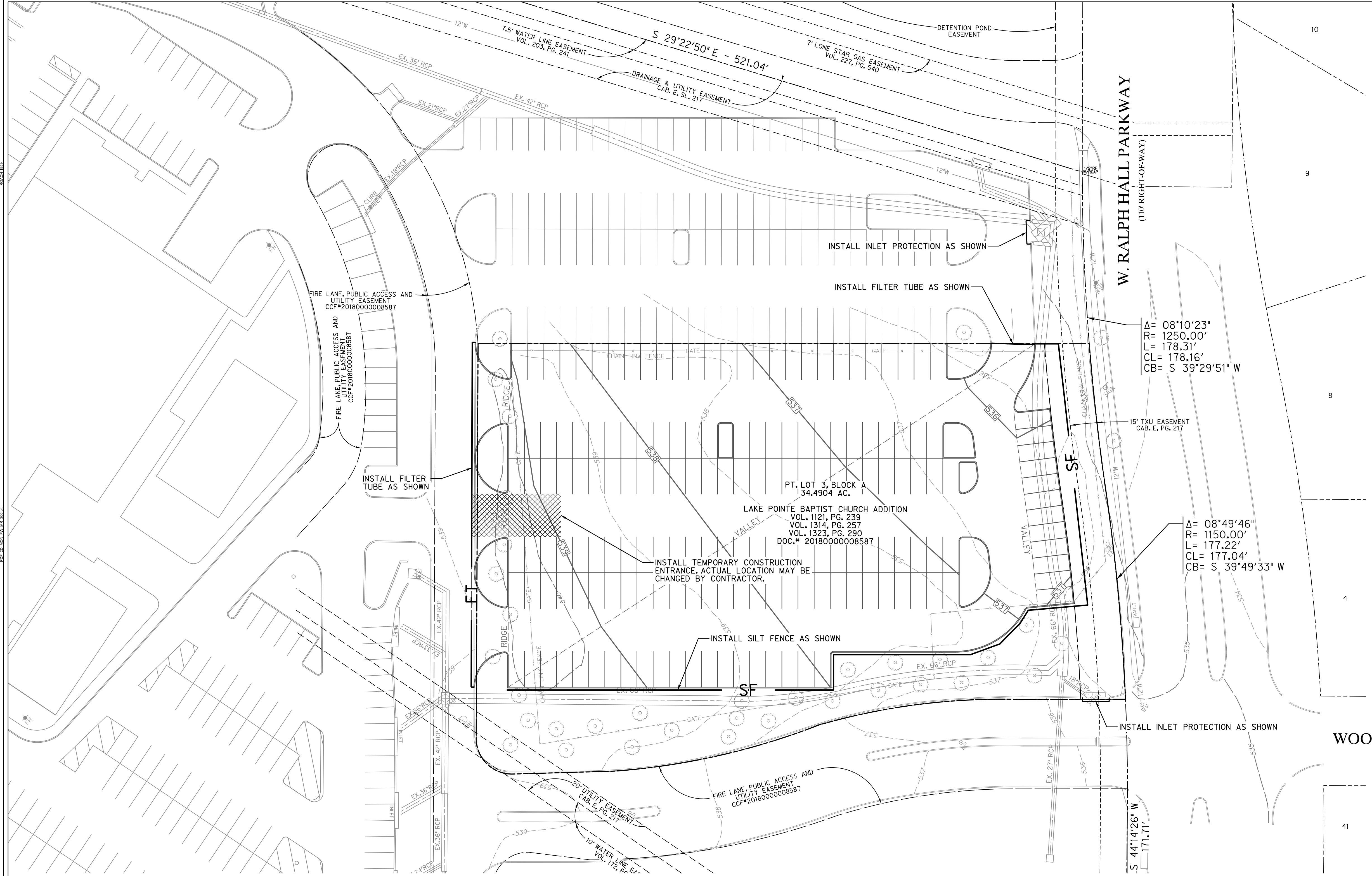
701 Interstate 30 Rockwall, TX 75087



**LEGEND:**

	EXISTING FIBER OPTIC
	EXISTING TELEPHONE LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING WATER LINE
	STORM SEWER
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	PROPERTY LINE
	EASEMENT LINE
	ASPHALT
	POWER POLE
	SANITARY SEWER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	INLET PROTECTION
	SILT FENCE
	FILTER TUBE
	TEMPORARY CONSTRUCTION ENTRANCE

**CAUTION!!!**  
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$\Delta = 08^{\circ}10'23''$   
 $R = 1250.00'$   
 $L = 178.31'$   
 $CL = 178.16'$   
 $CB = S 39^{\circ}29'51'' W$

$\Delta = 08^{\circ}49'46''$   
 $R = 1150.00'$   
 $L = 177.22'$   
 $CL = 177.04'$   
 $CB = S 39^{\circ}49'33'' W$

IMPROVED SITE AREA: 1.4 ACRES  
AREA OF DISTURBANCE: 1.4 ACRES

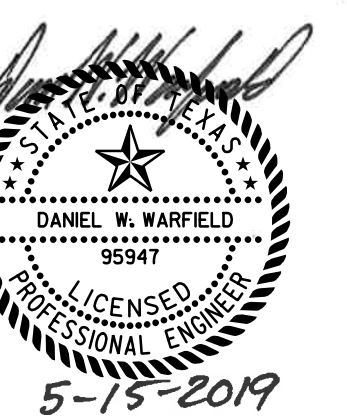
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ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC., TBPE FIRM #312  
DATE 08/30/2019

SEE SHEET C0.02 FOR GENERAL NOTES

BENCHMARKS				
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Revision No.	Date	Description
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Project No.:	35866
Issued:	9/30/2019
Drawn By:	CAD
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	EROSION CONTROL PLAN
Sheet Number	C2.01

1. The Contractor is responsible for implementing a Storm Water Pollution Prevention Plan (SWP3) in accordance with TCEQ Texas Pollutant Discharge Elimination System (TPDES) Permit No. TXR150000 (PERMIT). The details shown on this sheet represent typical methods for controlling erosion during construction and are intended for the Contractor's guidance in the implementation of the Pollution Prevention Plan. The plan shall comply with the PERMIT and Federal, State and local requirements. The plan shall include, but not be limited to, preparation and submission of a Notice of Intent (NOI) to the TCEQ, if the project is 5 acres or larger and preparation of all plans and documentation as required by the PERMIT.

2. It is the intent of the information provided on these documents to be used as a general guideline for the Contractor. The SWP3 to be prepared shall meet the current requirements set forth in the TCEQ's TPDES general permit for storm water discharges from construction sites as well as any local requirements.

3. The Contractor shall be responsible for maintaining erosion control during construction and for obtaining any required construction related drainage permits, or making any construction related notifications. An inspection report that summarizes inspection activities and implementation of the SWP3 shall be performed as required by the PERMIT and retained by the Contractor and made a part of the construction documents. The Contractor shall provide copies of all SWP3 documents, including, but not limited to, inspection records, original plans, and modified plans to the Owner at contract close-out. During construction the contractor shall provide copies of the inspection reports to the Owner on a monthly basis.

4. Temporary storm drainage and/or erosion control material shall be suitable for this application and shall be installed with the proper techniques by the Contractor as required by NCTCOG Standard Specifications for Public Works Construction. Temporary storm drainage and/or erosion control material shall be removed by the Contractor. In addition to any excavations backfilled by the Contractor, in accordance with NCTCOG Standard Specifications for Public Works Construction when temporary erosion control devices are no longer needed as specified in the PERMIT. Maintenance of the permanent erosion control measures at the site will be assumed by the Owner at contract close out and acceptance of the work.

5. The Contractor shall maintain the SWP3 in accordance with the TCEQ Permit and make the SWP3 available, upon request, to the TCEQ and/or Owner.

6. The Contractor must amend the SWP3 whenever there is a change in design, construction, operation, or maintenance of the SWP3, or when the existing SWP3 proves ineffective. Modifications shall not compromise the intent of the requirements of the PERMIT. Modifications including design and all additional materials and work shall be accomplished by the Contractor at no additional expense to the Owner.

7. The Contractor shall inspect his stabilization and erosion control measures at a minimum of once every 14 days, and within 24 hours after any storm event greater than 0.5 inches, or once every 7 days. The Contractor shall repair inadequacies revealed by the inspection before the next storm event and he shall modify his SWP3 within 7 days of the inspection.

8. The Contractor shall adopt and implement appropriate construction site management practices to prevent the discharge of oils, grease, paints, gasoline, and other pollutants to storm water. Appropriate practices shall include, but not be limited to: designating areas for equipment maintenance and repair; collecting wastes periodically; maintaining conveniently located waste receptacles; and designating and controlling equipment washdown.

9. Borrow areas, if excavated, shall be protected and stabilized by the Contractor in a manner acceptable to the Owner and in accordance with PERMIT requirements.

