PLANS FOR THE CONSTRUCTION OF WATER, SEWER, PAVING, GRADING & DRAINAGE IMPROVEMENTS

TO SERVE

VICTORY ROCKWALL

2335 S GOLIAD THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS MEADOWCREEK BUSINESS PARK **CENTER PHASE 1** LOT 2, BLOCK 1



VICINITY MAP

OWNER/DEVELOPER: VICTORY REAL ESTATE GROUP 2911 TURTLE CREEK BLVD STE 700 DALLAS, TEXAS 75219 PHONE: (972) 707-9555 CONTACT: BOBBY MENDOZA bmendoza@vg-re.com

ENGINEER: KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PHONE: (817) 488-4960 CONTACT: JOHN GARDNER, P.E. iohn.gardner@trustke.com

SURVEYOR: BARTON CHAPA SURVEYING 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PHONE: (817) 864 - 1957 CONTACT: JÁCK BARTON, RPLS





RECORD DRAWING

THIS RECORD DRAWING IS A COMPILATION OF A THIS RECORD DRAWING IS A COMPILATION OF A COPY OF THE APPROVED SEALED ENGINEERING DRAWING FOR THIS PROJECT: MODIFIED BY ADDENDUM CHANGE ORDERS AND INFORMATION PROVIDED BY THE CONTRACTOR. THE INFORMATION SHOWN THAT WAS PROVIDED BY THE CONTRACTOR OR OTHER NOT ASSOCIATED WITH KIRKMAN ENGINEERING CANNOT BE VERIFIED FOR ACCURACY OR COMPLETENESS

_ DATE: ____11/22/23

UTILITY PROVIDER INDEX CLINTON.STEVENS@ONCOR.COM ELECTRIC CLINT STEVENS

MARCH 2023

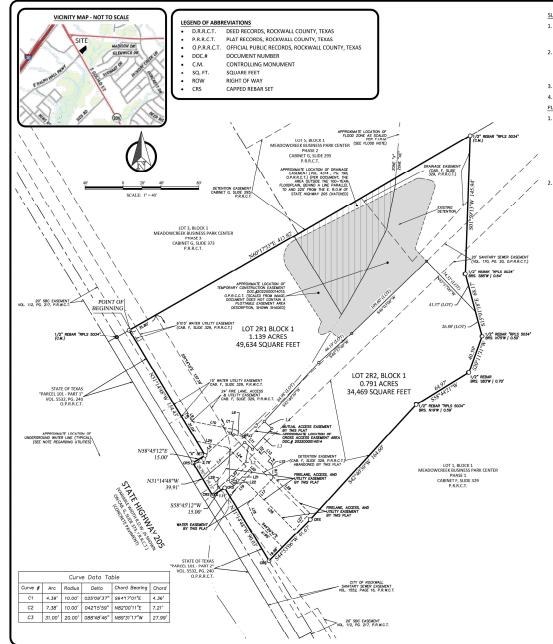
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SURVEYOR'S NOTES:

- 1. Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.000146135.
- This property lies within Zone "X" & Zone "AE" of the Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, map no. 48397C0040L, with an effective date of September 26, 2008, via scaled map location and graphic
- Monuments are found unless specifically designated as set.
- 4. Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

PLAT NOTES:

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

| Line Data Table | | | L | ine Data | Table |
|-----------------|----------|-------------|--------|----------|-------------|
| Line # | Distance | Bearing | Line # | Distance | Bearing |
| L1 | 58.78* | N48"21'22"E | L21 | 23.90* | N43*48'48"E |
| L2 | 10.98' | N48'48'18"W | L22 | 5.00" | S46"11'12"E |
| L3 | 30.04' | S42'44'56"W | L23 | 23.99' | S43'48'48"W |
| L4 | 11.01" | S47'52'42"E | L24 | 27.85 | S45'06'54"E |
| L5 | 50.71 | N4873'36"E | L25 | 32.96' | S79"11'17"E |
| L6 | 10.85 | S76"51'49"E | L26 | 129.32" | S45'06'54"E |
| L7 | 21.06' | N42'40'30"E | L27 | 24.02" | S42'40'30"W |
| L8 | 6.82' | N58*45'48"E | L28 | 67.59 | N45'06'54"W |
| L9 | 10.26 | S31"14'12"E | L29 | 15.04' | S46'04'20"W |
| L10 | 47.95' | S79"11'17"E | | | |
| L11 | 36.40' | S45'06'54"E | | | |
| L12 | 4.52' | N44'53'06"E | | | |
| L13 | 10.00 | S45'06'54"E | | | |
| L14 | 4.52' | S44'53'06"W | | | |
| L15 | 7.28' | S45'06'54"E | | | |
| L16 | 13.29* | S00'06'54"E | | | |
| L17 | 37.73 | S44'53'06"W | | | |
| L18 | 17.49' | S24'35'25"E | | | |
| L19 | 34.33 | S44'53'06"W | | | |
| L20 | 4.10' | S45'06'54"E | | | |

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John Gardner _ DATE: ___11/22/23

Kirkman Engineering, LLC 5200 State Highway 121 Colleyville, TX 76034 Phone: 817-488-4960

JOB NO. 2021.001.224 DRAWN: BCS CHECKED: JHB TABLE OF REVISIONS

> JOHN H. BARTON, III RPLS# 6737 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 (817) 864-1957 JACK@BCSDFW.COM

OWNER VICTORY SHOPS ON 205, LLC 2911 TURTLE CREEK BLVD. #700

OWNER BARBARA AND MARLYN ROBERTS 323 JULIAN DRIVE ROCKWALL, TX 75087 PH. 972.707.9553

FINAL PLAT LOTS 2R1 AND 2R2, BLOCK 1 **MEADOWCREEK BUSINESS CENTER PHASE I**

BEING A REPLAT OF LOT 2, BLOCK 1, MEADOWCREEK **BUSINESS CENTER PHASE I** 2 LOTS - 1.931 ACRES IN THE J. CADLE SURVEY, ABSTRACT NO. 65 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET:

1 OF 2

CITY CASE#P2022-XXX

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS VICTORY SHOPS ON 205, LLC, BARBARA ROBERTS, AND MARLYN ROBERTS are the owners of a tract situated in the J. Cadle Survey, Abstract No. 65 part of Lot 2, Block 1, Meadowcreek Business Park Center, an addition in the City of Rockwall, Bockwall County, Texas, according to the plat recorded in Cabinet F, Slide 329, Plat Records, Rockwall County, Texas, the subject tract being more particularly described as follows (bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '831):

BEGINNING at a point in the north line of said Lot 2, same being the northeast corner of the tract described in the deed to the State of Texas, recorded in Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, from which a 1/2 inch rebar with cap stamped "RPLS 5034" found at the northwest corner of said Lot 2 bears COUTH 60 degrees 17 minutes 53 seconds WEST, 15.01 feet;

THENCE with the perimeter and to the corners of said Lot 2, the following calls:

- NORTH 60 degrees 17 minutes 53 seconds EAST, a distance of 413.92 feet to a 1/2 inch rebar with cap stamped "RPLS 5034"
- 2. SOUTH 01 degree 59 minutes 13 seconds WEST, a distance of 145.94 feet to a point from which a 1/2 inch rebar with cap stamped "RPLS 5034" (disturbed) bears SOUTH 85 degrees WEST, 0.64 feet;
- 3. SOUTH 15 degrees 01 minute 18 seconds EAST, a distance of 68.17 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears NORTH 75 degrees West, 0.50 feet;
- SOUTH 20 degrees 11 minutes 31 seconds WEST, a distance of 40.59 feet to a point from which a 1/2
 inch rebar with cap stamped, "RPLS 5034" found bears SOUTH 83 degrees WEST, a distance of 0.70 feet;
- SOUTH 58 degrees 44 minutes 21 seconds WEST, a distance of 64.97 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears NORTH 19 degrees West, a distance of 0.59 feet;
- SOUTH 42 degrees 40 minutes 30 seconds WEST, a distance of 164.60 feet to a 1/2 inch rebar with cap stamped "BARTON CHAPA" set (hereinafter "capped rebar set");
- SOUTH 44 degrees 53 minutes 06 seconds WEST, a distance of 61.67 feet to a capped rebar set in the NORTH line of "Parcel 101 - Part 2" described by deed to the State of Texas as recorded under Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

THENCE NORTH 31 degrees 14 minutes 48 seconds WEST, with the east line of said "Pacel 101 - Part 2", a distance of 90.03 feet to a capped rebar set at the northeast corner thereof;

THENCE SOUTH 58 degrees 45 minutes 12 seconds WEST, with the west line of said "Parcel 101 - Part 2", a distance of 15.00 feet to a capped rebar set for the northwest corner thereof, same being in the west line of said to 7.2.

