

# PLANS FOR THE CONSTRUCTION OF WATER, SEWER, PAVING, GRADING & DRAINAGE IMPROVEMENTS

## TO SERVE

# VICTORY ROCKWALL

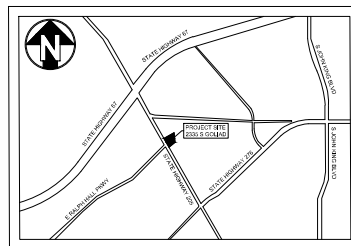
2335 S GOLIAD

THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
MEADOWCREEK BUSINESS PARK  
CENTER PHASE 1  
LOT 2, BLOCK 1

OWNER/DEVELOPER:  
VICTORY REAL ESTATE GROUP  
2911 TURTLE CREEK BLVD STE 700  
DALLAS, TEXAS 75219  
PHONE: (972) 707-9555  
CONTACT: BOBBY MENDOZA  
bmendoza@vg-re.com

ENGINEER:  
KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PHONE: (817) 488-4960  
CONTACT: JOHN GARDNER, P.E.  
john.gardner@trustke.com

**SURVEYOR:**  
BARTON CHAPA SURVEYING  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PHONE: (817) 864 - 1957  
CONTACT: JACK BARTON, RPLS  
jack@bcsdfw.com



VICINITY MAP  
N.T.S.

Sheet List Table

Sheet Number	Sheet Title
C1.0	COVER SHEET
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C1.2	FINAL PLAT 2of2
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C1.4	CITY OF ROCKWALL NOTES
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L1.00	LANDSCAPE PLAN
L1.01	LANDSCAPE DETAILS

UTILITY PROVIDER INDEX				
UTILITY	PROVIDER	CONTACT	PHONE NUMBER	EMAIL ADDRESS
GAS	ATMOS	THOMAS NEMARJAM	972-485-4277	THOMAS.NEMARJAM@ATMOSENERGY.COM
ELECTRIC	ONCOR	CLINT STEVENS	903-456-1660	CLINTON.STEVENS@ONCOR.COM
TELEPHONE/FIBER	AT&T	JOHN SIMMONS	903-457-2092	JSS481@ATT.COM



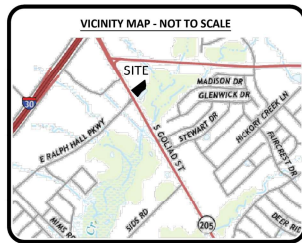
PROJECT NO. VIC21014

MARCH 2023

**RECORD DRAWING**

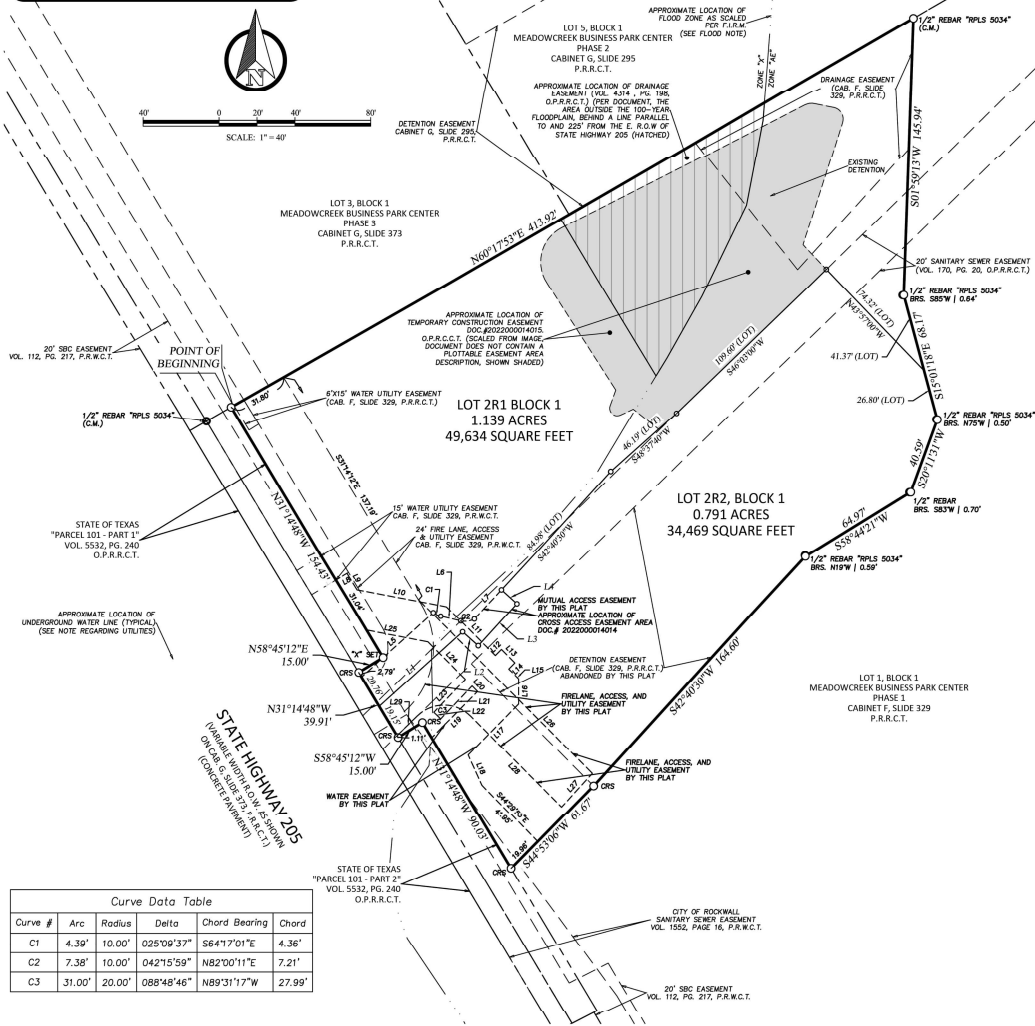
THIS RECORD DRAWING IS A COMPILATION OF A COPY OF THE APPROVED SEALED ENGINEERING DRAWING FOR THIS PROJECT; MODIFIED BY ADDENDUM CHANGE ORDERS AND INFORMATION PROVIDED BY THE CONTRACTOR. THE INFORMATION SHOWN THAT WAS PROVIDED BY THE CONTRACTOR OR OTHER NOT ASSOCIATED WITH KIRKMAN ENGINEERING CANNOT BE VERIFIED FOR ACCURACY OR COMPLETENESS

BY: John Gardner DATE: 11/22/23



#### LEGEND OF ABBREVIATIONS

- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET



#### SURVEYOR'S NOTES:

1. Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.000146135.
2. This property lies within Zone "X" & Zone "AE" of the Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, map no. 48397C0040L, with an effective date of September 26, 2008, via scaled map location and graphic plotting.
3. Monuments are found unless specifically designated as set.
4. Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

#### PLAT NOTES:

1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 03-54.
2. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Line Data Table

Line #	Distance	Bearing
L1	58.78'	N48°21'22"E
L2	10.98'	N48°48'18"W
L3	30.04'	S42°44'56"W
L4	11.01'	S47°52'42"E
L5	50.71'	N48°13'36"E
L6	10.85'	S76°51'49"E
L7	21.06'	N42°40'30"E
L8	6.82'	N58°45'48"E
L9	10.26'	S31°14'12"E
L10	47.95'	S79°11'17"E
L11	36.40'	S45°06'54"E
L12	4.52'	N44°53'06"E
L13	10.00'	S45°06'54"E
L14	4.52'	S44°53'06"W
L15	7.28'	S45°06'54"E
L16	13.29'	S00°06'54"E
L17	37.73'	S44°53'06"W
L18	17.49'	S24°35'25"E
L19	34.33'	S44°53'06"W
L20	4.10'	S45°06'54"E

Line Data Table

Line #	Distance	Bearing
L21	23.90'	N43°48'48"E
L22	5.00'	S46°11'12"E
L23	23.99'	S43°48'48"W
L24	27.85'	S45°06'54"E
L25	32.96'	S79°11'17"E
L26	129.32'	S45°06'54"E
L27	24.02'	S42°40'30"W
L28	67.59'	N45°06'54"W
L29	15.04'	S46°04'20"W

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BY: John Gardner DATE: 11/22/23

ENGINEER



Kirkman Engineering, LLC  
5200 State Highway 121  
Colleyville, TX 76034  
Phone: 817-488-4960  
patrick.filson@trustke.com

JOB NO. 2021.001.224

DRAWN: BCS

CHECKED: JHB

#### TABLE OF REVISIONS

DATE SUMMARY

DATE	SUMMARY

SURVEYOR

BARTON CHAPRA SURVEYING, LLC  
JOHN H. BARTON, III RPLS# 6737  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
(817) 864-1957  
JACK@BCSOFW.COM

OWNER

VICTORY SHOPS ON 205, LLC  
2911 TURTLE CREEK BLVD #700  
DALLAS, TX 75219  
PH. 972.707.9555

OWNER

BARBARA AND MARLYN ROBERTS  
323 JULIAN DRIVE  
ROCKWALL, TX 75087  
PH. 972.707.9555

#### FINAL PLAT LOTS 2R1 AND 2R2, BLOCK 1 MEADOWCREEK BUSINESS CENTER PHASE I

BEING A REPLAT OF LOT 2,  
BLOCK 1, MEADOWCREEK  
BUSINESS CENTER PHASE I  
2 LOTS - 1.931 ACRES  
IN THE J. CADLE SURVEY,  
ABSTRACT NO. 65  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