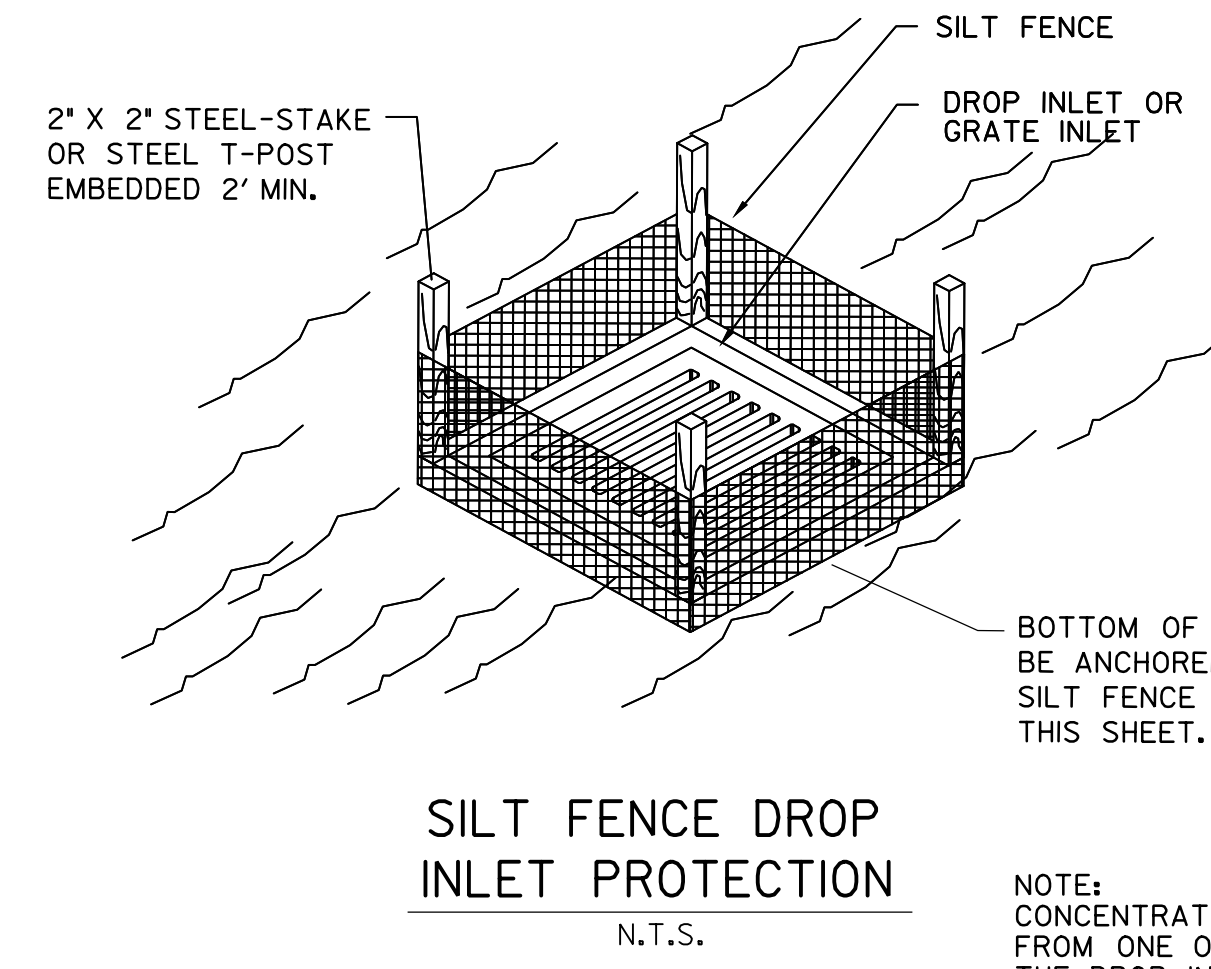
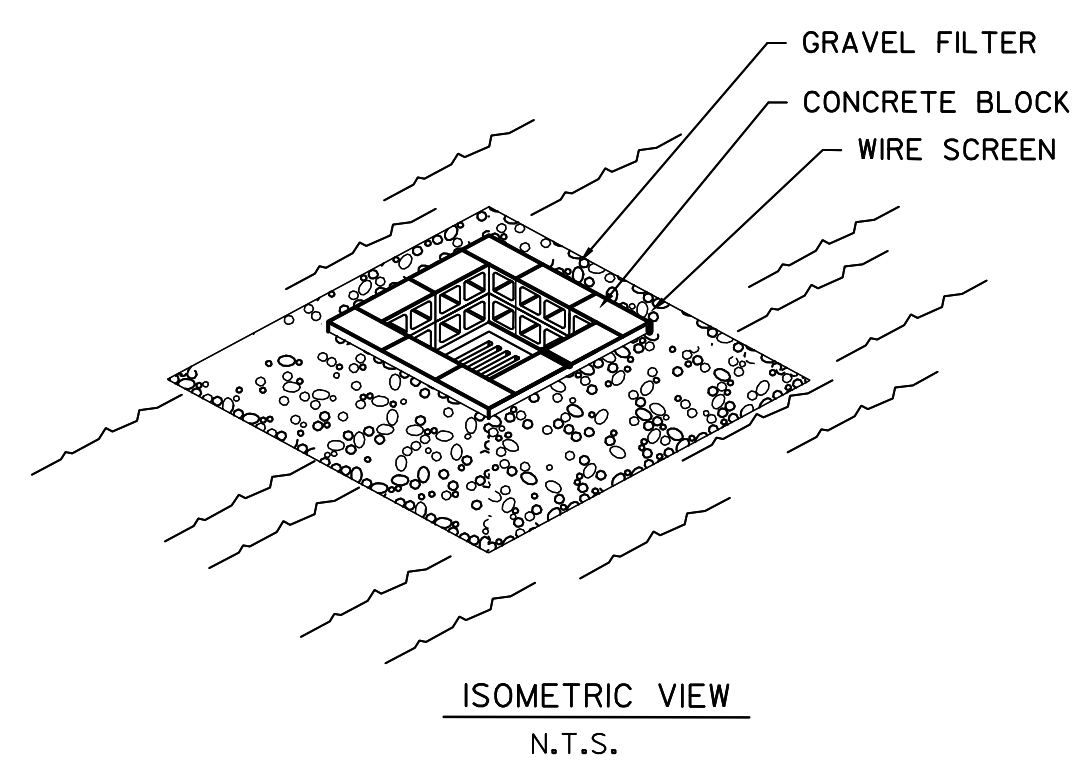
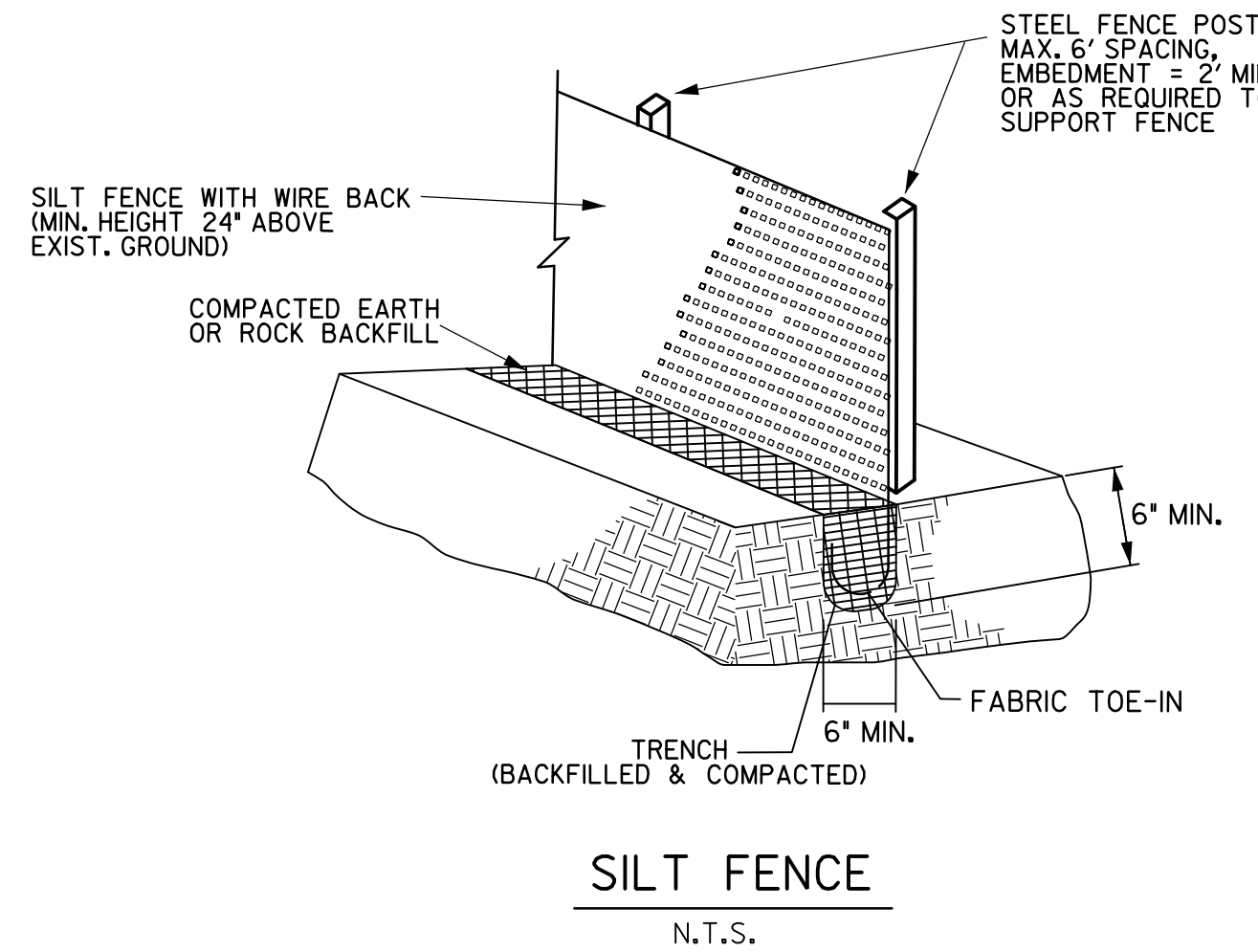
10. All non-paved areas shall be seeded and mulched with erosion protection grass by the Contractor immediately upon completion of final grading. This includes all ditches and embankments. The Contractor shall maintain final grading, and keep seeded areas watered until fully established and accepted by Owner.

11. The Contractor shall construct a silt fence at locations suggested on plans as appropriate or as modified in his SWP3 to fit site conditions at the time of placement, and all borrow and stock pile areas. The silt fence shall be constructed as detailed on this plan. The Contractor shall remove accumulated silt when it reaches a depth of 1/3 the height of the silt fence. The Contractor shall dispose of the removed silt in a location approved by the Owner and in such a manner as to not contribute to erosion and sedimentation. The Contractor shall remove the silt fence when the site is completely stabilized in accordance with the PERMIT.

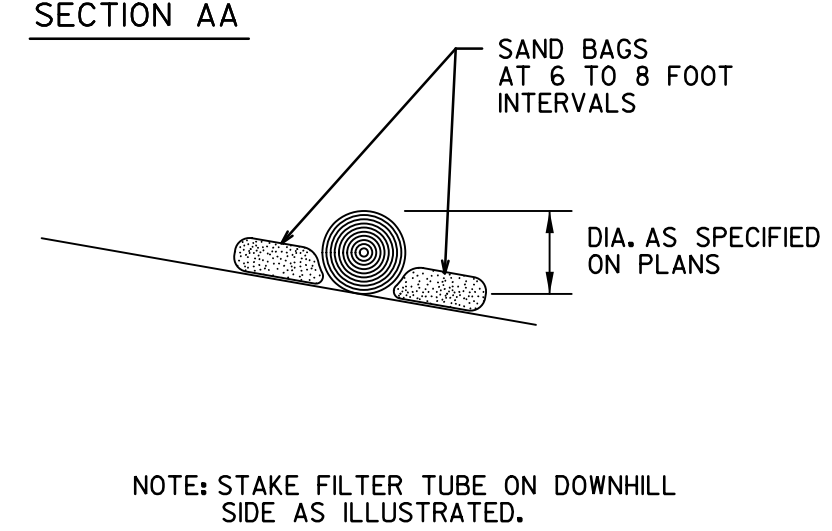
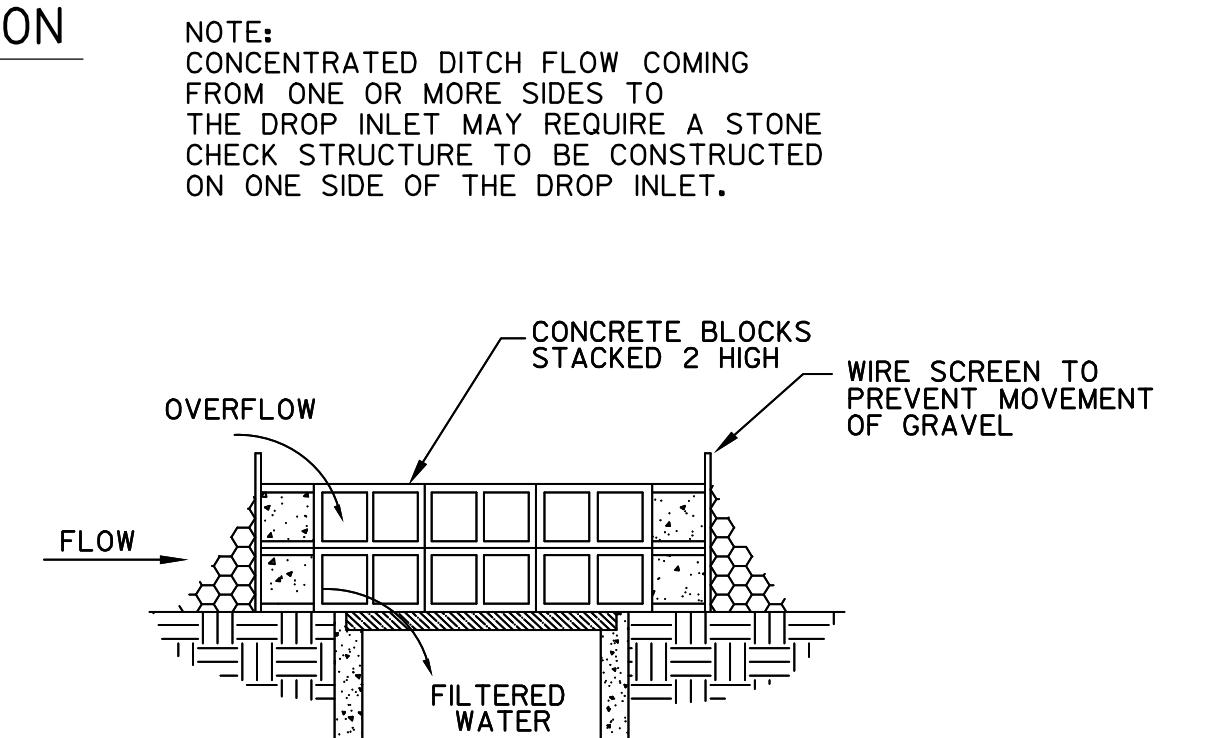
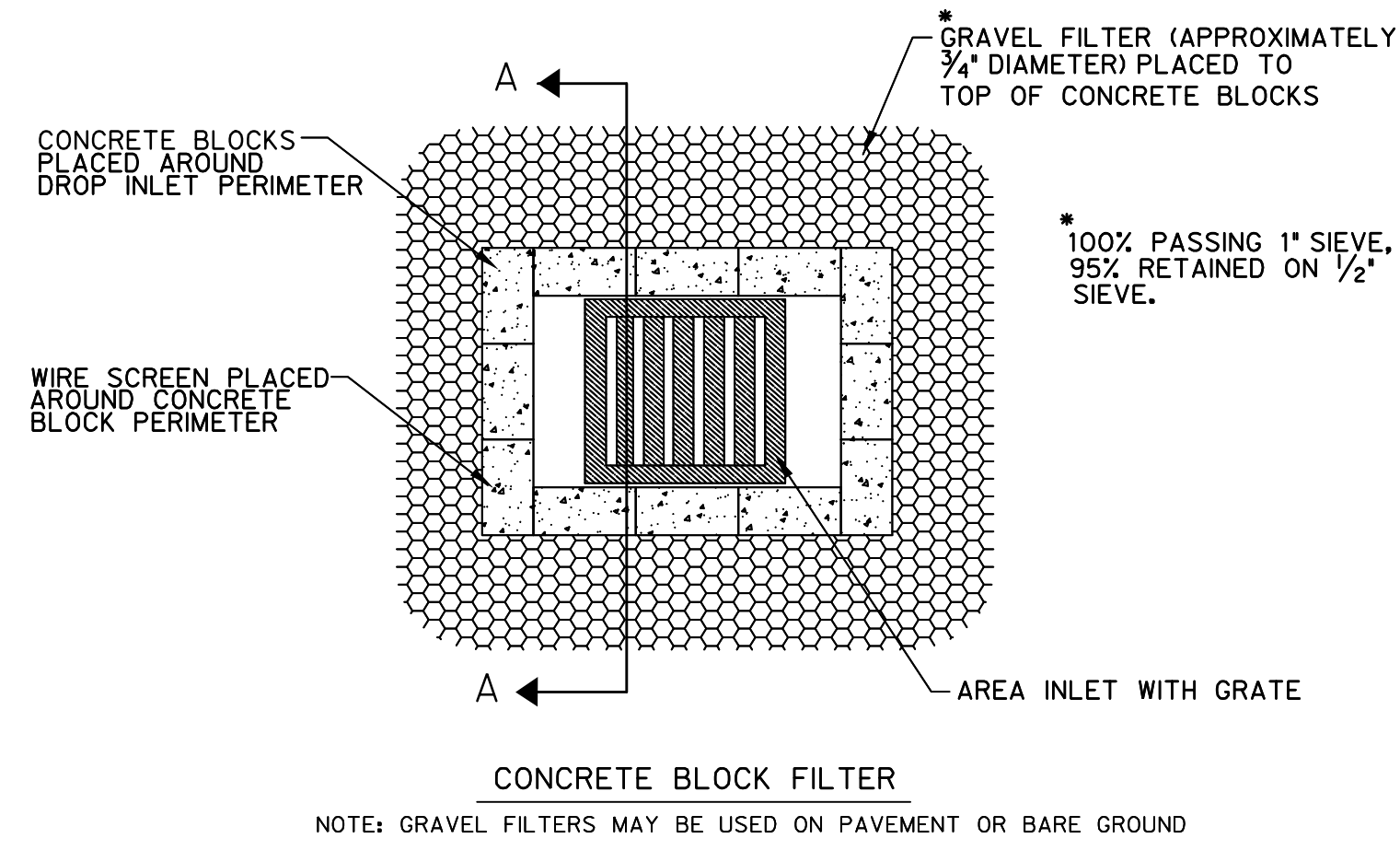
12. The Contractor shall designate material and equipment storage areas mutually agreed to by the Owner. The storage areas shall be graded for positive drainage, and the surface stabilized with a minimum of 2 inches of compacted flex base on 6 inches of scarified and recompacted subgrade by the Contractor. A silt fence shall be installed by the Contractor around the storage areas to prevent eroded material from leaving the site.

