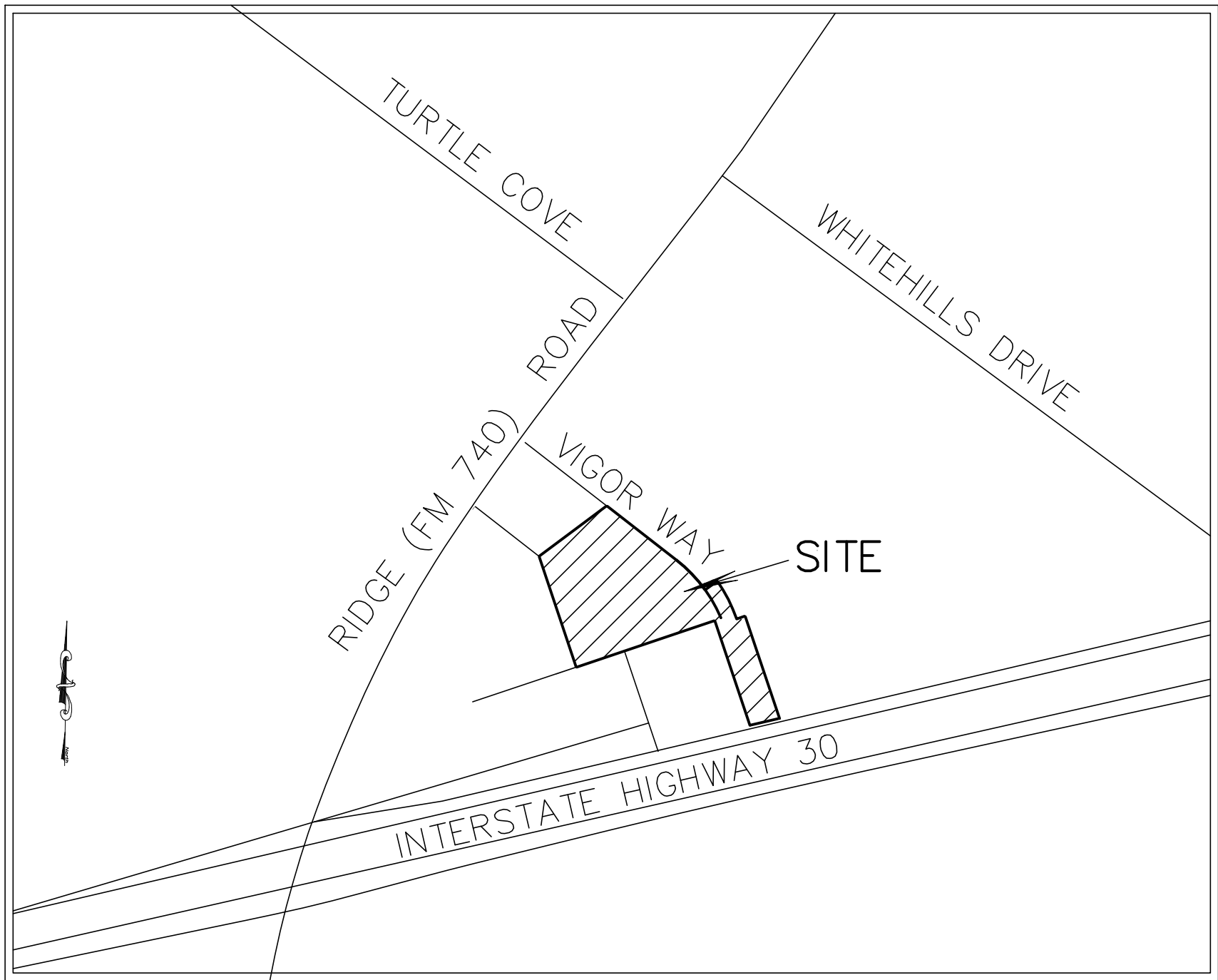


SITE IMPROVEMENT PLANS  
for  
VIGOR WAY PLAZA

LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas  
City of Rockwall  
Rockwall County, Texas



Location Map

MAPSCO:

OWNER/DEVELOPER:

PRBBS, LLC  
ATTN: BRIAN BERRY  
2 ESSEX COURT  
HEATH, TX 75032  
469-583-5976  
bberry@1onefirm.com

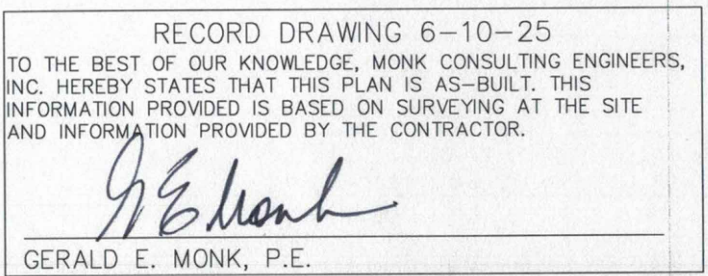
ENGINEER:

MONK CONSULTING ENGINEERS, INC.

GERALD E. MONK, P.E.  
1200 W. State Street ~ Garland Texas 75040 972) 272-1763 Fax 972) 272-8761  
jerry@monkconsulting.com  
REG. NO.: F-2567

INDEX

SHEET NO.	DESCRIPTION
C100	Cover Sheet
C101	Plat
C102	Site & Dimension Control Plan
C103	Paving Plan
CDA01	Utility Plan
C104	Pre Drainage Area Map (by others)
C105	Post Drainage Area Map
C106	Grading & Drainage Plan
C107	Storm Plan & Profile
D100	Erosion Control Plan
D101	City General Construction Notes & Details
D102	City Standard Details
L1	Site Details
	Approved Landscape Plan



PROJECT #: SP2024-004  
SUBMITTAL DATE:

1 <sup>st</sup>	
2 <sup>nd</sup>	

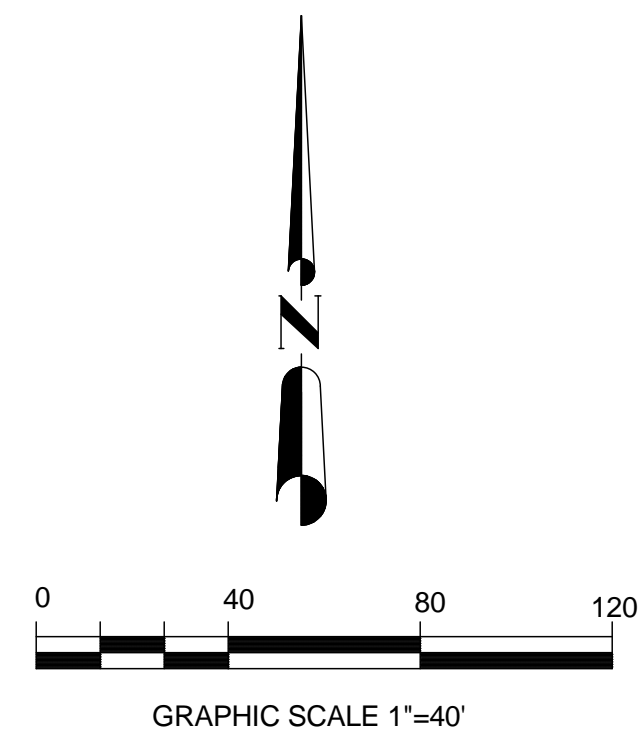
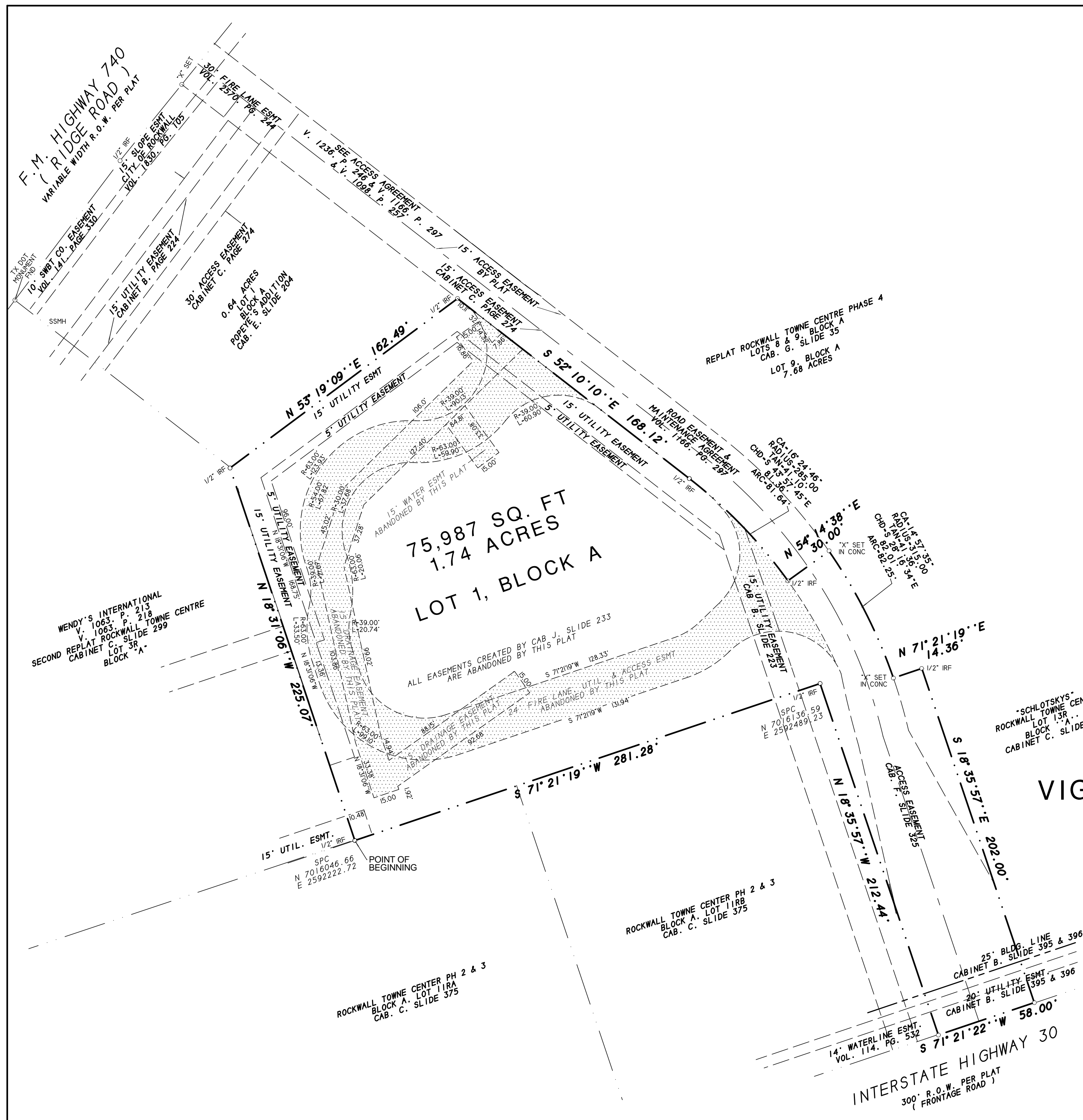


NO.	REVISIONS/CORRECTIONS DESCRIPTION	REVISE(R) ADD(A) SHT. #S	DATED
1	CITY COMMENTS	R (ALL)	

VIGOR WAY PLAZA, COMFORT INN & SUITES ROCKWALL TOWNE CENTRE, ROCKWALL, ROCKWALL COUNTY, TEXAS, 2024







FINAL PLAT  
LOT 1, BLOCK A  
VIGOR WAY PLAZA ADDITION

BEING A REPLAT OF  
LOT 1, BLOCK A  
BW PLUS EXECUTIVE  
RESIDENCY ADDITION  
1.74 ACRES OR 75,987 SF
















SITUATED IN THE  
E.P.G. CHISUM SURVEY, A- 64  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SHEET 2 OF 3  
DETAIL OF EASEMENTS  
ABANDONED BY THIS PLAT

OWNER:  
PRBBS, LLC  
2 ESSEX COURT  
HEATH, TEXAS 75032

**H.D. Fetty Land Surveyor, LLC**  
Firm Registration no. 10150900  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-

**SYMBOL LEGEND**

 TELEVISION CABLE	 GAS	 PHONE RINGS	 FIRE	 POWER POLE
 ELEC ELECTRIC PANEL	 ELEC BOX SUBMERGIBLE JUNCTION	 WV METER	 LP LIGHT	 72" RISE AND HYDRANT CORNER
 FENCE	 EASEMENT LINE		 AIR COND. UNIT	 PROPANE TANK
 PROPERTY LINES				

OWNER'S CERTIFICATE

(Public Dedication)

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, PRBBS, LLC BEING the Owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64, City of Rockwall, Rockwall County, Texas, and being Lot 1, Block A, COMFORT INN & SUITES, ROCKWALL TOWN CENTRE, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet H, Slide 25 of the Plat Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the West most Southwest corner of said Lot 1, Block A, and being at the East Southeast corner of Lot 3R, Block A of SECOND REPLAT ROCKWALL TOWNE CENTRE, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet C, Slide 299 of the Plat Records of Rockwall County, Texas;

THENCE N. 18 deg. 31 min. 06 sec. W. along the northeast line of Lot 3R, Block A, a distance of 225.07 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at an angle point at the South most corner of Lot 1, Block A, POPEYE'S ADDITION, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet E, Slide 204, of the Plat Records of Rockwall County, Texas;

THENCE N. 53 deg. 19 min. 09 sec. E. a distance of 162.49 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the Southwest line of a 15' access easement per plat recorded in Cabinet C, Slide 274;

THENCE S. 52 deg. 10 min. 10 sec. E. along the Southwest line of said 15' access easement, a distance of 168.12 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE in a Southeasterly direction along a curve to the right having a central angle of 16 deg. 24 min. 46 sec. , a radius of 285.00 feet, a tangent of 41.10 feet, a chord of S. 43 deg. 57 min. 45 sec. E., 81.36 feet, along said 15' access easement, an arc distance of 81.64 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 54 deg. 14 min. 35 sec. E. a distance of 30.00 feet to an "X" chisled in concrete for corner;

THENCE in a Southeasterly direction along a curve to the right having a central angle of 14 deg. 57 min. 35 sec. , a radius of 315.00 feet, a tangent of 41.36 feet, a chord of S. 28 deg. 16 min. 34 sec. E., 82.01 feet, along said 15' access easement, an arc distance of 82.25 feet to an "X" chisled in concrete for corner;

THENCE N. 71 deg. 21 min. 19 sec. E. a distance of 14.36 feet to a 1/2" iron rod found for corner;

THENCE S. 18 deg. 35 min. 57 sec. E. a distance of 202.00 feet to a P-K nail found in concrete for corner in the Northwest right-of-way line of Interstate Highway 30;

THENCE S. 71 deg. 21 min. 22 sec. W. along said right-of-way line, a distance of 58.00 feet to an "X" found in concrete for corner;

THENCE N. 18 deg. 35 min. 57 sec. W. a distance of 212.44 feet to a "X" found in concrete for corner;

THENCE S. 71 deg. 21 min. 19 sec. W. at 13.12 feet pass a 1/2" iron rod found for corner at an inner corner of said Lot 1, Block A, and continuing along the Southeast line of said Lot 1, a total distance of 281.28 feet to the POINT OF BEGINNING and containing 1.74 acres or 75,987 square feet of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as LOT 1, BLOCK A, VIGOR WAY PLAZA ADDITION, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LOT 1, BLOCK A, VIGOR WAY PLAZA ADDITION, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of th eir respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

PRBBS, LLC

By: BRIAN BERRY

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared BRIAN BERRY known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of LOT 1, BLOCK A, VIGOR WAY PLAZA ADDITION,an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor, City of Rockwall

Planning and Zoning Commission Chairman

City Secretary City of Rockwall

City Engineer

# FINAL PLAT LOT 1, BLOCK A VIGOR WAY PLAZA ADDITION

BEING A REPLAT OF  
LOT 1, BLOCK A  
BW PLUS EXECUTIVE  
RESIDENCY ADDITION  
1.74 ACRES OR 75,987 SF

SITUATED IN THE  
E.P.G. CHISUM SURVEY, A- 64  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SHEET 3 OF 3

OWNER:  
PRBBS, LLC  
2 ESSEX COURT  
HEATH, TEXAS 75032

H.D. Fetty Land Surveyor, LLC  
Firm Registration no. 10150900

SYMBOL LEGEND											
TV	GAS	TEL	PH	PP	TELEVISION	GAS	TEL	PH	PP	TELEVISION	POWER
CABLE RISER	METER	RISER	WIRE	POLE	CABLE RISER	METER	RISER	WIRE	POLE	CABLE RISER	POWER
ELEC	ELEC	BOX	WTR	LP	ELEC	ELEC	BOX	WTR	LP	ELEC	POWER
ELECTRIC	ELECTRIC	ELECTRIC	WATER	WATER	ELECTRIC	ELECTRIC	ELECTRIC	WATER	WATER	ELECTRIC	POWER
METER	METER	METER	WATER	WATER	METER	METER	METER	WATER	WATER	METER	POWER
JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	POWER
1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	1/2" IRON ROD FOUND	POWER
1 CORNER	1 CORNER	1 CORNER	1 CORNER	1 CORNER	1 CORNER	1 CORNER	1 CORNER	1 CORNER	1 CORNER	1 CORNER	POWER
POLE	POLE	POLE	POLE	POLE	POLE	POLE	POLE	POLE	POLE	POLE	POWER
PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	PROPANE TANK	POWER

SURVEY DATE JUNE 20, 2024  
SCALE 1" = 40' FILE # 20011293-12RP  
CLIENT PRBBS, LLC

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

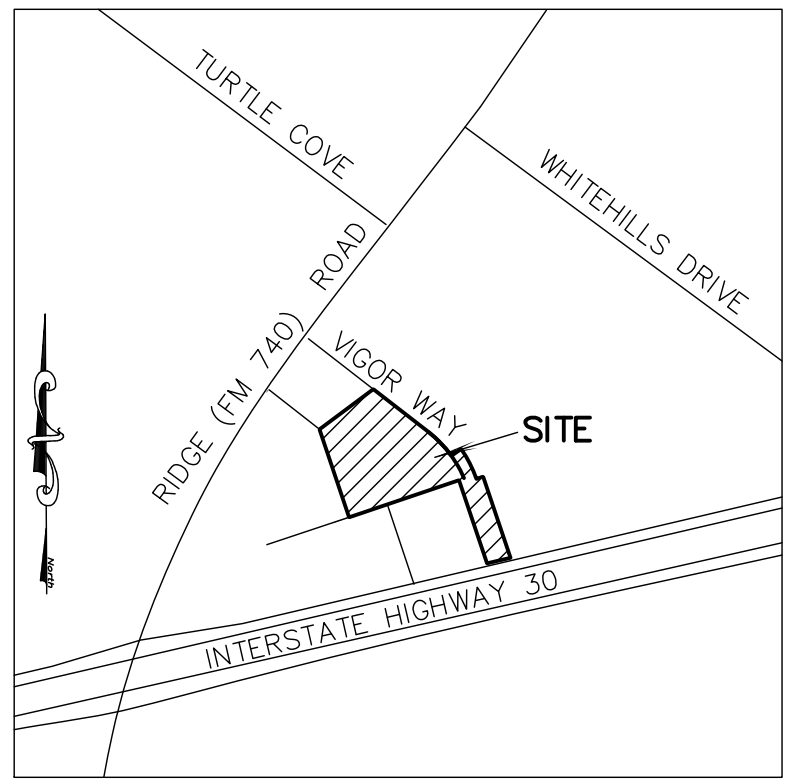
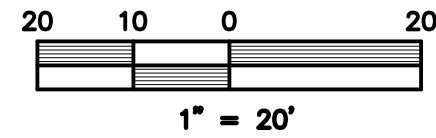
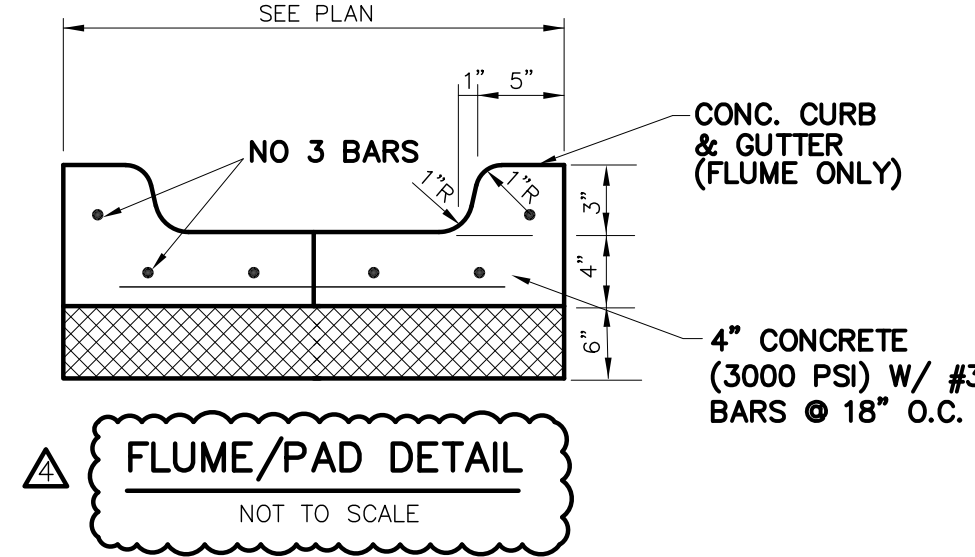
**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

0.64 ACRES  
LOT 1, BLOCK A  
POPEYE'S ADDITION  
CAB. E, SLIDE 204

REMOVE EX. WYLE  
INLET & PROVIDE 27"  
60' BEND, SEE C103

INSTALL APPROACH  
PER CITY DETAIL

PROP. LONGITUDINAL  
BUTT JOINT  
(SEE CITY DETAIL R-2051)



VICINITY MAP  
NOT TO SCALE

#### SITE DATA:

LOT AREA:  
1.74 Acres, 75,987 sq.ft.  
LOT COVERAGE:  
17%

FLOOR TO AREA RATIO:  
5.88:1

BUILDING AREA:  
1st Floor: 12,923 sq.ft.  
2nd Floor: 12,577 sq.ft.  
Total: 25,500 sq.ft.

