

Planning and Zoning Case Check List

P & Z Case # 2204-003 P&Z Date 02-11-14 CC Date 02-17-14 1st Reading
 COA 03/03/14 2nd Reading
 Approved/Denied ARB Date _____ HPAB Date 01-16-14 Park Board _____

Zoning Application

- ☒ Specific Use Permit
- ☐ Zoning Change
- ☐ PD Concept Plan
- ☐ PD Development Plan

Site Plan Application

- ☐ Site Plan
- ☐ Treescape
- ☐ Landscape
- ☐ Building Elevations
- ☐ Photometric/Lighting Plan
- ☐ Material Samples
- ☐ Color Rendering

Platting Application

- ☐ Master Plat
- ☐ Preliminary Plat
- ☐ Final Plat
- ☐ Replat
- ☐ Administrative/Minor Plat
- ☐ Vacation Plat
- ☐ Landscape Plan
- ☐ Treescape Plan

- ☒ Copy of Ordinance (Ord. # 14-10)
- ☒ Application
- ☒ Receipt
- ☒ Location/Buffer Map
- ☒ Newspaper Public Notice
- ☒ 200 ft Buffer Public Notice
- ☒ Project Review
- ☒ Staff Report
- ☒ City Council Report
- ☒ Approval/Denial Letter
- ☒ Correspondence
- ☒ Copy - All Plans Required
- ☒ Copy - Mark-ups
- ☐ City Council Minutes - Laserfiche
- ☐ Minutes - Laserfiche

☐ Plat Filed Date _____

☐ Cabinet# _____

☐ Slide# _____

Notes _____

Zoning Map Updated _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre or Lot)¹
- ☐ Replat (\$300.00 + \$20.00 Acre or Lot)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☒ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 109 Saint Marys St, Rockwall TX 75087
Subdivision _____ Lot _____ Block _____
General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning _____ Current Use _____
Proposed Zoning _____ Proposed Use _____
Acreage _____ Lots [Current] _____ Lots [Proposed] _____

☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Charlie Erickson</u>	<input checked="" type="checkbox"/> Applicant	_____
Contact Person	<u>11</u>	Contact Person	_____
Address	<u>109 Saint Marys St</u>	Address	<u>11</u>
City, State & Zip	<u>Rockwall, TX 75087</u>	City, State & Zip	_____
Phone	<u>214-862-4283</u>	Phone	_____
E-Mail	<u>rickersonc@gmail.com</u>	E-Mail	_____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Charlie Erickson [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 200, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of January, 20 14. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of January, 20 14.

Owner's/Applicant's Signature _____

Notary Public in and for the State of Texas _____

My Commission Expires _____

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January 02, 2014

Historic Preservation Advisory Board,

We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

Sincerely,

Charlie & Ginni Rickerson



576 SF

SECOND FLOOR AREA

576 SF

GROSS FLOOR AREA: 1152 SF - FIRST FLOOR AREA (GARAGE): 576 SF

GRADE TO RIDGE HEIGHT: 22' - 8"

Building Materials List for Plan #1152-1

~ Local building code approved substitutions may be made to this list ~
Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

Concrete & Reinforcements For Stemwall/Footing Foundation

Poured-in-place concrete	(mbl) 111.5 cy
#4 Reinforcing Steel Bar	568 ft
w/6 x 6 - w/1.4 x 1.4 wire mesh	28 - 20' pos.
	506 sf
	126 % 4' roll
Rough Framing	
2 x 6 x 92-1/2" HFDF "stud" exterior wall framing	180 pcs
2 x 6 HFDF No. 2 ext. wall sole plate material	96 ft
2 x 4 x 95" utility grade interior wall framing	63 pcs
2 x 4 utility grade interior wall plates	128 ft
2 x 6 x 95" utility grade interior wall framing	10 pcs
2 x 6 HFDF No. 2 for ext. wall top plates	24 ft
2 x 4 HFDF No. 2 for ext. wall top plates	384 ft
2 x 4 HFDF No. 2 bolsters	48 ft
2 x 6 HFDF No. 2 pressure-treated mud sill (bottom plate)	96 ft
4 x 6 x 92-1/2" HFDF No. 2 "king stud" material (for bracket support)	2 pcs
4 x 4 x 95" HFDF No. 2 support bracket material	17 pcs
2 x 6 DF No. 1 header material	8' length
5 1/2 x 8 1/4 LVL garage door header 2350F52.0E	18' length
16" LPI 32 second floor joists	23' - 0 3/4" length
18" x 1-1/8" thick LPI rim joist material	19 pcs
34" T & G C-D APA Plywood, ext. glue floor	48 ft
2 x 6 HFDF pressure treated landing joists	18 sheets
2 x 8 HFDF pressure treated landing joists	1 pc.
2 x 12 HF No. 2 Slat Stringer	3 pcs.
2 x 4 cedar or treated wood for stair tread & landing	16' length
2 x 4 cedar pickets for guardrails	30 pcs
2 x 4 cedar cap for guardrails	8' length
1 x 4 cedar trim for guardrails	3 pcs.
2 x 4 x 12-1/2" pine blocks w/ screened vent holes	8' length
Roof Trusses: 4 - 12 pitch, 24-0" span, including (2) ends	13 pcs.
2 x 4 x 12-1/2" pine blocks w/ screened vent holes	24 pcs.