13. All inlets (onsite and offsite) receiving drainage water from disturbed areas shall be protected by the Contractor as per details shown or other Owner approved methods to prevent eroded material from being transported into inlets. The inlet protection shall be constructed as shown on these plans.

14. The notes and details contained herein do not relieve the Contractor and Owner of meeting and implementing the requirements of the PERMIT.

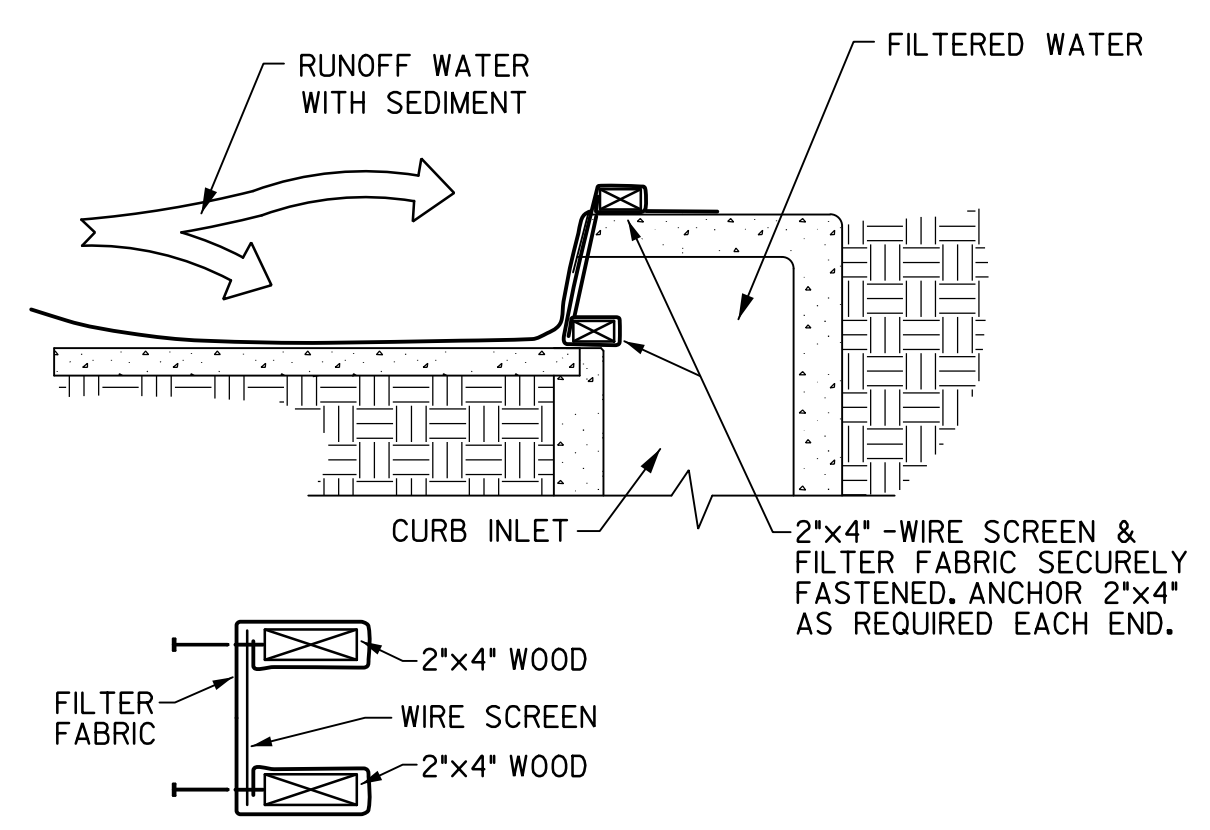
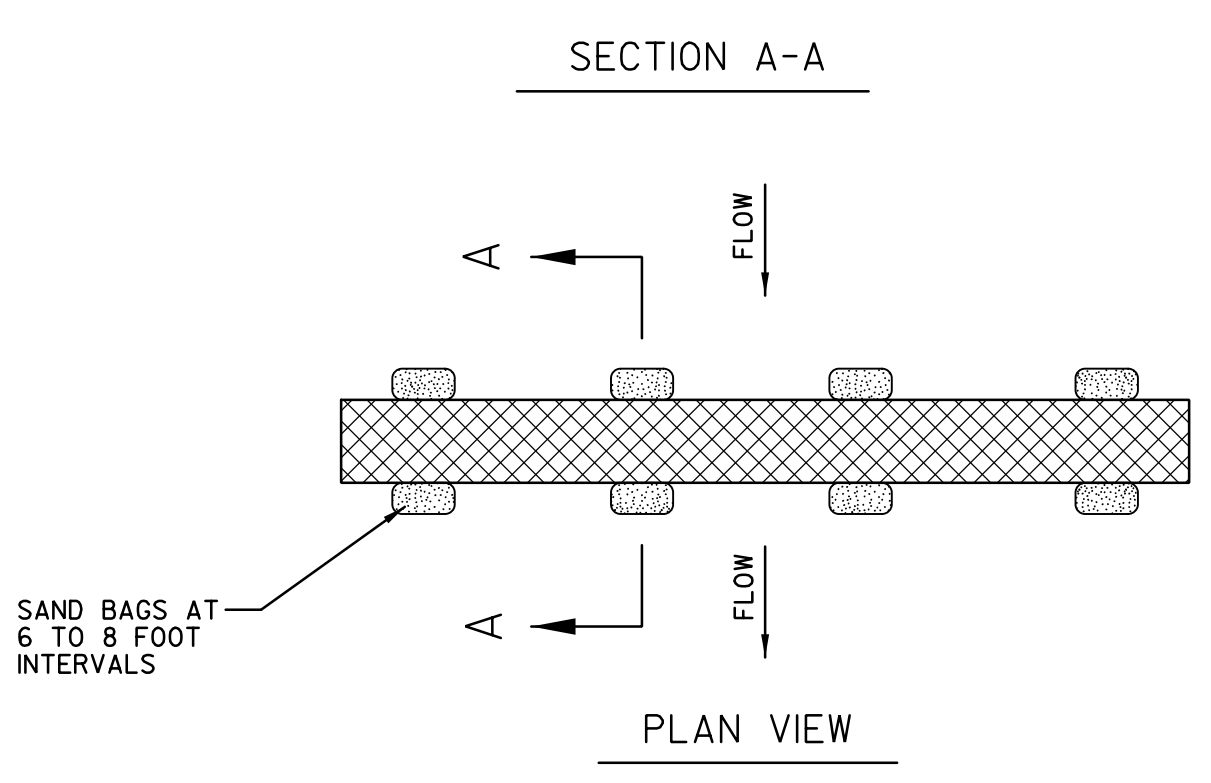
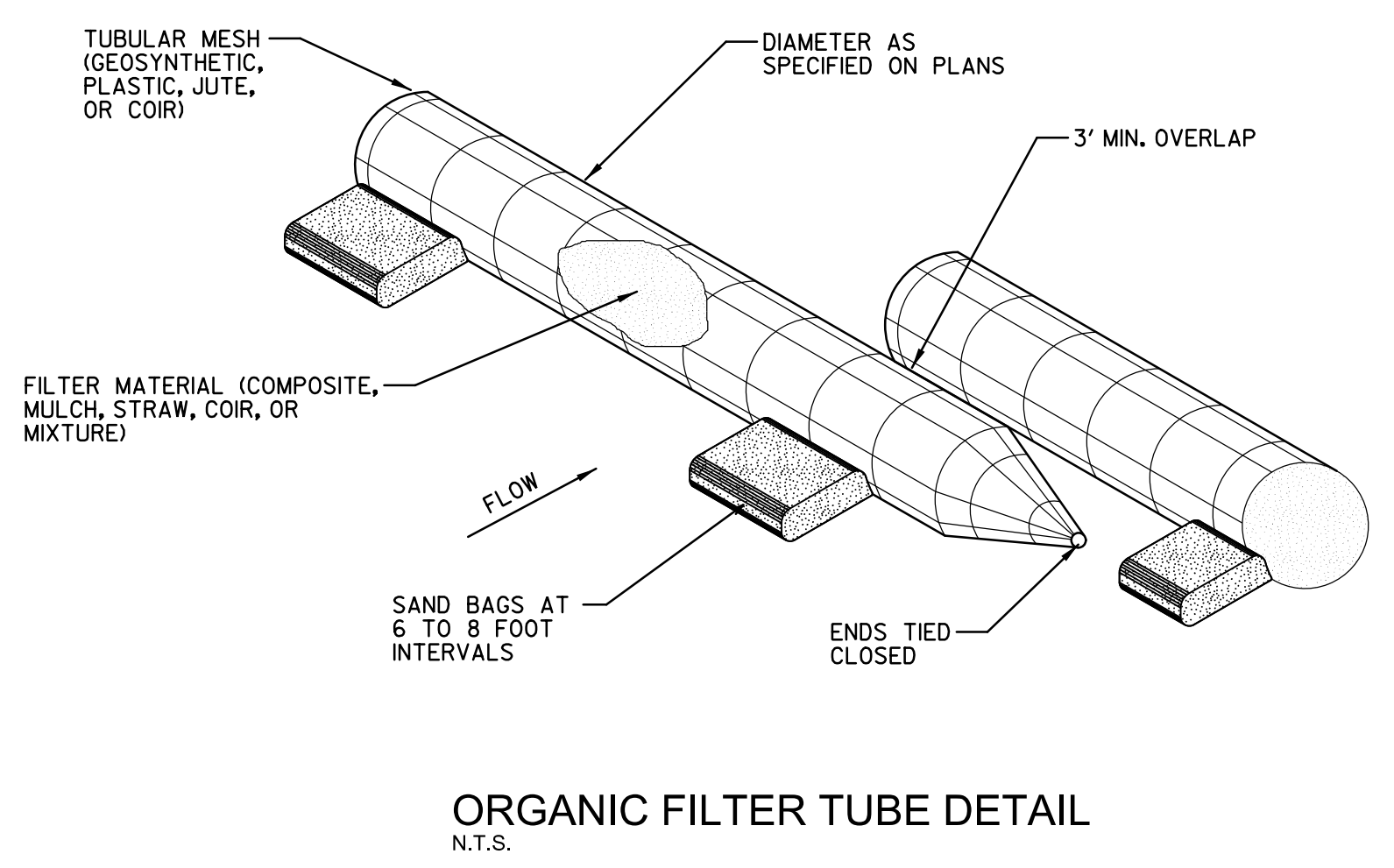
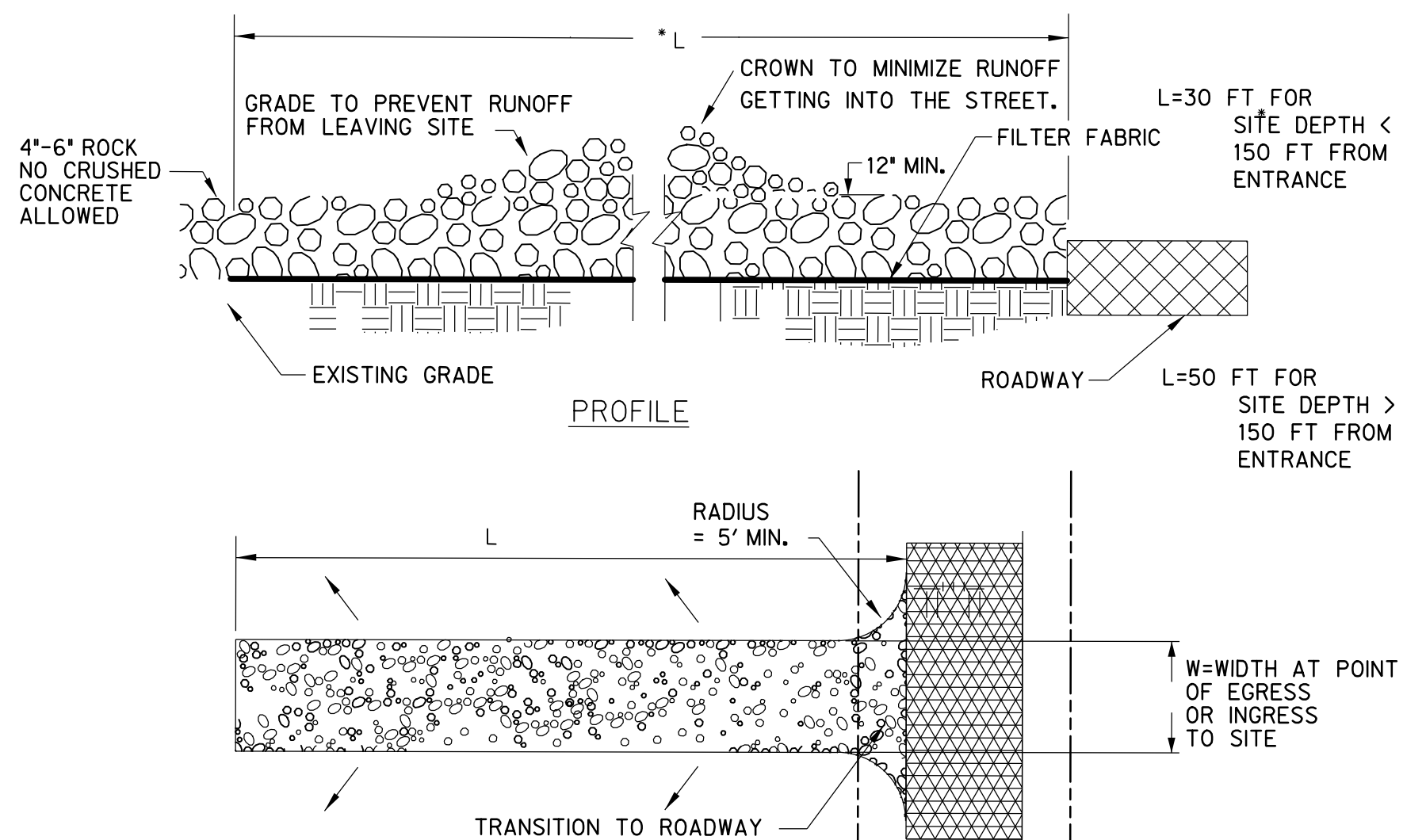


