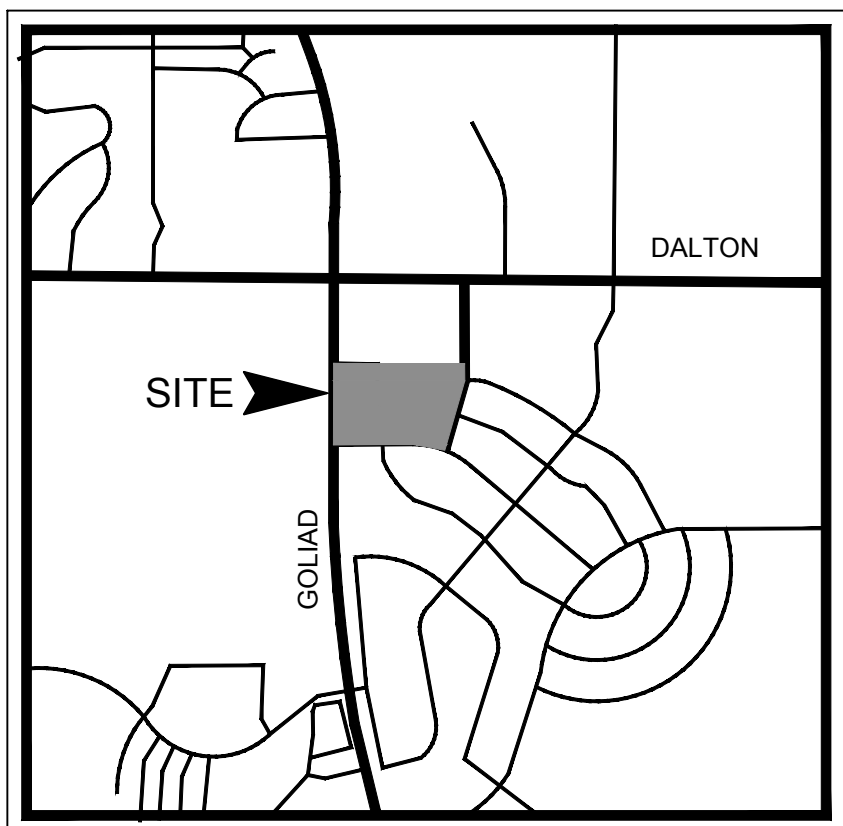


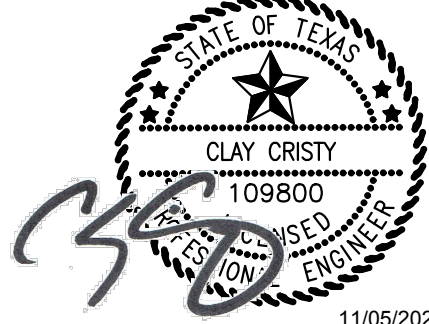
CIVIL PLANS

# PRIMROSE SCHOOL OF NORTH ROCKWALL

2.03 ACRES  
STONE CREEK RETAIL ADDITION  
ROCKWALL, TEXAS 75087



VICINITY MAP  
N.T.S.



NOVEMBER 2022

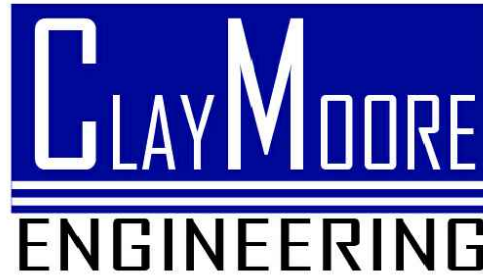
TO THE BEST OF OUR KNOWLEDGE CLAYMOORE  
ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT.  
THE INFORMATION PROVIDED IS BASED ON SURVEYING AT  
THE SITE AND INFORMATION PROVIDED BY THE  
CONTRACTOR.  
By: *CCD* Date: 11/05/2022

SHEET LIST TABLE		
Sheet Number	Sheet Title	REVISION DATE
C-0	COVER	11/5/2022
	SURVEY	
	PLAT	
SP-1	SITE PLAN	11/5/2022
C-1	GENERAL NOTES	11/5/2022
C-2	CITY GENERAL NOTES	11/5/2022
C-3	CITY GENERAL NOTES	11/5/2022
C-4	EROSION CONTROL PLAN	11/5/2022
C-5	EROSION CONTROL DETAILS	11/5/2022
C-6	DIMENSIONAL CONTROL AND PAVING PLAN	11/5/2022
C-7	GRADING PLAN	11/5/2022
C-8	EXISTING DRAINAGE AREA MAP	11/5/2022
C-9	PROPOSED DRAINAGE AREA MAP	11/5/2022
C-10	STORM DRAIN PLAN	11/5/2022
C-11	STORM PROFILE	11/5/2022
C-12	UTILITY PLAN	11/5/2022
C-13	CONSTRUCTION DETAILS	11/5/2022
L-1	LANDSCAPE PLAN	11/18/2020
L-2	LANDSCAPE SPECIFICATION DETAILS	11/18/2020
	***FOR REFERENCE ONLY***	
C2.01	EXISTING DRAINAGE AREA MAP	5/21/2009

PLAN SUBMITTAL LOG	
DESCRIPTION	SUBMITTAL DATE
CITY SUBMITTAL #1	06/10/2020
CITY SUBMITTAL #2	08/07/2020
CITY SUBMITTAL #3	08/24/2020
SITE REVISIONS	11/18/2020
ISSUE FOR CONSTRUCTION	05/12/2021
AS BUILTS	11/05/2022

**STOP!**  
**CALL BEFORE YOU DIG**  
DIG TESS  
1-800-DIG-TESS  
(@ least 72 hours prior to digging)

ENGINEER



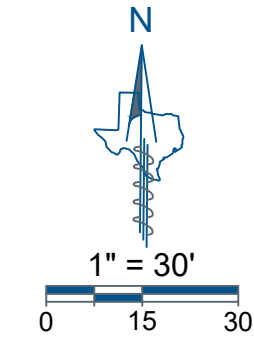
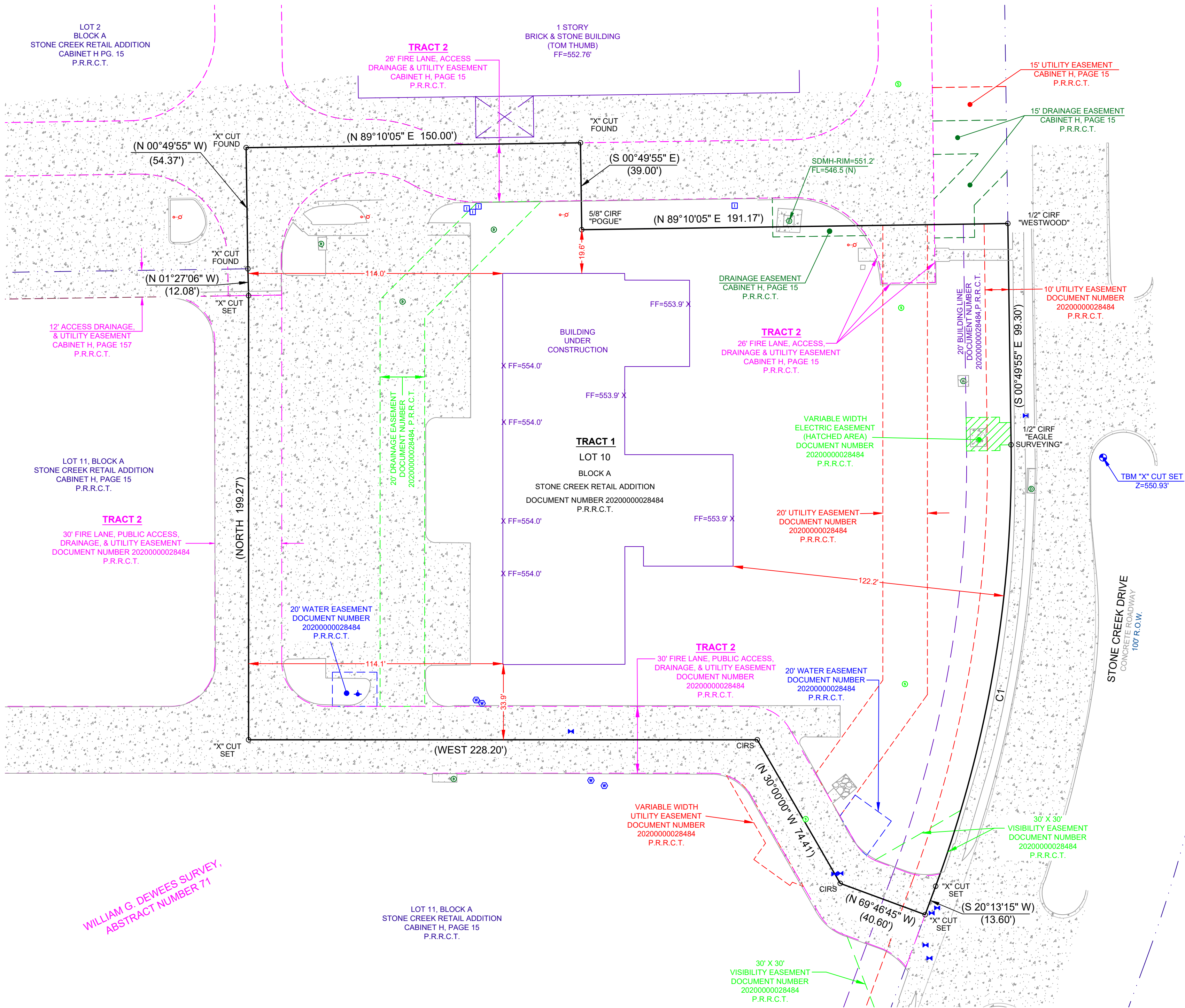
TEXAS REGISTRATION #14199  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TEXAS 76021  
PH. 817.281.0572  
FAX. 817.281.0574  
CONTACT: CLAY CRISTY, PE  
EMAIL: CLAY@CLAYMOOREENG.COM

ARCHITECT

CASCO  
12 SUNNEN DR. SUITE 100  
ST LOUIS, MO 63143  
PH: 314.238.1116  
CONTACT: KRISTEN M. MACK, NCARB

OWNER

METROPLEX ACQUISITION FUND, LP  
1717 WOODSTEAD CT  
SUITE 207  
THE WOODLANDS, TX 77380



**LEGAL DESCRIPTION**

Being Lot 10, in Block A of Stone Creek Retail Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat recorded in cc# 20200000028484, Real Property Records, Rockwall County, Texas.

**FLOOD NOTE**

This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 and is located in Community Number 480074 as shown on Map Number 48397C0030L.

**SURVEYOR NOTES**

1. This survey was performed without the benefit of an Abstract of Title or Title Commitment. Research of record documents done by Eagle Surveying was performed for the purpose of determining the boundary of this property and adjoining parcels. Additional record documents may exist and encumber this property.
2. The bearings shown on this survey are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).
3. All Capped Iron Rods Set are 1/2 inch with green plastic cap stamped "EAGLE SURVEYING".
4. This document represents an accurate on the ground survey of Lot 10, in Block A of Stone Creek Retail Addition located on Stone Creek Drive in the City of Rockwall, Rockwall County, Texas, on February 14, 2022.

JOB NUMBER  
1910.030-15  
DATE  
3/03/2022  
REVISION  
-  
DRAWN BY  
CF

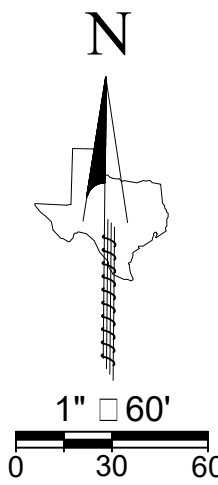


Eagle Surveying, LLC  
210 South Elm Street  
Suite: 104  
Denton, TX 76201  
940.222.3009  
www.eaglesurveying.com  
TX Firm # 10194177

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a Registered Professional Land Surveyor under the laws of the State of Texas.  
**PRELIMINARY**  
this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document  
Matthew Raabe  
R.P.L.S. # 6402  
Date

LEGEND	
	Sign
	Bollard
	Light Pole
	Water Valve
	Fire Hydrant
	Pin Flag (Water)
	Irrigation Control Valve
	Pin Flag (Gas)
	Gas Pipeline Marker
	Drainage Inlet
	Storm Drain Man Hole
	Sanitary Sewer Man Hole
	Concrete
	CIRS
	CIRF
	P.R.R.C.T.
	Record Call
	Capped Iron Rod Set
	Capped Iron Rod Found
	Plat Records, Rockwall County, Texas
	Asphalt
	Subject Tract
	Tract / Lot Lines
	Building Line
	Utility Easement
	Water Easement
	Access Easement
	Drainage Easement
	Visibility / Drainage Easement





### LEGEND

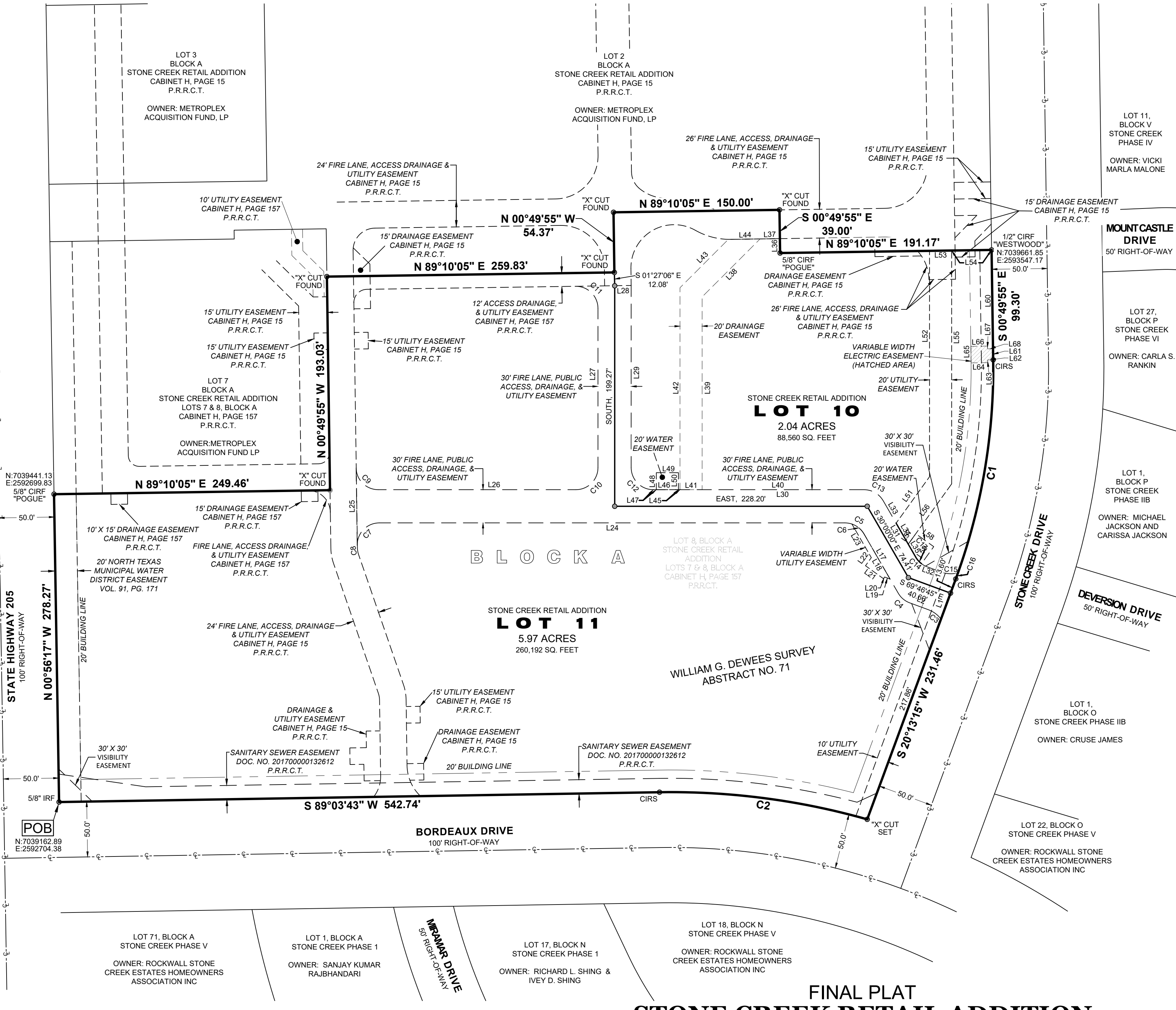
POB POINT OF BEGINNING  
IRF IRON ROD FOUND  
CIRS CAPPED IRON ROD SET  
CIRF CAPPED IRON ROD FOUND  
DOC. NO. DOCUMENT NUMBER  
D.R.R.C.T. DEED RECORDS,  
ROCKWALL COUNTY, TEXAS  
P.R.R.C.T. PLAT RECORDS,  
ROCKWALL COUNTY, TEXAS

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 20°13'15" W	24.98'
L2	N 69°46'45" W	18.05'
L17	N 30°00'00" W	61.77'
L18	S 30°00'00" E	47.14'
L19	N 68°44'44" W	5.30'
L20	S 35°43'58" W	1.85'
L21	N 54°16'02" E	20.00'
L22	N 35°43'58" E	9.02'
L23	N 30°00'00" W	35.06'
L24	N 90°00'00" W	420.73'
L25	N 00°48'02" W	69.91'
L26	N 90°00'00" E	178.59'
L27	N 00°00'02" W	143.84'
L28	N 88°52'58" E	14.87'
L29	S 00°00'00" E	164.56'
L30	N 90°00'00" E	190.45'
L31	S 30°00'00" E	58.86'
L32	S 69°46'45" E	13.58'
L33	S 30°00'00" E	23.37'
L34	S 30°00'00" E	21.94'
L35	S 30°00'00" E	13.55'
L36	N 00°49'55" W	13.00'
L37	S 89°10'05" W	17.89'
L38	S 45°00'00" W	74.08'
L39	S 00°00'00" E	174.25'
L40	N 90°00'00" E	146.32'
L41	N 90°00'00" W	20.00'
L42	N 00°00'00" W	182.53'
L43	N 45°00'00" E	61.82'
L44	N 89°10'05" E	26.53'
L45	N 90°00'00" W	1.40'
L46	N 90°00'00" W	20.00'
L47	N 90°00'00" W	2.73'
L48	N 00°00'00" W	15.34'
L49	N 90°00'00" E	20.00'
L50	S 00°00'00" E	15.34'
L51	N 35°43'58" E	51.70'
L52	N 00°00'00" W	204.14'
L53	N 89°16'28" E	20.00'
L54	N 89°07'26" E	36.09'
L55	S 00°00'00" E	210.84'
L56	S 35°43'58" W	67.16'
L57	N 35°43'58" E	11.63'
L58	S 54°16'02" E	20.00'
L59	S 35°43'58" W	18.96'
L60	S 00°49'55" E	89.30'
L61	S 00°49'55" E	10.00'
L62	S 89°10'05" W	5.00'
L63	S 00°49'55" E	2.50'
L64	S 89°10'05" W	15.00'
L65	N 00°49'55" W	15.00'
L66	N 89°10'05" E	15.00'
L67	S 00°49'55" E	2.50'
L68	N 89°10'05" E	5.00'

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	202.10'	550.00'	21°03'11"	S 09°41'40" W	200.96'
C2	189.99'	650.00'	16°44'48"	N 82°33'52" W	189.31'
C3	14.30'	25.00'	32°46'32"	N 53°23'29" W	14.11'
C4	13.89'	20.00'	39°46'45"	N 49°53'22" W	13.61'
C5	20.94'	20.00'	60°00'00"	N 60°00'00" W	20.00'
C6	14.46'	20.00'	41°25'02"	S 50°42'31" E	14.14'
C7	31.64'	20.00'	90°39'15"	S 44°40'23" W	28.45'
C8	8.63'	27.44'	18°01'35"	S 08°33'39" E	8.60'
C9	31.09'	20.00'	89°03'31"	S 45°28'14" E	28.05'
C10	31.42'	20.00'	90°00'00"	N 45°00'00" E	28.28'
C11	31.73'	20.00'	90°53'29"	N 45°26'44" W	28.50'
C12	31.42'	20.00'	90°00'00"	S 45°00'00" E	28.28'
C13	20.94'	20.00'	60°00'00"	S 60°00'00" E	20.00'
C14	13.89'	20.00'	39°46'45"	S 49°53'22" E	13.61'
C15	15.25'	25.00'	34°56'52"	S 87°15'11" E	15.01'
C16	5.91'	549.92'	0°36'55"	S 19°54'48" E	5.91'
C17	7.89'	20.00'	22°37'02"	S 41°18'31" E	7.84'

LOT 4, BLOCK A,  
MASON-STEED  
ADDITION,  
OWNER: LIU JOHN Q  
AND CONNIE Q

LOT 4, BLOCK A,  
MASON-STEED  
ADDITION,  
OWNER: JASON  
STEED &  
NATALIE MARIE  
STEED



## FINAL PLAT STONE CREEK RETAIL ADDITION LOTS 10 & 11, BLOCK A

BEING A REPLAT OF LOT 8, BLOCK A OF STONE CREEK RETAIL ADDITION,  
RECORDED IN CABINET H, PAGE 147, P.R.R.C.T.,  
SITUATED IN THE WILLIAM G. DEWEES SURVEY, ABSTRACT No. 71,  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project