BUILDING HEIGHT:  
2 STORY (30' MAX)

PROPOSED FUTURE USE:  
OFFICE

IMPERVIOUS AREA  
(including buildings):  
59,269 sq.ft.

ZONING:  
C2

PARKING:  
Required:

Office (1/300sf) = 85

Handicap = 4

Provided:

Standard = 81

Handicapped = 4

Total Provided = 85

LANDSCAPE AREA:  
Required: (20%) 15,197 sq.ft.  
Provided: 16,718 sq.ft.

FIRESPRINKLER:  
YES

\* THERE ARE NO EXIST.  
BUILDINGS ON THIS SITE

#### LEGEND

---	= PROPERTY LINE
EX. SS	= EXISTING SANITARY SEWER LINE
EX. W	= EXISTING WATER LINE
FH	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
PP	= EXISTING POWER POLE
LP	= EXISTING LIGHT POLE
SS	= EXISTING SS MANHOLE
TEL	= EX. TELEPHONE
TRF	= TRANSFORMER
EXIST. or EX.	= EXISTING
CL	= CENTERLINE
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
B-B	= BACK OF CURB TO BACK OF CURB
---	= PROPOSED FIRELANE

RECORD DRAWING 6-10-25  
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.  
*Gerald E. Monk*  
GERALD E. MONK, P.E.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

revised date:	
9/12/24	BM ELEVATION
9/23/24	ADDED WHEELSTOPS REMOVED CURB
10/9/24	DUMPSTER HT.
11/1/24	FLUME DETAIL



REVISIONS
9/12/24
9/23/24

*Gerald E. Monk*  
6/25/24

PROJECT #: SP2024-004

### SITE & DIMENSION CONTROL PLAN VIGOR WAY PLAZA

LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner/developer

PRBBS, LLC

ATTN: BRIAN BERRY

2 ESSEX COURT

HEATH, TX 75032

469-583-5976

prepared by

MONK CONSULTING ENGINEERS

1200 W. State Street, Garland Texas 75040

972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2024-3 REG. NO.: F-2567

date: 6/25/24 scale: 1"=20' sheet: C101

#### \*\* NOTICE TO CONTRACTORS \*\*

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

#### NOTES:

- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
- SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PRIVATE TRASH SERVICE

#### GENERAL NOTES

- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
- Fire lanes shall be designed and constructed per city standards.
- Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
- Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
- All signage contingent upon Building Inspection Department.
- Approval of the site plan is not final until all engineering plans are approved.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Please contact the Building Inspection Department to determine the type of construction and occupancy group.
- All electrical transmission, distribution and service lines must be underground.

#### BENCHMARK:

TOP NUT OF FIRE HYDRANT LOCATED EAST SIDE OF VIGOR WAY AND SOUTH SIDE OF DRIVEWAY APPROACH BEHIND SCHLOTSKY'S N 7016170.93, E 2592546.21  
ELEVATION=547.07



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CONSTRUCTION JOINTS @ 20' O.C.

0.64 ACRES  
LOT 1, BLOCK A  
POPEYE'S ADDITION  
CAB. E, SLIDE 204

PROPOSED 4" FLATWORK

PROP. BLDG.  
25,500 S.F.  
FF=544.0

PROP. LONGITUDINAL BUTT JOINT  
(SEE CITY DETAIL R-2051)

FLUME: 4" CONCRETE  
(3000 PSI) W/ #3 BARS @ 18" O.C.  
MIN. 5.5 SACK MIX  
(SEE DETAIL C105)

**PAVING NOTES:**

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) MINIMUM SIX (6) INCH LIME STABILIZED SUBGRADE OR EIGHT (8) TO TEN (10) INCHES OF APPROVED FLEXBASE
- 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 7) NO SAND UNDER PAVING/SIDEWALK

PROP. LONGITUDINAL BUTT JOINT  
(SEE CITY DETAIL R-2051)

VICINITY MAP  
NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- ⊙ FH = EXISTING FIRE HYDRANT
- M WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- = EX. TELEPHONE BOX
- = TRANSFORMER

- EXIST. or EX. = EXISTING
- ⊙ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB

- = PROPOSED 6" THICK FIRELANE SEE PAVING NOTES
- = PROPOSED 4" PAVING (SIDEWALK) SEE PAVING NOTES
- = PROPOSED 5" PAVING (PARKING) SEE PAVING NOTES
- = PROPOSED 8" PAVING (DUMPSTER) SEE PAVING NOTES

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

**REVISIONS**

9/12/24



6/25/24

PROJECT #: SP2024-004

**PAVING PLAN**

**VIGOR WAY PLAZA**

LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner/developer

PRBBS, LLC

ATTN: BRIAN BERRY

2 ESSEX COURT

HEATH, TX 75032

469-583-5976

prepared by

MONK CONSULTING ENGINEERS

1200 W. State Street, Garland Texas 75040

972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2024-3 REG. NO.: F-2567

date: 6/25/24 scale: 1"=20' sheet: C102

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**NOTES:**

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5) PRIVATE TRASH SERVICE

**BENCHMARK:**

TOP NUT OF FIRE HYDRANT LOCATED EAST SIDE OF VIGOR WAY AND SOUTH SIDE OF DRIVEWAY APPROACH BEHIND

SCHLOTSKY'S N 7016170.93, E 2592546.21

ELEVATION=547.07



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
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**NOTE:**  
COORDINATE W/ WENDY'S & POPEYE'S FOR TURNING 10" WATER LINE OFF AFTER HOURS TO INSTALL THE 10" MAIN VALVES.

**INSTALL 46 LF 8" WATER:**  
(1) 10"x8" TEE  
(1) 8" VALVE  
(1) 10" MAIN VALVE  
(1) FIRE HYDRANT ASSEMBLY

**FOR IRRIGATION SERVICE INSTALL:**  
(1) 10"x1" TAPPING SLEEVE  
(1) 1" METER BOX  
INSTALL METER IN ROW.  
(1) TESTABLE BACKFLOW PREVENTION DEVICE

REMOVE WYE INLET & PROVIDE 27" 60° BEND  
INSTALL 27"x18" WYE  
DROP EX. WATER W/ (4) 45° BEND UNDER STORM. CONCRETE ENCASE WATER LINES FOR <2' SEPARATION

**FOR DOMESTIC SERVICE INSTALL:**  
(1) 10"x2" TAPPING SLEEVE  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ROW.  
(1) TESTABLE BACKFLOW PREVENTION DEVICE

CONNECT TO EX 8" SS TAP, INSTALL STEEL SLEEVE @ EXISTING & INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

**INSTALL:**  
(1) 10"x6" TEE  
(1) 10" VALVE  
(1) 6" VALVE  
114 LF OF 6" FIRE SPRINKLER LINE  
(C-900 CLASS 200 PVC DR14)

**INSTALL 50 LF 8" WATER:**  
(1) 10"x8" TEE  
(1) 8" VALVE  
(1) 10" VALVE  
(1) FIRE HYDRANT ASSEMBLY

**NOTE:**  
COORDINATE W/ WENDY'S & POPEYE'S FOR TURNING 10" WATER LINE OFF AFTER HOURS TO INSTALL THE 10" MAIN VALVES.

**PROP. BLDG.**  
25,500 S.F.  
FF= 544.0

LOCATE FH 5' BEHIND ALL CURBS

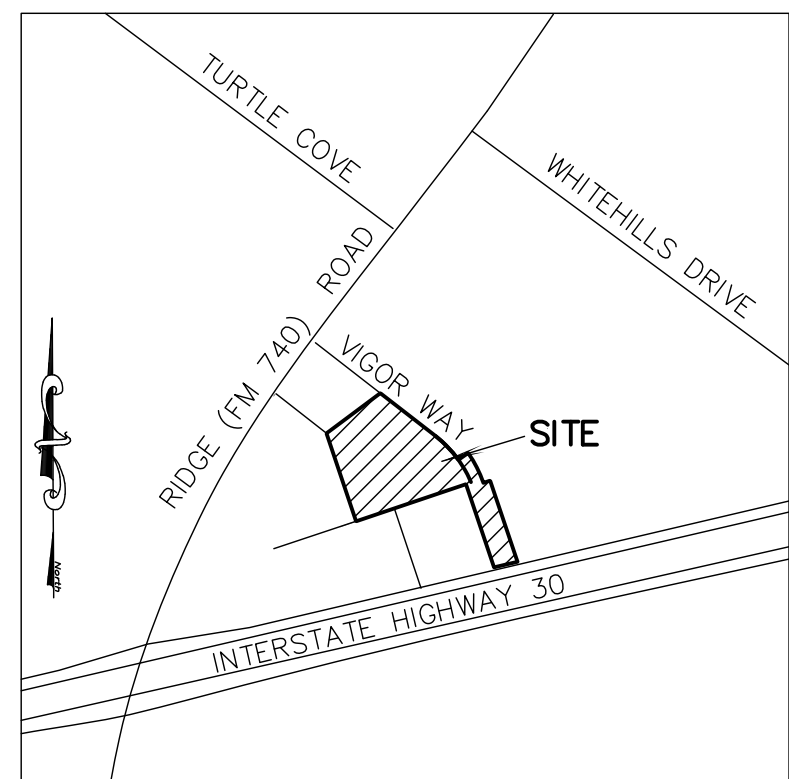
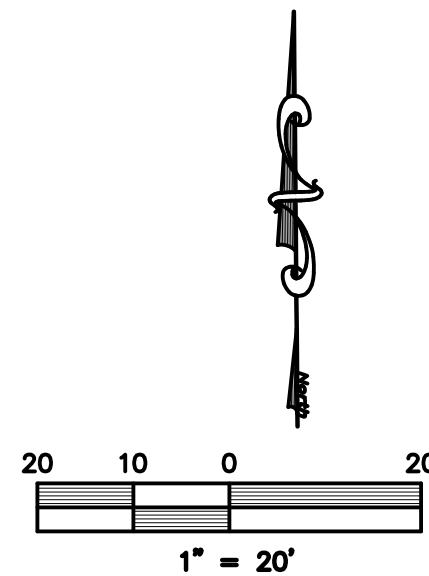
INSTALL 6" PVC W/ OIL/WATER SEPARATOR (20LB OR EQUAL) DISCHARGE TO STORM INLET

!!!! CAUTION !!!!  
CALL 811 TO LOCATE UNDERGROUND LINES  
48 HRS PRIOR TO CONSTRUCTION

#### NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK IN SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL WATER & SEWER SERVICES MUST BE APPROVED & PERMITTED BY THE CITY OF ROCKWALL.
- 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
- 6) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.

**BENCHMARK:**  
TOP NUT OF FIRE HYDRANT LOCATED EAST SIDE OF VIGOR WAY AND SOUTH SIDE OF DRIVEWAY APPROACH BEHIND SCHLOTSKY'S  
N 7016170.93, E 2592546.21  
ELEVATION=547.07



VICINITY MAP  
NOT TO SCALE

#### LEGEND

---	= PROPERTY LINE
--- EX. SS ---	= EXISTING SANITARY SEWER LINE
--- EX. W ---	= EXISTING WATER LINE
⊙ FH	= EXISTING FIRE HYDRANT
M WM	= EXISTING WATER METER
⊙ PP	= EXISTING POWER POLE
⊙ LP	= EXISTING LIGHT POLE
⊙	= EXISTING SS MANHOLE
⊙	= EX. TELEPHONE BOX
⊙	= TRANSFORMER
EXIST. or EX.	= EXISTING
⊙	= CENTERLINE
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
B-B	= BACK OF CURB TO BACK OF CURB
---	= PROPOSED FIRELANE

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RECORD DRAWING 6-10-25  
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.  
*Gerald E. Monk*  
GERALD E. MONK, P.E.



PROJECT #: SP2024-004

#### UTILITY PLAN

#### VIGOR WAY PLAZA

LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner/developer  
PRBBS, LLC  
ATTN: BRIAN BERRY  
2 ESSEX COURT  
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PROJECT NO.: 2024-3 REG. NO.: F-2567

date: 6/25/24 scale: 1"=20'

sheet: C103



MODIFIED RATIONAL METHOD DETENTION CALCULATIONS

Runoff Coefficient C =	0.9							
Drainage Area - A =	14.26	acres						
Time of Concentration - tc =	10	minutes						
Allowable Outflow Rate - Q* =	64.97	cfs						

Duration (minutes)	Intensity (inches/hr)	Depth (inches)	Inflow Discharge (cfs)	Inflow Volume (cu. ft.)	Outflow Duration (minutes)	Outflow Volume (cu. ft.)	Storage Volume (cu. ft.)	Outflow Discharge (cfs)
5	10.56	0.88	135.5	40,658	15	29,237	11,422	38.1
10	9.80	1.63	125.8	75,464	20	38,982	36,482	60.8
15	9.10	2.28	116.8	105,110	25	48,728	56,383	62.6
20	8.30	2.77	106.5	127,827	30	58,473	69,354	57.8
25	7.50	3.13	96.3	144,383	35	68,219	76,164	50.8
30	6.90	3.45	88.6	159,398	40	77,964	81,434	45.2
35	6.50	3.79	83.4	175,184	45	87,710	87,475	41.7
40	5.80	3.87	74.4	178,649	50	97,455	81,194	33.8
50	5.00	4.17	64.2	192,510	60	116,946	75,564	25.2
60	4.50	4.50	57.8	207,911	70	136,437	71,474	19.9
70	4.10	4.78	52.6	221,001	80	155,928	65,073	15.5
80	3.75	5.00	48.1	231,012	90	175,419	55,593	11.6
90	3.48	5.22	44.7	241,177	100	194,910	46,267	8.6
120	2.65	5.30	34.0	244,873	130	253,383	(8,510)	(1.2)
180	1.93	5.78	24.7	267,050	190	370,329	(103,279)	(9.6)
360	1.16	6.98	14.9	322,483	370	721,167	(398,674)	(18.5)
720	0.73	8.80	9.4	406,581	730	1,422,843	(1,016,262)	(23.5)
1440	0.40	9.55	5.1	441,233	1,450	2,826,195	(2,384,962)	(27.6)
			Required Storage Volume		87,475		cubic feet	
					2.01		acre-feet	

\*Allowable Q = (A1+A2+A3+A4+A5+A6+A7)(0.35)(8.3) + (OS1+OS2+OS3)(0.9)(9.8) - (A3+A7)(0.9)(9.8)

Calculations based on City of Rockwall 100-yr IDF Curve

POND STAGE VS. STORAGE & DISCHARGE

Orifice Coefficient C =	0.60		
Orifice Area A =	4.77	Sq. Ft.	

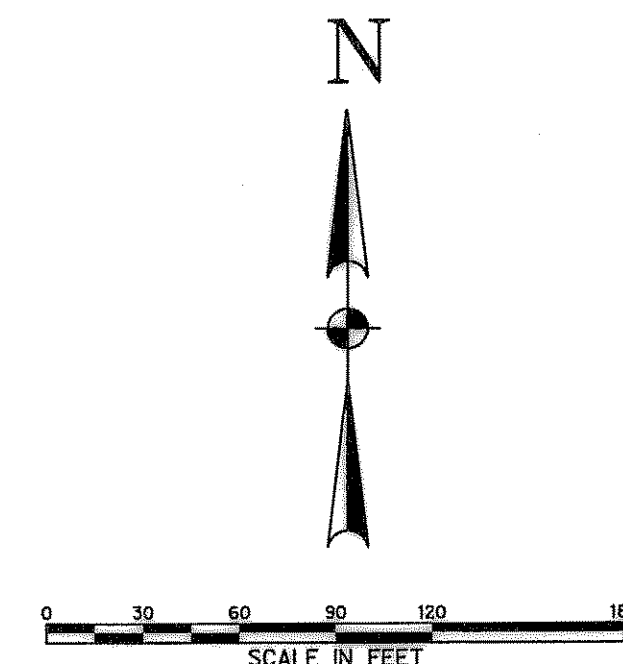
  

Water Surface Elevation	Height of Water in Detention Pond (ft)	Storage (ft³)	Outflow (cfs)
520	1	5,693	22.97
521	2	15,527	32.49
522	3	25,361	39.79
523	4	35,639	45.94
524	5	47,227	51.36
525	6	60,186	56.27
526	7	74,184	60.77
527	8	88,939	64.97

- NOTE: 1. RUNOFF FROM AREA OS1, OS2 & OS3 IS BEING PASSED THROUGH THE PROPOSED DEVELOPMENT & DETENTION POND UNDETAINED.
2. SEE NOTE IN DRAINAGE DATA TABLE THIS SHEET REGARDING AREAS A3 & A7.
3. DETENTION WILL BE BUILT IN 2 PHASES. THE FIRST PHASE WILL BUILD THE PHASE I PORTION OF THE DETENTION TO ALLOW THE CULVERS SITE TO DEVELOP. PHASE II WILL BE CONSTRUCTED WHEN THE REMAINDER OF THE DEVELOPMENT IS BUILT.

F. M. HIGHWAY 740 ( RIDGE ROAD )

INTERSTATE HIGHWAY 30



GRANDY'S

LUBY'S

SCHLOTZKY'S

BURGER KING

KWIK LUBE

GOODYEAR

MCDONALD'S

HEAD ELECTRIC LINE

WATER TOWER

DRAINAGE DATA

DRAINAGE AREA DESIGNATION	AREA (AC.)	C	I <sub>100</sub> (IN/HR)	Q <sub>100</sub>	COMMENT
A1	1.44	0.9	9.80	12.70	TO FUTURE DETENTION POND
A2	0.70	0.35	9.80	2.40	TO FUTURE DETENTION POND
A3	0.88	0.9	9.80	7.76	SEE NOTE 1
A4	3.69	0.9	9.80	32.55	TO FUTURE DETENTION POND
A5	2.04	0.9	9.80	17.99	TO FUTURE DETENTION POND
A6	1.42	0.9	9.80	12.52	TO FUTURE DETENTION POND
A7	0.12	0.9	9.80	1.06	SEE NOTE 1
OS1	0.90	0.9	9.80	7.94	ROUTED OFFSITE (NOT DETAINED)
OS2	2.33	0.9	9.80	20.55	ROUTED OFFSITE (NOT DETAINED)
OS3	1.74	0.9	9.80	15.35	ROUTED OFFSITE (NOT DETAINED)

TOTAL AREA 15.25

Q<sub>100</sub> = C\*I\*A

NOTES

1. AREAS A3 & A7 DISCHARGE DIRECTLY TO THE TxDOT STORM DRAIN. DETENTION POND ALLOWABLE DISCHARGE HAS BEEN REDUCED BY A3 & A7'S DISCHARGE TO NOT EXCEED ALLOWABLE DISCHARGE FOR THE OVERALL SITE.

