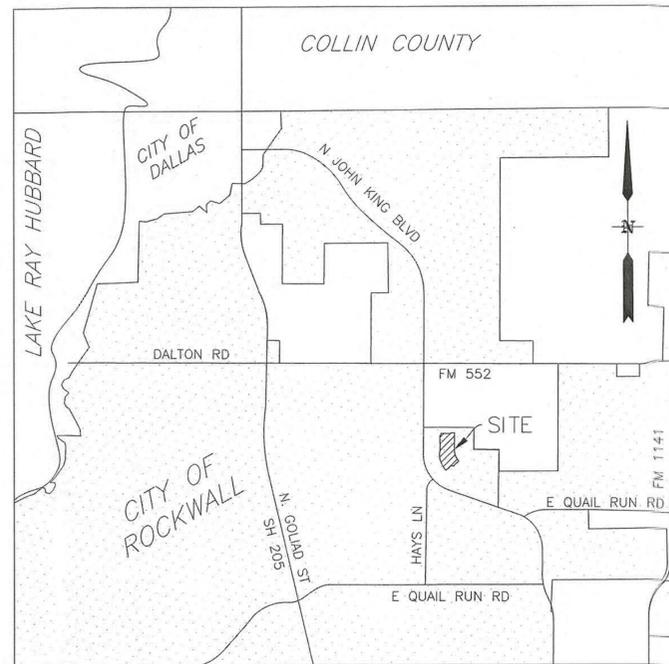


# CONSTRUCTION PLANS FOR SADDLE STAR SOUTH AMENITY CENTER

1 OPEN SPACE LOT  
AN ADDITION TO THE CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
2.174 ACRES

**CONTACT INFORMATION:**

Mayor: Jim Pruitt  
Rockwall Engineer and Public Works:  
Amy Williams, P.E. (972) 771-7746  
City Manager:  
Rick Crowley (972) 771-7700



VICINITY MAP  
N.T.S.

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	FINAL PLAT 1
3	FINAL PLAT 2
4	GENERAL NOTES 1
5	GENERAL NOTES 2
6	PAVING PLAN - RANDAS WAY
7	PAVING PLAN - ROYS DRIVE
8	GRADING PLAN - AMENITY CENTER
9	DRAINAGE AREA EXISTING
10	DRAINAGE AREA PROPOSED
11	DRAINAGE AREA ULTIMATE
12	DRAINAGE CALCULATIONS
13	DETENTION POND 2 PROPOSED
14	DETENTION POND 2 ULTIMATE
15	OVERALL STORM PLAN
16	STORM PLAN - DITCH D & F
17	STORM PLAN - DITCH E & LAT E-1
18	STORM PLAN - DITCH G
19	UTILITY PLAN & PROFILE
20	STREET LIGHT AND SIGNAGE PLAN
21-A	EROSION CONTROL PLAN
21	EROSION CONTROL DETAILS
22	PAVING DETAILS 1
23	PAVING DETAILS 2
24	WATER DETAILS 1
25	WATER DETAILS 2
26	SANITARY DETAILS
27	STORM DETAILS
27-B	TREE EXHIBIT

PROBABLE CONSTRUCTION DATE: MARCH 2021

**RECORD DRAWINGS**  
To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.  
  
PETTITT-ECD, L.P.  
*Ryan C. King* 4/15/2024  
RYAN C. KING, P.E. DATE

RELEASED FOR CONSTRUCTION  
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.  
CITY *[Signature]* 11-15-21  
DATE

**OWNER**  
CDT ROCKWALL/2017, LLC  
6925 FM 2515  
KAUFMAN, TX 75142  
  
**SADDLE STAR SOUTH HOLDINGS, LLC**  
2200 ROSS AVE, STE. 4200W  
DALLAS, TX 75201  
  
**GWENDOLYN REED**  
3076 HAYS RD  
ROCKWALL, TX 75087  
  
**DEVELOPER**  
**HINES**  
2200 ROSS AVE, SUITE 4200W  
DALLAS, TX 75201  
(214) 716-2900

\*ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**CAUTION! EXISTING UTILITIES**  
CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

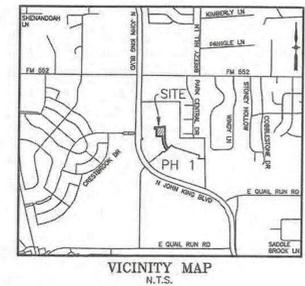
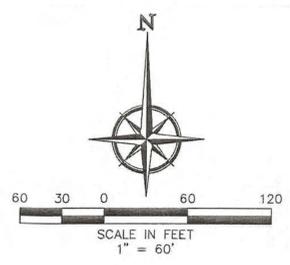
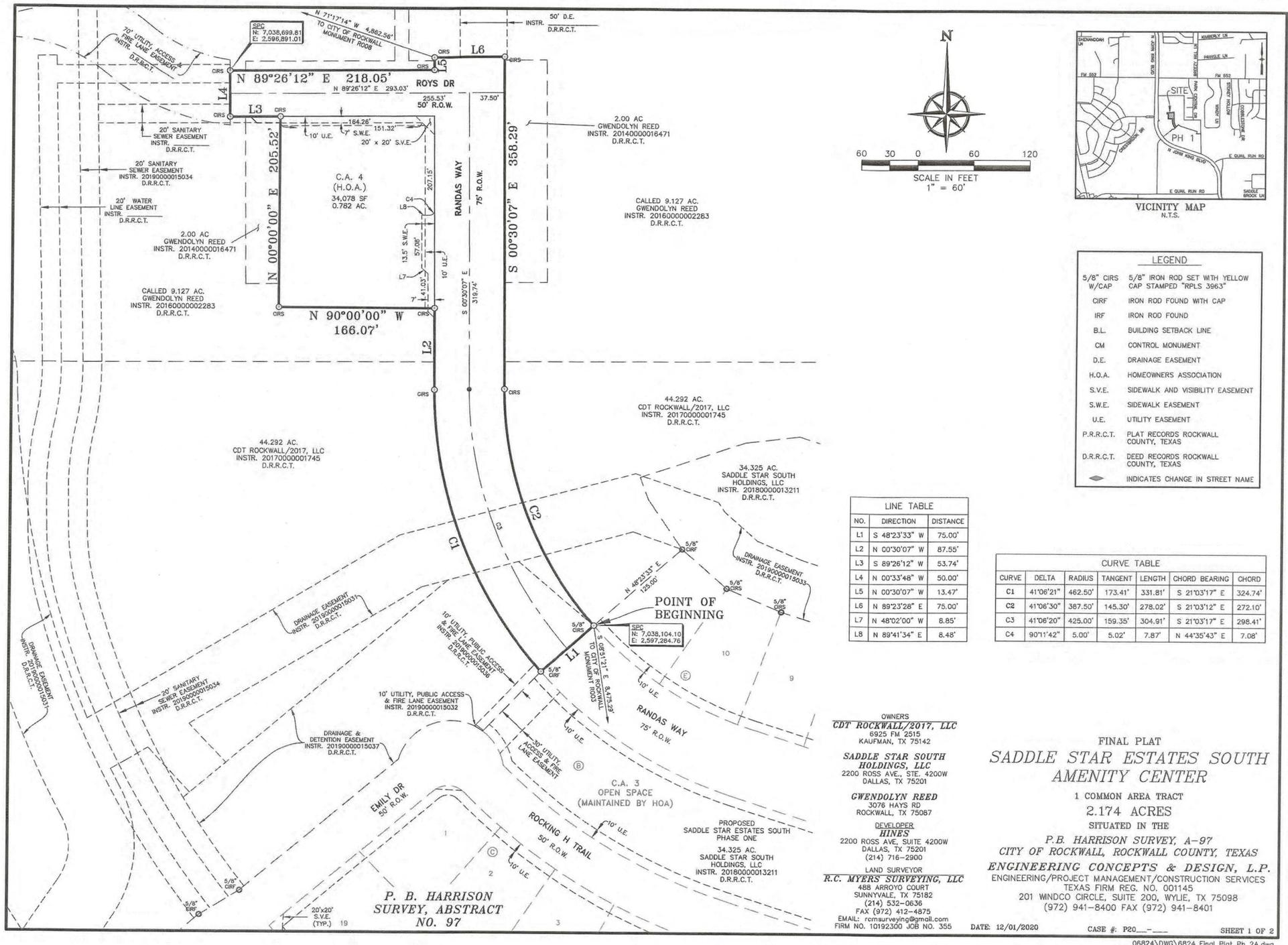
**BENCHMARK:**  
BM#1 (#102)  
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
ELEVATION = 531.58  
BM#2 (#104)  
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD AT THE TURN IN LANE FOR HAYS ROAD. THE MONUMENT #104 IS LOCATED 22' TO THE SOUTHWEST OF THE BEGINNING OF THE LEFT TURNING LANE ON JOHN KING BLVD.  
ELEVATION = 538.47  
BM#3 (#106)  
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHWEST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHWEST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**  
ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
10/18/2021	ADDED EROSION CONTROL PLAN
10/19/2021	ADDED TREE EXHIBIT
DATE:	03/10/2021
PROJECT NO.:	06824
DWG FILE NAME:	06824 CV.DWG

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635  
*[Seal]*  
10/19/2021

ISSUED FOR CONSTRUCTION  
03/10/2021  
SADDLE STAR SOUTH AMENITY CENTER  
THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



**LEGEND**

- 5/8" CIRS W/CAP 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 396.3"
- CIRF IRON ROD FOUND WITH CAP
- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- CM CONTROL MONUMENT
- D.E. DRAINAGE EASEMENT
- H.O.A. HOMEOWNERS ASSOCIATION
- S.V.E. SIDEWALK AND VISIBILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS
- ◄ INDICATES CHANGE IN STREET NAME

**LINE TABLE**

NO.	DIRECTION	DISTANCE
L1	S 48°23'33" W	75.00'
L2	N 00°30'07" W	87.55'
L3	S 89°26'12" W	53.74'
L4	N 00°33'48" W	50.00'
L5	N 00°30'07" W	13.47'
L6	N 89°23'28" E	75.00'
L7	N 48°02'00" W	8.85'
L8	N 89°41'34" E	8.48'

**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	41°06'21"	462.50'	173.41'	331.81'	S 21°03'17" E	324.74'
C2	41°06'30"	387.50'	145.30'	278.02'	S 21°03'12" E	272.10'
C3	41°06'20"	425.00'	159.35'	304.91'	S 21°03'17" E	298.41'
C4	90°11'42"	5.00'	5.02'	7.87'	N 44°35'43" E	7.08'

**OWNERS**  
**CDT ROCKWALL/2017, LLC**  
 6925 FM 2515  
 KAUFMAN, TX 75142

**SADDLE STAR SOUTH HOLDINGS, LLC**  
 2200 ROSS AVE., STE. 4200W  
 DALLAS, TX 75201

**GWENDOLYN REED**  
 3076 HAYS RD  
 ROCKWALL, TX 75087

**DEVELOPER**  
**HINES**  
 2200 ROSS AVE., SUITE 4200W  
 DALLAS, TX 75201  
 (214) 716-2800

**LAND SURVEYOR**  
**R.C. MYERS SURVEYING, LLC**  
 488 ARROYO COURT  
 SUNNYVALE, TX 75182  
 (214) 532-0636  
 FAX (972) 412-4875  
 EMAIL: rcmysurveying@gmail.com  
 FIRM NO. 10192300 JOB NO. 355

**FINAL PLAT**  
**SADDLE STAR ESTATES SOUTH**  
**AMENITY CENTER**  
 1 COMMON AREA TRACT  
 2.174 ACRES  
 SITUATED IN THE  
**P.B. HARRISON SURVEY, A-97**  
**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**  
**ENGINEERING CONCEPTS & DESIGN, L.P.**  
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES  
 TEXAS FIRM REG. NO. 001145  
 201 WINDCO CIRCLE, SUITE 200, WYLLIE, TX 75098  
 (972) 941-8400 FAX (972) 941-8401

DATE: 12/01/2020 CASE #: P20- SHEET 1 OF 2

RELEASED FOR CONSTRUCTION  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
 REMAINS WITH THE DESIGN ENGINEER. THE CITY  
 OF ROCKWALL, IN REVIEWING AND RELEASING  
 PLANS FOR CONSTRUCTION, ASSUMES NO  
 RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF  
 DESIGN.

CITY \_\_\_\_\_ DATE \_\_\_\_\_

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS SADDLE STAR SOUTH HOLDINGS LLC, BEING THE OWNER OF a 2.174 acre tract of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being part of a 44,292 acre tract of land described in deed to CDT Rockwall/2017, LLC, recorded in Instrument 20170000001745, Deed Records, Rockwall County, Texas (DRRCT), part of a called 2.00 acre tract of land described in deed to Gwendolyn Reed, recorded in Instrument No. 2014000018471, DRRCT, and part of a called 9.127 acre tract of land described in deed to Gwendolyn Reed, recorded in Instrument No. 2016000002283, DRRCT, said 2.174 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner in the northwest line of a 34.325 acre tract of land described in deed to Saddle Star Holdings, LLC, recorded in Instrument No. 2016000013211, DRRCT from which a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," found for the north corner of Saddle Star Estates South, Phase One, a proposed addition to the City of Rockwall, bears North 48 degrees 23 minutes 33 seconds East, a distance of 125.00 feet;

THENCE South 48 degrees 23 minutes 33 seconds West, along the common line of said Addition and said 34.325 acre tract, a distance of 75.00 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," found for an angle point in the common line of same, said corner being the beginning of a non-tangent curve to the right having a radius of 462.50 feet whose chord bears North 21 degrees 03 minutes 17 seconds West, a distance of 324.74 feet;

THENCE Northwesterly, along said curve to the right, through a central angle of 41 degrees 06 minutes 21 seconds, an arc distance of 331.81 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for the end of said curve;

THENCE North 00 degrees 30 minutes 07 seconds West, a distance of 87.55 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 90 degrees 00 minutes 00 seconds West, a distance of 166.07 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 00 degrees 00 minutes 00 seconds East, a distance of 205.52 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE South 89 degrees 26 minutes 12 seconds West, a distance of 53.74 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 00 degrees 33 minutes 48 seconds West, a distance of 50.00 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 89 degrees 26 minutes 12 seconds East, a distance of 218.05 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 00 degrees 30 minutes 07 seconds West, a distance of 13.47 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE North 89 degrees 23 minutes 28 seconds East, a distance of 75.00 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for corner;

THENCE South 00 degrees 30 minutes 07 seconds East, a distance of 358.29 feet to a 5/8-inch iron rod with a yellow cap stamped, "RPLS 3963," set for the beginning of a tangent curve to the left having a radius of 387.50 feet whose chord bears South 21 degrees 03 minutes 12 seconds East, a distance of 272.10 feet;

THENCE Southeasterly, along said curve to the left, through a central angle of 41 degrees 06 minutes 30 seconds, an arc distance of 278.02 feet to POINT OF BEGINNING AND CONTAINING 94,715 square feet or 2.174 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

SADDLE STAR SOUTH HOLDINGS, LLC, the undersigned owner of the land shown on this plat, and designated herein as the SADDLE STAR ESTATES SOUTH AMENITY CENTER, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicates to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. SADDLE STAR SOUTH HOLDINGS, LLC further certifies that all other parties who have a mortgage or lien interest in the SADDLE STAR ESTATES SOUTH AMENITY CENTER subdivision have been notified and signed this plat. SADDLE STAR SOUTH HOLDINGS, LLC understands and does hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. SADDLE STAR SOUTH HOLDINGS, LLC also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner/H.O.A. shall be responsible for all maintenance, repair and replacement of all drainage and detention systems.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

SADDLE STAR SOUTH HOLDINGS, LLC further acknowledges that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. SADDLE STAR SOUTH HOLDINGS, LLC, its successors and assigns hereby waive any claim, damage, or cause of action that SADDLE STAR SOUTH HOLDINGS, LLC may have as a result of the dedication of exactions made herein.

FOR: SADDLE STAR SOUTH HOLDINGS, LLC (PROPERTY OWNER)

BY: NAME:
TITLE:

FOR: AMERICAN UNITED BANK OF TEXAS (LIEN HOLDER)

BY: NAME:
TITLE:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared
known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas
My Commission Expires:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared
known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas
My Commission Expires:

Notes:

- 1. Bearings and Grid Coordinates shown hereon are per NAD 83 based on City of Rockwall Monument No.
2. A 5/8" iron rod with a yellow cap stamped "RPLS 3963" will be set at oil lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
3. By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source, on occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
4. All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The Open Space Lots to be maintained by the Homeowners Association (HOA).
7. All drainage and detention easements to be maintained, repaired and replaced by property owner.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_ DAY OF \_\_\_\_\_, 2020.

Preliminary, this document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document. This final plat is released on May 20, 2020 for review by the City and other parties for comments and progression to an approved Final Plat.

ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2020.

Mayor, City of Rockwall City Secretary City Engineer

OWNERS
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201
GWENDOLYN REED
3076 HAYS RD
ROCKWALL, TX 75087
DEVELOPER
HINES
2200 ROSS AVE., SUITE 4200W
DALLAS, TX 75201
(214) 716-2900
LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JCB NO. 355

FINAL PLAT
SADDLE STAR ESTATES SOUTH AMENITY CENTER

1 COMMON AREA TRACT
2.174 ACRES
SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. C01145
201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098
(972) 941-8400 FAX (972) 941-8401

DATE: 12/01/2020 CASE #: P20 SHEET 2 OF 2

06824\DWG\6824 Final Plat Ph 2A.dwg

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY DATE

**GENERAL ITEMS**

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/engr.asp>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

**EROSION CONTROL & VEGETATION**

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees.
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times.
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

**TRAFFIC CONTROL**

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am - 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

**UTILITY LINE LOCATES**

- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and .or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call - 811 - line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - No more than 500 linear feet of trench may be opened at one time.
  - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
  - Applicable safety regulations shall be complied with.
- This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

**WATER LINE NOTES**

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalug joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

**WASTEWATER LINE NOTES**

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC - SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC - PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal. Conshield must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.

**RECORD DRAWINGS**  
 To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.  
 PETITTT-ECD, L.P.  
 Ryan C. King, P.E. 4/23/2024  
 DATE

	<b>GENERAL CONSTRUCTION NOTES</b> Sheet 1 of 2 October 2020	
	<b>CITY OF ROCKWALL ENGINEERING DEPARTMENT</b>	
385 S. Goliad Rockwall, Texas 75087	P (972) 771-7746 F (972) 771-7748	

RELEASED FOR CONSTRUCTION  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
 REMAINS WITH THE DESIGN ENGINEER. THE CITY  
 OF ROCKWALL, IN REVIEWING AND RELEASING  
 PLANS FOR CONSTRUCTION, ASSUMES NO  
 RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF  
 DESIGN.

CITY \_\_\_\_\_ DATE \_\_\_\_\_

**DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES**

1. All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
2. Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
3. All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
4. No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

**PAVING AND GRADING**

1. All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
2. All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Strength 28-Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement	
			Machine placed	Hand Placed	Bar #	Spacing (O.C.E.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

3. Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
4. No sand shall be allowed under any paving.
5. All concrete mix design shall be submitted to the City for review and approval prior to placement.
6. Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
7. All curb and gutter shall be integral (monolithic) with the pavement.
8. All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
9. All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
10. All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
11. All public sidewalks shall be doweled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
12. All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
13. Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
14. All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
15. Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
16. All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
17. CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
18. CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
19. CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

**DRAINAGE / STORM SEWER NOTES**

1. The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
2. All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
3. Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
4. All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
5. All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
6. All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
7. All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
8. All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.

**RETAINING WALLS**

1. All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
2. All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
3. All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
4. All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
5. No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

**FINAL ACCEPTANCE AND RECORD DRAWINGS/AS-BUILTS**

1. Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
2. After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
3. Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
4. Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
5. The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
6. Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."

**RECORD DRAWINGS**

To the best of our knowledge, Pettit-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETITT-ECD, L.P.

*Ryan C. King*      4/26/2024  
RYAN C. KING, P.E.      DATE

**GENERAL CONSTRUCTION NOTES**  
Sheet 2 of 2  
October 2020

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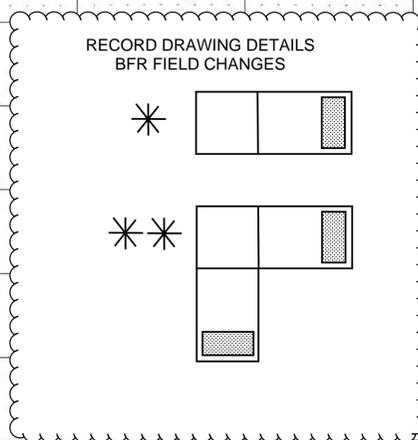
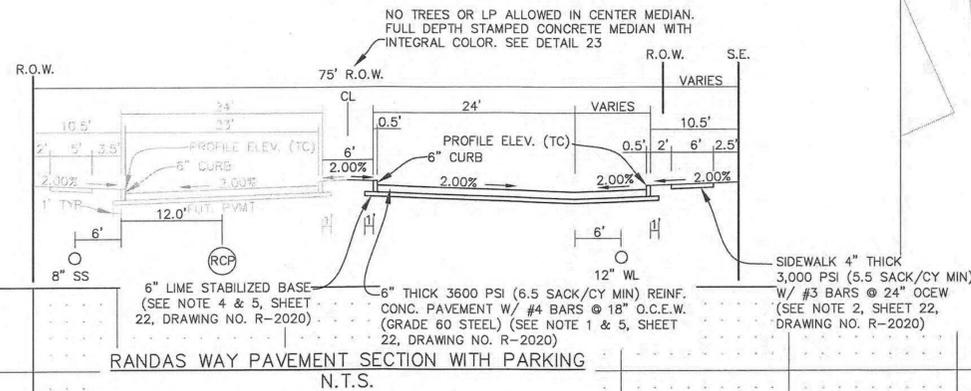
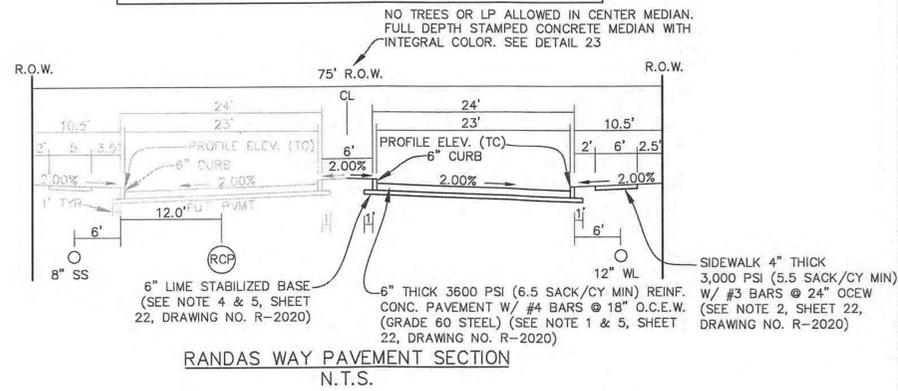
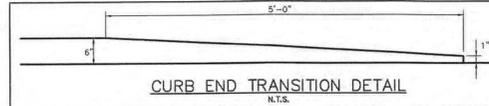
**CITY OF ROCKWALL  
ENGINEERING DEPARTMENT**

385 S. Goliad      P (972) 771-7746  
Rockwall, Texas 75087      F (972) 771-7748

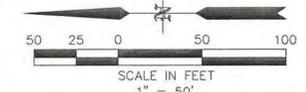
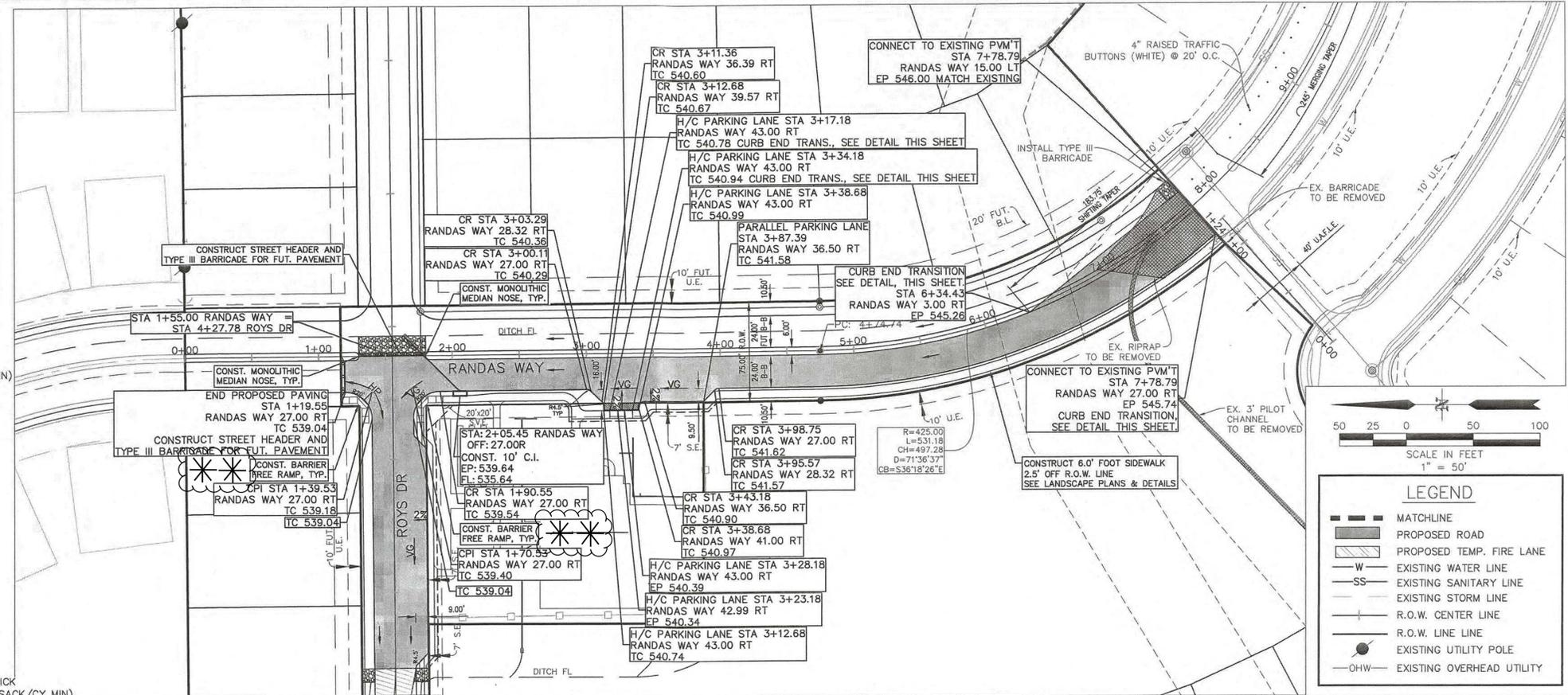
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DESIGN.