1910.030-03

Date

09/18/20

Drafter

TAR/CF



**EAGLE SURVEYING, LLC**

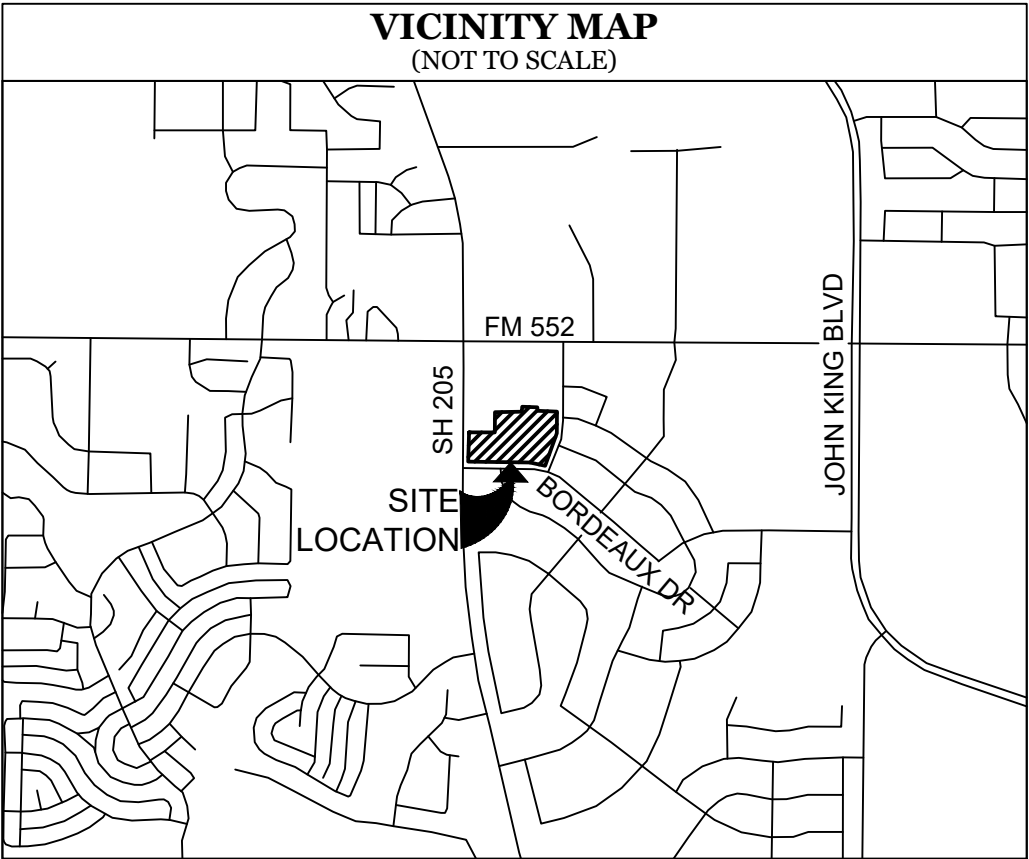
210 S. Elm Street, Suite: 104  
Denton, TX 76201  
(940) 222-3009  
TX Firm #10194177

**ENGINEER**  
ClayMoore Engineering  
1903 Central Drive, Suite 406  
Bedford, TX 76021  
(817) 281-0572

**SURVEYOR**  
Eagle Surveying, LLC  
210 S. Elm Street, Suite 104  
Denton, TX 76201  
(940) 222-3009

**OWNER**  
Crestview Real Estate  
12720 Hillcrest Road, Suite 650  
Dallas, TX 75230





OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

WHEREAS, **Crestview Real Estate**, is the owner of an 8.01 acre tract of land out of the William G. Dewees Survey, Abstract Number 71, situated in the City of Rockwall, Rockwall County, Texas, being all of Lot 8, Block A of Stone Creek Retail Addition, Lots 7 & 8, Block A, a subdivision of record in Cabinet H, Page 157 of the Plat Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING**, at a 5/8" iron rod found at the intersection of the East right-of-way line of State Highway 205 (100' right-of-way) and the North right-of-way line of Bordeaux Drive (100' right-of-way), being the Southwest corner of said Lot 8;

**THENCE**, N 00°56'17" W, along the East right-of-way line of State Highway 205, being the common West line of said Lot 8, a distance of 278.27 feet to a 5/8 inch iron rod with yellow plastic cap stamped "POGUE" found at the Southwest corner of Lot 7, Block A of said Stone Creek Retail Addition;

**THENCE**, leaving the East right-of-way line of State Highway 205, along the South and East lines of said Lot 7, being the common West line of said Lot 8, the following two (2) courses and distances:

1. N 89°10'05" E, a distance of 249.46 feet to an "X" cut found at the Southeast corner of said Lot 7;
2. N 00°49'55" W, a distance of 193.03 feet to an "X" cut found in the South line of Lot 2, Block A, Stone Creek Retail Addition, a subdivision of record in Cabinet H, Page 15 of said Plat Records;

**THENCE**, along the South line of said Lot 2, being the common North line of said Lot 8, the following five (5) courses and distances:

1. N 89°10'05" E, a distance of 259.83 feet to an "X" cut found;
2. N 00°49'55" W, a distance of 54.37 feet to an "X" cut found;
3. N 89°10'05" E, a distance of 150.00 feet to an "X" cut found;
4. S 00°49'55" W, a distance of 39.00 feet to a 5/8 inch iron rod with a yellow plastic cap stamped "POGUE" found;
5. N 89°10'05" E, a distance of 191.17 feet to a 1/2 inch iron rod with a yellow cap stamped "WESTWOOD" found in the West right-of-way line of Fairfax Drive (100' right-of-way), being the Southeast corner of said Lot 2, also being the Northeast corner of said Lot 8;

**THENCE**, along the West right-of-way line of Fairfax Drive and, being the common East line of said Lot 8, the following three (3) course and distances:

1. S 00°49'55" E, a distance of 99.30 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of beginning of a curve to the right;
2. Along said curve to the right, having a radius of 550.00 feet, a delta angle of 21°03'11", a chord which bears S 09°41'40" W, a distance of 200.96 feet, an arc length of 202.10 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve;
3. S 20°13'15" W, a distance of 231.46 to an "X" cut set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;

**THENCE**, along the North right-of-way line of Bordeaux Drive, being the common South line of said Lot 8,

1. Along a curve to the left, having a radius of 650.00 feet, a delta angle of 16°44'48", a chord which bears N 82°33'52" W, a distance of 189.31 feet, an arc length of 189.99 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve;
2. S 89°03'43" W, a distance of 542.74 feet to the **POINT OF BEGINNING** and enclosing 8.01 acres (348,751 square feet) of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **Crestview Real Estate**, the undersigned owner of the land shown on this plat, and designated herein as the **STONE CREEK RETAIL ADDITION**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **STONE CREEK RETAIL ADDITION**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: Crestview Real Estate

BY: \_\_\_\_\_  
Grey Stogner Date

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared **Grey Stogner**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**PRELIMINARY**  
this document shall not be recorded  
for any purpose and shall not be  
used or viewed or relied upon as a  
final survey document  
Matthew Raabe Date  
Registered Professional Land Surveyor #6402

CERTIFICATE OF APPROVAL

Chairman _____ Date _____ Planning & Zoning Commission	
<b>APPROVED:</b>	
I hereby certify that the above and foregoing plat of <b>STONE CREEK RETAIL ADDITION</b> , an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020.	
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.	
WITNESS OUR HANDS, this _____ day of _____, 2020.	
Mayor, City of Rockwall _____	City Secretary, City of Rockwall _____
City Engineer _____	

FINAL PLAT  
STONE CREEK RETAIL ADDITION  
LOTS 10 & 11, BLOCK A

BEING A REPLAT OF LOT 8, BLOCK A OF STONE CREEK RETAIL ADDITION,  
RECORDED IN CABINET H, PAGE 147, P.R.R.C.T.,  
SITUATED IN THE WILLIAM G. DEWEES SURVEY, ABSTRACT No. 71,  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

GENERAL NOTES	
1.)	The purpose of this plat is to split a single lot of record into two lots and dedicate easements for site development.
2.)	This property is located in "Non-shaded Zone X" according to the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 as shown on Map Number 48397C0030L.
3.)	The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. North American Datum of 1983 (adjustment realization 2011) State Plane Coordinate System (Texas North Central Zone - 4202).
4.)	Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
5.)	All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
6.)	The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. North American Datum of 1983 (adjustment realization 2011).
7.)	Property owner is responsible for repair, replacement, and maintenance off all detention and drainage systems in easements on-site.
8.)	It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Project	1910.030-03	 <b>EAGLE SURVEYING, LLC</b> 210 S. Elm Street, Suite: 104 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	09/18/20	
Drafter	TAR/CF	

**SURVEYOR**  
Eagle Surveying, LLC  
210 S. Elm Street, Suite: 104  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
ClayMoore Engineering  
1903 Central Drive, Suite 406  
Bedford, TX 76021  
(817) 281-0572

**OWNER**  
CrestView Real Estate  
12720 Hillcrest Road, Suite 650  
Dallas, TX 75230



# PARKING TABLE PHASE 1 (PRIMROSE)

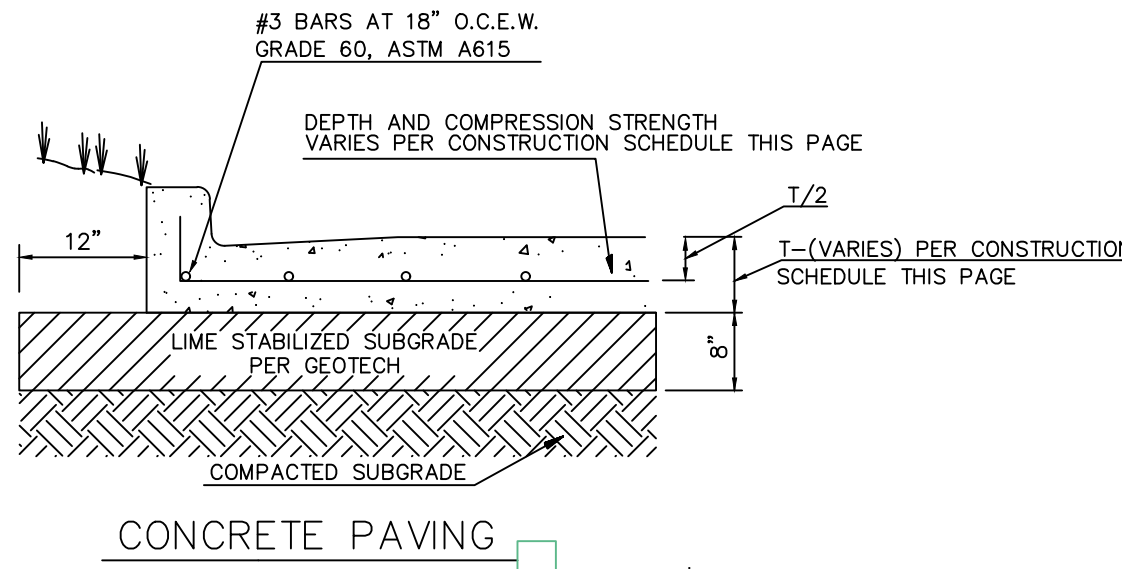
PARKING REQUIREMENTS	1/300 SF DAYCARE
PARKING REQUIRED	42 SPACES
PARKING PROVIDED	54 SPACES (3 ADA)

## NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

# SITE DATA TABLE PHASE 1 (PRIMROSE)

SITE AREA	2.03 AC 88,560 SF
ZONING	PD-70
PROPOSED USE	EARLY CHILDHOOD SCHOOL
BUILDING SIZE	12,400 SF
LOT COVERAGE	14.0 %
FLOOR TO AREA RATIO	0.14 : 1
BUILDING HEIGHT	1 STORY
FRONT SETBACK	20 FEET



## CONSTRUCTION SCHEDULE

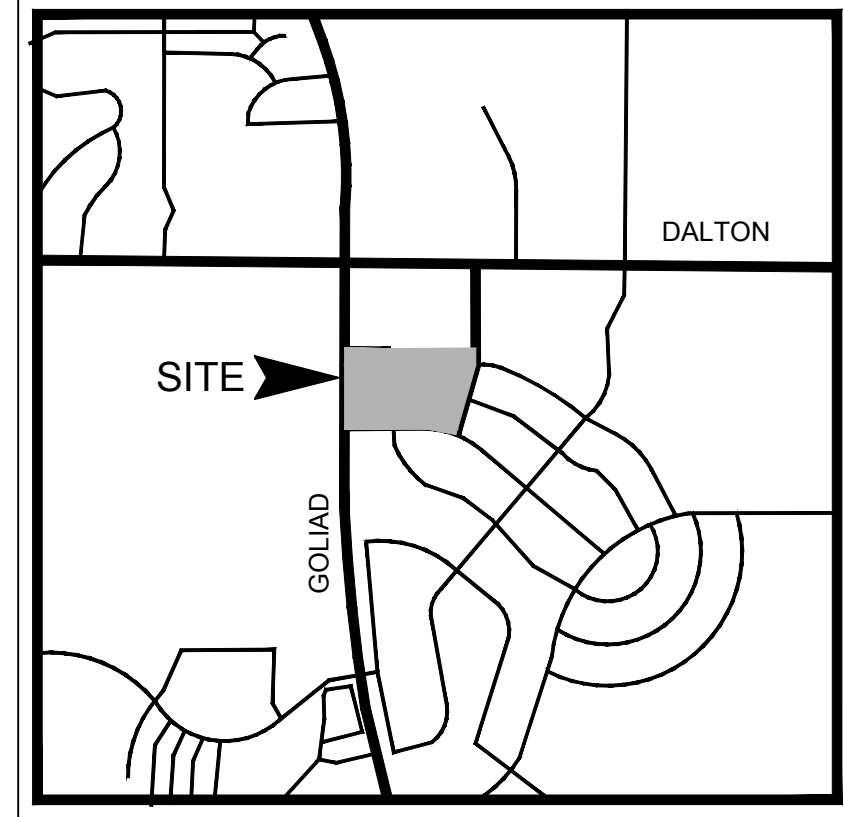
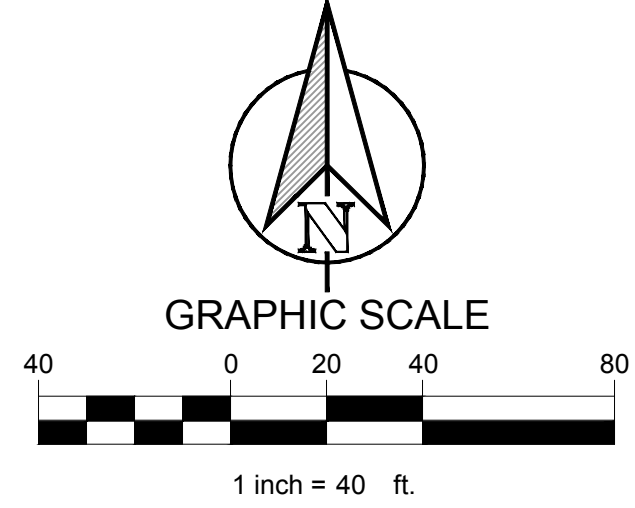
	STANDARD DUTY CONCRETE (5\"/>
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## CONSTRUCTION SCHEDULE

	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM LINE
	EXISTING STORM LINE
	PROPOSED ELECTRIC SERVICE
	PROPOSED GAS LINE

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

By: *CSO* Date: 11/05/2022



VICINITY MAP  
N.T.S.

## CONSTRUCTION SCHEDULE

①	2\"/>
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# PRIMROSE SCHOOL OF NORTH ROCKWALL ROCKWALL, TX 75087

NO.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

## CITY SITE PLAN

## PRIMROSE SCHOOL ROCKWALL, TX 75087

### LEGAL DESCRIPTION AND OR ADDRESS:

A PORTION OF STONE CREEK RETAIL ADDITION  
LOT 8, BLOCK A  
2.03 ACRES (REPLAT 2012)

OWNER:  
METROPLEX ACQUISITION FUND, LP  
1717 WOODSTEAD CT  
STE 207  
THE WOODLANDS, TX 77380

APPLICANT:  
CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
PH: 817.281.0572

CASE NUMBER  
SP2020-005

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 11/5/2022

SHEET

SP-1

File No. 2020-021

PLOTTED BY: LYNN ROWLAND  
PLOT DATE: 11/5/2022 2:18 PM  
LOCATION: Z:\PROJECTS\PROJECTS\2020-021 CASCO PRIMROSE ROCKWALL\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG  
LAST SAVED: 11/18/2020 5:09 PM



PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 11/5/2022 1:15 PM  
 LOCATION: Z:\PROJECTS\PROJECTS\2020-021 CASCO PRIMROSE ROCKWALL\CADD\SHEETS\PRIMROSE\C-3 CITY GENERAL NOTES.DWG  
 LAST SAVED: 8/5/2020 12:42 AM

GENERAL NOTES

- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY'S DESIGN STANDARDS. IF NO CITY STANDARD IS APPLICABLE, MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 5TH EDITION". IN THE EVENT OF A CONFLICT BETWEEN THE SPECIFICATIONS IN THIS PLAN SET AND CITY STANDARDS, THE CITY STANDARDS WILL BE USED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS, IF ANY, ARE CONCEPTUAL.
- THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
- BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
- THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION AND APPROVAL OF THE ENGINEER AND CITY OF ROCKWALL ENGINEERING DEPARTMENT. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CONTRACTOR, OWNER, AND CITY INSPECTOR DIRECTLY FROM THE TESTING AGENCY.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
- CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISE UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION. PAYMENT FOR RELOCATION AND INSTALLATION WILL BE NEGOTIATED ONCE IDENTIFIED.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER PER CITY CITY STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
- CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET. ALL "RECORD" SLOPES SHALL CONFORM TO THE DESIGNED SLOPES PLUS OR MINUS 0.005 FOOT/FOOT.
- CONTRACTOR SHALL CONTACT CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THIS AND PERHAPS OTHER SUCH REQUIREMENTS MAY EXIST AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.

PAVING AND STRIPING NOTES

- THE REINFORCED PORTLAND CEMENT CONCRETE (NON FIRELANE) SHOULD HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI (MINIMUM 5.5 SACK MIX) FOR LIGHT DUTY CONCRETE. FIRELANES AND DUMPSTER AREAS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,600 PSI (MINIMUM 6.5 SACK MIX) AT 28 DAYS. MINIMUM REINFORCING FOR LIGHT DUTY PAVEMENT SHALL BE #3 BARS @ 18" O.C.E.W., FIRELANES SHALL BE #4 BARS @ 24" O.C.E.W., DUMPSTER AREA PAVEMENT SHALL BE #4 BARS @ 18" O.C.E.W., AND SHALL STRICTLY ADHERE TO DETAILS INCLUDED IN THIS SET. A BASE SUB-GRADE PER THE GEOTECHNICAL REPORT IS REQUIRED BENEATH ALL PAVING. CONCRETE PAVING FOR PUBLIC SIDEWALKS SHALL BE 3,600 PSI (MINIMUM 6.5 SACK MIX) REINFORCED WITH #3 BARS @ 14" O.C.E.W. NO SAND IS ALLOWED UNDER ANY PAVING.

- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE OWNER PRIOR TO INSTALLATION.
- SEE M.E.P. PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
- ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE MOST RECENT VERSION OF THE AMERICANS WITH DISABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994, AND ALL ADDENDUMS OR UPDATES.
- CONTRACTOR SHALL SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
- ANY EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- CONSTRUCTION JOINTS SHALL BE REQUIRED AT INTERRUPTIONS OF PAVING OPERATIONS SUCH AS THOSE OCCURRING AT THE END OF THE DAY OR DUE TO WEATHER OR EQUIPMENT BREAKDOWN. PLACE AT LONGITUDINAL CONSTRUCTION OR ISOLATION JOINT LOCATIONS.
- CONTRACTOR TO INSTALL CONSTRUCTION JOINTS IN CONCRETE PAVEMENT AT ALL PC'S AND AS CONVENIENT TO PHASING OF POURS. CONCRETE PAVEMENT TO BE CONSTRUCTED WITH ISOLATION JOINTS AROUND THE PERIMETER OF ANY BLOCK OUT IN PAVEMENT AND SAWED DUMMY JOINTS EVERY 12' IN BOTH DIRECTIONS.
- ALL JOINTS ARE TO CONTINUE THROUGH THE CURB.
- RADIAL JOINTS SHALL BE NO SHORTER THAN 24".
- ALL CONSTRUCTION JOINTS SHALL BE SAWED, CLEANED OF DEBRIS, BLOWN DRY AND IMMEDIATELY SEALED WITH HOT POURED RUBBER JOINT SEALING COMPOUND.

STORM SEWER NOTES

- CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND CONSTRUCTION MANAGER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS, GRATE INLETS, AND ALL UTILITIES CROSSING THE STORM SEWER. FLOW LINES AND RIMS OF PROPOSED INLETS SHALL BE VERIFIED WITH THE PROPOSED GRADE PRIOR TO CONSTRUCTION.
- THE END OF ALL STORM SEWER LATERALS THAT CONNECT TO WORK BY PLUMBER SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED 5.0 FEET OUTSIDE THE BUILDING UNTIL FINAL CONNECTIONS ARE MADE BY PLUMBING CONTRACTOR.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- EXISTING MANHOLE TOPS AND ALL OTHER DRAINAGE FACILITIES SHALL BE ADJUSTED AS REQUIRED TO MATCH FINAL GRADES AS SHOWN ON GRADING PLAN. NO SEPARATE PAY ITEM.
- ALL RCP SHALL BE CLASS 3 OR APPROVED EQUAL.

STORM SEWER DISCHARGE AUTHORIZATION

- IF THE TOTAL DISTURBED AREA EXCEEDS ONE (1) ACRE A NOTICE OF INTENT (N.O.I.) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE TCEQ NO LESS THAN 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
- A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
- A NOTICE OF TERMINATION (N.O.T.) SHALL BE SUBMITTED TO THE TCEQ BY THE CONTRACTOR WHEN THE SITE HAS 100% OF THE DISTURBED AREAS STABILIZED AND THE SITE NO LONGER HAS STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES (CONSTRUCTION), OR THE N.O.T. PERMITTEE OR CO-PERMITTEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION.

TRAFFIC CONTROL NOTES

- SIGNED AND SEALED TRAFFIC CONTROL PLANS MUST BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO THE INSTALLATION OF ANY TRAFFIC CONTROL DEVICES.
- ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
- THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
- THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
- ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND PERMANENT SOIL STABILIZATION IS ACHIEVED.
- CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION.

- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED (OR SODDED), IRRIGATED, AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 80% COVERAGE. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOD SIMILAR TO THAT EXISTING.
- NO CITY ACCEPTANCE OR TCO/CO UNTIL GRASS IS ESTABLISHED IN ALL AREAS.
- CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
- CONSTRUCTION ENTRANCE:
  - STONE: 4-6 -INCH DIAMETER (NO CRUSHED CONCRETE ALLOWED)
  - THICKNESS: NOT LESS THAN 12-INCHES
  - LENGTH: AS SHOWN ON PLAN
  - WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
  - MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS.
  - MUST BE 20'X50' MINIMUM

- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH IS DISTURBED.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF SITE IMPACTS OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE. CONTROL POINTS RELATED TO EARTHWORK.
- CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q. OR THE GOVERNING CITY.
- 75%-80% OF ALL DISTURBED AREA TO HAVE A MINIMUM OF 1" STAND OF GRASS PRIOR TO CITY ACCEPTANCE.
- ALL RIGHT-OF-WAYS TO BE SODDED.