RECORD DRAWING

THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

ENGINEER

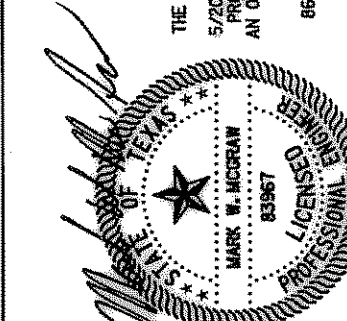
DATE

RIDGE ROAD  
TOWN  
CENTRE  
ROCKWALL, TEXAS



Ridge Road Town Centre  
Partners, L.P.  
by its General Partners:  
RIDGE ROAD  
PARTNERS L.L.C.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE BOARD OF SURVEYORS OF THE STATE OF TEXAS. IT IS HEREBY CERTIFIED THAT THE ENGINEER HAS COMPLIED WITH THE REQUIREMENTS OF THE TEXAS PROFESSIONAL ENGINEERING ACT, AND THE SEAL OF THE ENGINEER IS VALID FOR THE STATE OF TEXAS.



**Half Associates, Inc.**  
ENGINEERS • ARCHITECTS • SCIENTISTS • PLANNERS • SURVEYORS  
8616 NORTHWEST PLAZA DRIVE  
DALLAS, TEXAS 75225  
TEL (214) 346-6200  
FAX (214) 739-1095

Project No:		AWO # 20633	
Issued:			
Revisions:			
No.	Date	Description	
1	8-05-02	FIRST SUBMITTAL	
2	9-25-02	SECOND SUBMITTAL	
3	10-30-02	THIRD SUBMITTAL	
4	12-10-02	FOURTH SUBMITTAL	
5	1-7-03	FIFTH SUBMITTAL	
6	1-21-03	SIXTH SUBMITTAL	

Drawn by:  
Checked by:  
Sheet Title

DRAINAGE AREA  
MAP

CDA01

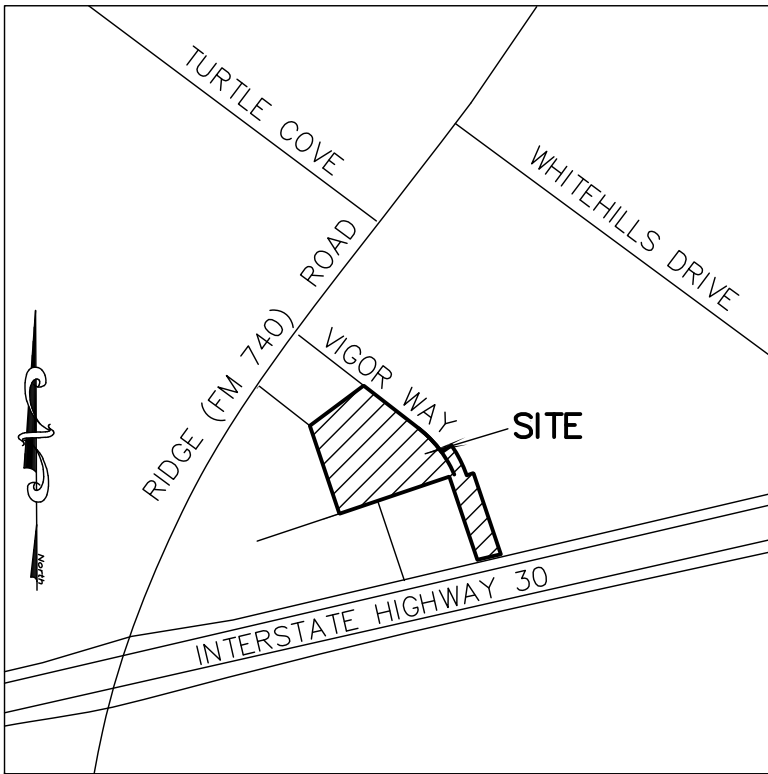
03-08-04 RECORD DRAWINGS



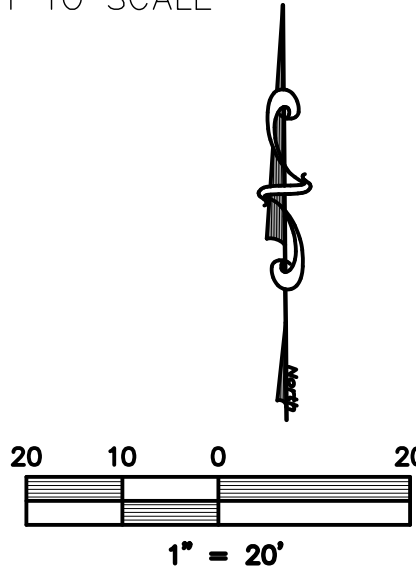
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CONTRACTOR TO CALL NTWMD LINE LOCATIONS AT 972-442-5405, 72 HOURS PRIOR TO WORKING IN NTWMD EASEMENTS IN ORDER TO SCHEDULE A REPRESENTATIVE TO BE ON-SITE.

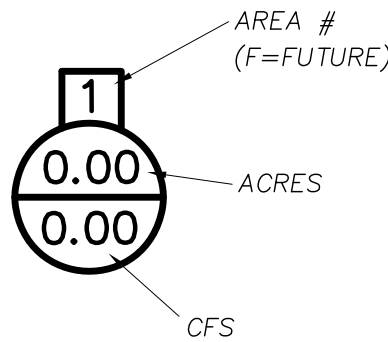
0.64 ACRES  
LOT 1, BLOCK A  
POPEYE'S ADDITION  
CAB. E, SLIDE 204



VICINITY MAP  
NOT TO SCALE



### LEGEND



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*Gerald Monk*  
GERALD E. MONK, P.E.



*Gerald Monk*  
6/25/24

REVISIONS
9/12/24

PROJECT # SP2024-004

### POST DRAINAGE AREA MAP VIGOR WAY PLAZA

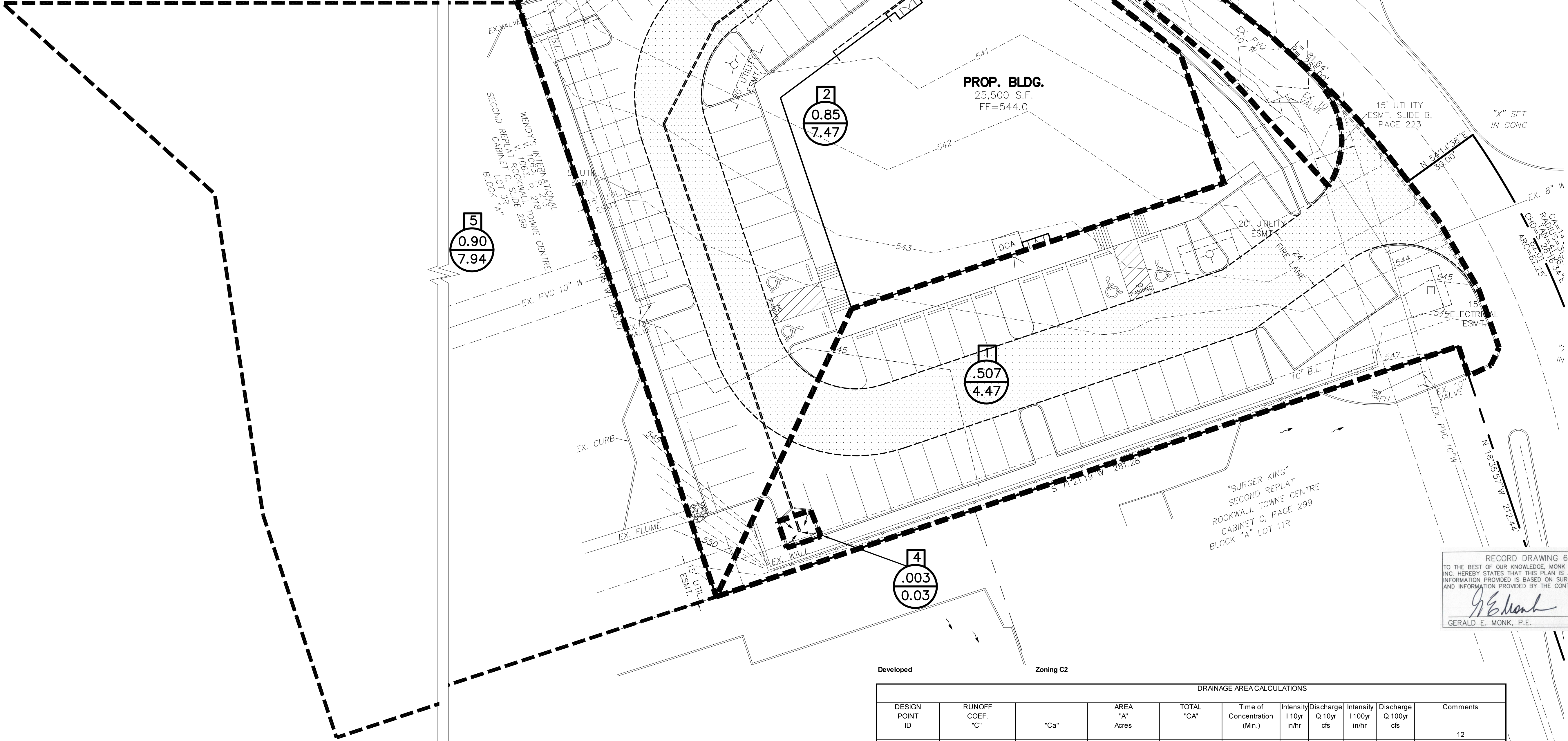
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PROJECT NO.:	2024-3	REG. NO.:	F-2567
date:	6/25/24	scale:	1"=20'
sheet:	C104		



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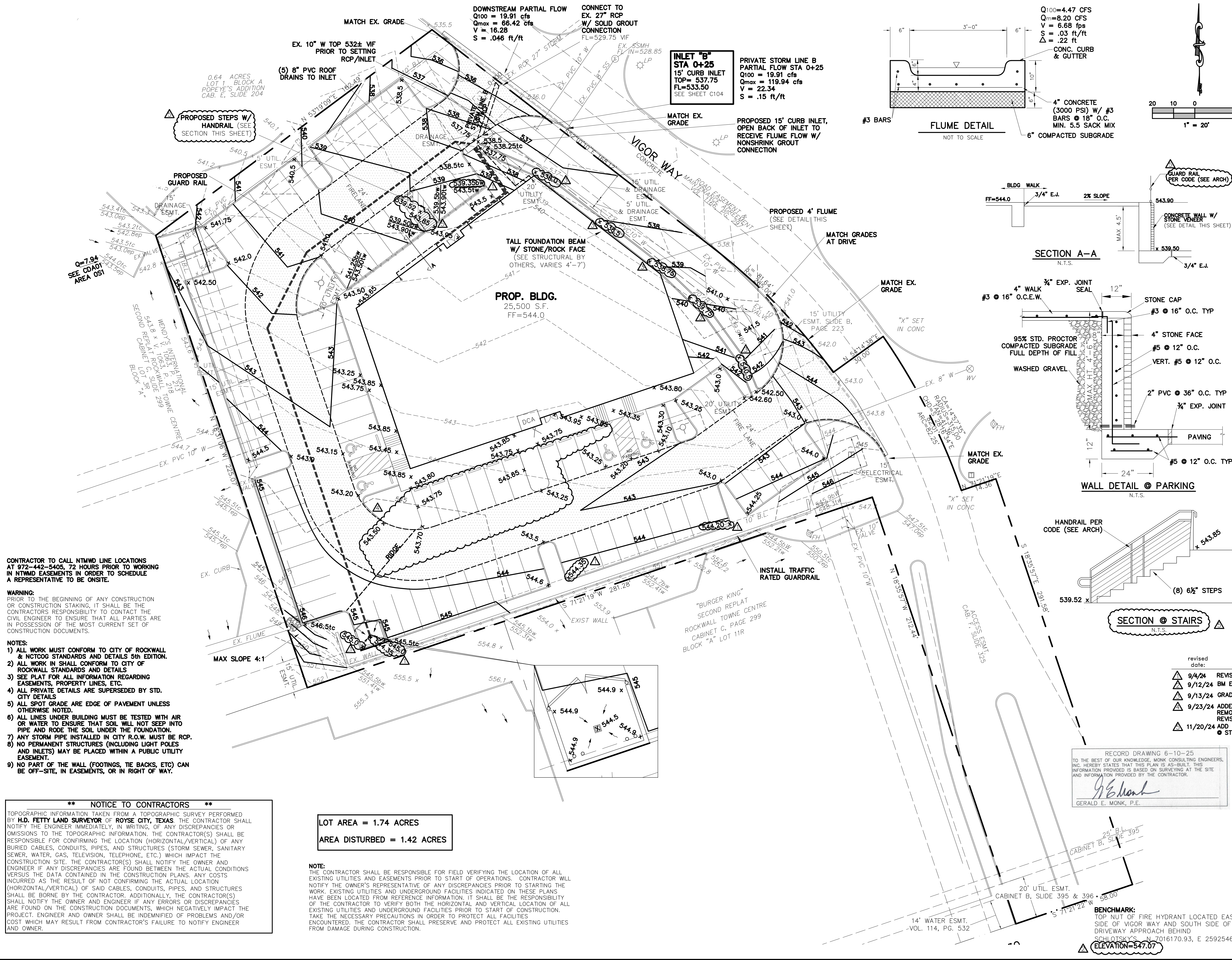
Developed Zoning C2

DRAINAGE AREA CALCULATIONS											
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity 1 10yr in/hr	Discharge Q 10yr cfs	Intensity 1 100yr in/hr	Discharge Q 100yr cfs	Comments	
1	0.9	1	0.507	0.46	10.00	7.10	3.24	9.80	4.47	To proposed flume	
2	0.9	1	0.85	0.76	10.00	7.10	5.41	9.80	7.47	To proposed curb inlet	
3	0.9	1	0.06	0.05	10.00	7.10	0.38	9.80	0.53	To Vigor Way	
4	0.9	1	0.003	0.00	10.00	7.10	0.02	9.80	0.03	To Oil/Water separator/ Inlet	
5	0.9	1	0.900	0.81	10.00	7.10	5.75	9.80	7.94	To Area 2 (Off Site)	
			2.32						20.44		

**BENCHMARK:**  
TOP NUT OF FIRE HYDRANT LOCATED EAST SIDE OF VIGOR WAY AND SOUTH SIDE OF DRIVEWAY APPROACH BEHIND SCHLOTSKY'S N 7016170.93, E 2592546.21  
ELEVATION=547.07

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - 2) ALL WORK IN SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL PRIVATE DETAILS ARE SUPERSEDED BY STD. CITY DETAILS
  - 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
  - 7) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
  - 8) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
  - 9) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE, IN EASEMENTS, OR IN RIGHT OF WAY.





**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- 460- = EXISTING CONTOURS
- 460- = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES  
tc = TOP OF CURB  
ep = EDGE OF PAVEMENT  
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- S = EXISTING SS MANHOLE
- = EX. TELEPHONE BOX
- = TRANSFORMER
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

**ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.**

**REVISIONS**

DATE	REVISIONS
9/4/24	REVISED GRADES
9/12/24	BM ELEVATION
9/13/24	GRADES @ FLUME
9/23/24	ADDED WHEELSTOPS, REMOVED CURB, REVISED GRADES
11/20/24	ADD SPOT GRADES @ STAIRS

**STATE OF TEXAS**  
**GERALD MONK**  
44563  
LICENSED PROFESSIONAL ENGINEER

**PROJECT # SP2024-004**  
**GRADING PLAN**  
**VIGOR WAY PLAZA**

**LOT 1, BLOCK A, 1.74 ACRES**  
**COMFORT INN & SUITES ROCKWALL TOWNE CENTRE**  
City of Rockwall, Rockwall County, Texas

**owner/developer**  
**PRBBS, LLC**  
**ATTN: BRIAN BERRY**  
**2 ESSEX COURT**  
**HEATH, TX 75032**  
**469-583-5976**

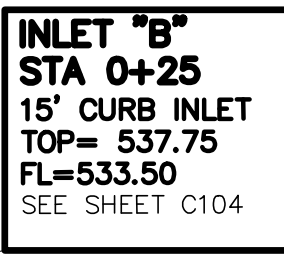
**prepared by**  
**MONK CONSULTING ENGINEERS**  
**1200 W. State Street, Garland Texas 75040**  
**972 272-1763 Fax 972 272-8761**

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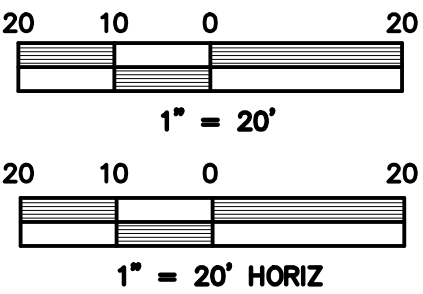
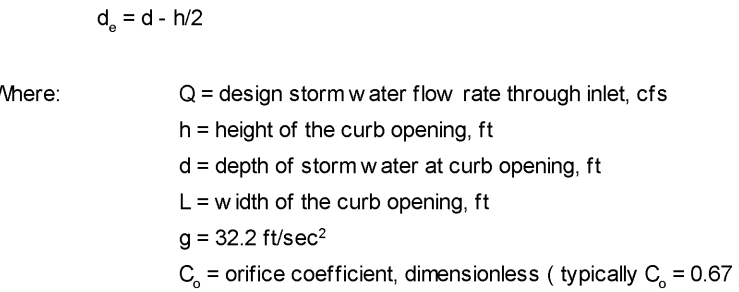
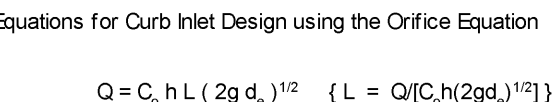
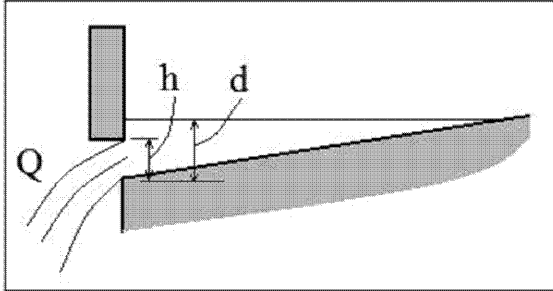
**PROJECT NO.: 2024-3** **REG. NO.: F-2567**

**date: 6/25/24** **scale: 1"=20'** **sheet: C105**





## FlexTable: Conduit Table




STORM LINE B (PRIVATE)

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
REMAINS WITH THE DESIGN ENGINEER. THE CITY OF  
ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR  
CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR  
ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR  
CONSTRUCTION" BY THE CITY OF ROCKWALL  
TO BE USED FOR CONSTRUCTION.

RECORD DRAWING 6-10-25

TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS,  
INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS  
INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE  
AND INFORMATION PROVIDED BY THE CONTRACTOR.



GERALD E. MONK, P.E.