Sheathing Materials

1952", 5-ply C-D APA, ext. glue P.I. 240 Roof Sh.	4 x 8 sheets
7/16" o.s.b. Wall Sheathing	53 sheets

Vapor Barrier

Roof 15# blumious felt paper in 30" wide roll	300 ft
Floor 7# blumious felt paper in 40" wide roll	680 ft
Floor .008" black polyethylene membrane	576 sf

Siding Materials

8" textured o.s.b. siding boards with 1" lap	1500 sf of sided area
(alternate siding) textured 7/16" o.s.b. panel siding	4 x 8 sheets
(alternate siding) textured 7/16" o.s.b. panel siding	4 x 10 sheets
Trim: 5/4 x 3	8' length
Trim: 5/4 x 4	8' length
Trim: 5/4 x 4	32 pcs.
Fascia: 1 x 6	2 pcs.
Rakeboard: 2 x 6	4 pcs.

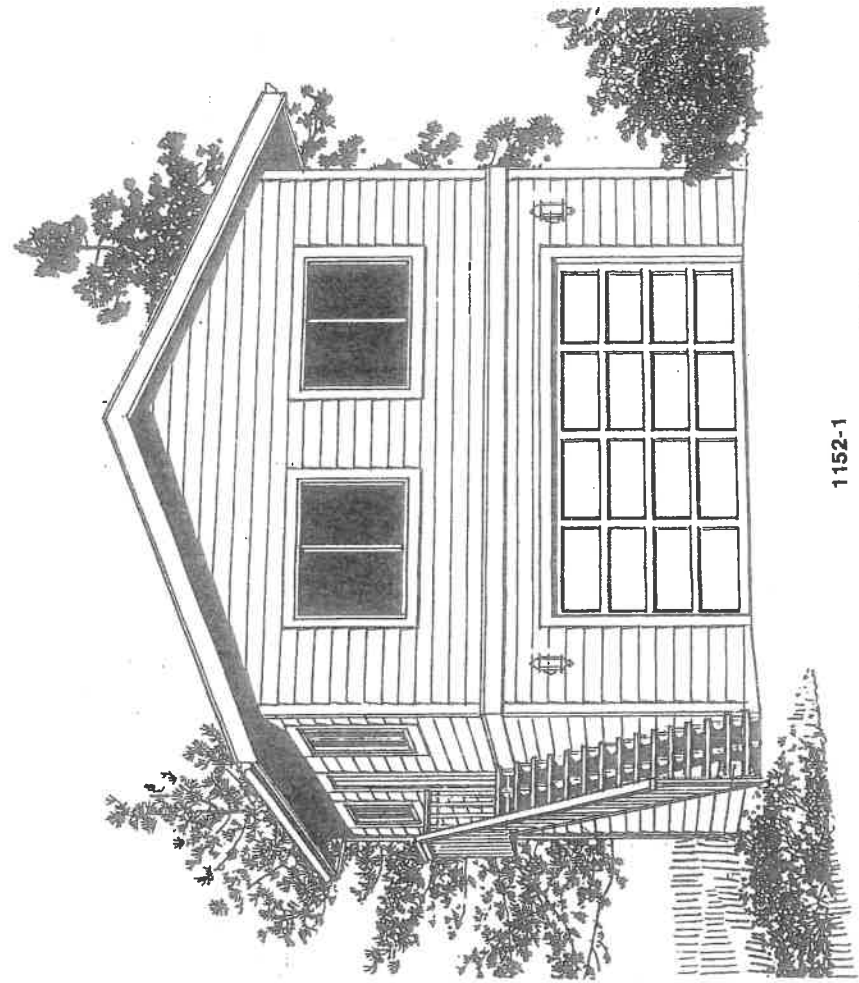
Roofing Materials

Composition Roofing Shingles	731 sf
Ridgevent material	24 ft

Windows and Doors

4068 interior bypass door assembly	2 ea.
2688 interior swing door assembly	2 ea.
2688 interior b-fold door assembly	1 ea.
2468 interior swing door assembly	2 ea.
8040 slider window	2 ea.
8030 slider window	1 ea.
5040 slider window	1 ea.
5030 slider window	1 ea.
3030 slider window	2 ea.
3065 exterior door assembly	1 ea.
10-17" x 7-0" sectional garage door assembly	1 ea.

1152-1



Building Code Compliance
This planset was prepared to comply with the prescriptive requirements of the 2008 edition of the International Residential Code (IRC)

Parameters For Design

Wind Speed:	100 mph - 3 sec. gust
Wind Exposure:	"B"
Seismic Category:	A, B and C
Snow Load:	30# / sq. ft.