GRADING NOTES

- A GRADING AND STORMWATER CONTROL PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND PAYING ALL ASSOCIATED FEES.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE EXISTING AND PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
- THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
- ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR, OFFSITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
- ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE GEOTECHNICAL REPORT. MINIMUM OF 95% STANDARD DENSITY COMPACTION USING A SHEEP'S FOOT ROLLER.
- GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. & T.A.S.) EXIST TO AND FROM EVERY DOOR. IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. AND T.A.S. COMPLIANCE ISSUES.
- THE DETENTION SYSTEM SHALL BE FULLY INSTALLED AND FUNCTIONING PER PLAN INCLUDING THE SIDES AND BOTTOM TO BE STABILIZED WITH ANCHORED SEEDED (BERMUDA MIX) CURELX OR SOD PRIOR TO ANY PAVING INCLUDING SLAB.

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE  
 ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT.  
 THE INFORMATION PROVIDED IS BASED ON SURVEYING AT  
 THE SITE AND INFORMATION PROVIDED BY THE  
 CONTRACTOR.

By: *CSG* Date: 11/05/2022



PRIMROSE SCHOOL OF  
 NORTH ROCKWALL  
 ROCKWALL, TX 75087

No.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

GENERAL NOTES

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 11/5/2022

SHEET

C-1

File No. 2020-021



PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 11/5/2022 4:15 PM  
 LOCATION: Z:\PROJECTS\PROJECTS\2020-021 CASCO PRIMROSE ROCKWALL\CADD\SHEETS\PRIMROSE\C-3 CITY GENERAL NOTES.DWG  
 LAST SAVED: 8/5/2020 12:42 AM

GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/engr.asp>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not meet. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am – 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES


- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and .or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call – 811 – line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - No more than 500 linear feet of trench may be opened at one time.
  - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
  - Applicable safety regulations shall be complied with.
- This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalug joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC – SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and lager wastewater line shall be Green PVC – PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal.. Consheild must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.

	<b>GENERAL CONSTRUCTION NOTES</b>	
	Sheet 1 of 2 June 2020	
	<b>CITY OF ROCKWALL ENGINEERING DEPARTMENT</b>	
	385 S. Goliad Rockwall, Texas 75087	P (972) 771-7746 F (972) 771-7748

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE  
 ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT.  
 THE INFORMATION PROVIDED IS BASED ON SURVEYING AT  
 THE SITE AND INFORMATION PROVIDED BY THE  
 CONTRACTOR.

By:  Date: 11/05/2022



PRIMROSE SCHOOL OF  
 NORTH ROCKWALL  
 ROCKWALL, TX 75087

NO.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

CITY GENERAL  
 NOTES

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 11/5/2022

SHEET

C-2

File No. 2020-021



PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 11/5/2022 1:55 PM  
 LOCATION: Z:\PROJECTS\PROJECTS\11-000001\11-000001.dwg  
 LAST SAVED: 8/5/2020 12:42 AM

**DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES**

1. All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
2. Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
3. All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted subbase.
4. No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

## PAVING AND GRADING

1. All detention systems are to be installed and verified for design compliance along with the associated stormwater sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond, along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored-seeded curlex installed prior to any concrete placement.
2. All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Strength 28-Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement	
			Machine placed	Hand Placed	Bar #	Spacing (O.C.E.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5'-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

3. Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawn transverse dummy joints shall be spaced every 15 feet or 1.25 times longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
4. No sand shall be allowed under any paving.
5. All concrete mix design shall be submitted to the City for review and approval prior to placement.
6. Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
7. All curb and gutter shall be integral (monolithic) with the pavement.
8. All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
9. All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
10. All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
11. All public sidewalks shall be doweled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
12. All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
13. Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
14. All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
15. Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
16. All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
17. CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
18. CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
19. CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow thru these approved plans.

**DRAINAGE / STORM SEWER NOTES**

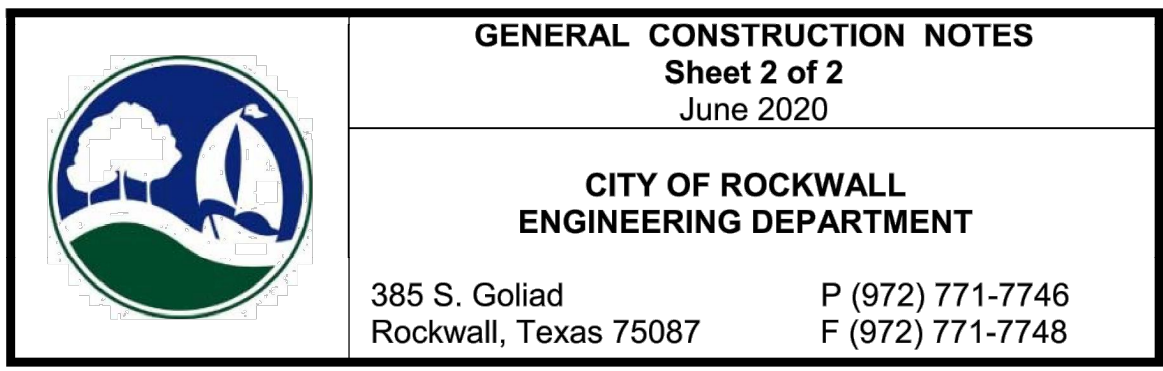
1. The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
2. All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
3. Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
4. All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
5. All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
6. All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
7. All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.

## RETAINING WALLS


1. All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
2. All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
3. All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
4. All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-built prior to City Engineering acceptance.
5. No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

## FINAL ACCEPTANCE AND RECORD DRWINGS/AS-BUILTS

1. Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
2. After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
3. Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
4. Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
5. The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
6. Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."



TO THE BEST OF OUR KNOWLEDGE CLAYMOORE  
ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT.  
THE INFORMATION PROVIDED IS BASED ON SURVEYING AT  
THE SITE AND INFORMATION PROVIDED BY THE  
CONTRACTOR.

By:  Date: 11/05/2022

TEXAS REGISTRATION #14199



CLAY MOORE  
ENGINEERING

PHONE 817.281.0572  
WWW.CLAYMOOREENG.COM

1003 CENTRAL DIR. SUITE 4006  
BEDFORD, TX 76021



**PRIMROSE SCHOOL OF  
NORTH ROCKWALL  
ROCKWALL, TX 75087**

2	09/13/2021	STORM REVISION	LRR		
1	12/07/2020	STORM REVISION	LRR		
No.	DATE	REVISION	BY		

# CITY GENERAL NOTES

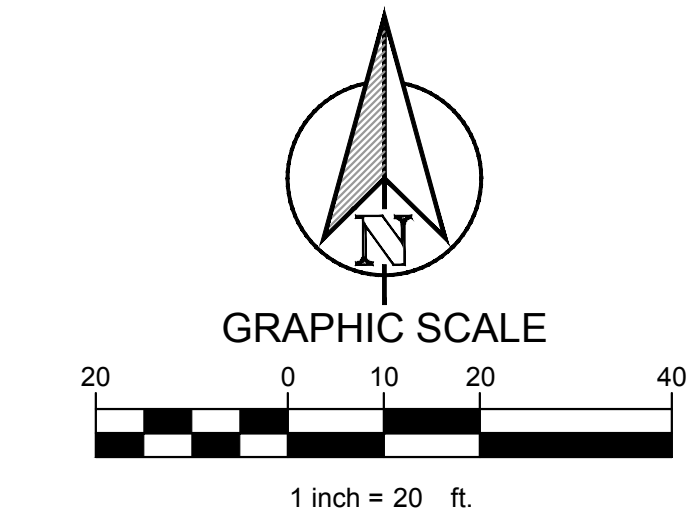
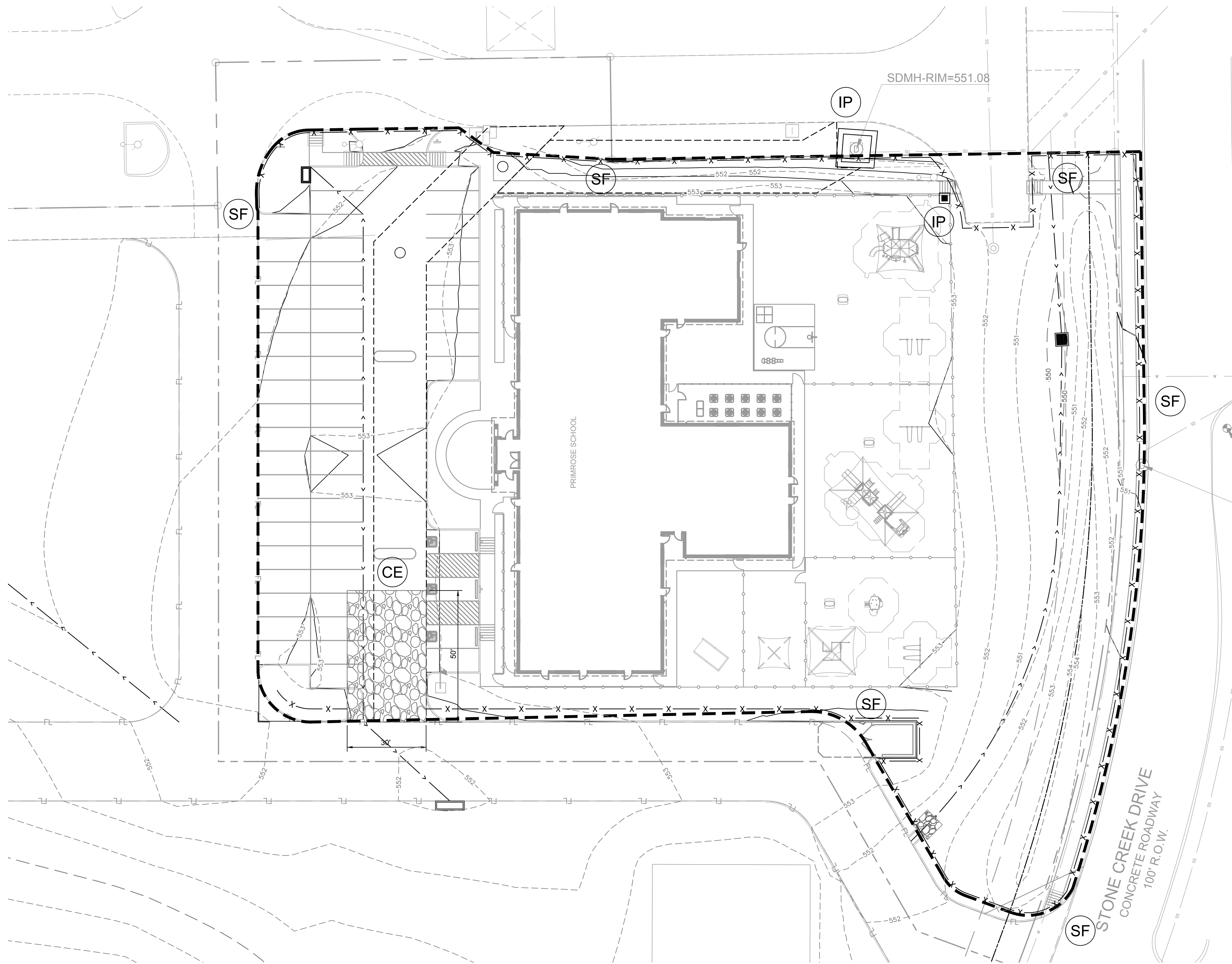
DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLO
DATE:	11/5/2022

SHEET  
**C-3**

File No.	2020-021
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PLOT DATE: 11/5/2022 4:16 PM  
LOCATION: Z:\PROJECTS\PROJECTS\2020-021 CASCO PRIMROSE ROCKWALL\CADD\SHEETS\PRIMROSE\C-4 EROSION CONTROL PLAN.DWG  
LAST SAVED: 8/21/2020 8:55 AM



LEGEND	
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF CONSTRUCTION
	SILT FENCE
	CONSTRUCTION ENTRANCE
	INLET PROTECTION

ACREAGE SUMMARY	
ONSITE DISTURBED AREA	1.68 AC
OFFSITE DISTURBED AREA	0.00 AC
TOTAL DISTURBED AREA	1.68 AC

NOTE:  
NO CITY ACCEPTANCE OR TCO/CO  
WILL BE ISSUED UNTIL GRASS IS  
ESTABLISHED IN ALL DISTURBED AREAS  
AND ROWs ARE SODDED

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE  
ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT.  
THE INFORMATION PROVIDED IS BASED ON SURVEYING AT  
THE SITE AND INFORMATION PROVIDED BY THE  
CONTRACTOR.  
By: Date: 11/05/2022

TEXAS REGISTRATION #14199  
**CLAYMOORE**  
**ENGINEERING**  
1983 CENTRAL DR. SUITE #403  
ROCKWALL, TX 75087  
PHONE 972.261.0072  
WWW.CLAYMOOREENR.COM

**PRIMROSE SCHOOL OF  
NORTH ROCKWALL  
ROCKWALL, TX 75087**

No.	1	DATE	11/5/2022	REVISION	BY
2	09/13/2021	STORM REVISION	LRR		
1	12/07/2020	STORM REVISION	LRR		

**EROSION CONTROL PLAN**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 11/5/2022  
SHEET  
**C-4**

File No. 2020-021



PLOTTED BY: LYNN ROWLAND  
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 LAST SAVED: 8/5/2020 12:43 AM

STANDARD EROSION CONTROL GENERAL NOTES

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF ROCKWALL.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE BORROW OR SPOILS SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOILS AREAS ARE CONSIDERED PART OF EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
6. CONTRACTOR SHALL HAVE A COPY THE SWPPP ON SITE AT ALL TIMES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. CONTRACTOR SHALL COMPLY WITH ALL E.P.A. STORM WATER POLLUTION PREVENTION REQUIREMENTS.

EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING:

PHASE 1 – DEMOLITION/GRADING

- A. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON GRADING AND EROSION CONTROL PLAN, NOTES, AND DETAIL SHEETS.
- B. BEGIN CLEARING AND GRADING OF SITE.
- C. SEED AND REVEGETATE SLOPES WHERE SHOWN.

PHASE 2 – UTILITIES

- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- B. INSTALL STORM DRAINS AS SPECIFIED ON PLAN SHEETS.
- C. INSTALL INLET PROTECTION.

PHASE 3 – PAVING

- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE. REMOVE AS NEEDED TO PAVE.
- B. STABILIZE SUBGRADE.
- C. PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
- D. REMOVE TEMPORARY CONSTRUCTION ENTRANCE.
- E. MAINTAIN INLET PROTECTION.

PHASE 4 – LANDSCAPING AND SOIL STABILIZATION

- A. REVEGETATE LOT AND PARKWAYS
- B. LANDSCAPE CONTRACTOR SHALL REVEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
- C. REMOVE EROSION CONTROL DEVICES WHEN GROUND COVER ESTABLISHED.

B.M.P. MAINTENANCE SCHEDULE

TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT:

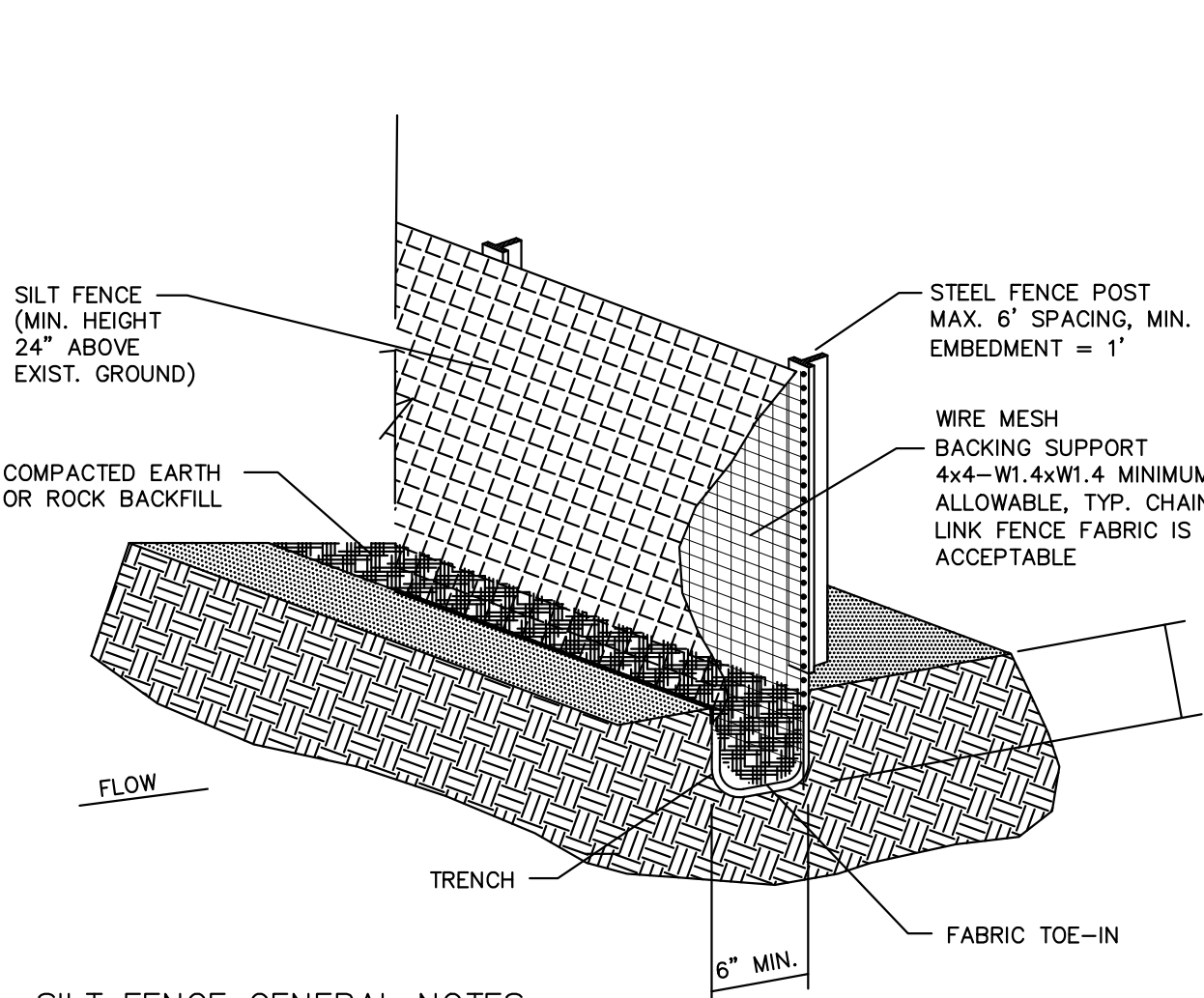
INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE SONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASH DOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.

SILT FENCE:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE. INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.

INLET PROTECTION:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. SEDIMENT SHALL BE REMOVED FROM THE STORAGE AREA WHEN SEDIMENT DEPTH HAS BUILT UP TO ONE-HALF THE DESIGN DEPTH. IF DE-WATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE SURROUNDING THE INLET. CLEAN THE STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.

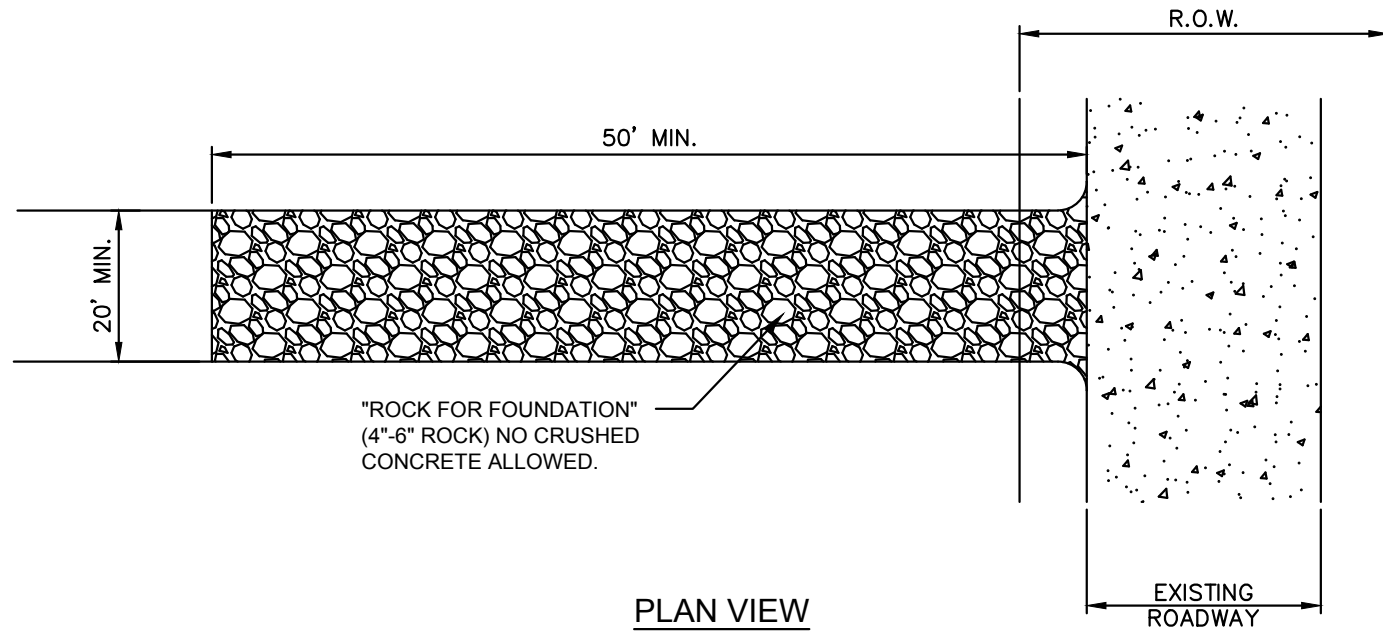


SILT FENCE GENERAL NOTES

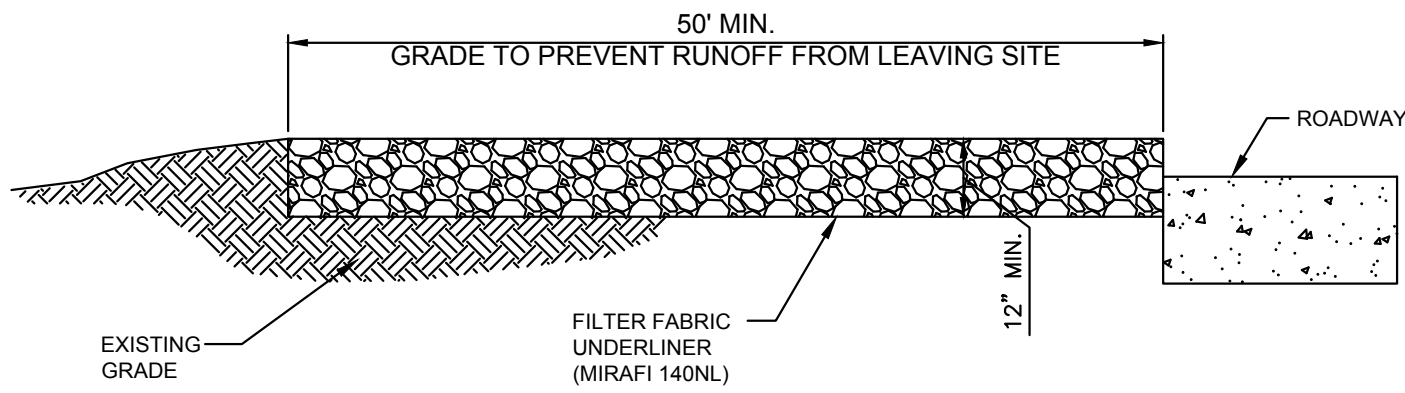
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY WEEK AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

CONSTRUCTION OF A FILTER BARRIER

N.T.S.