THENCE NORTH 31 degrees 14 minutes 48 seconds WEST, with the west line of said Lot 2, a distance of 39.91 feet to a capped rebar set at the southwest corner of said State of Texas (Vol. 5532, Pg. 240) tract;

THENCE with the south line of said State of Texas tract, through the interior of said Lot 2, NORTH 58 degrees 45 minutes 12 seconds EAST a distance of 15.00 feet to an "X" cut set in a concrete driveway;

THENCE with the east line of said State of Texas tract, through the interior of said Lot 2, NORTH 31 degrees 14 minutes 48 seconds WEST, a distance of 154.43 feet, returning to the POINT OF BEGINNING and enclosing 1931 acres (84,103 source feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

Victory Shops on 205, LLC, (the undersigned owner of the land shown on this plat and designated as Lot 2R2, Block 1), and Barbara Roberts and Marlyn Roberts (the undersigned owners of the land shown on this plat and designated as Lot 2R1, Block 1), and designated herein as the LOTS ZR1 AND 2R2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I, subdivision in the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the LOTS 2R1 AND 2R2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of

these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall, I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein

| VICTORY SHOPS ON 205, I | LLC (authorized agent) | _ |
|---|------------------------|--|
| STATE OF TEXAS | 9 | |
| COUNTY OF | § | |
| appeared | known to me to | in and for the State of Texas, on this day personally be the person whose name is subscribed to the foregoing executed the same as for the purpose and consideration ted. |
| Notary Public in and for the State of Texas | • | |
| BARBARA ROBERTS | | _ |
| STATE OF TEXAS | § | |
| COUNTY OF | §. | |

| Notary Public in and for | | |
|--------------------------|---|--|
| the State of Texas | | |
| MARLYN ROBERTS | | |
| STATE OF TEXAS | § | |
| COUNTY OF | § | |
| | | |

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

| Notary Public in and for | |
|--------------------------|--|
| the State of Texas | |

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

SURVEYOR'S CERTIFICATE

I, John H. Barton III, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Date of Plat/Map: June 10, 2022

John H. Barton III, RPLS# 6737

| Planning | & | Zoning | Commission, | Chairmar |
|----------|---|--------|-------------|----------|

APPROVED:

City Enginee

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the day of 20.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County (Clerk of Rockwall, County, Texas, within one hundred eighty (180) doys from said date of final approved within one hundred eighty (180) doys from said date of final approved.

Date

| day of | , 20 |
|--------|--------|
| | |
| | |
| | day of |

RECORD DRAWING

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| BY:_ | John Gardner | DATE: | 11/22/23 | |
|------|--------------|-------|----------|--|
| | | | | |

ENGINEER



Kirkman Engineering, LLC 5200 State Highway 121 Colleyville, TX 76034 Phone: 817-488-4960 patrick.filson@trustke.com

| JOB NO. | 2021.001.224 | | | | |
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| DRAWN: | BCS | | | | |
| CHECKED: | JHB | | | | |
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SURVEYOR
DARTON CHAPA SURVEYING, LLC
JOHN H. BARTON, III RPL\$# 6737
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
(817) 864-1957
JACK@BCSDFW.COM

OWNER VICTORY SHOPS ON 205, LLC 2911 TURTLE CREEK BLVD. #700 DALLAS, TX 75219 PH. 972.707.9555

OWNER
BARBARA AND MARLYN ROBERTS
323 JULIAN DRIVE
ROCKWALL, TX 75087
PH. 972.707.9555

FINAL PLAT LOTS 2R1 AND 2R2, BLOCK 1 MEADOWCREEK BUSINESS CENTER PHASE I

BEING A REPLAT OF LOT 2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE 1 2 LOTS 1.931 ACRES IN THE J. CADLE SURVEY, ABSTRACT NO. 65 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET:

2 OF 2

CITY CASE#P2022-XXX

GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments. 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more
- The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: http://www.rockwall.com/engr.asp
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set Prior to construction, CONTRACTOR shall have in their possession all neces sary permits, plans, license
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

- shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes but is not limited to preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- s as shown on the erosion control plan for the project shall be installed prior to the star
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer
- and the City of Rockwall prior to implementation.

 If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosino control devices shall be inspected weekly by the CONTRACTOR and after all major rain events or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP) CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains.
- The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.

 CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by
- sprinkling water or other means as approved by the City Engineer.

 CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements
- . All adjacent streets/alleys shall be kept clean at all times
- 11. CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10inches or taller in height must be cut immediately.
- 12. Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not meet. Work may commence after deficiency has been rectified
- 13 During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanen stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.

 Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall
- be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

- removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.
- 15. All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of
- 16. During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet

TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way. temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.

 All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with
- the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. After composity trainer Conference and the Centered as soon do practice when they are no tonger reactions to the When work is suspended for short periods of time at the end of the workship all temporary trainer control deveices that are no longer appropriate shall be removed or covered. This rivolation will first provision with example to the construction foreman. Subsequent violations will result in as verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am – 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not. No traffic signs shall be taken down without permission from the City.
- 10. No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES

- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and ,or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call 811 line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
 - a. No more than 500 linear feet of trench may be opened at one time.
 - b. Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends. c. Applicable safety regulations shall be complied with.
- 11. This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections
- CONTRACTOR shall supply and install pipe adapters as necessary.

 12. All underground lines shall be installed, inspected, and approved prior to backfilling.
- 13. All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack
 - RECORD DRAWING

THIS RECORD DRAWING IS A COMPILATION OF A COPY OF THE APPROVED SEALED ENGINEERING DRAWING FOR THIS PROJECT; MODIFIED BY ADDENDUM CHANGE ORDERS AND INFORMATION PROVIDED BY THE CONTRACTOR THE INFORMATION SHOWN THAT WAS PROVIDED BY THE CONTRACTOR OR OTHER NOT ASSOCIATED WITH KIRKMAN ENGINEERING CANNOT BE VERIFIED FOR ACCURACY OR COMPLETENESS

BY: John Gardner DATE: 11/22/23

- WATER LINE NOTES

 1. The CONTRACTOR shall maintain existing water service at all times during construction
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes. DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of
- feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.

 Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall' engineering standards of design and construction manual.
- . CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves, Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as wel as any costs incurred when the loss of fire protection to a structure occurs
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valve (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municina
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the propose
- water line and every 250'.

 All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- 10. Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned Nondrollow With miss to retalian in placed same over an aid progged and air votor space symmetric and interest intensity of the filled with grout, flowable fill or an expandable permanent four product. Valves to be abandonet in place shall have any extensions and the valve box removed and shall be capped in concrete.
 All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited.
- to parking spaces and landscaping.
- All joints are to be megalug joints with thrust blocking.

- 13. Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
 14. CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
 15. All domestic and irrigation services are required to have a testable backflow device with a double check valve. installed per the City of Rockwall regulations at the property line and shown on plans

WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.

 Wastewater line for 4-inch through 15-inch shall be Green PVC SDR 35 (ASTM D3034) [less 10 ft cover and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and lager wastewater line shall be Green PVC – PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services
- will be allowed on a sanitary sewer line deeper than 10 feet.

 Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall'
- public works standard design and construction manual. Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on prop wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all lateral
- are accounted for and transferred to proposed wastewater lines prior to abandonment. All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within
- abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grade
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD
 prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVI. to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentiet
- (20th) month of the maintenance period. All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epor coating, ConShield, or approved equal. Consheild must have terracotta color dve mixed in the precast an cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehat manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- 11. All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) ri
- 12. If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pum plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approve prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Nois Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less that
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.