Building Categories and Data

Occupancy Classification:	"U"
Construction Type:	"V"

Metal Parts	
Arch. bolts: 1/2" x 10" ASTM A-307	22 pcs.
Hex Nuts for anchor bolts	22 pcs.
Flat washer: 2" x 2" square x 3/16" thick	22 pcs.
Simpson HI clips	10' length
Handrail, 1-1/2" dia. Wood or metal	4 pcs.
Handrail Support Brackets	3 pcs.
Simpson STD14 hold-down straps	50 lbs.
Hanger - Simpson U2B for stringers	10 lbs.
16d shiner nails @ 50 lbs. / box	54 ft
8d common nails @ 50 lbs. / box	48 ft
Roofing nails @ 210 nails / lb.	
2-Flashings strip for vent. & door heads (applied length)	
2-Flashings strip for asphalt/metal panel siding (installed, allow for overlaps)	

~ Note: To advise corrections, please call Behm Design @ 1-800-210-6776 ~

$$\frac{1}{4} = 1'-0"$$



**KNOWN AS LOT A
BLOCK 117**

**ANNA DEAN COATES
VOL. 79. PG. 79**

**RESIDENCE
109 ST. MARY'S STREET**

BARNES STREET

ST. MARY'S STREET

BEGINNING

Drive

GARAGE

WELL

ELEC LINE

WOOD

CONTROLLING BEARING LINE 1 SOUTH 154.14'

N 88° 28' 20" E 110.34'

S 88° 28' 55" W 110.31'

N 0° 00' 38" W 154.12'

1/2 IRF

3/8 IRF

PP

1/2 IRS

O/H ELEC LINE

35.5'

35.3'

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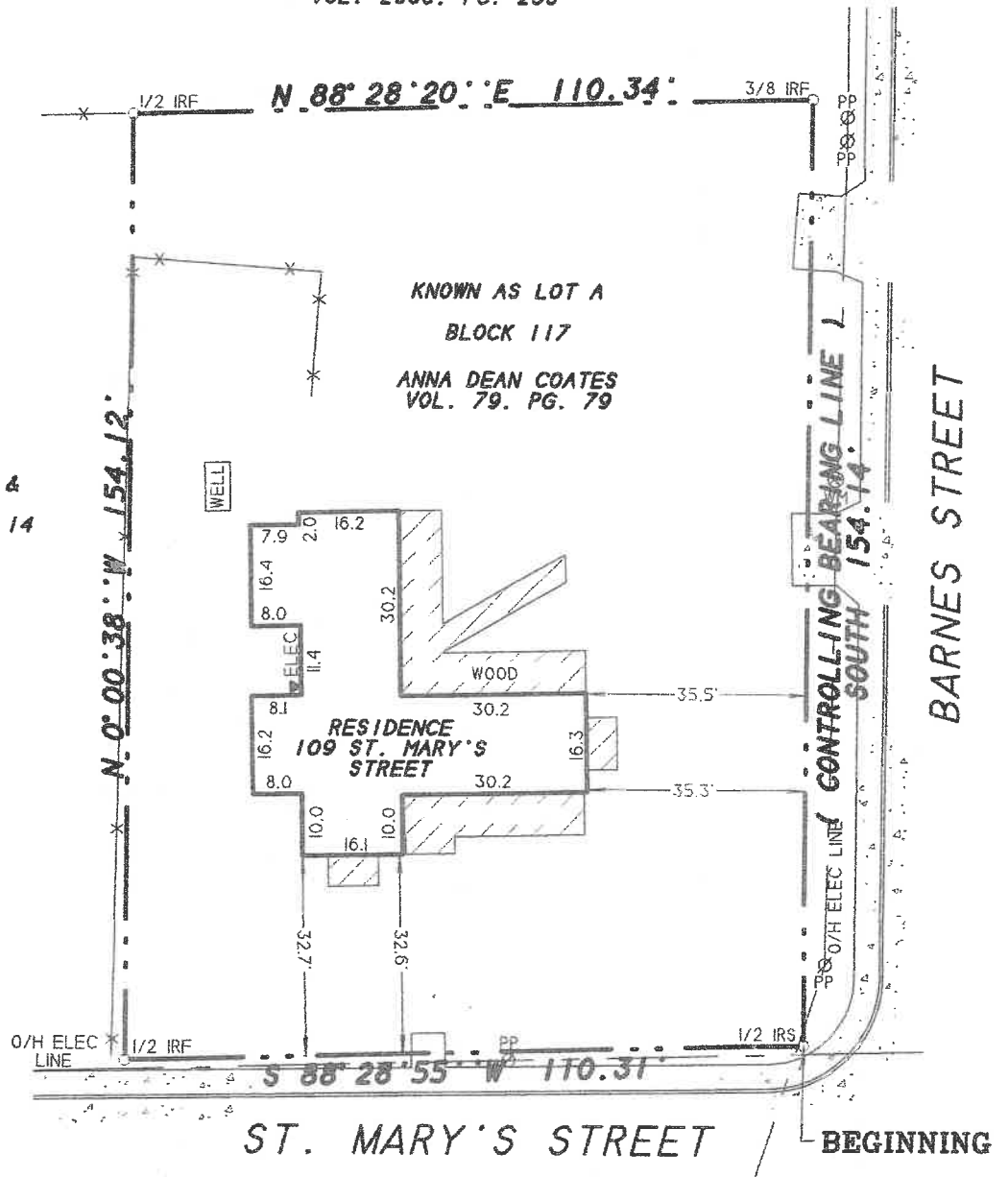
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DATE _____