## REVISIONS

PROJECT #: SP2024-004

## STORM PLAN & PROFILE

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### VIGOR WAY PLAZA

LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner/developer

PRBBS, LLC

ATTN: BRIAN BERRY

2 ESSEX COURT  
HEATH, TX 75032

HEATH, TX 75032  
469-583-5976

100 333 33,3

CONSULTING ENGINEER

State Street, Garland, Texas

72-1763 Fax 972 27

Consulting Engineers, Inc., A

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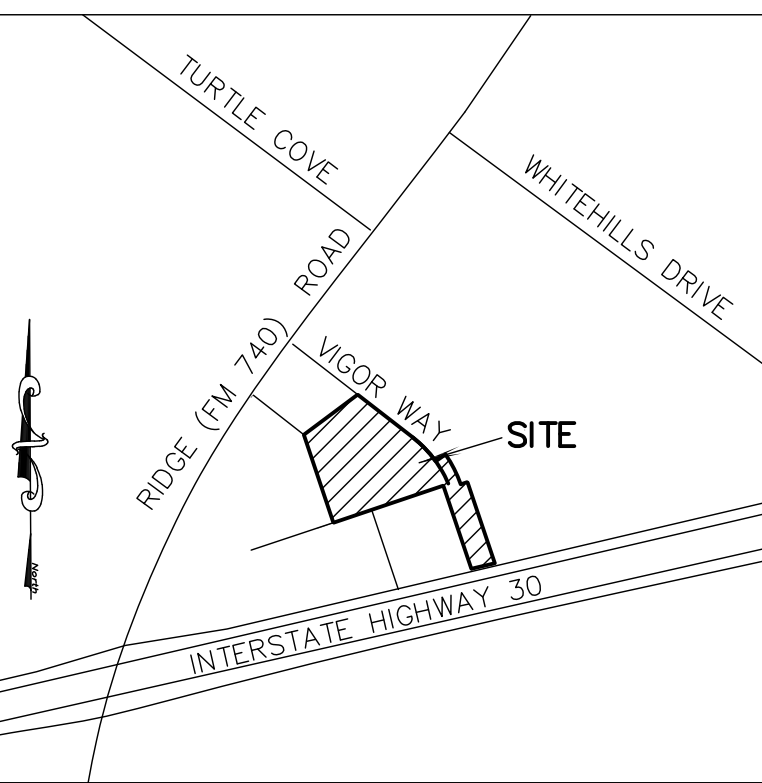
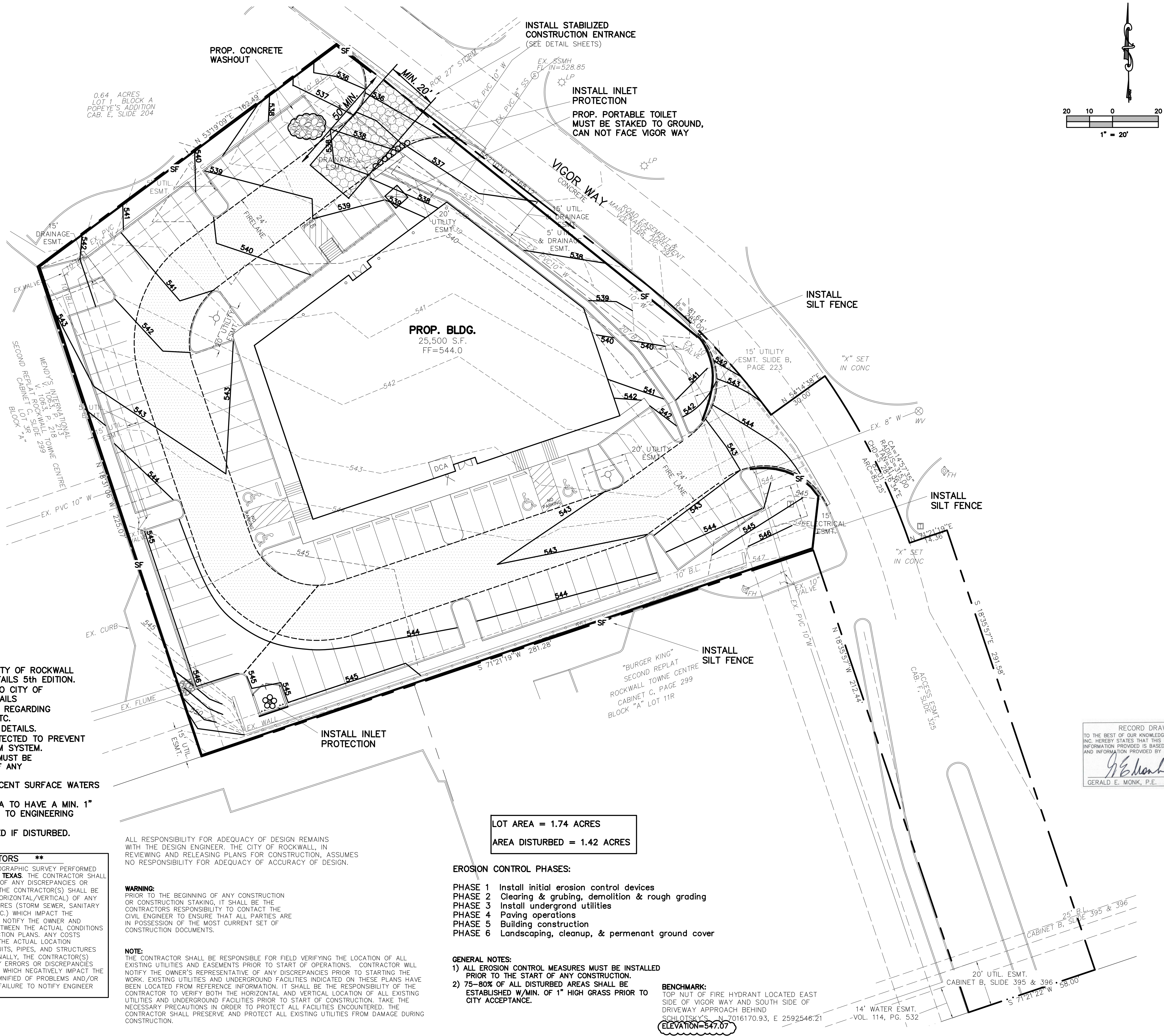
ECT NO.: 2024-3 REG. NO.: F-256

date:                      scale:                      sheet:

6 / 25 / 24 1"=20' C106

07/23/24 1-20 C106





## LEGEND

- = PROPERTY LINE
- SF = PROPOSED SILT FENCE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- ⊙<sub>TH</sub> = EXISTING FIRE HYDRANT
- ⊙<sub>WM</sub> = EXISTING WATER METER
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#### GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Council of Governments, 18<sup>th</sup> edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Department's "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/eng>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

#### EROSION CONTROL & VEGETATION

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees.
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by spraying water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter ryegrass or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times.
- CONTRACTOR shall keep work area clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- Suppression of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access roads intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

#### DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

#### PAVING AND GRADING

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, sit force along the perimeter of the pond along with any of the associated erosion BMP noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded culms installed prior to any concrete placement.
- All paving roadway, driveways, fire lanes, drive-ides, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	String 10-20" (inches)	Minimum Content (lbs)	Machine placed	Hand Placed	Bar #	Spacing (O.C.E.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"	
Collector	8"	3,600	6.0	6.5	#4 bars	18"	
Residential	6"	3,600	6.0	6.5	#3 bars	24"	
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"	
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"	
Driveways	6"	3,600	6.0	6.5	#3 bars	24"	
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"	
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"	
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"	
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"	

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including seating. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
- All public sidewalks shall be dovetailed into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
- All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance).
- Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalks, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
- All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
- Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
- All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
- CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, including siltation, ineffective siltation/containment protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

#### TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMMCTD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am - 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street roadway will be allowed to be fully closed.

#### UTILITY LINE LOCATES

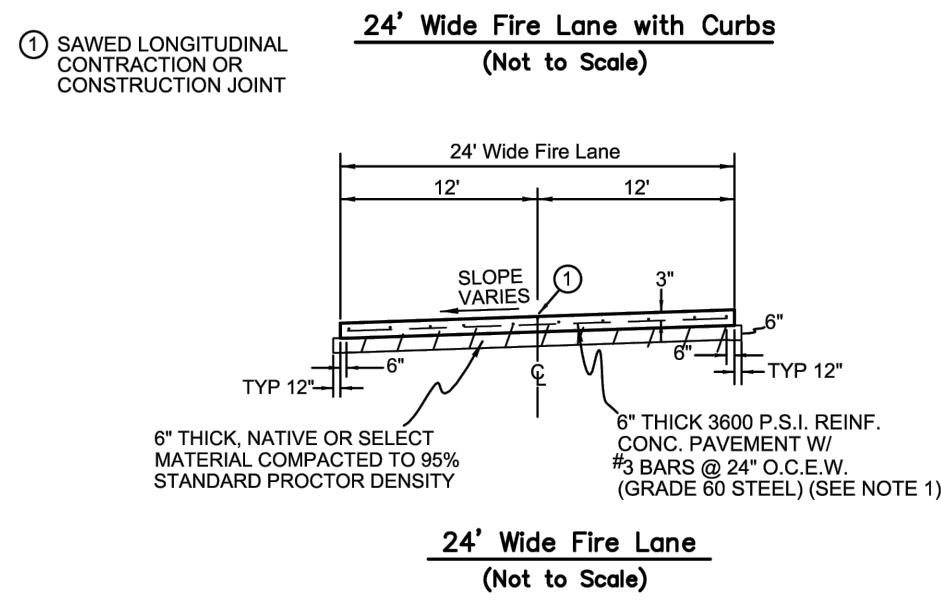
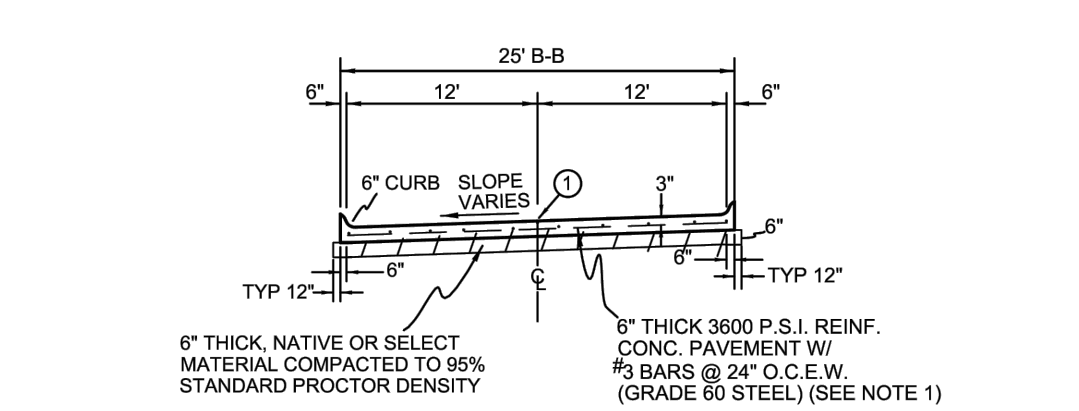
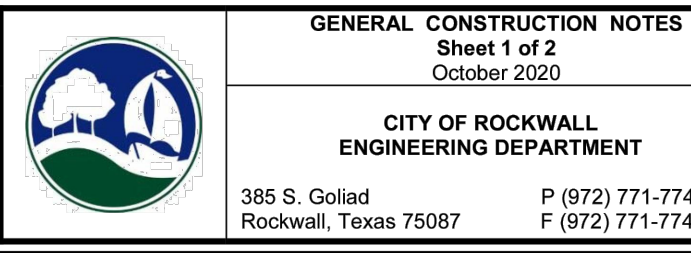
- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities prior to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and/or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities.
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City) utilities is not part of the Dig Test or Texas one Call - 811 - line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - No more than 500 linear feet of trench may be opened at one time.
  - Material used for backfilling shall be compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
  - Applicable safety regulations shall be complied with.
- Plan details pipes up to 3 feet from the building. Refer to the building plans for building connections.
- Underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

#### WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water profiles shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class "B-3" as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with gravel, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalog joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall install a 4-foot cover on all water lines.
- All domestic and irrigation systems are required to have a tested backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

#### WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC - SDR 35 (ASTM D3034) (less 10 ft cover) and SDR 26 (ASTM D3034) (10 ft or more cover). For 18-inch and larger wastewater line shall be Green PVC - PS 46 (ASTM F679) (less 10 ft cover) and PS 115 (ASTM F679) (10 ft or more cover). No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class "I" as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with gravel, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-301.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal. ConShield must have terephthalic color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manholes as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.

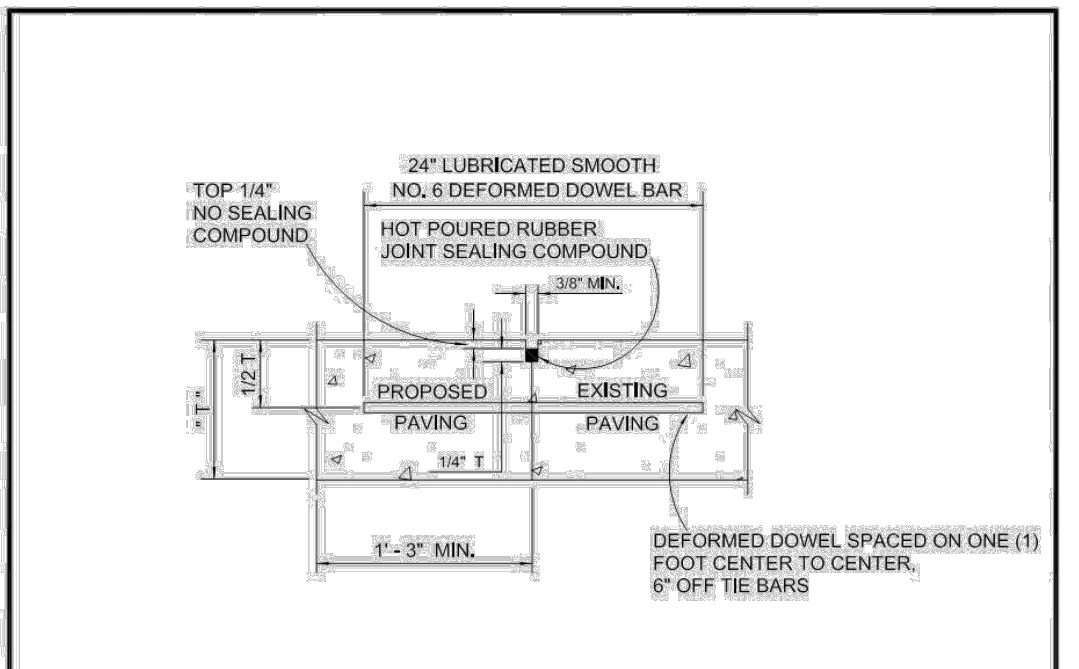


#### NOTES:

- Street pavement cement content to be no less than 6 sacks per cubic yard for machine placed and not less than 6.5 sacks per cubic yard for hand placed.
- Sidewalk Cement content of not less than 5.5 sack per cubic yard.
- No sand allowed under pavement or sidewalks.

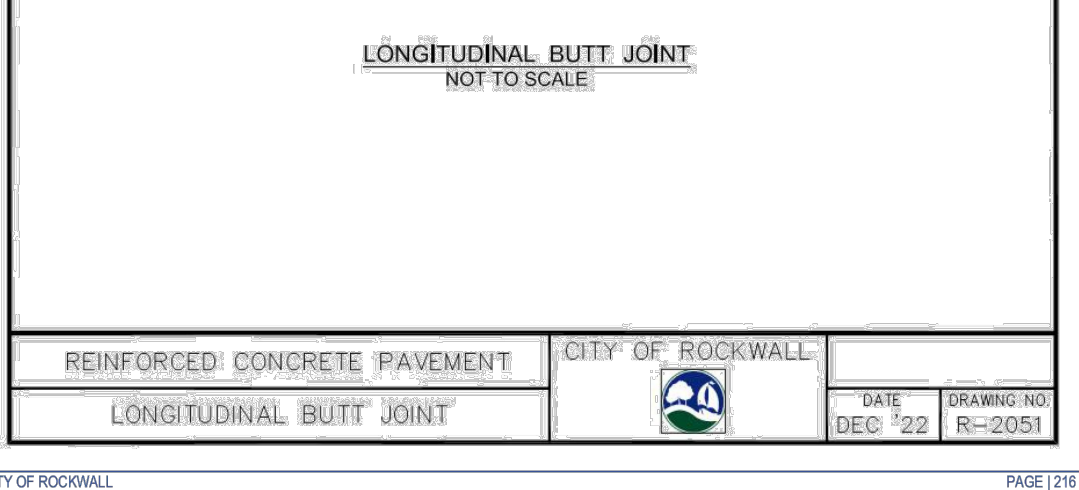
REINFORCED CONCRETE PAVEMENT	CITY OF ROCKWALL
FIRE LANE	
DATE	DRAWING NO.
AUG. '19	R-2041

#### STANDARDS OF DESIGN AND CONSTRUCTION

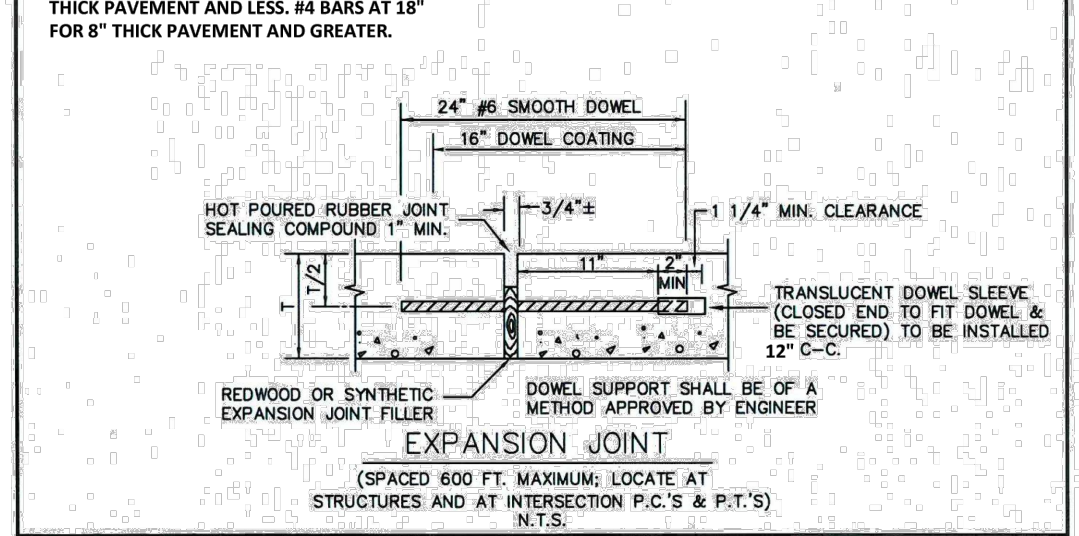
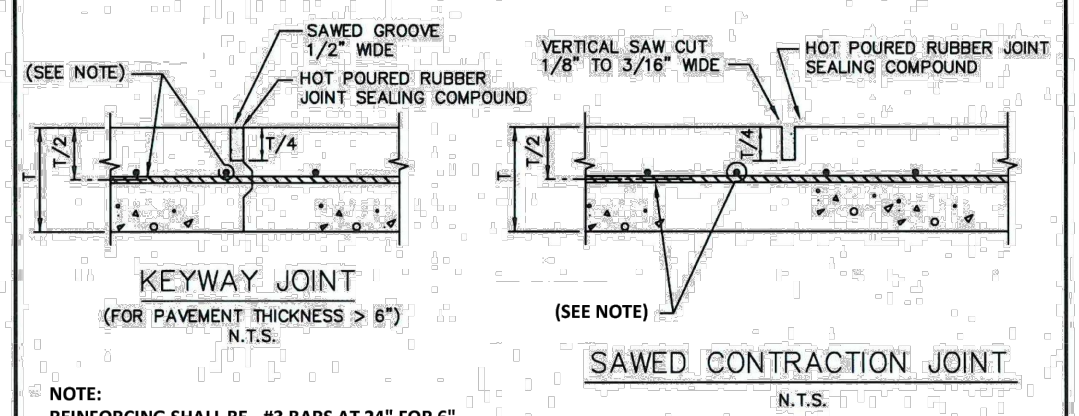
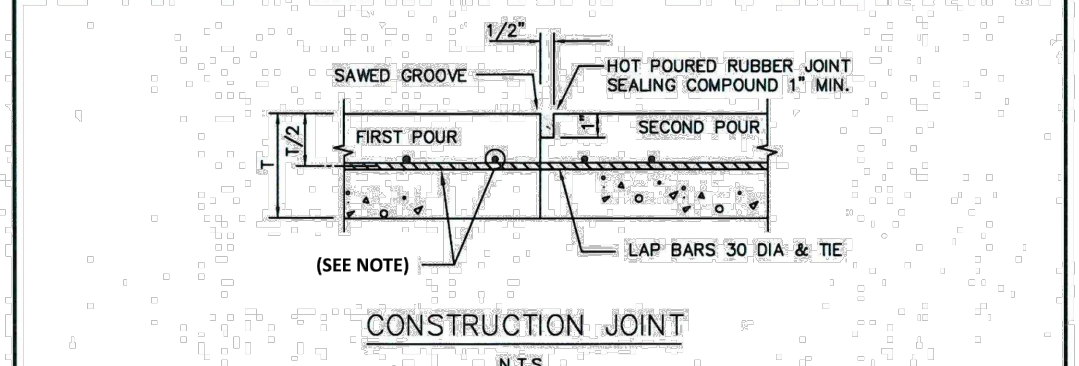