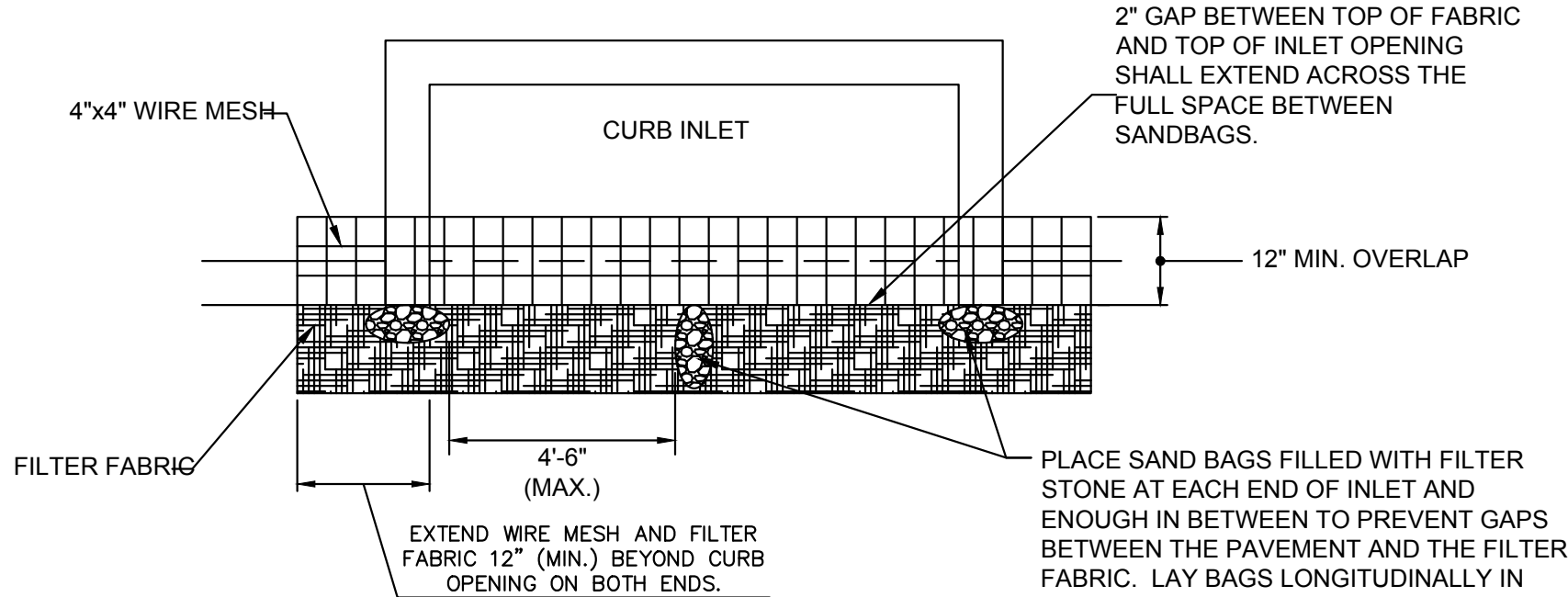
PLAN VIEW



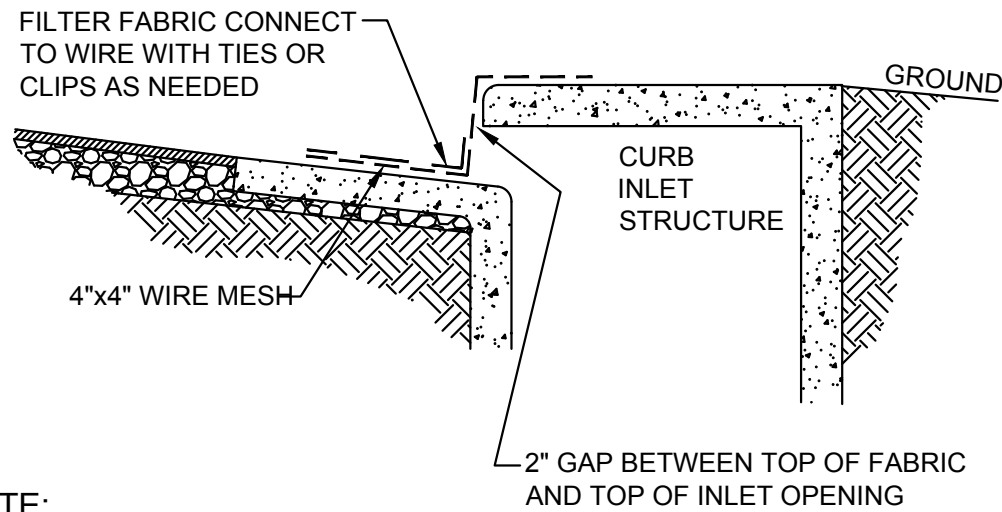
PROFILE

CONSTRUCTION ENTRANCE DETAIL

N.T.S.



PLAN VIEW



CROSS SECTION

CURB INLET PROTECTION DETAIL

N.T.S.

IP

NOTE:  
VERTICAL PANEL BARRICADES  
TO BE PLACED WHEN LOCATED  
ON AN ACTIVE STREET.

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE  
 ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT.  
 THE INFORMATION PROVIDED IS BASED ON SURVEYING AT  
 THE SITE AND INFORMATION PROVIDED BY THE  
 CONTRACTOR.

By: *CSO* Date: 11/05/2022

TEXAS REGISTRATION #14199

**CLAYMOORE**  
**ENGINEERING**

980 CENTRAL DR., SUITE #400  
 ROCKWALL, TX 75087  
 PHONE: 972.281.0072  
 WWW.CLAYMOOREENR.COM



PRIMROSE SCHOOL OF  
 NORTH ROCKWALL  
 ROCKWALL, TX 75087

No.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

EROSION CONTROL DETAILS

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	11/5/2022

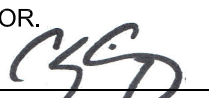
SHEET

C-5

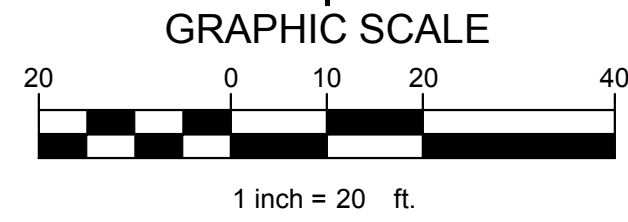
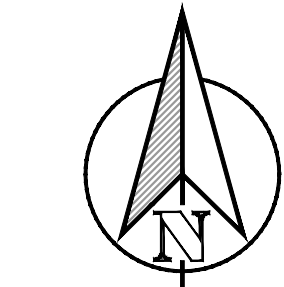
File No. 2020-021




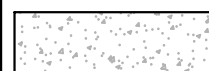
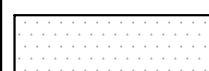

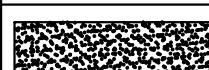
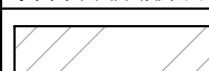
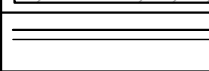
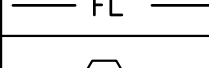
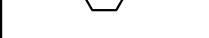
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 LAST SAVED: 11/18/2020 5:59 PM

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE  
 ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT.  
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 THE SITE AND INFORMATION PROVIDED BY THE  
 CONTRACTOR.  
 By:  Date: 11/05/2022

LOT 8  
 BLOCK A  
 STONE CREEK RETAIL ADDITION  
 LOTS 7 & 8, BLOCK A  
 GARDEN HILLS, TEXAS



CONSTRUCTION SCHEDULE	
①	HANDICAP SYMBOL
②	PAVEMENT STRIPING
③	HANDICAP SIGN PER DETAIL SHEET C-13
④	PARKING STALL STRIPING, 4" WIDE
⑤	SIDEWALK, 5FT MIN. WIDTH
⑥	HANDICAP RAMPS PER DETAIL SHEET C-13
⑦	CURB STOP PER DETAIL SHEET C-13
⑧	CURB AND GUTTER PER DETAIL SHEET C-13

CONSTRUCTION SCHEDULE	
	HEAVY DUTY (7" CONCRETE) SEE C-13 FOR DETAILS.
	PROPOSED CONCRETE SIDEWALK. SEE C-13 FOR DETAILS.
	STANDARD DUTY (5" CONCRETE) SEE C-13 FOR DETAILS.
	DUMPSTER DUTY (7" CONCRETE) SEE C-13 FOR DETAILS.
	PROPOSED PUBLIC CONCRETE SIDEWALK. SEE C-13 FOR DETAILS.
	PROPOSED FIRE LANE PAVEMENT BY OTHERS.
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE
	PARKING COUNT

- NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
  - JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING. CONTRACTOR TO PROVIDE JOINT LAYOUT TO ENGINEER PRIOR TO POURING PAVEMENT.

SITE DATA TABLE PHASE 1 (PRIMROSE)	
SITE AREA	2.03 AC 88,560 SF
ZONING	PD-70
PROPOSED USE	EARLY CHILDHOOD SCHOOL
BUILDING SIZE	12,400 SF
LOT COVERAGE	14.0 %
FLOOR TO AREA RATIO	0.14 : 1
BUILDING HEIGHT	1 STORY

PARKING TABLE PHASE 1 (PRIMROSE)	
PARKING REQUIREMENTS	1/300 SF DAYCARE
PARKING REQUIRED	42 SPACES
PARKING PROVIDED	54 SPACES (3 ADA)



PRIMROSE SCHOOL OF  
 NORTH ROCKWALL  
 ROCKWALL, TX 75087

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DIMENSIONAL CONTROL  
 AND PAVING PLAN

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 11/5/2022  
 SHEET  
**C-6**

File No. 2020-021



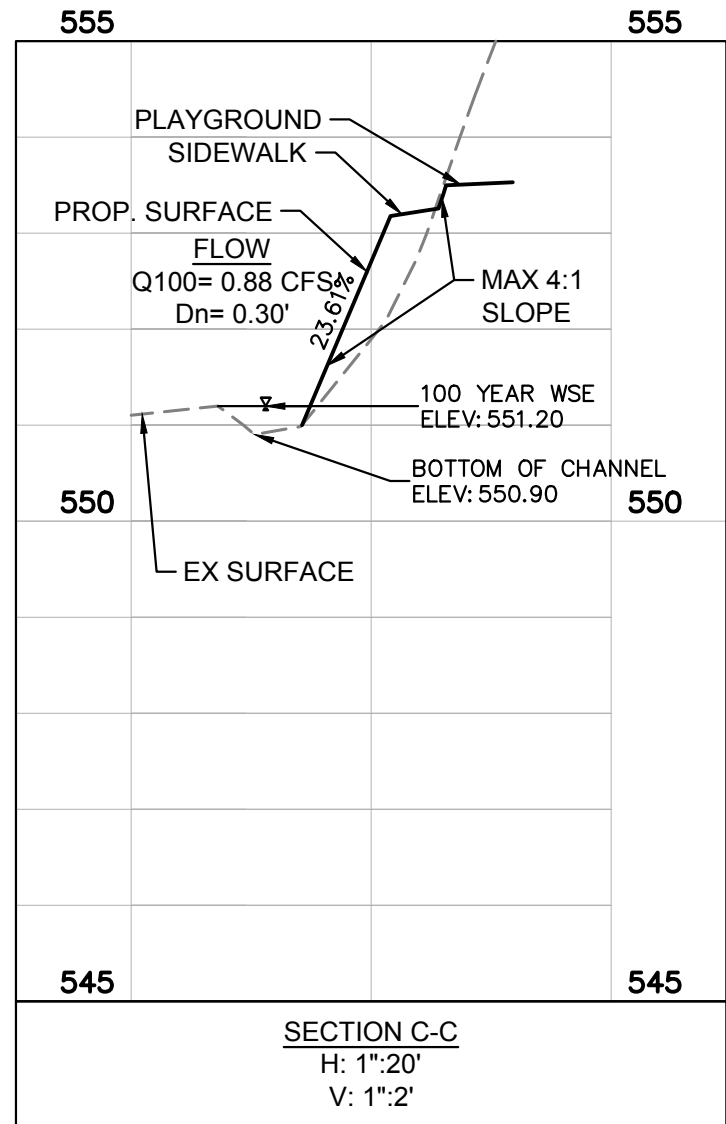
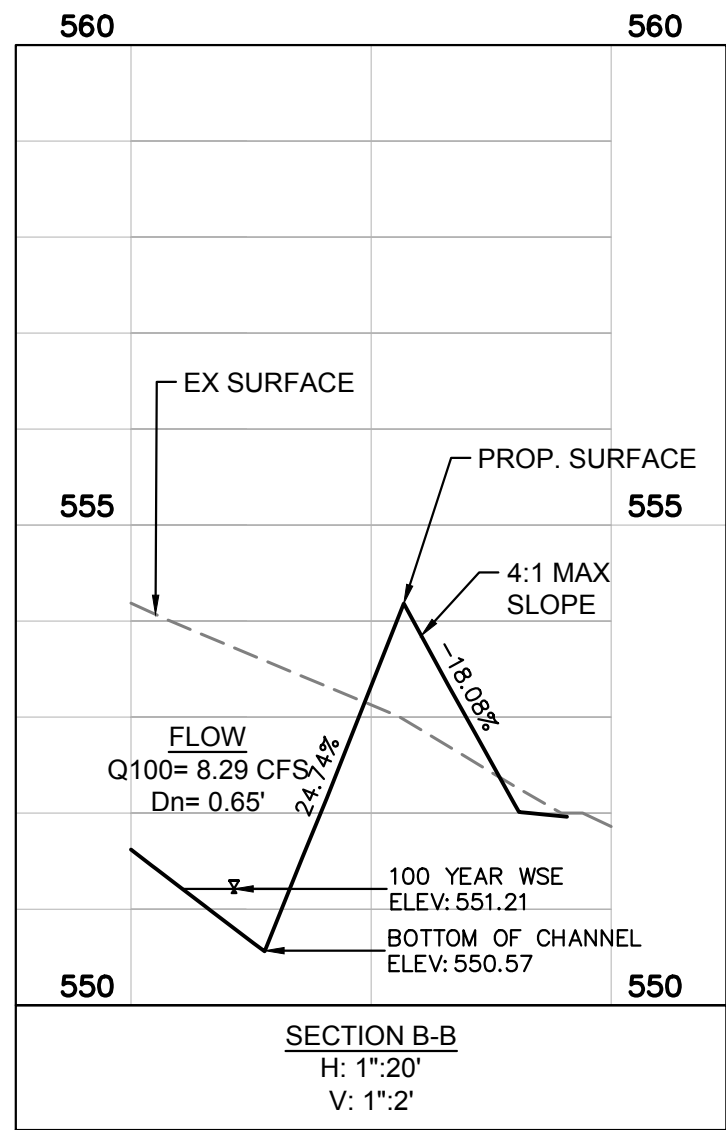
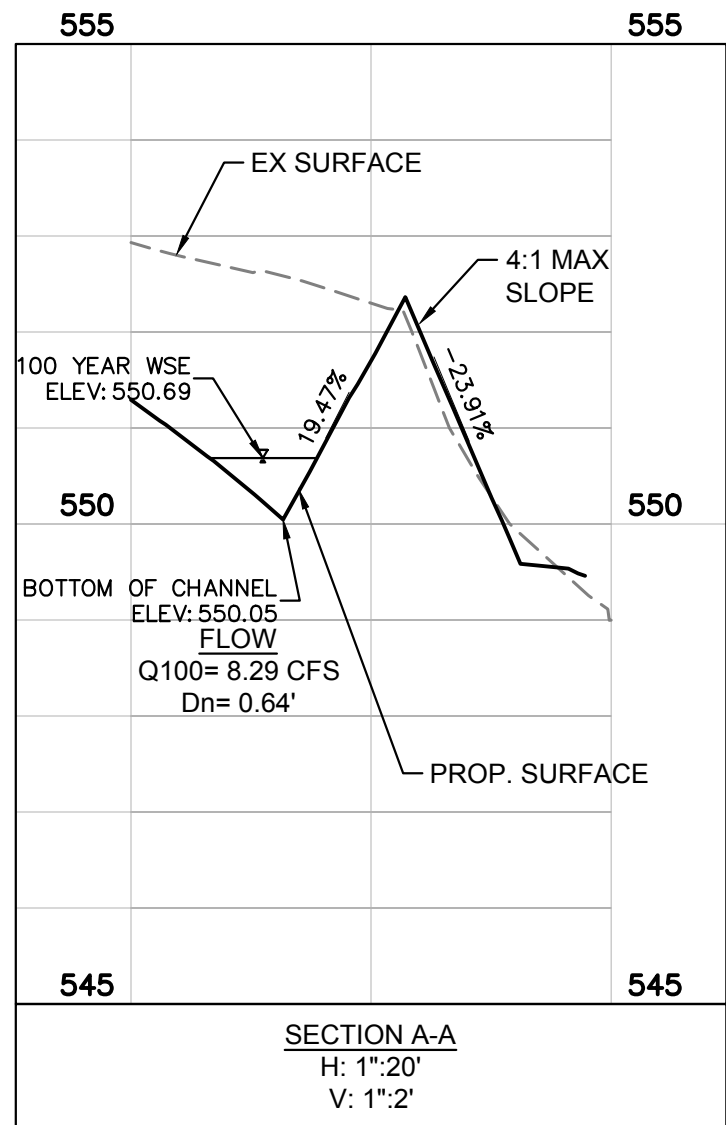
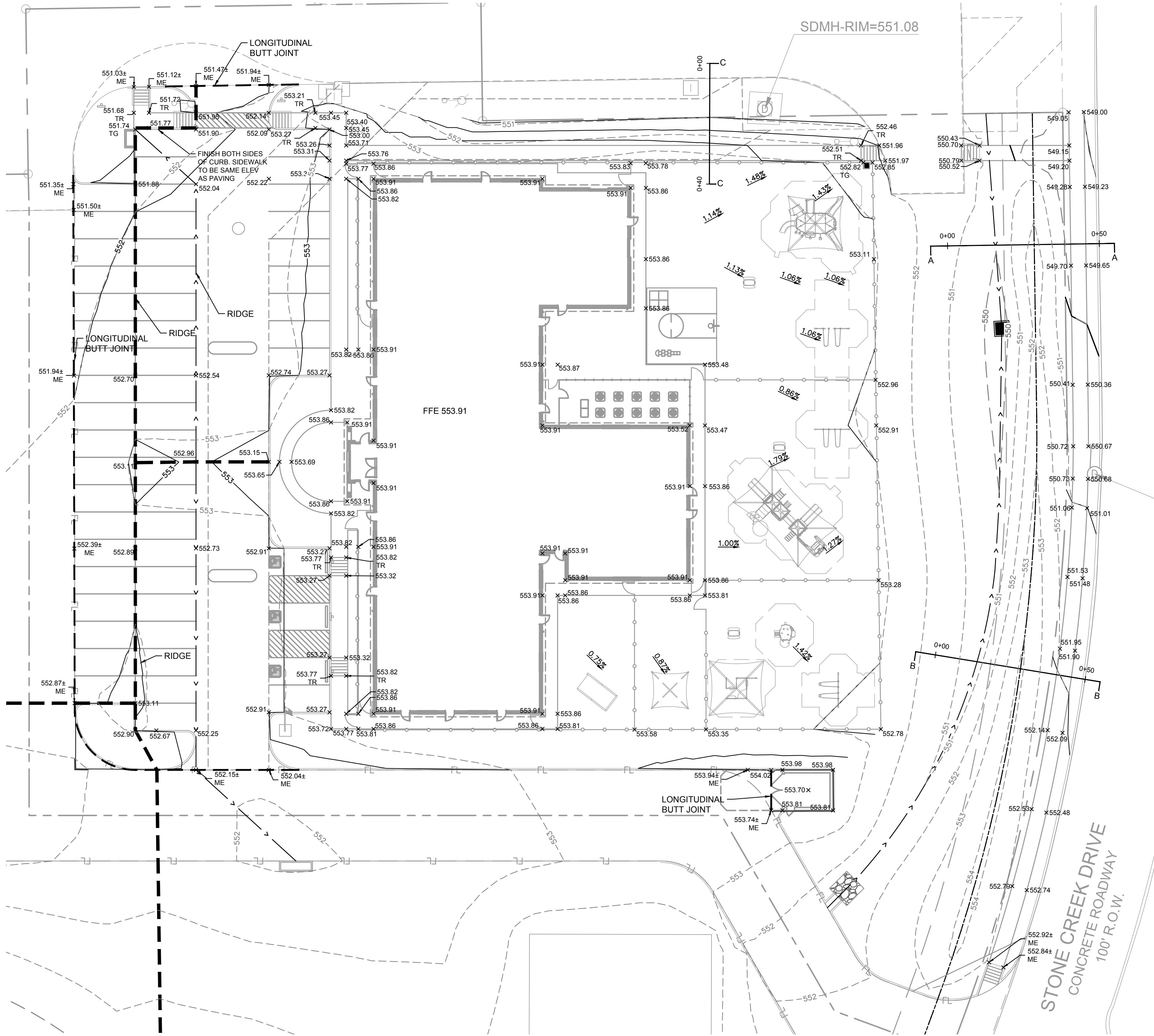
PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 11/5/2022 4:18 PM  
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 LAST SAVED: 8/21/2020 7:51 AM

NOTES:

1. ALL WALLS OF 3' TO BE DESIGNED (SIGNED/SEALED PLANS) BY A PROFESSIONAL ENGINEER. SAME ENGINEER TO SUBMIT A SIGNED AND SEALED LETTER OF CONCURRENCE/APPROVAL OF THE CONSTRUCTION OF THE WALL PRIOR TO CITY ACCEPTANCE. CITY INSPECTOR DOES NOT INSPECT WALL. NO SMOOTH CONCRETE WALLS ALLOWED. ALL WALLS MUST BE ROCK, STONE, OR FORM LINED.