DATE _____

WILLIAM H. MIGNEALT
VOL. 2933. PG. 260

NAN L. SMARTT &
JULIA BOND
VOL. 879. PG. 14



SURVEY ACCEPTED BY:

DATE _____

DATE _____

KNOWN AS LOT A
BLOCK 117
ANNA DEAN COATES
VOL. 79, PG. 79

RESIDENCE
109 ST. MARY'S STREET

WOOD

WELL

ST. MARY'S STREET

BARNES STREET

CONTROLLING LINE
S 154° 14' SOUTH

N 88° 28' 20" E 110.34'

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_____ DATE _____

_____ DATE _____

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Anna Dean Coates to Richard D. Jordan and Wilma D. Jordan, dated May 5, 1967 and being recorded in Volume 79, Page 79 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of St. Mary's Street with the West right-of-way line of Barnes Street at the Southeast corner of said Jordan tract;

THENCE S. 88 deg. 28 min. 55 sec. W. along the North right-of-way line of St. Mary's Street, a distance of 110.31 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 38 sec. W. a distance of 154.12 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 28 min. 20 sec. E. a distance of 110.34 feet to a 3/8" iron rod found for corner in the West right-of-way line of Barnes Street;


THENCE SOUTH (Controlling bearing line) along said right-of-way line, a distance of 154.14 feet to the POINT OF BEGINNING and containing 0.39 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, LEHMAN BROTHERS BANK, and DEANNA GRANDSTAFF at 109 ST. MARY'S STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 12th day of December, 2005.


Harold D. Fetty III, R.P.L.S. No. 5034

R.S.C.I.

ROCKWALL SURVEYING CO., INC.



SYMBOL LEGEND				
TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELECTRIC METER	TU ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	1/2" IRF IRON ROD FOUND (CORNER)	LP LIGHT POLE
-X- FENCE	A/C AIR COND. UNIT			PROPANE TANK
PROPERTY LINE				

SURVEY DATE DECEMBER 12, 2005
SCALE 1" = 30' FILE # 20052148
CLIENT GRANDSTAFF GF# 17582-RWQ5

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Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
TV TELEPHONE CABLE ROVER	GAS GAS METER	TEL PHONE RIVER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELECTRIC METER	TU ELEC BOX	WM WATER METER	1/2" IRF ROD 200 FOUND (CORNER)	LP LIGHT POLE
X FENCE	SSUBSURFACE JUNCTION BOX	A/C AIR COND. UNIT	LP LIGHT POLE	WSPRINK TANK
PROPERTY LINES				

R.S.C.I.
ROCKWALL SURVEYING CO., INC.

LAND SURVEYING

SURVEY DATE DECEMBER 12, 2005
SCALE 1" = 30' FILE # 20052148
CLIENT GRANDSTAFF GF # 17582-RW05



RECEIPT

Project Number: Z2014-003
Job Address: 109 ST MARYS ST
ROCKWALL, TX 75087

Receipt Number: B61769

Printed: 1/21/2014 11:38 am

Fee Description	Account Number	Fee Amount
ZONING	01-4280	\$ 200.00

Total Fees Paid:**\$ 200.00**

Date Paid: 1/21/2014 12:00:00AM

Paid By: Charlie Rickerson

Pay Method: CHECK 305

Received By: JDS



DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire

From: Planning & Zoning Department

Date: 1/21/2014

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/24/2014. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/28/2014 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/28/2014 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2014-003
Project Name: 109 St. Mary's Remodel
Project Type: ZONING
Applicant Name: Charlie Rickerson
Owner Name: Charlie Rickerson
Project Description:



DEVELOPMENT REVIEW COMMITTEE (DRC) CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire

From: Planning & Zoning Department

Date: 1/21/2014

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/24/2014. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/28/2014 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/28/2014 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2014-003
Project Name: 109 St. Mary's Remodel
Project Type: ZONING
Applicant Name: Charlie Rickerson
Owner Name: Charlie Rickerson
Project Description:

1/23/2014

City of Rockwall



Project Plan Review History

Project Number	Z2009-009	Owner	Russell Hyland	Applied	5/18/2009	DG
Project Name	Detached garage w/separate living unit	Applicant	Randall Edmiston	Approved	7/20/2009	DG
Type	ZONING			Closed	7/21/2009	DG
Subtype	SUP			Expired		
Status	APPROVED			Status	2/2/2010	MH

Site Address
3815 Pinebluff

City, State Zip
Rockwall, TX 75032

Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
TIMBER CREEK ESTATES	1	E	1	5168-000E-0001-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	John Shannon	5/18/2009	5/25/2009	5/19/2009	1 Approved	See notes

1. A building permit is required.
2. The applicable code is the 2006 IRC and local amendments.
3. Energy compliance calculations are required.
4. Side setback is 6 feet.
5. The foundation must be engineer designed.
6. One hour fire separation is required between the garage and living area.
7. The door to the living space must be 20 minute rated.
8. The bottom opening of all operable second story windows must be min. 24" above the floor.