CITY \_\_\_\_\_ DATE \_\_\_\_\_

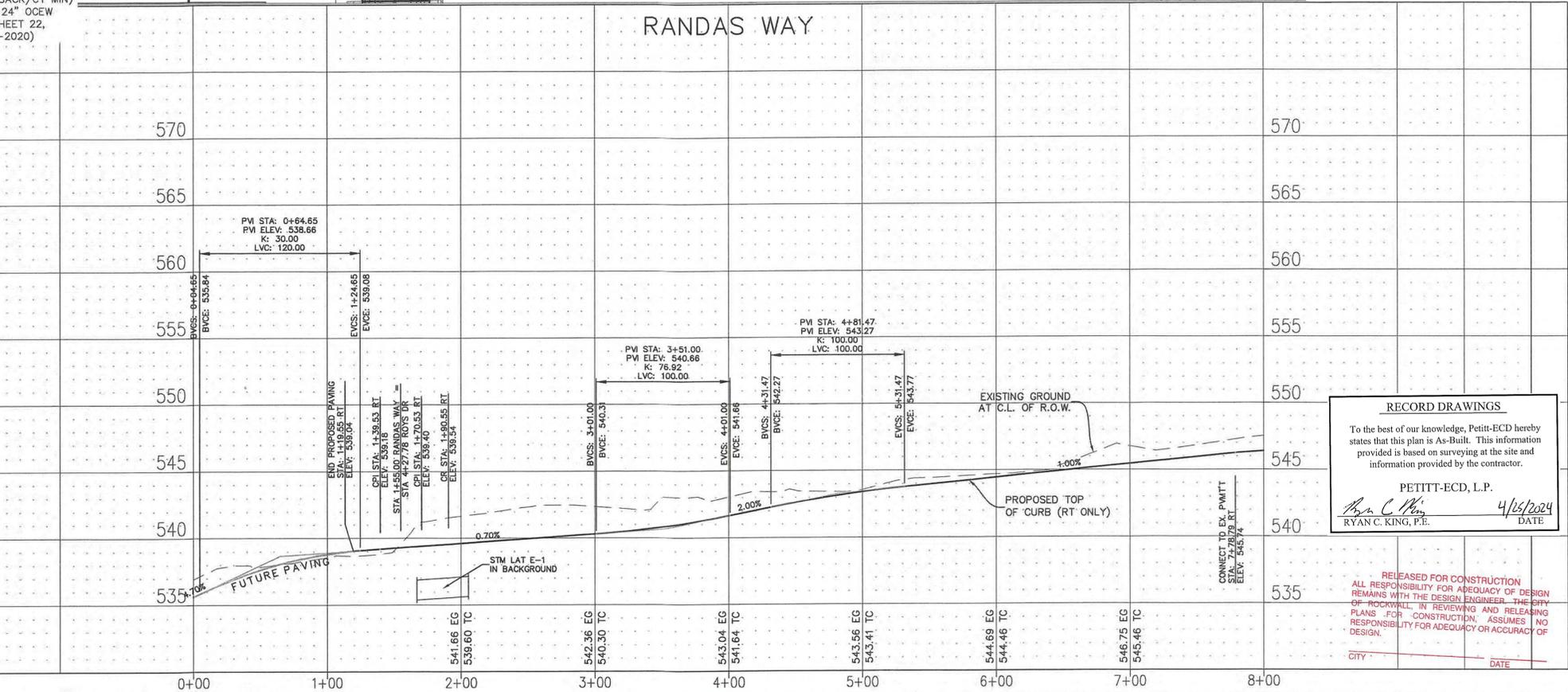
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PROFILE VERTICAL SCALE 1"=5'



LEGEND	
	MATCHLINE
	PROPOSED ROAD
	PROPOSED TEMP. FIRE LANE
	EXISTING WATER LINE
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	R.O.W. CENTER LINE
	R.O.W. LINE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD UTILITY



**RECORD DRAWINGS**  
 To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.  
 PETTITT-ECD, L.P.  
 Ryan C. King, P.E. 4/16/2024 DATE

RELEASED FOR CONSTRUCTION  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.  
 CITY: \_\_\_\_\_ DATE: \_\_\_\_\_

**CAUTION! EXISTING UTILITIES**  
 CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:  
 BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
 ELEVATION = 531.58  
 BM#3 (#106)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHWEST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
 ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**  
 ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

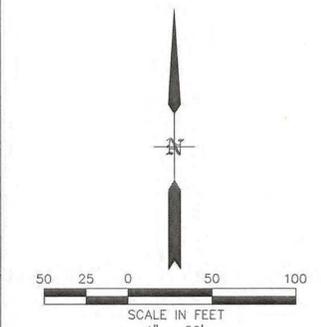
REVISIONS:  
 DRAWN: MJH DATE:  
 CHECKED: RCK DATE: 03/10/2021  
 PROJECT NO.: 06824  
 DWG FILE NAME: 06824 PV.DWG

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635  
 3/10/2021

**PAVING PLAN - RANDAS WAY**  
**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 SHEET 6 OF 27

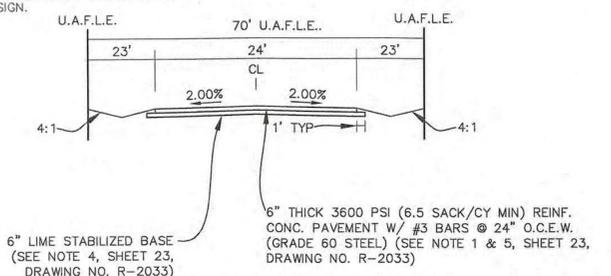
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RECORD DRAWINGS  
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 PETTITT-ECD, L.P.  
 Ryan C. King, P.E. 4/26/2024  
 DATE

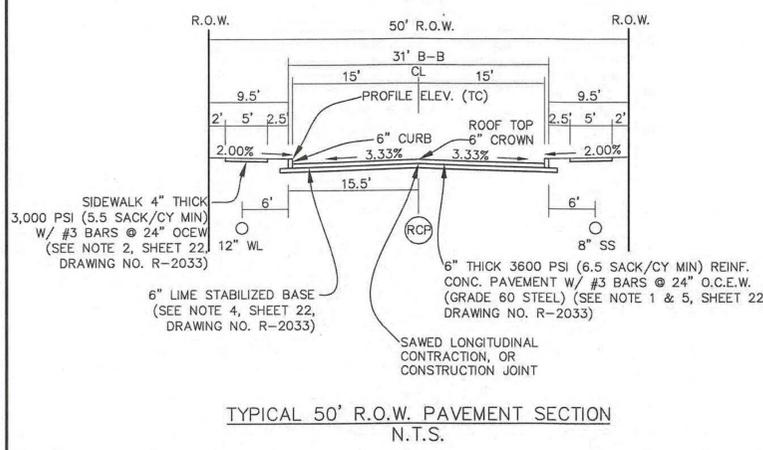


LEGEND

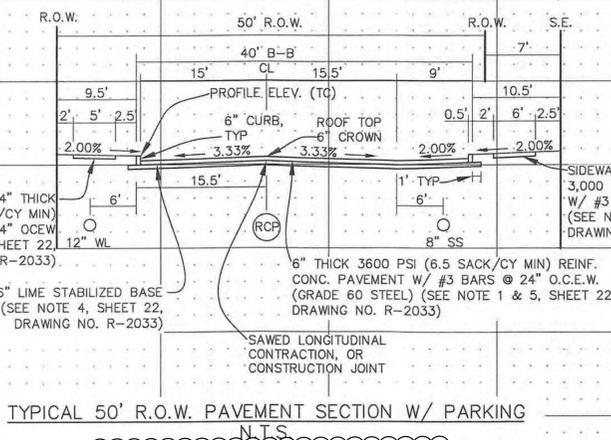
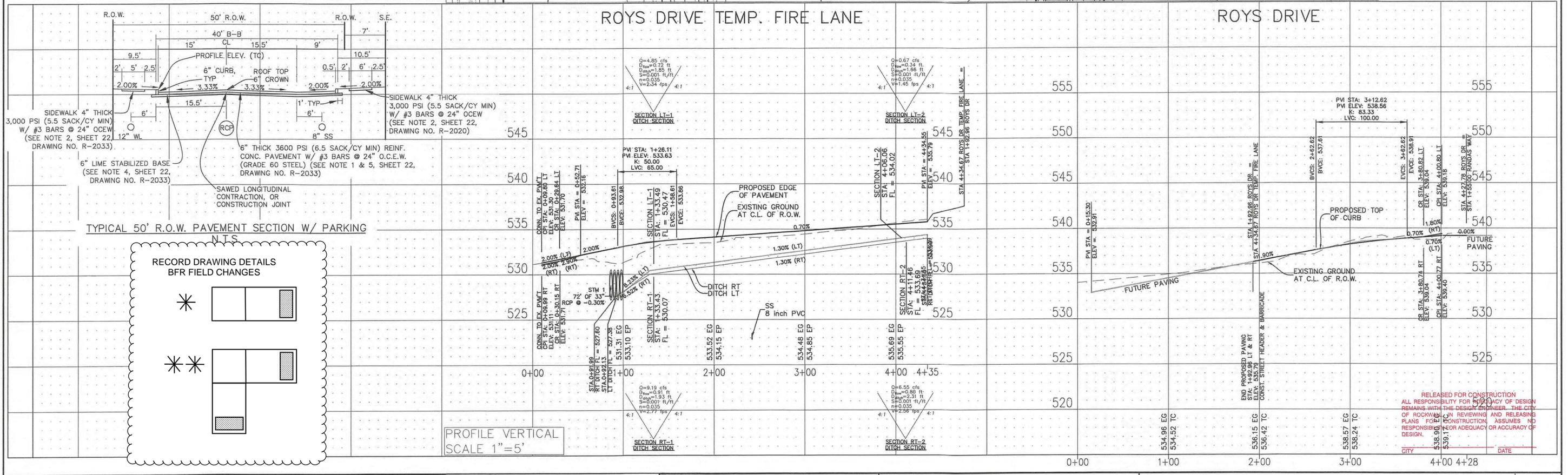
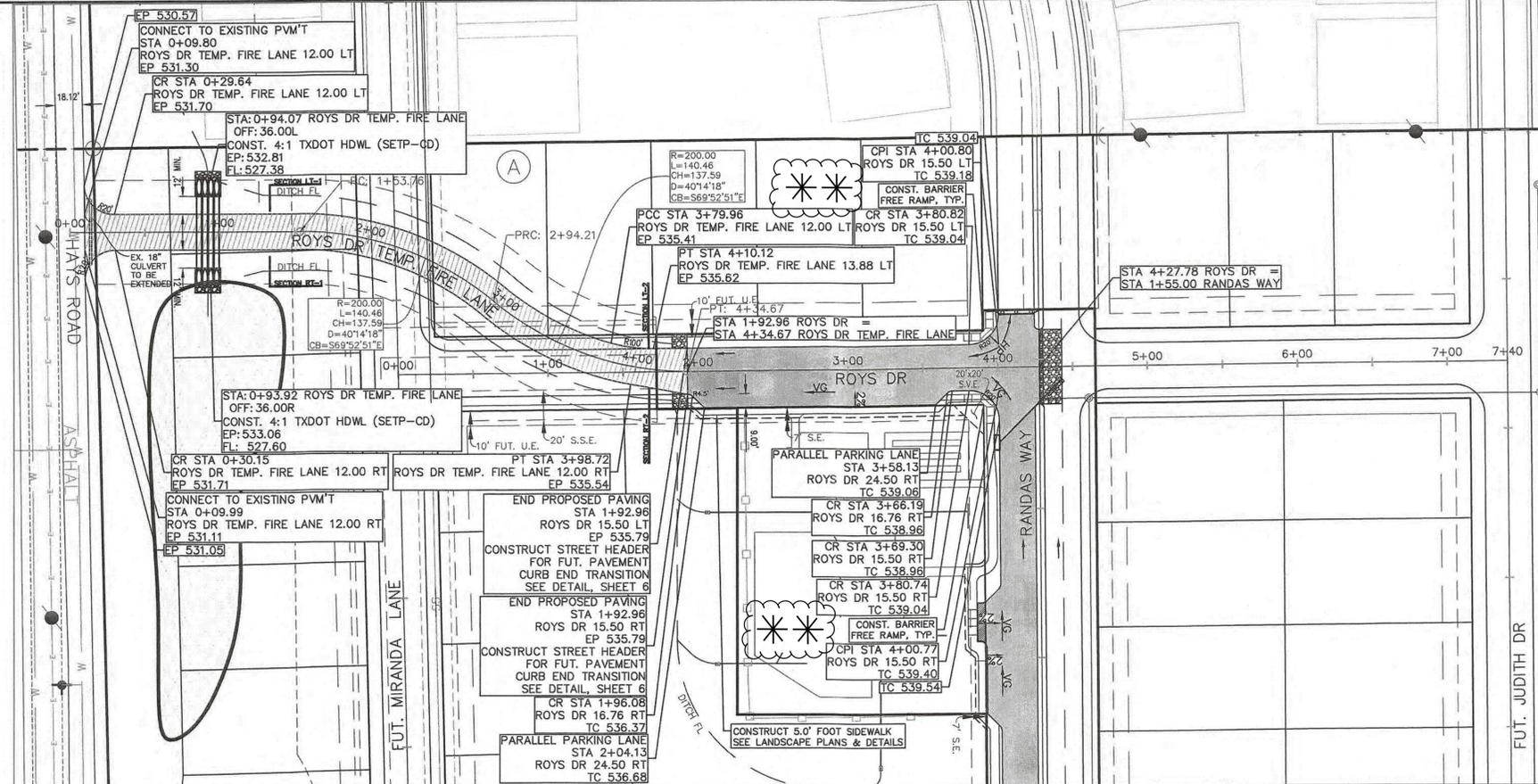
	MATCHLINE
	PROPOSED ROAD
	PROPOSED TEMP. FIRE LANE
	EXISTING WATER LINE
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	R.O.W. CENTER LINE
	R.O.W. LINE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD UTILITY



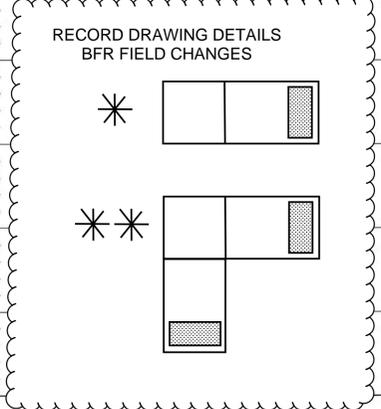
TEMP. UTILITY, ACCESS, AND FIRE LANE PAVEMENT SECTION N.T.S.



TYPICAL 50' R.O.W. PAVEMENT SECTION N.T.S.



TYPICAL 50' R.O.W. PAVEMENT SECTION W/ PARKING N.T.S.



PROFILE VERTICAL SCALE 1"=5'

RELEASED FOR CONSTRUCTION  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.  
 CITY \_\_\_\_\_ DATE \_\_\_\_\_

**CAUTION! EXISTING UTILITIES**  
 CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED FROM THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

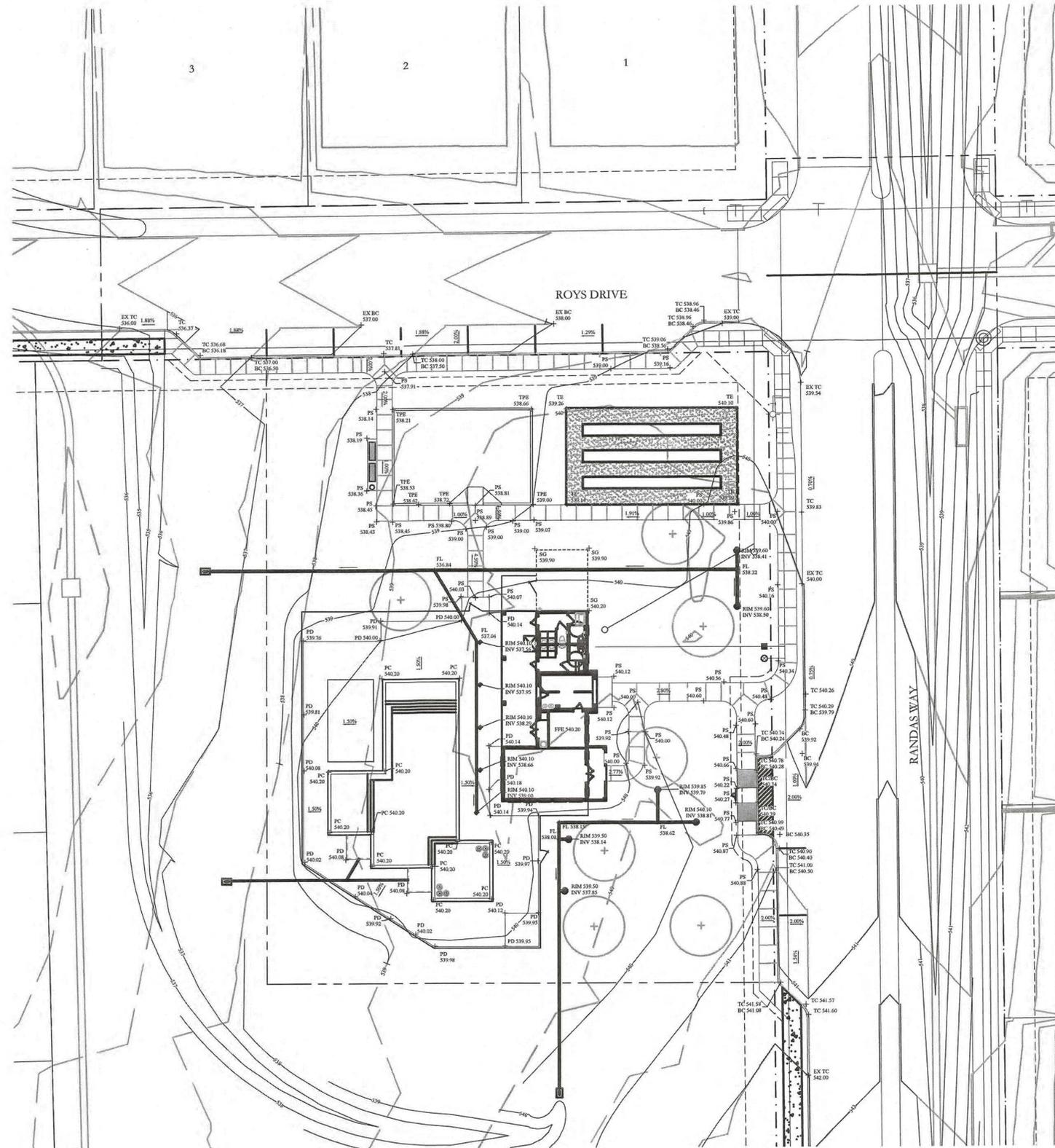
BENCHMARK: BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, ELEVATION = 531.58  
 BM#3 (#106)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT. ELEVATION = 557.33'

**ENGINEERING CONCEPTS & DESIGN, L.P.**  
 ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:  
 DRAWN: MJH DATE:  
 CHECKED: RCK DATE: 03/10/2021  
 PROJECT NO.: 06824  
 DWG FILE NAME: 06824 PV.DWG

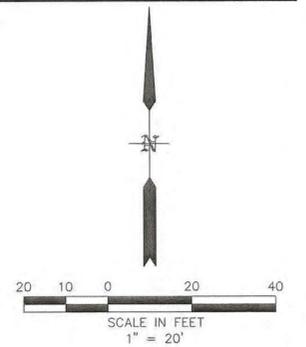
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PAVING PLAN - ROYS DRIVE  
 SADDLE STAR SOUTH AMENITY CENTER  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 SHEET 7 OF 27



**LEGEND**

- ~545~ PROPOSED MAJOR CONTOUR
- ~560~ PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- - - PROPOSED RETAINING WALL
- 556.1 PROPOSED ELEVATION
- 543.46TC PROPOSED TOP OF CURB



SEE LANDSCAPE PLANS  
FOR AMENITY CENTER  
AND PRIVATE DRAINAGE  
DESIGN

**RECORD DRAWINGS**

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.  
*Ryan C. King* 4/25/2024  
 RYAN C. KING, P.E. DATE

- GRADING NOTES:**
1. ALL WALLS SHALL BE ON ONE LOT INCLUDING FOOTINGS, TIE BACKS, OR STRUCTURAL FILL.
  2. ALL COMPACTION TO BE 95% STANDARD DENSITY USING A SHEEP FOOT ROLLER.
  3. ALL FINAL ELEVATIONS TO BE VERIFIED PRIOR TO CITY ACCEPTANCE.
  4. MAX SLOPE IS 4:1.
  5. MAX DRIVEWAY SLOPE IS 14%.
  6. WALLS 3' AND OVER MUST BE DESIGNED BY A LICENSED ENGINEER.

GRADING CONTRACTOR TO ENSURE THAT DRAINAGE IS MAINTAINED ACROSS ENTIRE SITE. NO PONDING SHALL OCCUR.

RELEASED FOR CONSTRUCTION  
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY REMAINS WITH THE DESIGN ENGINEER. THE CITY REMAINS WITH THE DESIGN ENGINEER AND RELEASING OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY \_\_\_\_\_ DATE \_\_\_\_\_

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**BENCHMARK:**  
BM#1 (#102)  
CIR'S "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
ELEVATION = 531.58

**BM#3 (#106)**  
CIR'S "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**

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 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
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**REVISIONS:**

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 GR.DWG	

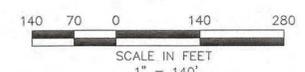
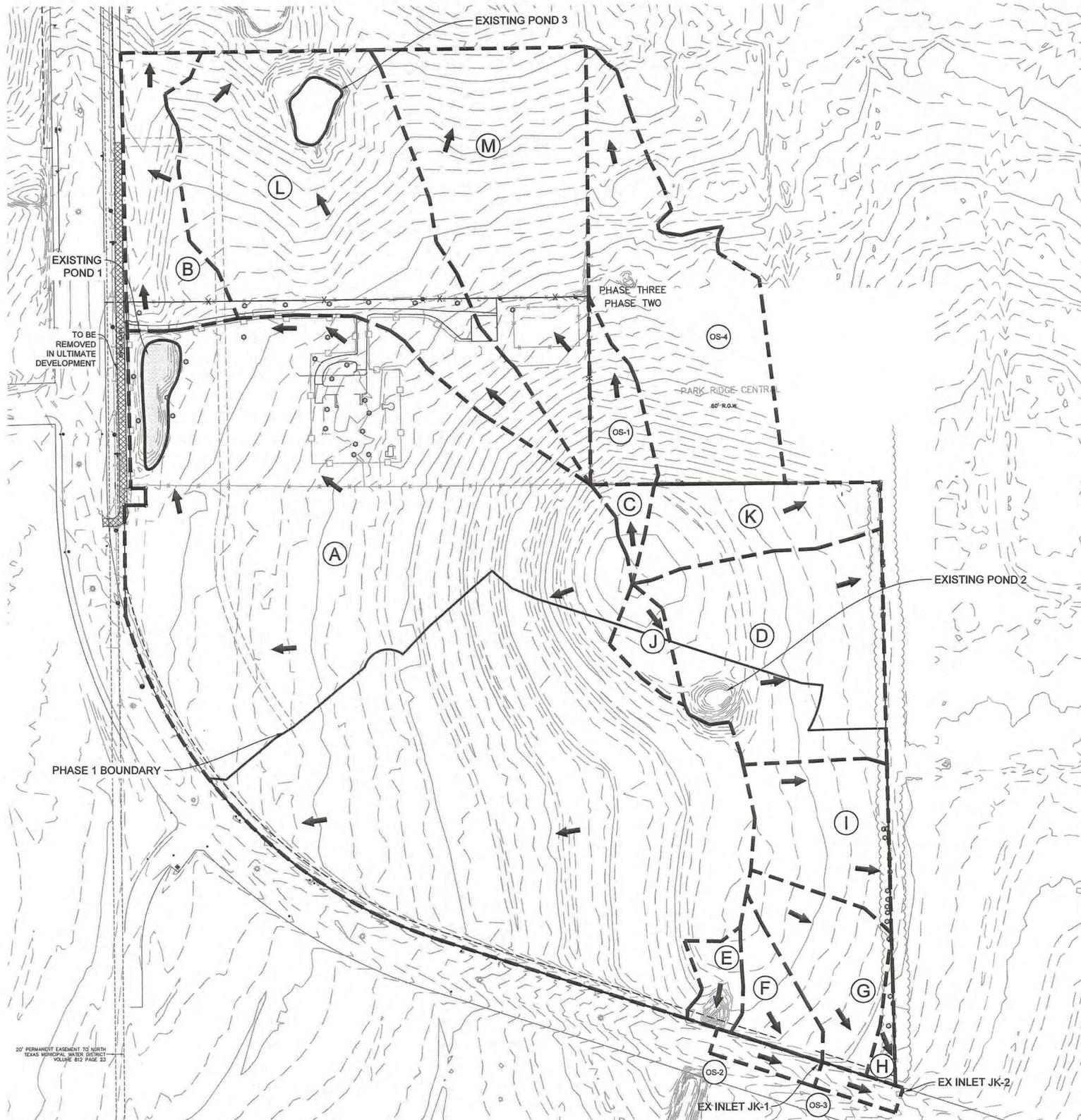
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**GRADING PLAN - AMENITY CENTER**

**SADDLE STAR SOUTH AMENITY CENTER**  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 8 OF 27



**LEGEND**

- DRAINAGE AREA BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- D EXISTING DRAINAGE AREA

Existing Drainage Area Calculations							
Drainage Area	Area (AC)	Tc (Min)	C	K	I <sub>1000</sub> (in/hr)	Q <sub>1000</sub> (cfs)	Description
A	37.01	20.00	0.35	1.00	8.30	107.50	TO EXISTING POND 1, THEN TO AREA B
B	2.47	20.00	0.35	1.00	8.30	7.18	TO OFFSITE NORTH
C	0.35	20.00	0.35	1.00	8.30	1.00	TO PARK RIDGE, THEN TO AREA M
D	5.45	20.00	0.35	1.00	8.30	15.82	TO EX. WINDMILL VALLEY (EAST)
E	0.55	20.00	0.35	1.00	8.30	1.60	TO EX. STOCK PASS
F	0.95	20.00	0.35	1.00	8.30	2.75	BASED ON JOHN KING DESIGN, TO JK-1 EX. INLET
G	2.05	20.00	0.35	1.00	8.30	5.94	BASED ON JOHN KING DESIGN, TO JK-2 EX. INLET
H	0.24	20.00	0.35	1.00	8.30	0.70	BASED ON GIDEON DESIGN
I	2.36	20.00	0.35	1.00	8.30	6.86	BASED ON GIDEON DESIGN
J*	0.58	20.00	0.35	1.00	8.30	1.69	TO WINDMILL VALLEY. NOT ACCOUNTED FOR BY GIDEON.
K	2.19	20.00	0.35	1.00	8.30	6.35	TO PARK RIDGE
L	9.27	20.00	0.35	1.00	8.30	26.91	TO OFFSITE NORTH
M	6.94	20.00	0.35	1.00	8.30	20.17	TO OFFSITE NORTH
OS-1	1.02	10.00	0.50	1.00	9.80	5.00	PARK RIDGE THEN FUTURE PHASE
OS-2	0.36	10.00	0.90	1.00	9.80	3.20	TO JK-1 EX. INLET
OS-3	0.28	10.00	0.90	1.00	9.80	2.50	TO JK-2 EX. INLET
OS-4	5.93	10.00	0.50	1.00	9.80	29.08	PARK RIDGE THEN FUTURE PHASE

**COMPARISON - GIDEON GROVE-NORTH (6/5/2018)**

GG-OS4=5.45 AC      SS-D=5.45 AC  
 GG-OS2=2.61 AC      SS-I=2.36 AC  
 GG-OS1=2.62 AC      SS-F/G=3.00 AC  
 GG-OS3=0.24 AC      SS-H=0.24 AC

\*SS-J=0.58 AC GOES TO SS-D BUT WAS NOT ACCOUNTED FOR BY GIDEON AND THEREFORE SHOWN SEPARATELY.