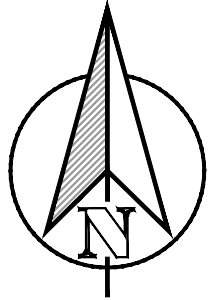
NOTES:

1. NO SLOPE SHALL BE GRADED TO A SLOPE GREATER THAN 4:1

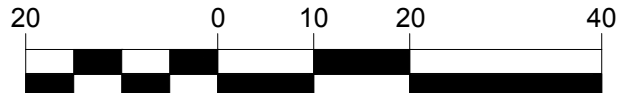


TO THE BEST OF OUR KNOWLEDGE CLAYMOORE ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

By: *CSO* Date: 11/05/2022



GRAPHIC SCALE



1 inch = 20 ft.

LEGEND

— 100 —	EXISTING CONTOUR
— 100 —	PROPOSED CONTOUR
x699.50	PROPOSED GRADE (TOP OF PAVEMENT)
ME	MATCH EXISTING
TC	TOP OF CURB
---	RIDGE LINE



PRIMROSE SCHOOL OF  
NORTH ROCKWALL  
ROCKWALL, TX 75087

NO.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

GRADING PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	11/5/2022

SHEET

C-7

File No. 2020-021



PLOTTED BY: LYNN ROWLAND



By: CS Date: 11/05/2022

HYDROLOGIC CALCULATIONS - PRE DEVELOPED CONDITIONS										
DRAINAGE AREA	AREA (AC.)	C	Tc (min)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	I <sub>25</sub> (IN/HR)	Q <sub>25</sub> (CFS)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)	REMARKS
EX-1	2.62	0.90	10.0	7.40	17.45	8.40	19.81	9.80	23.11	DRAINS TO WYE INLET 1
EX-2	2.27	0.90	10.0	7.40	15.12	8.40	17.16	9.80	20.02	DRAINS TO WYE INLET 2
EX-3	0.07	0.90	10.0	7.40	0.47	8.40	0.53	9.80	0.62	DRAINS TO WYE INLET 1
EX-4	0.03	0.90	10.0	7.40	0.20	8.40	0.23	9.80	0.26	DRAINS TO WYE INLET 1
EX-5	0.02	0.90	10.0	7.40	0.13	8.40	0.15	9.80	0.18	DRAINS TO EXISTING CURB INLET
EX-6	0.32	0.50	10.0	7.40	1.18	8.40	1.34	9.80	1.57	DRAINS TO STONE CREEK
EX-7	0.89	0.50	10.0	7.40	3.29	8.40	3.74	9.80	4.36	DRAINS TO BORDEAUX
TOTAL DRAINAGE	6.22				37.84		42.96		50.12	

TEXAS REGISTRATION #14199

**CLAY MOORE**

**ENGINEERING**

1003 CENTRAL DR. SUITE #406  
BEEFORD, TX 76021

PHONE: 817.281.1672  
WWW.CLAYMOOREENGINE.COM



**PRIMROSE SCHOOL OF  
NORTH ROCKWALL  
ROCKWALL, TX 75087**

[illegible]

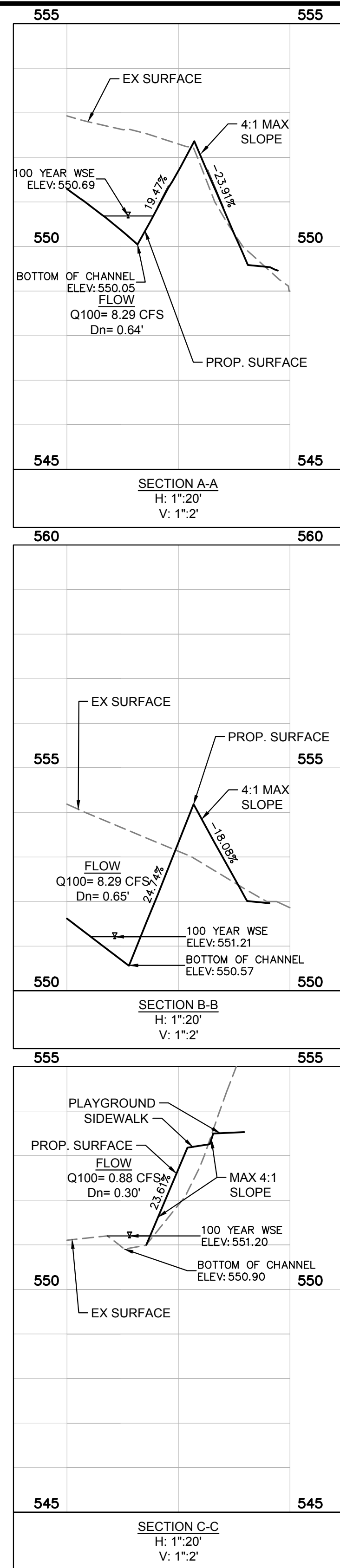
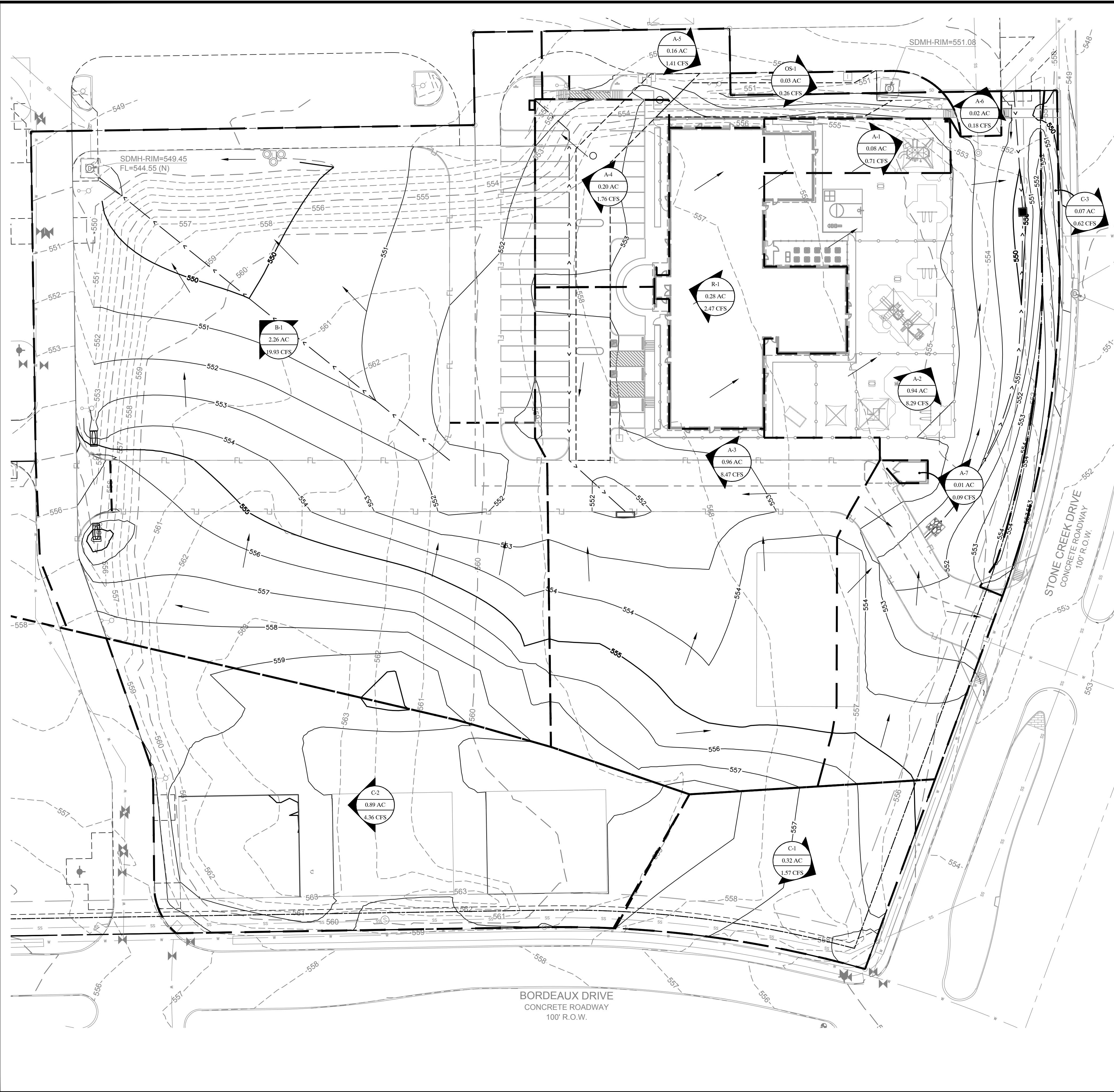
# EXISTING DRAINAGE AREA MAP

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	11/5/2022
<p style="text-align: center;">SHEET</p> <p style="text-align: center;"><b>C-8</b></p>	

File No.	2020-021
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PLOTTED BY: LYNN ROWLAND  
PLOT DATE: 11/5/2022 1:59 PM  
LOCATION: Z:\PROJECTS\PROJECTS\2020-021 CASCO PRIMROSE ROCKWALL\CADD\SHEETS\PRIMROSE\C-9 PROPOSED DRAINAGE AREA MAP.DWG  
LAST SAVED: 11/5/2022 1:53 PM



**LEGEND**

- DRAINAGE AREA
- DRAINAGE AREA IN ACRES
- FLOW FOR DRAINAGE AREA IN CFS
- DIRECTION OF FLOW
- DRAINAGE AREA BOUNDARY

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

By: Date: 11/05/2022

**FLOODPLAIN NOTE**

ACCORDING TO MAP NO. 48397C0049L, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR

HYDROLOGIC CALCULATIONS - POST DEVELOPED CONDITIONS										
DRAINAGE AREA	AREA (AC.)	C	Tc (min)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	I <sub>25</sub> (IN/HR)	Q <sub>25</sub> (CFS)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)	REMARKS
A-1	0.08	0.90	10.0	7.40	0.53	8.40	0.60	9.80	0.71	DRAINS TO LANDSCAPE DRAIN
A-2	0.94	0.90	10.0	7.40	6.26	8.40	7.11	9.80	8.29	DRAINS TO PROP WYE INLET
A-3	0.96	0.90	10.0	7.40	6.39	8.40	7.26	9.80	8.47	DRAINS TO PROP CURB INLET
A-4	0.20	0.90	10.0	7.40	1.33	8.40	1.51	9.80	1.76	DRAINS TO PROP CURB INLET
A-5	0.16	0.90	10.0	7.40	1.07	8.40	1.21	9.80	1.41	DRAINS TO WYE INLET 1
A-6	0.02	0.90	10.0	7.40	0.13	8.40	0.15	9.80	0.18	DRAINS TO EX CURB INLET
A-7	0.01	0.90	10.0	7.40	0.07	8.40	0.08	9.80	0.09	DUMPSTER DRAIN
B-1	2.26	0.90	10.0	7.40	15.05	8.40	17.09	9.80	19.93	CURB INLET TO WYE INLET 2
C-1*	0.32	0.50	10.0	7.40	1.18	8.40	1.34	9.80	1.57	DRAINS TO STONE CREEK
C-2*	0.89	0.50	10.0	7.40	3.29	8.40	3.74	9.80	4.36	DRAINS TO BORDEAUX
C-3	0.07	0.90	10.0	7.40	0.47	8.40	0.53	9.80	0.62	DRAINS TO STONE CREEK
R-1	0.28	0.90	10.0	7.40	1.86	8.40	2.12	9.80	2.47	ROOF DRAINS
OS-1	0.03	0.90	10.0	7.40	0.20	8.40	0.23	9.80	0.26	DRAINS TO WYE INLET 1
<b>TOTAL DRAINAGE</b>	<b>6.22</b>				<b>37.84</b>		<b>42.96</b>		<b>50.12</b>	

\*NOTE: AREAS C-1 AND C-2 TO PROVIDE DETENTION WHEN DEVELOPED.

TEXAS REGISTRATION #14199

PHONE: 972.261.0072  
1980 CENTRAL EXP. SUITE #400  
ROCKWALL, TX 75087  
WWW.CLAYMOOREENR.COM

**PRIMROSE SCHOOL OF  
NORTH ROCKWALL  
ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

**PROPOSED DRAINAGE AREA  
MAP**

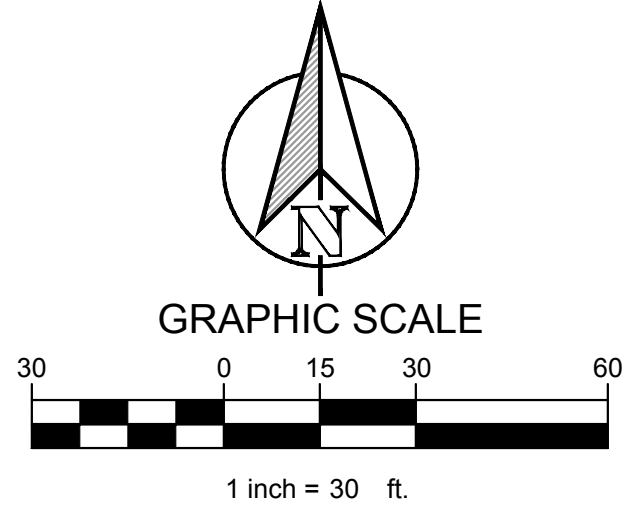
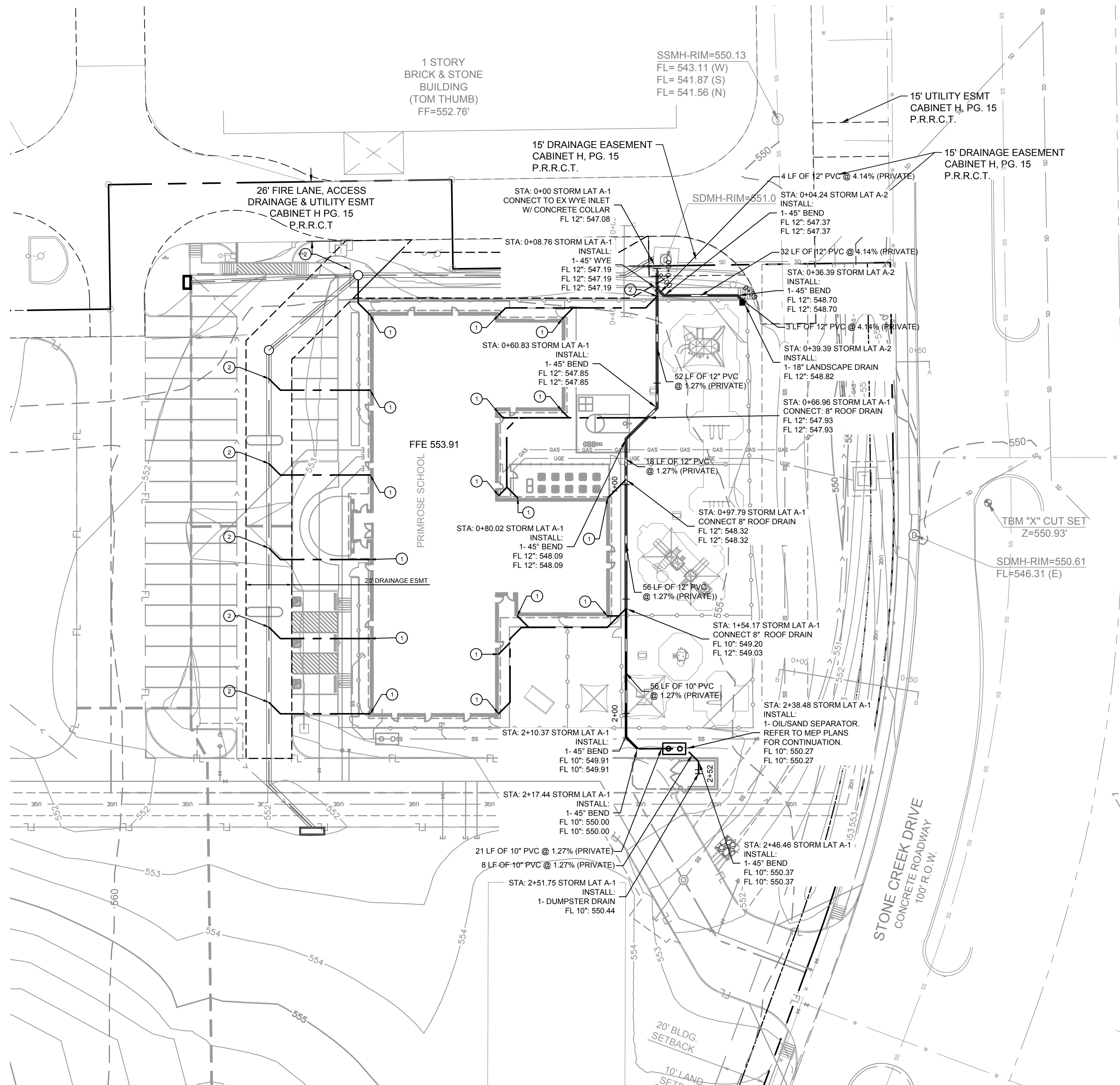
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DRAWN: LRR  
CHECKED: CLC  
DATE: 11/5/2022





SHEET  
**C-9**

File No. 2020-021



PLOTTED BY: LYNN ROWLAND  
PLOT DATE: 11/5/2022 2:00 PM  
LOCATION: Z:\PROJECTS\PROJE  
LAST SAVED: 11/5/2022 1:52 PM



	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	PROPOSED LANDSCAPE DRAIN
	PROPOSED CURB INLET
END PROP. 8" PVC PRIVATE ROOF DRAIN, FL: 549.91, REFER TO MEP PLANS FOR CONTINUATION.	
CONNECT 8" PVC PRIVATE ROOF DRAIN TO 24" STORM LINE, BY OTHERS.	

TEXAS REGISTRATION #14199

**CLAYMOORE**

**ENGINEERING**

PHONE: 817.881.0572  
WWW.CLAYMOOREENG.COM

1003 CENTRAL DR. SUITE #406  
FARMINGTON, TX 76021



**PRIMROSE SCHOOL OF  
NORTH ROCKWALL  
ROCKWALL, TX 75087**

								LRR
								LRR
No.	Date	Revision						BY
2	09/13/2021	STORM REVISION						
1	12/07/2020	STORM REVISION						