#### NOTES:

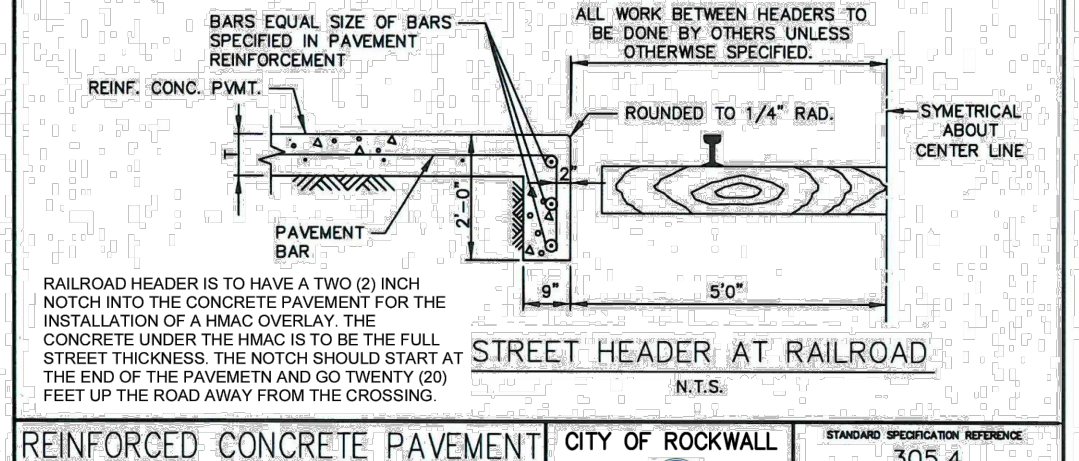
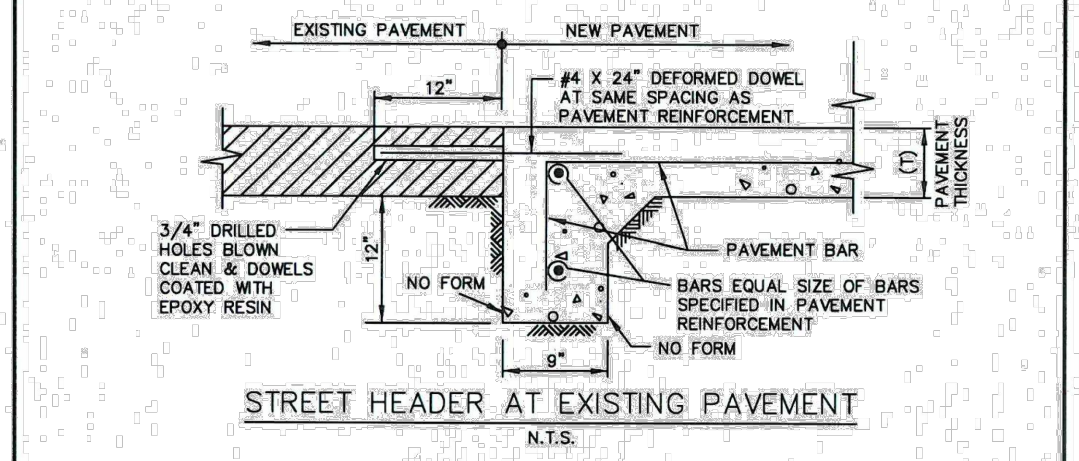
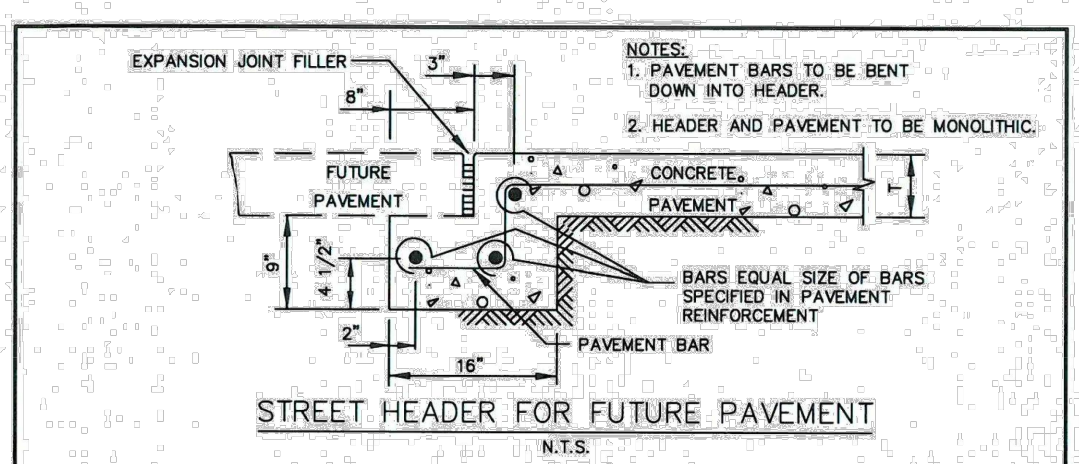
- LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
- DEFORMED DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
- DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.