GENERAL CONSTRUCTION NOTES

CITY OF ROCKWALL ENGINEERING DEPARTMENT

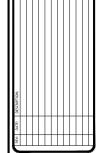
385 3. Goliad Rockwall, Texas 75087 P (972) 771-7740



VICTORY GROUP

ot 2, block 1 7 of rockwall 5 county, texas CITY O CITY O DALLAS O

ROCKWALL RETAIL





CITY OF **ROCKWALL**

> **NOTES** C1.3

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be permission into it is a metecus ploquet a permit from the City of Rockwall. 100 Eccess Acceptation saint to deposited in the City Limits when the City of Rockwall. If the CONTRACTOR permits of the materials in these areas without permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

PAVING AND GRADING

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations) Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
- All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

| minimum comorm to the Cit | standards or i | | | | CIOW. | |
|---------------------------|----------------------|--------------|----------------|----------------|---------------------|-----------------------|
| Street/Pavement Type | Minimum Thickness | | | | Steel Reinforcement | |
| Street/Pavement Type | (inches) | Day (psi) | Machine placed | Hand Placed | Bar# | Spacing (O.C.E.W.) |
| Arterial | 10" | 3,600 | 6.0 | 6.5 | #4 bars | 18" |
| Collector | 8" | 3,600 | 6.0 | 6.5 | #4 bars | 18" |
| Residential | 6" | 3,600 | 6.0 | 6.5 | #3 bars | 24" |
| Alley | 7"-5"-7" | 3,600 | 6.0 | 6.5 | #3 bars | 24" |
| Fire Lane | 6" | 3,600 | 6.0 | 6.5 | #3 bars | 24" |
| Driveways | 6" | 3,600 | 6.0 | 6.5 | #3 bars | 24" |
| Barrier Free Ramps | 6" | 3,600 | N/A | 6.5 | #3 bars | 24" |
| Sidewalks | 4" | 3,000 | N/A | 5.5 | #3 bars | 24" |
| Parking Lot/Drive Aisles | 5" | 3,000 | 5.0 | 5.5 | #3 bars | 24" |
| Dumpster Pads | 7" | 3,600 | 6.0 | 6.5 | #3 bars | 24" |

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- 0. All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
- All public sidewalks shall be doweled into payement where it abuts curbs and driveways. Expansion toint material shall be used at these locations.
- 2. All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in
- appearance) 3. Cracks formed in concrete payement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated or the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR
- 4. All residential lots will require individual grading plans submitted during the building permit process that
- correspond with the engineered grading and drainage area plans.

 Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in
- suspension of all work at the job site until issue has been rectified. All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
- . CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

DRAINAGE / STORM SEWER NOTES

- The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City
- All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
- Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
- All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
- All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
- All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.

 All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers
- Inig and covers.

 All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.

RETAINING WALLS

- All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
- All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line
- All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
- No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will
 require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

FINAL ACCEPTANCE AND RECORD DRWINGS/AS-BUILTS

- Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
- After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
- Submit 1 set of printed drawings of the "Record Drawings" containing copies of all absets to the Engineerin Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be ddressed prior to producing the digital files.
- Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.

 The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A
- disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like
- or similar disclaimer verbiage will not be accepted by the City of Rockwall.

 Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by

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John Gardner DATE: 11/22/23



GENERAL CONSTRUCTION NOTES

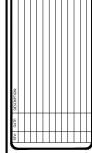
CITY OF ROCKWALL ENGINEERING DEPARTMENT

385 S. Goliad Rockwall, Texas 75087 P (972) 771-7746



VICTORY GROUP

ROCKWALL RETAIL LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS

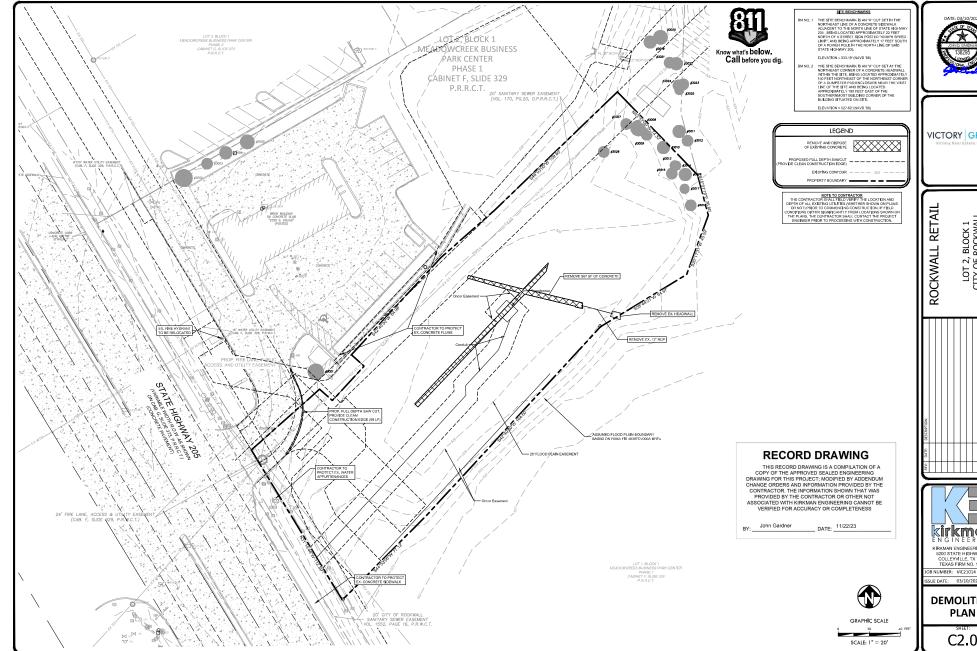




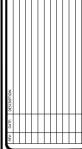
COLLEYVILLE, TX 76034 TEXAS FIRM NO. 15874 B NUMBER: VIC21014

CITY OF **ROCKWALL NOTES**

C1.4



LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS





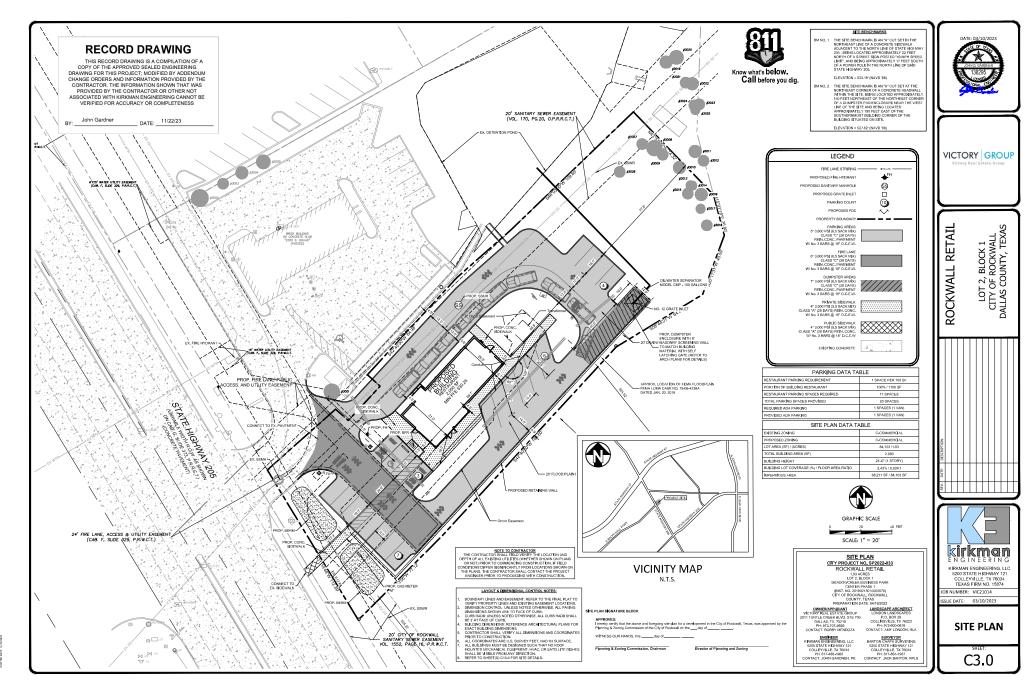
KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 TEXAS FIRM NO. 15874