# STORM DRAIN PLAN

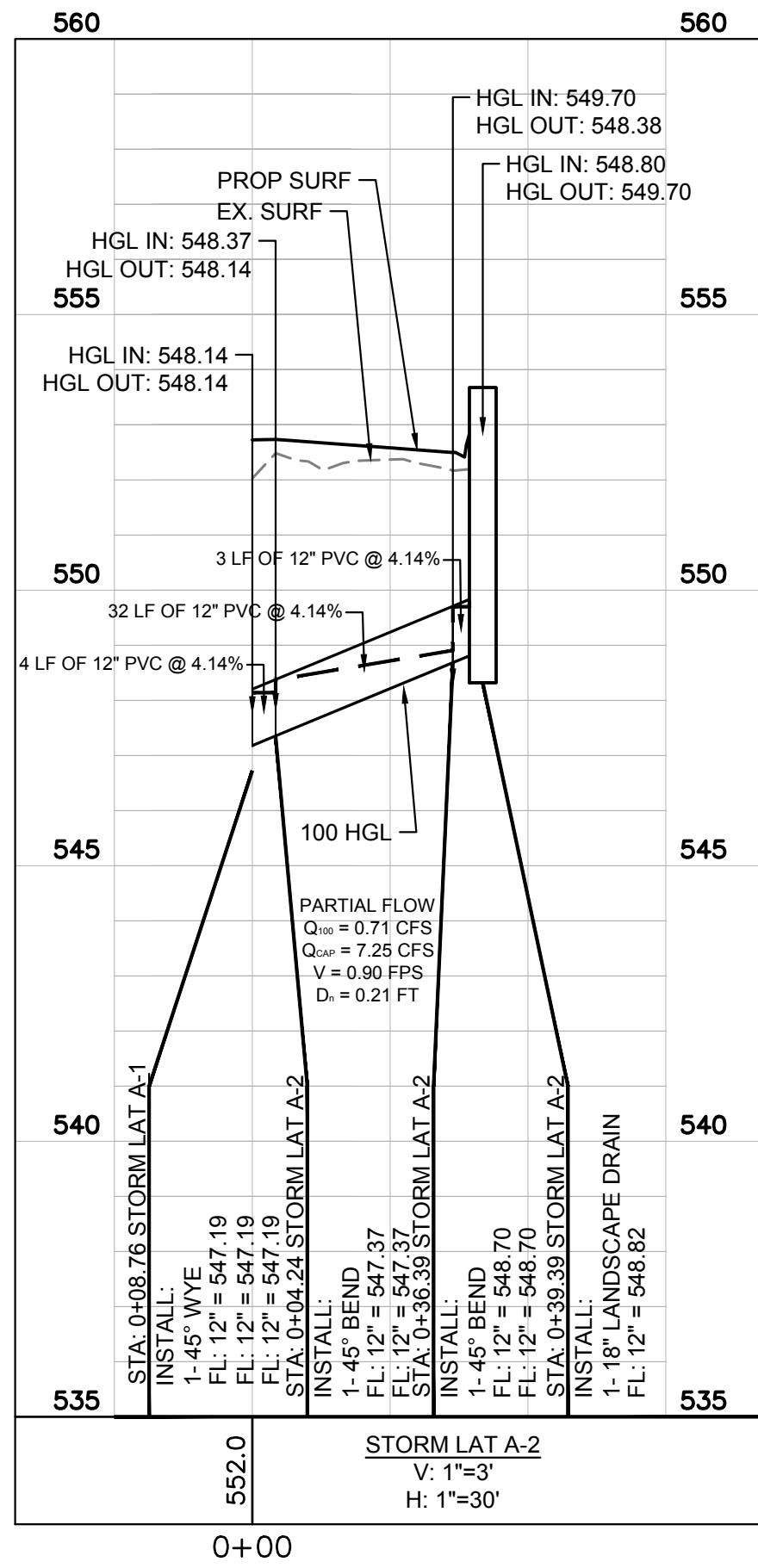
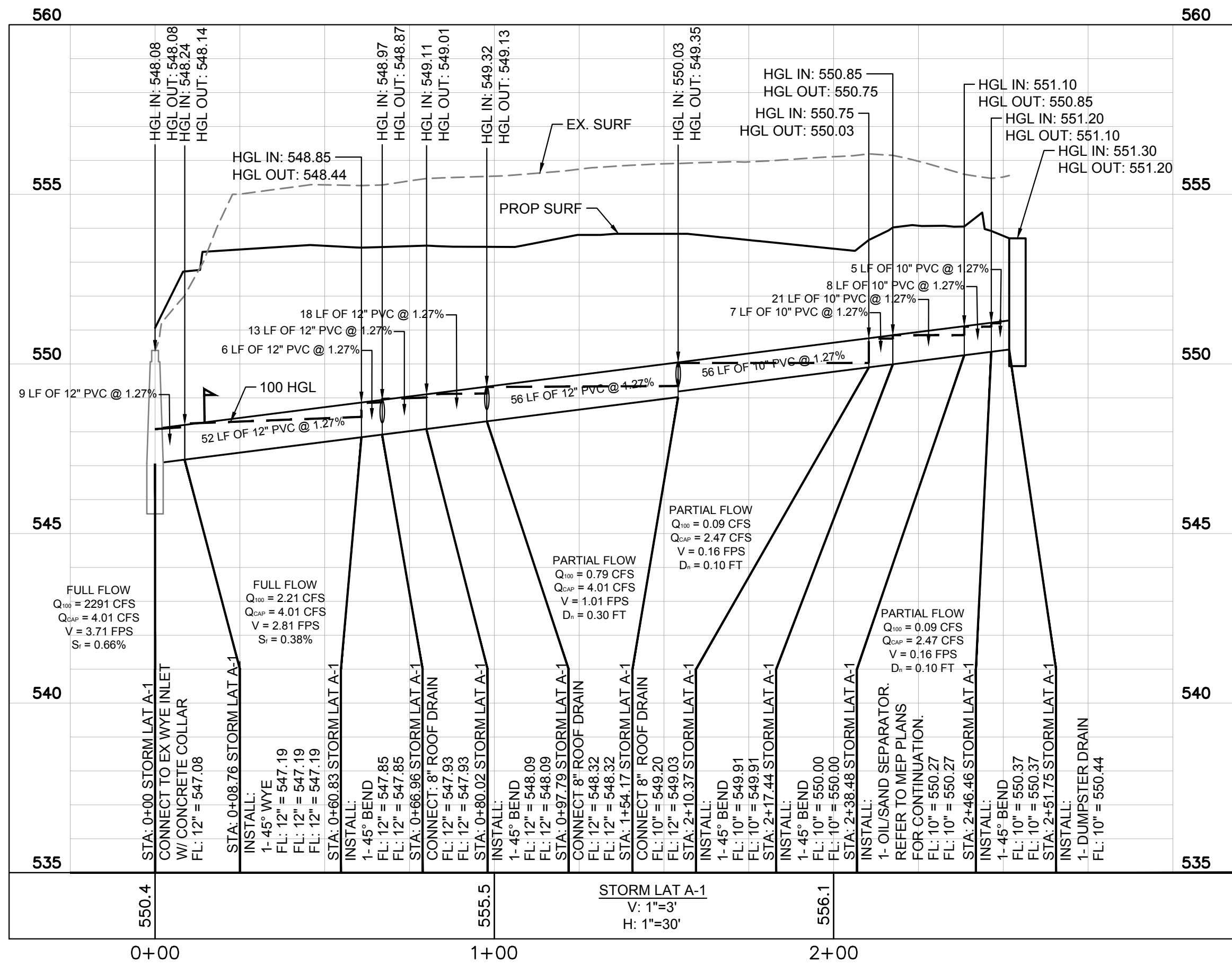
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DATE:	11/5/2022

SHEET  
**C-10**

File No.	2020-021
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PLOTTED BY: LYNN ROWLAND  
PLOT DATE: 11/5/2022 2:00 PM  
LOCATION: Z:\PROJECTS\PROJECTS\2020-021 CASCO PRIMROSE ROCKWALL\CADD SHEETS\PRIMROSE\C-11 STORM DRAIN PROFILES.DWG  
LAST SAVED: 11/5/2022 1:52 PM



GRAPHIC SCALE

30 0 15 30 60

1 inch = 30 ft.

LEGEND

- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED LANDSCAPE DRAIN
- PROPOSED CURB INLET
- END PROP. 8" PVC ROOF DRAIN. FL: 549.68. REFER TO MEP PLANS FOR CONTINUATION.
- CONNECT 8" PVC ROOF DRAIN TO 24" STORM LINE, BY OTHERS.

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

By: Date: 11/05/2022

TEXAS REGISTRATION #14199

**CLAYMOORE**

**ENGINEERING**

1983 CENTRAL DR., SUITE 400  
ROCKWALL, TX 75087

PHONE: 972.261.0072  
WWW.CLAYMOOREENR.COM

STATE OF TEXAS

CLAY CRISTY

109800

11/5/2022

**PRIMROSE SCHOOL OF**

**NORTH ROCKWALL**

**ROCKWALL, TX 75087**

2	09/13/2021	STORM REVISION	LRR	BY
1	12/07/2020	STORM REVISION	LRR	
No.	DATE	REVISION		

**STORM DRAIN**

**PROFILES**

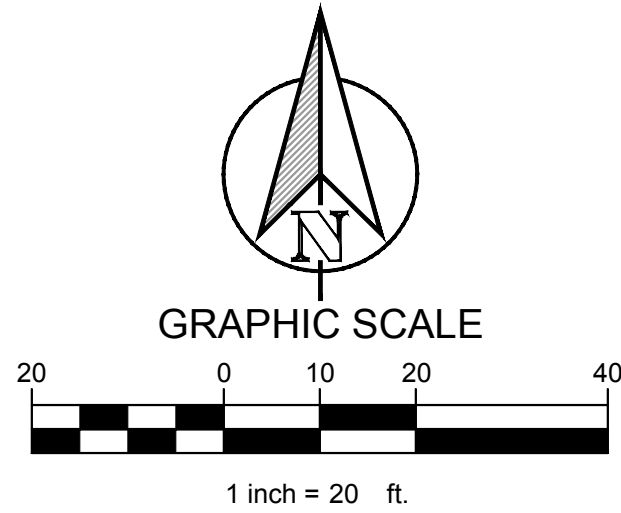
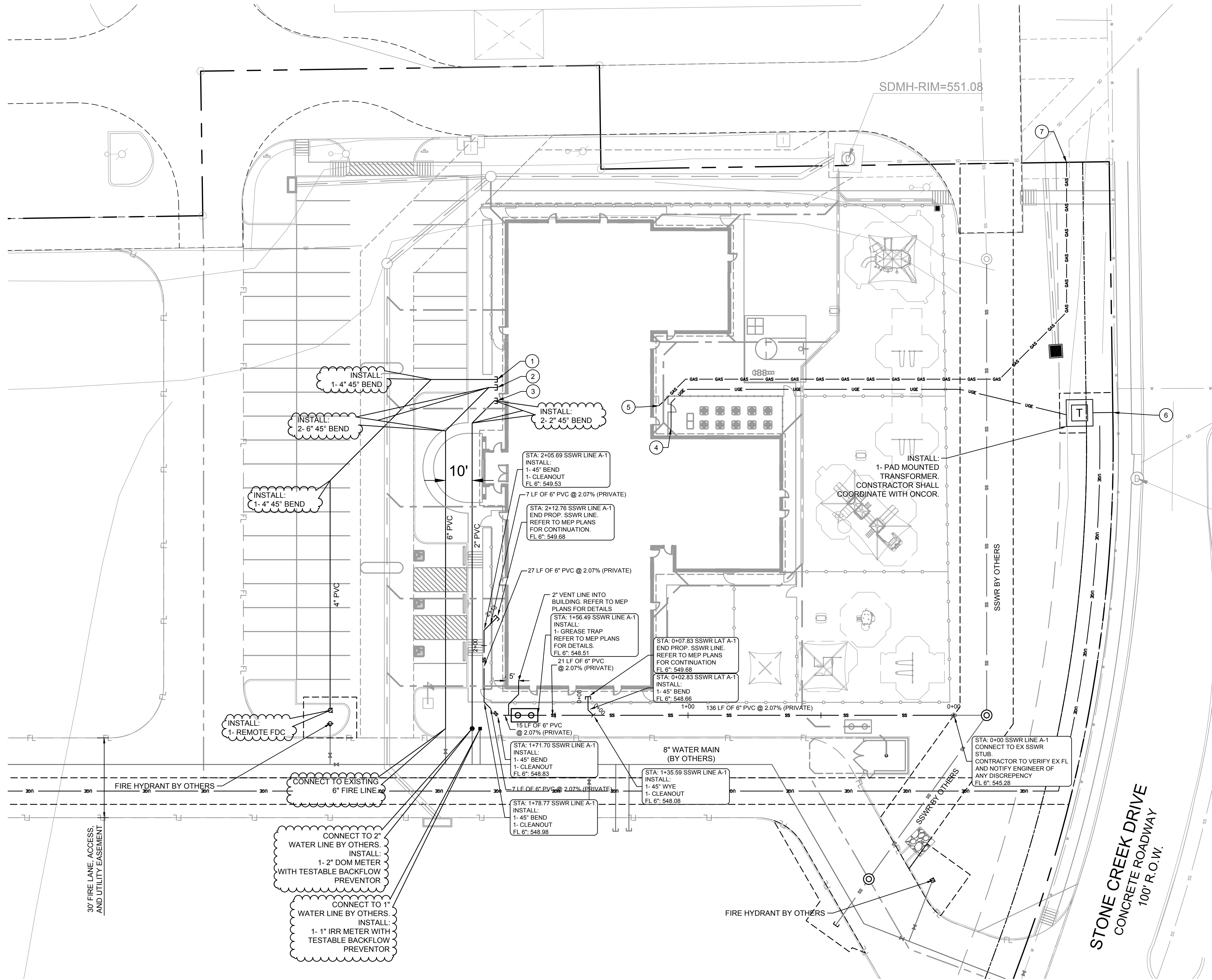
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**C-11**

File No. 2020-021



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 LAST SAVED: 11/18/2020 4:22 PM



LEGEND	
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE AND CLEAN OUT
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND COMMUNICATION LINE
	PROPOSED UNDERGROUND GAS LINE

NOTES:

- ALL MANHOLES TO BE RAVEN LINED, OR APPROVED EQUAL, INCLUDING EXISTING MANHOLES THAT ARE BEING CONNECTED TO.
- WATER LINES TO BE C900 DR-14
- CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE EVERY CHANGE IN DIRECTION, VALVE, SERVICE CONNECTION AND EVERY 250 FEET
- CONTRACTOR TO INSTALL GREEN EMS DISKS ON THE PUBLIC SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT AND SERVICE CONNECTION.

CONSTRUCTION SCHEDULE	
①	END PROP. 4" FDC LINE
②	END PROP. 6" FIRE LINE
③	END PROP. 2" DOM. LINE
④	END PROP. ELECTRIC SERVICE
⑤	END PRO. GAS SERVICE
⑥	CONNECT TO ELEC SERVICE. CONTRACTOR SHALL COORDINATE WITH ONCOR. CHARLES ROONEY- PH 469-281-2167
⑦	CONNECT TO GAS SERVICE. CONTRACTOR SHALL COORDINATE WITH SERVICE PROVIDER. THOMAS NEMARIAM- PH 469-497-9165

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.  
 By: Date: 11/05/2022



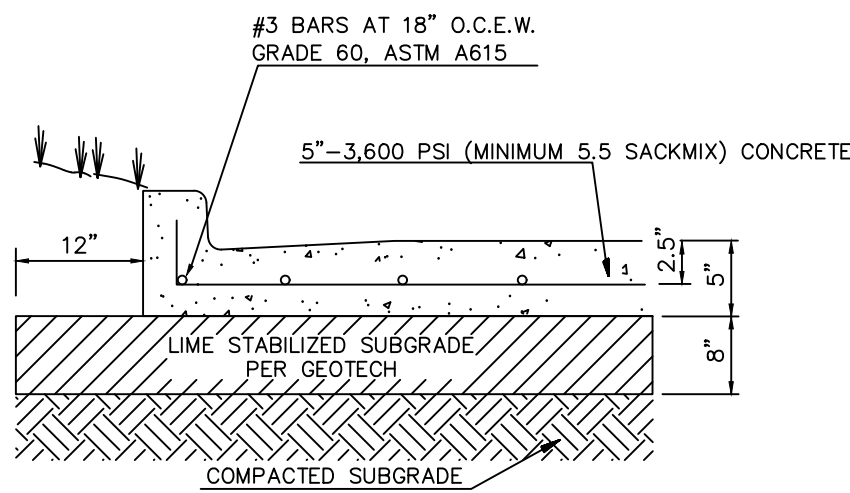
PRIMROSE SCHOOL OF  
 NORTH ROCKWALL  
 ROCKWALL, TX 75087

UTILITY PLAN

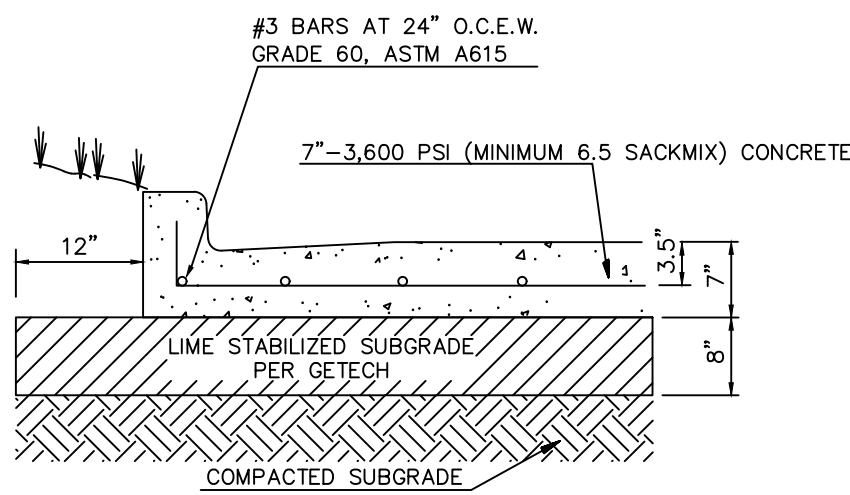
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CHECKED:	CLC
DATE:	11/5/2022
SHEET	
C-12	
File No.	2020-021



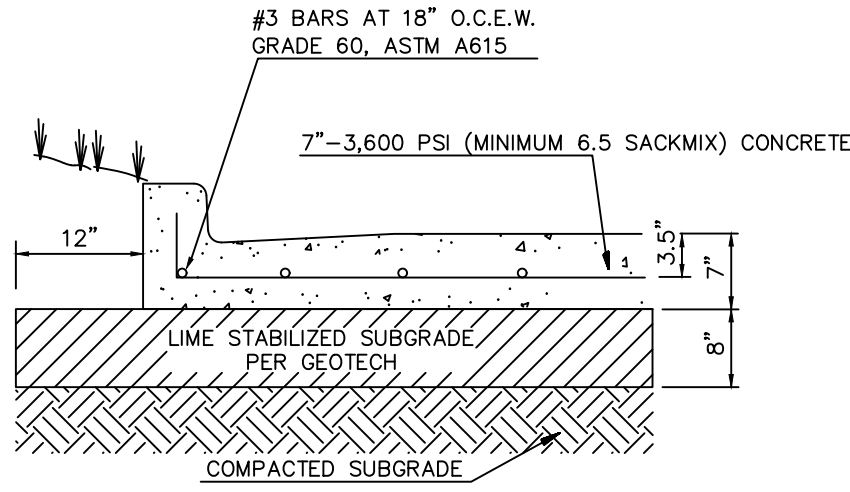
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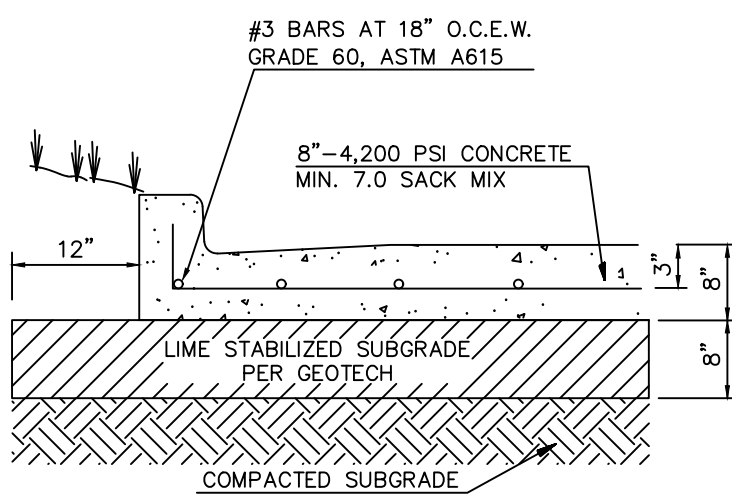
STANDARD DUTY  
CONCRETE PAVING



HEAVY DUTY  
CONCRETE PAVING



DUMPSTER AREA  
CONCRETE PAVING

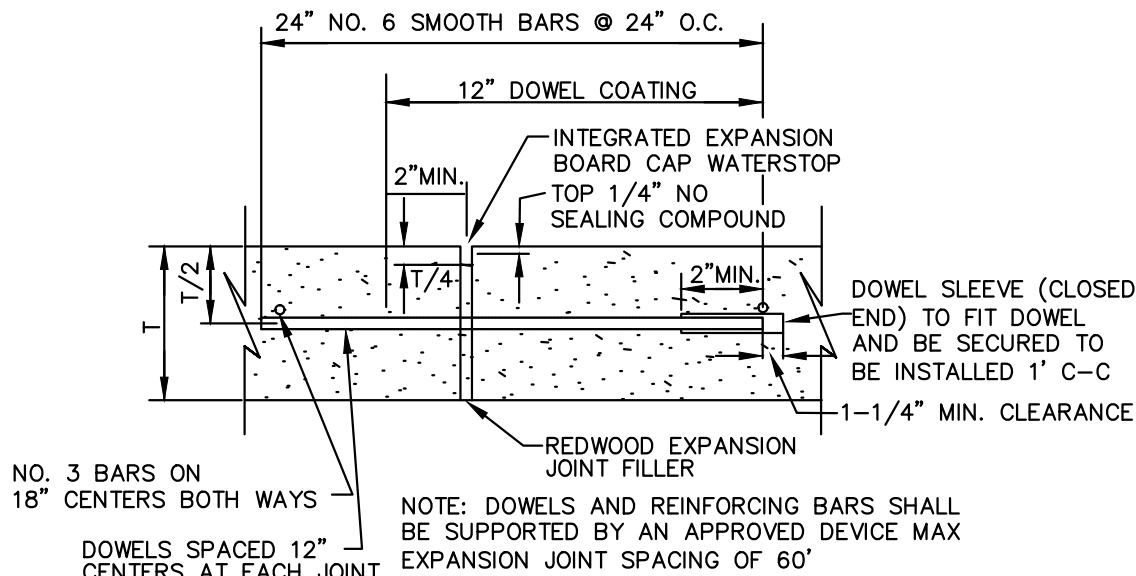


CITY OF ROCKWALL  
CONCRETE PAVING

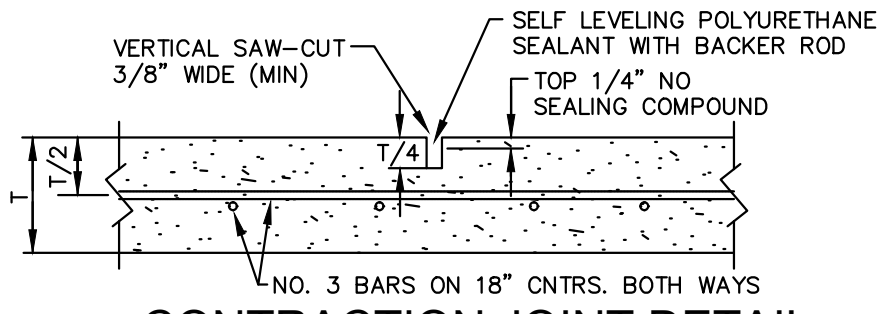
GENERAL PAVING NOTES

- LIME STABILIZATION: APPLY AND MIX HYDRATED LIME AT A MINIMUM RATE OF 8% FOR AN 8" STABILIZATION DEPTH AND SHALL BE COMPACTED TO AT LEAST 95% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698).
- NON-FIRELANE CONCRETE PAVING SHALL HAVE A MINIMUM 3,600 PSI COMPRESSIVE STRENGTH (6.5 SACK MIX). ALL FIRELANE CONCRETE PAVING SHALL HAVE A MINIMUM 3,600 PSI COMPRESSIVE STRENGTH. JOINTS IN CONCRETE PAVING SHALL BE FORMED AT A MAXIMUM OF 15 FEET. CONCRETE SHALL INCLUDE AIR ENTRAINMENT OF 5 +/- 1 PERCENT. ALL OTHER JOINT SPACING SHALL BE INSTALLED PER PROJECT SPECIFICATIONS.
- JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING.
- FOR COMPLETE PAVEMENT AND SUBGRADE RECOMMENDATIONS, REFER TO GEOTECH REPORT 03421878 BY PSI INTERTEK DATED JUNE 2, 2020
- NO SAND ALLOWED UNDER PAVING.