-AREAS SHOWN FOR GIDEON APPEAR TO USE TOPO DATA THAT WAS NOT FIELD COLLECTED. THIS CREATES A DIFFERENCE IN GG-OS1/OS2 AND SS-I/F/G

**COMPARISON - 205 BYPASS-SECTION 1 (11/11/2009)**

205 BYP-B2=1.31 AC      SS-F/OS2=1.31 AC  
 205 BYP-B3=2.62 AC      SS-G/OS3=2.33 AC

\*DIFFERENCE BETWEEN 205-BYP-B3 AND SS-G/OS3 IS SS-H IS SHOWN GOING TO GIDEON PER THOSE PLANS.

**RECORD DRAWINGS**  
 To the best of our knowledge, Pettit-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.  
 PETTIT-ECD, L.P.  
 Ryan C. King, P.E.      4/25/2024  
 DATE

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**BENCHMARK:**  
 BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
 ELEVATION = 531.56  
 BM#3 (#106)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
 ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**  
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**REVISIONS:**

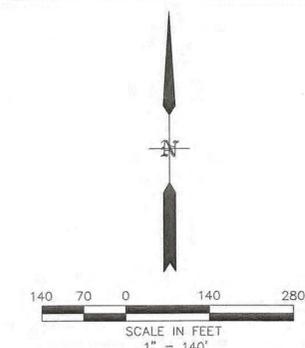
DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 DA.DWG	

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**DRAINAGE AREA EXISTING**  
**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
 9  
 OF  
 27



**LEGEND**

- DRAINAGE AREA BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- D EXISTING DRAINAGE AREA

**Proposed Drainage Area Calculations**

Drainage Area	Area (AC)	Tc (min)	C	K	I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	Description
A-1	1.63	10.00	0.50	1.00	9.80	7.96	TO POND 1
A-2	2.36	10.00	0.50	1.00	9.80	11.57	TO POND 1
B-1	2.55	10.00	0.50	1.00	9.80	12.49	TO POND 2
B-2	2.73	10.00	0.50	1.00	9.80	13.36	TO POND 2
B-3	1.37	10.00	0.50	1.00	9.80	6.73	TO POND 2
B-4	2.57	10.00	0.50	1.00	9.80	12.61	TO POND 2
B-5a	1.41	10.00	0.50	1.00	9.80	6.91	TO POND 2
B-5b	0.66	10.00	0.50	1.00	9.80	3.22	TO POND 2
B-5c	0.82	10.00	0.50	1.00	9.80	4.01	TO POND 2
C-1	0.20	10.00	0.50	1.00	9.80	0.98	TO POND 2
C-2	1.26	10.00	0.50	1.00	9.80	6.15	TO POND 2
C-3	0.80	10.00	0.50	1.00	9.80	3.91	TO POND 2
C-4	1.33	10.00	0.50	1.00	9.80	6.50	TO POND 2
D-1	0.23	10.00	0.50	1.00	9.80	1.15	TO POND 1
D-2	0.30	10.00	0.50	1.00	9.80	1.47	TO POND 1
E-3	2.62	10.00	0.50	1.00	9.80	12.82	TO POND 2
E-4	1.11	10.00	0.50	1.00	9.80	5.46	TO POND 2
F-3a	0.99	10.00	0.50	1.00	9.80	4.85	TO POND 2
F-3b	0.51	10.00	0.90	1.00	9.80	4.50	TO POND 2
F-5	0.75	10.00	0.50	1.00	9.80	3.65	TO POND 2
F-6	3.13	10.00	0.50	1.00	9.80	15.36	TO POND 2
G-2	0.13	10.00	0.50	1.00	9.80	0.66	TO POND 2
P-1	0.99	10.00	0.50	1.00	9.80	4.87	TO POND 1
P-2	1.68	10.00	0.50	1.00	9.80	8.22	TO POND 2
X-1	0.16	10.00	0.50	1.00	9.80	0.80	TO GIDEON
X-2	0.61	10.00	0.50	1.00	9.80	3.00	TO GIDEON
X-3	0.84	10.00	0.50	1.00	9.80	4.12	TO GIDEON
X-4	0.44	10.00	0.50	1.00	9.80	2.18	TO JOHN KING (POND 1 BYPASS)
X-5	0.18	10.00	0.50	1.00	9.80	0.87	TO POND 2
X-6	0.05	10.00	0.50	1.00	9.80	0.23	TO JOHN KING (POND 1 BYPASS)
X-7	0.11	10.00	0.50	1.00	9.80	0.55	TO POND 1 (FUT A-3)
X-8	0.08	10.00	0.50	1.00	9.80	0.37	TO JOHN KING (POND 2 BYPASS)
X-9	0.05	10.00	0.50	1.00	9.80	0.22	TO POND 1 (FUT A-4)
X-11	1.02	10.00	0.50	1.00	9.80	4.97	POND 2 BYPASS
OS2	0.36	10.00	0.90	1.00	9.80	3.20	TO JOHN KING
OS3	0.28	10.00	0.90	1.00	9.80	2.49	TO JOHN KING
FUT OS7	0.18	10.00	0.50	1.00	9.80	0.86	TO PARK RIDGE, THEN TO AREA EX-M
FUT OS8	0.84	10.00	0.50	1.00	9.80	4.13	TO PARK RIDGE, THEN TO AREA EX-M
OS9	0.14	10.00	0.50	1.00	9.80	0.67	TO A-2
OS10	1.18	10.00	0.35	1.00	8.30	3.44	TO END OF LINE A
FUT OS11	5.93	10.00	0.50	1.00	9.80	29.06	TO PARK RIDGE, THEN TO AREA EX-M
FT-1	4.78	20.00	0.35	1.00	8.30	13.88	TO POND 2
FT-2	2.62	20.00	0.35	1.00	8.30	7.60	REMAINDER OF EX. D/J TO EX WINDMILL VALLEY
FT-3	7.63	20.00	0.35	1.00	8.30	22.15	TO POND 2
EX-B	2.00	20.00	0.35	1.00	8.30	5.80	TO POND 2
EX-C	0.35	20.00	0.35	1.00	8.30	1.00	TO PARK RIDGE, THEN TO AREA EX-M
EX-K	2.19	20.00	0.35	1.00	8.30	6.35	TO PARK RIDGE (EAST)
EX-L1	2.97	20.00	0.35	1.00	8.30	8.61	TO POND 2
EX-L2	4.35	20.00	0.35	1.00	8.30	12.63	TO POND 2
EX-M	6.54	20.00	0.35	1.00	8.30	18.99	TO OFFSITE NORTH

**COMPARISON - GIDEON GROVE-NORTH (6/5/2018)**  
 GG-OS2/OS3=2.85 AC (8.3 CFS)    SS-X1/X2/X3=1.61 AC (7.90 CFS)

**RECORD DRAWINGS**

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.  
*Ryan C. King*      4/26/2024  
 RYAN C. KING, P.E.      DATE

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**BENCHMARK:**  
 BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
 ELEVATION = 531.58

**BM#3 (#106)**  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
 ELEVATION = 557.33'

**ENGINEERINGCONCEPTS**  
 & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /  
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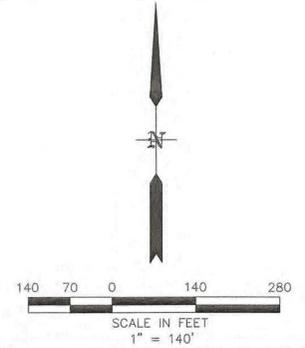
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**DRAINAGE AREA PROPOSED**

**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
 10  
 OF  
 27



**LEGEND**

- DRAINAGE AREA BOUNDARY
- 560 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- (D) EXISTING DRAINAGE AREA

**Ultimate Drainage Area Calculations**

Drainage Area	Area (AC)	Tc (min)	C	K	I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	Description
A-1	1.63	10.00	0.50	1.00	9.80	7.96	TO POND 1
A-2	2.36	10.00	0.50	1.00	9.80	11.57	TO POND 1
FUT A-3	1.64	10.00	0.50	1.00	9.80	8.04	TO POND 1
FUT A-4	2.16	10.00	0.50	1.00	9.80	10.56	TO POND 1
FUT A-5	0.83	10.00	0.50	1.00	9.80	4.06	TO POND 1
B-1	2.55	10.00	0.50	1.00	9.80	12.49	TO POND 2
B-2	2.73	10.00	0.50	1.00	9.80	13.36	TO POND 2
B-3	1.37	10.00	0.50	1.00	9.80	6.73	TO POND 2
B-4	2.57	10.00	0.50	1.00	9.80	12.61	TO POND 2
B-5a	1.41	10.00	0.50	1.00	9.80	6.91	TO POND 2
B-5b	0.66	10.00	0.50	1.00	9.80	3.22	TO POND 2
B-5c	0.82	10.00	0.50	1.00	9.80	4.01	TO POND 2
FUT C	1.80	10.00	0.50	1.00	9.80	8.82	TO POND 2
C-1	0.20	10.00	0.50	1.00	9.80	0.98	TO POND 2
C-2	1.26	10.00	0.50	1.00	9.80	6.15	TO POND 2
C-3	0.80	10.00	0.50	1.00	9.80	3.91	TO POND 2
C-4	1.33	10.00	0.50	1.00	9.80	6.50	TO POND 2
D-1	0.23	10.00	0.50	1.00	9.80	1.15	TO POND 1
D-2	0.30	10.00	0.50	1.00	9.80	1.47	TO POND 1
FUT E-1	2.44	10.00	0.50	1.00	9.80	11.96	TO POND 2
FUT E-2	1.70	10.00	0.50	1.00	9.80	8.33	TO POND 2
E-3	2.62	10.00	0.50	1.00	9.80	12.82	TO POND 2
E-4	1.11	10.00	0.50	1.00	9.80	5.46	TO POND 2
FUT F-1	1.66	10.00	0.50	1.00	9.80	8.12	TO POND 2
FUT F-2	1.40	10.00	0.50	1.00	9.80	6.85	TO POND 2
FUT F-3	1.99	10.00	0.50	1.00	9.80	9.74	TO POND 2
F-5	1.55	10.00	0.50	1.00	9.80	7.59	TO POND 2
F-6	2.14	10.00	0.50	1.00	9.80	10.49	TO POND 2
FUT F-7	2.46	10.00	0.50	1.00	9.80	12.04	TO POND 2
FUT F-8	2.59	10.00	0.50	1.00	9.80	12.67	TO POND 2
FUT G-1	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT G-2	2.36	10.00	0.50	1.00	9.80	11.56	TO POND 2
FUT H-1	1.42	10.00	0.50	1.00	9.80	6.93	TO POND 2
FUT H-2	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT J-1	2.52	10.00	0.50	1.00	9.80	12.35	TO NORTH BYPASS
FUT J-2	1.13	10.00	0.50	1.00	9.80	5.53	TO NORTH BYPASS
FUT K-1	0.68	10.00	0.50	1.00	9.80	3.33	TO POND 2
FUT K-2	2.37	10.00	0.50	1.00	9.80	11.59	TO POND 2
FUT K-3	2.70	10.00	0.50	1.00	9.80	13.23	TO POND 2
P-1	0.99	10.00	0.50	1.00	9.80	4.87	TO POND 1
P-2	1.68	10.00	0.50	1.00	9.80	8.22	TO POND 2
X-1	0.16	10.00	0.50	1.00	9.80	0.80	TO GIDEON
X-2	0.61	10.00	0.50	1.00	9.80	3.00	TO GIDEON
X-3	0.84	10.00	0.50	1.00	9.80	4.12	TO GIDEON
X-4	0.44	10.00	0.50	1.00	9.80	2.18	TO JOHN KING (POND 1 BYPASS)
X-6	0.05	10.00	0.50	1.00	9.80	0.23	TO JOHN KING (POND 1 BYPASS)
X-7	0.11	10.00	0.50	1.00	9.80	0.55	TO POND 1 (FUT A-3)
X-8	0.08	10.00	0.50	1.00	9.80	0.37	TO JOHN KING (POND 2 BYPASS)
X-9	0.05	10.00	0.50	1.00	9.80	0.22	TO POND 1 (FUT A-4)
FUT X-10	1.44	10.00	0.50	1.00	9.80	7.07	POND 2 BYPASS
X-11	0.39	10.00	0.50	1.00	9.80	1.91	POND 2 BYPASS
FUT X-12	0.44	10.00	0.50	1.00	9.80	2.16	TO OFFSITE NORTH
OS2	0.36	10.00	0.90	1.00	9.80	3.20	TO JOHN KING
OS3	0.28	10.00	0.90	1.00	9.80	2.49	TO JOHN KING
FUT OS7	0.18	10.00	0.50	1.00	9.80	0.86	TO PARK RIDGE, THEN AREA FUT K-2
FUT OS8	0.84	10.00	0.50	1.00	9.80	4.13	TO PARK RIDGE, THEN AREA FUT J-2
OS9	0.14	10.00	0.50	1.00	9.80	0.67	TO A-2
FUT OS11	5.93	10.00	0.50	1.00	9.80	29.06	TO PARK RIDGE, THEN AREA FUT X-12

\*FUTURE POND AND GRADING SHOWN FOR REFERENCE ONLY. ACTUAL FUTURE DESIGN MAY VARY.

**RECORD DRAWINGS**

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETITT-ECD, L.P.

*Ryan C. King* 4/26/2024  
RYAN C. KING, P.E. DATE

\* ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**BENCHMARK:**  
BM#1 (#102)  
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
ELEVATION = 531.58

**BM#3 (#106)**  
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDL.P.COM

REVISIONS:

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 DA.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635



**DRAINAGE AREA ULTIMATE**

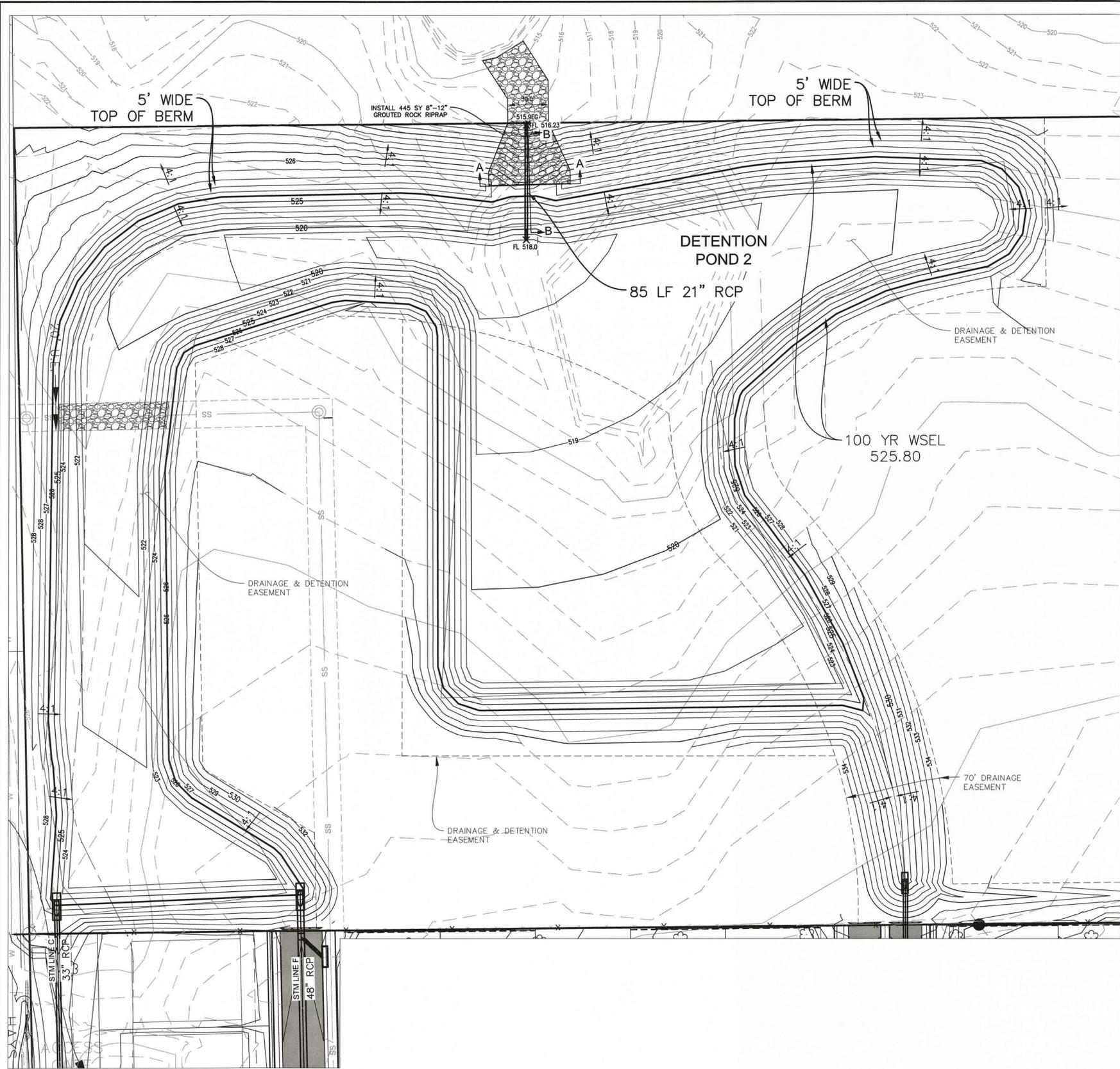
**SADDLE STAR SOUTH AMENITY CENTER**

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
11  
OF  
27

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



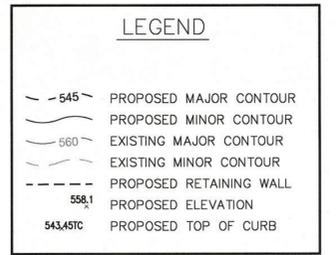


**STAGE STORAGE - POND 2 PROPOSED**

Elevation (FT)	Pond Surface (SF)	Volume (CF)	Cum. Volume (CF)
516.84	0	0	0
517.00	0	0	0
518.00	6147	3074	3074
519.00	32667	19407	22481
520.00	68124	50396	72876
521.00	103513	85819	158695
522.00	120675	112094	270789
523.00	141384	125788	396577
523.00	142247	131461	402250
523.68	150578	99560	501810
524.00	154498	148373	550622
524.35	158840	54834	605456
525.00	166903	160701	711323
525.78	176705	134007	845330
526.00	179470	173187	884509
527.00	192318	185894	1070403
528.00	205797	199058	1269461

**Outlet Works**

Stage	Di (ft)
Stage 1	
Culv	1.75
U/S Inv (ft)	517
D/S Inv (ft)	516.23
Stage 2	
Weir	
L (ft)	.20
Crest (ft-MSL)	525.8
e	2.6



**Pond 2 Rating Curve HECRAS**

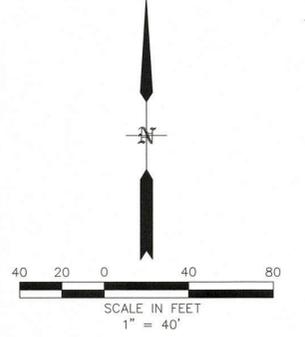
WSE (ft)	Q (cfs)
517	0
517.54	1
518.96	10
522.62	25
526.25	50
526.61	75
526.86	100
527.09	125
527.29	150
527.47	175
527.64	200
527.8	225
527.98	250
528	260

**Pond 2 Interim Conditions Information**

Elev. (ft)	Area (ac)	Cum. Vol. (ac-ft)	Discharge (cfs)
517	0.00	0.00	0
518	0.14	0.07	3.9
519	0.75	0.52	10.2
520	1.56	1.67	14.3
521	2.38	3.64	18.4
522	2.77	6.22	22.5
523	3.27	9.23	27.6
524	3.55	12.64	34.5
525	3.83	16.33	41.4
526	4.12	20.31	48.3
527	4.42	24.57	115.2
528	4.72	29.14	260

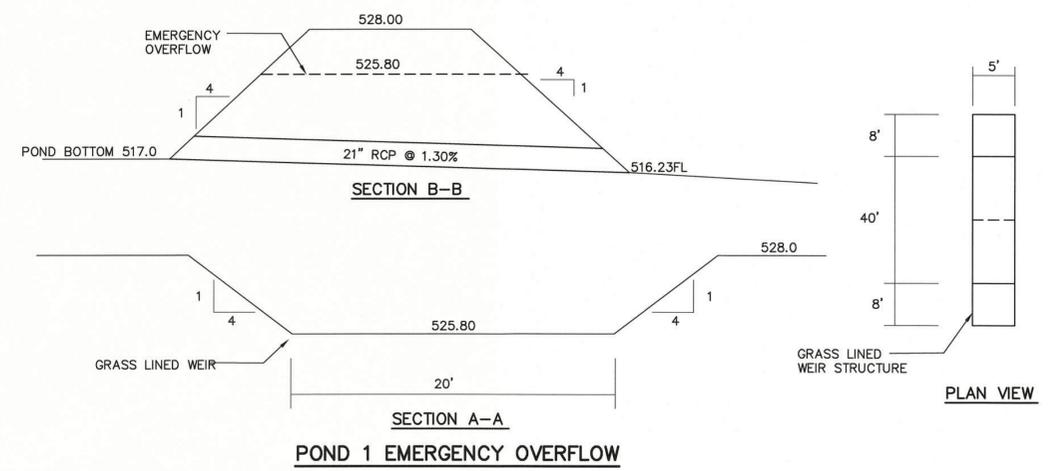
**Output Summary Pond2**

	5YR	10YR	25YR	100YR
Pre-Q (cfs)	33	40	48	61
Prop Inflow (cfs)	200	241	283	360
Prop Outflow (cfs)	29	34	38	47
Prop Peak WSE (ft)	523.22	523.87	524.53	525.78
Prop Peak Sto. (ac-ft)	9.1	11.5	13.9	18.4



- NOTES:**
- ALL DETENTION SYSTEMS TO BE COMPLETED PER PLAN AND FUNCTIONING PRIOR TO ANY PAVING CONSTRUCTION. THE BOTTOM AND SIDES TO HAVE EITHER ANCHORED CURLEX OR SOD. MUST BE SEED WITH ANNUAL GRASS SEED.
  - NO CITY ACCEPTANCE UNTIL 75%-80% OF ALL DISTURBED AREA TO HAVE 1" MINIMUM STAND OF ANNUAL GRASS (NO WINTER RYE OR SIMILAR).

\*REFER TO SADDLE STAR UNIT HYDROGRAPH REPORT PREPARED BY MCLENDON HYDROLOGY AND ENGINEERING, LLC. DATED AUGUST 2022.



\* ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.  
\* SEE "NTMWD NOTES" SHEET 1

**CAUTION! EXISTING UTILITIES**  
CONTRACTOR SHOULD CALL 1-800-895-8888 PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**CAUTION! EXISTING UTILITIES**  
THE CONTRACTOR SHALL CONTACT NTMWD LINE LOCATES AT (469) 628-4569 AT LEAST 72 HOURS PRIOR TO PERFORMING ANY WORK IN THE VICINITY OF THE NTMWD FACILITIES.