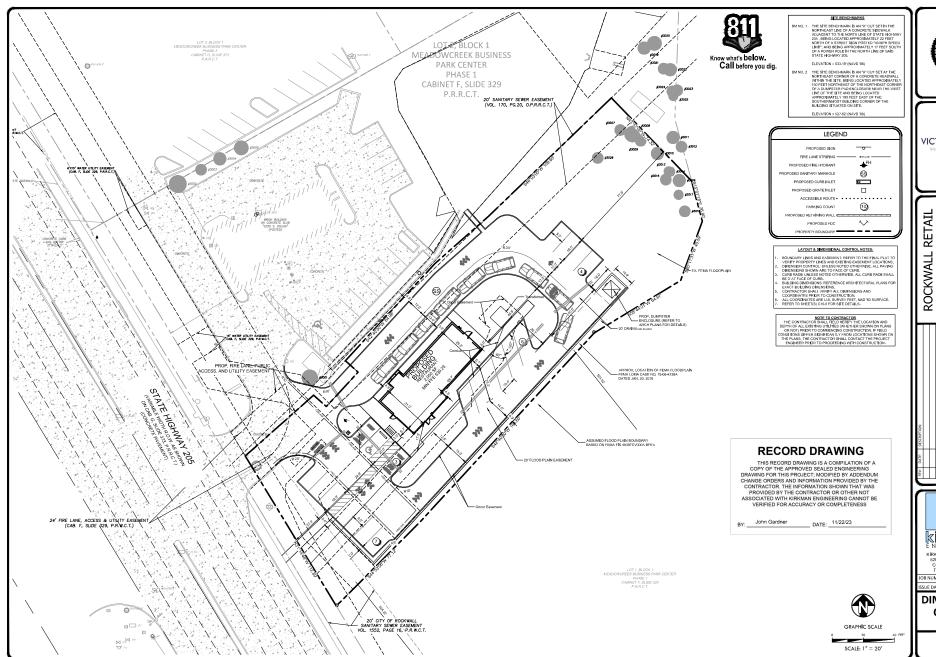
ISSUE DATE: 03/10/2023

DEMOLITION

PLAN

C2.0







LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS



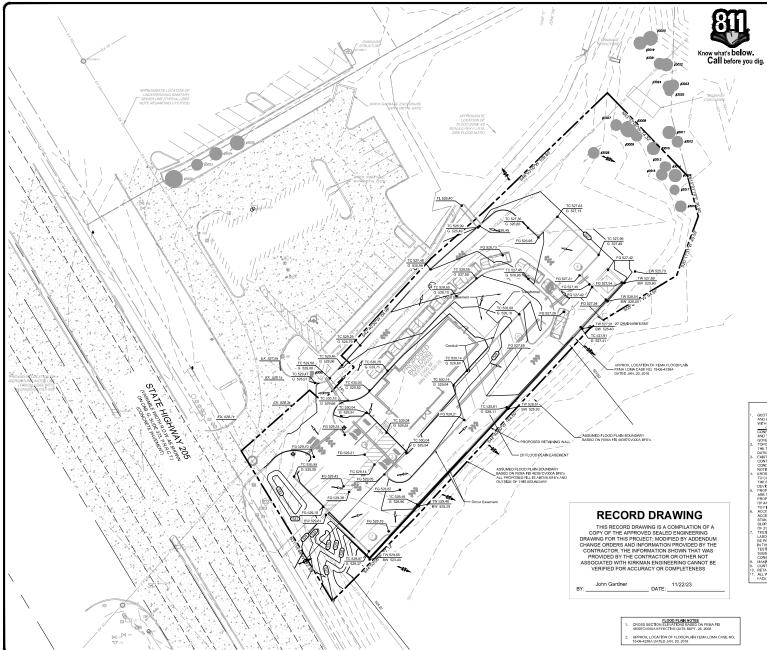


KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 TEXAS FIRM NO. 15874 JOB NUMBER: VIC21014

SUE DATE: 03/10/202

DIMENSIONAL CONTROL PLAN

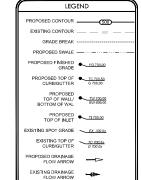
C4.0



ELEVATION = 533.19' (NAVD '88)

THE SITE BLOWNARK IS ANY CUT SET AT THE NORTH-EAST CORNER OF A CONCRETE HEADWALL WITHIN THE SITE BLOWNARK IS ANY CUT SET AT THE NORTH-EAST CORNER OF A CONCRETE HEADWALL WITHIN THE SITE BEING LOCATED AND ADMINISTRATION FOR A DUMPSTER PAD ENLISING MEANT THE WEST LINE OF THE SITE AND BEING LOCATED APPROXIMATELY 190 FEET EAST OF THE SOUTHERMOST BUILDING CORNER OF THE BUILDING SITUATED ON SITE.

ELEVATION = 527.62' (NAVD '88)



NOTE TO CONTRACTOR
THE CONTRACTOR SHALL RELD WERFY THE LOCATION AND
DEPTH OF ALL EMSTING UTILITIES WHEN THE SHOWN ON PLANS
OR NOT) PRIOR TO COMMENCING CONSTRUCTION, IF FIELD
CONTRIONS DEPTE (SCHEFCANTY FROM LOCATIONS SHOWN ON
THE PLANS, THE CONTRACTOR SHALL CONTRACT THE PROJECT OF SHOWN ON
ENGINEER PRIOR OF PROCEEDING WITH CONSTRUCTION.

PROPERTY BOUNDARY

GEOTECHNICAL REPORTS SIE PREPARATING GROBING FILL COMPACTION, AND BUILDING BY AND PREPARATING SHOUNG FILL COMPACTION, AND BUILDING BY AND SIE PREPARATING SHOUNG FILL COMPACTION, AND BUILDING SHOUNG FILL COMPACTION OF THE CONTROL OF THE CONTROL OF THE CONTROL SHOUNG FILL CONTROL SHOUNG FILL CONTROL SHOUNG FILL CONTROL OF THE CONTROL SHOUNG FILL CONTROL SHOUNG FILL

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VICTORY GROUP

LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS RETAIL ROCKWALL



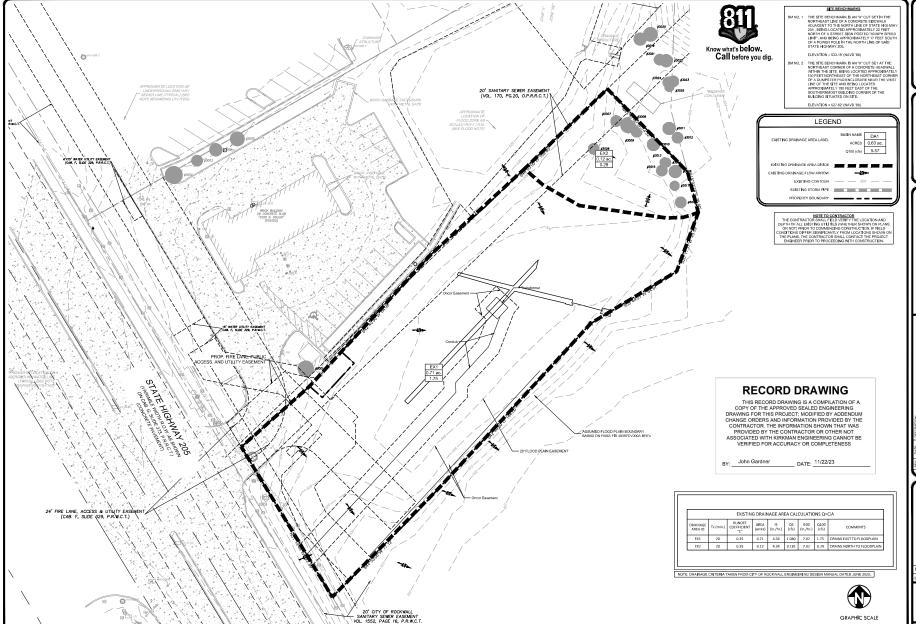


5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 TEXAS FIRM NO. 15874 OB NUMBER: VIC21014