REINFORCED CONCRETE PAVEMENT	CITY OF ROCKWALL
LONGITUDINAL BUTT JOINT	
DATE	DRAWING NO.
DEC '22	R-2051



REINFORCED CONCRETE PAVEMENT	CITY OF ROCKWALL
JOINTS	
DATE	DRAWING NO.
Mar. 2018	R-2050



REINFORCED CONCRETE PAVEMENT	CITY OF ROCKWALL
STREET HEADERS	
DATE	DRAWING NO.
Mar. 2018	R-2070

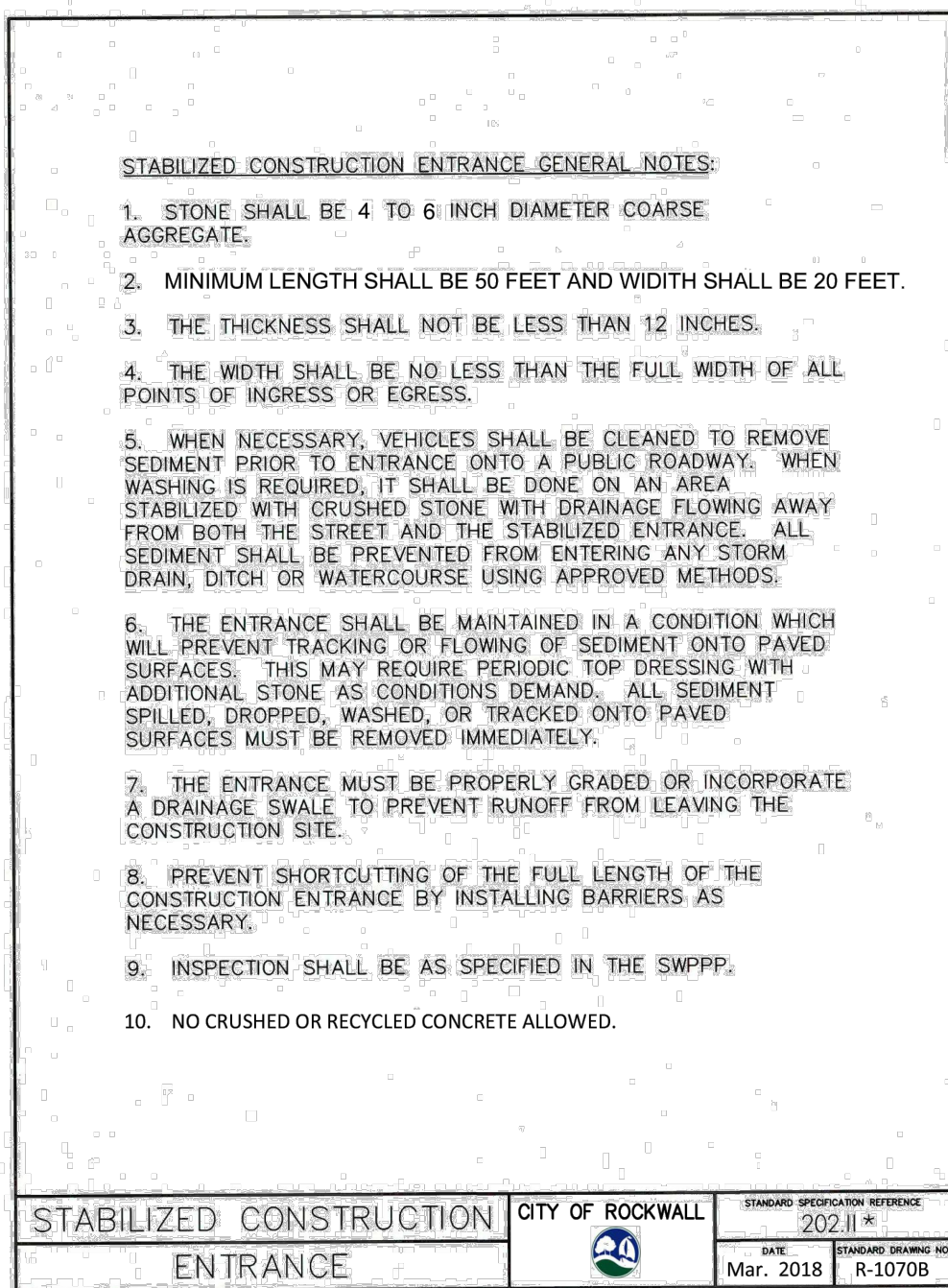
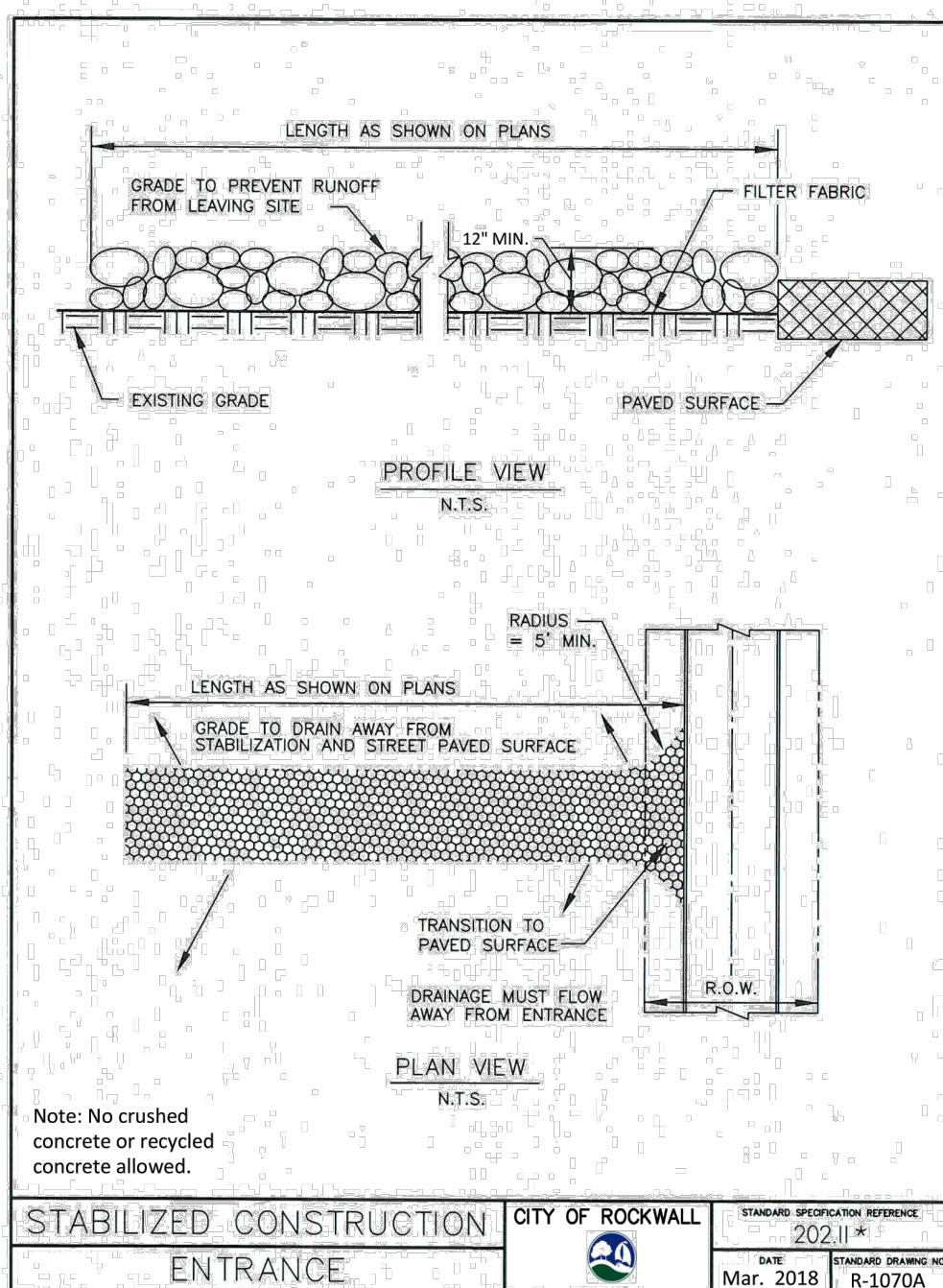
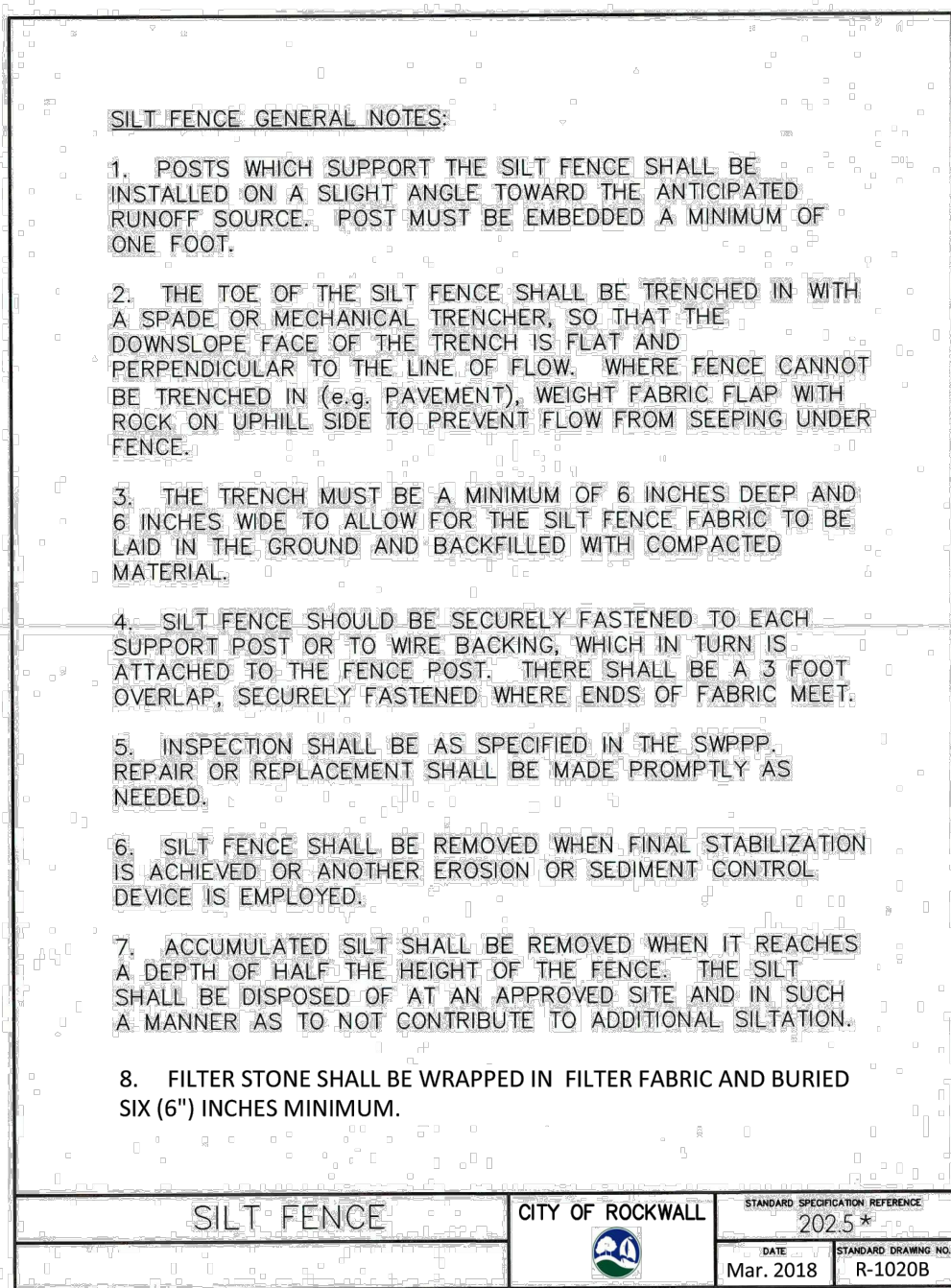
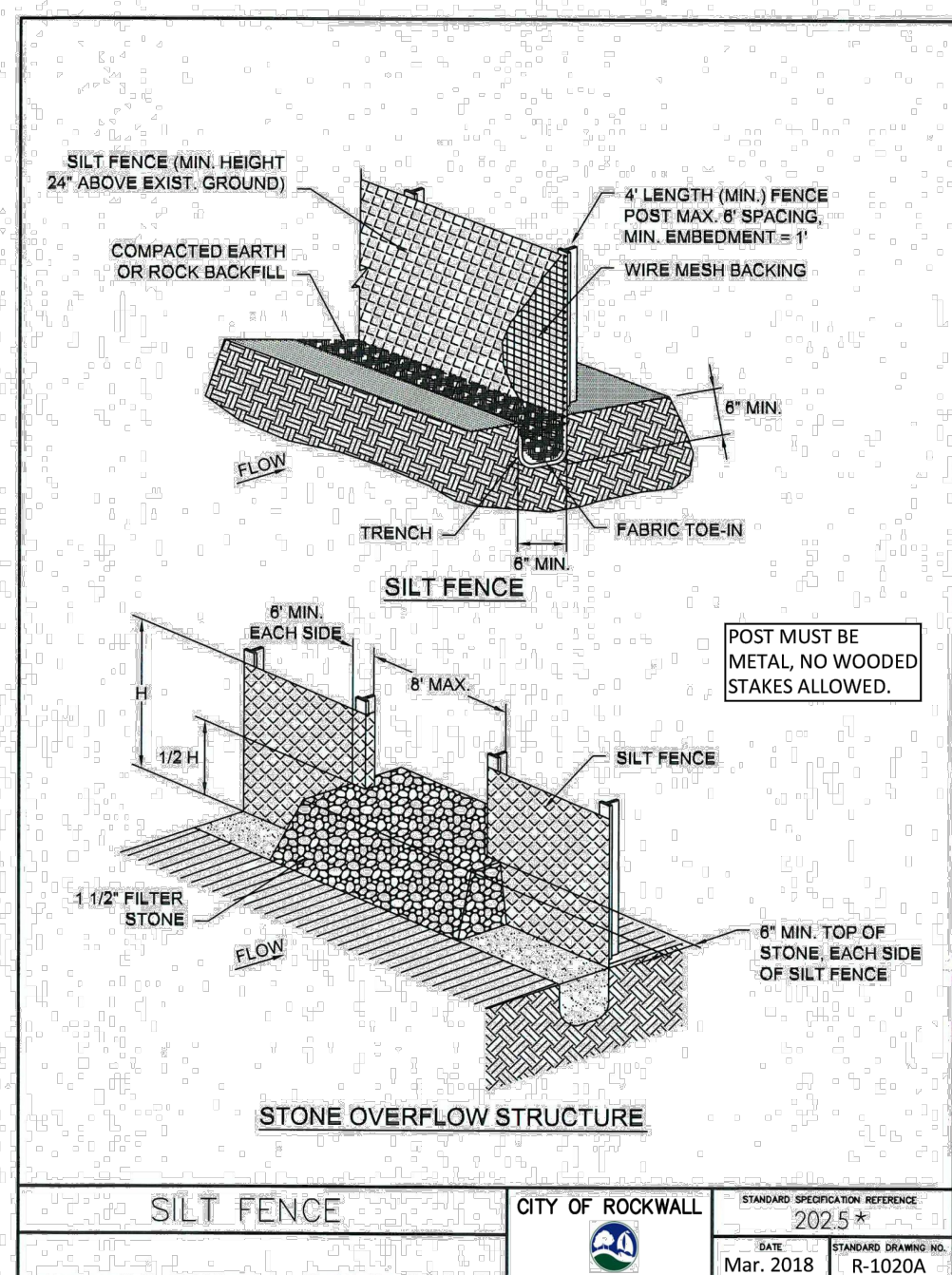
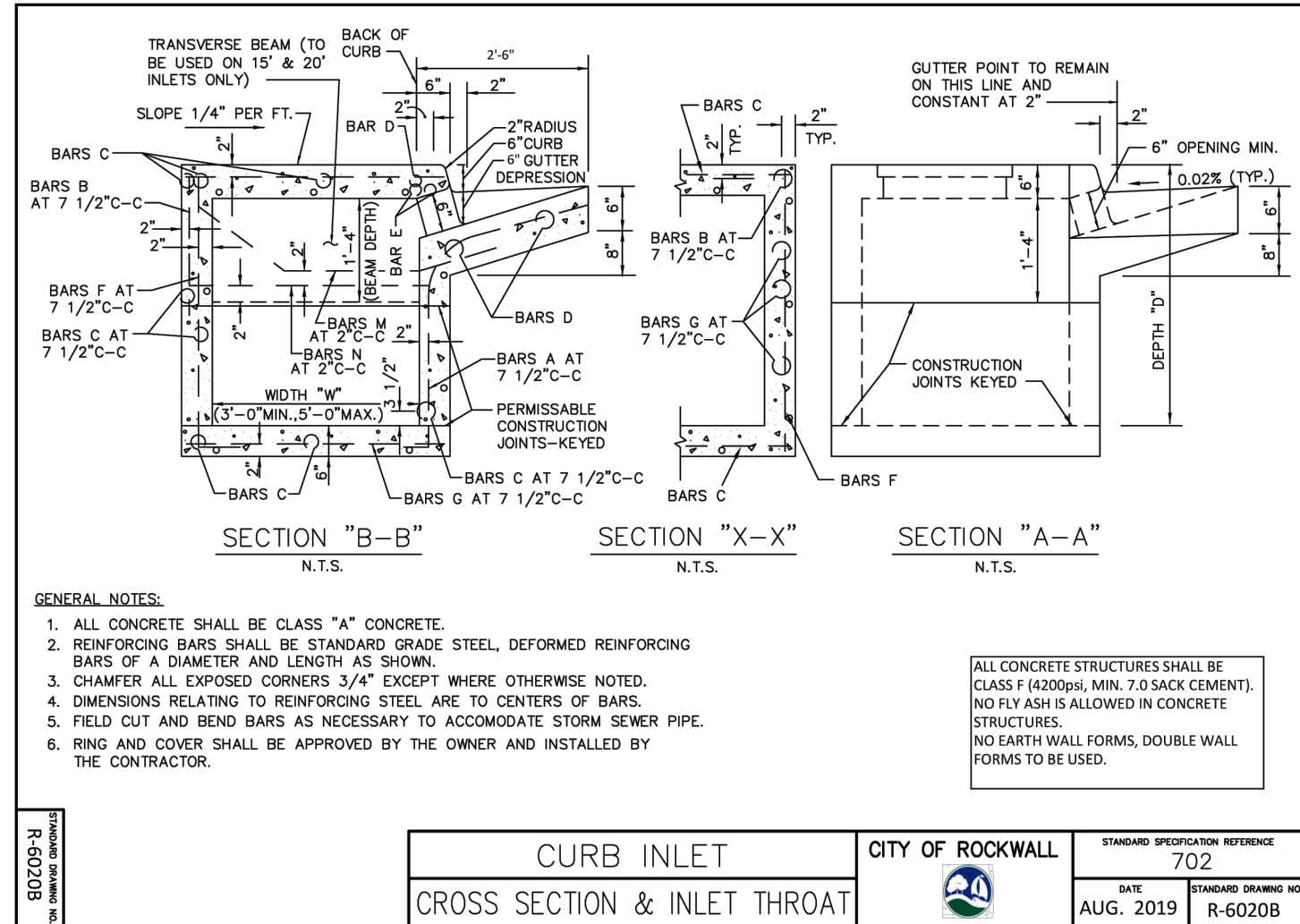
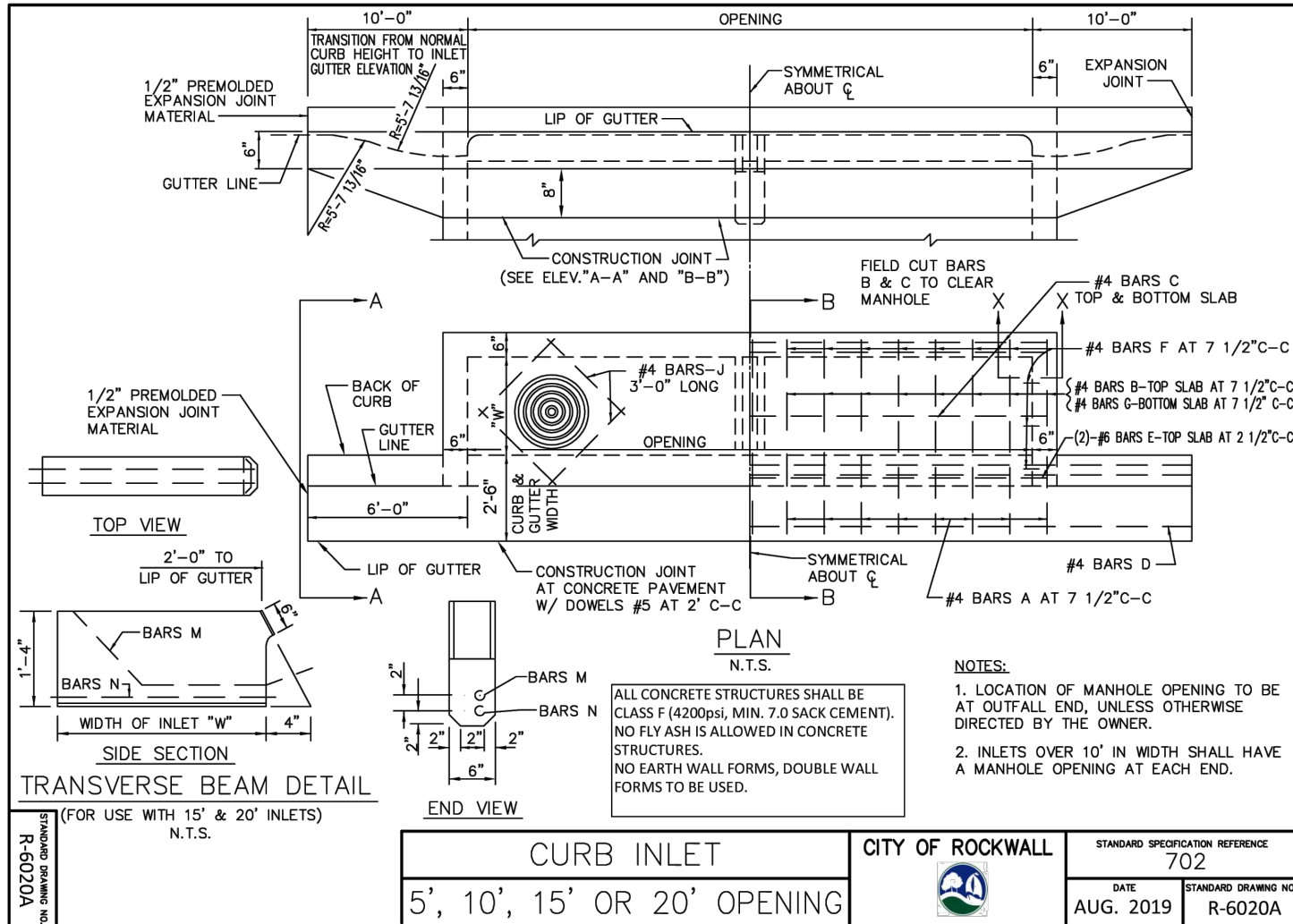
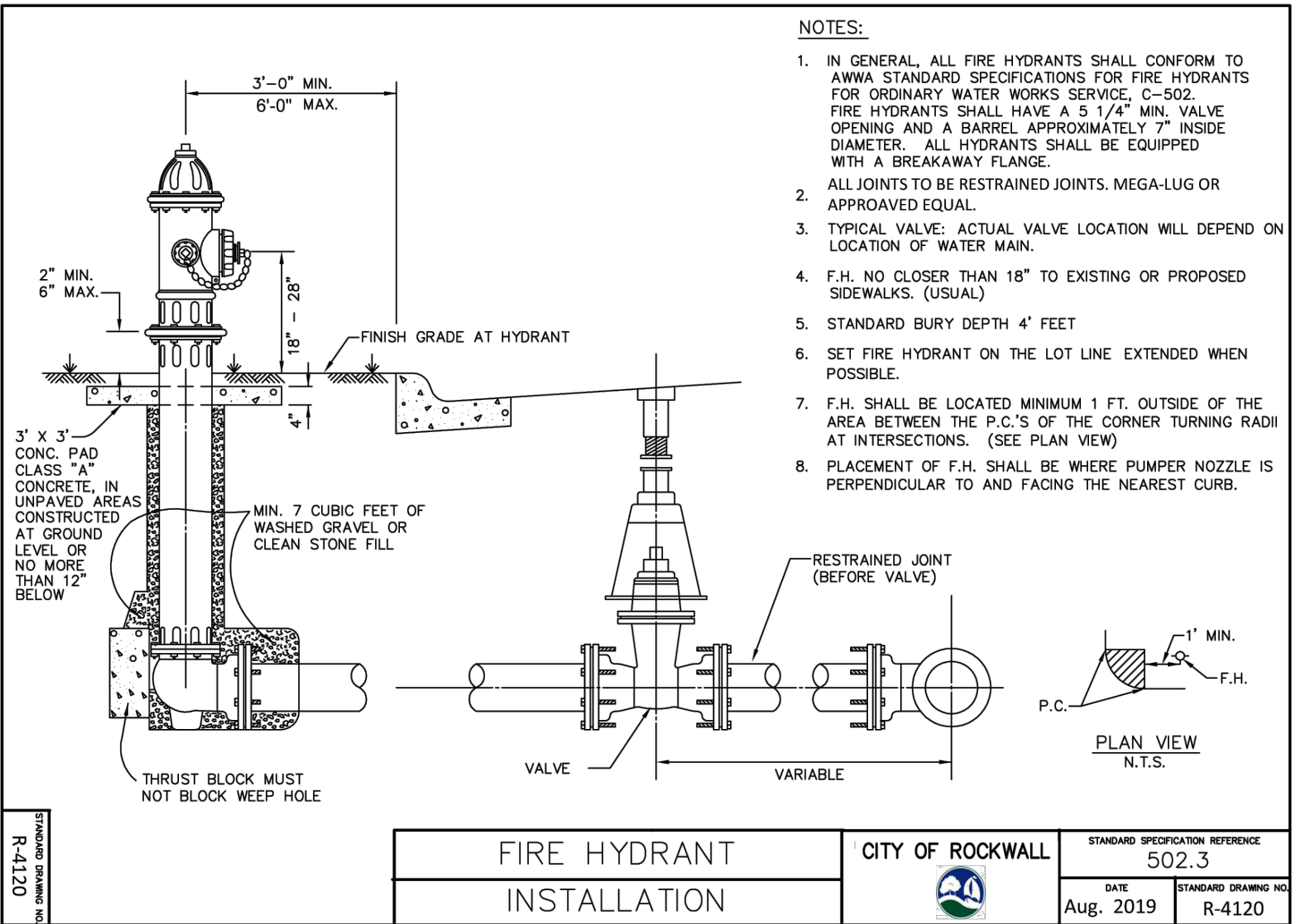
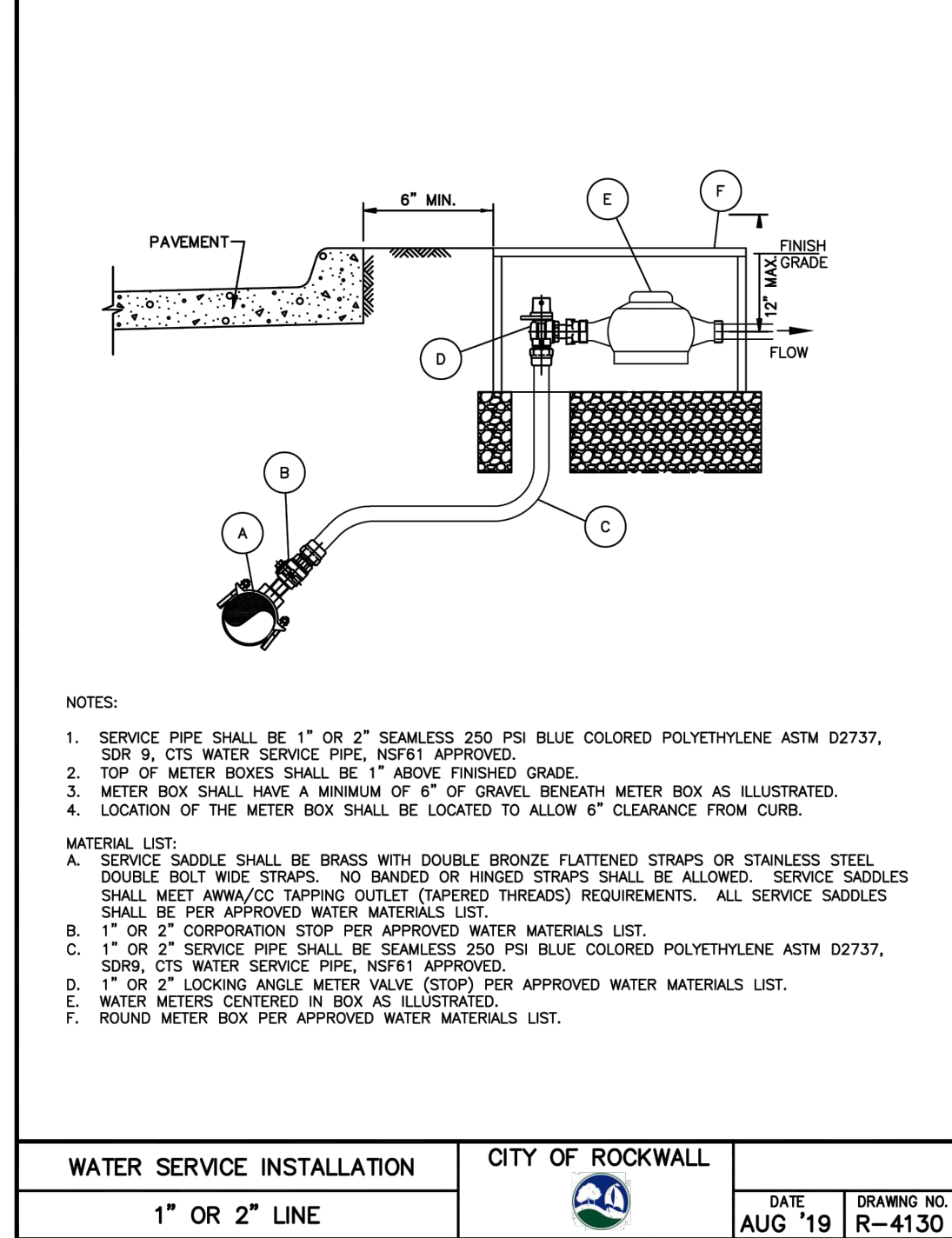
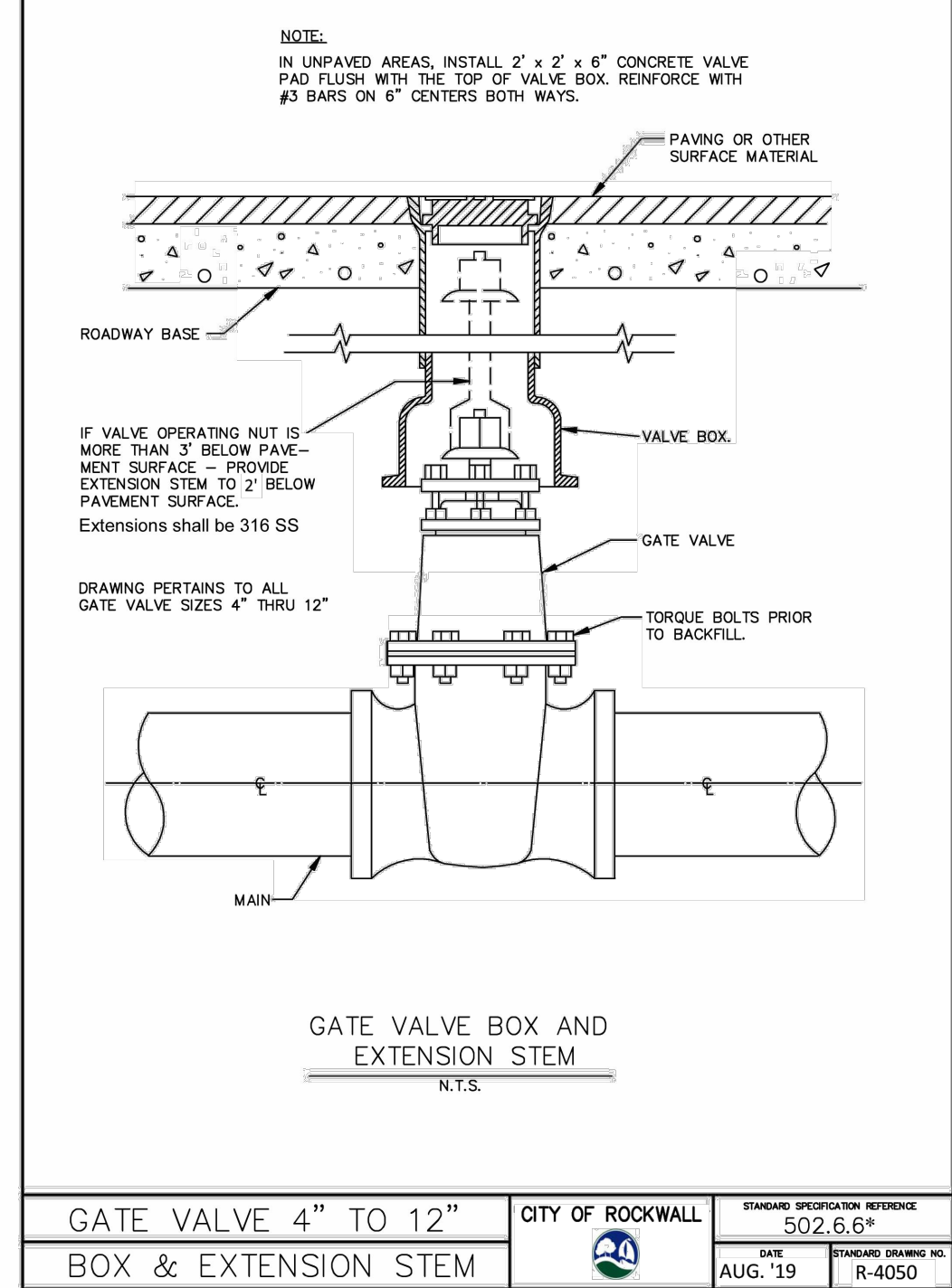
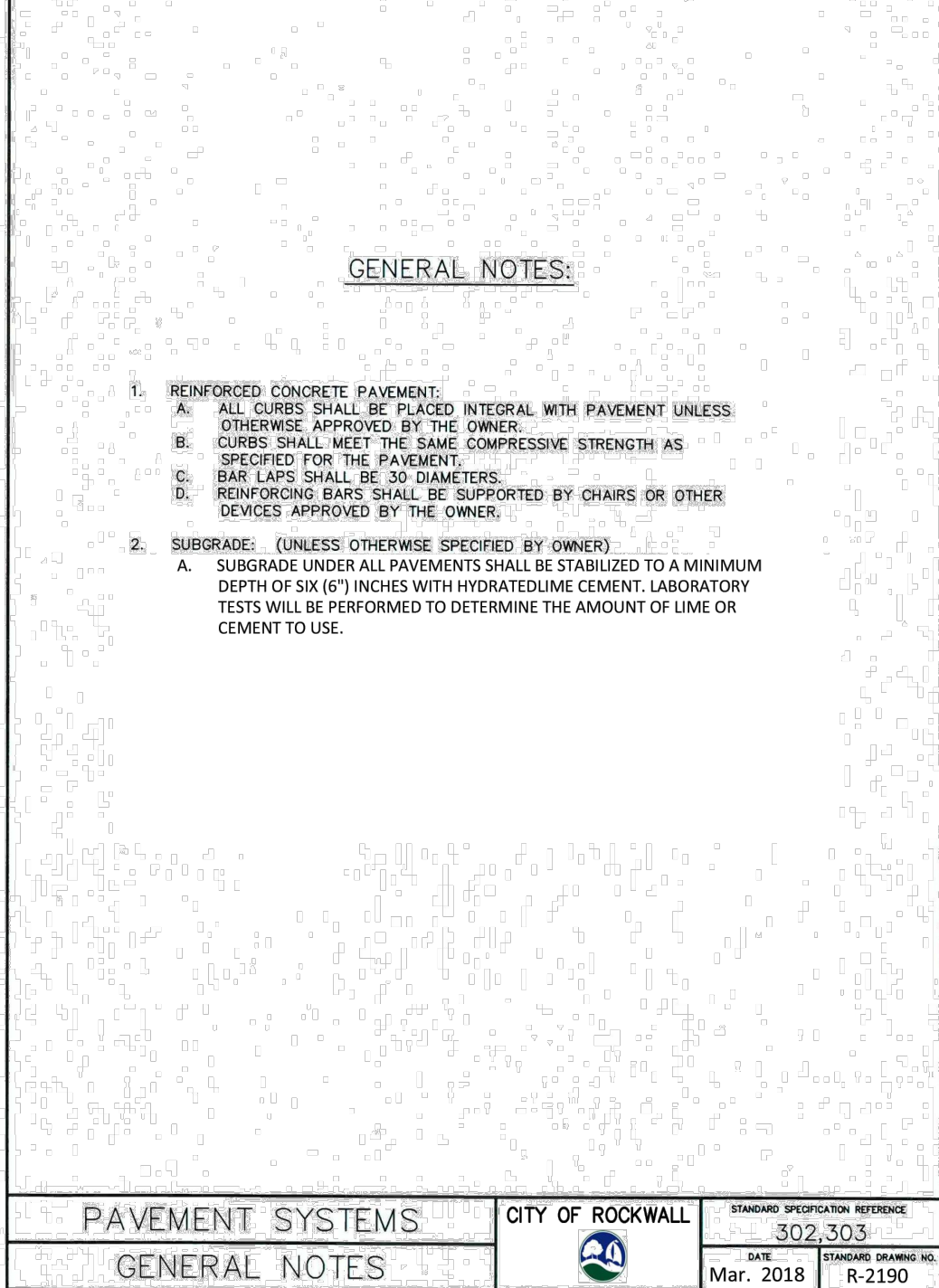
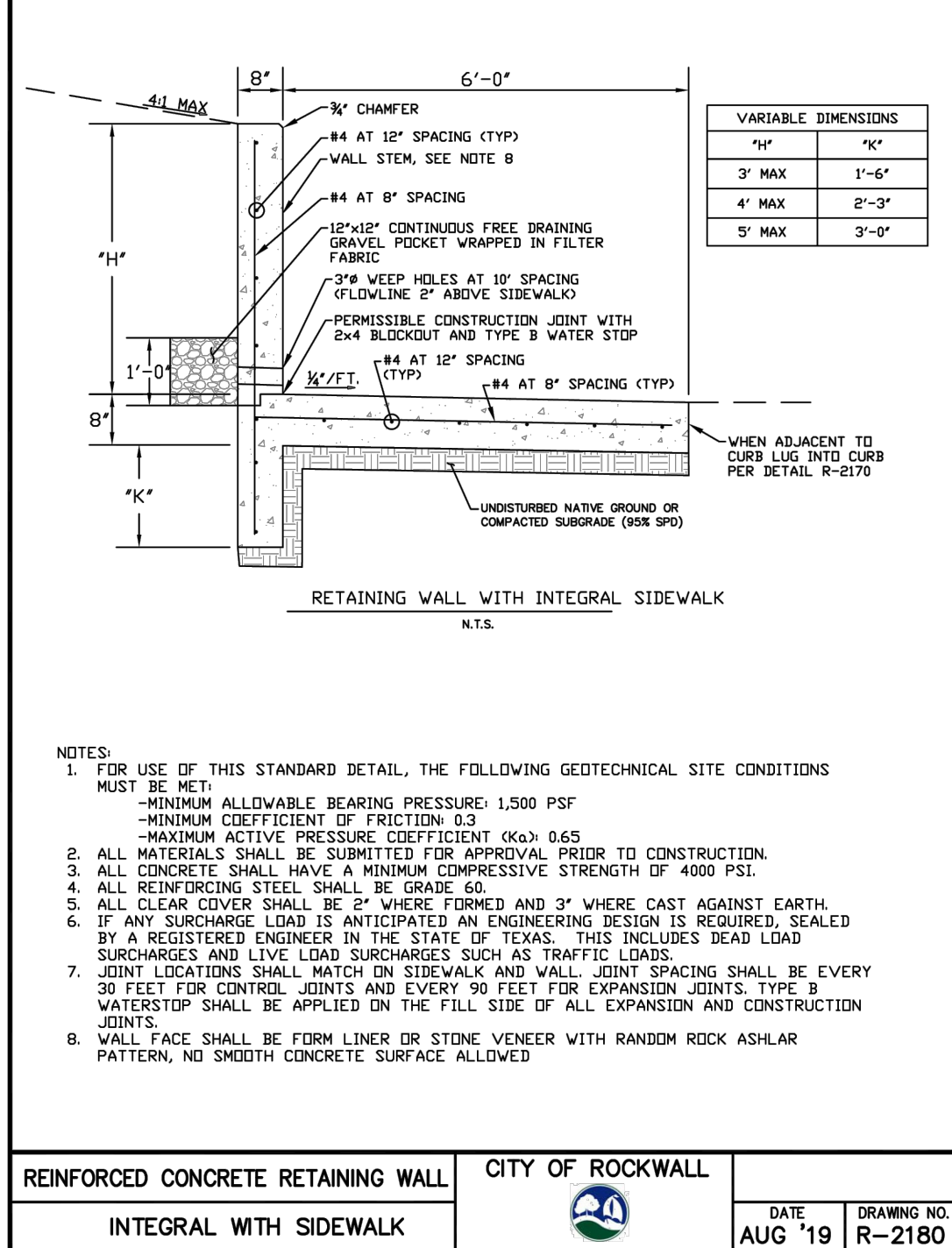
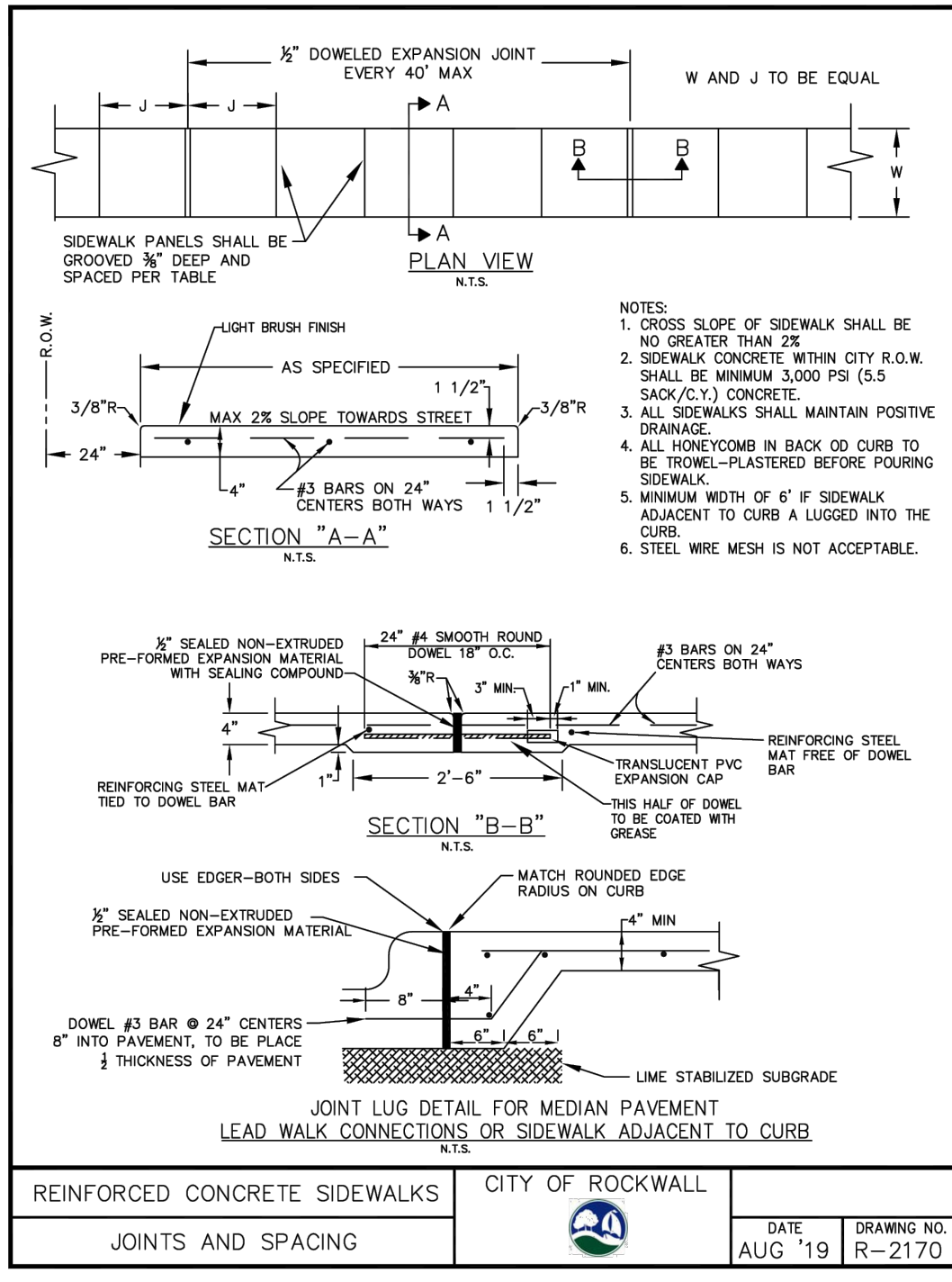
#### CITY NOTES & DETAILS