ENGINEERING	Amy Williams	5/18/2009	5/25/2009	5/19/2009	1 Approved	
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FIRE	Ariana Hargrove	5/18/2009	5/25/2009	5/26/2009	8 Comments	
------	-----------------	-----------	-----------	-----------	------------	--

(5/26/2009 09:51 AA)
Fire hydrant coverage shall meet the 400-foot hose reach distance to all portions of the exterior building walls.

PLANNING	David Gonzales	5/18/2009	5/25/2009	5/21/2009	3 Comments	see notes
----------	----------------	-----------	-----------	-----------	------------	-----------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Should the SUP be approved, the structure must meet all Fire Department, Building Inspections and Engineering requirements.						
The detached garage shall not exceed an overall height of 26.5 ft.						
The detached garage area shall not exceed 900 sq ft.						
The 2nd floor guest quarters/secondary living area shall not exceed 30% of the area of the primary structure (3014 sq ft X 30% = 904 sq ft).						
The exterior wall materials shall match that of the primary structure and generally in the same proportion.						
Conditions of the SUP are to include:						
<ol style="list-style-type: none"> 1. Guest quarters or secondary living units may be allowed on a property in a residential or commercial zoning district provided it is ancillary to the primary use and that only one such facility is provided. 2. No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance. 						

Project Details

Project Number Z2014-003

As of 1/24/2014

Type / Subtype
ZONING / SUP**Project Name**
109 St. Mary's Remodel**Planner**
David Gonzales**Status**
STAFF REVIEW**Application Date** 1/21/2014 JDS**Approval Date****Date Closed****Expiration Date****Status Date** 1/21/2014 JDS**Site Address**
109 ST MARYS ST**City, State Zip**
ROCKWALL, TX 75087**Site APN**
3140-0117-000A-00-0R**Description**

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

Conditions

Additional Sites

APN	Address
No Additional Sites	

Chronology Actions

Type of Action	Action Date
Action By	
No Activity	

Contacts

Contact Type	Address	City, State, Zip	Phone	Fax	Email
Name					
OWNER					
Charlie Rickerson	109 St. Mary's Street	ROCKWALL TX 75087	(214) 862-4283		rickersonc@gmail.com
APPLICANT					
Charlie Rickerson	109 St. Mary's Street	ROCKWALL TX 75087	(214) 862-4283		rickersonc@gmail.com

Fees

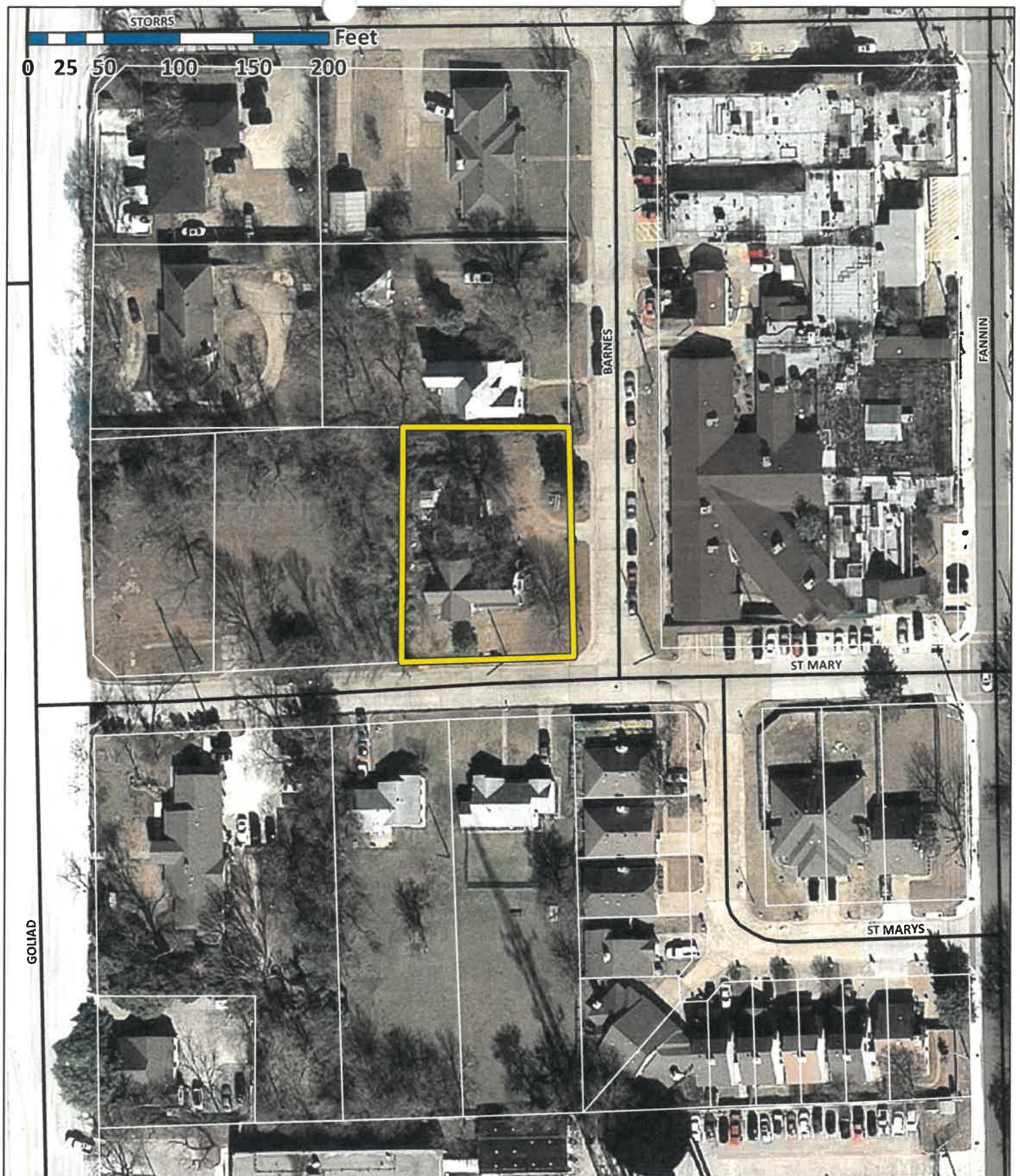
Description of Fee	Date Paid	Paid By	Pay Method	Account
Quantity	Amount			
ZONING	1/21/2014			