**BENCHMARK:**  
BM#1 (#102)  
CIR'S "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
ELEVATION = 531.58

BM#3 (#106)  
CIR'S "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
ELEVATION = 557.33'

**ENGINEERING CONCEPTS & DESIGN, L.P.**  
ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401  
WWW.ECDLP.COM

**REVISIONS:**

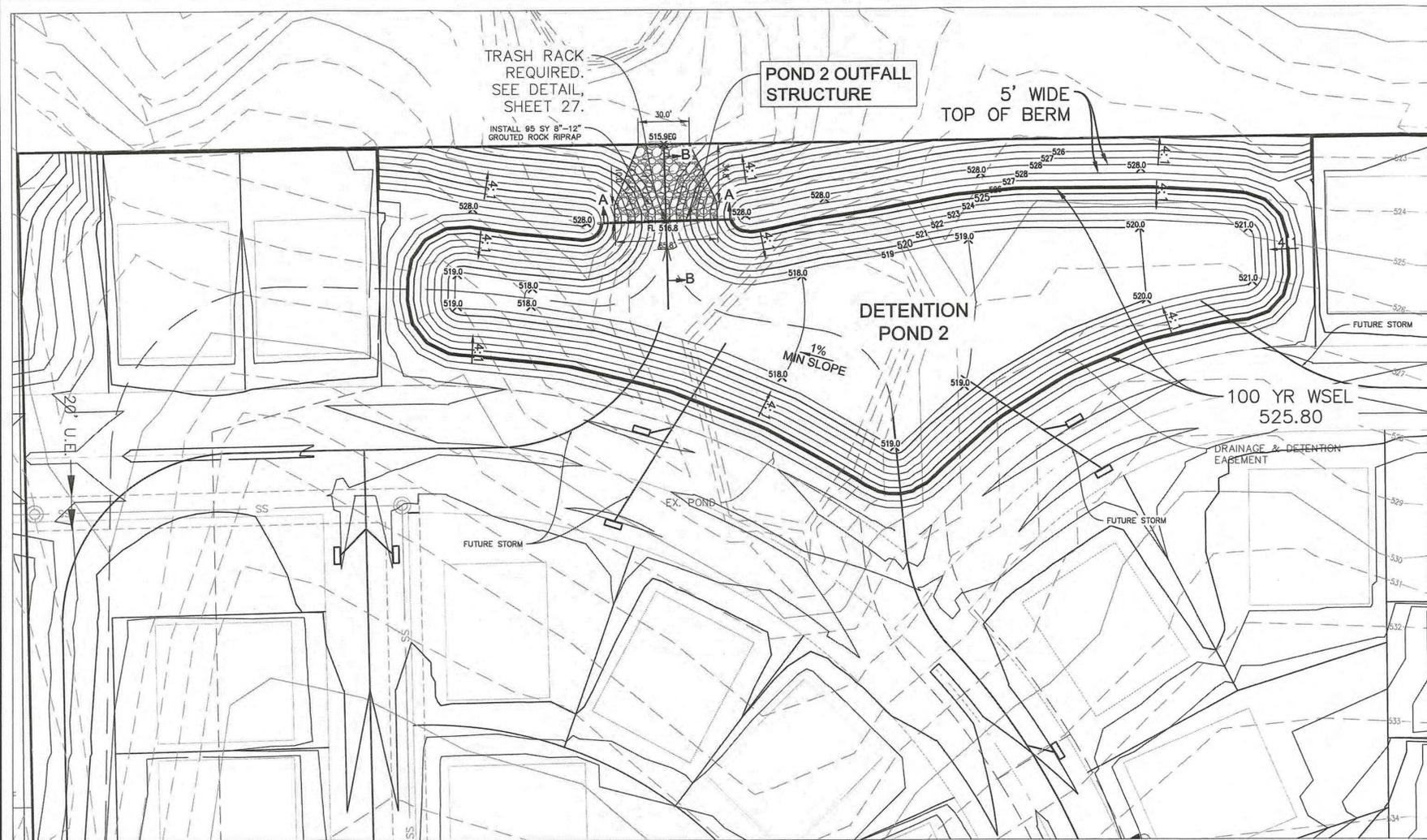
9/20/2022	REVISED VOLUME, OUTFALL, & CALCULATIONS
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**DRAWN:** MJH **DATE:** \_\_\_\_\_  
**CHECKED:** RCK **DATE:** 5/9/2023  
**PROJECT NO.:** 06824-2  
**DWG FILE NAME:** 06824-2 DET.DWG

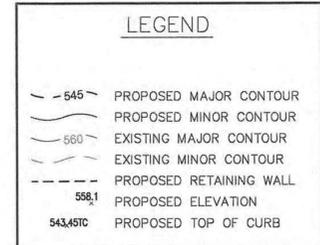
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

**DETENTION POND 2 PROPOSED**  
**SADDLE STAR SOUTH AMENITY CENTER**  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
**13**  
OF  
**27**

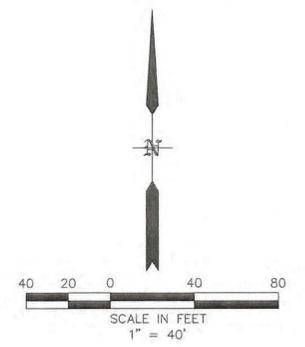


STAGE STORAGE - POND 2 ULTIMATE			
Elevation (FT)	Pond Surface (SF)	Volume (CF)	Cum. Volume (CF)
516.84	0	0	0
517.00	110	9	9
518.00	5911	3011	3019
519.00	18078	11995	15014
520.00	27389	22734	37747
521.00	33562	30476	68223
522.00	37779	35671	103893
523.00	42049	39914	143807
523.50	44211	21565	165372
524.00	46372	44211	180183
524.20	47247	9362	197380
524.80	49874	38498	236578
525.00	50749	48561	236578
525.80	54293	42017	278595
526.00	55179	52964	289542
527.00	59662	57421	346963
528.00	64198	61930	408893

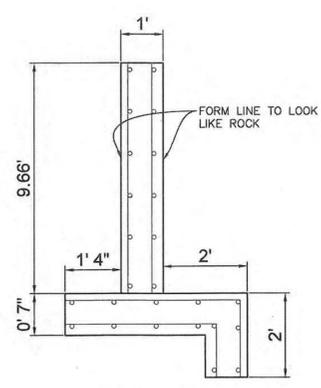
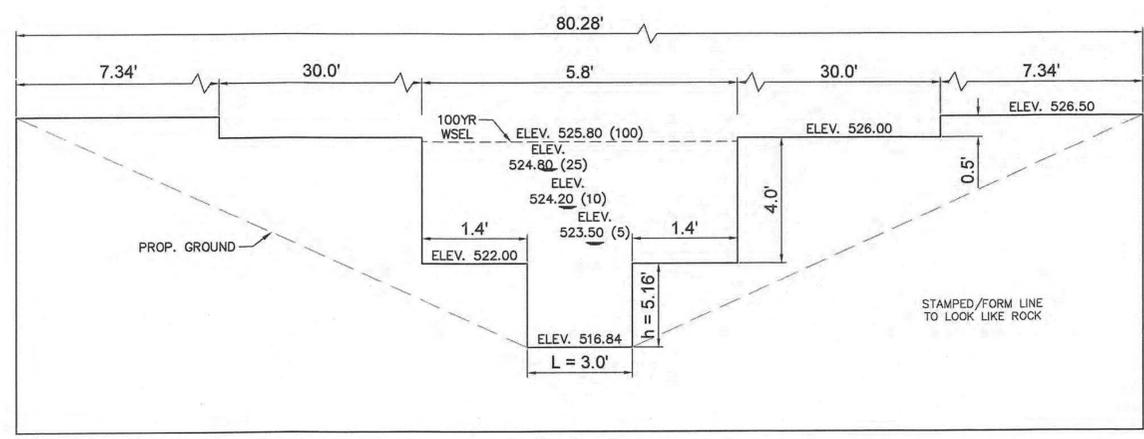


- NOTES:
- ALL DETENTION SYSTEMS TO BE COMPLETED PER PLAN AND FUNCTIONING PRIOR TO ANY PAVING CONSTRUCTION. THE BOTTOM AND SIDES TO HAVE EITHER ANCHORED CURLEX OR SOD. MUST BE SEED WITH ANNUAL GRASS SEED.
  - NO CITY ACCEPTANCE UNTIL 75%-80% OF ALL DISTURBED AREA TO HAVE 1" MINIMUM STAND OF ANNUAL GRASS (NO WINTER RYE OR SIMILAR).

POND 2 ULTIMATE DRAINAGE AREAS				
DA	Pre-Developed Area (AC)	Developed Area (AC)	Bypass Area (AC)	Flow Through Area (AC)
A	37.01			
B	2.47			
L	9.27			
B-1		2.55		
B-2		2.73		
B-3		1.37		
B-4		2.57		
B-5a		1.41		
B-5b		0.66		
B-5c		0.82		
FUT C		1.80		
C-1		0.20		
C-2		1.26		
C-3		0.80		
C-4		1.33		
FUT E-1		2.44		
FUT E-2		1.70		
E-3		2.62		
FUT F-1		1.66		
FUT F-2		1.40		
FUT F-3		1.99		
E-4		1.11		
F-5		1.55		
F-6		2.14		
FUT F-7		2.46		
FUT F-8		2.59		
FUT G-1		0.55		
FUT G-2		2.36		
FUT H-1		1.42		
FUT H-2		0.55		
FUT K-1		0.68		
FUT K-2		2.37		
FUT K-3		2.70		
P-2		1.68		
FUT X-10		1.44	1.44	
X-11		0.39	0.39	
<b>TOTAL</b>	<b>48.74</b>	<b>53.27</b>	<b>1.83</b>	<b>0.00</b>



\*REFER TO SADDLE STAR UNIT HYDROGRAPH REPORT PREPARED BY MCLENDON HYDROLOGY AND ENGINEERING, LLC. DATED SEPTEMBER 2020



- NOTES:
- 12" THICK CLASS F 4200 PSI CONCRETE FOR ENTIRE STRUCTURE. 7.0 SACK/CY MIN. (NO FLX ASH ALLOWED FOR STORM STRUCTURES.)
  - #4 BARS @ 12" O.C.E.W.

Pond 2 Future/Ultimate Conditions Information			
Elev. (ft)	Area (ac)	Cum. Vol. (ac-ft)	Discharge (cfs)
516.84	0.00	0.00	0
517	0.00	0.00	0.1
518	0.14	0.07	1.1
519	0.42	0.34	12.6
520	0.63	0.87	32.3
521	0.77	1.57	53.9
522	0.87	2.39	79.8
523	0.97	3.30	118.6
524	1.06	4.32	166.7
525	1.17	5.43	221.6
526	1.27	6.65	282.5
527	1.37	7.97	340.7
528	1.47	9.39	495.0

\*Computation never reaches this elevation

Pond 2 Rating Curve HECRAS	
WSE (ft)	Q (cfs)
516.84	0
517.93	1
518.76	10
519.66	25
520.82	50
521.81	75
522.56	100
523.15	125
523.68	150
524.16	175
524.62	200
525.06	225
525.48	250
525.88	275
526.14	300
526.27	325
526.89	500
527.16	600
527.41	700
527.63	800
527.83	900

Outlet Works	
Stage	Weir
Stage 1	Weir
L (ft)	3
Crest (ft-MSL)	516.84
c	3
Stage 2	Weir
L (ft)	2.8
Crest (ft-MSL)	522
c	3
Stage 3	Weir
L (ft)	60
Crest (ft-MSL)	526
c	3

Output Summary North Pond				
Pre-Q (cfs)	5YR	10YR	25YR	100YR
Prop Inflow (cfs)	145	178	211	271
Prop Outflow (cfs)	215	259	303	385
Prop Peak WSE (ft)	523.5	524.2	524.8	525.8
Prop Peak Sto. (ac-ft)	3.8	4.5	5.2	6.4

Ultimate Condition

**RECORD DRAWINGS**

To the best of our knowledge, Pettit-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTIT-ECD, L.P.  
 Ryan C. King, P.E. 4/16/2024  
 DATE

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BENCHMARK: BM#1 (#102) CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58

BM#3 (#106) CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHWEST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHWEST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT. ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**

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REVISIONS:

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824.DET.DWG	

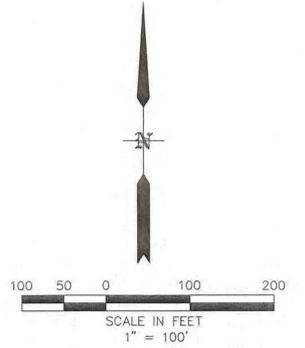
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**DETENTION POND 2 ULTIMATE**

**SADDLE STAR SOUTH AMENITY CENTER**

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 14 OF 27



**LEGEND**

- ~545~ PROPOSED MAJOR CONTOUR
- ~560~ PROPOSED MINOR CONTOUR
- ~560~ EXISTING MAJOR CONTOUR
- ~560~ EXISTING MINOR CONTOUR
- - - - - RETAINING WALL
- FUTURE STORM LINE
- EXISTING STORM LINE

ALL STORM THIS SHEET EXISTING OR FUTURE AND IS FOR REFERENCE ONLY EXCEPT FOR "STM 1 TEMP. CULVERT 4-33" RCP" & "PROP. STORM LAT E-1".

**RECORD DRAWING NOTE:**  
 THE DITCHES AND STORM 1 SHOWN ON THIS SHEET WERE NOT CONSTRUCTED DUE TO CONCURRENT CONSTRUCTION OF SADDLE STAR SOUTH PHASE 2 (SEPARATE PLANS).

**RECORD DRAWINGS**  
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 Ryan C. King, P.E. 4/25/2024  
 DATE

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 CITY \_\_\_\_\_ DATE \_\_\_\_\_

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**BENCHMARK:**  
 BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
 ELEVATION = 531.58  
 BM#3 (#106)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
 ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**  
 ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

**REVISIONS:**

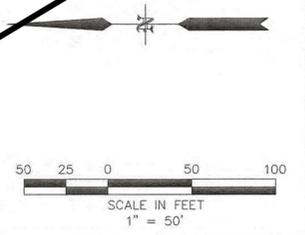
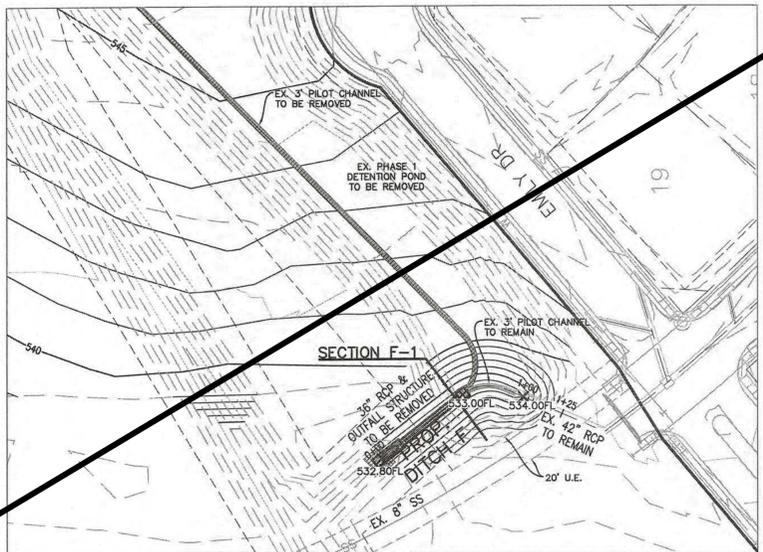
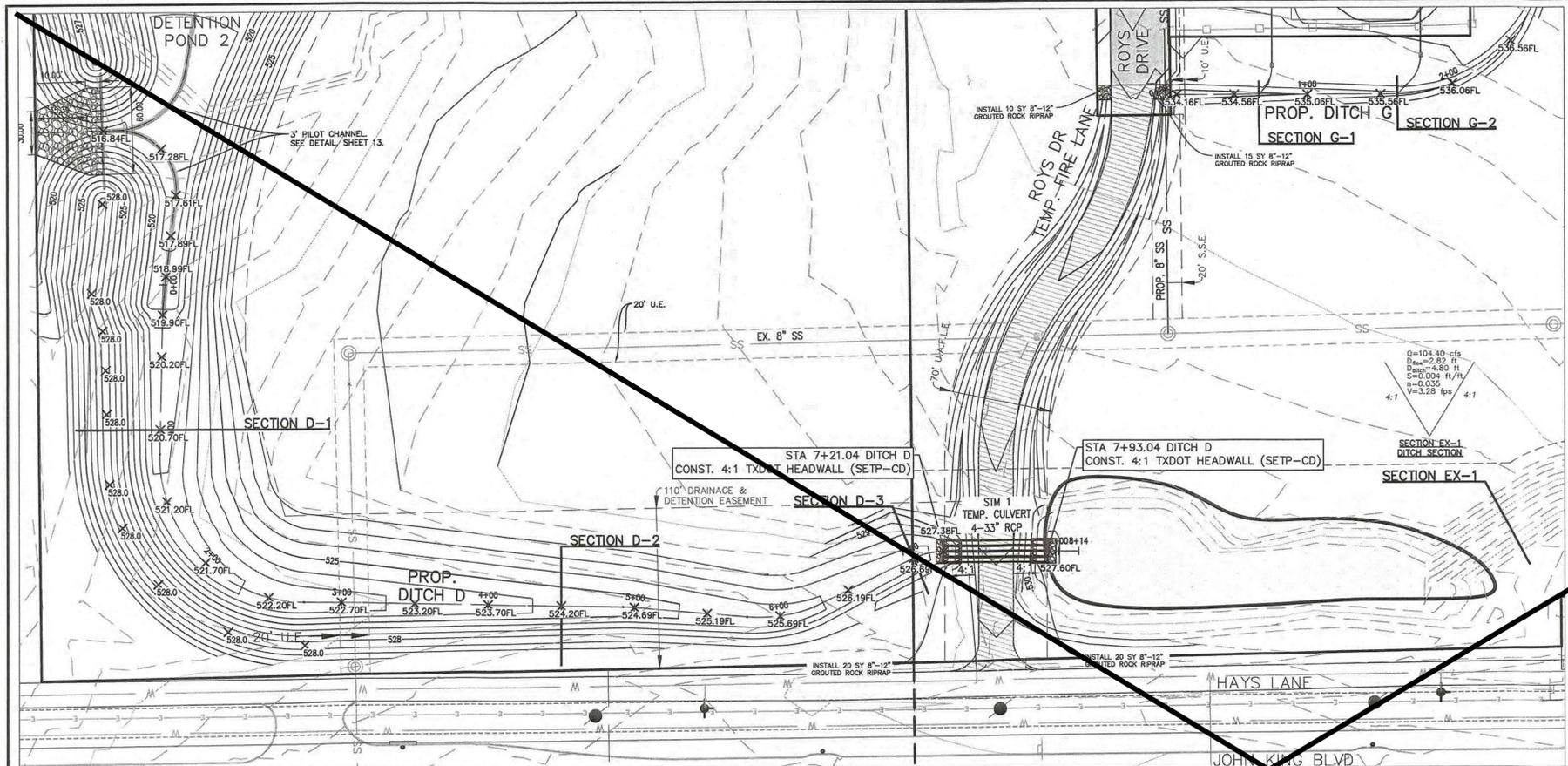
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CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 ST.DWG	

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**OVERALL STORM PLAN**  
**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
 15  
 OF  
 27



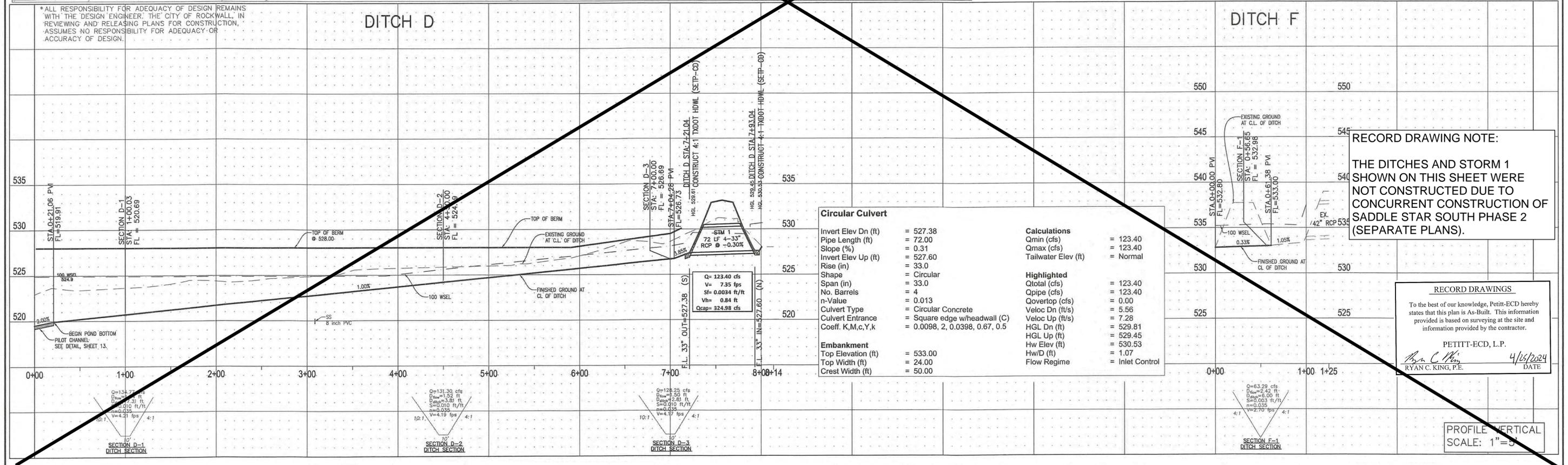
**LEGEND**

- MATCHLINE
- W — PROPOSED WATER LINE
- - - W - - - EXISTING WATER LINE
- SS — PROPOSED SANITARY LINE
- - - SS - - - EXISTING SANITARY LINE
- S — PROPOSED STORM LINE
- - - S - - - EXISTING STORM LINE
- C — R.O.W. CENTER LINE
- U — R.O.W. LINE
- EXISTING UTILITY POLE
- OHW — EXISTING OVERHEAD UTILITY

SEE RIPRAP DETAILS, SHEET 27.

ALL RCP PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.

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PETITT-ECD, L.P.  
Ryan C. King, P.E.  
4/16/2024  
DATE

PROFILE VERTICAL SCALE: 1"=5'

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ELEVATION = 531.58  
  
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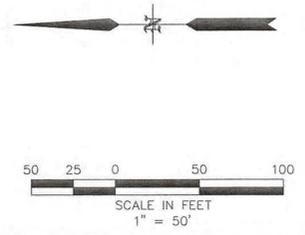
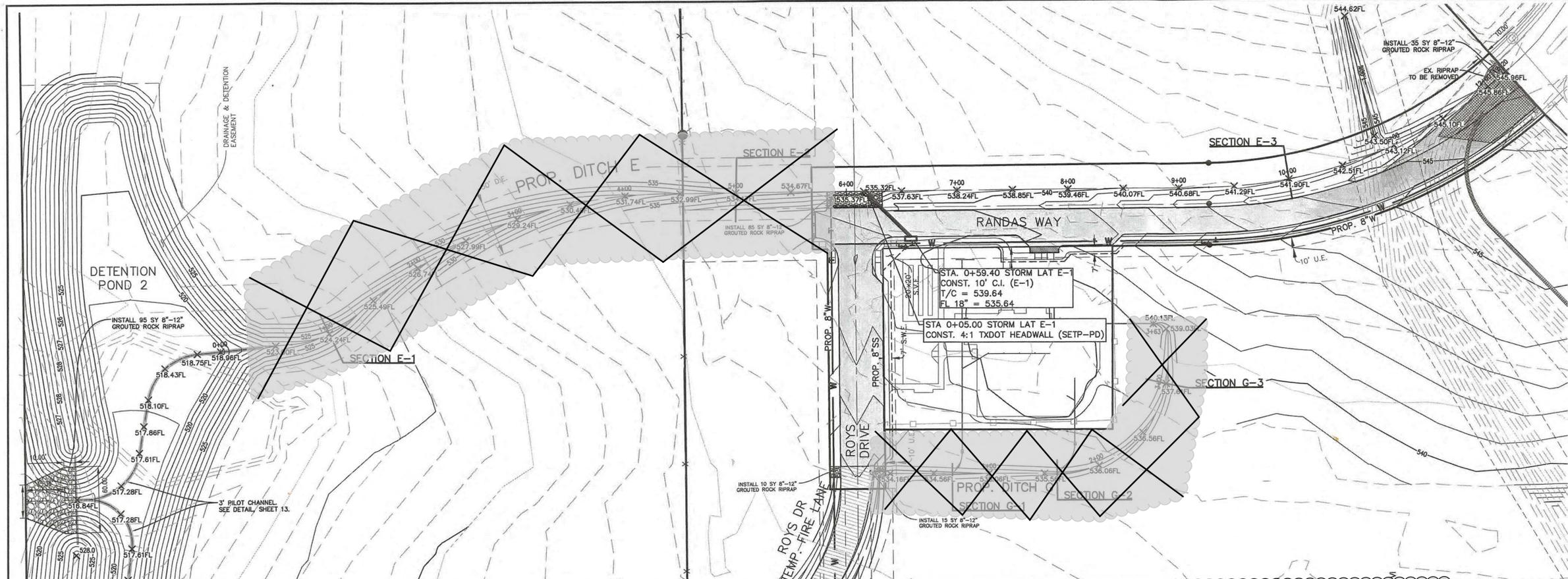
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STATE OF TEXAS  
RYAN C. KING  
123635  
3/10/2021

**STORM PLAN - DITCH D & F**  
SADDLE STAR SOUTH AMENITY CENTER  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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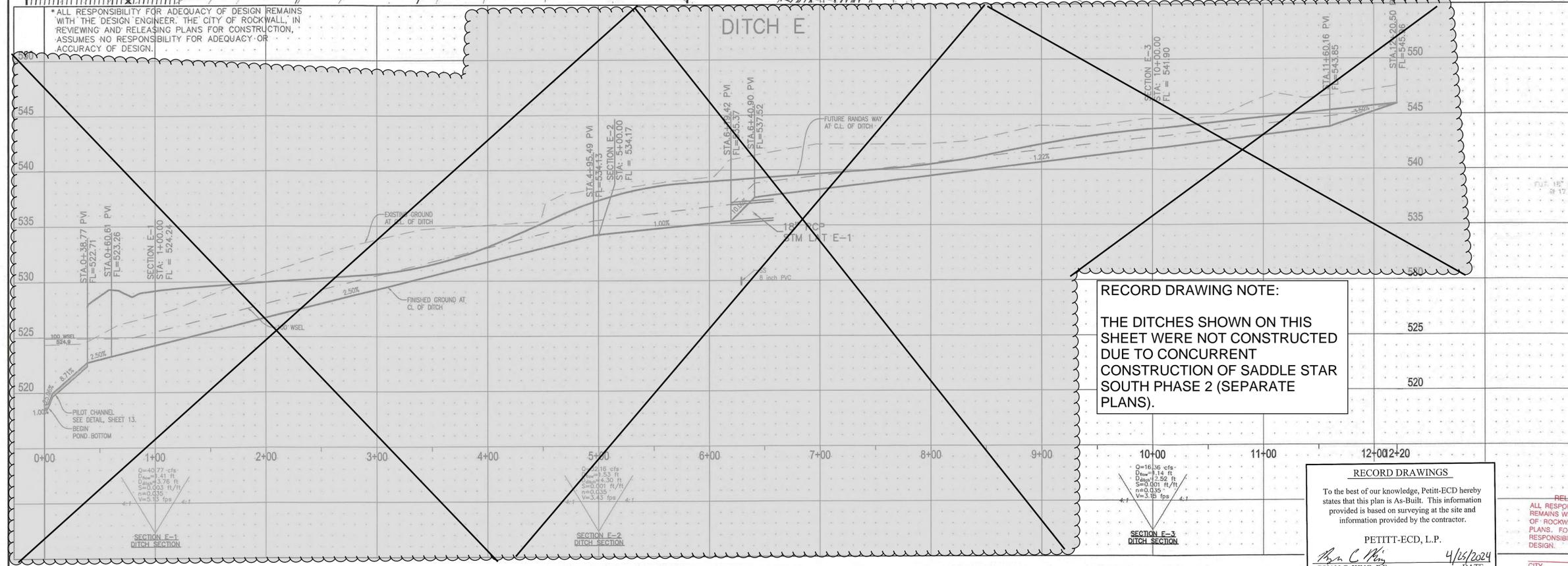
SHEET 16 OF 27