#### DETAIL SHEETS

prepared by

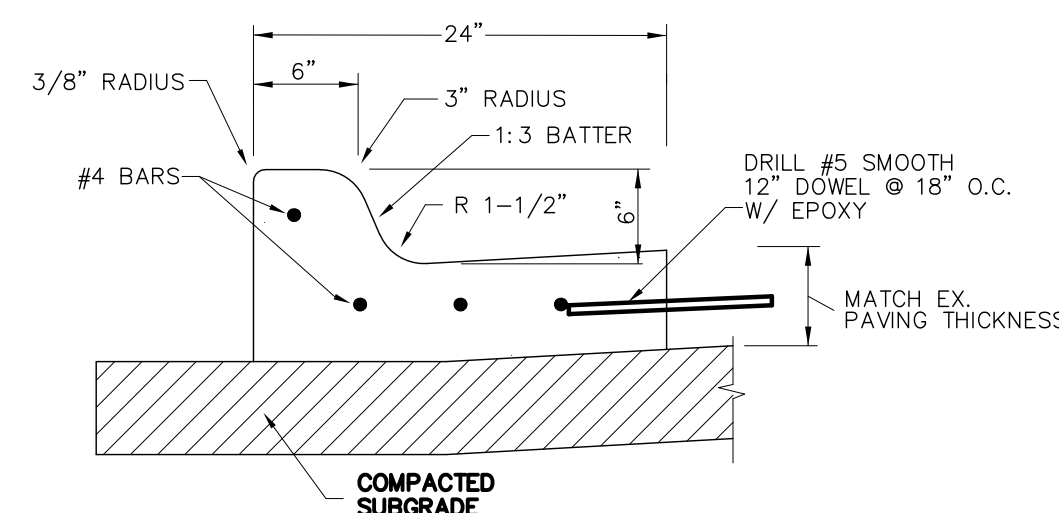
MONK CONSULTING ENGINEERS  
1200 W. State Street, Garland Texas 75040  
972 272-1765 Fax 972 272-8761



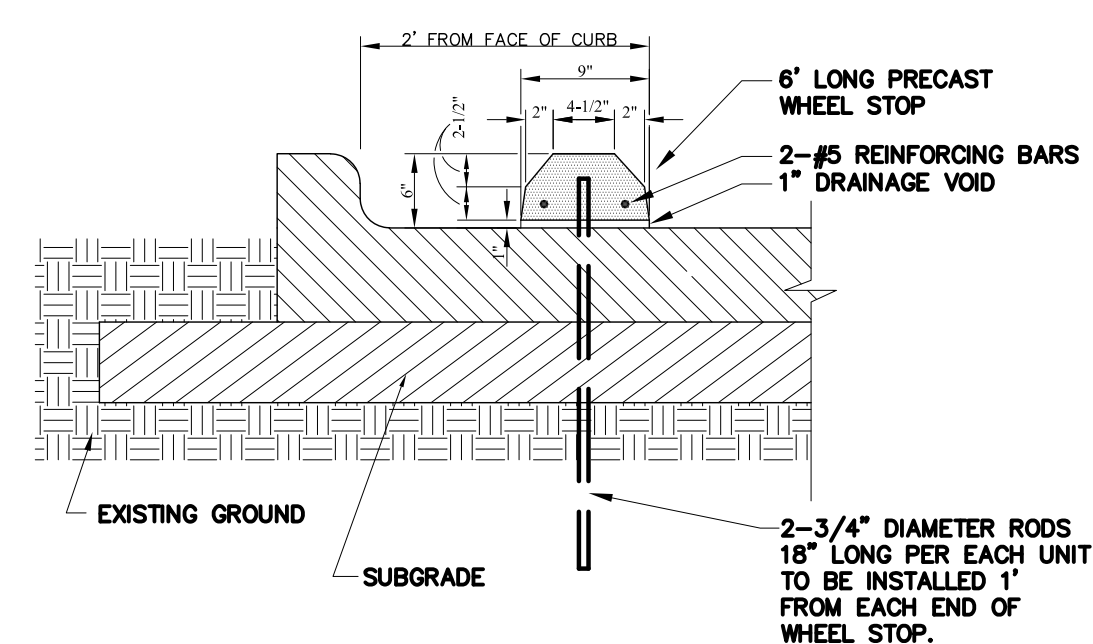
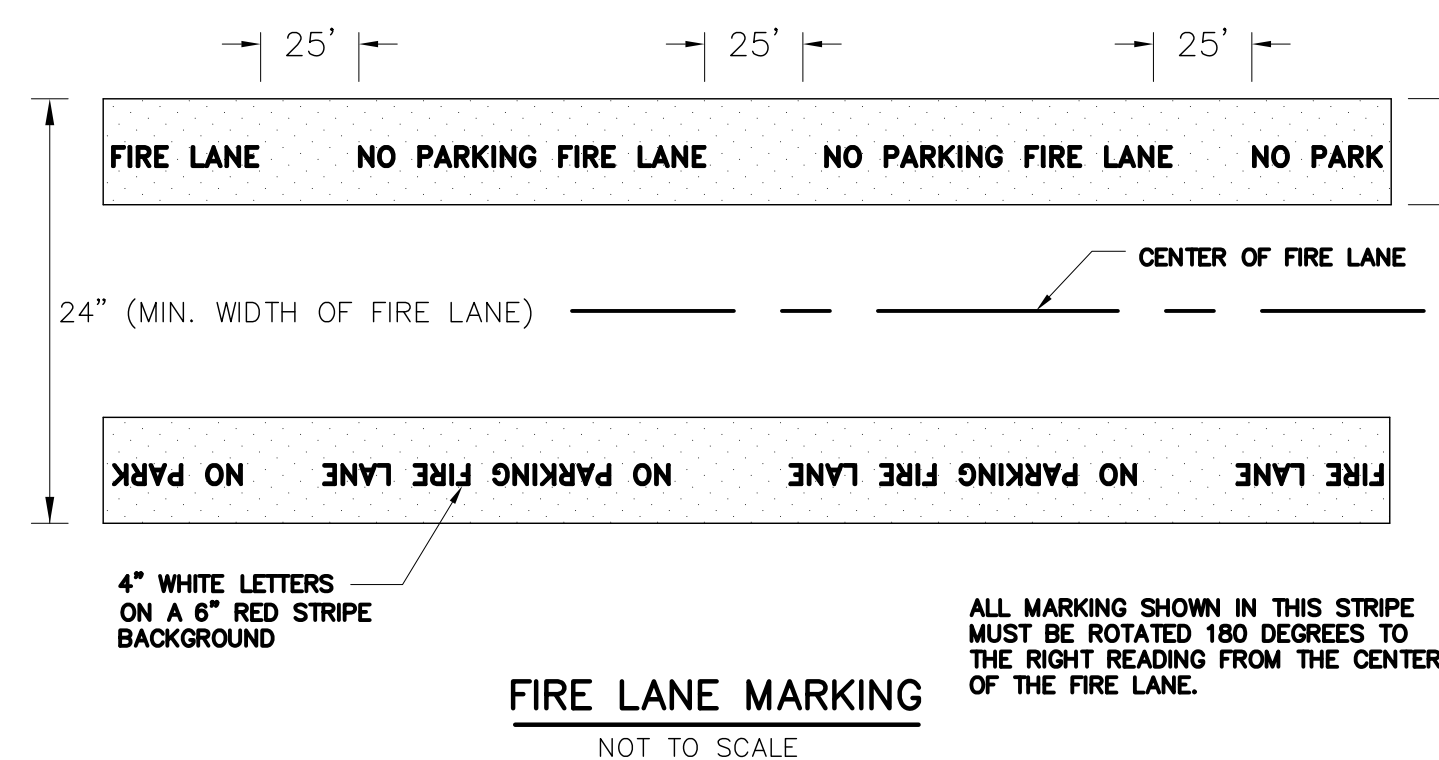