SSUE DATE: 03/10/2023

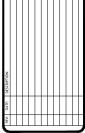
GRADING PLAN

C5.0





LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS ROCKWALL RETAIL





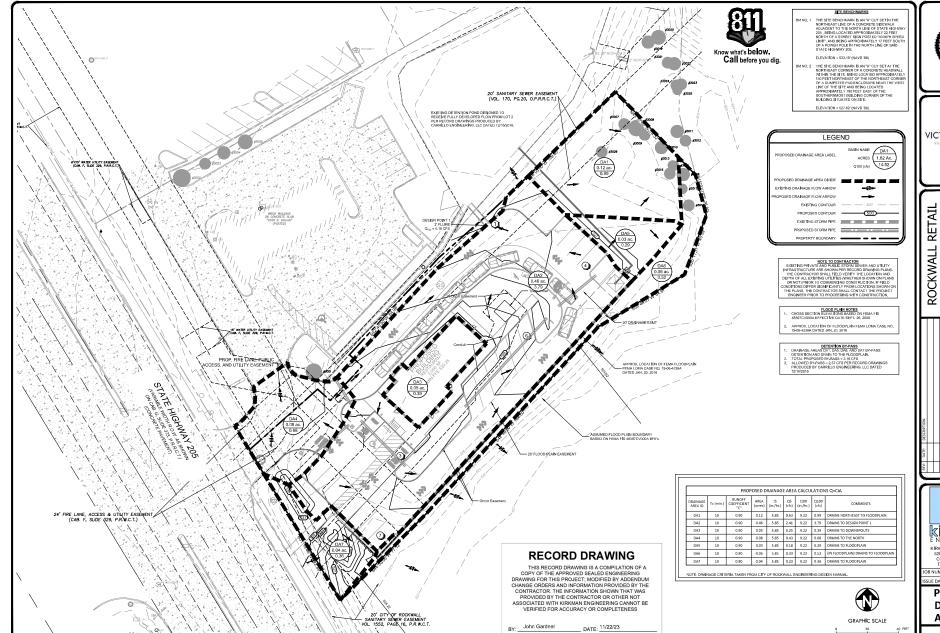
KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 TEXAS FIRM NO. 15874 OB NUMBER: VIC21014

GRAPHIC SCALE

SCALE: 1" = 20'

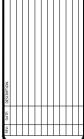
EXISTING DRAINAGE **AREA MAP**

6.0





LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS



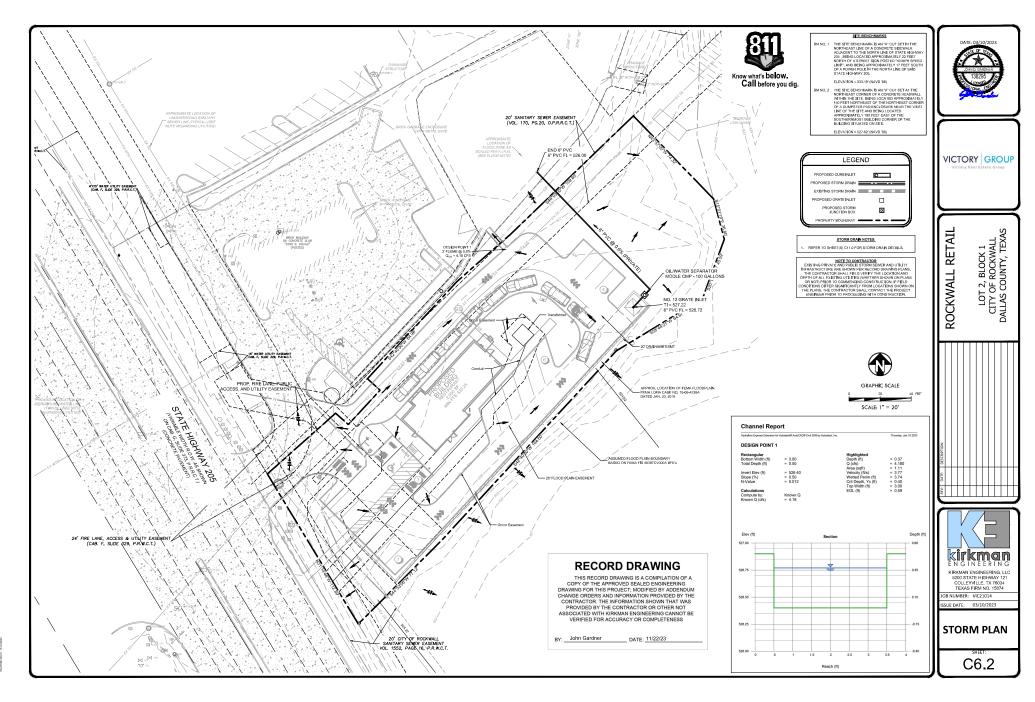


PROPOSED DRAINAGE **AREA MAP**

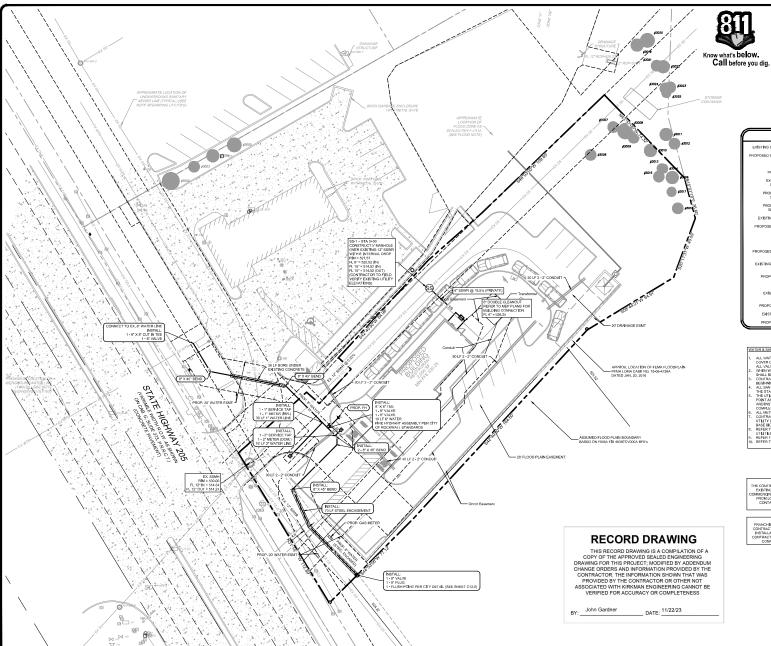
C6.1

SCALE: 1" = 20'









ELEVATION = 533.19' (NAVD '88)

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ELEVATION = 527.62' (NAVD '88)



WATER & SANITARY SEWER GENERAL NOTES

- ALL MATE MANDE LINES OF DEPONDER ONTED SHALL HAVE A MININGAL COVER OF A PERIOD PROMES OF THE MANDE A MININGAL COVER OF A PERIOD PROMES OF THE MANDE AND THE PROMES OF THE MANDE AND THE MANDE OF THE MANDE AND THE M

MOTE TO CONTRACTOR

NOTE TO CONTRACTOR SHALL FIELD VERBY THE LOCATION AND DEPTH OF ALL
EXISTING UTILITIES (WHETHER SHOWN OR PLANS OR NOT) PRIOR TO
COMMINIONS CONSTRUCTOR, IF FIELD COORDINGS DIFFER SIGNIFICANTLY
FROM LOCATIONS SHOWN ON THE PLANS. THE CONTRACTOR SHALL
CONTRACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH
CONSTRUCTION.

HOTE TO CONTRACTION -FRANCHISE LITHLINES
FRANCHISE LITHLINE ARE SHOWN FOR SCHEMAL CREEKINGS ONLY,
CONTRACTOR SHALL COORDINATE ALL FRANCHISE LITHLIN DESIGN AND
INSTALLATION WITH THE SPECIE UTILITY PROPIDER AND DESIGNARE,
CONTRACTOR SHALL COORDINATE ALL LITHLITY INSTALLATIONS TO AVIOL
CONFLICTS AT EXISTING AND PROPOSED LITH'Y CROSSNIGS.