SHEET:

1 OF 2

CITY CASE#P2022-XXX



STATE OF TEXAS §  
COUNTY OF ROCKWALL §

WHEREAS VICTORY SHOPS ON 205, LLC, BARBARA ROBERTS, AND MARLYN ROBERTS are the owners of a tract situated in the J. Cadle Survey, Abstract No. 65 part of Lot 2, Block 1, Meadowcreek Business Park Center, an addition in the City of Rockwall, Rockwall County, Texas, according to the plat recorded in Cabinet F, Slide 329, Plat Records, Rockwall County, Texas, the subject tract being more particularly described as follows (bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83)):

**BEGINNING** at a point in the north line of said Lot 2, same being the northeast corner of the tract described in the deed to the State of Texas, recorded in Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, from which a 1/2 inch rebar with cap stamped "RPLS 5034" found at the northwest corner of said Lot 2 bears SOUTH 60 degrees 17 minutes 53 seconds WEST, 15.01 feet;

**THENCE** with the perimeter and to the corners of said Lot 2, the following calls:

- NORTH 60 degrees 17 minutes 53 seconds EAST, a distance of 413.92 feet to a 1/2 inch rebar with cap stamped "RPLS 5034"
- SOUTH 01 degree 59 minutes 13 seconds WEST, a distance of 145.94 feet to a point from which a 1/2 inch rebar with cap stamped "RPLS 5034" (disturbed) bears SOUTH 85 degrees WEST, 0.64 feet;
- SOUTH 15 degrees 01 minute 18 seconds EAST, a distance of 68.17 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears NORTH 75 degrees West, 0.50 feet;
- SOUTH 20 degrees 11 minutes 31 seconds WEST, a distance of 40.59 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears SOUTH 83 degrees WEST, a distance of 0.70 feet;
- SOUTH 58 degrees 44 minutes 21 seconds WEST, a distance of 64.97 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears NORTH 19 degrees West, a distance of 0.59 feet;
- SOUTH 42 degrees 40 minutes 30 seconds WEST, a distance of 164.60 feet to a 1/2 inch rebar with cap stamped "BARTON CHAPA" set (hereinafter "capped rebar set");
- SOUTH 44 degrees 53 minutes 06 seconds WEST, a distance of 61.67 feet to a capped rebar set in the NORTH line of "Parcel 101 - Part 2" described by deed to the State of Texas as recorded under Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.);

**THENCE** NORTH 31 degrees 14 minutes 48 seconds WEST, with the east line of said "Parcel 101 - Part 2", a distance of 90.03 feet to a capped rebar set at the northeast corner thereof;

**THENCE** SOUTH 58 degrees 45 minutes 12 seconds WEST, with the west line of said "Parcel 101 - Part 2", a distance of 15.00 feet to a capped rebar set for the northwest corner thereof, same being in the west line of said Lot 2;

**THENCE** NORTH 31 degrees 14 minutes 48 seconds WEST, with the west line of said Lot 2, a distance of 39.91 feet to a capped rebar set at the southwest corner of said State of Texas (Vol. 5532, Pg. 240) tract;

**THENCE** with the south line of said State of Texas tract, through the interior of said Lot 2, NORTH 58 degrees 45 minutes 12 seconds EAST a distance of 15.00 feet to an "X" cut set in a concrete driveway;

**THENCE** with the east line of said State of Texas tract, through the interior of said Lot 2, NORTH 31 degrees 14 minutes 48 seconds WEST, a distance of 154.43 feet, returning to the **POINT OF BEGINNING** and enclosing 1.931 acres (84,103 square feet) of land, more or less.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

Victory Shops on 205, LLC, (the undersigned owner of the land shown on this plat and designated as Lot 2R2, Block 1), and Barbara Roberts and Marlyn Roberts (the undersigned owners of the land shown on this plat and designated as Lot 2R1, Block 1), and designated herein as the **LOTS 2R1 AND 2R2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I**, subdivision in the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **LOTS 2R1 AND 2R2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of

these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

VICTORY SHOPS ON 205, LLC (authorized agent)

STATE OF TEXAS §  
COUNTY OF §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Notary Public in and for  
the State of Texas

BARBARA ROBERTS  
STATE OF TEXAS §  
COUNTY OF §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Notary Public in and for  
the State of Texas

MARLYN ROBERTS  
STATE OF TEXAS §  
COUNTY OF §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Notary Public in and for  
the State of Texas

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

**SURVEYOR'S CERTIFICATE**

I, John H. Barton III, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Date of Plat/Map: **June 10, 2022**

John H. Barton III, RPLS# 6737

Planning & Zoning Commission, Chairman Date

**APPROVED:**

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

**RECORD DRAWING**

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BY: John Gardner DATE: 11/22/23

ENGINEER



Kirkman Engineering, LLC  
5200 State Highway 121  
Colleyville, TX 76034  
Phone: 817-488-4960  
patrick.filson@trustke.com

JOB NO. 2021.001.224

DRAWN: BCS

CHECKED: JHB

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BARTON CHAPA SURVEYING, LLC  
JOHN H. BARTON, III RPLS# 6737  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
(817) 864-1957  
JACK@BCSDFW.COM

OWNER

VICTORY SHOPS ON 205, LLC  
2911 TURTLE CREEK BLVD. #700  
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PH. 972.707.9555

OWNERS

BARBARA AND MARLYN ROBERTS  
323 JULIAN DRIVE  
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PH. 972.707.9555

**FINAL PLAT  
LOTS 2R1 AND  
2R2, BLOCK 1  
MEADOWCREEK  
BUSINESS  
CENTER PHASE I**

BEING A REPLAT OF LOT 2,  
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BUSINESS CENTER PHASE I  
2 LOTS 1.931 ACRES  
IN THE J. CADLE SURVEY,  
ABSTRACT NO. 65  
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SHEET:

**2 OF 2**

CITY CASE#2022-XXX





1. All pavements to be removed and replaced shall be saw cut to full depth along near squared lines shown in the plans.
2. Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
3. All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
4. No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess excavated material in these areas, the CONTRACTOR shall be responsible for all damages resulting from such fill and shall remove the material at their own cost.

1. All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curbed, installed prior to any concrete placement.
2. All paving roadway, driveways, fire lanes, drive-isles, parking, dumping pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

3. Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 times longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, this section shall be removed and longitudinal butt joint constructed.
4. No bar shall be allowed under any paving.
5. All concrete mix design shall be submitted to the City for review and approval prior to placement.
6. Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.T. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
7. All curb and gutter shall be integral (monolithic) with the pavement.
8. Curb and gutter shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
9. All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
10. All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
11. All public sidewalks shall be dovetailed into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
12. All concrete pavement shall be constructed to exist on existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
13. Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
14. All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
15. Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and approved by the City Engineer. Written permission shall be provided to the City Engineer for use as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
16. All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
17. CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
18. CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
19. CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow from these approved plans.

1. The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, ditches, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
2. All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
3. Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
4. All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
5. All structures entering structures shall be grouted to assure connection at the structure is watertight.
6. All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
7. All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
8. All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Rockwall Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.

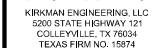
1. All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
2. All retaining walls (including foundation stem walls), regardless of height, will be constructed of reinforced concrete. No stone or face-back. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
3. All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
4. The height and face taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-built prior to City Engineering acceptance.
5. Walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

4. Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary depending on the nature of the project and the check list may be required to be modified.
5. After improvements have been constructed, the developer shall be responsible for providing to the City "As-Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk of flash drive. The disk or drive shall include a full set of plans along with all landscaping, wall plans, and details sheets. Folders of "printed drawings" of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector (and the City Engineer) shall be printed and reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
6. Record Drawing Disk drawings shall have the Design Engineer's seal, signature and must be stamped and dated as "Record Drawings" or "As-Built Drawings" on all sheets.
7. The City Engineer shall not accept any "Record Drawings" or "As-Built Drawings" which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
8. The City Engineer's Acceptable Disclaimer To the best of his/her knowledge, here, by, states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor.

THIS RECORD DRAWING IS A COMPILATION OF A COPY OF THE APPROVED SEALED ENGINEERING DRAWING FOR THIS PROJECT; MODIFIED BY ADDENDUM CHANGE ORDERS AND INFORMATION PROVIDED BY THE CONTRACTOR. THE INFORMATION SHOWN THAT WAS PROVIDED BY THE CONTRACTOR OR OTHER NOT ASSOCIATED WITH KIRKMAN ENGINEERING CANNOT BE VERIFIED FOR ACCURACY OR COMPLETENESS



385 S. Goliad P (972) 771-7746  
Rockwall, Texas 75087 F (972) 771-7748

[illegible]