- SILT FENCE GENERAL NOTES:**
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED WITH A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF TWO FEET.
  - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
  - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 6\"/>



**PERIMETER FILTER BARRIER**

DRAINAGE AREA (MAX.)	AVG. WIDTH OF AREA TO TUBE	TUBE DIA. (MIN.)
1/4 ACRE PER 100 FT.	110 FT.	12"
1/2 ACRE PER 100 FT.	55 FT.	10"
3/4 ACRE PER 100 FT.	25 FT.	8"



**THIS IS NOT A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST PREPARE ALL RELEVANT DOCUMENTS INCLUDING HIS OPERATION SPECIFIC INFORMATION PER THE TCEQ TPDES PERMIT NO. TXR150000, INCLUDING ALL DOCUMENTATION & CERTIFICATIONS AS REQUIRED BY THE PERMIT.**

**BENCHMARKS**

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**LAKE POINTE CHURCH**  
**SOUTHEAST PARKING LOT EXPANSION**  
 701 Interstate 30 Rockwall, TX 75087

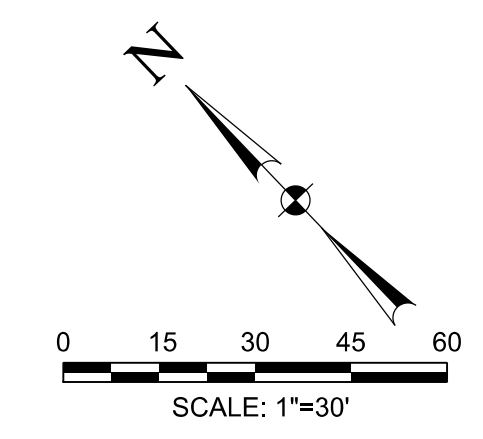
**HALFF**  
 3803 PARKWOOD BLVD., SUITE 800  
 FRISCO, TEXAS 75034-2640  
 TEL: (214) 616-1674  
 FAX: (214) 616-1674  
 TBPB FIRM #F-312

Revision No.	Date	Description
1	09/30/2019	RECORD DRAWINGS

**DANIEL W. WARFIELD**  
 55947  
 LICENSED PROFESSIONAL ENGINEER  
 5-15-2019

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 ENGINEER OF RECORD:  
*Daniel W. Warfield*  
 DANIEL W. WARFIELD, P.E. 55947  
 HALFF ASSOC. TBPB FIRM #F-312  
 DATE 09/30/2019

Project No.: 35866  
 Issued: 9/30/2019  
 Drawn By: CAD  
 Checked By: DWW  
 Scale: AS NOTED  
 Sheet Title  
**EROSION CONTROL NOTES AND DETAILS**  
**C2.02**  
 Sheet Number



**LEGEND:**

	EXISTING FIBER OPTIC
	EXISTING TELEPHONE LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
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	EXISTING MINOR CONTOUR LINE
	PROPERTY LINE
	EASEMENT LINE
	ASPHALT
	POWER POLE
	SANITARY SEWER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	EXISTING TREE TO BE REMOVED

**PAVEMENT LEGEND**

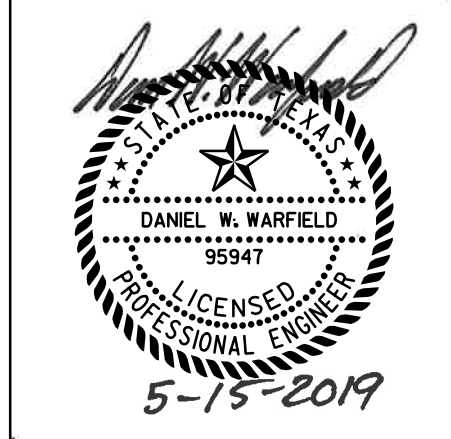
	5" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. OVER COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS. (MIN. 6.5 SACK MIX) NO SAND ALLOWED
	ALTERNATE: LIME TREATED SUBGRADE COMPACTED PER GEOTECHNICAL RECOMMENDATIONS.

- NOTES**
1. ALL DIMENSIONS ARE PARALLEL & PERPENDICULAR TO FACE OF CURB OR FACE OF BUILDING
  2. ALL CURBS ARE 6-INCHES HIGH UNLESS STATED OTHERWISE.

**LAKE POINTE CHURCH**  
**SOUTHEAST PARKING LOT EXPANSION**  
 701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description
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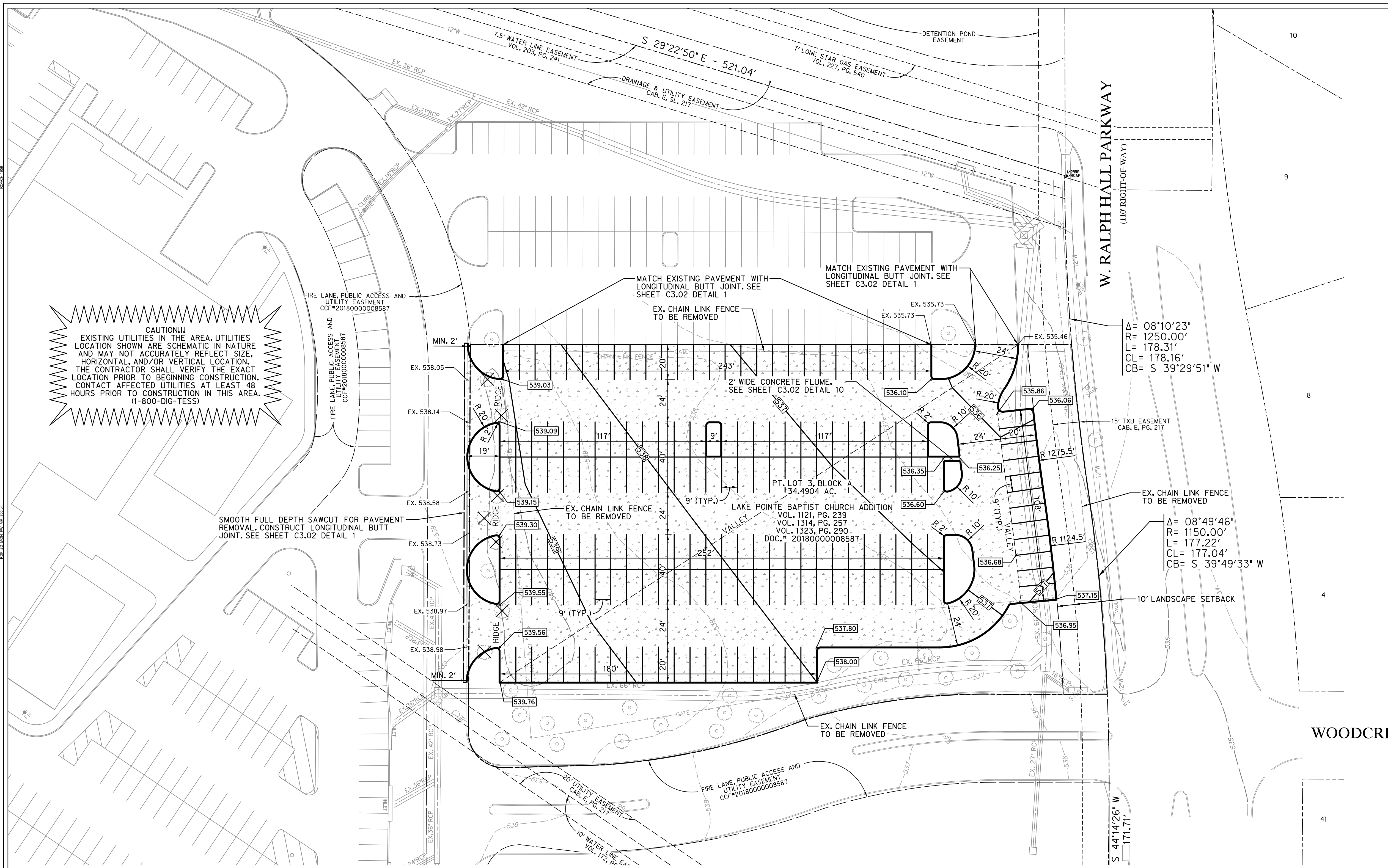
Project No.:	35866
Issued:	9/30/2019
Drawn By:	CAD
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	PAVING & GRADING PLAN
Sheet No.	C3.01