VICTORY GROUP

LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS RETAIL ROCKWALL





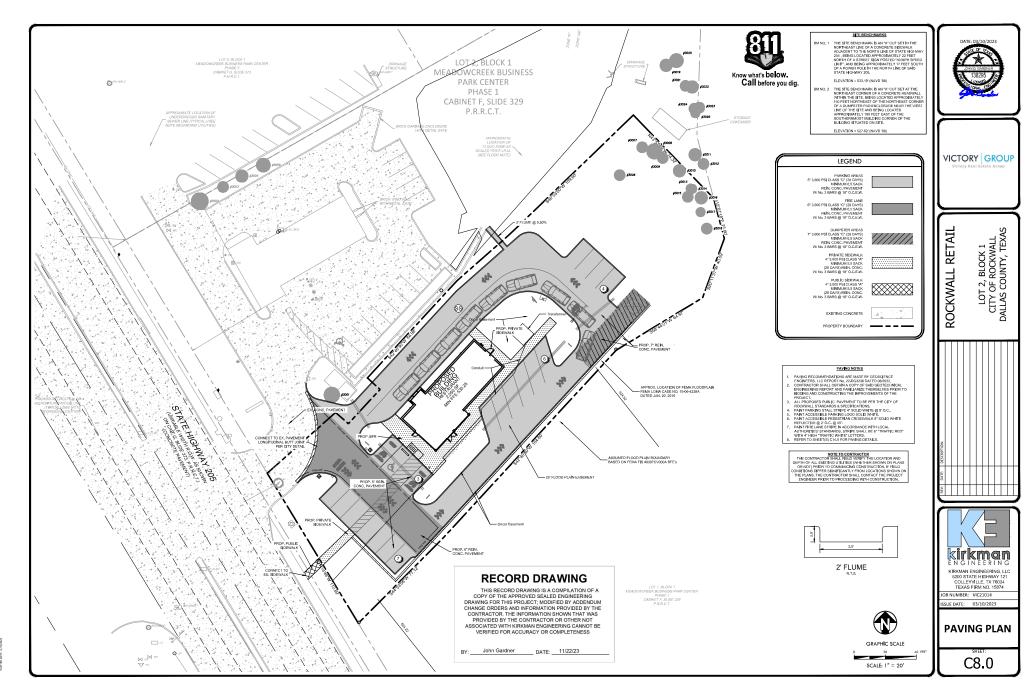
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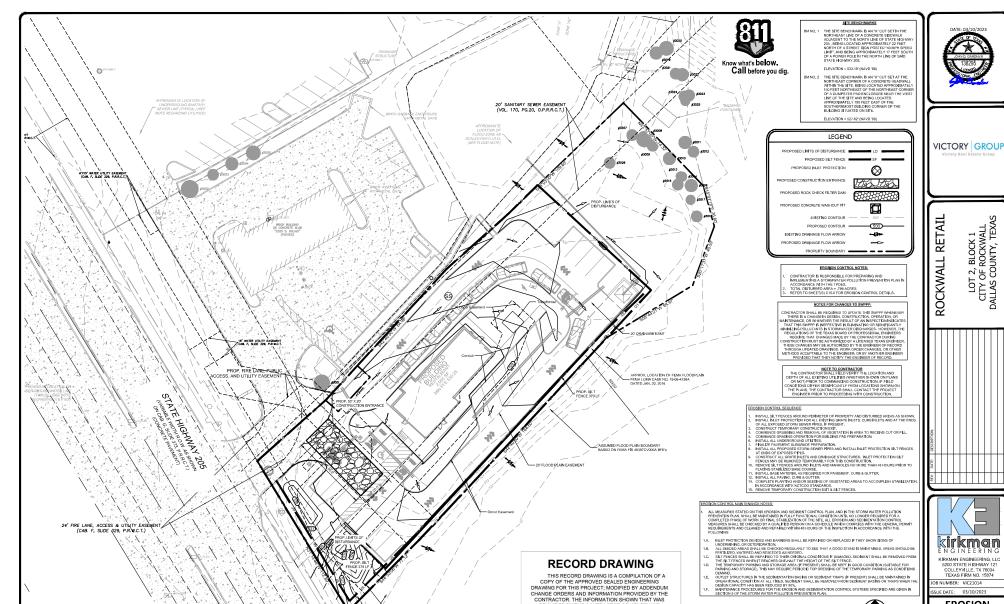
ISSUE DATE: 03/10/2023

UTILITY PLAN

C7.0







20' CITY OF ROCKWALL
SANITARY SEWER EASEMENT
VOL. 1552, PAGE 16, P.R.W.C.T.

PROVIDED BY THE CONTRACTOR OR OTHER NOT ASSOCIATED WITH KIRKMAN ENGINEERING CANNOT BE

VERIFIED FOR ACCURACY OR COMPLETENESS

John Gardner

_ DATE: __11/22/23

EROSION

GRAPHIC SCALE

SCALE: 1" = 20'

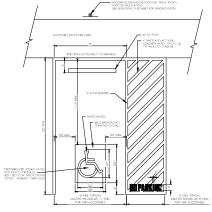
CONTROL PLAN

C9.0

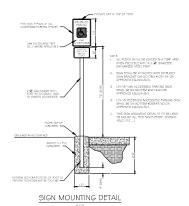
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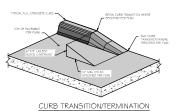
BY: ____John Gardner

__ DATE: ____11/22/23



ACCESSIBLE PARKING SPACE







VICTORY GROUP

LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS ROCKWALL RETAIL



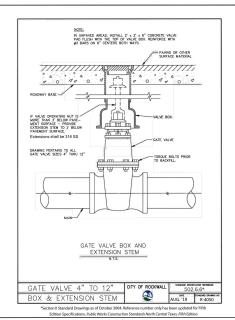


JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

SITE DETAILS

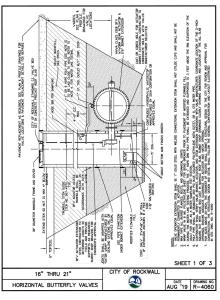
C10.0

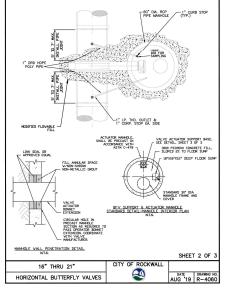


20

HORIZONTAL BUTTERFLY VALVES

AUG '19 R-4060





RECORD DRAWING

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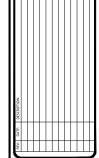
BY: John Gardner __ DATE: 11/22/23

VICTORY GROUP

RETAIL

LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS

ROCKWALL





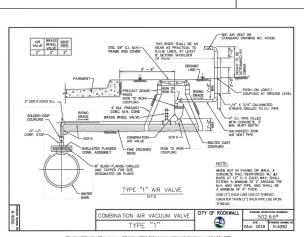
KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121

r. 2018 R-4110

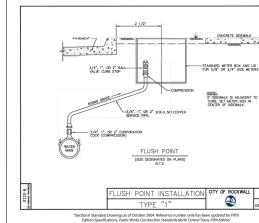
SSUE DATE: 03/10/2023

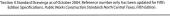
WATER **DETAILS**

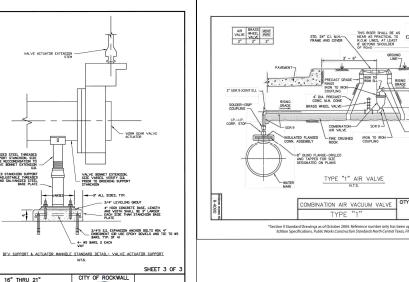
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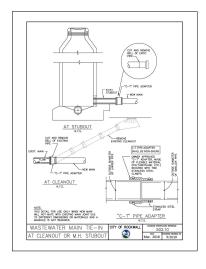