Inspections

Type of Inspection Inspector	Scheduled Date Result	Completed Date Remarks
No Activity		

Reviews

Type of Review Contact	Date Sent Status	Date Due Remarks	Date Received
PLANNING David Gonzales	1/21/2014 COMMENTS	1/28/2014 See comments	1/24/2014
Notes: <ol style="list-style-type: none"> 1. Should the SUP be approved, the structure must meet all Fire Department, Building Inspections and Engineering requirements. 2. The detached garage shall not exceed an overall height of 32 ft allowed by the SF-7 district standards (proposed height = 30.8 ft) 3. The detached garage area shall not exceed 900 sq-ft (proposed 576 sq-ft). 4. The 2nd floor guest quarters/secondary living area shall not exceed 30% of the area of the primary structure (2738 sq ft X 30% = 821.4 sq ft). The proposed area is 24' X 24' and equals the garage area of 576 sq-ft. 5. The exterior wall materials will match that of the primary structure as approved by the HPAB on 01-16-2014 (primary material - 6" horizontal wood siding). 			
ENGINEERING Amy Williams	1/21/2014 APPROVED	1/28/2014	1/23/2014
FIRE Ariana Hargrove	1/21/2014	1/28/2014	
BUILDING John Shannon	1/21/2014	1/28/2014	



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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January 02, 2014

Historic Preservation Advisory Board,

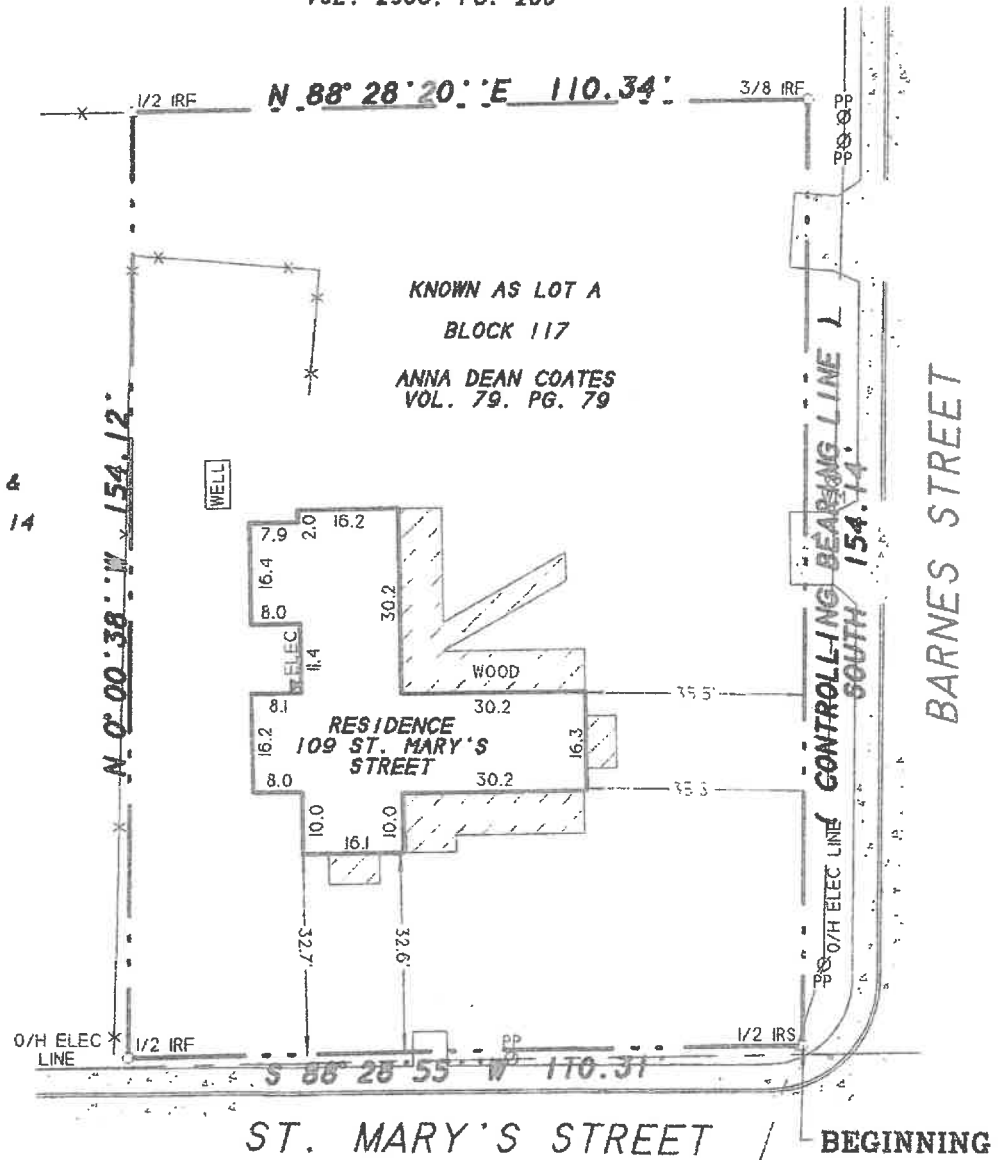
We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