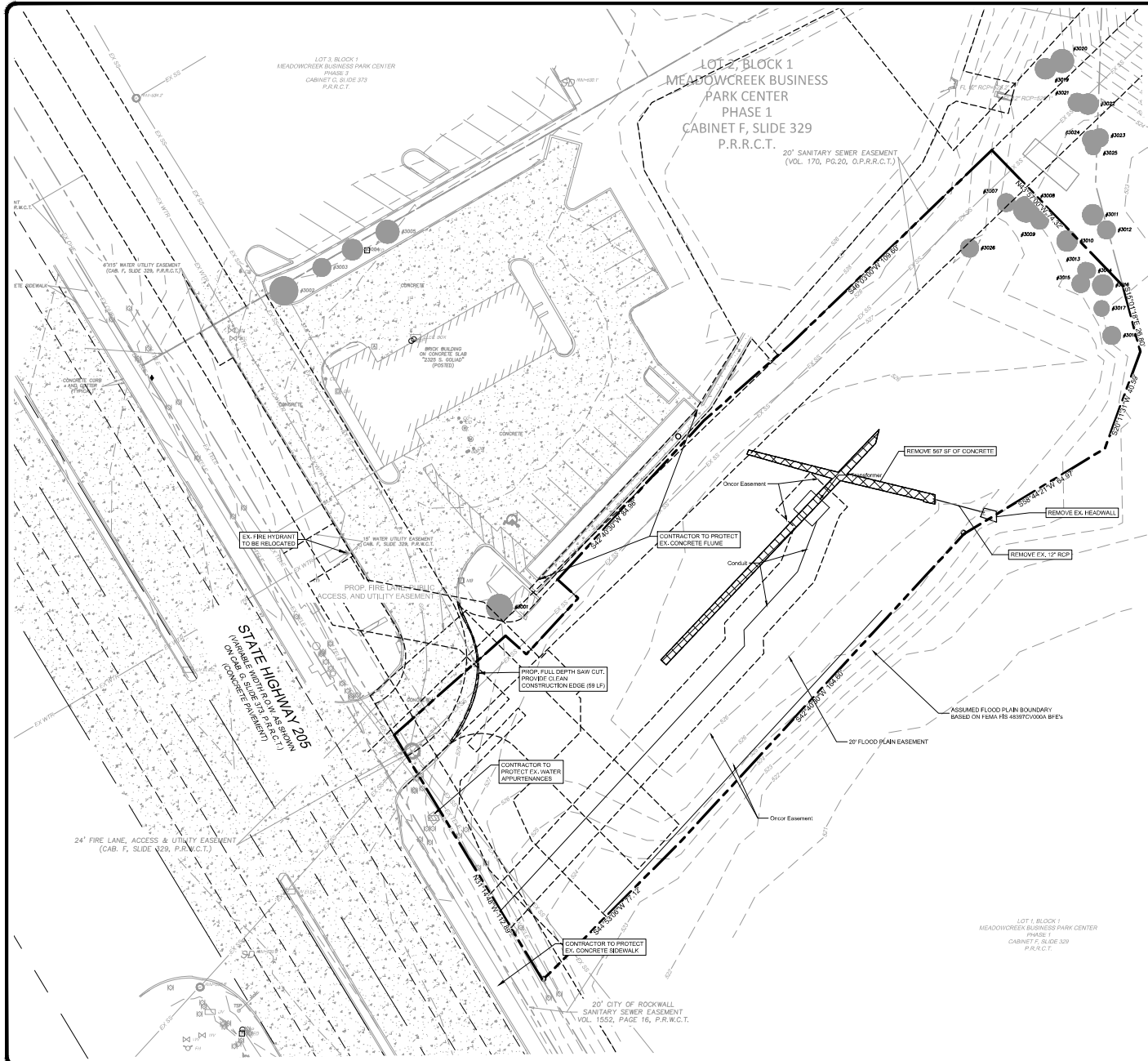
JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

**CITY OF  
ROCKWALL  
NOTES**

SHEET:

### C1.4



**SITE BENCHMARKS**

BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE NORTHEAST CORNER OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 205, BEING LOCATED APPROXIMATELY 22 FEET NORTH OF A 5' WIDE 18" HIGH POSTED 40 MPH SPEED LIMIT, AND BEING APPROXIMATELY 11 FEET SOUTH OF A POWER POLE IN THE NORTH LINE OF SAID STATE HIGHWAY 205.  
ELEVATION = 533.19' (NAVD 198)

BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE NORTHEAST CORNER OF A CONCRETE HEADWALL WITHIN THE SITE, BEING LOCATED APPROXIMATELY 190 FEET NORTHEAST OF THE NORTHEAST CORNER OF A DUMPSTER PAD ENCLOSURE NEAR THE WEST LINE OF THE SITE AND BEING LOCATED APPROXIMATELY 180 FEET EAST OF THE SOUTHERNMOST BUILDING CORNER OF THE BUILDING SITUATED ON SITE.  
ELEVATION = 527.82' (NAVD 198)

**LEGEND**

REMOVE AND DISPOSE OF EXISTING CONCRETE

PROPOSED FULL DEPTH SAW CUT (PROVIDE CLEAN CONSTRUCTION EDGE)

EXISTING CONTOUR

PROPERTY BOUNDARY

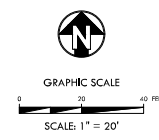
**NOTE TO CONTRACTOR**

THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

**RECORD DRAWING**

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BY: John Gardner DATE: 11/22/23



**VICTORY GROUP**  
Victory Real Estate Group

**ROCKWALL RETAIL**

LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

REV	DATE	DESCRIPTION

**Kirkman Engineering**

KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

**DEMOLITION PLAN**

SHEET:  
**C2.0**

## RECORD DRAWING

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BY: John Gardner DATE: 11/22/23



Know what's below.  
Call before you dig.

### SITE BENCHMARKS

- BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE NORTHEAST CORNER OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 205, BEING LOCATED APPROXIMATELY 22 FEET NORTH OF A 36" RISE 18" HIGH POSITIVE-WAY SPEED LIMIT, AND BEING APPROXIMATELY 11 FEET SOUTH OF A POWER POLE IN THE NORTH LINE OF SAID STATE HIGHWAY 205.  
ELEVATION = 533.19 (NAVD 83)
- BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE NORTHEAST CORNER OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 205, BEING LOCATED APPROXIMATELY 165 FEET NORTHWEST OF THE NORTHEAST CORNER OF A DUMPSTER PAD ENCLOSURE NEAR THE WEST LINE OF THE SITE AND BEING LOCATED APPROXIMATELY 180 FEET EAST OF THE SOUTHWEST BUILDING CORNER OF THE BUILDING SITUATED ON SITE.  
ELEVATION = 527.82 (NAVD 83)

DATE: 03/10/2023



VICTORY GROUP  
Victory Real Estate Group

ROCKWALL RETAIL  
LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

### LEGEND

- FIRE LANE STRIPING  
PROPOSED FIRE HYDRANT  
PROPOSED SANITARY MANHOLE  
PROPOSED GRATE INLET  
PARKING COUNT  
PROPOSED FDC  
PROPERTY BOUNDARY  
PARKING AREAS  
6" 3,000 PSI (S SACK MIX) CLASS "C" (28 DAYS) REIN. CONC. PAVEMENT W/ NO. 3 BARS @ 18" O.C.E.W.  
6" 3,000 PSI (S SACK MIX) CLASS "C" (28 DAYS) REIN. CONC. PAVEMENT W/ NO. 3 BARS @ 18" O.C.E.W.  
DUMPSTER AREAS  
7" 3,000 PSI (S SACK MIX) CLASS "C" (28 DAYS) REIN. CONC. PAVEMENT W/ NO. 3 BARS @ 18" O.C.E.W.  
PRIVATE SIDEWALK  
6" 3,000 PSI (S SACK MIX) CLASS "A" (28 DAYS) REIN. CONC. W/ NO. 3 BARS @ 18" O.C.E.W.  
PUBLIC SIDEWALK  
6" 3,000 PSI (S SACK MIX) CLASS "A" (28 DAYS) REIN. CONC. W/ NO. 3 BARS @ 18" O.C.E.W.  
EXISTING CONCRETE

### PARKING DATA TABLE

RESTAURANT PARKING REQUIREMENT	1 SPACE PER 100 SF
FOOTPRINT OF BUILDING RESTAURANT	100% 1,110 SF
RESTAURANT PARKING SPACES REQUIRED	17 SPACES
TOTAL PARKING SPACES PROVIDED	28 SPACES
REQUIRED ADA PARKING	1 SPACES (1 VAN)
PROVIDED ADA PARKING	1 SPACES (1 VAN)

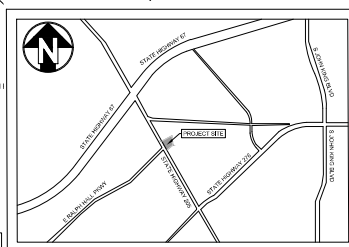
### SITE PLAN DATA TABLE

EXISTING ZONING	C-COMMERCIAL
PROPOSED ZONING	C-COMMERCIAL
LOT AREA (S.F.) (ACRES)	84,103 (1.93)
TOTAL BUILDING AREA (SF)	2,650
BUILDING HEIGHT	24'-0" (1 STORY)
BUILDING LOT COVERAGE (%) / FLOOR AREA RATIO	2.45% / 0.024-1
IMPERVIOUS AREA	68,211 SF / 84,103 SF



GRAPHIC SCALE  
0 20 40 FEET  
SCALE: 1" = 20'

### VICINITY MAP N.T.S.



### NOTE TO CONTRACTOR

THE CONTRACTOR SHALL RE-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

### LAYOUT & DIMENSIONAL CONTROL NOTES:

- BOUNDARY LINES AND EASEMENTS: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS. DIMENSIONAL CONTROL, UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
- CURB RADIUS, UNLESS NOTED OTHERWISE, ALL CURB RADIUS SHALL BE 15' AT FACE OF CURB.
- BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
- ALL COORDINATES ARE U.S. SURVEY FEET, NAD 83 SURFACE.
- ALL BUILDINGS MUST BE DESIGNED SUCH THAT NO ROOF MOUNTED MECHANICAL EQUIPMENT, HVAC, OR SATELLITE DISHES SHALL BE VISIBLE FROM ANY DIRECTION.
- REFER TO SHEETS (S) C010 FOR SITE DETAILS.

### SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_.

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

### SITE PLAN

CITY PROJECT NO. SP-2022-033

ROCKWALL RETAIL

0.83 ACRES

LOT 2, BLOCK 1

MEADOWCREEK BUSINESS PARK

CITY OF ROCKWALL, ROCKWALL, TEXAS

PREPARATION DATE: 04/10/2022

OWNER/APPRAISER: VICTORY REAL ESTATE GROUP

2011 TURTLE CREEK BLVD., SUITE 700

DALLAS, TX 75219

PH: 972-200-0955

CONTACT: BOBBY MENDOZA

ENGINEER: KIRKMAN ENGINEERING, LLC

5200 STATE HIGHWAY 121

COLLEEVILLE, TX 76034

PH: 817-486-4360

CONTACT: JOHN GARDNER, PE

LANDSCAPE ARCHITECT: LONDON LANDSCAPES

P.O. BOX 28

COLLEEVILLE, TX 76223

PH: 817-200-0955

CONTACT: AMY LONDON, RLA

SURVEYOR: BARTON CHAPMAN SURVEYING

5200 STATE HIGHWAY 121

COLLEEVILLE, TX 76034

PH: 817-266-1567

CONTACT: JACK BARTON, RPLS

### SITE PLAN

SHEET:

C3.0















Know what's **below**.  
**Call** before you dig.

### SITE BENCHMARKS

- BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE  
NORTHEAST CORNER OF A CONCRETE SIDEWALK  
ADJACENT TO THE NORTH LINE OF STATE HIGHWAY  
205. BEING LOCATED APPROXIMATELY 22 FEET  
EAST OF A STREET SIGN POSTED "40 MPH SPEED  
LIMIT" AND BEING APPROXIMATELY 17 FEET SOUTH  
OF A POWER POLE IN THE NORTH LINE OF SAID  
STATE HIGHWAY 205.  
ELEVATION = 533.19 (NAVD 88)
- BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE  
NORTHEAST CORNER OF A CONCRETE HEADWALL  
WITHIN THE SITE. BEING LOCATED APPROXIMATELY  
10 FEET NORTHEAST OF THE SOUTHERNMOST CORNER  
OF A DUMPSHED PAD ENCLOSURE NEAR THE WEST  
LINE OF THE SITE AND BEING LOCATED  
APPROXIMATELY 150 FEET EAST OF THE  
SOUTHERNMOST BUILDING. SOUTHERNMOST CORNER OF  
THE BUILDING SITUATED ON SITE.  
ELEVATION = 527.62 (NAVD 88)

### LEGEND

PROPOSED SIGN	SYMBOL
FIRE LANE STRIPING	
PROPOSED FIRE HYDRANT	
PROPOSED SANITARY MANHOLE	
PROPOSED CURB INLET	
PROPOSED GRATE INLET	
ACCESSIBLE ROUTE	
PARKING COUNT	
PROPOSED RETAINING WALL	
PROPOSED FDC	
PROPERTY BOUNDARY	

LAYOUT & DIMENSIONAL CONTROL NOTES:

- NOTES TO SPECIFICATIONS AND CONSTRUCTION NOTES:**
1. BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
  2. DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
  3. CURB RADIUS: UNLESS NOTED OTHERWISE, ALL CURB RADIUS SHALL BE 3' AT FACE OF CURB.
  4. BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
  6. ALL COORDINATES ARE U.S. SURVEY FEET, NAD 83 SURFACE.
  7. REFER TO SHEET(S) C10.0 FOR SITE DETAILS.

**NOTE TO CONTRACTOR**

**NOTE TO CONTRACTOR**  
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## RECORD DRAWING

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BY: John Gardner DATE: 11/22/23



GRAPHIC SCALE

SCALE: 1" = 20'

DATE: 03/10/2023



**VICTORY | GROUP**  
Victory Real Estate Group

LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

[illegible]

KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

**DIMENSIONAL  
CONTROL  
PLAN**

SHEET:

## C4.0



Know what's **below**.  
Call before you dig.

## SITE BENCHMARKS












BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE  
NORTHEAST LINE OF A CONCRETE SIDEWALK  
ADJACENT TO THE NORTH LINE OF STATE HIGHWAY  
205, BEING LOCATED APPROXIMATELY 22 FEET  
NORTH OF A STREET SIGN POSTED "45 MPH SPEED  
LIMIT", AND BEING APPROXIMATELY 17 FEET SOUTH  
OF A POWER POLE IN THE NORTH LINE OF SAID  
STATE HIGHWAY 205.

ELEVATION = 533.19' (NAVD '85)

BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE NORTH-EAST CORNER OF A CONCRETE HEADWALL WITHIN THE SITE, BEING LOCATED APPROXIMATELY 150 FEET NORTH-EAST OF THE NORTH-EAST CORNER OF A DUMPISTER PAD ENCLOSURE NEAR THE WEST LINE OF THE SITE AND BEING LOCATED APPROXIMATELY 190 FEET EAST OF THE SOUTHERNMOST BUILDING CORNER OF THE BUILDING SITUATED ON SITE.

ELEVATION = 527.62' (NAVD '88)

### LEGEND

PROPOSED CONTOUR		500.0
EXISTING CONTOUR		500
GRADE BREAK		
PROPOSED SWALE		
PROPOSED FINISHED GRADE		1-0 710.00
PROPOSED TOP OF CURB/GUTTER		1-0 710.50 0 710.00
PROPOSED TOP OF WALL/ BOTTOM OF WAL		1-0 720.00 0 698.00
PROPOSED TOP OF INLET		1-0 710.00
EXISTING SPOT GRADE		1-0 710.00
EXISTING TOP OF CURB/GUTTER		1-0 710.50 0 710.00
PROPOSED DRAINAGE FLOW ARROW		
EXISTING DRAINAGE FLOW ARROW		
PROPERTY BOUNDARY		

**NOTE TO CONTRACTOR**

**NOTE TO CONTRACTOR**  
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**GRADING NOTES:**

- [illegible]

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BY: John Gardner DATE: 11/22/23

## FLOOD PLAN NOTES

1. CROSS SECTION ELEVATIONS BASED ON FEMA FIS 48397CVD00A EFFECTIVE DATE SEPT. 26, 2008
2. APPROX. LOCATION OF FLOODPLAIN FEMA LOMA CASE NO. 15-06-4238A DATED JAN. 20, 2016



GRAPHIC SCALE

20 40 FEET

DATE: 03/10/2023



**VICTORY | GROUP**  
Victory Real Estate Group

LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

[illegible]

**kirkman**  
ENGINEERING

KIRKMAN ENGINEERING, LL  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

## GRADING PLAN

SHEET:

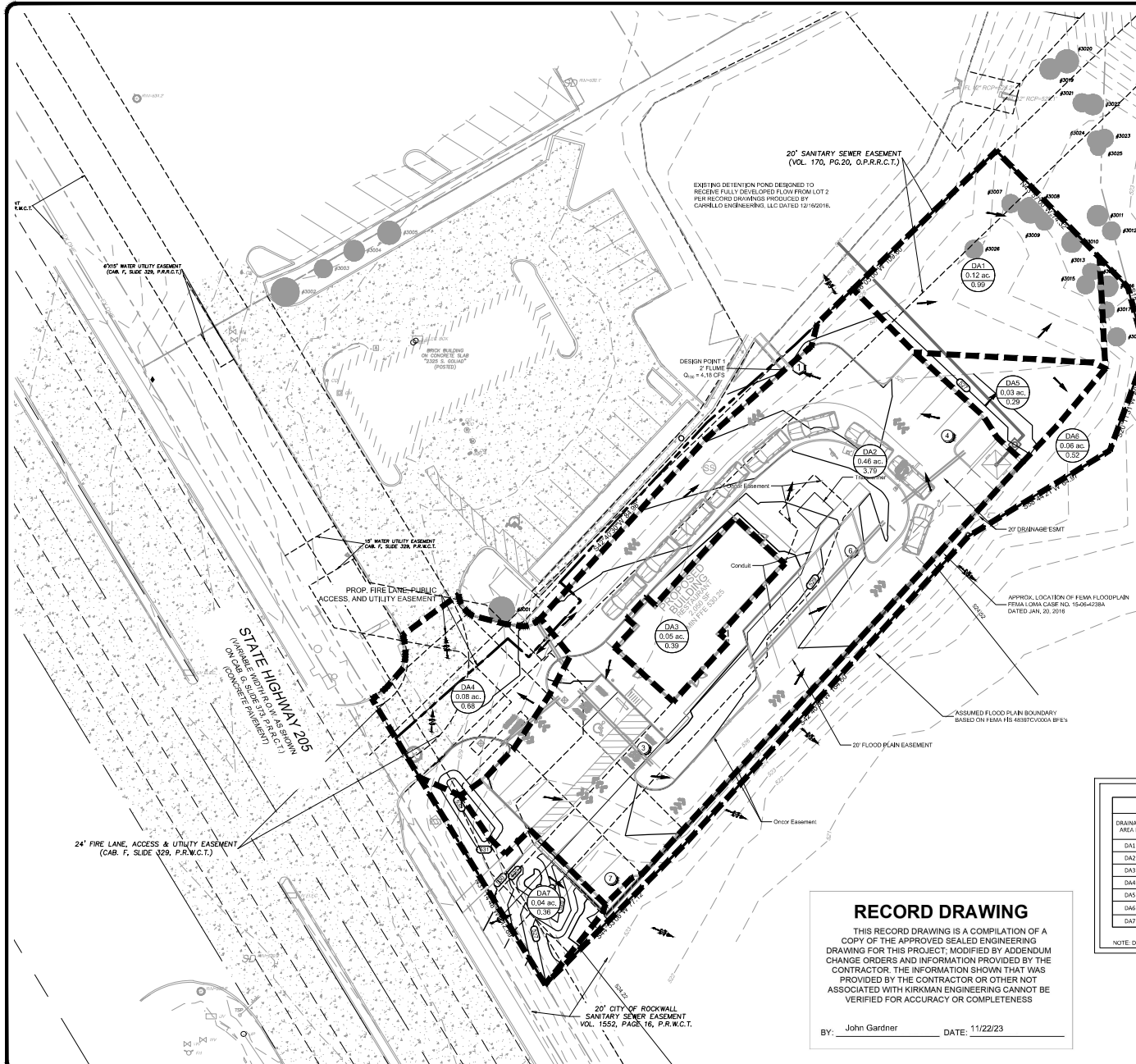
## C5.0





FILED BY: KIRKMAN ENGINEERING, L.L.C. DATE: 11/22/23. DRAWING NO: C6.1. PROJECT: PROPOSED DRAINAGE AREA MAP FOR LOT 2, BLOCK 1, CITY OF ROCKWALL, TEXAS. PREPARED BY: KIRKMAN ENGINEERING, L.L.C. DATE: 11/22/23.

DATE: 11/22/23. DRAWING NO: C6.1. PROJECT: PROPOSED DRAINAGE AREA MAP FOR LOT 2, BLOCK 1, CITY OF ROCKWALL, TEXAS. PREPARED BY: KIRKMAN ENGINEERING, L.L.C. DATE: 11/22/23.



**SITE BENCHMARKS**

BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE NORTHEAST LINE OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 205, BEING LOCATED APPROXIMATELY 22 FEET NORTH OF A 5' HIGH 18" DIA. POSTED "NO PARKING" SIGN, AND BEING APPROXIMATELY 11 FEET SOUTH OF A POWER POLE IN THE NORTH LINE OF THE STATE HIGHWAY 205.

ELEVATION = 533.19 (NAVD 83)

BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE NORTHEAST CORNER OF A CONCRETE HEADWALL WITHIN THE SITE, BEING LOCATED APPROXIMATELY 165 FEET NORTHEAST OF THE NORTHEAST CORNER OF A DUMPSTER PAD ENCLOSURE NEAR THE WEST LINE OF THE SITE AND BEING LOCATED APPROXIMATELY 180 FEET EAST OF THE SOUTHERNMOST BUILDING CORNER OF THE BUILDING SITUATED ON SITE.

ELEVATION = 527.82 (NAVD 83)

**LEGEND**

PROPOSED DRAINAGE AREA LABEL	BASIN NAME	DA1
	ACRES	1.82 AC.
	Q100 (cfs)	14.52
PROPOSED DRAINAGE AREA DEVICE		
EXISTING DRAINAGE FLOW ARROW		
PROPOSED DRAINAGE FLOW ARROW		
EXISTING CONTOUR		
PROPOSED CONTOUR		
EXISTING STORM PIPE		
PROPOSED STORM PIPE		
PROPERTY BOUNDARY		

**NOTE TO CONTRACTOR**

EXISTING PRIVATE AND PUBLIC STORM SEWER AND UTILITY INFRASTRUCTURE ARE SHOWN PER RECORDED DRAWING PLANS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

**FLOOD PLAN NOTES**

- CROSS SECTION ELEVATIONS BASED ON FEMA FHS 48837C/D/DIA EFFECTIVE JAN 15, 2016, SE. 2008.
- APPROX. LOCATION OF FLOODPLAIN FEMA LOMA CASE NO. 15-08-4236A DATED JAN. 20, 2016.

**DETENTION BYPASS**

- DRAINAGE AREA DETENTION TIME AND DETENTION BYPASS DETENTION AND DRAIN TO THE FLOODPLAIN.
- TOTAL PROPOSED BYPASS = 2.14 CFS
- ALLOWED BYPASS = 2.37 CFS PER RECORD DRAWINGS PRODUCED BY CARRILLO ENGINEERING, L.L.C. DATED 12/10/2016

**PROPOSED DRAINAGE AREA CALCULATIONS Q=CA**

DRAINAGE AREA ID	T <sub>c</sub> (min.)	RUNOFF COEFFICIENT "C"	AREA (acres)	IS (in./hr.)	OS (in./hr.)	1000 (in./hr.)	Q100 (cfs)	COMMENTS
DA1	10	0.90	0.12	5.85	0.63	9.22	0.99	DRAINS NORTHEAST TO FLOODPLAIN
DA2	10	0.90	0.46	5.85	2.41	9.22	3.79	DRAINS TO DESIGN POINT 1
DA3	10	0.90	0.05	5.85	0.25	9.22	0.39	DRAINS TO DOWNSPOUTS
DA4	10	0.90	0.08	5.85	0.43	9.22	0.68	DRAINS TO THE NORTH
DA5	10	0.90	0.03	5.85	0.18	9.22	0.29	DRAINS TO FLOODPLAIN
DA6	10	0.90	0.06	5.85	0.33	9.22	0.52	(IN FLOODPLAIN) DRAINS TO FLOODPLAIN
DA7	10	0.90	0.04	5.85	0.23	9.22	0.36	DRAINS TO FLOODPLAIN

NOTE: DRAINAGE CRITERIA TAKEN FROM CITY OF ROCKWALL ENGINEERING DESIGN MANUAL.

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BY: John Gardner DATE: 11/22/23



**VICTORY GROUP**  
Victory Real Estate Group

**ROCKWALL RETAIL**  
LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

REV	DATE	DESCRIPTION

**Kirkman Engineering**  
KIRKMAN ENGINEERING, L.L.C.  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15974

JOB NUMBER: VIC1014

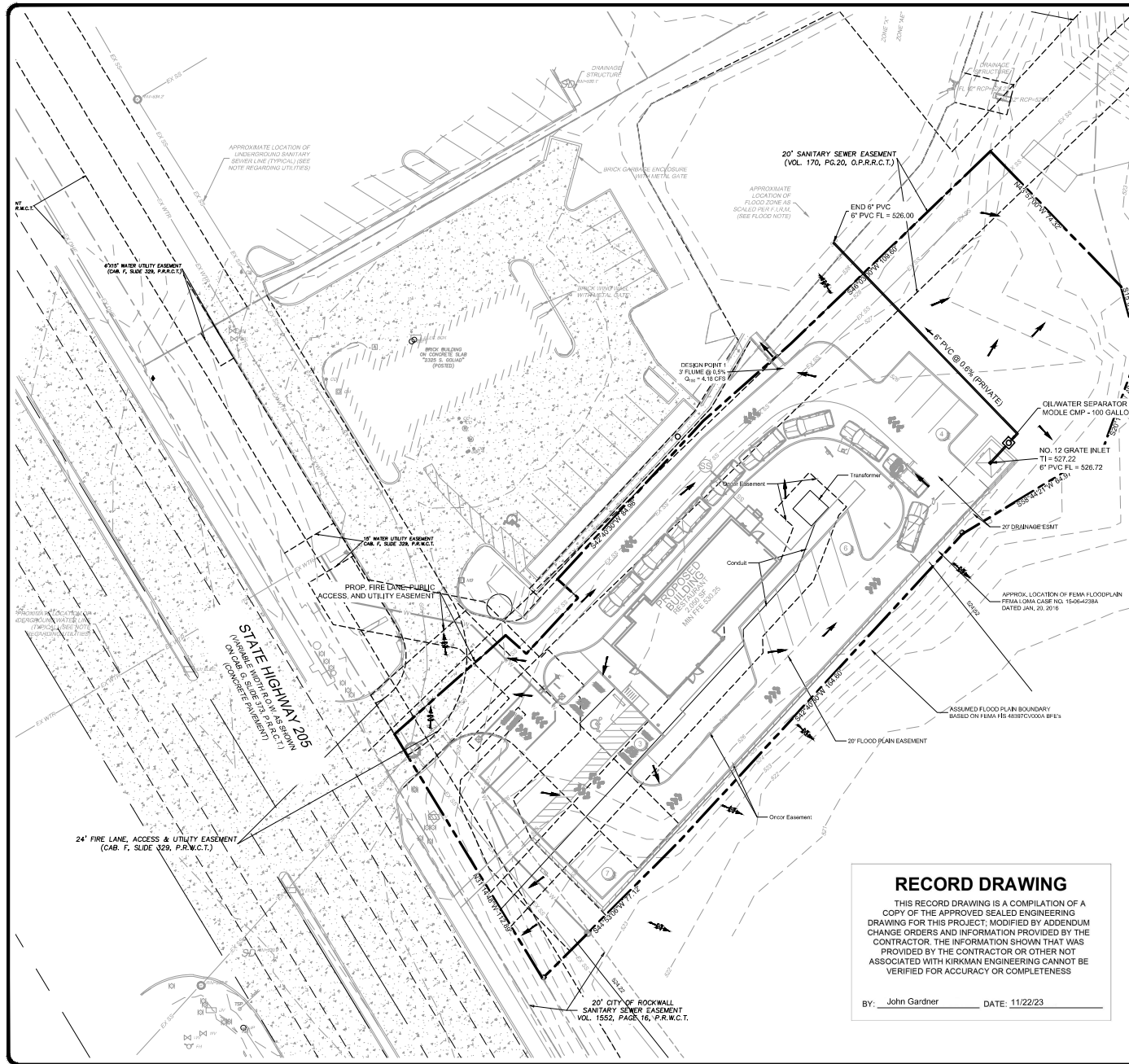
ISSUE DATE: 03/10/2023

**PROPOSED DRAINAGE AREA MAP**

SHEET:  
**C6.1**

PLANNING & DESIGN DIVISION

PLANNING & DESIGN DIVISION



Know what's below.  
Call before you dig.