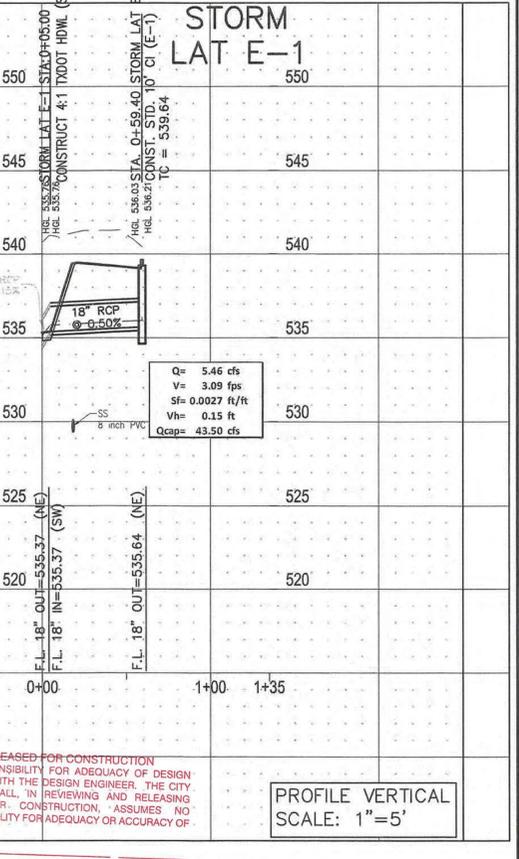
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PROFILE VERTICAL SCALE: 1"=5'

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**STORM PLAN - DITCH E & LAT E-1**

**SADDLE STAR SOUTH AMENITY CENTER**  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

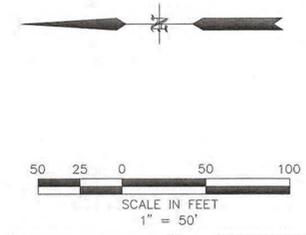
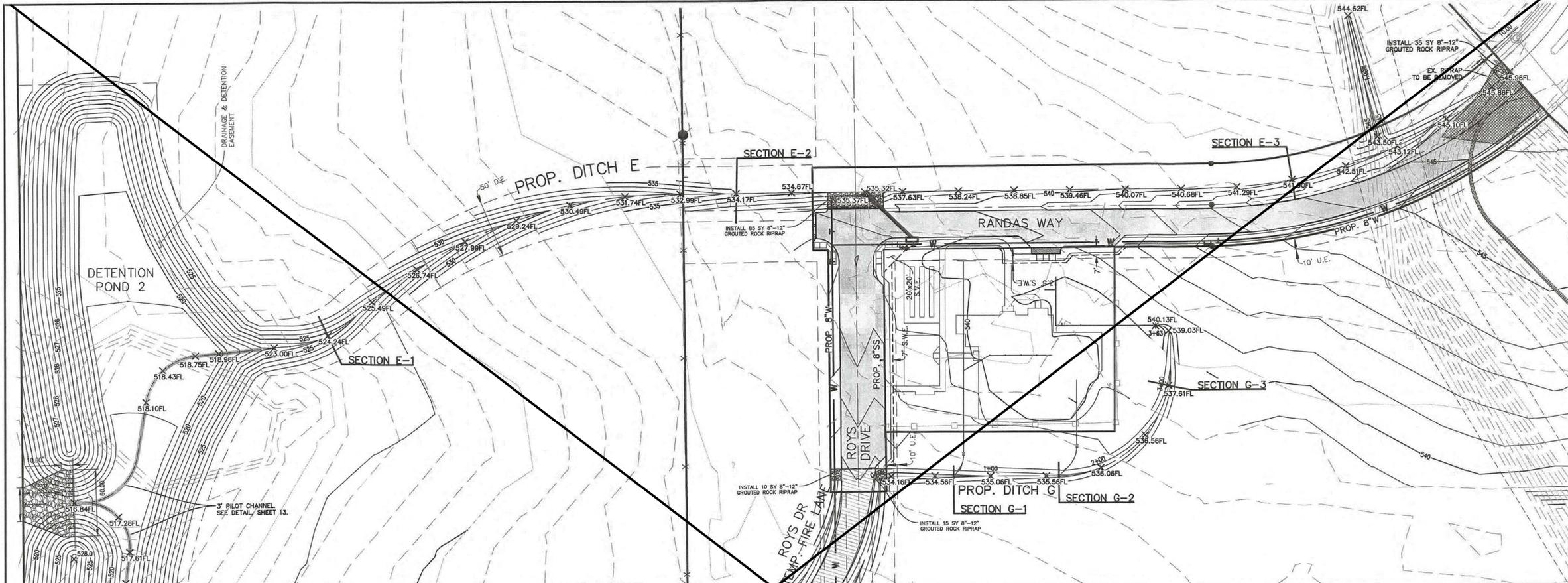
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RYAN C. KING, P.E. 4/16/2024 DATE

CITY \_\_\_\_\_ DATE \_\_\_\_\_

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SHEET 17 OF 27

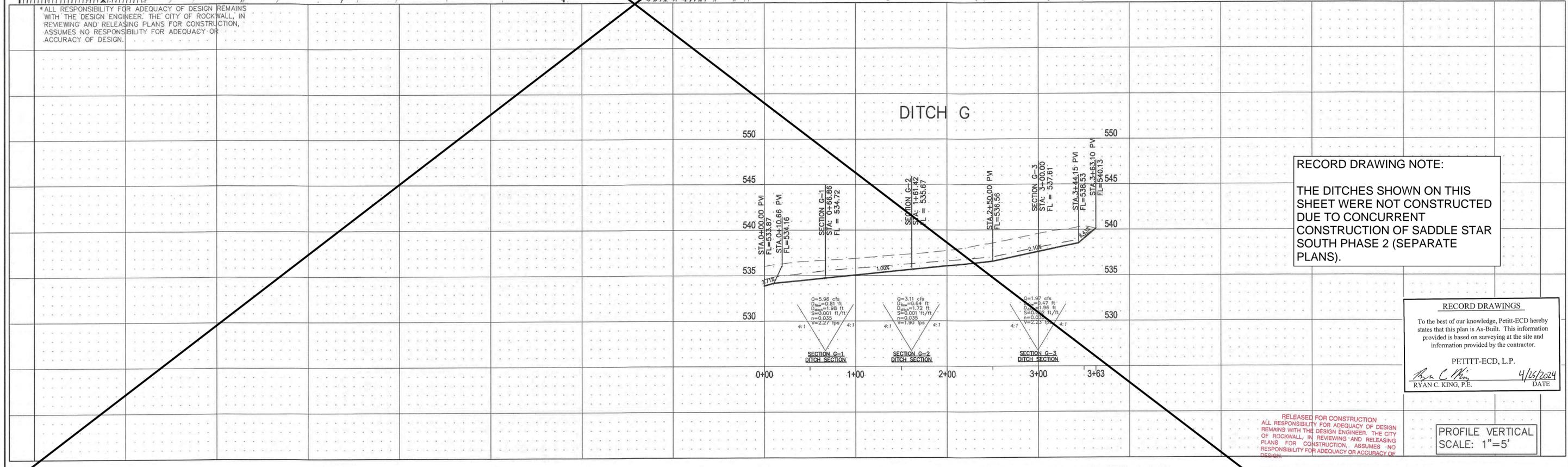


**LEGEND**

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**PROFILE VERTICAL**  
SCALE: 1"=5'

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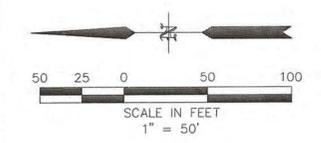
**STORM PLAN - DITCH G**  
**SADDLE STAR SOUTH AMENITY CENTER**  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CITY \_\_\_\_\_ DATE \_\_\_\_\_

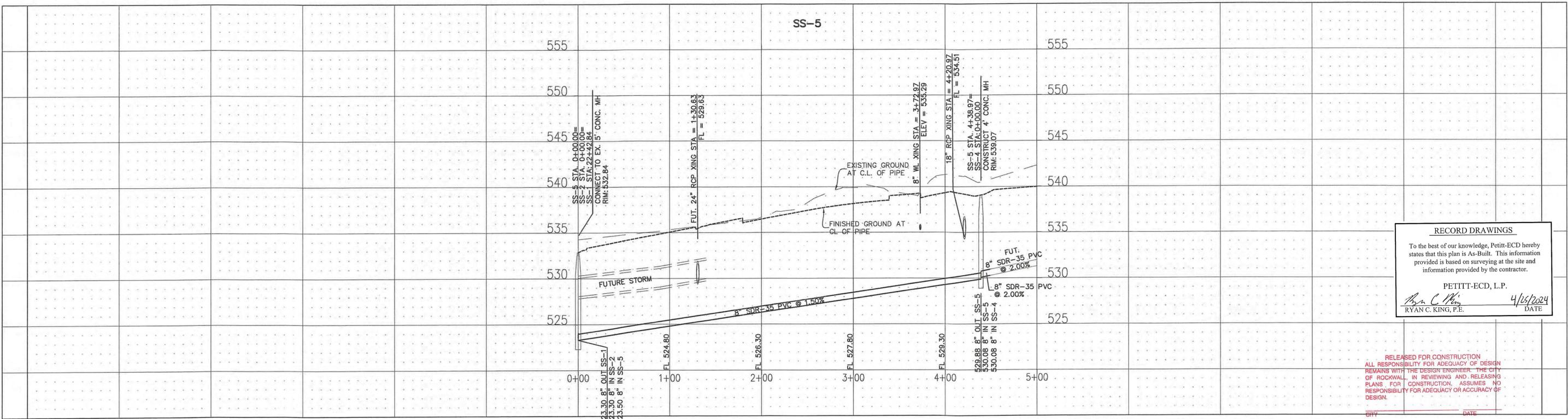
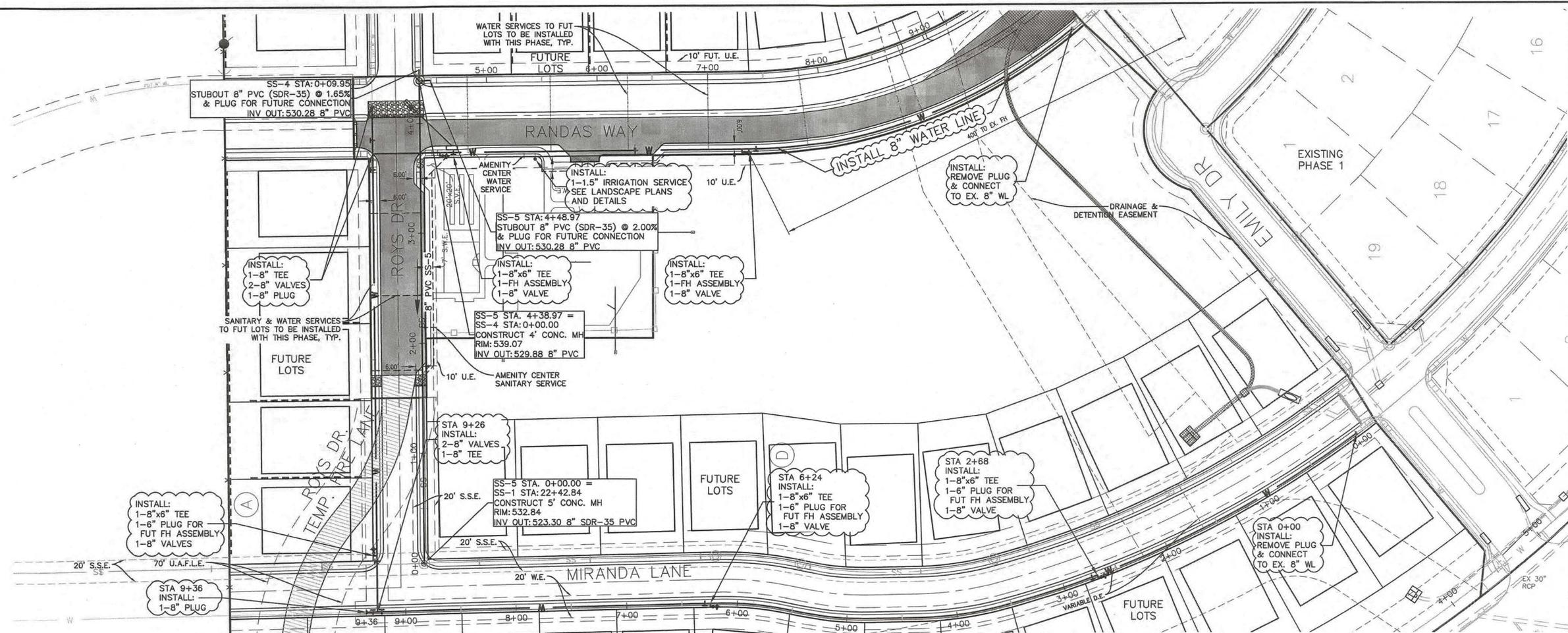
SHEET 18 OF 27

**LEGEND**

- MATCHLINE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- SS PROPOSED SANITARY LINE
- SS EXISTING SANITARY LINE
- PROPOSED STORM LINE
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- EXISTING UTILITY POLE
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- PROPOSED SANITARY SERVICE
- PROPOSED WATER SERVICE



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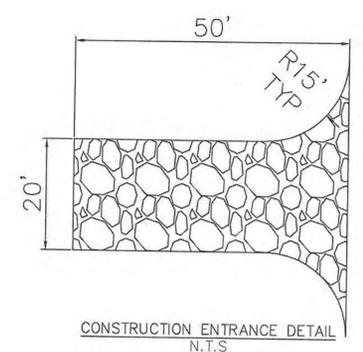
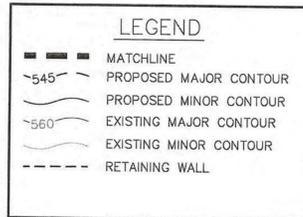
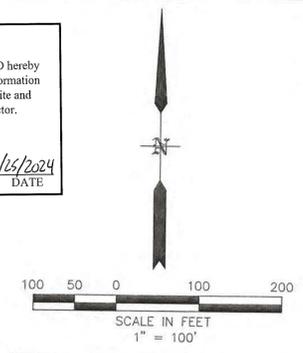
**UTILITY PLAN & PROFILE**

**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 19 OF 27



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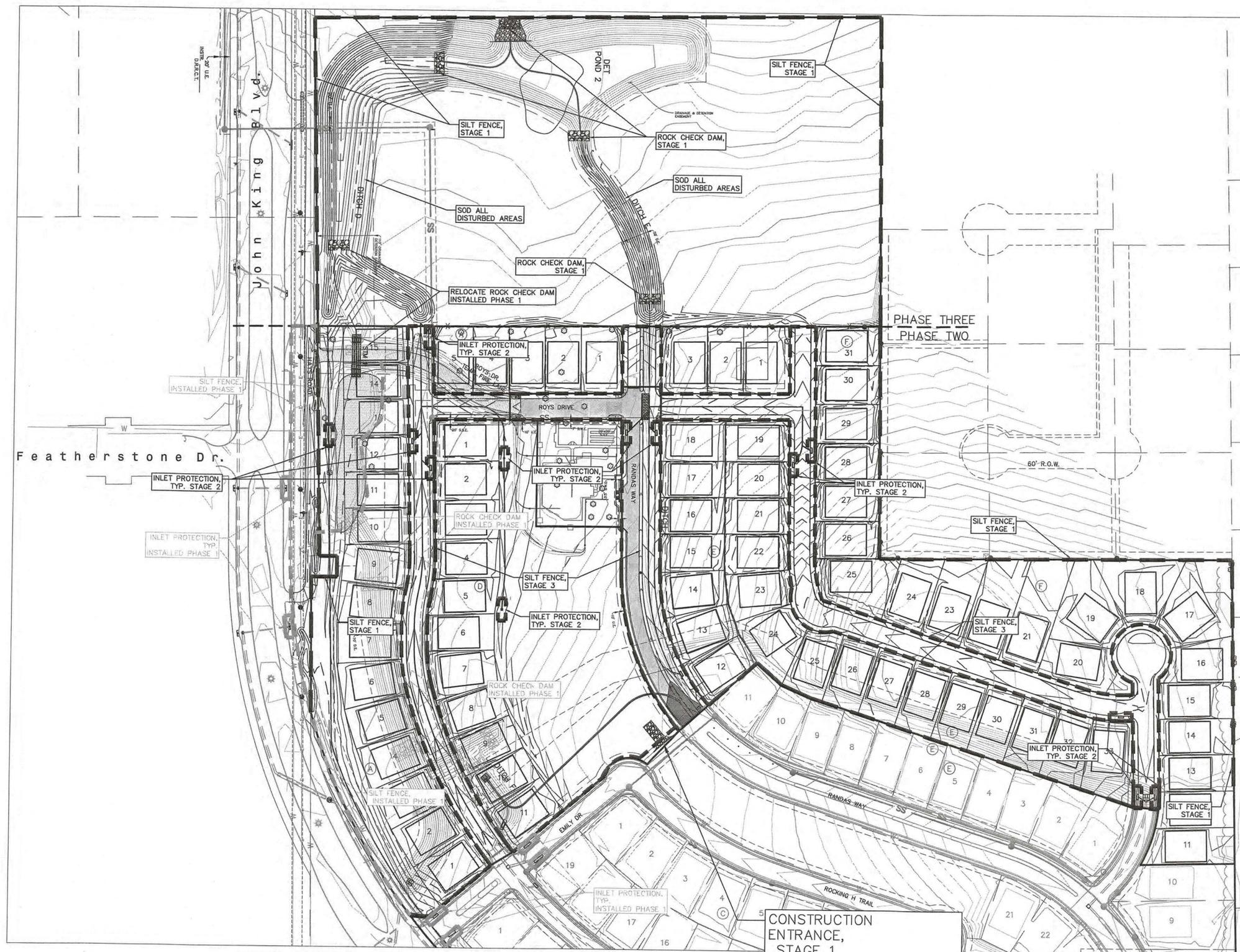
**OWNER**  
 SADDLE STAR SOUTH HOLDINGS, LLC.  
 2200 ROSS AVE., STE. 4200W  
 DALLAS, TX 75201  
**DEVELOPER**  
 SADDLE STAR DEVELOPMENT, LLC.  
 3076 HAYS LANE  
 ROCKWALL, TX 75087

**NOTES:**  
 THE DETENTION SYSTEM TO BE INSTALLED AND FUNCTIONING PER PLAN PRIOR TO ANY CONCRETE PLACEMENT WHICH INCLUDES SIDES AND BOTTOM OF THE DETENTION POND TO HAVE ANCHORED SEEDED CURLEX OR SOD.

- STAGE ONE (PRIOR TO START OF ROUGH GRADING)**
1. SILT FENCE TO BE INSTALLED AS SHOWN ON PLAN OR AS REQUIRED.
  2. INSTALL ROCK CHECK DAMS AT EXISTING OUTFALLS.
  3. INSTALL ROCK CHECK DAMS AS SHOWN AT COMPLETION OF ROUGH GRADING IN THE AREA.
- STAGE TWO (AFTER UTILITY CONSTRUCTION AND PRIOR TO PAVING CONSTRUCTION)**
1. SILT FENCE SHALL BE PLACED AROUND TOP OF INLETS UNTIL TOPPED OUT, PREVENT EROSION MATERIAL FROM ENTERING STORM SEWER SYSTEM.
- STAGE THREE (AFTER PAVING CONSTRUCTION)**
1. SILT FENCE SHALL BE PLACED IN ROW ALONG PAVEMENT AS SHOWN WHERE REQUIRED BY SLOPE CONDITIONS.
  2. ALL PARKWAYS AND DISTURBED AREA IN STREET R.O.W. TO BE SEEDD WITH GRASS AND CURLEX (ANCHORED) AS PER CITY STANDARDS.
  3. VEGETATION TO BE ESTABLISHED IN ALL OFFSITE DISTURBED AREAS.
  4. SOD IS REQUIRED IN JOHN KING BLVD R.O.W. ON ANY DISTURBED AREAS.
  5. 75%-80% OF ALL DISTURBED AREA TO HAVE A MINIMUM OF 1" STAND OF ANNUAL GRASS (NO RYE OR WEEDS) PRIOR TO CITY ACCEPTANCE.
  6. ALL RIGHT OF WAYS (JOHN KING) TO BE SODDED PRIOR TO CITY ACCEPTANCE.

SITE ACREAGE: 5.459 AC  
 DISTURBED ACREAGE: 18.883 AC

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CONSTRUCTION ENTRANCE, STAGE 1 (SEE PHASE 1 PLANS FOR CONSTRUCTION ENTRANCE OFF JOHN KING BLVD)

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 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

**REVISIONS:**

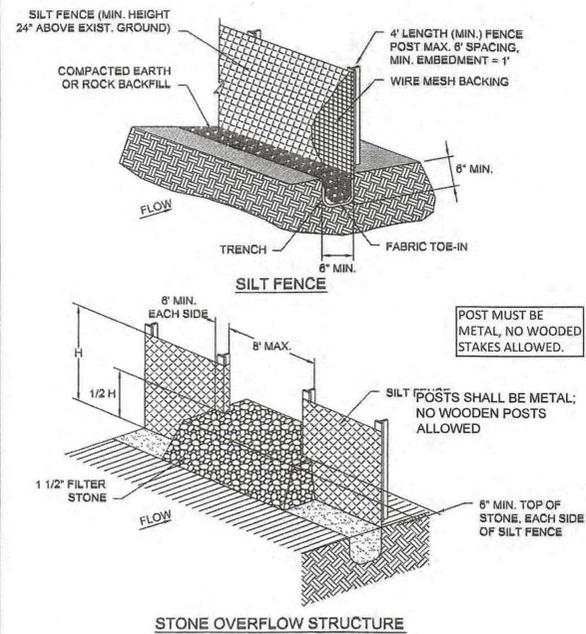
10/18/2021	ADDED EROSION CONTROL PLAN
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DRAWN: MJH DATE: \_\_\_\_\_  
 CHECKED: RCK DATE: 03/10/2021  
 PROJECT NO: 06824  
 DWG FILE NAME: 06824 ECDWG

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

CITY DATE  
**EROSION CONTROL PLAN**  
**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
**21-A**  
 OF  
**27**



POST MUST BE METAL, NO WOODEN STAKES ALLOWED.

SILT FENCE POSTS SHALL BE METAL; NO WOODEN POSTS ALLOWED

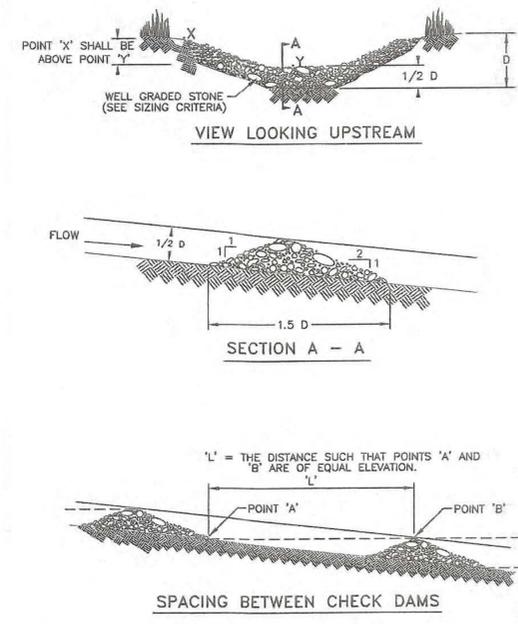
SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5*
		DATE: Mar. 2018 STANDARD DRAWING NO. R-1020A

\*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

- SILT FENCE GENERAL NOTES:**
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
  2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
  3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
  5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
  7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
  8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5*
		DATE: Mar. 2018 STANDARD DRAWING NO. R-1020B

\*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.



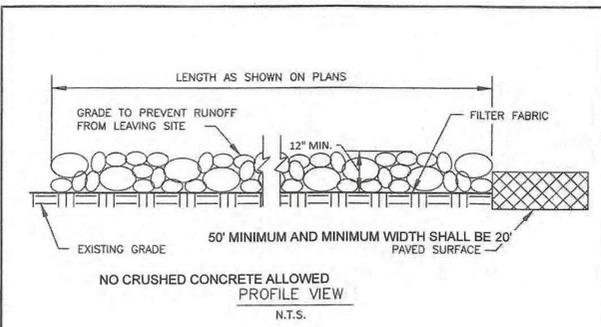
L' = THE DISTANCE SUCH THAT POINTS 'A' AND 'B' ARE OF EQUAL ELEVATION.

ROCK CHECK DAM	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 201.9
		DATE: OCT. '04 STANDARD DRAWING NO. 1060A

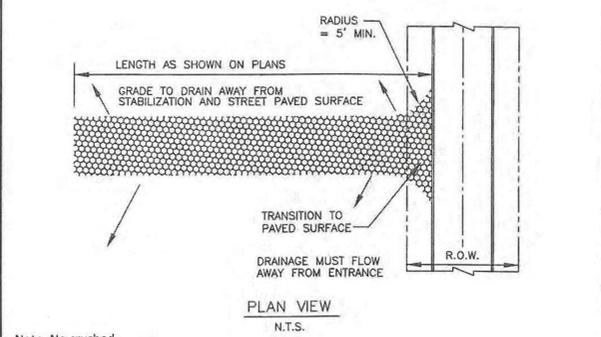
- ROCK CHECK DAM GENERAL NOTES:**
1. STONE SHALL BE WELL GRADED WITH SIZE RANGE FROM 1 1/2 TO 3 1/2 INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS.
  2. THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
  3. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
  4. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
  5. FILTER STONE SHALL BE WRAPPED IN APPROPRIATE SIZED WIRE MESH TO CONTAIN STONE AND BURIED SIX (6") INCHES MINIMUM.

ROCK CHECK DAM	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.9*
		DATE: Mar. 2018 STANDARD DRAWING NO. R-1060B

\*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.



NO CRUSHED CONCRETE ALLOWED  
PROFILE VIEW  
N.T.S.



Note: No crushed concrete or recycled concrete allowed.

STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.11*
		DATE: Mar. 2018 STANDARD DRAWING NO. R-1070A

\*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

- STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:**
1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
  2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
  3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
  4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
  6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
  7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
  8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
  9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
  10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.11*
		DATE: Mar. 2018 STANDARD DRAWING NO. R-1070B

\*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.

**RECORD DRAWINGS**

To the best of our knowledge, Pettit-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTIT-ECD, L.P.  
*Ryan C. King*  
 RYAN C. KING, P.E. 4/15/2024  
 DATE

RELEASED FOR CONSTRUCTION  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**CAUTION! EXISTING UTILITIES**

CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**BENCHMARK:**  
 BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
 ELEVATION = 531.58

**BM#3 (#106)**  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHWEST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
 ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824.DT.DWG	

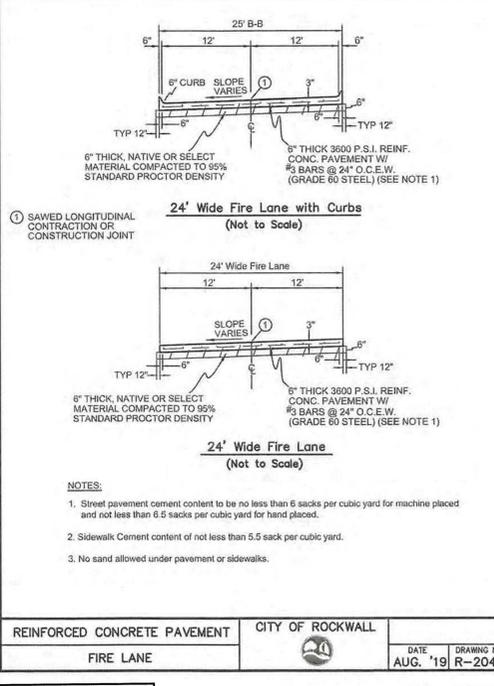
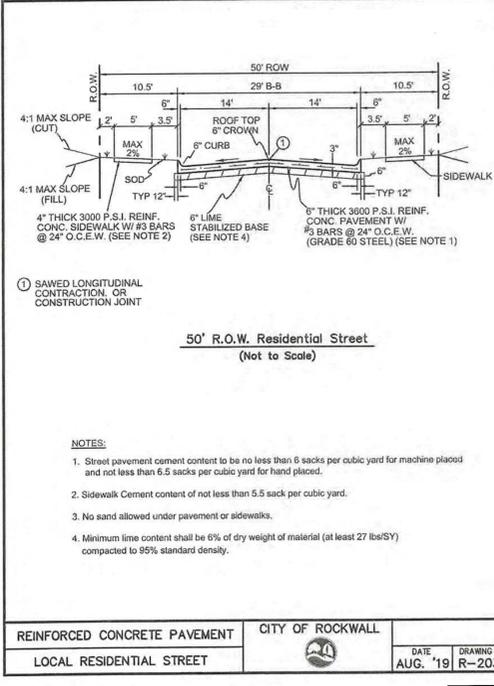
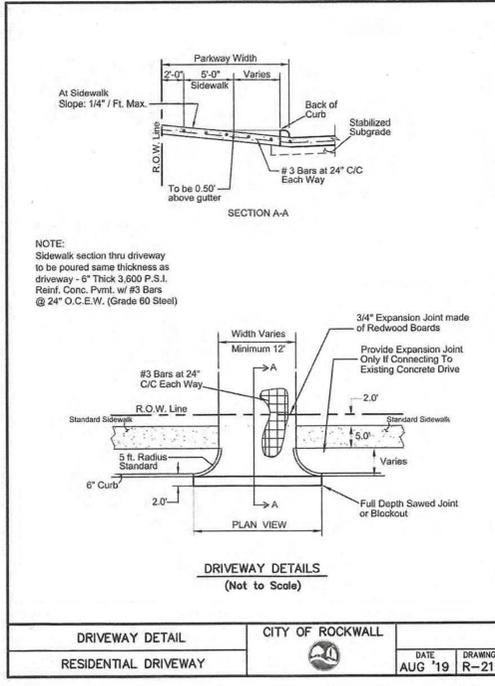
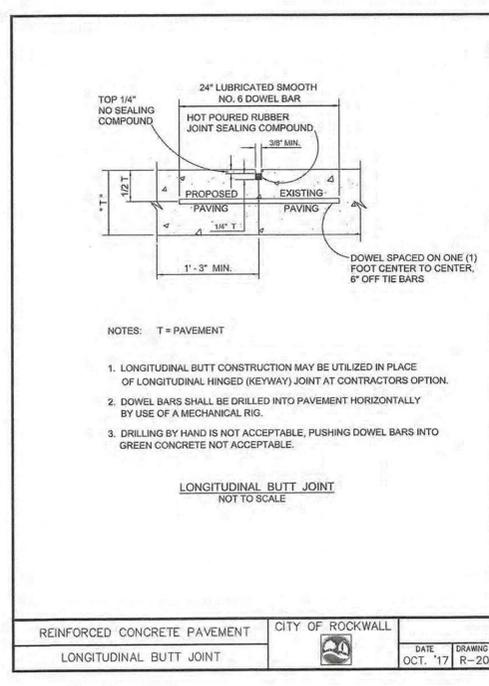
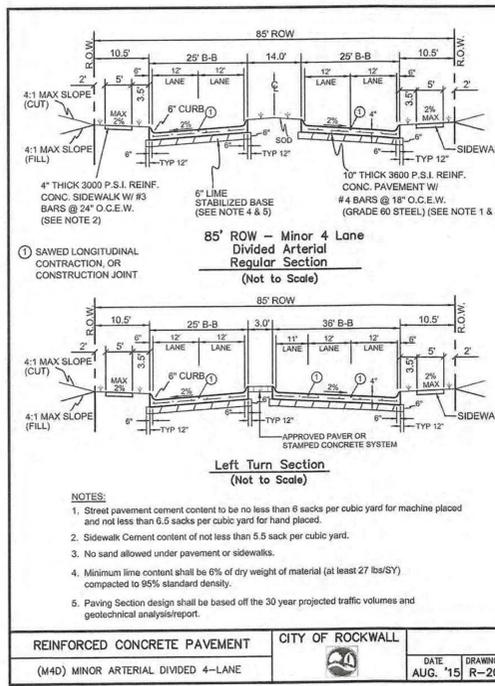
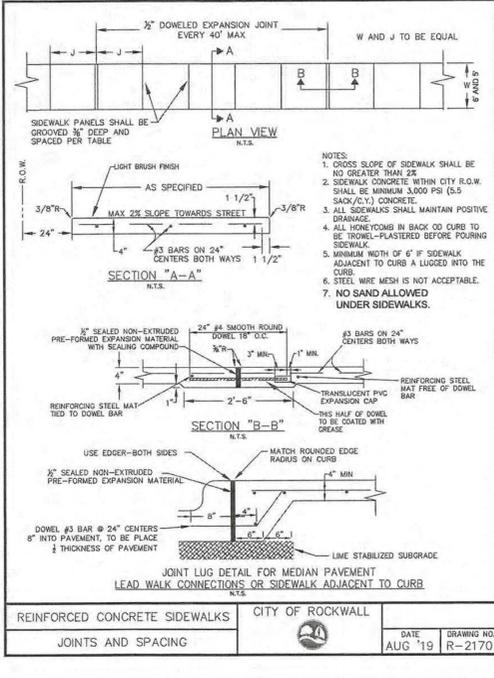
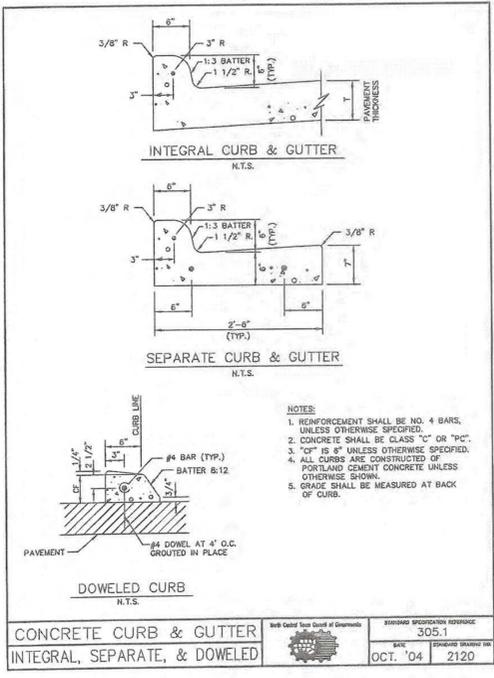
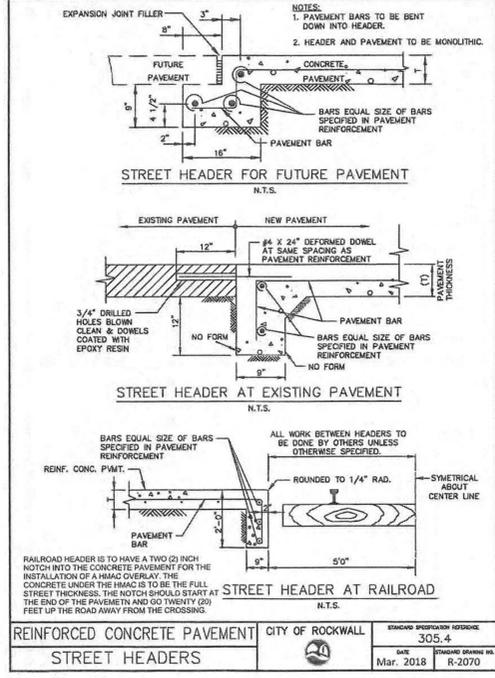
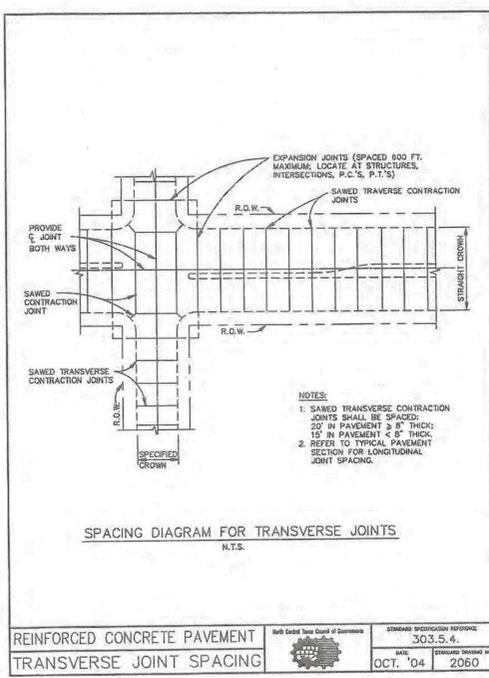
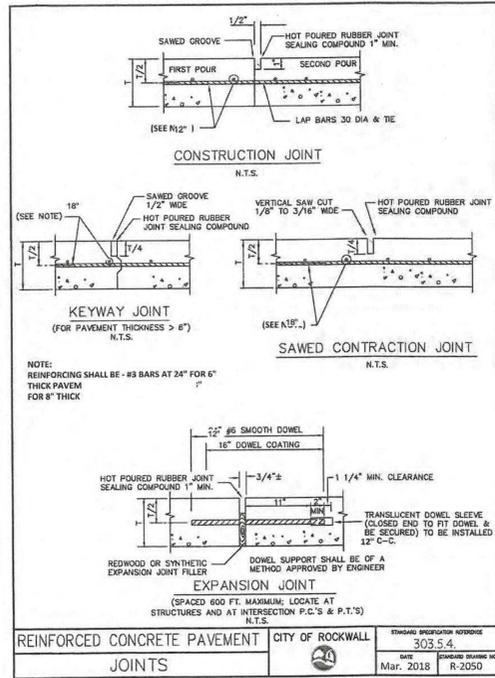
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

*Ryan C. King*  
 RYAN C. KING, P.E. 3/10/2021

**EROSION CONTROL DETAILS**

**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 21 OF 27



**RECORD DRAWINGS**

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.  
Ryan C. King, P.E.  
4/16/2024  
DATE

RELEASED FOR CONSTRUCTION  
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY \_\_\_\_\_ DATE \_\_\_\_\_

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BENCHMARK:  
BM#1 (#102)  
CIRCS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
ELEVATION = 531.58

BM#3 (#106)  
CIRCS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5 TO THE SOUTHWEST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'x8' BOX CULVERT.  
ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
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REVISIONS:

DRAWN: MJH DATE: \_\_\_\_\_  
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PROJECT NO.: 06824  
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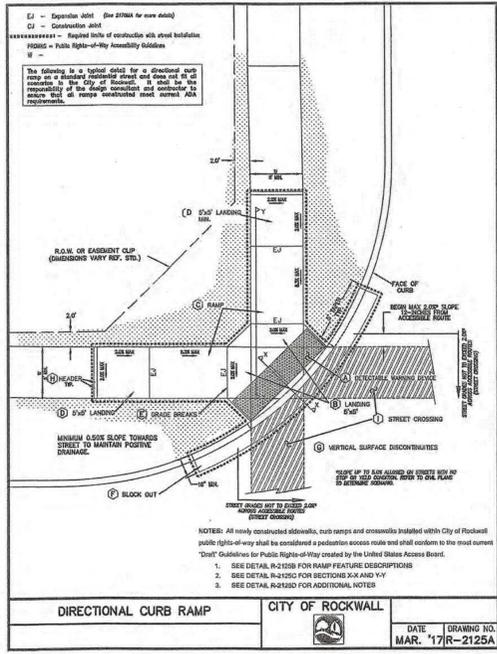
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

STATE OF TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
RYAN C. KING  
123635  
3/10/2021

**PAVING DETAILS 1**

**SADDLE STAR SOUTH AMENITY CENTER**  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 22 OF 27



**A** Detectable Warning Devices (DWD) shall be pre-manufactured cast-in-place truncated dome plates installed to the manufacturer's specifications, and shall meet all ADA requirements. No Brick Powers allowed. Color to be approved by the City. DWD shall be 24 inches in length for the full width of the street connection starting at the back of curb. A maximum 2-inch border shall be allowed on the sides of the DWD for proper installation.

**B** Also known as "Clear Space" per ADA PROWAG, the City requires a minimum landing space of 5-foot by 5-foot at the bottom of every ramp. This landing space shall have a cross slope in both directions that does not exceed 2.0% and shall be wholly outside the parallel vehicular travel path.

**C** The ramp component of the directional curb ramp shall have a continuous longitudinal slope more than 5% and less than 8.3%. The ramp shall also have a cross slope of no more than 2.0%. Length of ramp can vary, but shall not exceed 15 feet to achieve desired elevation change.

**D** Also known as "Turning Space" per ADA PROWAG, a minimum landing space of 5-foot by 5-foot shall be at the top of every ramp. This landing (turning) space shall have a cross slope in both directions that does not exceed 2.0%. Landing must match width of sidewalk and length shall be the same distance ("Squared Landing").

**E** All curb ramps shall have grade breaks at the top and bottom that are perpendicular to the direction of the ramp run. Where the ends of the bottom grade break are less than or equal to 5 feet, the DWD shall be placed within the ramp at the bottom grade break. Where either end of the bottom grade break is greater than 5 feet, the DWD shall be placed behind the back of the curb.

**F** Paving contractor shall leave block out with a keyway joint installed, minimum of 18 inches measured from back of curb. Block out shall be poured monolithically with Curb Ramp. Concrete shall tie to street paving with a keyway joint per ICTODS detail 2050. No curb shall be constructed where a DWD is provided. The curb on either side shall have a typical 5 foot taper to transition from the standard 6-inch curb height to be flush with ramp.

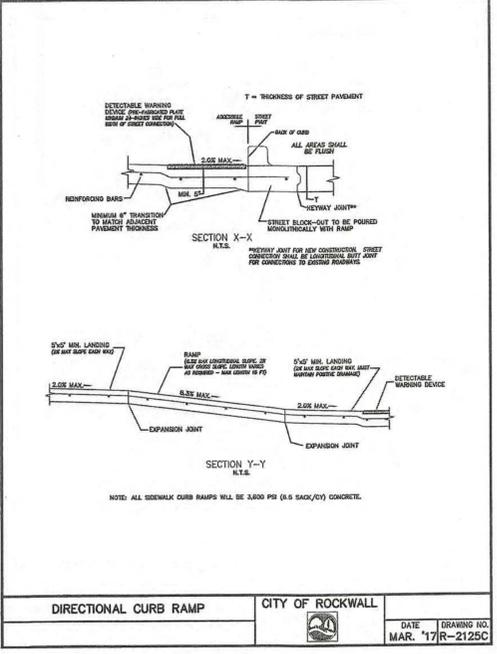
**G** All work associated with accessible routes shall be installed flush with all features to minimize vertical surface discontinuities. Each segment along accessible route shall be flush with no more (zero tolerance) than a 1/8-inch grade separation (elevation difference), or 1/2-inch grade separation if beveled (bevel slope shall not be steeper than 50%).

**H** A sidewalk header shall be constructed at ends of all work performed.

**I** Street crossings shall adhere to some guidelines on other accessible routes within public right-of-way, and shall be for the full width of the in-line accessible route. Cross slope shall not exceed 2%. New street construction shall incorporate all ADA design requirements. It shall be the responsibility of the Design Professional and Contractor to ensure all street crossings meet the requirements of PROWAG. Street alterations on existing streets to bring to compliance shall be at the City Engineer's discretion.

**J** All curbs constructed as part of an ADA Ramp shall match City curb standards.  
 \* See PROWAG special design considerations when street crossing has no stop or yield condition.

**TITLE BLOCK:**  
 DIRECTIONAL CURB RAMP CITY OF ROCKWALL  
 DATE: MAR. '17 DRAWING NO: R-2125B



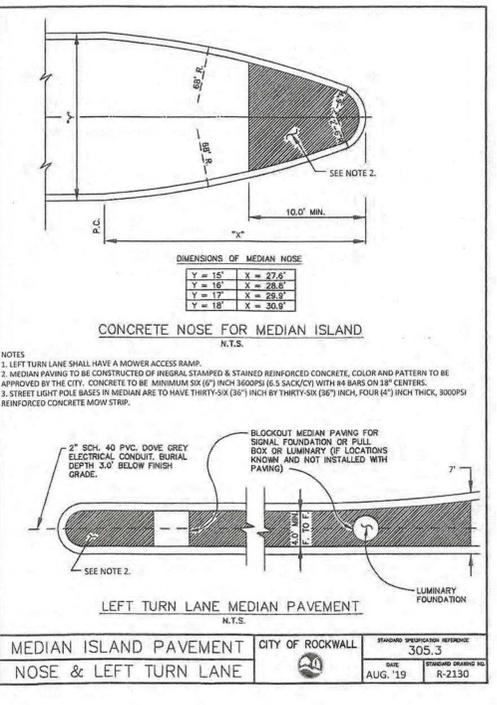
**PEDESTRIAN ACCESSIBILITY (WITHIN PUBLIC R.O.W.)**  
 All newly constructed sidewalks, curb ramps and crosswalks installed within City of Rockwall public rights-of-way shall be considered a pedestrian access route and shall conform to the most current Guidelines for Public Right-of-Way created by the United States Access Board.

**CURB RAMP**  
 1. All slopes shown are MAXIMUM ALLOWABLE. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.  
 2. Landings shall be 5' x 5' minimum with a maximum 2% slope in the transverse and longitudinal directions.  
 3. Clear space of the bottom of curb ramps shall be a minimum of 5' x 5' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.  
 4. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.  
 5. Additional information on curb ramp location, design, light reflective value and texture may be found in the most current edition of the Texas Accessibility Standards (TAS) and 16 TAC 65.102. Federal guidelines shall supersede any conflicts.  
 6. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps and accessible routes shall align with theoretical crosswalks unless otherwise directed.  
 7. Handrails are not required on curb ramps.  
 8. Provide a flush transition where the curb ramps connect to the street.  
 9. Accessible routes are considered "ramps" when longitudinal slopes are between 5% and 8.3% (maximum allowable). Sidewalks under 5% longitudinal slope are deemed accessible routes and must follow all applicable guidelines.

**DETECTABLE WARNING DEVICE**  
 10. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with adjoining surfaces. Furnish and install an approved cast-in-place dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.  
 11. Detectable Warning Materials shall be truncated dome plates in the color approved by the City. Install products in accordance with manufacturer's specifications.  
 12. Detectable warning surfaces must be slip resistant and not allow water to accumulate.  
 13. Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp landing where the pedestrian access route enters the street.  
 14. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. When placed on the ramp, align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Where detectable warning surfaces are provided on a surface with a slope that is less than 5 percent, dome orientation is less critical. Detectable warning surfaces may be curved along the corner radius.

**SIDEWALKS**  
 15. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within one or more reach ranges specified in TAS 308.  
 16. Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.  
 17. Street grades and cross slopes shall be as shown elsewhere in the plans.  
 18. Changes in level greater than 1/4 inch are not permitted (1/2 inch with bevel).  
 19. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway, where a continuous grade greater than 5% must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with TAS 505.  
 20. Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.

**TITLE BLOCK:**  
 DIRECTIONAL CURB RAMP CITY OF ROCKWALL  
 DATE: MAR. '17 DRAWING NO: R-2125D



**CAUTION! EXISTING UTILITIES**  
 CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS, EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**BENCHMARK:**  
 BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
 ELEVATION = 531.58

**BM#3 (#106)**  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.  
 ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**  
 ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
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**REVISIONS:**

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 DT.DWG	

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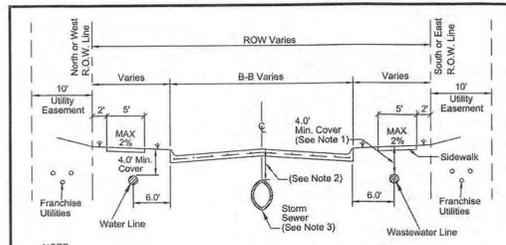


**RECORD DRAWINGS**  
 To the best of our knowledge, Pettit-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.  
 PETTIT-ECD, L.P.  
 Ryan C. King, P.E. 4/25/2024 DATE

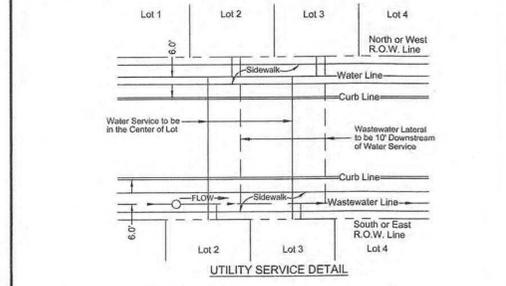
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 CITY \_\_\_\_\_ DATE \_\_\_\_\_

**PAVING DETAILS 2**  
**SADDLE STAR SOUTH AMENITY CENTER**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

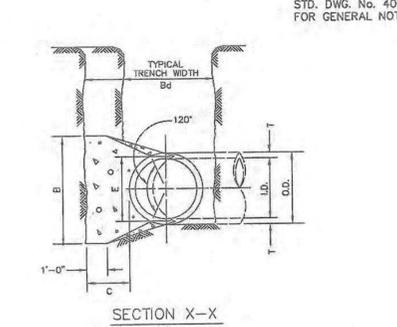
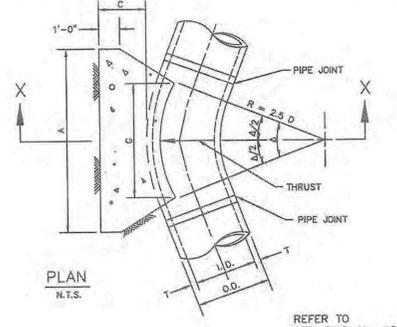
SHEET 23 OF 27



**NOTE:**  
 1. If wastewater line has a cover greater than ten feet (10') than pipe shall be minimum SDR 28 and no services allowed.  
 2. If cover is two (2) feet or less than Class IV RCP is required.  
 3. Horizontal location of storm sewer for divided roads to be determined by design engineer. Not to be placed in the roadway.