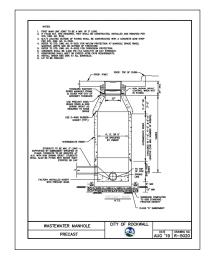


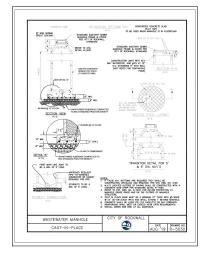


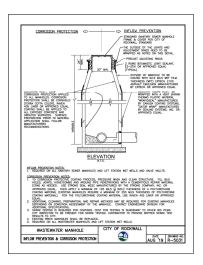


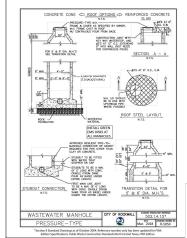








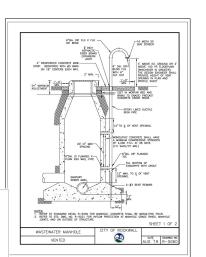






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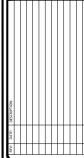
__ DATE: ____11/22/23 John Gardner





VICTORY GROUP

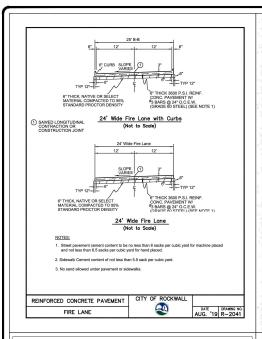
LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS RETAIL ROCKWALL

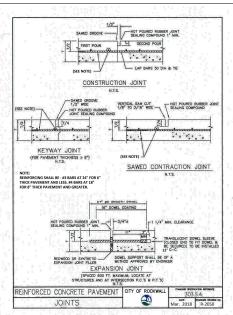


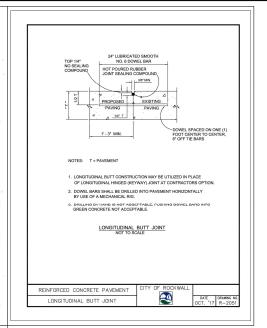


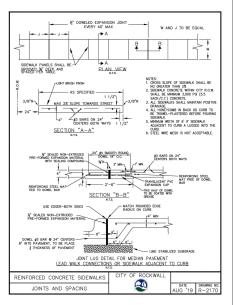
SANITARY SEWER **DETAILS**

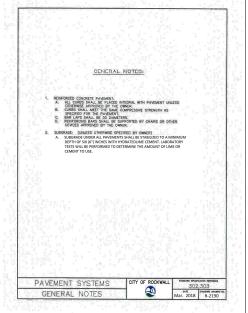
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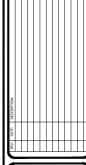
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BY: ___John Gardner ____ DATE: 11/22/23



VICTORY GROUP

LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS RETAIL ROCKWALL



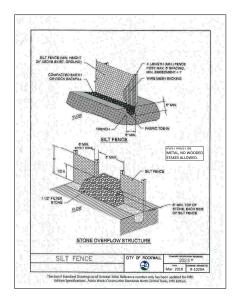


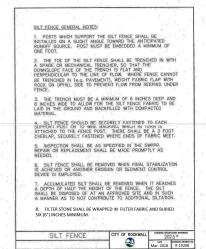
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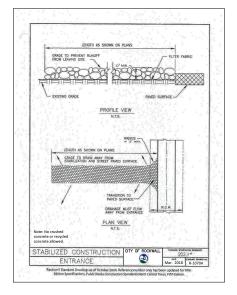
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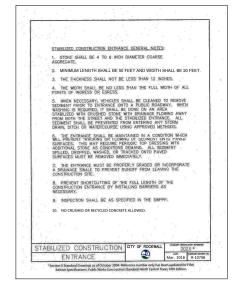
PAVING DETAILS

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DATE: 11/22/23

John Gardner

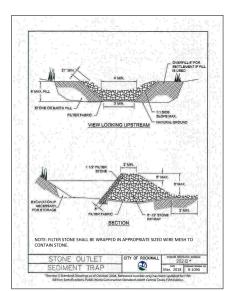
BY:

VICTORY GROUP

RETAIL

LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS

ROCKWALL



 THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWEPP AND SHALL BE REFLACED WHEN THE STRUCTURE CRASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETO. 3. WHEN SILT REACHES A DEPTH EQUAL TO ONE—THIRD OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER ISS., THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.

4. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL DE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

5. FILTER STONE SHALL BE WRAPPED IN APPROPRIATE SIZED WIR MESH TO CONTAIN STONE AND BURIED SIX (6") INCHES MINIMUM.

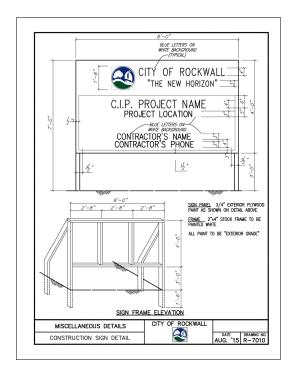
ROCK CHECK DAM

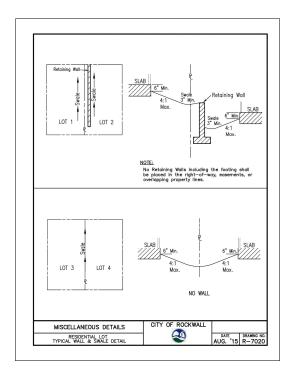




EROSION CONTROL **DETAILS**

C15.0





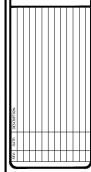
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__ DATE: _____ John Gardner



VICTORY GROUP

LOT 2, BLOCK 1 CITY OF ROCKWALL DALLAS COUNTY, TEXAS ROCKWALL RETAIL

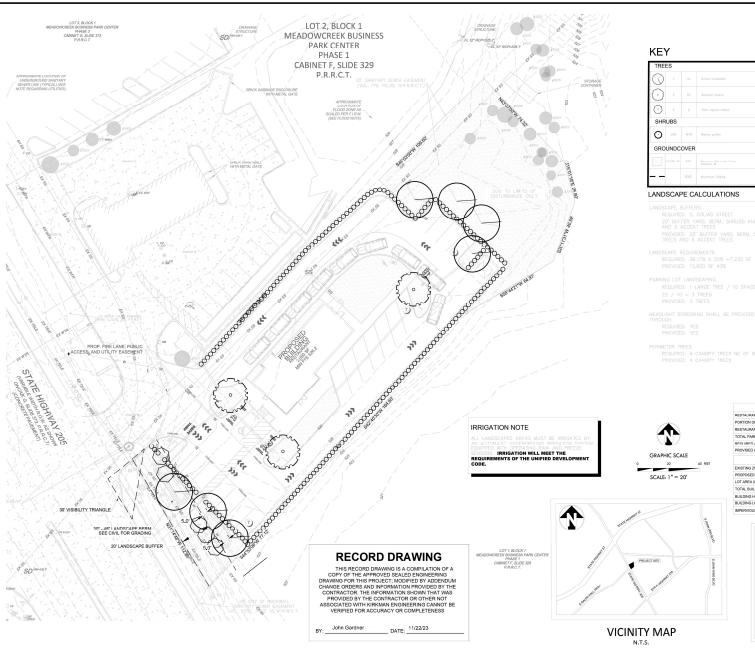




KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 TEXAS FIRM NO. 15874 JOB NUMBER: VIC21014