Sincerely,

Charlie & Ginni Rickerson

WILLIAM H. MIGNEALT
VOL. 2933. PG. 260

NAN L. SMARTT &
JULIA BOND
VOL. 879. PG. 14



SURVEY ACCEPTED BY:

DATE _____

DATE _____

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Anna Dean Coates to Richard D. Jordan and Wilma D. Jordan, dated May 5, 1967 and being recorded in Volume 79, Page 79 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of St. Mary's Street with the West right-of-way line of Barnes Street at the Southeast corner of said Jordan tract;

THENCE S. 88 deg. 28 min. 55 sec. W. along the North right-of-way line of St. Mary's Street, a distance of 110.31 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 38 sec. W. a distance of 154.12 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 28 min. 20 sec. E. a distance of 110.34 feet to a 3/8" iron rod found for corner in the West right-of-way line of Barnes Street;

THENCE SOUTH (Controlling bearing line) along said right-of-way line, a distance of 154.14 feet to the POINT OF BEGINNING and containing 0.39 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, LEHMAN BROTHERS BANK, and DEANNA GRANDSTAFF at 109 ST. MARY'S STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 12th day of December, 2005.


Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
TV	GAS	TEL	PH	PP
TELE-GRAPH	GAS METER	PHONE BASE	HYDRAULIC	POWER POLE
ELEC	TU ELEC	WM	1/2" IRF	
ELECTRIC METER	BOX	WATER METER	NOT ROD FOUND	
-X-	SURFACE	A/C	LP	
POLE	SECTION	UNIT	LIGHT POLE	
			WATER TANK	

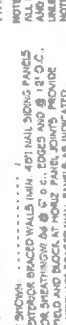
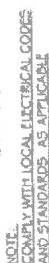
R.S.C.I.
ROCKWALL SURVEYING CO., INC.

LAND SURVEYING

SURVEY DATE DECEMBER 12, 2005
SCALE 1" = 30' FILE # 20052148
CLIENT GRANDSTAFF CF# 17582-RW05

1984 S. FM 551 ROYSE CITY, TX 75189 972-772-5434 PHONE 972-772-5443 FAX







- Public Notice -

The City of Rockwall Planning and Zoning Commission will hold a public hearing on **Tuesday, February 11, 2014** at 6:00 p.m. in the Council Chambers at Rockwall City Hall, 385 South Goliad, Rockwall, Texas, and the Rockwall City Council will hold a public hearing on **Monday, February 17, 2014** at 6:00 p.m. in the Council Chambers at Rockwall City Hall, 385 South Goliad, Rockwall, Texas, to consider the following items:

Z2014-001: Proposed Zoning Change – Sids Road

Hold a public hearing to discuss and consider a request by Tommy Pulliam on behalf of Rayburn Electric Cooperation, Inc. for the approval of a zoning change from Agricultural (Ag) District to a Heavy Commercial (HC) District for a 6.057-acre tract land identified as a portion of Tract 3-06 of the W. H. Barnes Survey, Abstract No. 26, Rockwall, Rockwall County, Texas, zoned Agricultural (Ag) District, located on the south side of Sids Road west of S. Goliad Street (SH-205), and take any action necessary.

Z2014-002: Proposed PD Amendment (PD-70) – FM-552

Hold a public hearing to discuss and consider a request by Brad Forslund of Churchill Residential, Inc. on behalf of Stone Creek Balance, LTD. for the approval of a zoning amendment to Planned Development District 70 (PD-70) to allow an age restricted, senior housing on a 5.29-acre portion of a larger tract of land identified as Tract 2 of the W. T. DeWeese Survey, Abstract No. 71, Rockwall, Rockwall County, Texas, currently zoned Planned Development District 70 (PD-70), located on the south side of FM-552 east of N. Goliad Street (SH-205), and take any action necessary.