GENERAL UNDERGROUND CONDUIT CITY OF ROCKWALL  
 UTILITIES LOCATION DETAIL  
 DATE: OCT. '17 DRAWING NO. R-3000



HORIZONTAL THRUST BLOCK AT PIPE BEND  
 REFER TO STD. DWG. No. 4040 FOR GENERAL NOTES.  
 STANDARD SPECIFICATION REFERENCE: 502.4  
 DATE: OCT. '04 STANDARD DRAWING NO. 4010A

I.D. (IN.)	T (IN.)	Δ = 11.25°		Δ = 22.50°		E (FT.)
		A	B	A	B	
4.6,8	0.4	1.5	1.5	0.8	1.8	1.2
10,12	0.5	1.5	1.5	1.1	2.6	2.6
16,18	0.6	1.5	1.5	1.6	3.6	3.6
20	0.7	1.5	1.5	1.8	4.8	4.8
24	0.9	1.5	1.5	2.1	6.0	6.0
30	2.9	1.5	1.9	2.6	8.4	8.4
36	4.5	1.5	2.3	3.3	10.8	10.8
42	5.0	1.6	2.6	3.8	13.2	13.2
48	5.5	2.0	3.0	4.3	15.6	15.6
54	6.0	2.3	3.4	4.8	18.0	18.0
60	6.5	2.5	3.8	5.3	20.4	20.4
66	6.8	2.8	4.1	5.7	22.8	22.8
72	7.5	3.0	4.5	6.3	25.2	25.2
78	7.5	3.3	4.9	6.7	27.6	27.6
84	8.0	3.5	5.3	7.2	30.0	30.0
90	8.5	3.8	5.6	7.7	32.4	32.4
96	9.0	4.0	6.0	8.2	34.8	34.8

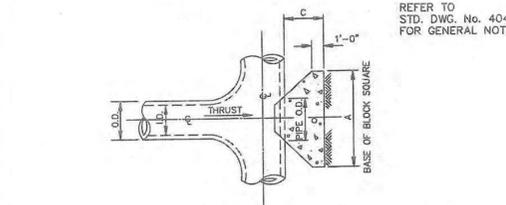
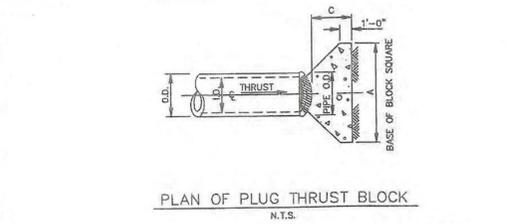
I.D. (IN.)	G (FT.)	THRUST (TONS)	EARTH			ROCK			I.D. (IN.)	G (FT.)	THRUST (TONS)	EARTH			ROCK		
			A	B	VOL. (C.Y.)	A	B	VOL. (C.Y.)				A	B	VOL. (C.Y.)	A	B	VOL. (C.Y.)
4.6,8	0.4	1.0	1.0	1.5	0.1	1.0	1.0	0.1	4.6,8	0.8	2.0	1.5	1.5	0.1	1.0	1.0	0.1
10,12	0.6	2.2	1.5	1.5	0.1	1.0	1.5	0.1	10,12	1.1	4.4	2.0	2.5	0.3	1.5	1.5	0.1
16,18	0.8	5.0	2.0	2.5	0.3	1.5	2.0	0.2	16,18	1.6	9.9	3.0	3.5	0.6	2.0	2.5	0.3
20	0.9	6.2	2.0	3.5	0.4	1.5	3.0	0.3	20	1.8	12.3	3.5	3.5	0.7	2.0	3.0	0.4
24	1.1	8.9	3.0	3.5	0.5	1.5	3.0	0.3	24	2.2	17.7	4.0	4.5	1.0	3.0	3.5	0.5
30	1.4	10.4	3.0	3.8	0.6	2.0	3.5	0.4	30	2.7	20.7	5.0	4.5	1.5	3.0	4.0	0.6
36	1.7	15.0	3.5	4.5	0.9	2.0	4.0	0.5	36	3.3	29.8	5.5	5.5	2.3	4.0	4.0	1.3
42	1.9	20.4	4.5	5.0	1.5	2.5	5.0	0.8	42	3.8	40.5	7.0	6.0	3.9	4.5	5.0	2.1
48	2.2	26.8	4.5	6.0	2.0	2.5	6.0	1.1	48	4.4	52.9	8.0	7.0	5.7	4.5	6.0	2.8
54	2.5	33.7	6.0	6.0	3.0	3.0	6.0	1.4	54	4.9	67.0	9.0	8.0	8.0	6.0	6.0	4.1
60	2.7	41.6	6.0	7.0	3.0	3.0	7.0	1.6	60	5.5	82.7	9.5	9.0	10.6	6.0	7.0	5.3
66	3.0	50.3	6.5	8.0	3.5	3.5	8.0	2.7	66	6.0	100.1	10.5	10.0	14.1	6.5	8.0	7.2
72	3.3	59.9	7.5	8.0	4.0	4.0	8.0	3.3	72	6.6	119.1	11.0	11.0	17.8	7.5	8.0	9.1
78	3.6	70.2	8.0	9.0	4.0	4.0	9.0	3.7	78	7.1	139.8	12.0	12.0	22.9	8.0	9.0	11.7
84	3.8	81.5	8.5	10.0	4.5	4.5	10.0	4.3	84	7.6	162.1	13.0	12.5	27.2	8.5	10.0	14.8
90	4.1	93.5	9.5	10.0	5.0	5.0	10.0	5.0	90	8.2	186.1	14.0	13.5	33.7	9.5	10.0	17.7
96	4.4	106.4	10.0	11.0	5.0	5.0	11.0	5.4	96	8.7	211.7	15.0	14.5	41.2	10.0	11.0	21.8

TABLES OF DIMENSIONS AND QUANTITIES  
 HORIZONTAL THRUST BLOCK AT PIPE BEND  
 REFER TO STD. DWG. No. 4040 FOR GENERAL NOTES.  
 STANDARD SPECIFICATION REFERENCE: 502.4  
 DATE: OCT. '04 STANDARD DRAWING NO. 4010B

I.D. (IN.)	G (FT.)	THRUST (TONS)	EARTH			ROCK			I.D. (IN.)	G (FT.)	THRUST (TONS)	EARTH			ROCK		
			A	B	VOL. (C.Y.)	A	B	VOL. (C.Y.)				A	B	VOL. (C.Y.)	A	B	VOL. (C.Y.)
4.6,8	1.0	2.6	2.0	1.5	0.2	1.0	1.5	0.1	4.6,8	1.5	5.9	2.0	2.0	0.2	1.5	1.5	0.1
10,12	1.5	6.9	2.5	2.5	0.3	2.0	1.5	0.2	10,12	2.2	8.7	3.5	2.5	0.5	2.0	2.5	0.3
16,18	2.2	13.2	3.5	4.0	0.8	2.5	3.0	0.4	16,18	3.2	19.5	4.5	4.5	1.2	3.0	3.5	0.6
20	2.4	16.3	4.5	4.0	1.0	3.0	3.0	0.5	20	3.6	24.1	5.5	4.5	1.5	3.5	3.5	0.7
24	2.9	23.4	6.0	4.0	1.4	3.5	3.5	0.7	24	4.3	34.6	8.0	4.5	2.3	4.5	4.0	1.1
30	3.6	27.5	6.5	5.0	1.9	3.5	4.0	0.9	30	5.4	40.6	8.5	5.0	3.2	5.5	4.0	1.6
36	4.4	39.5	7.0	6.0	3.4	4.5	4.5	1.6	36	6.5	58.5	10.0	6.0	5.3	6.5	4.5	2.8
42	5.1	53.8	8.0	7.0	5.1	5.5	5.0	2.5	42	7.5	79.8	11.5	7.0	8.1	8.0	5.0	4.2
48	5.8	70.3	9.0	8.0	7.4	6.0	6.0	3.7	48	8.8	104.0	13.0	8.0	11.9	8.0	6.0	6.3
54	6.5	89.0	10.0	9.0	10.3	7.0	6.5	5.3	54	9.7	131.5	15.0	9.0	17.1	10.5	8.5	8.9
60	7.3	110.0	11.0	10.0	13.9	7.5	7.5	7.3	60	10.7	162.4	16.5	10.0	23.1	11.0	7.5	12.0
66	8.0	132.9	12.5	11.0	18.9	8.5	8.0	9.8	66	11.8	196.5	18.0	11.0	30.1	12.0	8.5	16.2
72	8.7	158.2	13.5	12.0	24.0	9.0	9.0	12.3	72	12.9	233.9	19.5	12.0	38.6	14.0	8.5	20.7
78	9.4	185.6	14.5	13.0	30.0	10.0	9.5	15.8	78	13.9	274.5	21.5	13.0	49.8	14.5	9.5	25.9
84	10.1	215.3	15.5	14.0	37.1	10.5	10.5	19.5	84	15.0	318.4	23.0	14.0	61.2	15.5	10.5	32.6
90	10.9	247.1	16.5	15.0	45.0	11.5	11.0	23.9	90	16.1	365.5	24.5	15.0	74.5	17.5	10.5	39.6
96	11.6	281.2	18.0	16.0	55.5	12.5	11.5	28.9	96	17.1	415.6	26.0	16.0	89.6	18.5	11.5	48.5

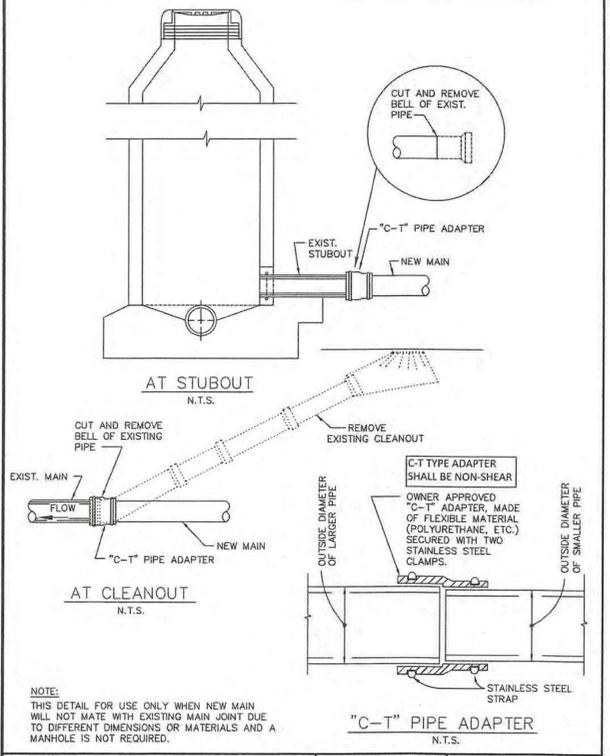
I.D. (IN.)	G (FT.)	THRUST (TONS)	EARTH			ROCK			I.D. (IN.)	G (FT.)	THRUST (TONS)	EARTH			ROCK		
			A	B	VOL. (C.Y.)	A	B	VOL. (C.Y.)				A	B	VOL. (C.Y.)	A	B	VOL. (C.Y.)
4.6,8	2.1	5.6	3.0	2.0	0.3	2.0	1.5	0.2	4.6,8	2.7	7.1	5.0	1.5	0.4	2.0	2.0	0.2
10,12	3.1	12.6	5.5	2.5	0.8	3.5	2.0	0.4	10,12	4.0	16.0	6.5	2.5	1.0	3.5	2.5	0.5
16,18	4.7	28.3	7.5	4.0	1.9	5.5	3.0	0.9	16,18	6.0	36.0	9.0	4.0	2.4	4.5	4.0	1.0
20	5.2	34.9	9.0	4.0	2.3	5.5	3.5	1.2	20	6.6	44.4	10.0	4.5	3.1	6.0	4.0	1.5
24	6.2	50.3	11.5	4.5	3.5	6.5	4.0	1.6	24	7.9	64.0	14.5	4.5	5.0	8.0	4.0	2.1
30	7.8	58.8	12.0	5.0	4.8	7.5	4.0	1.6	30	9.9	75.0	15.0	5.0	6.7	10.0	4.0	3.3
36	9.4	84.9	14.5	6.0	8.2	9.5	4.5	3.8	36	11.9	108.0	18.0	6.0	11.4	12.0	4.5	5.3
42	10.9	115.5	17.0	7.0	12.8	11.0	5.5	6.3	42	13.9	147.0	21.0	7.0	17.8	14.0	5.5	8.7
48	12.5	150.0	19.5	8.0	18.4	13.0	6.0	8.2	48	15.9	192.0	24.0	8.0	26.2	16.0	6.0	12.4
54	14.0	191.0	21.0	9.0	26.0	15.0	6.5	12.9	54	17.9	243.0	27.0	9.0	36.9	18.0	7.0	18.1
60	15.8	235.8	24.0	10.0	35.6	16.0	7.5	17.8	60	19.9	299.8	30.0	10.0	50.3	20.0	7.5	24.0
66	17.1	285.3	26.0	11.0	48.0	18.0	8.0	23.0	66	21.8	362.8	33.0	11.0	66.2	22.0	8.5	32.5
72	18.7	339.5	28.5	12.0	57.8	19.0	9.0	28.4	72	23.6	431.8	36.0	12.0	85.6	24.0	9.0	41.0
78	20.2	398.5	31.0	13.0	75.7	21.0	9.5	37.4	78	25.7	507.7	39.0	13.0	109.2	26.0	10.0	53.2
84	21.8	462.1	33.5	14.0	94.7	22.0	10.5	48.5	84	27.7	592.7	42.0	14.0	134.4	28.0	10.5	64.8
90	23.3	530.5	36.5	15.0	114.4	24.0	11.0	62.8	90	29.0	674.6	45.0	15.0	164.9	30.0	11.5	81.2
96	24.9	603.6	39.0	16.0	138.9	25.0	12.0	70.0	96	31.8	767.5	48.0	16.0	199.0	32.0	12.0	95.1

TABLES OF DIMENSIONS AND QUANTITIES  
 HORIZONTAL THRUST BLOCK AT PIPE BEND  
 REFER TO STD. DWG. No. 4040 FOR GENERAL NOTES.  
 STANDARD SPECIFICATION REFERENCE: 502.4  
 DATE: OCT. '04 STANDARD DRAWING NO. 4010C



I.D. (IN.)	THRUST (TONS)	C (FT.)	EARTH			ROCK		
			A	B	VOL. (C.Y.)	A	B	VOL. (C.Y.)
4.6,8	0.1	1.5	2.5	0.3	2.0	0.3	2.0	0.3
10,12	1.1	1.5	3.5	0.6	2.5	0.3	2.5	0.3
16,18	2.5	2.0	5.5	1.6	4.0	0.9	4.0	0.9
20	3.1	2.0	6.0	1.9	4.0	0.9	4.0	0.9
24	4.5	2.5	7.5	3.1	5.0	1.7	5.0	1.7
30	6.0	3.0	9.0	4.1	6.0	2.4	6.0	2.4
36	7.5	4.0	10.0	5.1	7.0	3.1	7.0	3.1
42	8.5	4.5	11.0	6.1	8.0	3.8	8.0	3.8
48	9.5	5.0	12.0	7.1	9.0	4.5	9.0	4.5
54	10.5	5.5	13.0	8.1	10.0	5.2	10.0	5.2
60	11.5	6.0	14.0	9.1	11.0	6.0	11.0	6.0
66	12.5	6.5	15.0	10.1	12.0	6.8	12.0	6.8
72	13.5	7.0	16.0	11.1	13.0	7.6	13.0	7.6
78	14.5	7.5	17.0	12.1	14.0	8.4	14.0	8.4
84	15.5	8.0	18.0	13.1	15.0	9.2	15.0	9.2
90	16.5	8.5	19.0	14.1	16.0	10.0	16.0	10.0
96	17.5	9.0	20.0					





WASTEWATER MAIN TIE-IN AT CLEANOUT OR M.H. STUBOUT	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 502.10
		DATE: Mar. 2018 DRAWING NO.: R-5010

WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5020
PRECAST		

WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5031
INFLOW PREVENTION & CORROSION PROTECTION		

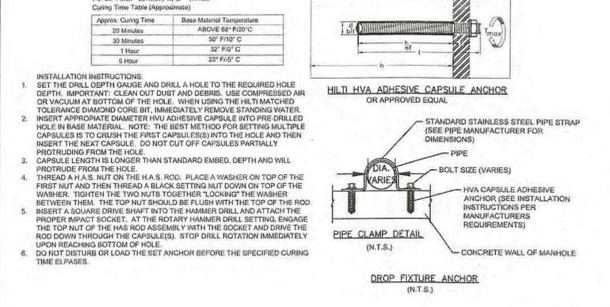
WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5080
DROP CONNECTIONS		

**HVA ADHESIVE CAPSULE ANCHORS**

- DRILL HOLES WITH AN HVA 1/2" MATCHED TOLERANCE CARBIDE TYPED DRILL BITS WITH DRILL IN ROTO-HAMMER MODE OR USE A MATCHED TOLERANCE DIAMOND CORE DRILL BIT OF DIAMETER SPECIFIED BY H.L.T.
- DRILLED HOLE SPECIFICATIONS (DIAMETER & DEPTH) SHALL COMPLY WITH H.L.T. SPECIFICATION OR ICE DSR 162.
- ALLOWABLE LOADS MAY BE INCREASED BY 25% FOR SHORT TERM WIND OR SEISMIC LOAD RESISTANCE IN ACCORDANCE WITH ESR 1682 UNLESS NOT PERMITTED BY THE APPLICABLE BUILDING CODE.
- WHEN CONDUCTING PROOF TEST ANCHORS IN THE FIELD TO 150-200% OF H.L.T. PUBLISHED ALLOWABLE TENSION LOAD UNLESS NOTED OTHERWISE IN A PROOF TEST LOAD TABLE. TORQUE TESTING IS NOT PERMITTED.
- ANCHORS SHALL BE TIGHTENED WITH A CALIBRATED TORQUE WRENCH. USE OF AN IMPACT WRENCH IS NOT PERMITTED.
- CONTACT H.L.T. TECHNICAL SUPPORT AT 1-800-878-8000 FOR INSTALLATION INSTRUCTIONS IN SUBMERGED WATER CONDITIONS.
- CONTACT H.L.T. TECHNICAL SUPPORT AT 1-800-878-8000 FOR ADDITIONAL ASSISTANCE WITH HVA ADHESIVE ANCHOR INSTALLATIONS.
- INSTALLATION INSTRUCTIONS.
- FOR HVA ADHESIVE CAPSULES WITH H.A.S. THREE-ROD RODS:
  - DRILL ANCHOR HOLE WITH A CARBIDE BIT (SEE NOTE 1 ABOVE), TO SPECIFIED EMBEDMENT DEPTH.
  - CLEAN HOLE WITH COMPRESSED AIR OR BLOW OUT PUMP. INSERT NOZZLE TO BOTTOM OF HOLE.
  - IF USING MATCHED TOLERANCE CORE BIT, REMOVE STANDING WATER FROM HOLE.
  - INSERT APPROPRIATE HVA CAPSULE INTO HOLE WITH POINTED END FIRST. CAPSULE LENGTH IS LONGER THAN STANDARD EMBEDMENT AND WILL PROTRUDE FROM HOLE. DO NOT CUT OFF ANY PART OF THE HVA CAPSULE.
  - THREAD NUT ON TO ROD.
  - PLACE A WASHER ON FIRST NUT AND THREAD BLACK SETTING NUT DOWN ON WASHER.
  - TIGHTEN NUTS TOGETHER SO THAT BLACK SETTING WASHER IS AT TOP OF ROD.
  - INSERT SQUARE DRIVE SHANK INTO ROTARY HAMMER DRILL AND ATTACH PROPER IMPACT SOCKET.
  - WITH HAMMER DRILL ON ROTARY HAMMER, ENGAGE TOP NUT OF HAS ROD ASSEMBLY AND ROTO-HAMMER ROD THROUGH CAPSULE(S) INTO THE HOLE. STOP DRILL ROTATION IMMEDIATELY UPON REACHING BOTTOM OF HOLE.
  - DO NOT DISTURB OR LOAD ANCHOR BEFORE CURING TIME ELAPSES.

**HVA INSTALLATION SPECIFICATION TABLE FOR H.A.S. RODS**

DETAILS	HVA Rod Size	in.	3/8	1/2	5/8	3/4	7/8	1	1-1/4
2" dia. - nominal diameter	in.	10-12	9-10	11-16	7-9	1	1-10	1-10	1-10
3" dia. - nominal diameter	in.	3-12	4-10	5	5-8	6-9	9-14	9-14	12
4" dia. - nominal diameter	in.	1	1-1/2	1-3/4	2	2-1/4	2-1/2	2-3/4	3
5" dia. - nominal diameter	in.	1-1/4	1-1/2	1-3/4	2	2-1/4	2-1/2	2-3/4	3
6" dia. - nominal diameter	in.	1-1/4	1-1/2	1-3/4	2	2-1/4	2-1/2	2-3/4	3
7" dia. - nominal diameter	in.	1-1/4	1-1/2	1-3/4	2	2-1/4	2-1/2	2-3/4	3
8" dia. - nominal diameter	in.	1-1/4	1-1/2	1-3/4	2	2-1/4	2-1/2	2-3/4	3
9" dia. - nominal diameter	in.	1-1/4	1-1/2	1-3/4	2	2-1/4	2-1/2	2-3/4	3
10" dia. - nominal diameter	in.	1-1/4	1-1/2	1-3/4	2	2-1/4	2-1/2	2-3/4	3



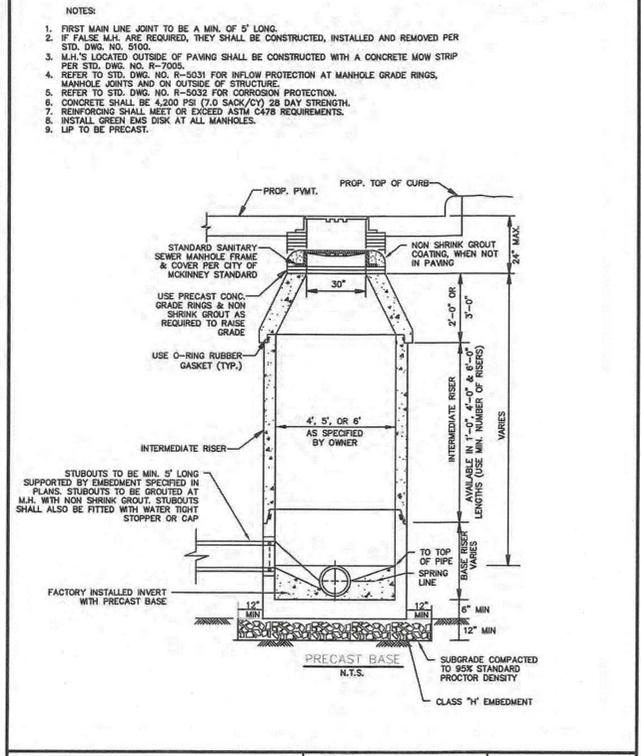
WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5080
DROP CONNECTIONS		

**CAUTION! EXISTING UTILITIES**

CONTRACTOR SHOULD CALL 1-800-485-7838 PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM RESISTANCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**BENCHMARK:**  
BM#1 (#102)  
CITY OF ROCKWALL SURVEYING COMPANY BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
ELEVATION = 531.58

BM#3 (#106)  
CITY OF ROCKWALL SURVEYING COMPANY BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'x8' BOX CULVERT.  
ELEVATION = 557.33



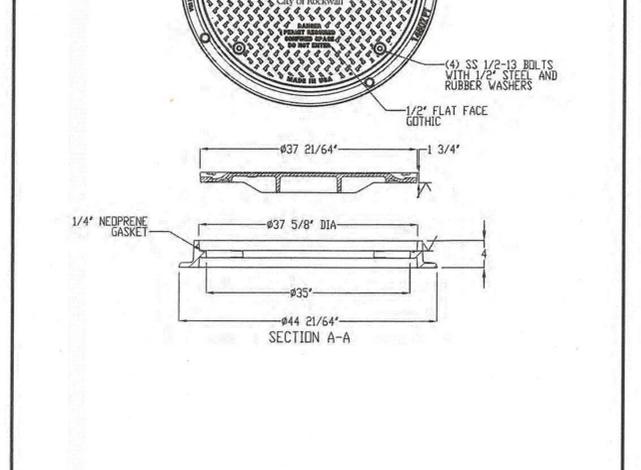
WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5020
PRECAST		

WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5031
INFLOW PREVENTION & CORROSION PROTECTION		

WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5080
DROP CONNECTIONS		

**NOTES:**

- FIRST MAIN LINE JOINT TO BE A MIN. OF 5' LONG.
- IF FALSE M.H. ARE REQUIRED, THEY SHALL BE CONSTRUCTED, INSTALLED AND REMOVED PER STD. DWG. NO. 5100.
- M.H.'S LOCATED OUTSIDE OF PAVING SHALL BE CONSTRUCTED WITH A CONCRETE MOW STRIP PER STD. DWG. NO. R-7005.
- M.H.'S LOCATED OUTSIDE OF PAVING SHALL BE CONSTRUCTED WITH A CONCRETE MOW STRIP PER STD. DWG. NO. R-7005.
- REFER TO STD. DWG. NO. R-5031 FOR INFLOW PREVENTION AT MANHOLE GRADE RINGS, MANHOLE JOINTS AND ON OUTSIDE OF STRUCTURE.
- REFER TO STD. DWG. NO. R-5032 FOR CORROSION PROTECTION.
- CONCRETE SHALL BE 4,200 PSI (7.0 SACK/CY) 28 DAY STRENGTH.
- REINFORCING SHALL MEET OR EXCEED ASTM C478 REQUIREMENTS.
- INSTALL GREEN EMS DISK AT ALL MANHOLES.
- LIP TO BE PRECAST.



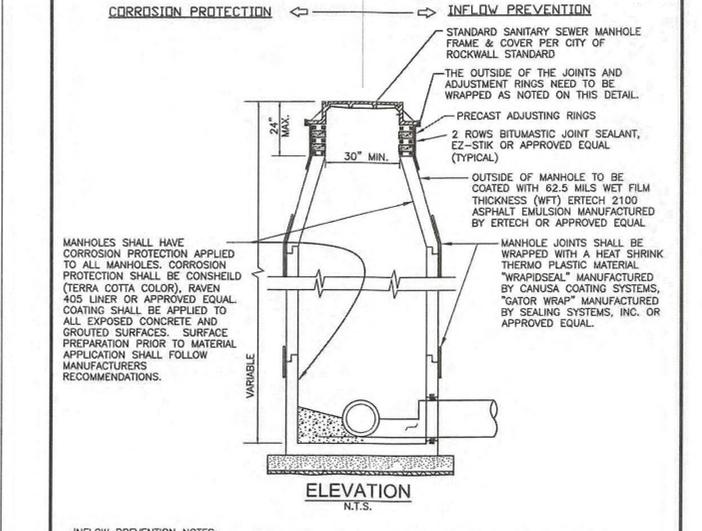
WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5102
BOLT AND GASKET RIM AND COVER		

**ENGINEERING CONCEPTS & DESIGN, L.P.**

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824.DT.DWG	



**MANHOLES SHALL HAVE CORROSION PROTECTION APPLIED TO ALL MANHOLES. CORROSION PROTECTION SHALL BE CONSIDERED (TERRA COTTA COLOR), RAVEN 405 LINER OR APPROVED EQUAL. COATING SHALL BE APPLIED TO ALL EXPOSED CONCRETE AND GROUTED SURFACES. SURFACE PREPARATION PRIOR TO MATERIAL APPLICATION SHALL FOLLOW MANUFACTURERS RECOMMENDATIONS.**

**INFLOW PREVENTION NOTES:**

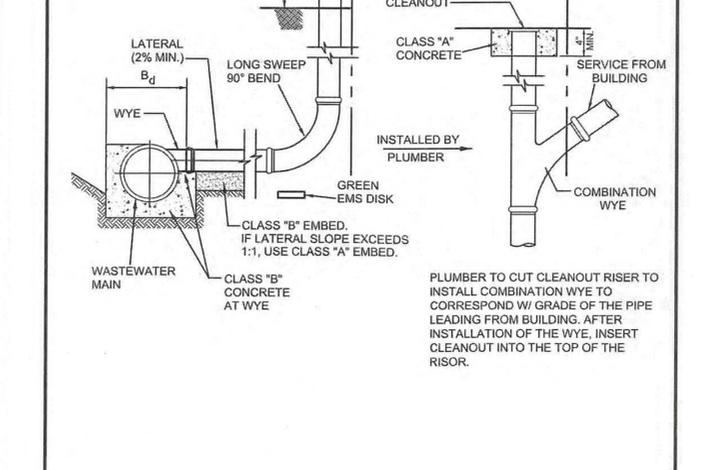
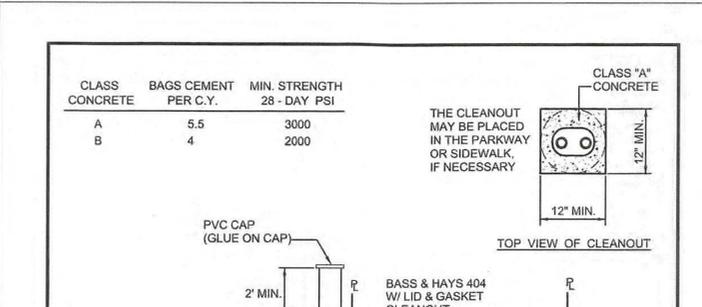
- REQUIRED ON ALL SANITARY SEWER MANHOLES AND LIFT STATION WET WELLS AND VALVE WELLS.