#### SITE BENCHMARKS

- BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE NORTHEAST CORNER OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 205, BEING LOCATED APPROXIMATELY 22 FEET NORTH OF A STREET SIGN POSTED "40 MPH SPEED LIMIT" AND BEING APPROXIMATELY 11 FEET SOUTH OF A POWER POLE IN THE NORTH LINE OF STATE HIGHWAY 205.  
ELEVATION = 533.19 (NAVD 18)
- BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE NORTHEAST CORNER OF A CONCRETE HEADWALL WITHIN THE SITE, BEING LOCATED APPROXIMATELY 16 FEET NORTHWEST OF THE NORTHEAST CORNER OF A DUMPSTER PAD ENCLOSURE NEAR THE WEST LINE OF THE SITE AND APPROXIMATELY 180 FEET EAST OF THE SOUTHERNMOST TRAILING CORNER OF THE BUILDING SITUATED ON SITE.  
ELEVATION = 527.52 (NAVD 18)

#### LEGEND

- PROPOSED CURB INLET  
PROPOSED STORM DRAIN  
EXISTING STORM DRAIN  
PROPOSED GRATE INLET  
PROPOSED STORM JUNCTION BOX  
PROPERTY BOUNDARY

#### STORM DRAIN NOTES

1. REFER TO SHEET(S) C11.1 FOR STORM DRAIN DETAILS.

#### NOTE TO CONTRACTOR

EXISTING PRIVATE AND PUBLIC STORM SEWER AND UTILITY INFRASTRUCTURE ARE SHOWN PER RECORD DRAWING PLANS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.



GRAPHIC SCALE  
SCALE 1" = 20'

#### Channel Report

Hydraulic Express Extension for Autodesk® AutoCAD Civil 3D® by StormCAD, Inc.

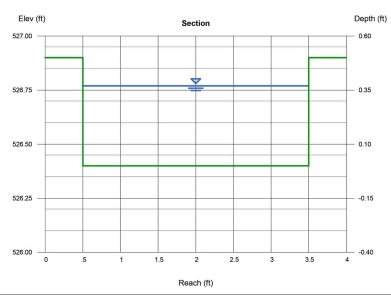
Thursday, Jan 10 2023

#### DESIGN POINT 1

Rectangular		
Bottom Width (ft)	= 3.00	
Total Depth (ft)	= 0.50	
Area (sqft)	= 1.50	
Invert Elev (ft)	= 526.40	
Slope (%)	= 0.50	
N-Value	= 0.012	

Calculations		
Computed by	Known Q	
Known Q (cfs)	= 4.18	

Highlighted		
Depth (ft)	= 0.37	
Q (cfs)	= 4.180	
Area (sqft)	= 1.11	
Velocity (ft/s)	= 3.77	
Wetted Perim (ft)	= 3.74	
Ch Depth, Yc (ft)	= 0.40	
Top Width (ft)	= 3.00	
EGL (ft)	= 0.59	



#### RECORD DRAWING

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BY: John Gardner DATE: 11/22/23

DATE: 03/10/2023



VICTORY GROUP  
Victory Real Estate Group

ROCKWALL RETAIL  
LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

REV	DATE	DESCRIPTION



JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

STORM PLAN

SHEET:  
C6.2













Know what's **below**.  
Call before you dig.

## SITE BENCHMARKS

- BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE NORTH-EAST LINE OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 20, BEING LOCATED APPROXIMATELY 22 FEET NORTH OF A STREET SIGN POSTED "40 MPH SPEED LIMIT" AND BEING APPROXIMATELY 17 FEET SOUTH OF A POWER POLE IN THE NORTH LINE OF SAID STATE HIGHWAY 205.  
ELEVATION = 553.19' (NAVD 83)
- BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE NORTH-EAST CORNER OF A CONCRETE HEADWALL WITHIN THE SITE. BEING LOCATED APPROXIMATELY 150 FEET NORTH-EAST OF THE NORTHEAST CORNER OF A DUMPSHED PAD ENCLOSURE NEAR THE WEST LINE OF THE SITE AND BEING LOCATED APPROXIMATELY 100 FEET EAST OF THE SOUTHERMOST BUILDING CORNER OF THE BUILDING SITUATED ON SITE.  
ELEVATION = 527.62' (NAVD 83)

### LEGEND

- |   |   |
|---|---|
| <p><b>PAVING AREAS</b></p> <p>5" 6,000 PSI CLASS "C" (28 DAYS)<br/>MINIMUM 6% SACK<br/>REIN. CONC. PAVEMENT<br/>W/ NO. 3 BARS @ 18" O.C.G.W.</p> <p><b>FINE FLNE</b></p> <p>4" 6,000 PSI CLASS "C" (28 DAYS)<br/>MINIMUM 6% SACK<br/>REIN. CONC. PAVEMENT<br/>W/ NO. 3 BARS @ 18" O.C.G.W.</p> <p><b>DUMPS/TER AREAS</b></p> <p>7" 6,000 PSI CLASS "C" (28 DAYS)<br/>MINIMUM 6% SACK<br/>REIN. CONC. PAVEMENT<br/>W/ NO. 3 BARS @ 18" O.C.G.W.</p> <p><b>PRIVATE SIDEWALK</b></p> <p>4" 3,000 PSI CLASS "A"<br/>MINIMUM 6% SACK<br/>(28 DAYS) REIN. CONC.<br/>W/ NO. 3 BARS @ 18" O.C.G.W.</p> <p><b>PUBLIC SIDEWALK</b></p> <p>4" 3,000 PSI CLASS "A"<br/>MINIMUM 6% SACK<br/>(28 DAYS) REIN. CONC.<br/>W/ NO. 3 BARS @ 18" O.C.G.W.</p> <p><b>EXISTING CONCRETE</b></p> |      |
| <p><b>PROPERTY DRIVE</b></p>  |    |

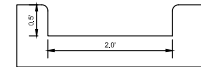
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**PAVING NOTES**


1. PAYING REQUIREMENTS ARE MADE BY GEOSCIENCE ENGINEERS, LLC REPORT NO. 22-03236 DATED 08/20/22.
2. CONTRACTOR SHALL OBTAIN A COPY OF SD GEOTECHNICAL REPORTING REQUIREMENTS AND SHALL BE RESPONSIBLE FOR BIDDING AND CONSTRUCTING THE IMPROVEMENTS OF THE ALL PROJECT.
3. ALL PROPOSED PUBLIC PAVEMENT TO BE PER THE CITY OF RIVINGTON STANDARDS & SPECIFICATIONS.
4. PAINT PARKING STRIP STRIKE 4' SOLID WHITE @ 0" C.C.
5. PAINT ACCESSIBLE PARKING LOGO SOLID WHITE.
6. POSSIBLE REDUCED MAIN CROSSWALK OF SOLID WHITE REFLECTIVE @ 2" C.C. @ 45°.
7. PAINT FIRE LANE STRIP IN ACCORDANCE WITH LOCAL HIGHWAY STANDARDS. STRIPES SHALL BE "TRAFFIC RED" WITH A HIGH TRAFFIC WHITE LETTERS.
8. REFER TO SHEET(S) C14.0 FOR PAVING DETAILS.

**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL FIELD VERIFY THE

DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

2' FLUME  
NTS

GRAPHIC SCALE



20 40 FEET

SCALE: 1" = 20'

## RECORD DRAWING

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BY: John Gardner DATE: 11/22/23

LOT 1, BLOCK 1  
MEADOWCREEK BUSINESS PARK CENTER  
PHASE 1  
CABINET F, SLIDE 329  
P.R.R.C.T.