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*Daniel W. Warfield*  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC. TBP# FIRM #312  
 DATE 09/30/2019

SEE SHEET C0.02 FOR GENERAL NOTES

**BENCHMARKS**

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP



**CAUTION!!**  
 EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)

SMOOTH FULL DEPTH SAWCUT FOR PAVEMENT REMOVAL. CONSTRUCT LONGITUDINAL BUTT JOINT. SEE SHEET C3.02 DETAIL 1

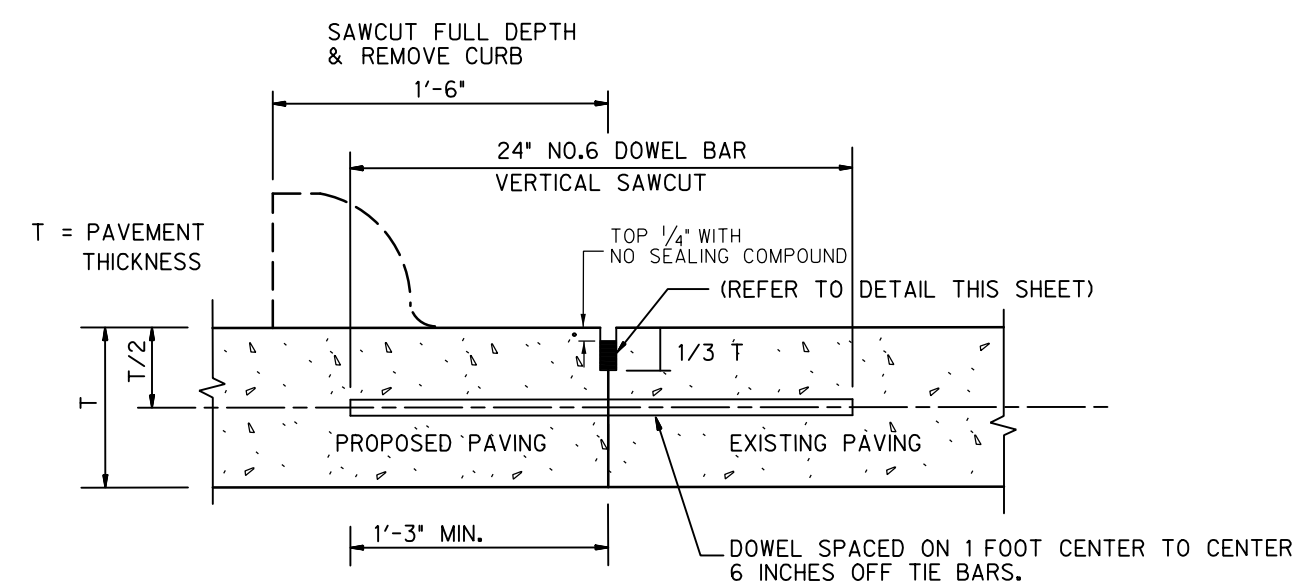
MATCH EXISTING PAVEMENT WITH LONGITUDINAL BUTT JOINT. SEE SHEET C3.02 DETAIL 1

MATCH EXISTING PAVEMENT WITH LONGITUDINAL BUTT JOINT. SEE SHEET C3.02 DETAIL 1

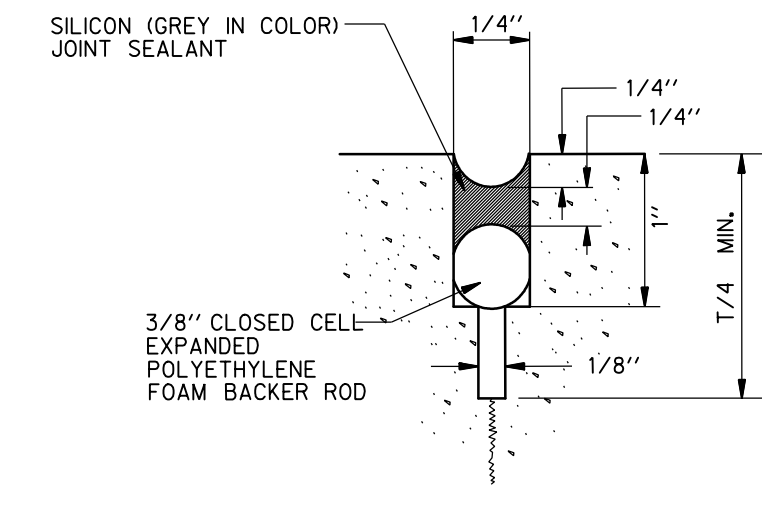
$\Delta = 08^{\circ}10'23''$   
 $R = 1250.00'$   
 $L = 178.31'$   
 $CL = 178.16'$   
 $CB = S 39^{\circ}29'51'' W$

$\Delta = 08^{\circ}49'46''$   
 $R = 1150.00'$   
 $L = 177.22'$   
 $CL = 177.04'$   
 $CB = S 39^{\circ}49'33'' W$

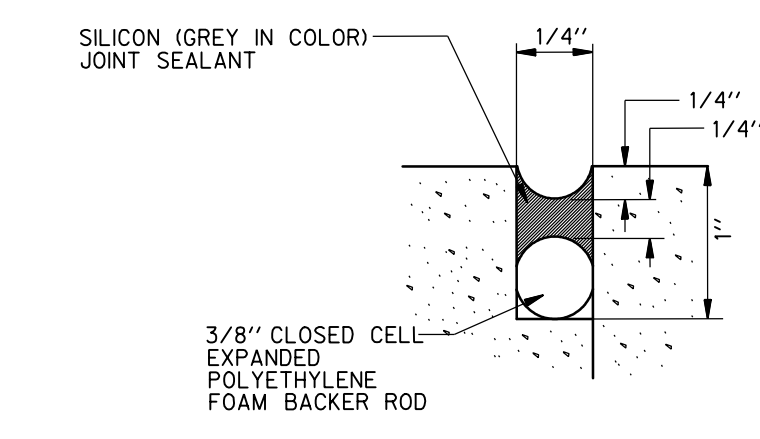
09/30/2019 10:58:17 AM 2593078.3578 7015977.2058 322



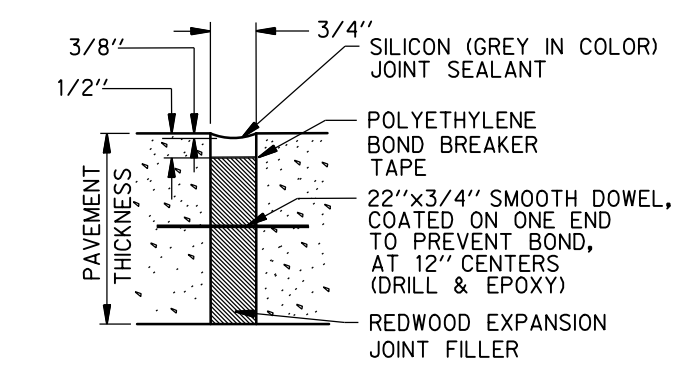
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.
3. DOWEL BARS SHALL BE EPOXIED IN PLACE WITHIN EXISTING PAVEMENT.



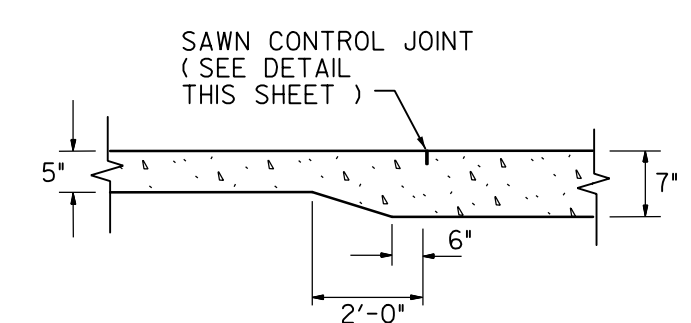
2 SAWN CONTROL JOINT (LONGITUDINAL & TRANSVERSE)  
N.T.S.



3 CONSTRUCTION JOINT  
N.T.S.

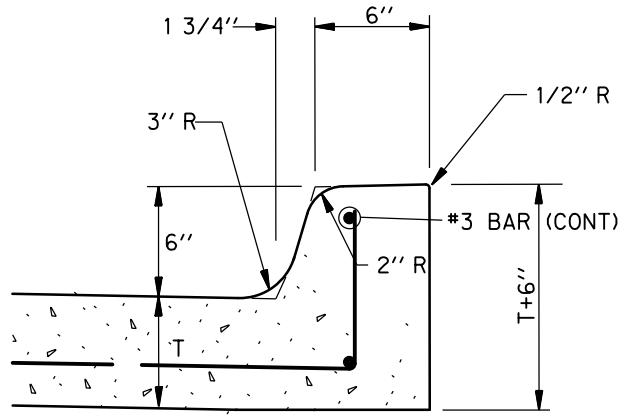


4 EXPANSION JOINT  
N.T.S.

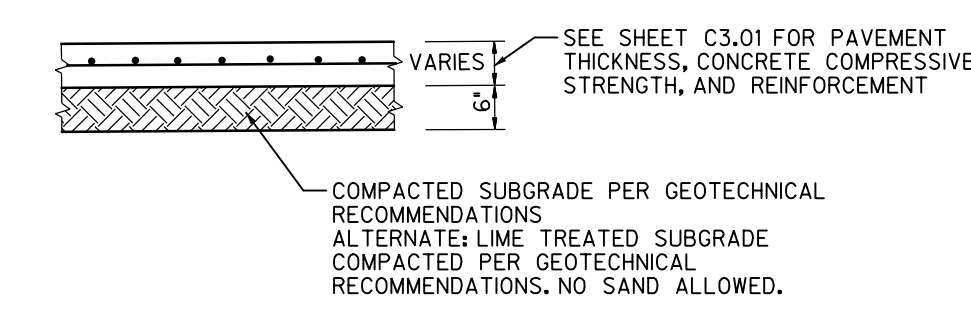


5 PAVEMENT TRANSITION  
N.T.S.

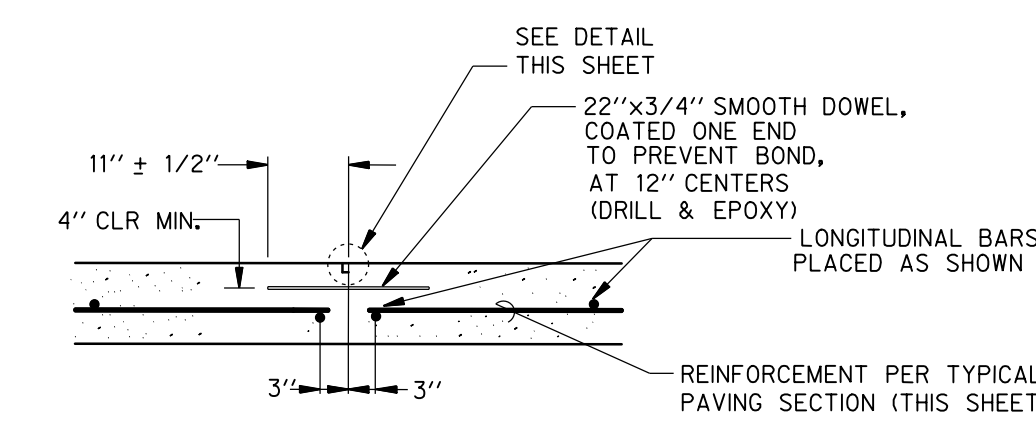
1 LONGITUDINAL BUTT JOINT  
N.T.S.