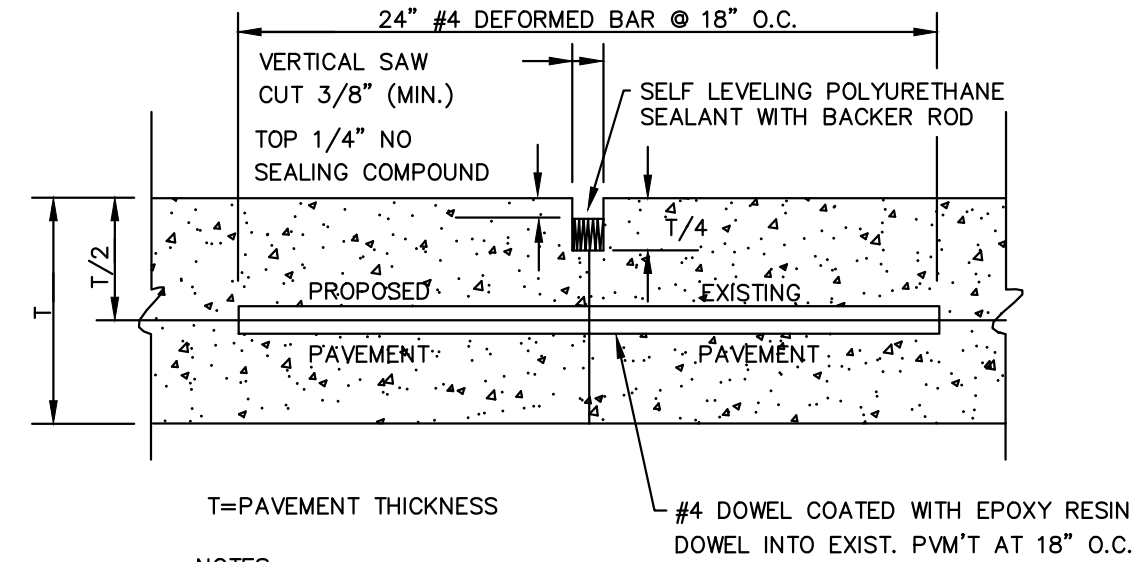
PAVING DETAILS  
SCALE: NONE



TRANSVERSE EXPANSION/  
ISOLATION JOINT DETAIL  
SCALE: NONE

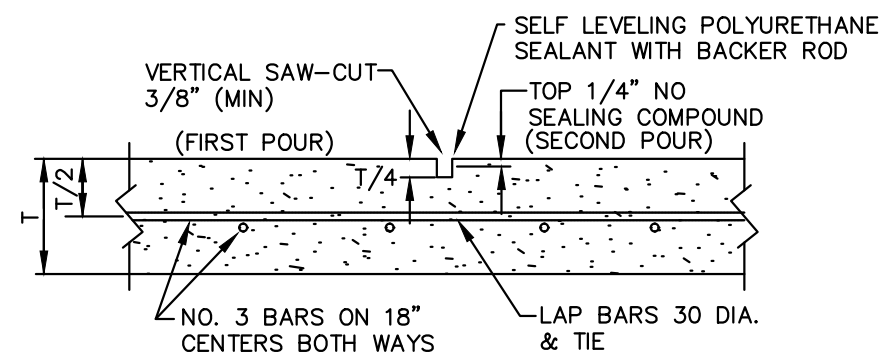


CONTRACTION JOINT DETAIL  
SCALE: NONE

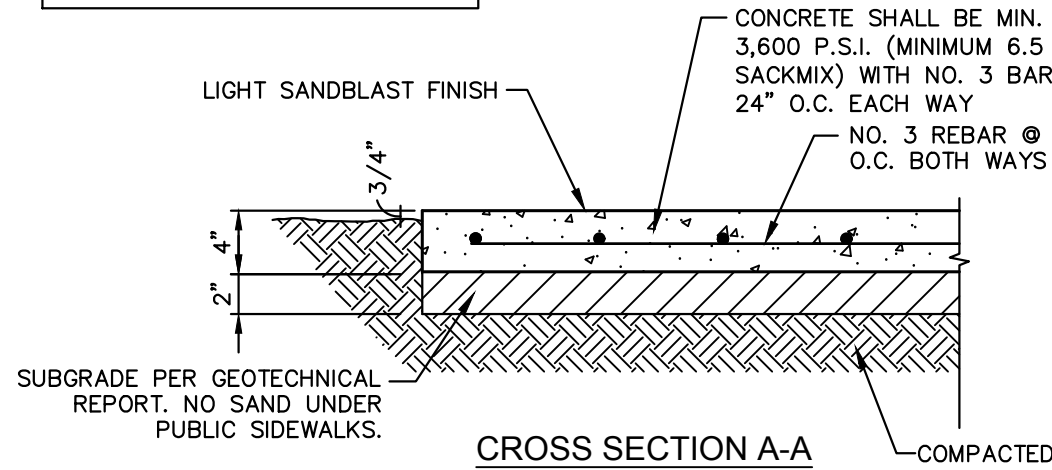
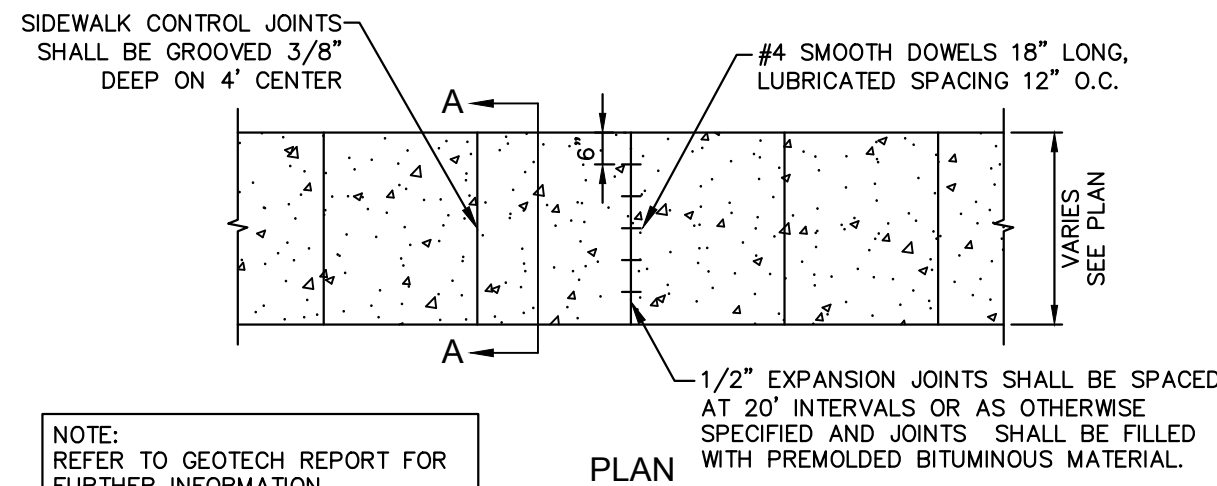


- NOTES:
- DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. DRILLING BY HAND IS NOT ACCEPTABLE

LONGITUDINAL BUTT JOINT DETAIL  
SCALE: NONE

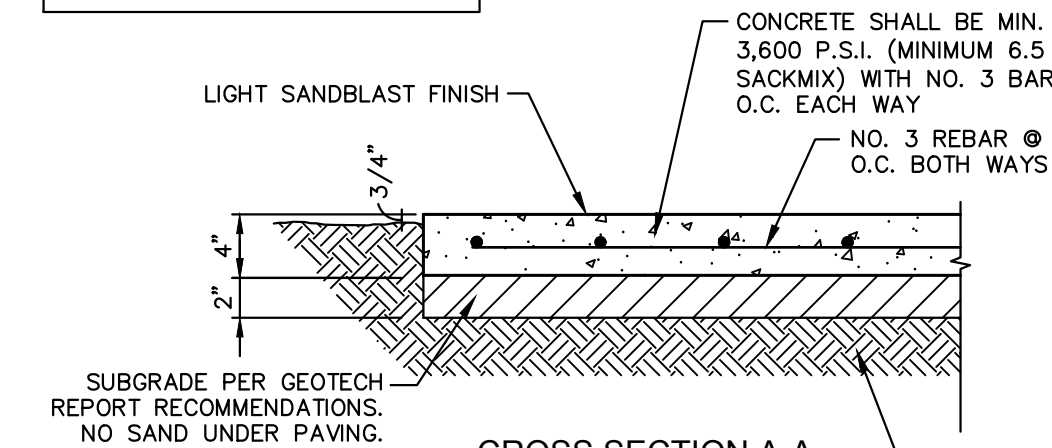
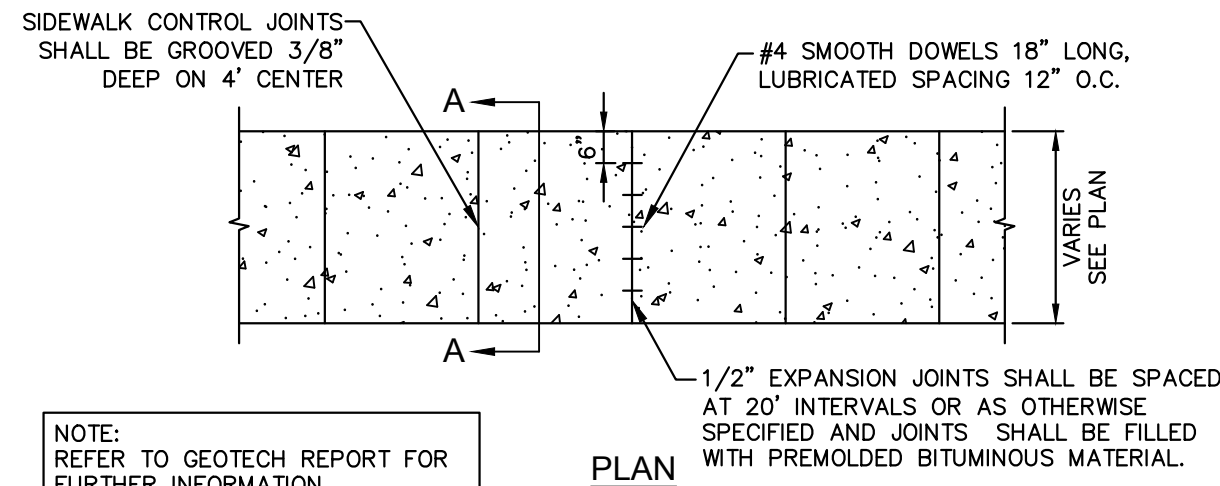


CONSTRUCTION JOINT DETAIL  
SCALE: NONE

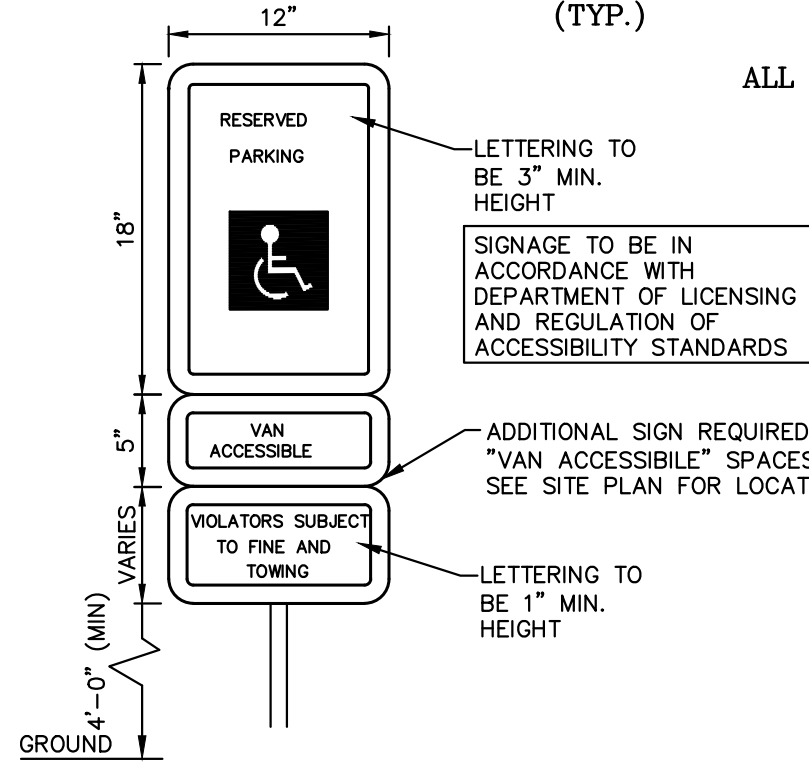
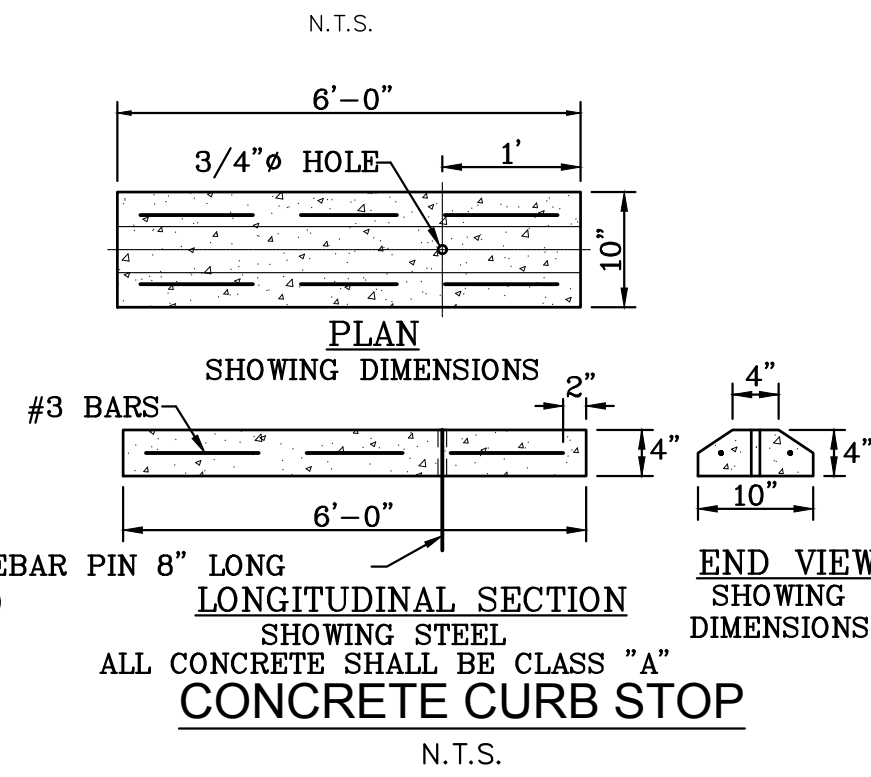


CROSS SECTION A-A  
NOTE:  
1. ALL SIDEWALKS BE CONSTRUCTED OF PORTLAND CEMENT PER CITY STANDARDS AND SPECIFICATIONS.

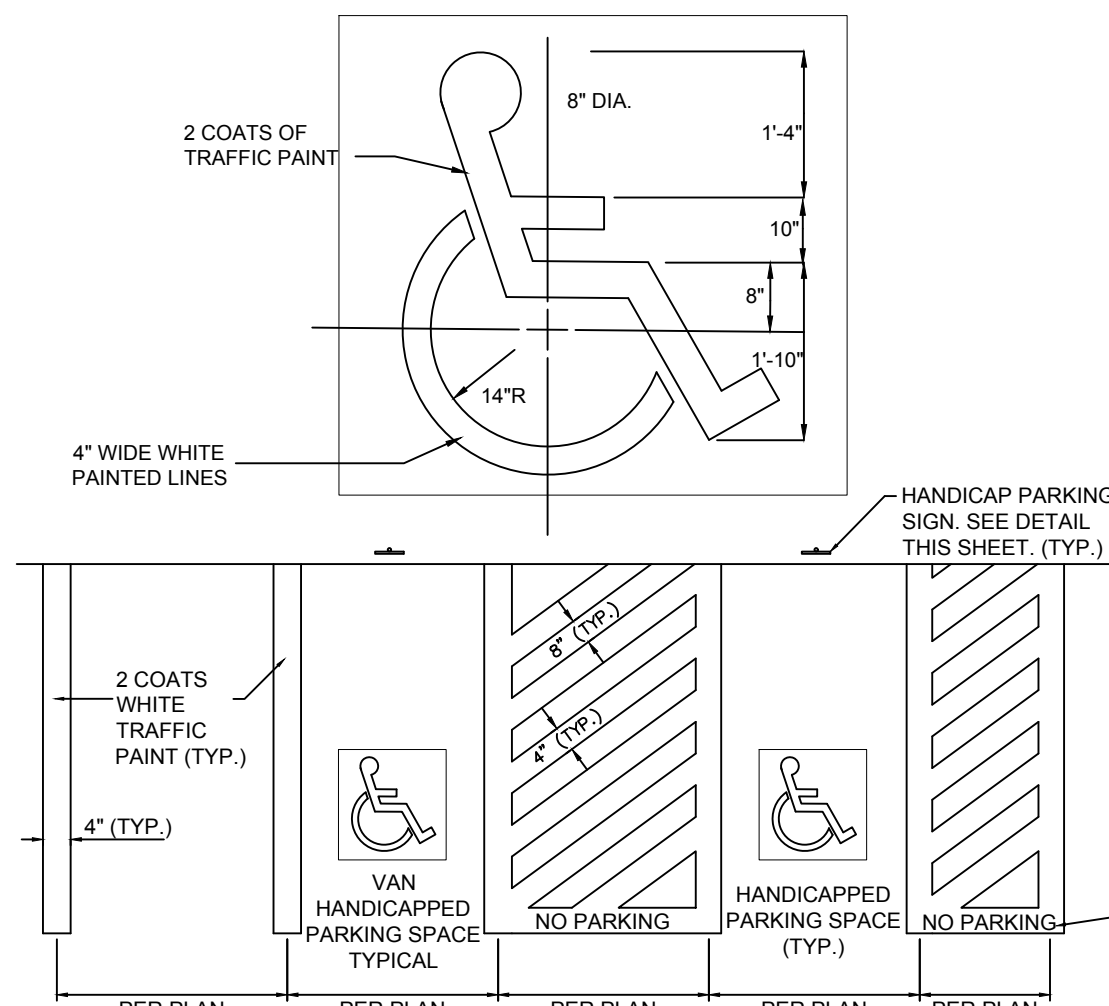
PUBLIC CONCRETE SIDEWALK DETAIL  
N.T.S.



CROSS SECTION A-A  
PRIVATE CONCRETE SIDEWALK DETAIL  
(NOT IN PUBLIC ROW)

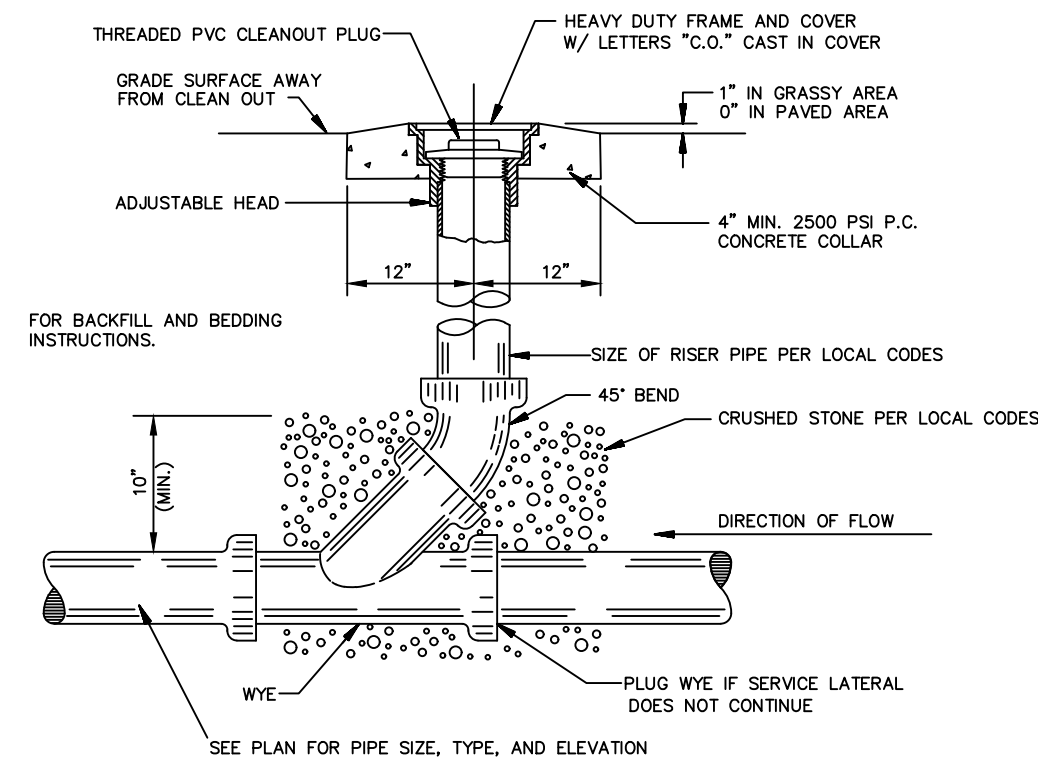


DISABLED SIGN DETAIL  
N.T.S.



- NOTES:
- HANDICAPPED PARKING SYMBOL SHALL COMPLY WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS SHOWN IN TAS 2012 SECTION 703.7.2.1.
  - SEE SITE DEVELOPMENT PLAN FOR PARKING DIMENSIONS & LAYOUT.
  - CURB STOPS 2.5' OFF OF BACK OF CURB TYP.

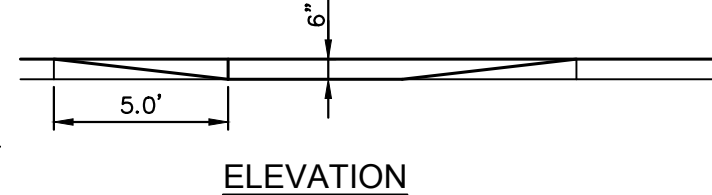
HANDICAPPED PARKING DETAIL



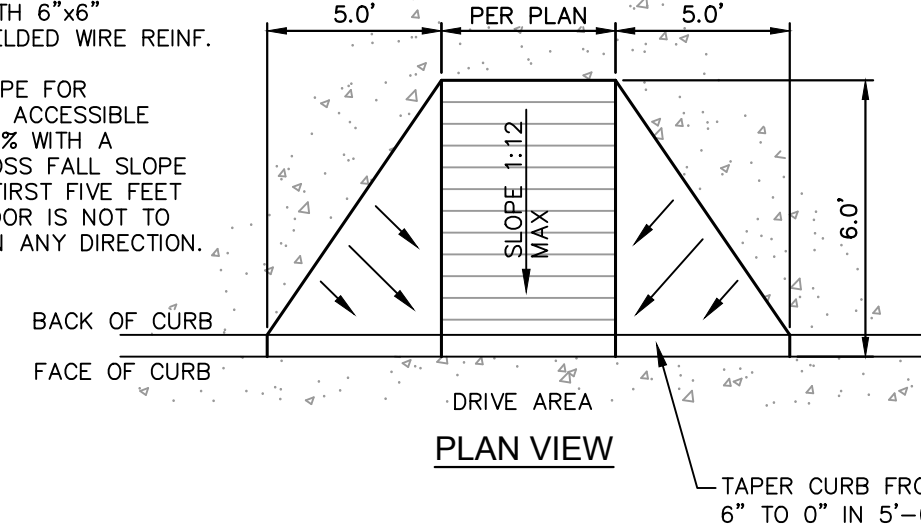
SANITARY SEWER  
CLEAN-OUT  
N.T.S.