**CORROSION PREVENTION NOTES:**

- TO CORROSION PROTECTIVE COATING PROCESS. PRESSURE WASH AND CLEAN STRUCTURE. FILL BUG HOLES, JOINTS, HONEYCOMES AND AROUND PIPE PENETRATIONS WITH A CEMENTITIOUS REPAIR MATERIAL (CRM) AS NEEDED. USE STRONG SEAL MS2C MANUFACTURED BY THE STRONG COMPANY, INC. OR APPROVED EQUAL. THEN APPLY A MINIMUM OF 125 MILS (1/8 INCH) THICKNESS OF A POLYURETHANE COATING MATERIAL (EXISTING MANHOLES REQUIRE A MINIMUM OF 250 MILS THICKNESS OF POLYURETHANE COATING MATERIAL). FOR THE POLYURETHANE COATING MATERIAL USE RAVEN 405 LINER OR APPROVED EQUAL.
- ADDITIONAL CLEANING, PREPARATION, AND REPAIR METHODS MAY BE REQUIRED FOR EXISTING MANHOLES DEPENDING ON CONDITION ASSESSMENT OF THE MANHOLE. CONTACT ENGINEERING DIVISION FOR ADDITIONAL SPECIFICATIONS.
- SPARK TESTING IS REQUIRED FOR COATINGS. COST FOR TESTING IS SUBSIDIARY TO OTHER BID ITEMS. CITY INSPECTOR TO BE PRESENT FOR SPARK TESTING. CONTRACTOR TO PROVIDE WRITTEN SPARK TEST RESULTS TO CITY.
- EXISTING BRICK MANHOLES SHALL BE REPLACED.
- REQUIRED ON ALL WASTEWATER MANHOLES AND LIFT STATION WET WELLS.

WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5031
INFLOW PREVENTION & CORROSION PROTECTION		

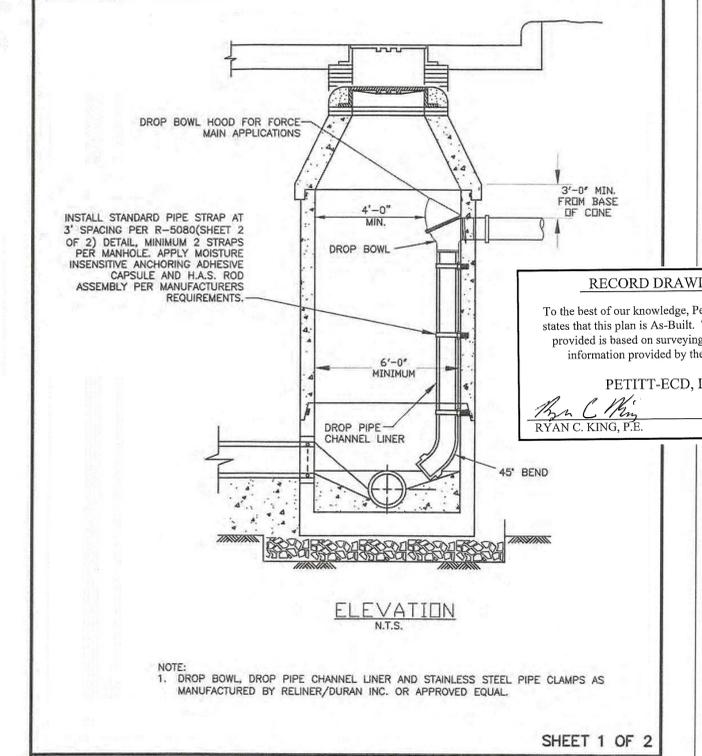
WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5080
DROP CONNECTIONS		



WASTEWATER LATERAL	CITY OF ROCKWALL	DATE: AUG '15 DRAWING NO.: R-5120
CONNECTIONS - RESIDENTIAL		

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

**RYAN C. KING**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 123635  
EXPIRES 03/10/2021



WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5080
DROP CONNECTIONS		

WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE: AUG '19 DRAWING NO.: R-5150
DROP CONNECTIONS		

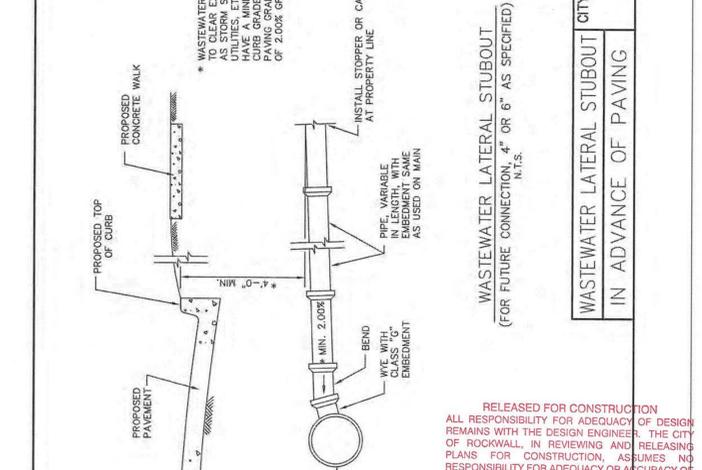
**RECORD DRAWINGS**

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.  
Ryan C. King, P.E.  
DATE: 4/15/2024

**NOTE:**

- DROP BOWL, DROP PIPE CHANNEL LINER AND STAINLESS STEEL PIPE CLAMPS AS MANUFACTURED BY RELINER/DURAN INC. OR APPROVED EQUAL.



WASTEWATER LATERAL STUBOUT	CITY OF ROCKWALL	DATE: MAR. 2018 DRAWING NO.: R-5150
IN ADVANCE OF PAVING		

**SANITARY DETAILS**

**SADDLE STAR SOUTH AMENITY CENTER**  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

RELEASED FOR CONSTRUCTION. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

### CROSS PIPE LENGTHS AND PIPE RUNNER LENGTHS (1)(2)

Nominal Culvert I.D.	Pipe Culvert Spacing	Cross Pipe Length	Pipe Runner Length											
			3:1 Side Slope			4:1 Side Slope			6:1 Side Slope			8:1 Side Slope		
			0° Skew	15° Skew	30° Skew	45° Skew	0° Skew	15° Skew	30° Skew	45° Skew	0° Skew	15° Skew	30° Skew	45° Skew
24"	1'-7"	3'-5"	N/A	N/A	N/A	9'-10"	N/A	N/A	N/A	8'-7"	N/A	N/A	N/A	12'-5"
27"	1'-8"	3'-6"	N/A	N/A	N/A	9'-11"	N/A	N/A	N/A	8'-8"	N/A	N/A	N/A	12'-6"
30"	1'-10"	3'-11"	N/A	N/A	N/A	9'-4"	N/A	N/A	N/A	8'-1"	N/A	N/A	N/A	12'-7"
33"	1'-11"	4'-2"	8'-2"	8'-5"	8'-9"	9'-1"	8'-6"	8'-10"	10'-0"	12'-3"	12'-3"	13'-9"	13'-9"	19'-2"
36"	2'-1"	4'-3"	8'-11"	9'-2"	9'-6"	10'-2"	9'-7"	9'-11"	11'-2"	13'-10"	14'-9"	15'-9"	15'-9"	21'-7"
42"	2'-4"	4'-6"	8'-11"	9'-11"	10'-2"	11'-2"	10'-2"	12'-0"	13'-6"	16'-8"	17'-9"	18'-9"	18'-9"	25'-7"
48"	2'-7"	5'-5"	10'-1"	10'-3"	11'-9"	N/A	N/A	12'-7"	14'-2"	19'-10"	N/A	20'-9"	21'-6"	N/A
54"	3'-0"	5'-11"	11'-8"	12'-7"	N/A	N/A	N/A	15'-8"	16'-3"	N/A	N/A	23'-10"	24'-8"	N/A
60"	3'-3"	6'-3"	12'-3"	N/A	N/A	N/A	N/A	17'-9"	18'-2"	N/A	N/A	25'-10"	N/A	N/A

TYPICAL PIPE CULVERT MITERS (1)				CONDITIONS WHERE PIPE RUNNERS ARE NOT REQUIRED (2)				STANDARD PIPE SIZES AND MAX PIPE RUNNER LENGTHS (3)			
Side Slope	0°	15°	30°	45°	Nominal Culvert I.D.	Single Pipe Culvert	Multiple Pipe Culverts	Pipe Size	Pipe I.D.	Pipe I.D.	Max Pipe Runner Length
3:1	3'-1	3.00E1	3.48411	4.2421	12" thru 21"	Steuers thru 45°	Steuers thru 45°	2" STD	2.375"	2.667"	N/A
4:1	4'-1	4.14111	4.6191	5.6571	24"	Steuers thru 45°	Steuers thru 30°	2" STD	3.500"	3.068"	10'-0"
6:1	6'-1	6.2121	6.9281	8.8851	27"	Steuers thru 30°	Steuers thru 15°	4" STD	4.500"	4.020"	18'-0"
					30"	Steuers thru 15°	Steuers thru 15°	6" STD	5.583"	5.047"	30'-2"
					36"	Normal (no skew)	Always required				
					42" thru 60"	Always required	Always required				

ESTIMATED CONCRETE RIPRAP QUANTITIES (CY) (3)											
Nominal Culvert I.D.	0° Skew	3:1 Side Slope			4:1 Side Slope			6:1 Side Slope			45° Skew
		15° Skew	30° Skew	45° Skew	0° Skew	15° Skew	30° Skew	45° Skew	0° Skew	15° Skew	
12"	0.4	0.4	0.5	0.5	0.5	0.5	0.6	0.7	0.7	0.7	0.8
15"	0.5	0.5	0.6	0.6	0.6	0.6	0.7	0.7	0.7	0.8	0.9
18"	0.5	0.5	0.6	0.6	0.6	0.6	0.7	0.7	0.8	0.8	0.9
21"	0.6	0.6	0.6	0.7	0.7	0.7	0.8	0.9	0.9	1.0	1.2
24"	0.6	0.7	0.7	0.8	0.8	0.8	0.9	1.0	1.0	1.1	1.3
27"	0.7	0.7	0.8	0.9	0.9	0.9	1.1	1.1	1.1	1.2	1.4
30"	0.8	0.8	0.9	0.9	0.9	0.9	1.0	1.2	1.2	1.3	1.6
36"	0.8	0.8	0.9	1.0	1.0	1.0	1.1	1.3	1.3	1.4	1.7
42"	0.9	0.9	1.1	1.1	1.1	1.1	1.2	1.4	1.4	1.6	1.8
48"	1.0	1.0	1.1	1.2	1.2	1.2	1.3	1.6	1.6	1.7	2.1
54"	1.1	1.1	1.2	N/A	1.4	1.4	1.5	N/A	1.9	1.9	2.1
60"	1.3	1.3	N/A	N/A	1.6	1.6	N/A	N/A	2.1	2.1	N/A
	1.4	N/A	N/A	N/A	1.7	N/A	N/A	N/A	2.3	N/A	N/A

#### SIDE ELEVATION OF TYPICAL PIPE CULVERT MITER

NOTE: All pipe runner lengths, calculations, and dimensions are based on the pipe culvert miter shown in this detail. Alternative styles of mitered ends will require that appropriate adjustments be made to the values presented on this standard.

Showing corrugated metal pipe (CMP) culvert. Details of reinforced concrete pipe (RCP) culvert are similar.

#### SIDE ELEVATION OF CAST-IN-PLACE CONCRETE

Showing reinforced concrete pipe (RCP) culvert. Details of corrugated metal pipe (CMP) culvert are similar. Pipe runners not shown for clarity.

#### ISOMETRIC VIEW OF TYPICAL INSTALLATION

Showing installation with no skew.

#### PLAN OF SKEWED INSTALLATION

1) Provide pipe runner of the size shown in the tables. Provide cross pipe of the same size as the pipe runner. Provide cross pipe that fits out and bottom anchor pipe of the next smaller size pipe as shown in the Standard Pipe Sizes and Max Pipe Runner Lengths Table.

2) This standard allows for the placement of only one pipe runner across each culvert pipe opening. In order to limit the clear opening to be traversed by an errant vehicle, the following conditions must be met:

For 60" culvert pipes, the skew must not exceed 0°.

For 54" culvert pipes, the skew must not exceed 15°.

For 48" culvert pipes, the skew must not exceed 30°.

For all culvert pipe sizes 42" and less, the skew must not exceed 45°.

If the above conditions cannot be met, the designer should consider using a safety end treatment with T-bar wings. For further information, refer to the TxDOT Roadway Design Manual.

3) Miter = slope of mitered end of pipe culvert.

4) Riprap placed beyond the limits shown will be paid for as concrete riprap in accordance with Item 432, "Riprap".

5) Quantities shown are for one end of pipe reinforced concrete pipe (RCP) culvert. For multiple pipe culverts or for corrugated metal pipe (CMP) culverts, quantities will need to be adjusted. Riprap quantities are for Contractor's information only.

SHEET 1 OF 2

**SAFETY END TREATMENT**  
FOR 12" DIA TO 60" DIA  
PIPE CULVERTS  
TYPE II - CROSS DRAINAGE

**SETP-CD**

Project: 06824	Revision: 001	Scale: 1/8" = 1'-0"	Date: 03/10/2021
Drawn: MJH	Checked: RCK	Author: RYAN C. KING	Project No: 06824
Project: 06824	Revision: 001	Scale: 1/8" = 1'-0"	Date: 03/10/2021
Drawn: MJH	Checked: RCK	Author: RYAN C. KING	Project No: 06824

#### OUTFALL STRUCTURE STEEL FRAME DETAIL

PLAN NOT TO SCALE

6" TYP WIDTH OF OPENING

PLACE 1/2"x3/8"x9" GALVANIZED WITH (4) 3/8" DIA. HILTI KWIK BOLTS INTO STORM STRUCTURE AT FOUR CORNERS AND SPACED AT 8" MAX 4" DEEP

#### GRouted ROCK RIPRAP DETAIL FOR BENDS

INSTALL RIPRAP

10' MIN.

10' MIN.

10' MIN.

N.T.S.

#### TRASH RACK DETAIL FOR OUTFALL STRUCTURE

PLAN NOT TO SCALE

6" TYP WIDTH OF OPENING

6.66'

TOP OF TRASH RACK TO BE AT 5 YR WSEL ELEV: 523.50

SQUARE BUTT WELD ALL AROUND (TYP 4 SIDES) 2"x2" 0.120 WIRE CLOTH MESH (GALVANIZED) TACK WELDED TO HSS FRAME (TYP 4 SIDES AND TOP) HSS 3"x3"x2" (GALVANIZED) (TYP) MAINTAIN 6" BETWEEN BOX AND SCREEN ALL SIDES AND TOP 8" MAX SPACING STORM STRUCTURE

PLACE 1/2"x3/8"x9" GALVANIZED WITH (4) 3/8" DIA. HILTI KWIK BOLTS INTO STORM STRUCTURE FOOTING AT FOUR CORNERS AND SPACED AT 8" MAX 4" DEEP

#### GRouted ROCK RIPRAP DETAIL FOR INTERSECTIONS

INSTALL RIPRAP

10' MIN.

10' MIN.

10' MIN.

N.T.S.

NOTE:

- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,200 PSI (MIN 7.0 SACK MIX) NO FLY ASH.
- REINFORCING BARS SHALL HAVE A MINIMUM CLEAR COVER OF 2".
- ALL REINFORCING STEEL SHALL BE ASTM A615 GRADE 60.

SHEET 2 OF 2

**SAFETY END TREATMENT**  
FOR 12" DIA TO 60" DIA  
PIPE CULVERTS  
TYPE II - CROSS DRAINAGE

**SETP-CD**

Project: 06824	Revision: 001	Scale: 1/8" = 1'-0"	Date: 03/10/2021
Drawn: MJH	Checked: RCK	Author: RYAN C. KING	Project No: 06824
Project: 06824	Revision: 001	Scale: 1/8" = 1'-0"	Date: 03/10/2021
Drawn: MJH	Checked: RCK	Author: RYAN C. KING	Project No: 06824

#### CROSS PIPE AND CONNECTIONS DETAILS

OPTION A1

OPTION A2

#### PIPE RUNNER DETAILS

OPTION B1

OPTION B2

#### BOTTOM ANCHOR PIPE DETAILS

OPTION B1

OPTION B2

#### BOTTOM ANCHOR TOEWALL DETAILS

OPTION B1

OPTION B2

#### SHOWING CROSS PIPE AND ANCHOR TOEWALL

SECTION A-A

#### SHOWING TYPICAL PIPE CULVERT AND RIPRAP

SECTION A-A

MATERIAL NOTES:

1) Riprap placed beyond the limits shown will be paid for as concrete riprap in accordance with Item 432, "Riprap".

2) Recommended values of side slope are 3:1, 4:1, and 6:1. All quantities, calculations, and dimensions shown herein are based on these recommended values. Slope of 3:1 or flatter is required for vehicle safety.

3) Note that actual slope of pipe runner may vary slightly from side slope of riprap and trimmed culvert pipe edge.

4) Ensure that riprap concrete does not flow into the cross pipe so as to permit disassembly of the bolted connection to allow channel access.

5) After installation, inspect the 1/2" hole to ensure that the top of the pipe runner with the bottom anchor pipe is adequate.

6) At fabricator's option, a lead bend to a smooth 5" radius or a manufactured elbow of the same material as the runner may be substituted for the mitered and welded joint in the bottom anchor pipe.

SHEET 2 OF 2

**SAFETY END TREATMENT**  
FOR 12" DIA TO 60" DIA  
PIPE CULVERTS  
TYPE II - CROSS DRAINAGE

**SETP-CD**

Project: 06824	Revision: 001	Scale: 1/8" = 1'-0"	Date: 03/10/2021
Drawn: MJH	Checked: RCK	Author: RYAN C. KING	Project No: 06824
Project: 06824	Revision: 001	Scale: 1/8" = 1'-0"	Date: 03/10/2021
Drawn: MJH	Checked: RCK	Author: RYAN C. KING	Project No: 06824

#### TYPICAL HEADWALL RIPRAP DETAIL

SECTION A-A

N.T.S.

#### GENERAL NOTES

- All materials and construction shall conform to "Standard Specifications for Public Works Construction" by North Central Texas Council of Governments (NCTCOG) most recent amendment if not covered by City of Rockwall's standards or specified on the plans.
- Excavated material shall be disposed of by the contractor at his expense.
- All concrete structures shall be class F (4200psi, min. 7.0 sack concrete). No fly ash is allowed in concrete structures.

RELEASED FOR CONSTRUCTION

REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

RECORD DRAWINGS

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.

RYAN C. KING  
RYAN C. KING, P.E.

4/26/2024  
DATE

**CAUTION! EXISTING UTILITIES**

CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES INDICATED ON THESE PLANS. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**BENCHMARK:**  
BM#1 (#102)  
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY. ELEVATION = 531.58

BM#5 (#106)  
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHWEST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHWEST CORNER OF THE HEADWALL WITH AN 8'x8' BOX CULVERT. ELEVATION = 557.33'

**ENGINEERING CONCEPTS & DESIGN, L.P.**

ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/10/2021

DRAWN: MJH DATE: 03/10/2021  
CHECKED: RCK DATE: 03/10/2021  
PROJECT NO.: 06824  
DWG FILE NAME: 06824 DT.DWG

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN C. KING, P.E. 123635

## STORM DETAILS

# SADDLE STAR SOUTH AMENITY CENTER

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

REVISIONS:

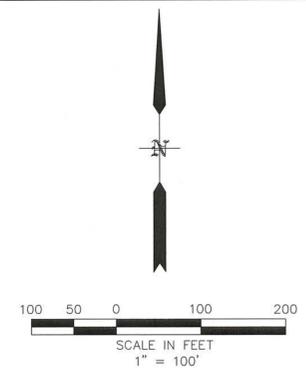
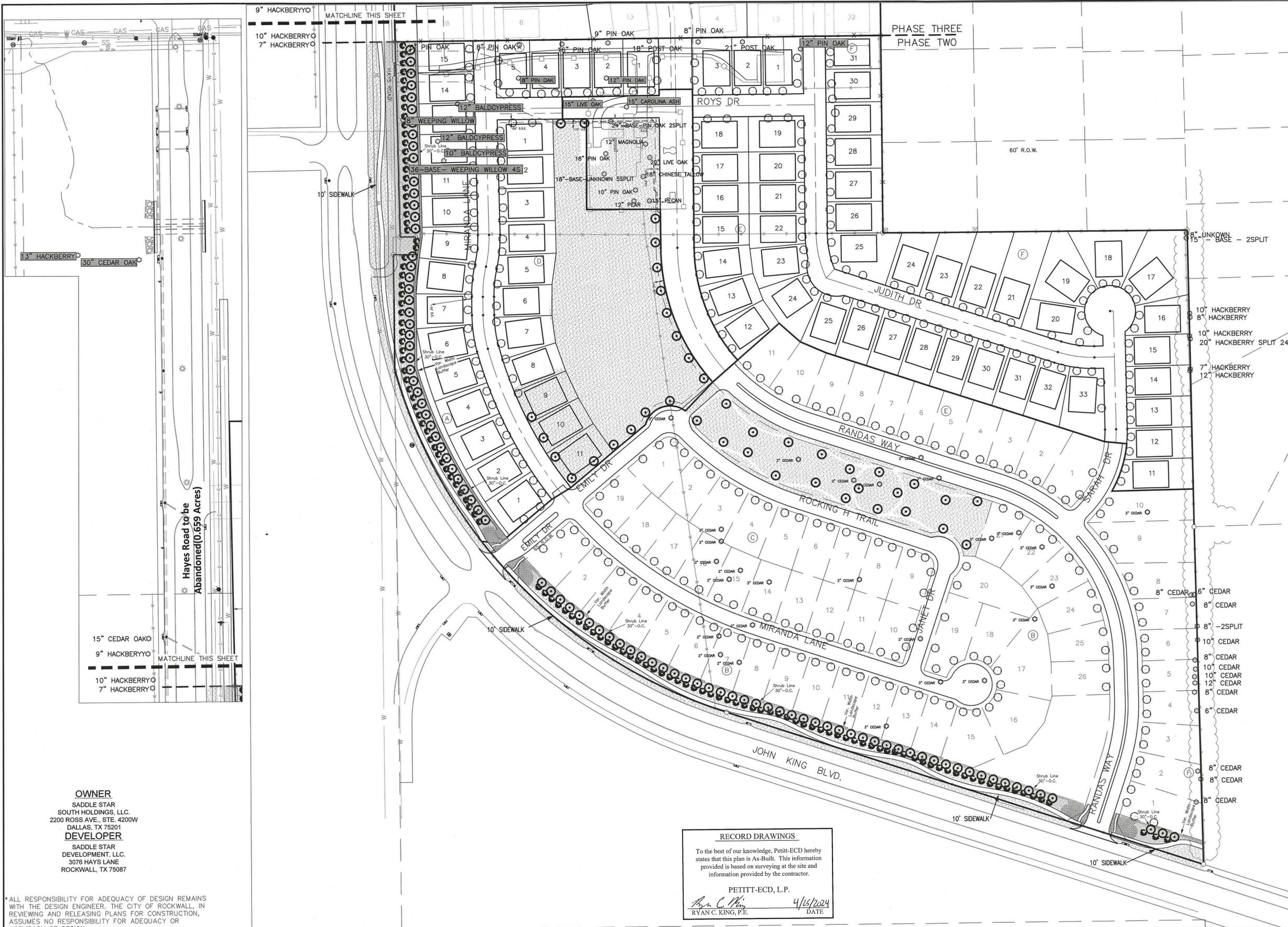
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/10/2021

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RELEASED FOR CONSTRUCTION

REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SHEET 27 OF 27



**LEGEND**

- EXISTING TREE
- PROPOSED 4" CANOPY TREE  
(Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)
- PROPOSED 3" CANOPY TREE  
(Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)
- PROPOSED 3" EASTERN RED CEDAR
- PROPOSED 2" ORNAMENTAL TREE  
(Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel and Desert Willow)

- BERMUDA GRASS
- SHRUB BED
- BEE HAPPY MIX
- WHITE CRUSHED GRANITE
- TEXAS RIVER ROCK MIX

**SADDLE STAR SOUTH TREES to be REPLACED**

82 - 4" CANOPY TREE  
 316 - 3" CANOPY TREE  
 112 - 6' ACCENT TREE

1260 CALIPER INCHES

**SADDLE STAR SOUTH TREES to be REMOVED**

1	-	8" PIN OAK
2	-	12" PIN OAK
1	-	15" LIVE OAK
1	-	15" CAROLINA ASH
1	-	8" WEEPING WILLOW
1	-	36" WEEPING WILLOW
1	-	10" BALDCYPRESS
2	-	12" BALDCYPRESS
1	-	30" CEDAR ELM
1	-	13" HACKBERRY

183 CALIPER INCHES

RELEASED FOR CONSTRUCTION  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**OWNER**  
 SADDLE STAR SOUTH HOLDINGS, LLC.  
 2200 ROSS AVE., STE. 4200W  
 DALLAS, TX 75201

**DEVELOPER**  
 SADDLE STAR DEVELOPMENT, LLC.  
 3076 HAYS LANE  
 ROCKWALL, TX 75087

\* ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**BENCHMARK:**  
 BM#1 (#102)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.  
 ELEVATION = 531.58

BM#3 (#106)  
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'x8' BOX CULVERT.  
 ELEVATION = 557.33'

**ENGINEERINGCONCEPTS & DESIGN, L.P.**

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

**RECORD DRAWINGS**

To the best of our knowledge, Pettitt-ECD hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

PETTITT-ECD, L.P.  
 Ryan C. King, P.E. 4/26/2024 DATE

REVISIONS:

DRAWN: RCK	DATE:
CHECKED: RKH	DATE: 03/10/2021
PROJECT NO.: 06824	
DWG FILE NAME: 06824 TREESCAPE.DWG	

**LANDSCAPE/TREE PLAN**

**SADDLE STAR SOUTH**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
**27-B**  
 OF  
**27**