DATE: 03/10/2023



**VICTORY | GROUP**  
Victory Real Estate Group

ROCKWALL RETAIL  
LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

[illegible]

KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

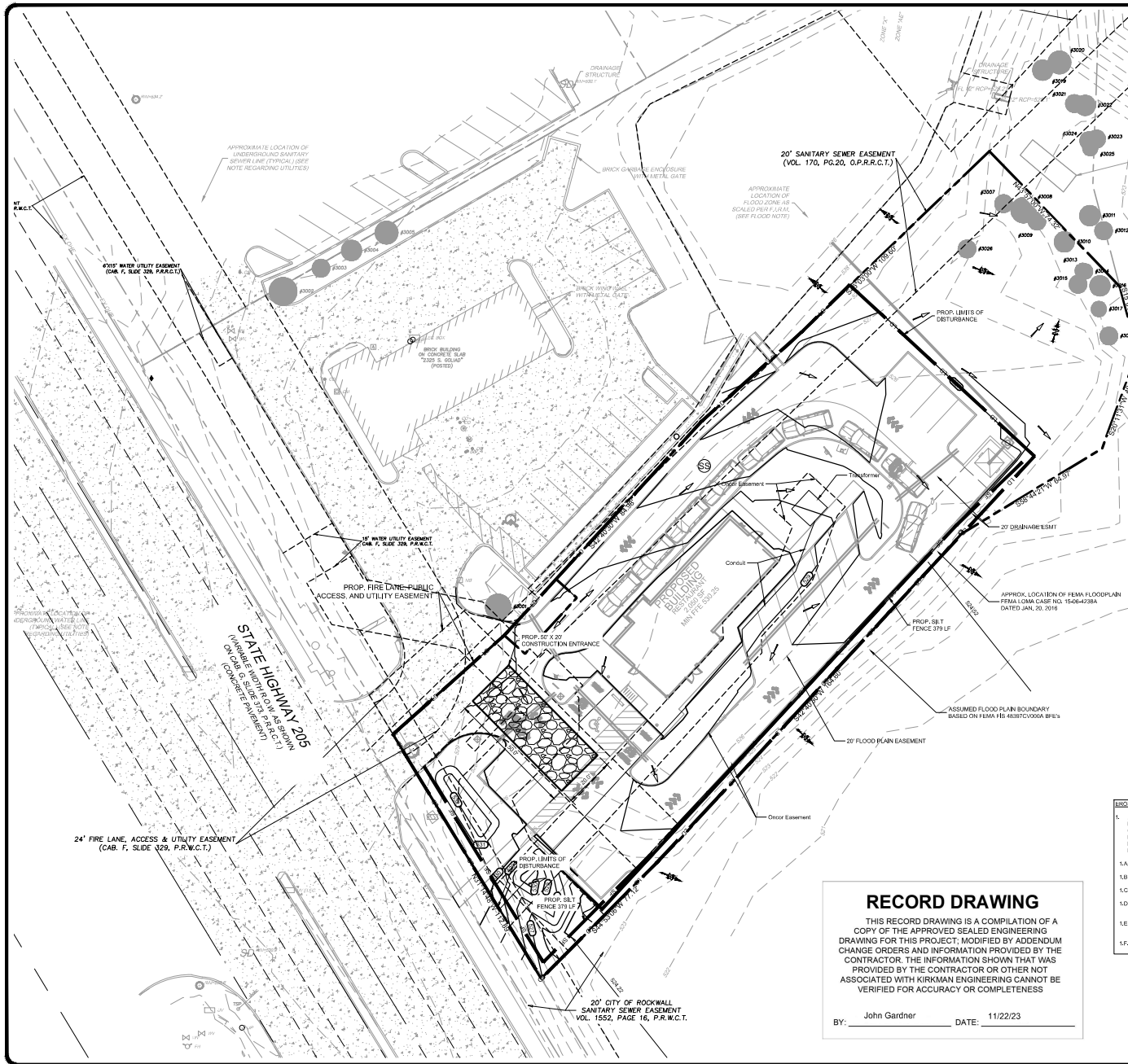
## PAVING PLAN

**SHEET:**

## C8.0

FILE PATH: \\s:\projects\2023\Rockwall Retail\Drawings\EROSION CONTROL\EROSION CONTROL PLAN - 11/22/23.dwg - 11/22/23.dwg

DATE: 11/22/23  
DRAWN BY: JG  
CHECKED BY: JG  
APPROVED BY: JG



**SITE BENCHMARKS**

BM NO. 1 THE SITE BENCHMARK IS AN "X" CUT SET IN THE NORTHEAST CORNER OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 205, BEING LOCATED APPROXIMATELY 22 FEET NORTH OF A 3" RISE 18" HIGH 12" WIDE 12" DEEP LIMIT, AND BEING APPROXIMATELY 11 FEET SOUTH OF A POWER POLE IN THE NORTH LINE OF STATE HIGHWAY 205.

ELEVATION = 533.19 (NAVD 83)

BM NO. 2 THE SITE BENCHMARK IS AN "X" CUT SET AT THE NORTHEAST CORNER OF A CONCRETE SIDEWALK ADJACENT TO THE NORTH LINE OF STATE HIGHWAY 205, BEING LOCATED APPROXIMATELY 15 FEET NORTHWEST OF THE NORTHEAST CORNER OF A DUMPSTER PAD ENCLOSURE NEAR THE WEST LINE OF THE SITE AND BEING LOCATED APPROXIMATELY 180 FEET EAST OF THE SOUTHERN END BUILDING CORNER OF THE BUILDING SITUATED ON SITE.

ELEVATION = 527.82 (NAVD 83)

**LEGEND**

PROPOSED LIMITS OF DISTURBANCE	LD
PROPOSED SILT FENCE	SF
PROPOSED INLET PROTECTION	
PROPOSED CONSTRUCTION ENTRANCE	
PROPOSED ROCK CHECK FILTER DAM	
PROPOSED CONCRETE WASHOUT PIT	
EXISTING CONTOUR	
PROPOSED CONTOUR	
EXISTING DRAINAGE FLOW ARROW	
PROPOSED DRAINAGE FLOW ARROW	
PROPERTY BOUNDARY	

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE TPODS.
2. TOTAL DISTURBED AREA = 7.86 ACRES
3. REFER TO SHEET(S) C15.0 FOR EROSION CONTROL DETAILS.

**NOTES FOR CHANGES TO SWPPP:**

CONTRACTOR SHALL BE REQUIRED TO UPDATE THIS SWPPP WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, OR WHENEVER THE RESULT OF AN INSPECTION INDICATES THAT THE SWPPP IS INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES. HOWEVER, THE REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL ENGINEERS REQUIRE THAT CHANGES MADE BY THE CONTRACTOR DURING CONSTRUCTION MUST BE AUTHORIZED BY A LICENSED TEXAS ENGINEER. THESE CHANGES MAY BE AUTHORIZED BY THE ENGINEER OF RECORD THROUGH UPDATED DRAWINGS, WORK ORDER CHANGES, OR OTHER METHODS ACCEPTABLE TO THE ENGINEER OR BY ANOTHER ENGINEER PROVIDED THAT THEY NOTIFY THE ENGINEER OF RECORD.

**NOTE TO CONTRACTOR**

THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON PLANS OR NOT PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS REVEAL SIGNIFICANTLY HIGH LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

- EROSION CONTROL SEQUENCE**
1. INSTALL SILT FENCES AROUND PERIMETER OF PROPERTY AND DISTURBED AREAS AS SHOWN.
  2. INSTALL INLET PROTECTION FOR ALL EXISTING GRATE INLETS, CURB INLETS AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES, IF PRESENT.
  3. CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
  4. COMMENCE GRUBBING AND REMOVAL OF VEGETATION IN AREA TO RECEIVE CUT OR FILL.
  5. COMMENCE GRADING OPERATION FOR BUILDING PAD PREPARATION.
  6. INSTALL ALL UNDERGROUND UTILITIES.
  7. FINISH PAVEMENT SUBGRADE PREPARATION.
  8. INSTALL ALL PROCESSED STORM SEWER PIPES AND INSTALL INLET PROTECTION SILT FENCES AT ENDS OF EXPOSED PIPES.
  9. CONSTRUCT ALL GRATE INLETS AND DRAINAGE STRUCTURES. INLET PROTECTION SILT FENCES MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
  10. REMOVE SILT FENCES AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
  11. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT, CURB & GUTTER.
  12. INSTALL ALL PAVING, CURB & GUTTER.
  13. COMPLETE PLANTING AND/OR SEEDING OF VEGETATED AREAS TO ACCOMPLISH STABILIZATION. IN ACCORDANCE WITH NCTCOG STANDARDS.
  14. REMOVE TEMPORARY CONSTRUCTION EXIT & SILT FENCES.

- EROSION CONTROL MAINTENANCE NOTES:**
1. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE WHICH COMPLIES WITH THE GENERAL PERMIT REQUIREMENTS AND CLEANED AND REPAIRED WITHIN 48 HOURS OF THE INSPECTION IN ACCORDANCE WITH THE FOLLOWING:
  - 1A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETEIORATION.
  - 1B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
  - 1C. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - 1D. THE TEMPORARY PARKING AND STORAGE AREA IF PRESENT SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
  - 1E. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS OR SEDIMENT TRAPS IF PRESENT SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
  - 1F. MAINTENANCE PROCEDURES FOR THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SPECIFIED ARE GIVEN IN SECTION 8 OF THE STORM WATER POLLUTION PREVENTION PLAN.