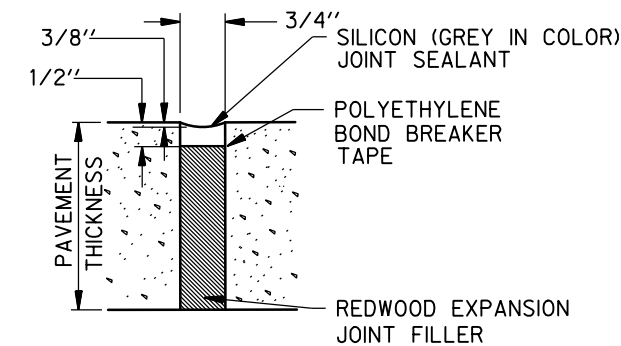
6 6" INTEGRAL CURB  
N.T.S.



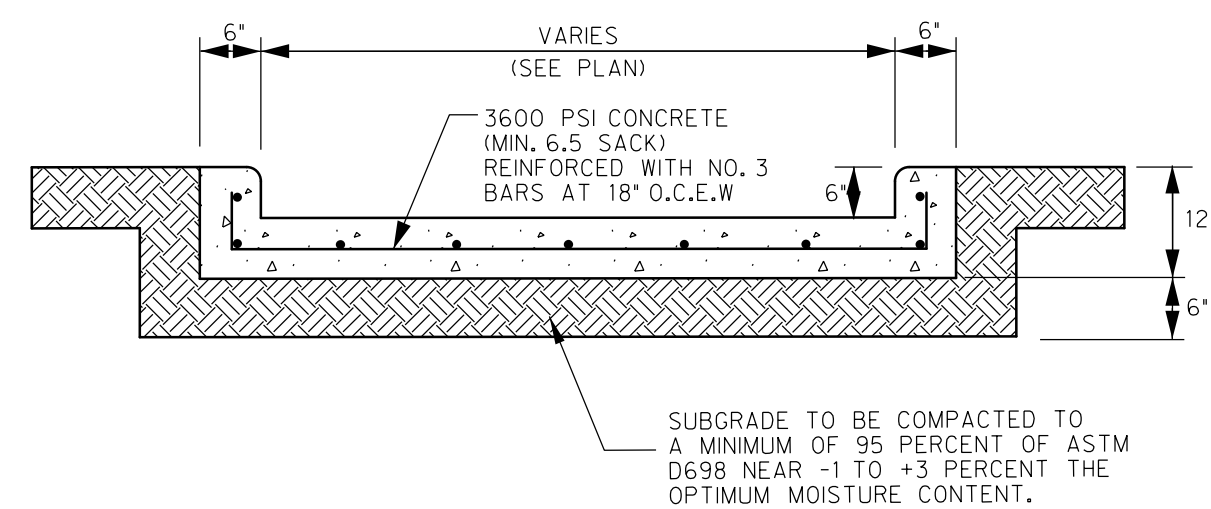
7 TYPICAL PAVEMENT SECTION  
N.T.S.



8 OPTIONAL CONSTRUCTION JOINT  
N.T.S.



9 ISOLATION JOINT  
N.T.S.



10 FLUME DETAIL  
N.T.S.

LAKE POINTE CHURCH  
SOUTHEAST PARKING LOT EXPANSION  
701 Interstate 30 Rockwall, TX 75087

**HALFF**  
3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TEXAS 75034-2640  
TEL: (214) 618-1674  
FAX: (214) 618-1674  
TBP# FIRM #F-312

Revision No.	Date	Description
1	09/30/2019	RECORD DRAWINGS



The seal appearing on this document was authorized by Daniel W. Warfield, P.E. 95947 on 05/15/19. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act. The record copy of this drawing is on file at the office of Halff Associates, Inc., 3803 Parkwood Blvd., Frisco, Texas 75034. TBP# FIRM #F-312.

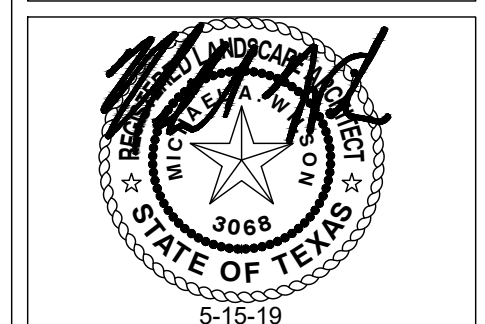
**RECORD DRAWING**

TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON FIELD OBSERVATIONS, ON 09/10/2019, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THE ORIGINAL SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF:  
HALFF ASSOCIATES, INC., TBP# FIRM #312  
ENGINEER OF RECORD:

*Daniel W. Warfield*  
DANIEL W. WARFIELD # E. 95947  
HALFF ASSOC. TBP# FIRM #312  
DATE 09/30/2019

Project No.:	35866
Issued:	9/30/2019
Drawn By:	CAD
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	PAVING DETAILS
Sheet Number	C3.02

Revision No.	Date	Description
1	05-15-2019	Notes: lighter tree symbols



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL A. WILSON, P.E. #3668 ON MARCH 2018. ALL TEXT ON A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE REGISTERED PROFESSIONAL ARCHITECT IS UNLAWFUL UNDER TITLE 22, TEXAS ADMINISTRATIVE CODE, CHAPTER 1, LANDSCAPE ARCHITECTS. THE RECORD COPY OF THIS DRAWING IS TO BE KEPT BY THE ARCHITECT OR ARCHITECT FIRM. 450 FOSBERG CREEK BLVD. FIFTH FLOOR, ROCKWALL, TX 75087-2228. TYPE FIRM #5-12.

Project No.:	35866
Issued:	05.15.19
Drawn By:	MAW
Checked By:	KMW
Scale:	1:20
Sheet Title:	TREESCAPE PLAN

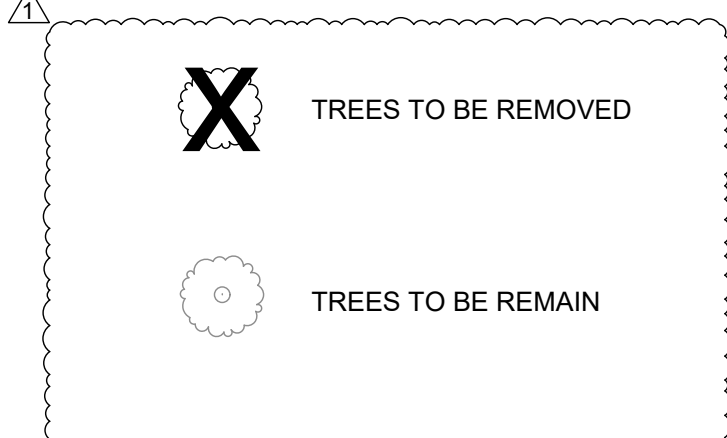
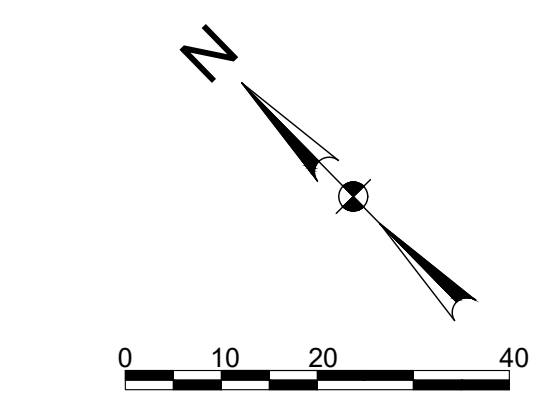
**TREE INVENTORY / MITIGATION**

REF	DBH (INCHES)		SPECIES
	RETAINED	REMOVED (OTHER)	
1	18		RED OAK
2	15		RED OAK
3	9		RED OAK
4	16		BALD CYPRESS
5	13		CEDAR ELM
6	16		BALD CYPRESS
7	10		LIVE OAK
8	6		RED OAK
9	6		RED OAK
10	13		RED OAK
11	18		CHINESE PISTACHE
12	16		CHINESE PISTACHE
13	18		CHINESE PISTACHE
14	6		PINE
15	6		PINE
16	5		PINE
17	12		BRADFORD PEAR
18	10		LIVE OAK
19	16		LIVE OAK
20	16		LIVE OAK
21	10		BRADFORD PEAR
22	11		BRADFORD PEAR
23	10		BRADFORD PEAR
24	10		BRADFORD PEAR
25	10		BRADFORD PEAR
26		10	LIVE OAK
27		10	LIVE OAK
28	10		LIVE OAK
29		3	CAPE MYRTLE
30		2	CAPE MYRTLE
31		2	CAPE MYRTLE
32		12	BRADFORD PEAR
33		10	BRADFORD PEAR
34		13	BRADFORD PEAR
35		13	LIVE OAK
36		12	CEDAR ELM
37		7	CEDAR ELM
<b>TOTAL</b>	<b>353</b>	<b>7</b>	<b>42</b>