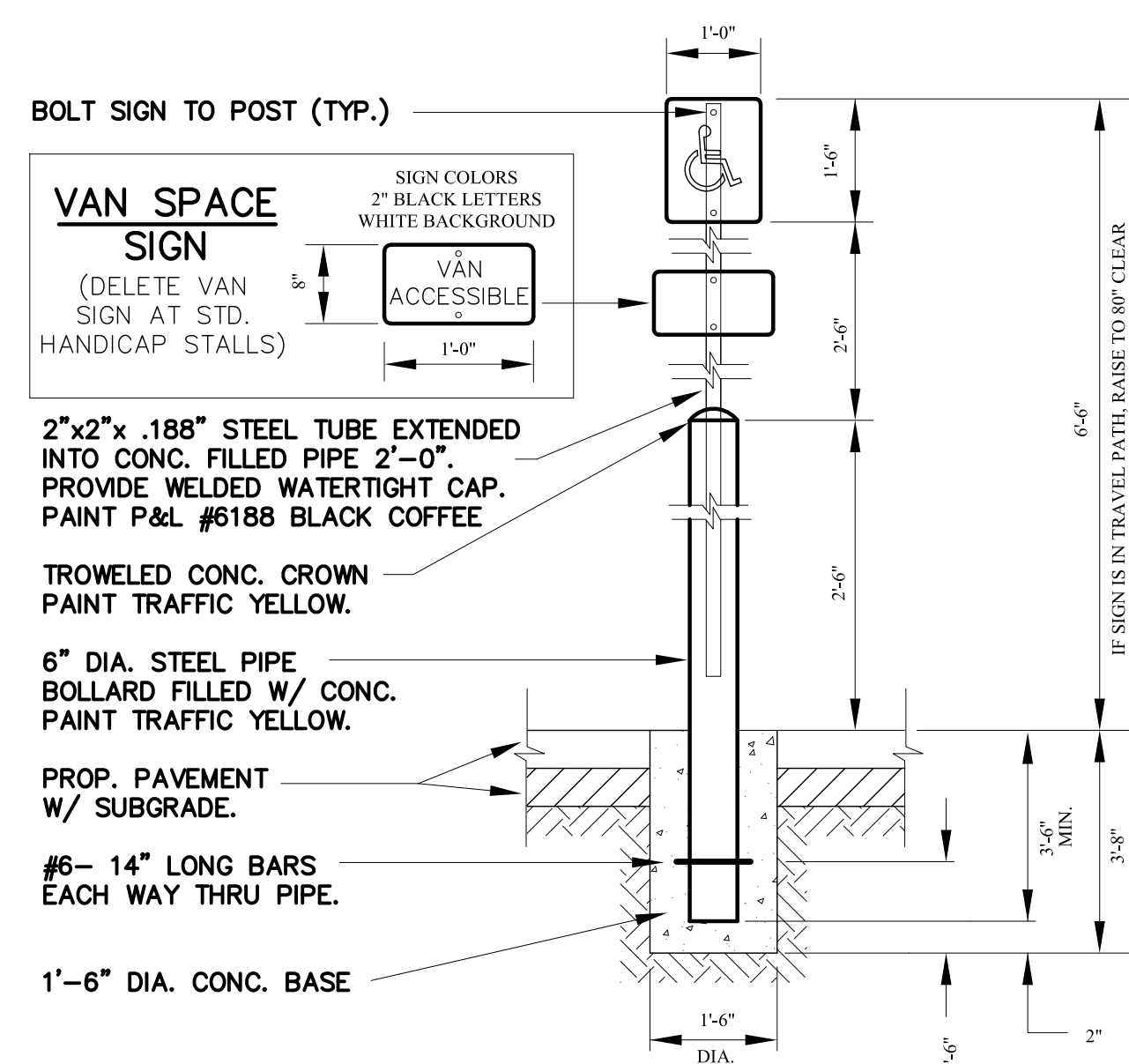
- ## GENERAL NOTES
1. Buildings 5,000 square feet or greater shall be sprinkled. (Unless otherwise noted) Alternative fire protective measures may be approved by the Building Inspector and Fire Dept.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpsters and trash compactors shall be screened in accordance with the Zoning Ordinance.
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  9. All electrical transmission, distribution and service lines must be underground.



 CURB DETAIL  
N.T.S.



**PRECAST CONCRETE WHEEL STOP**  
(PARKING SPACE MUST BE AT LEAST 20' LONG)  
N.T.S.



"HANDICAPPED PARKING" SIGN  
N.T.S.

SIGN COLORS — WHITE  
BACKGROUND — BLUE  
SYMBOL — BLUE

NOTE:  
PROVIDE SIGNAGE AT END OF STALL  
AT LOCATIONS W/ ACCESSIBLE  
DESIGNATION TO ACT AS BUMPER STOP.  
1'-0"x1'-6"x .080" ALUM.  
HANDICAPPED PARKING SIGN.  
SIGN TO READ "RESERVED PARKING"  
W/ IDENTIFICATION SYMBOL, BOLT  
TO STEEL TUBE W/ 3/8" CADMIUM  
PLATED BOLTS, NUTS & WASHERS.

NOTE:  
HANDICAPPED PARKING SIGN SHALL  
CONFORM WITH ALL CURRENT AND  
LOCAL CODES AND REGULATIONS.

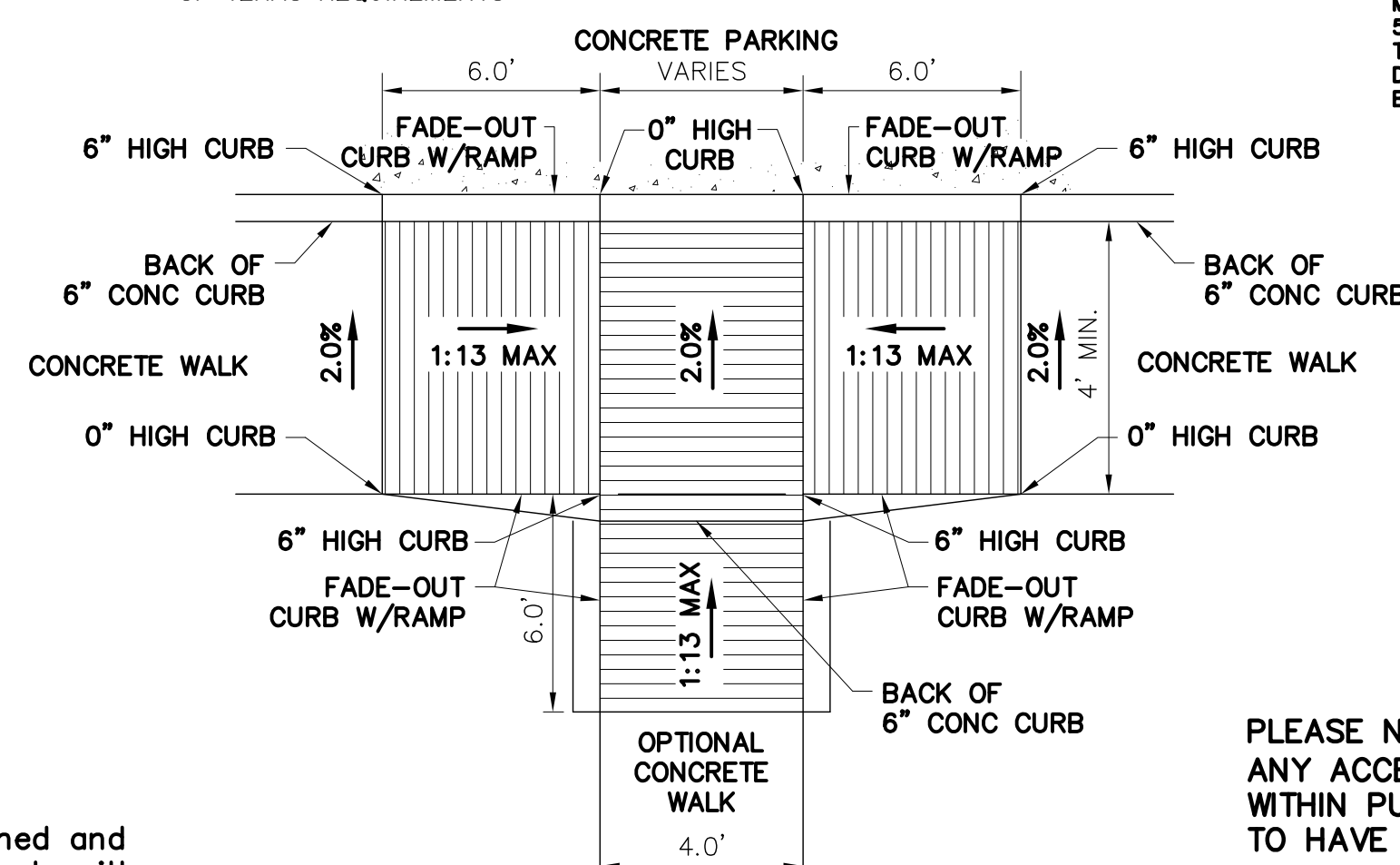
**NOTE**  
Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.

**NOTE:**  
SIGNAGE AND MARKINGS TO BE  
IN ACCORDANCE WITH FEDERAL  
STATE AND LOCAL REGULATIONS.  
PREPARE SURFACE PER STATE  
OF TEXAS REQUIREMENTS

**NOTE:**  
MAXIMUM SLOPE FOR ALL PATHS  
5%; MAX CROSSFALL IS 2%; FOR  
THE FIRST FIVE FOOT FROM THE  
DOOR A 2% SLOPE (MAX) MUST  
BE MAINTAINED

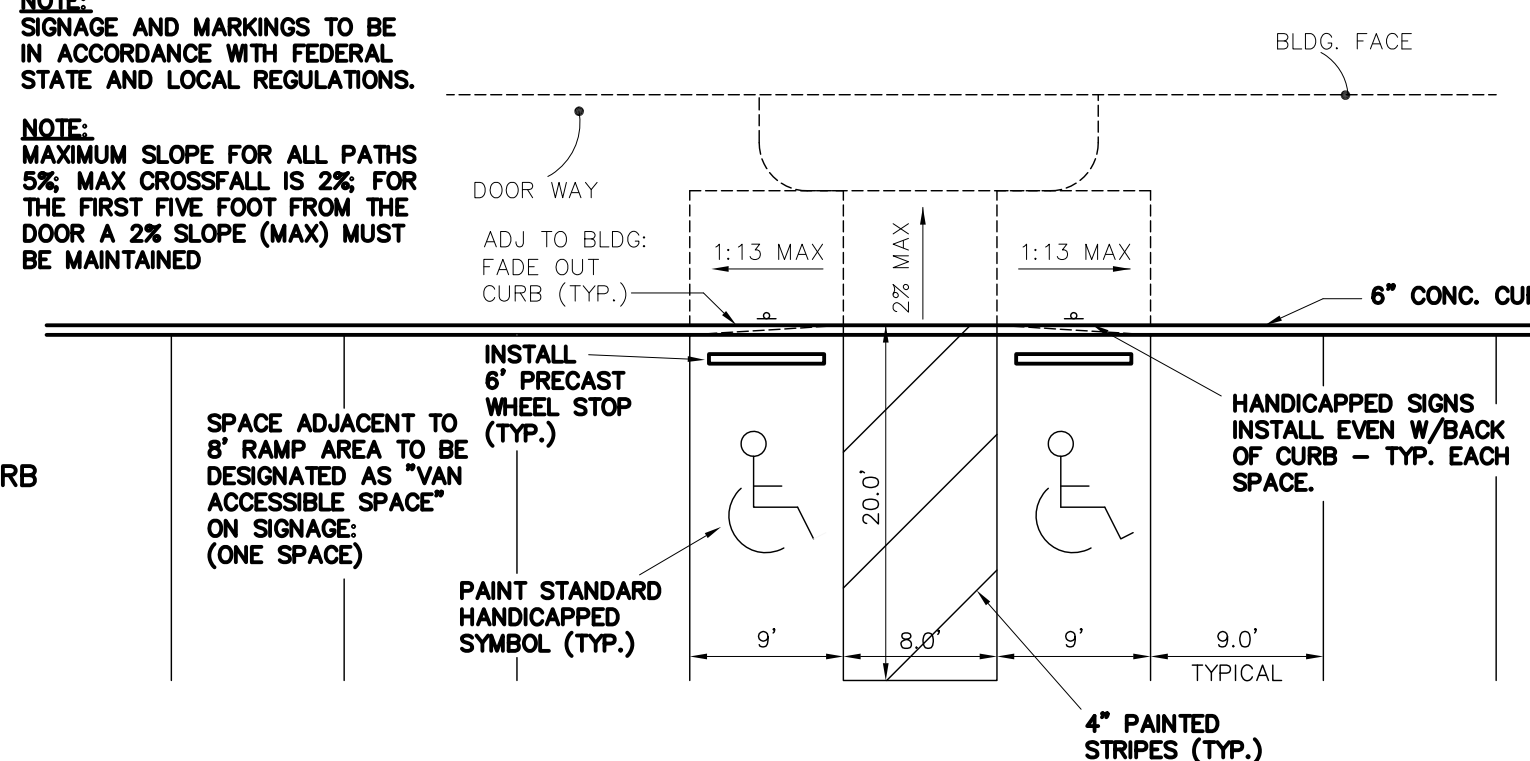
**NOTE:**  
SIGNAGE AND MARKINGS TO BE  
IN ACCORDANCE WITH FEDERAL  
STATE AND LOCAL REGULATIONS

**NOTE:**  
MAXIMUM SLOPE FOR ALL PATHS  
5%; MAX CROSSFALL IS 2%; FOR  
THE FIRST FIVE FOOT FROM THE  
DOOR A 2% SLOPE (MAX) MUST  
BE MAINTAINED



ACCESS RAMP  
N.T.S.


PLEASE NOTE:  
ANY ACCESS RAMP (BFR) LOCATED  
WITHIN PUBLIC R.O.W. IS REQUIRED  
TO HAVE TRUNCATED DOMES PLATES.



### HANDICAP PARKING/STRIPING DETAIL

RECORD DRAWING 6-10-25

TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS  
INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS  
INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE  
AND INFORMATION PROVIDED BY THE CONTRACTOR.



GERALD F. MONK, P.E.

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY STANDARDS.
- 2) ALL PRIVATE DETAILS ARE SUPERSEDED BY STANDARD CITY DETAILS.

revised  
date:

**10/21/24 Curb Detail RFI #27**



## PRIVATE SITE DETAILS

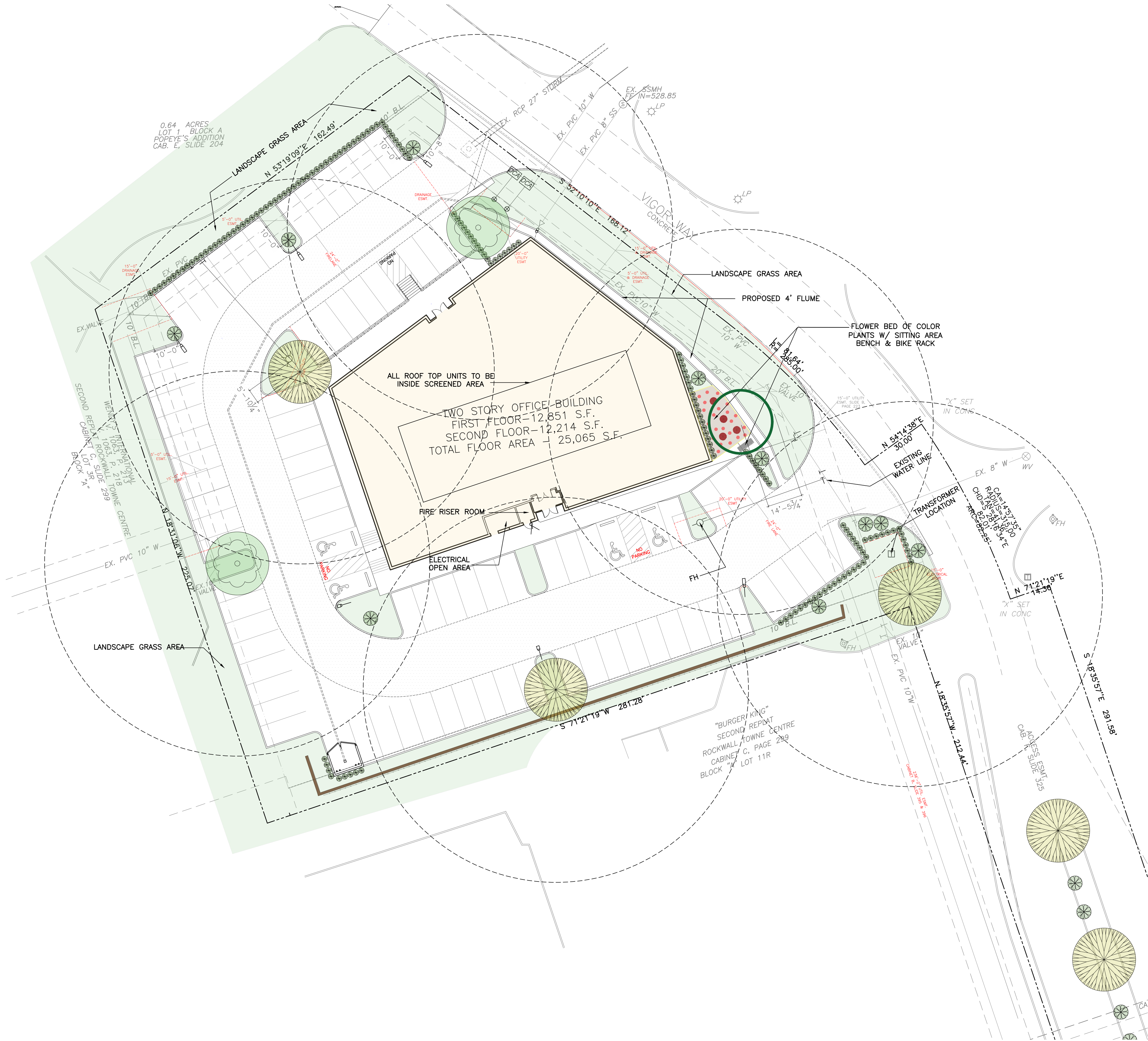
## DETAIL SHEETS

prepared by

**MONK CONSULTING ENGINEERS**  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

date:	scale:	sheet:
6/25/24	N.T.S	D102





SITE DATA TABLE	
SITE AREA	1.74 ACRES (75,987 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	5.88 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.74 ACRES (75,987 S.F.)
REQUIRED LANDSCAPE AREA-- 20% OF 75,987 S.F.	15,197 S.F.
PROVIDED LANDSCAPE AREA-- 22% OF 75,987 S.F.	16,718 S.F.
IMPERVIOUS COVERAGE-- 78% OF 75,987 S.F.	59,269 S.F.

NOTES:

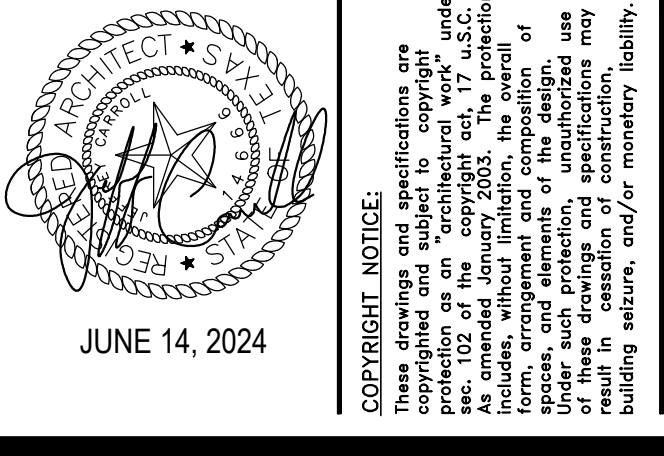
- Irrigation shall be provided to all landscaped areas.
- Tree mitigation for this project for existing trees on this property.
- All perimeter parking are within 50'-0" of a shade tree.
- No trees within 5' of public utilities less than 10".
- No trees within 10' of shrub utilities 10" or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
  - OWNER MAY SUBSTITUTE TYPES OF TREES; THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE.

ISSUE:	
BID PACKAGE: 04-12-2024	
CITY COMMENTS: 06-24-2024	



NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
700 Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC.  
2 ESSEX COURT  
HEATH, TX 75032



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

## LANDSCAPE SITE PLAN

DATE: MAR 2024  
PROJECT NO: 2023100  
DRAWN BY: ZJ  
CHECKED BY: JC

LP-1



1

LANDSCAPE SITE PLAN  
SCALE: 1" = 20'-0"