NOTES:

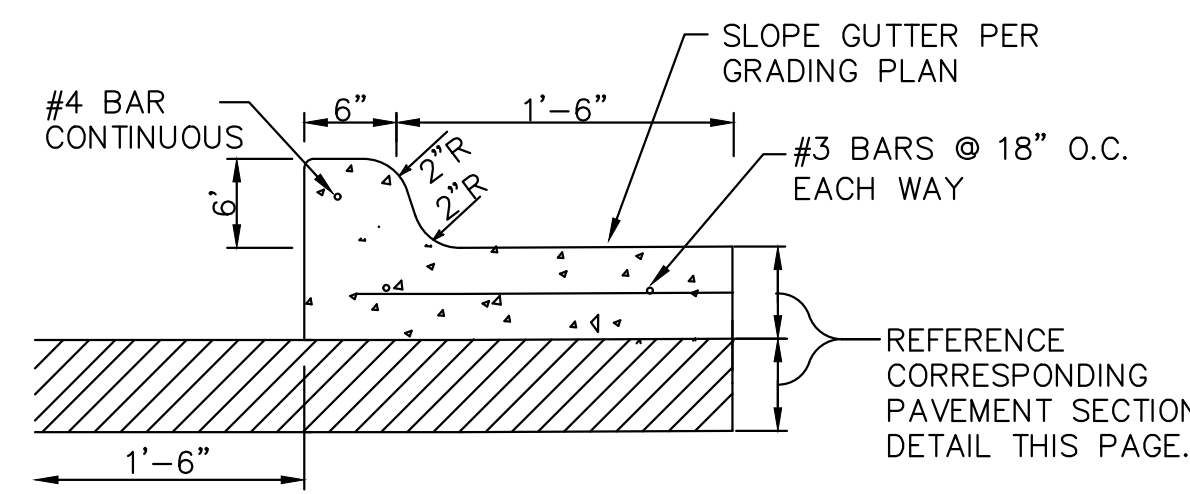
- RAMP SCORE JOINTS 2" O.C. (MIN. 1/8" DEEP GROOVE, 1/4" WIDE.) RAMP SURFACE COLORED AS NECESSARY TO SIGNIFICANTLY CONTRAST WITH THE COLOR OF THE ADJOINING SIDEWALK/ACCESSIBLE ROUTES.
- TAPERED CURB AND GUTTER SECTION. MAINTAIN GUTTER FLOWLINE AS REQUIRED.
- RAMP SHALL BE CONSTRUCTED OF 4" THICK, 3000 PSI CONCRETE WITH 6"x6" W2.9xW2.9 WELDED WIRE REINF.
- MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 3% WITH A MAXIMUM CROSS FALL SLOPE OF 2%. THE FIRST FIVE FEET FROM THE DOOR IS NOT TO EXCEED 2% IN ANY DIRECTION.



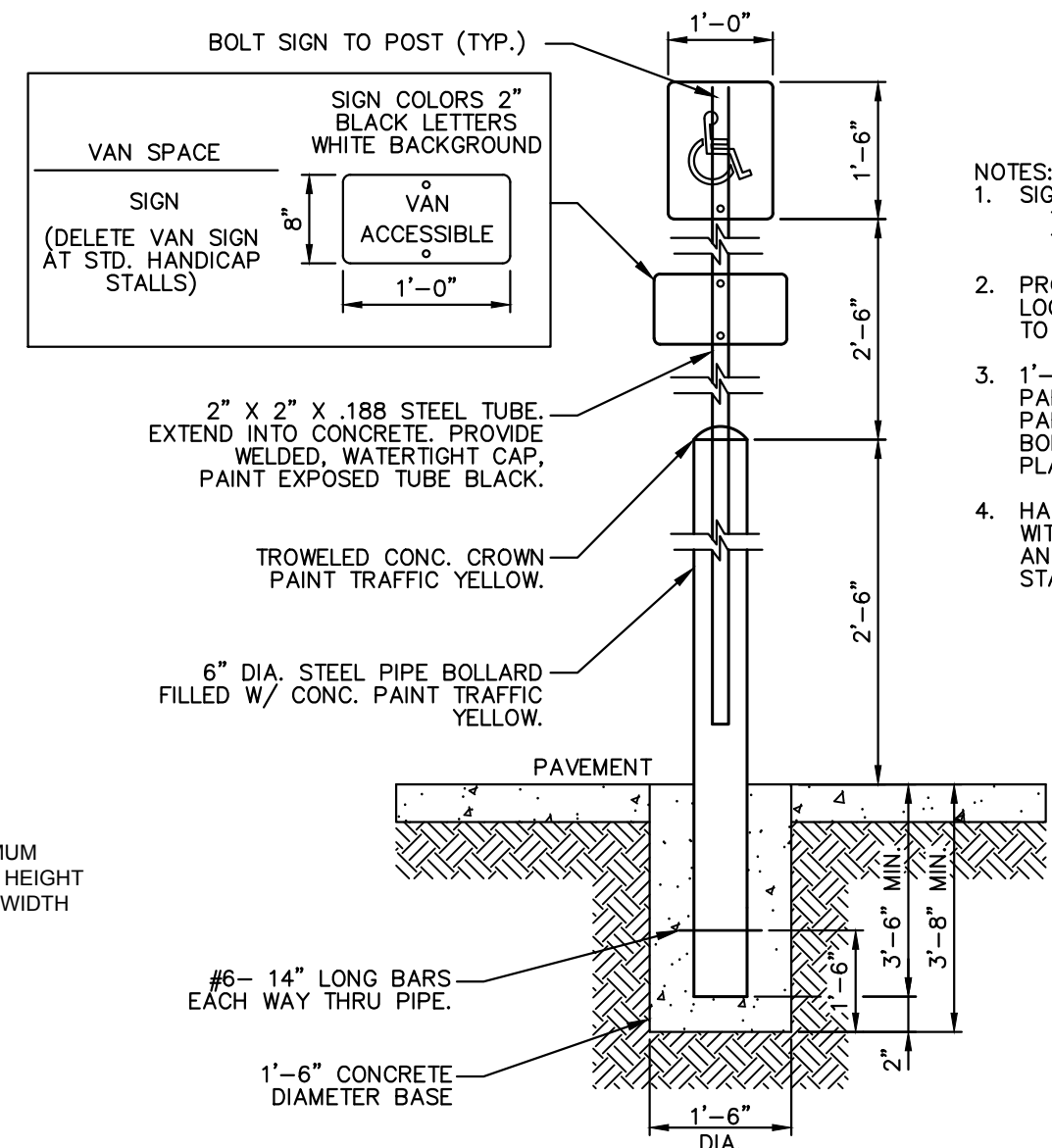
ELEVATION



PRIVATE HANDICAPPED RAMPS  
N.T.S.



CONCRETE CURB AND GUTTER DETAIL  
SCALE: NONE



- NOTES:
- SIGN COLORS  
1.1. BACKGROUND: WHITE  
1.2. SYMBOL: BLUE
  - PROVIDE SIGNAGE AT END OF STALL AT LOCATIONS W/ ACCESSIBLE DESIGNATION TO ACT AS BUMPER STOP.
  - 1'-0"x1'-6"x .080" ALUM. HANDICAPPED PARKING SIGN. SIGN TO READ "RESERVED PARKING" W/ IDENTIFICATION SYMBOL. BOLT TO STEEL TUBE W/ 3/8" CADMIUM PLATED BOLTS, NUTS & WASHERS.
  - HANDICAP SIGNAGE TO BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF LICENSING AND REGULATION TEXAS ACCESSIBILITY STANDARDS (TAS) PER 4.6.4

"HANDICAPPED PARKING" SIGN POST DETAIL  
N.T.S.



PRIMROSE SCHOOL OF  
 NORTH ROCKWALL  
 ROCKWALL, TX 75087

NO.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

CONSTRUCTION DETAILS

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	11/5/2022

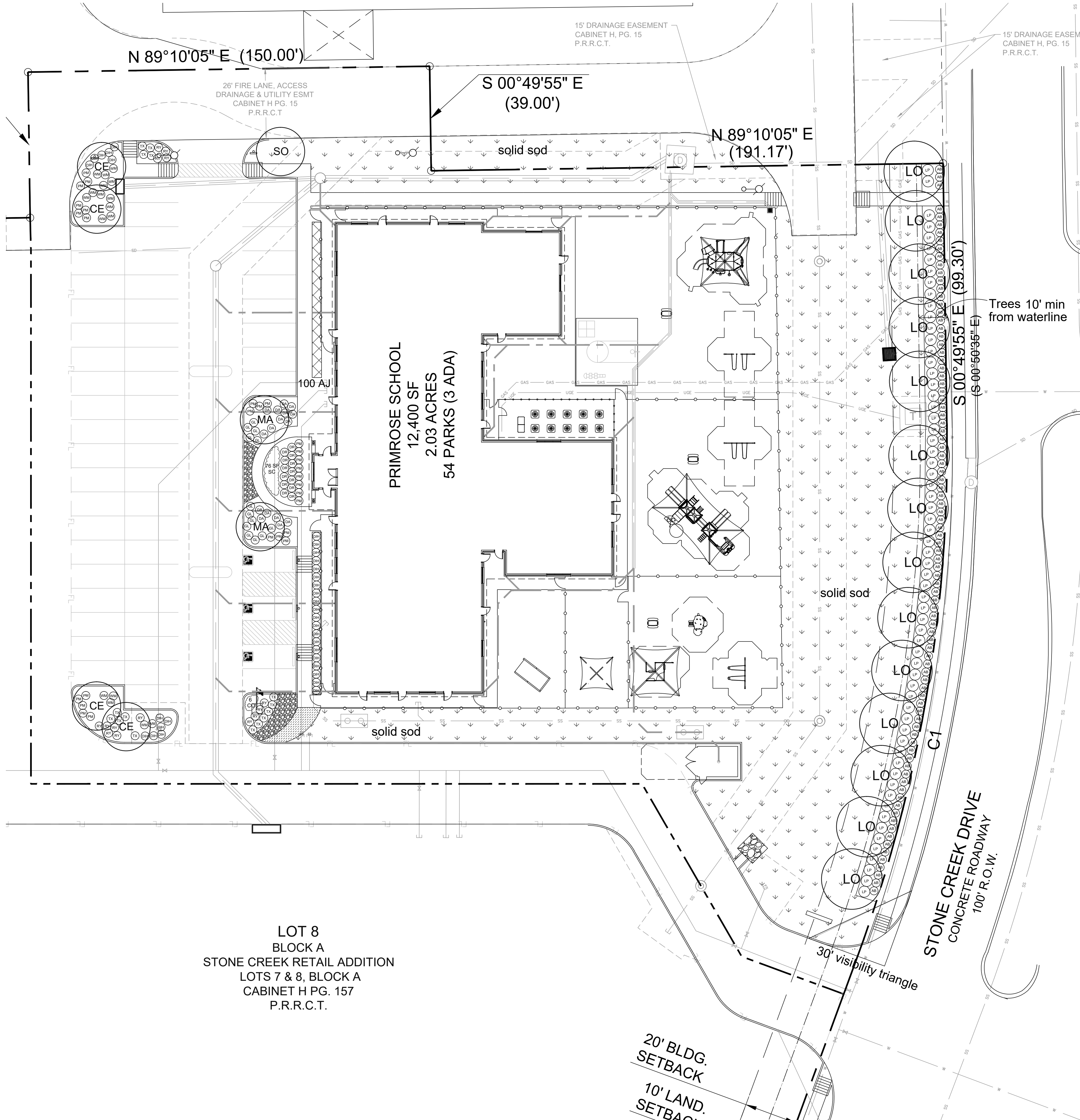
SHEET

C-13

File No. 2020-021



SCOTT WILDER  
11/19/2020 10:18 AM  
C:\USERS\SCOTT WILDER\DOCUMENTS\AUTOCAD\_LRD\PRIMROSE ROCKWALL\PRIMROSE ROCKWALL.LS.DWG  
LAST SAVED: 11/19/2020 10:16 AM



TREE LEGEND

Canopy Trees		
LO Live Oak	SO Shumard Oak	
CE Cedar Elm	MA Shantung Maple	

SHRUB LEGEND

DA Dwarf Abelia	AB Abelia
WM Dwarf Wax Myrtle	LP Chinese Fringe Shrub
RY Red Yucca	DR Pink Drift Rose
DIH Dwarf Indian Hawthorn	AJ Asian Jasmine
TX Texas Sage	SC Seasonal Color
PM Pink Muhly	CO Coreopsis
GL Giant Liriope	


HATCH LEGEND

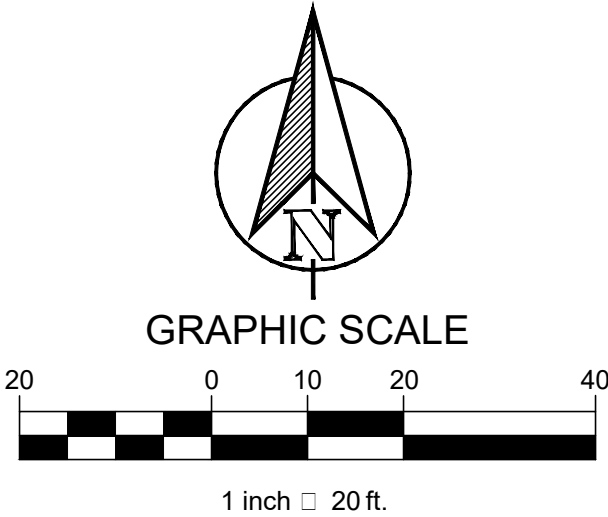
Solid Sod	Asian Jasmine
Bermuda Grass	
Decomposed Granite	River Rock
	3 - 5" stone
	tan and brown

LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 8 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Solid sod all areas disturbed by construction activities as shown on plan.


TO THE BEST OF OUR KNOWLEDGE CLAYMOORE ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

By:  Date: 11/05/2022

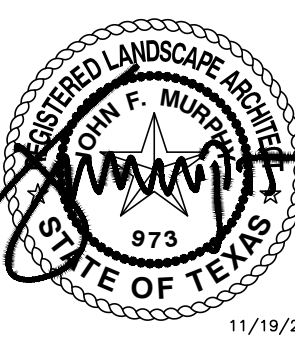


PRIMROSE SCHOOL ROCKWALL, TX 75087
LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
OWNER: METROPLEX ACQUISITION FUND, LP 1717 WOODSTEAD CT STE 207 THE WOODLANDS, TX 77380
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
CASE NUMBER SP2020-005
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.
WITNESS OUR HANDS THIS ____ DAY OF ____.
PLANNING AND ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199

**ENGINEERING**

PHONE: 817.281.0572  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
WWW.CLAYMOORE.COM



11/19/20

**PRIMROSE SCHOOL OF  
NORTH ROCKWALL  
ROCKWALL, TX 75087**

**LANDSCAPE PLAN**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	11/19/2020

SHEET

**L-1**

File No. 2020-021



PLOTTED BY: SCOTTFULWILER  
 PLOT DATE: 11/19/2020 10:19 AM  
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 LAST SAVED: 11/19/2020 10:16 AM

PLANT LIST

CANOPY TREES				
1	SO	Shumard Oak	Quercus shumardii	All Canopy trees to be minimum 4 inch cal. at DBH - container grown 14' ht. 7' spread
2	MA	Shantung Maple	Acer truncatum	
14	LO	Live Oak	Quercus virginiana	
4	CE	Cedar Elm	Ulmus crassifolia	
SHRUBS				
Note: All shrubs are to be a min. of 5 gallon per City of Rockwall.				
16	DA	Dwarf Abelia	Abelia x grandiflora 'Ed. Goucher'	5 gal. 36" oc
17	WM	Dwarf Wax Myrtle	Myrica pusilla	5 gal. 36" oc
14	RY	Red Yucca	Hesperaloe parviflora	5 gal. 36" oc
32	DIH	Dwarf Indian Hawthorne	Raphiolepis indica 'pinkie'	5 gal. 36" oc
15	TX	Texas Sage	Leucophyllum frutescens 'Silverado'	5 gal. 36" oc
28	PM	Pink Muhly	Muhlenbergia capillaris	5 gal. 30" oc
13	GL	Giant Liriope	Liriope gigantea	5 gal. 36" oc
90	AB	Abelia	Abelia grandiflora	5 gal. 36" oc
64	LP	Chinese Fringe Shrub	Loropetalum 'Ruby'	10 gal. 36" oc
13	DR	Pink Drift Rose	Rosa 'Meijocos'	5 gal. 36" oc
GROUNDCOVERS				
100	AJ	Asian Jasmine	Trachelospermum asiaticum	1 gal. 18" oc
76 sf	SC	Seasonal Color	To be selected at time of planting	1 gal. 18" oc
6	CO	Coreopsis	Coreopsis lanceolata	1 gal. 24" oc

City of Rockwall, Texas  
 LANDSCAPE CALCULATIONS

Total Lot Area	88,583 SF	Required	Provided
Landscape Area 15'		13,287 SF	24,445 SF (47.5%)
Street Buffer Trees	1 Shade tree 4" cal. per 50 LF of frontage	Required	Provided
Stone Creek Drive	315 LF	7	14
Parking Lot Landscape		Required	Provided
Parking Spaces	55	6	6
1 tree per 10 spaces			
Tree Mitigation			
No trees on site			

TREE STAKE SOLUTIONS LLC  
 9973 FM 521 ROAD  
 ROSHARON, TX 77583  
 PHONE: (281) 778-1400  
 FAX: (281) 778-1425  
 www.treestakesolutions.com

1. WITH TREE IN A STRAIGHT & PLUMB POSITION, CENTER THE APPROPRIATE ROOT ANCHOR SAFETY STAKE AROUND THE TRUNK, WITH BRKES LAYING FLAT AGAINST ROOTBALL, U-BRACKETS FACING UP.

2. INSERT 1 OF 3 NAIL STAKES THROUGH EACH OF THE U-BRACKETS. NAILS SHOULD REST IN THE UNDISTURBED SOIL AT THE BOTTOM OF THE TREE. IF ALL NAILS SHOULD FIT snugly AGAINST THE SIDE OF THE ROOTBALL WITH THE NAIL.

(FOR HAND OR MACHINE DUG TREES, IT MAY BE NECESSARY TO PENETRATE 1" - 4" OF OUTER AREA OF THE ROOTBALL WITH THE NAIL.)

3. NAIL STAKES SHOULD BE DRIVEN STRAIGHT DOWN INTO THE UNDISTURBED SOIL, BELOW THE ROOTBALL. THE NAILS ARE NOW CAGING THE ROOTBALL IN PLACE, WHILE THE TOP BRACKET PINS THE ROOTBALL DOWN.

AFTER THE TREE STAKE IS INSTALLED, A LAYER OF MULCH CAN BE ADDED OVER THE STAKE. REMOVE ROOT ANCHOR AFTER TREE IS ESTABLISHED.

TOP OF BALL OR ROOT CROWN 1" ABOVE FIN. GRADE

REFER TO ARBOR-GUY DETAIL FOR ANCHORING

PREPARE SOIL MIX AND FERTILIZER PER SPECS.

ROOT ANCHOR™ BELOW GRADE SAFETY STAKE SIZING CHART

ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)	ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)
5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95/100 GALLON OR 36" ROOTBALL	#5 X 48"
15 BG	10/15 GALLON OR 17" ROOTBALL	#4 X 36"	150 BG	150 GALLON OR 42" ROOTBALL	#5 X 60"
30 BG	20/30 GALLON OR 22" ROOTBALL	#4 X 36"	200 BG	200 GALLON OR 48" ROOTBALL	#5 X 72"
45/65 BG	45/65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72"

1 CANOPY TREE PLANTING SCALE: NONE

2 MULTI-TRUNK PLANTING SCALE: NONE

SECTION

STEEL EDGING SEE PLAN

4" MULCH LAYER

PREPARED SOIL MIX AND FERTILIZER (SEE SPECS)

SCARIFY BOTTOM OF PLANTING BED BEFORE PLACING PREPARED MIX

12"

PLAN

TRIANGULAR SPACING SEE PLAN

EQUAL

3 SHRUB PLANTING SCALE: NONE

SECTION

STEEL EDGING SEE PLAN

12" DEPTH OF PLANTING MIX

4" MULCH LAYER

PLAN

TRIANGULAR SPACING

EQUAL

4 GROUNDCOVER PLANTING SCALE: NONE

TO THE BEST OF OUR KNOWLEDGE CLAYMOORE ENGINEERING HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

By: Date: 11/05/2022

PRIMROSE SCHOOL  
 ROCKWALL, TX 75087  
 LEGAL DESCRIPTION AND OR ADDRESS:  
 A PORTION OF STONE CREEK RETAIL ADDITION  
 LOT 8, BLOCK A  
 2.03 ACRES (REPLAT 2012)

OWNER:  
 METROPLEX ACQUISITION FUND, LP  
 1717 WOODSTEAD CT  
 STE 207  
 THE WOODLANDS, TX 77380

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PH: 817.281.0572

CASE NUMBER  
 SP2020-005

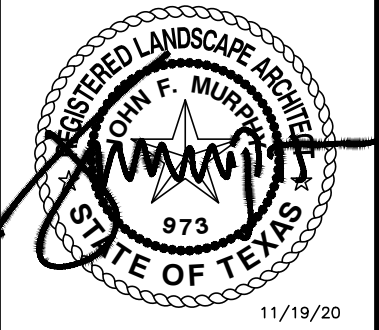
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199  
  
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 512.632.3822 - Tyler  
 512.589.9584 - Austin  
 www.siteint.com



PRIMROSE SCHOOL OF  
 NORTH ROCKWALL  
 ROCKWALL, TX 75087

LANDSCAPE DETAILS

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 11/19/2020  
 SHEET  
 L-2  
 File No. 2020-021