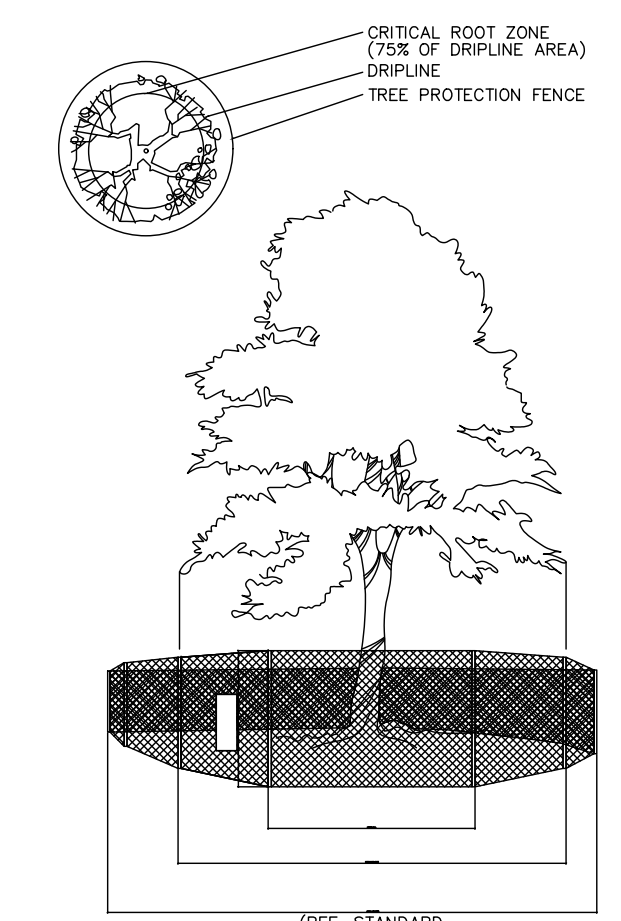
MITIGATION REQUIREMENT: 42 INCHES

MITIGATION PROVIDED: (7) 4" TREES IN PARKING LOT  
(2) 4" TREES IN SITE LANDSCAPING  
(2) 3" TREES IN SITE LANDSCAPING

42" TOTAL PROVIDED



PLAN VIEW

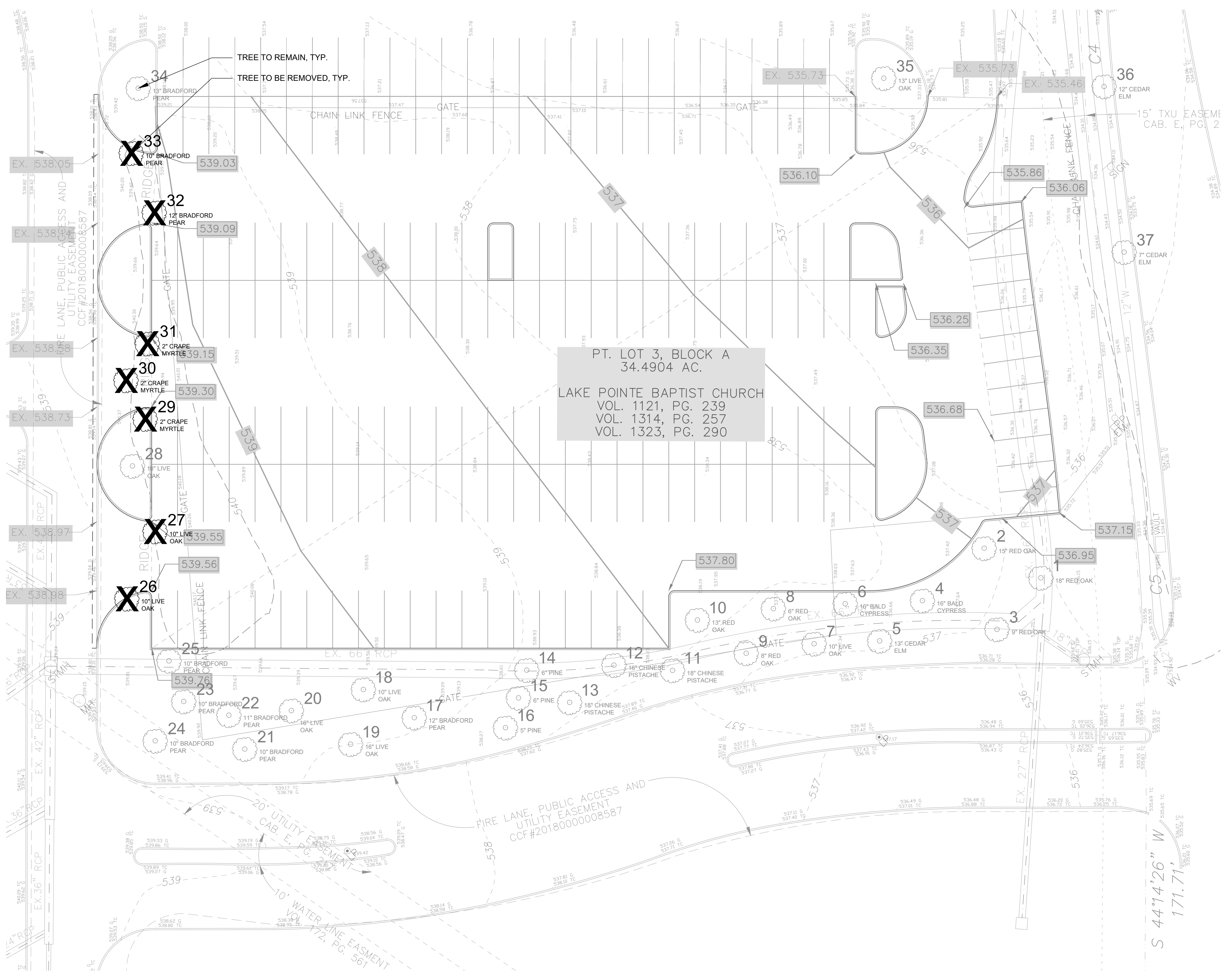


01 TREE PROTECTION DETAIL  
SCALE: N.T.S.

**STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION**

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
  - Protective fences shall be erected according to City Standards for Tree Protection.
  - Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
  - Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
  - Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-10" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
    - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
    - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
    - Wounds to exposed roots, trunk or limbs by mechanical equipment;
    - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
  - Exceptions to installing fences at tree drip lines may be permitted in the following cases:
    - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
    - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimized root damage);
    - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
    - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.
- Special Note:** Exceptions are permitted for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no siting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
  - Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
  - Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
  - Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
  - No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
  - Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs. (Finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).)

NOTE: NO TREES WITHIN 5' OF EXISTING UTILITIES



PT. LOT 3, BLOCK A  
34.4904 AC.  
LAKE POINTE BAPTIST CHURCH  
VOL. 1121, PG. 239  
VOL. 1314, PG. 257  
VOL. 1323, PG. 290

Revision No.	Date	Description
1	05.15.2019	Notes



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL A. VALDEZ, P.E., AREA ON 15 MAY 2019. NO ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE LANDSCAPE ARCHITECT. ALL LANDSCAPE ARCHITECTS ARE REQUIRED TO SIGN AND DATE THEIR DRAWING IS ON FILE AT THE OFFICE OF HALFF ASSOCIATES, INC. 4000 FORBES, CREEK BLVD., FORT WORTH, TX 76104. (TXBPE FIRM #F-312)

Project No.: 35866  
 Issued: 05.15.19  
 Drawn By: MAW  
 Checked By: KMW  
 Scale: 1:20  
 Sheet Title  
 LANDSCAPE PLAN  
 L2.01  
 Sheet Number

**REQUIRED LANDSCAPING**

Total Impervious Area 55,462 sf  
 Required Parking Lot Landscaping 2,773 sf  
 Provided Parking Lot Landscaping 3,935 sf

**REQUIRED PARKING LOT TREES**

Number of Parking Spaces 170  
 Required Parking Lot Trees 17  
 Provide Parking Lot Trees 17  
 Existing Parking Lot Trees 10  
 Proposed Parking Lot Trees 7

**REQUIRED TREE MITIGATION**

Mitigation Required 42 inches  
 Mitigation Provided 42 inches  
 (7) 4" Trees in Parking Lot  
 (2) 4" Trees in Site Landscaping  
 (2) 3" Trees in Site Landscaping

**PLANT SCHEDULE (ALL TREES TO SATISFY MITIGATION)**

**PLANT\_SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SPD
	7	Canopy Tree in accordance with City of Rockwall tree planting guidelines and requirements	Container grown	4" Cal	12-16'	
	2	Canopy Tree in accordance with City of Rockwall tree planting guidelines and requirements	Container grown	4" Cal	12-16'	
	2	Canopy Tree in accordance with City of Rockwall tree planting guidelines and requirements	Container grown	3" Cal	10'-14'	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT	SPD	
	37	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal	1'-3" Ht.	1'-3" Spd	
SEED	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE		
	3,935 sf	Cynodon dactylon 'Tif 419' / Bermuda Grass	Seed			

TO BE PLANTED ELSEWHERE ON LFC PROPERTY DUE TO SPATIAL LIMITATIONS (SEE 'SITE TREE EXHIBIT' BELOW)

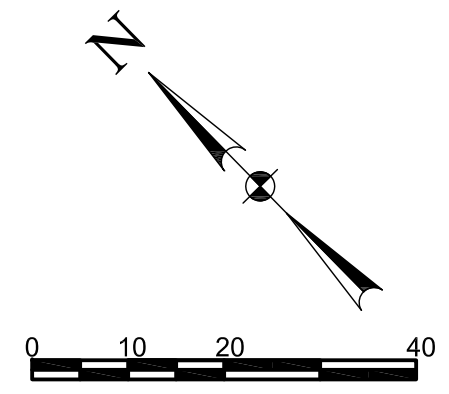
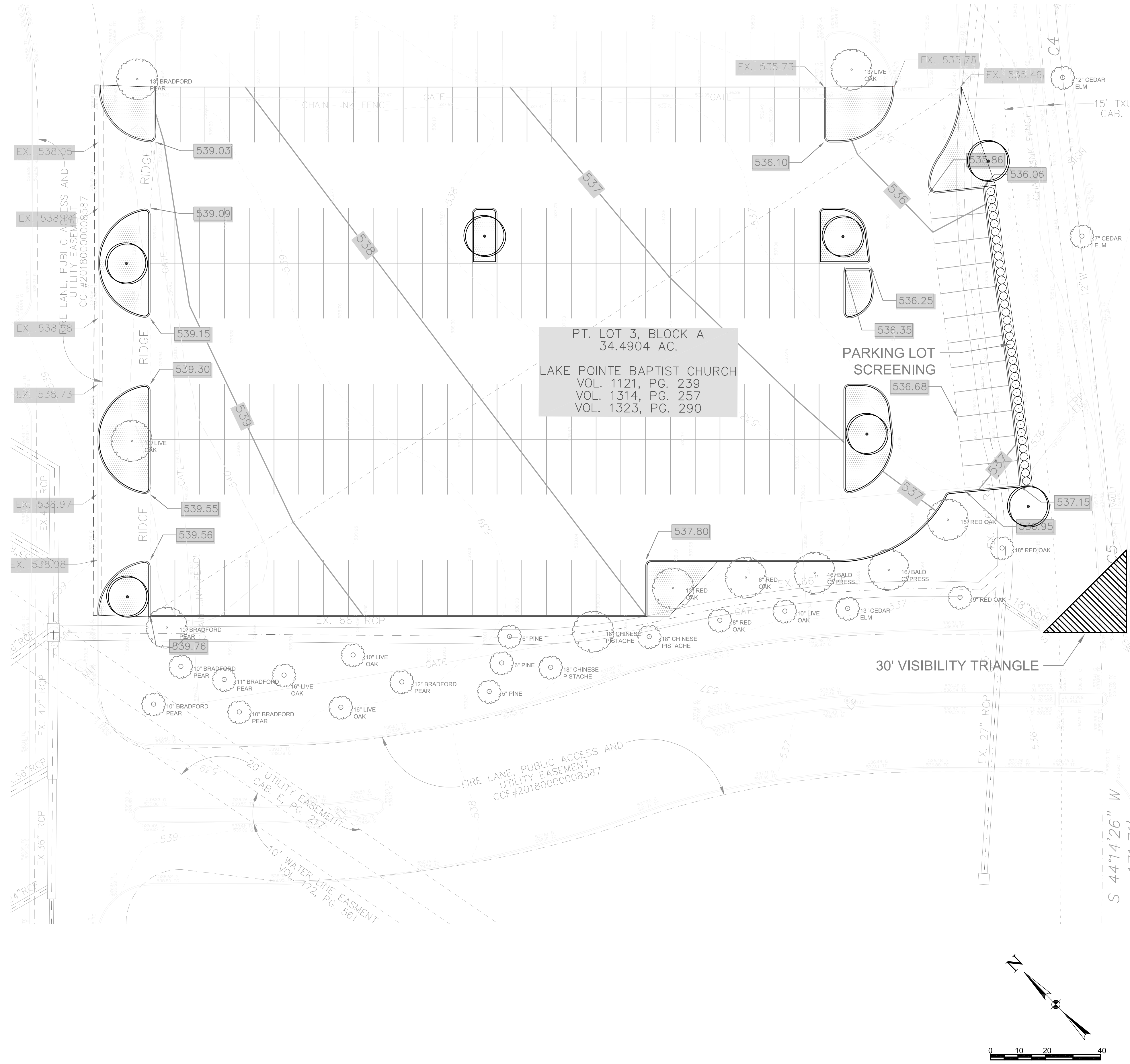
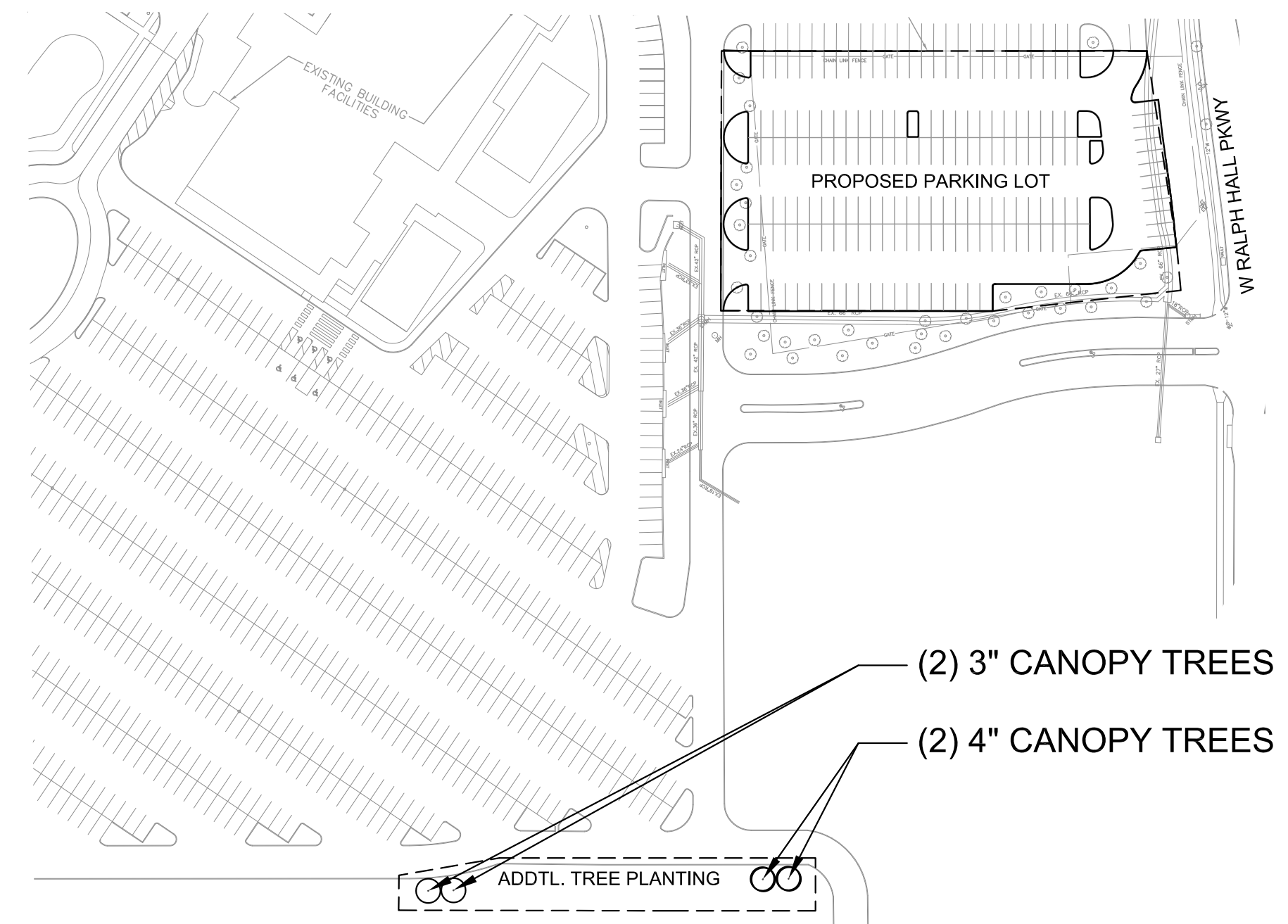
**EXISTING TREES**