CITY DETAILS

C16.0





| _ | ES | | | | |
|-----|-----------|------|-----------------------------------|--------------------------|---|
| 0 | | UL | Ulmus crossifelia | Coder Elm | 4" Cel, Min, Cont. Grown-65 Gel. 12"-15" Height, 6"-8" Spread Specimen |
| 0 | | QT | Quercus texano | Texas Red Oak | 4" Col. Min. Cont. Grown-65 Gol. 12'-15' Height, 6'-8' Spread Specimen |
| 0 | | | Vitex agrus-castus | Vitex | 4" Multi Stem 8'-10' Ht. Min. Specimen |
| SHR | UBS | | | | |
| 0 | 206 | MYR | Myrica pusito | Dworf Wax Myrtle | 5 Gal. Minimum 30° Minimum height at planting Spaced per plas, matching |
| GRO | UNDC | OVER | | | |
| | (3,736 Kr | | Cammer Carmude Crass Tohoma 31 | Darrouda Grass | Solid god Cane fit Jahns and practice and coverage within 30 days of completic |
| | | EDGE | Numinum Edging | Cur-Rite Aluminum Edging | Submit Colors for Approval by Landscope Architect or Owner |

| PARKING DATA TABLE | | | | | |
|------------------------------------|--------------------|--|--|--|--|
| RESTAURANT PARKING REQUIREMENT | 1 SPACE PER 100 SF | | | | |
| PORTION OF BUILDING RESTAURANT | 100% / 1700 SF | | | | |
| RESTAURANT PARKING SPACES REQUIRED | 17 SPACES | | | | |
| TOTAL PARKING SPACES PROVIDED | 22 SPACES | | | | |
| RECUIRED ADA PARKING | 1 SPACES (1 VAN) | | | | |
| PROVIDED ADA PARKING | 1 SPACES (1 VAN) | | | | |
| SITE PLAN DATA | TABLE | | | | |

| SITE PLAN DATA TABLE | |
|--|-----------------------|
| EXISTING ZONING | C-COMMERCIAL |
| PROPOSED ZONING | C-COMMERCIAL |
| LOT AREA (SF) / (ACRES) | 84,103 /1.93 |
| TOTAL BUILDING AREA (SF) | 1,700 |
| BUILDING HEIGHT | 24'-0" (1 STORY) |
| BUILDING LOT COVERAGE (%) / FLOOR AREA RATIO | 2.0% / 0.020:1 |
| IMPERVIOUS AREA | 18,783 SF / 84,103 SF |





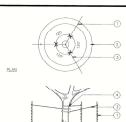
LOT 2, BLOCK 1 CITY OF RCCKWALL DALLAS COUNTY, TEXAS

ROCKWALL RETAIL



LANDSCAPE PLAN

L1.00



1 2 x2 x8 SIELL PENCE T POST, 3 PER TREE, SPACED EQUALLY, MATERIAL PER NOTES AND/OR SPECS.

2 4" EARTH SAUCER

CALVANIZED OUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE

4 RUBBER CHAFING GUARD (5) 3" ORGANIC MULCH

6 ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL (AS NECESSA)

(7) PLANTING PIT EXCAVATED 12* JPLANTING PIT EXCAVATED 12"
LARGER (MIN.) THAN WIDTH OF
ROOTBALL. PIT DEPTH AS NEEDED
TO SET ROOTBALL COLLAR AT
PROPOSED FINISHED GRADE. PLACE
ROUTBALL OW SOLID SOIL AND NOT
LOOSE BACKFILL.

8 PIT BACKFILL SOIL PER SPECIFICATIONS 9 UNDISTURBED EARTH



SECTION



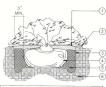
1)2"x2"x24" WOOD STAKE, 3 PER TREE, SMACED EQUALLY 24" EARTH SAUCER

GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE RUDDER CHAPING SUARD WARNING FLAGS B ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL REMOVE ALL NYLON STRINGS, PLASTIC LIBERS, AND OTHER SYNTHETIC MATERIALS FROM THE

ORGANIC MULCH 8 PLANTING PIT EXCAVATED 12" (8) PLANTING PIT EXCAVATED 12"
LANGED (UNL) THAN WOTH OF
ROOTBALL. PIT DEPTH AS NEEDED
TO SET ROOTBALL COLLAR AT
PROPOSED FINISHED GRADE, PLACE
ROOTBALL ON SOUL SOIL AND NOT
LOOSE BACKFILL.

(3) PIT BACKFILL SOIL





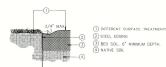
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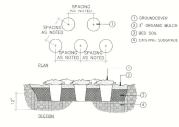
2 3" HIGH EARTH SAUCER (3) PLANTING PIT: EXCAVATE 6"
LARGER (MIN.) THAN MIDTH OF
ROOTBALL, W/ PIT DEPTH AS
NEEDED TO SET ROOTBALL
ROOTBALL ON SOLID SOIL AND NOT
LOSE BACKFILL SCARRY SIDES OF
PIT: PROWDE CONTINUOUS PIT FOR
MASSED BED 84. INTINUS. PIT. PROVIDE CONTINUOUS F

(4) ROOT BALEY REMOVE "PROM CONTAINER, CENTLY SCARIFY GIRDERED ROOTS AS NEEDED. (5) 門下当名な付払、Wアー教徒が発覚 SOIL BED MIX PER SPECIFICATIONS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.

(6) UNDISTURBED EARTH



D STEEL EDGING FOR PRIVATE PROPERTY USE ONLY- THESE DETAILS SHALL NOT BE USED IN THE R.O.W. OR EASEMENT AREAS.



FOR PRIVATE PROPERTY USE ONLY— THESE DETAILS DITALL NOT DE USED IN THE R.O.W. OR EASEMENT AREAS.



- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO TOWN APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- ALL TURF AREAS TO BE ESTABLISHED PRIOR TO THE CERTIFICATE OF OCCUPANCY, UNLESS OTHERWISE APPROVED BY THE TOWN.
- GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE TOWN.
- TREES MUST BE PLANTED FOUR FEET (40) OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS, AND/OR OTHER STRUCTURES THE TOWN HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACULTATE HEALTHY ROOT GROWTH. THEE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN QUT OF TREE PIT WITH IN A 24-HOUR PERIOD, THE CONTRACTOR SHALL PROVIDE DEFAUNCE, OF DEVISE ALTERNATIVE GRANAGE.
- 7. TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE". THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL, FREE OF ROCK AND OTHER DEBRIS.
- BURLAP, TWINE, AND WIRE BASKETS SHALL BE LOOSENED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE. TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION, IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ADSORPTION OF THE EXCESS WATER.
- 12. NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PROVINCE TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES MICHIED, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL VIRIMAING OF TREES, TRIMAING TREES WITH A BACKHOE OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREAT
- 13. TOPSOIL SHALL BE A MINIMUM OF 8 INCHES IN DEPTH IN PLANTING AREAS. SOIL SHALL BE FREE OF STONES, ROOTS, AND CLODS ANDVANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FOR PLANT GROWTH.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
- 16. A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS, WHERE SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT, AND TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 9 FEET.
- TREES PLANTED ON A SLOPE SHALL HAVE THE TREE WELL AT THE AVERAGE GRADE OF SLOPE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH, ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER, OR SOME THE PERMISS.
- 19. THE OWNER, TEMANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SERFALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISMENT, AND AND ADDRESS AN
- 20. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYOLD, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SMILAR SIZE AND AUGICTY WITHIN 20 DAYS UNLESS OTHERWISE. APPROVED IN WRITING BY THE TOWN OF PROSPER.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER, AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON RIGHT-OF-WAY, SIDEWALKS, OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- 24. NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 38 HORIZONTAL TO 18 VERTICAL
- EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SUIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PHOR TO ACCEPTANCE.
- 26. CONTACT TOWN OF PROSPER PARKS AND RECREATION DIVISION AT (972) 348-3502 FOR LANDSCAPE INSPECTION. NOTE THAT LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR TO FINAL ACCEPTANCE BY THE TOWN AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION, AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND OTHER APPLIETAMINGS, TO BE ACCESSIBLE, ADJUSTED TO GRADE, AND TO THE TOWN OF PROSPERTS PUBLIC WORKS DEPARTMENT STANDARDS.
- PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND OTHER UTILITY APPURTEMANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE TOWN.



RECORD DRAWING

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DATE: 11/22/23

BY: ______ John Gardner



VICTORY GROUP

7 2, ###### 7 OF ROCKWALL S COUNTY, TEXAS ROCKWALL RETAIL LOT 2 CITY C DALLAS





SUE DATE: 5/10/22

LANDSCAPE

DETAILS

L1.01

-(6)

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