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BY: John Gardner DATE: 11/22/23



GRAPHIC SCALE  
0 20 40 FEET  
SCALE: 1" = 20'



VICTORY GROUP  
Victory Real Estate Group

ROCKWALL RETAIL  
LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS



KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15974

JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

EROSION CONTROL PLAN

SHEET:  
C9.0



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BY: John Gardner DATE: 11/22/23

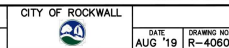
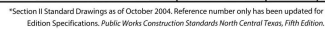


LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

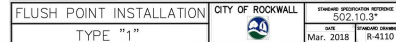
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## SITE DETAILS

SHEET:  
C10.0



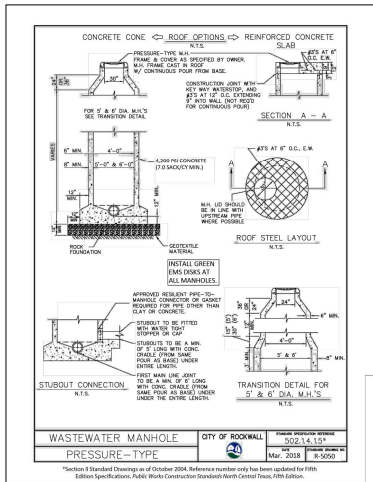
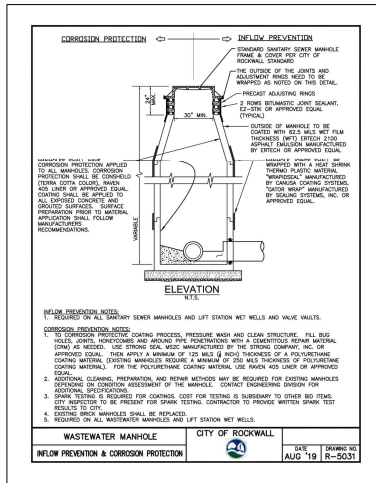
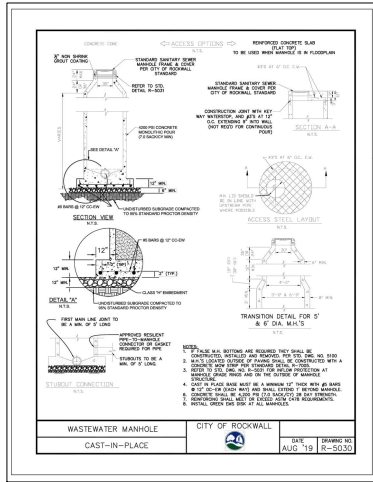
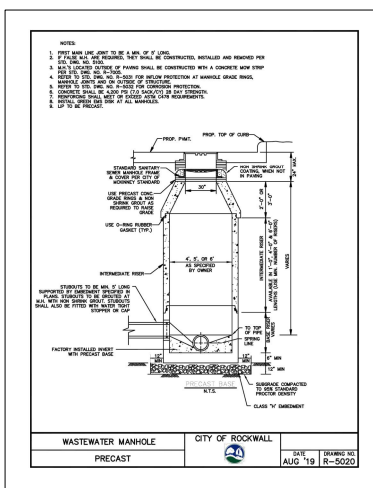
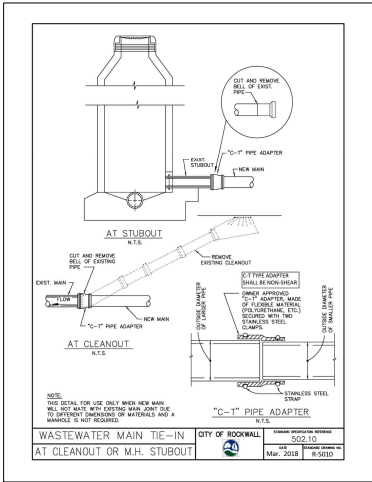
SHEET:  
C12.0



\*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. *Public Works Construction Standards North Central Texas, Fifth Edition.*

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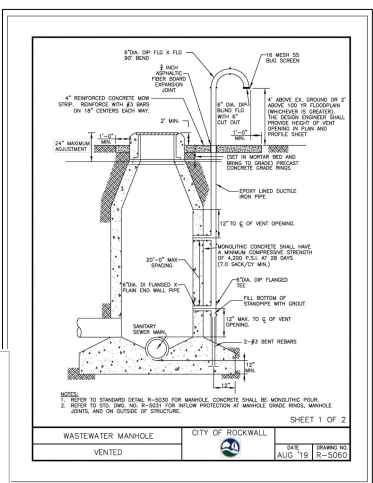




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BY: John Gardner DATE: 11/22/23



DATE: 03/10/2023

VICTORY GROUP

Victory Real Estate Group

ROCKWALL RETAIL

LOT 2, BLOCK 1

CITY OF ROCKWALL

DALLAS COUNTY, TEXAS

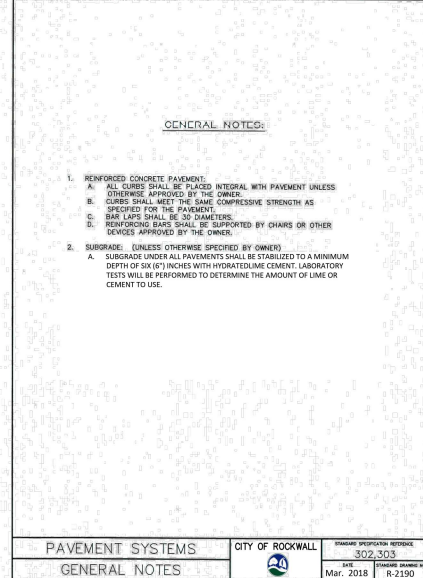
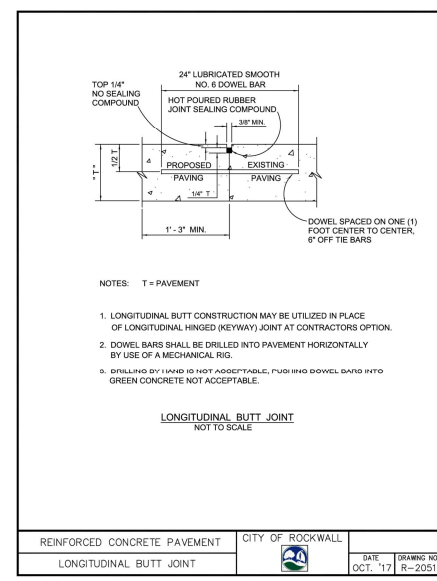
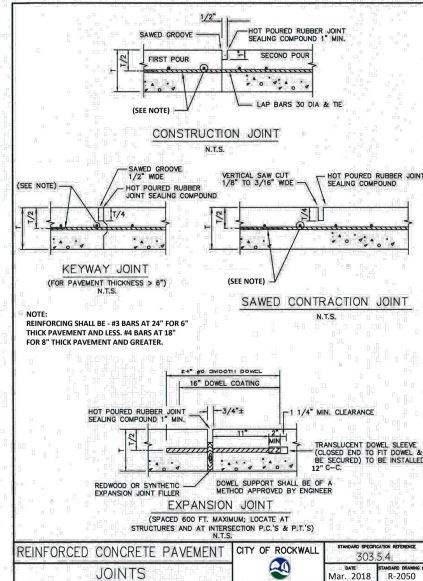
DATE: 03/10/2023

JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

**SANITARY SEWER DETAILS**

SHEET: C13.0



# RECORD DRAWING

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BY: John Gardner                      DATE: 11/22/23



**VICTORY | GROUP**  
Victory Real Estate Group

LOT 2, BLOCK 1  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

[illegible]

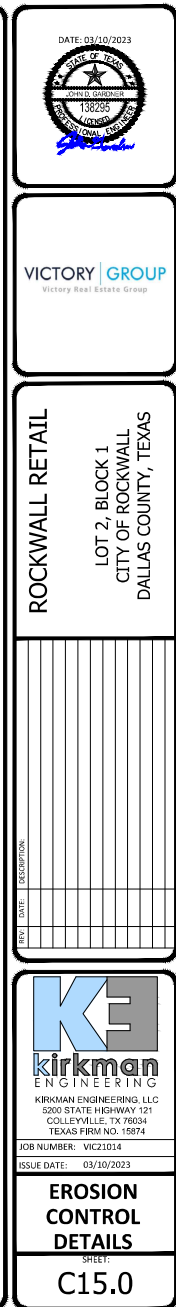
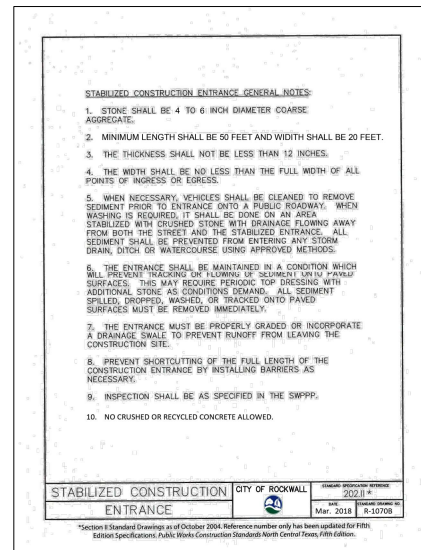
KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

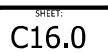
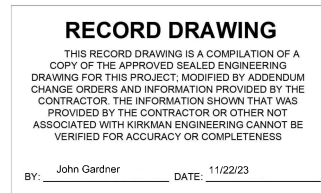
JOB NUMBER: VIC21014

ISSUE DATE: 03/10/2023

## PAVING DETAILS

SHEET:  
C14.0

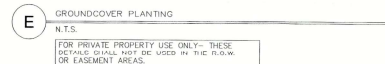




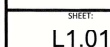








23. NO PLANT MATERIAL SHALL BE ALLOWED TO ENDOACH ON RIGHT-OF-WAY, SIDEWALKS, OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPAIRED.
24. NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE, 30 HORIZONTAL, TO 10 VERTICAL.
25. EARTHEN BERM SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECTLY SUPPORT DRAINAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
26. CONTACT TOWN OF PROSPER PARKS AND RECREATION DIVISION AT (972) 346-3502 FOR LANDSCAPE INSPECTION. NOTE THAT LANDSCAPE INSTALLATION MUST COMPLY WITH THE CITY OF PROSPER APPROVED LANDSCAPE PRACTICES ACCEPTANCE BY THE TOWN AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
27. FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION, AND LANDSCAPE SHALL BE THE RESPONSIBILITY OF THE TOWN OF PROSPER LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND OTHER APPURTENANCES, TO THE EXTENT OF ADDRESSING THE GRADE, AND TO THE TOWN OF PROSPER'S PUBLIC WORKS DEPARTMENT STANDARDS.
28. PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND OTHER APPURTENANCES.



BY: John Gardner DATE: 11/22/23