- EXISTING TREES TO BE PROTECTED / PRESERVED (COUNTED TOWARDS PARKING LOT REQUIREMENTS DUE TO PROXIMITY)
- EXISTING TREES TO BE PROTECTED / PRESERVED

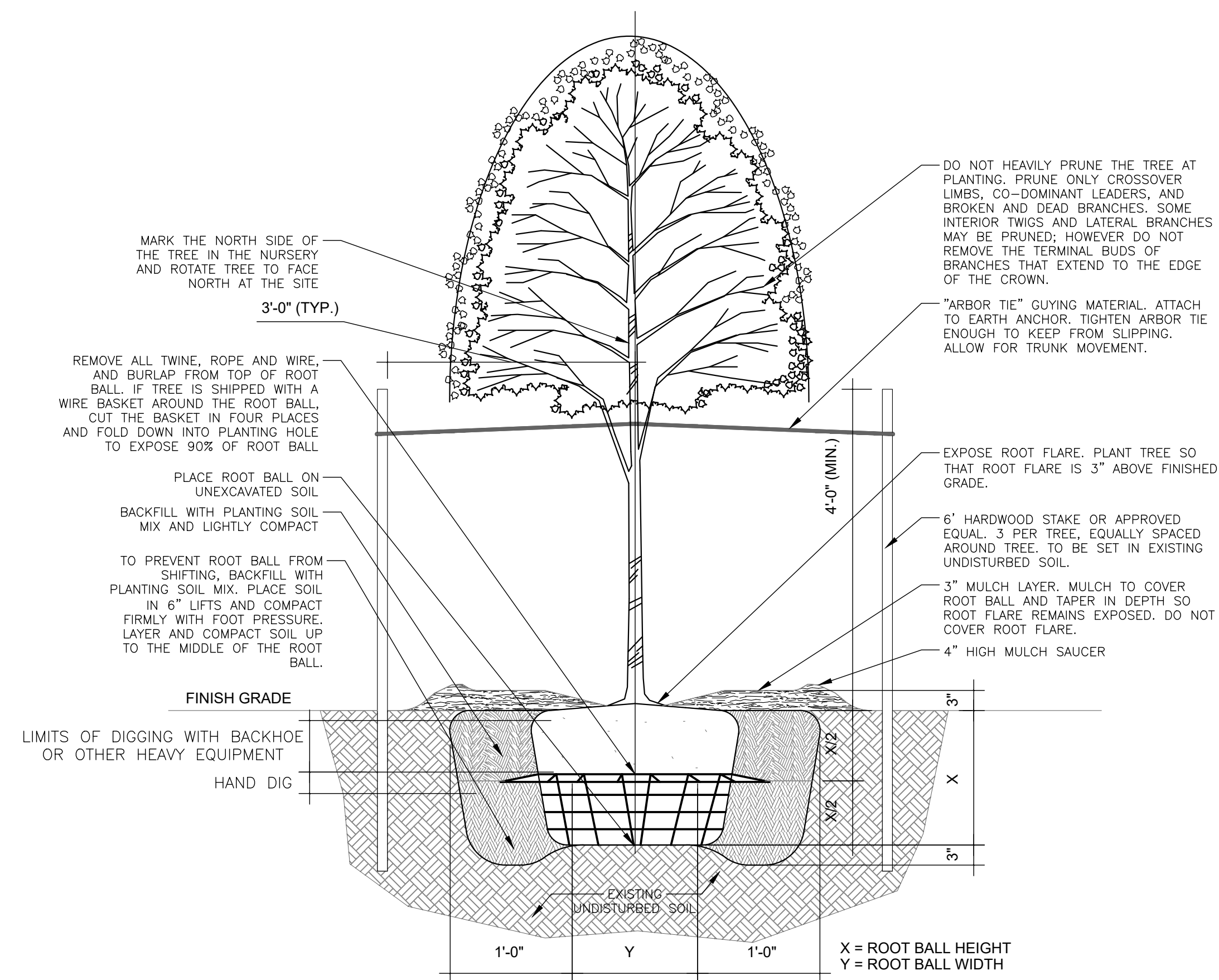
**IRRIGATION/PLANTING NOTES:**

- ALL NEW TREES AND SHRUBS SHALL BE IRRIGATED IN ACCORDANCE WITH THE TCEQ AND UDC.
- NO TREES WITHIN 5' OF EXISTING UTILITIES

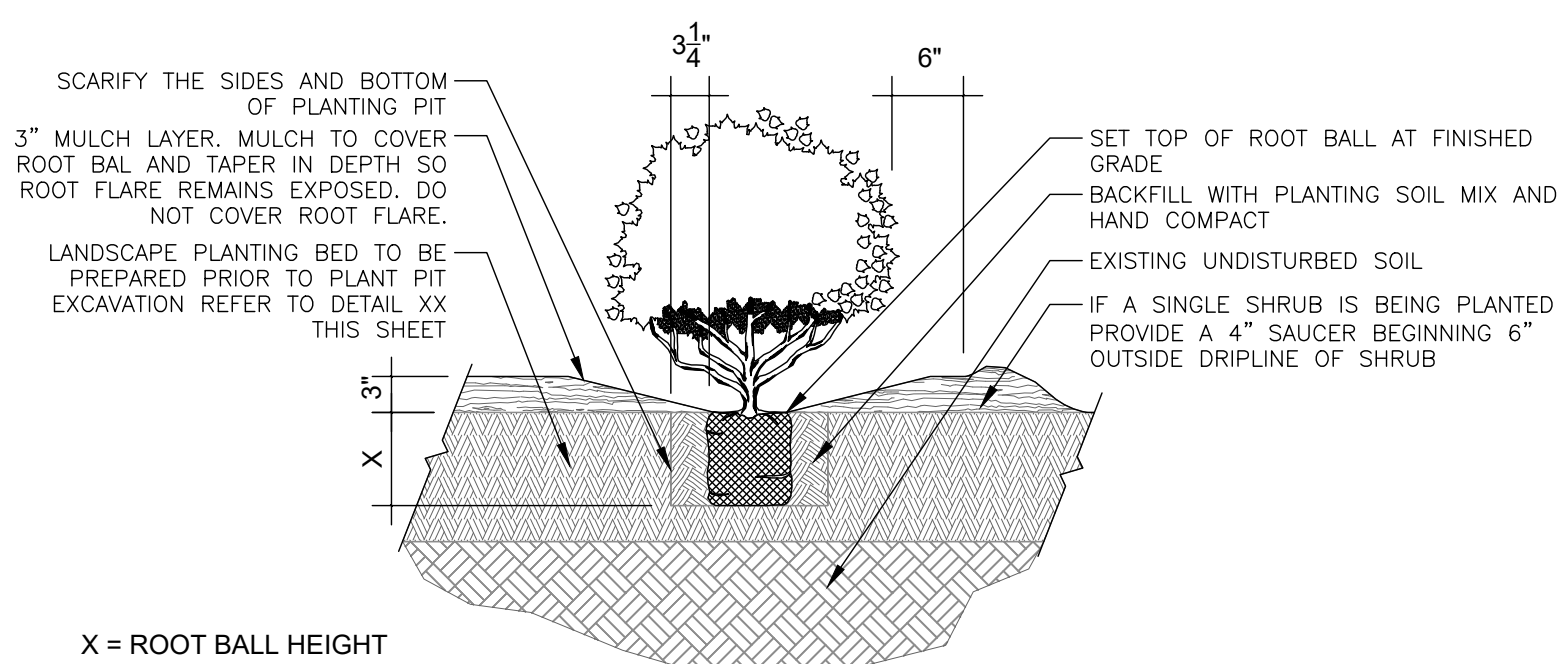
**SITE TREE EXHIBIT**



Case No. SP2019-007



1 SINGLE TREE TRUNK WITH STAKES  
3/4" = 1'-0"



2 SHRUB PLANTING DETAIL  
3/4" = 1'-0"

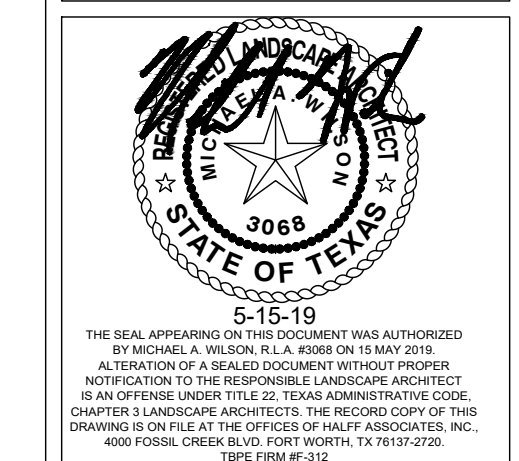
NOTE: NO TREES WITHIN 5' OF EXISTING UTILITIES

LAKE POINTE CHURCH  
PARKING LOT EXPANSION  
701 Interstate 30 Rockwall, TX 75087

**HALFF**  
3808 PARKWOOD BLVD., SUITE 800  
ROCKWALL, TX 75087  
TEL: (214) 918-4570  
FAX: (214) 918-4574  
TYPE FIRM #S-12

Revision No.	Date	Description
1	05-15-2019	Notes

5-15-19



Project No.:	35866
Issued:	05.15.19
Drawn By:	MAW
Checked By:	KMW
Scale:	AS NOTED
Sheet Title	LANDSCAPE DETAILS
Sheet Number	L3.01

Case No. SP2019-007