Z2014-003: Proposed Specific Use Permit – 109 St. Mary's Street

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

All interested parties are encouraged to attend. Please contact the City of Rockwall Planning and Zoning staff at (972) 771-7745 with any questions. Additional information can be found on all current Zoning cases on the City's website:

<http://www.rockwall.com/Planning/PlanningDevCases.asp>



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2014-003: 109 St. Mary's Remodel

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 2/11/2014 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 2/17/2014 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **2/17/2014** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2014-003: 109 St. Mary's Remodel

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

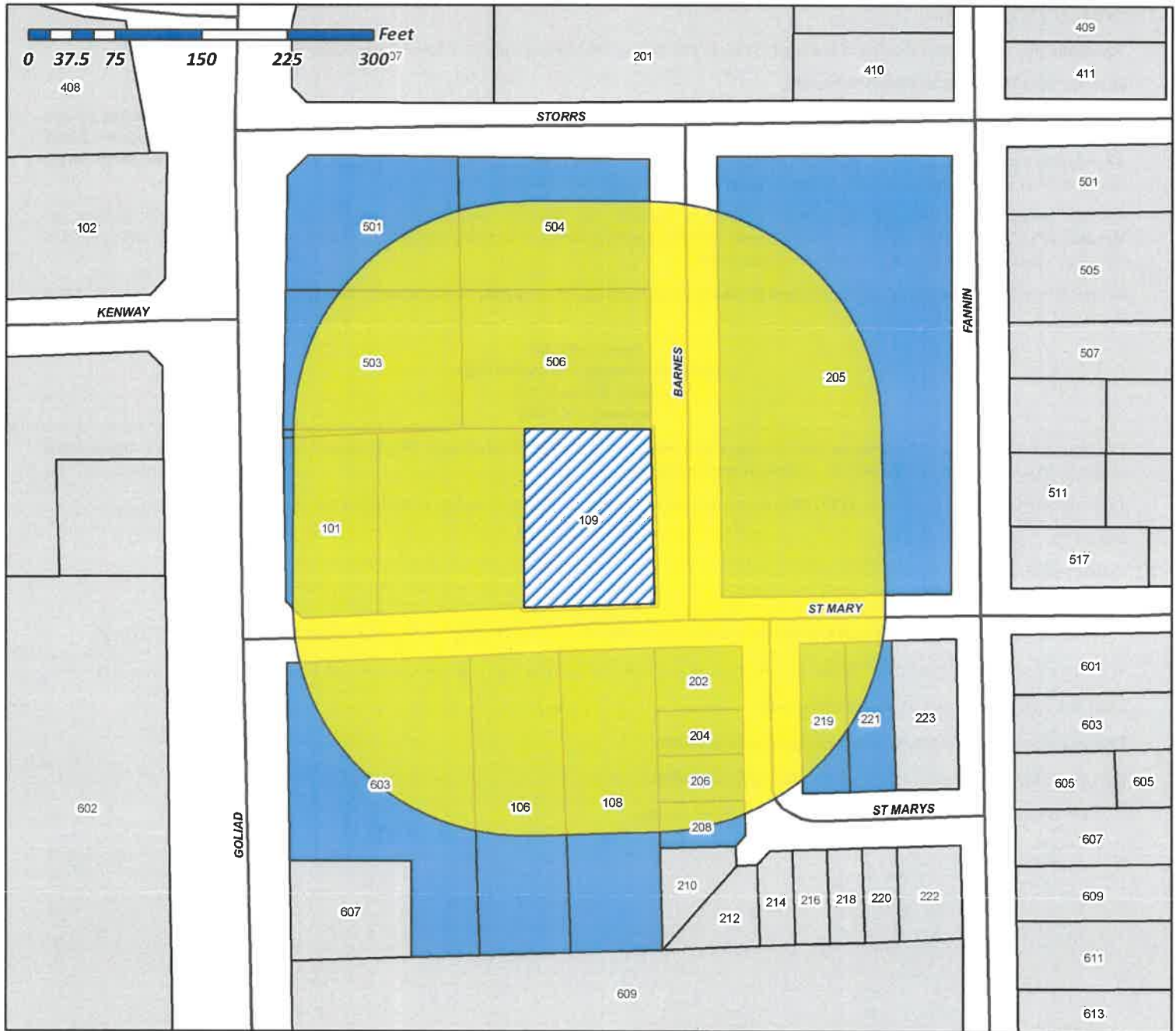
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2014-003
Case Name: 109 St. Mary's Remodel
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 109 St. Mary's

Date Created: 1/24/2014

For Questions on this Case Call (972) 771-7745

Vicinity Map





NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of

Case No. Z2014-003: 109 St. Mary's Re

*Hold a public hearing to discuss and c
with guest quarters/secondary living ur
identified as Lot A, Block 117, B. F. Bo
Family 7 (SF-7) District, located at 109 S*

For the purpose of considering the
Tuesday, 2/11/2014 at 6:00 p.m., and t
the City Council Chambers at City Hall, 3

As an interested property owner, you ar
to:

You may also email your comments to
please include your name and address fo

Your comments must be received by 2/11

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE C

--- PLEASE RETURN THE BELOW FORM

Case No. Z2014-003: 109 St. Mary's R

Please place a check mark on the app

☒ I am in favor of the request for the

☐ I am opposed to the request for the

*No objection
the structure will*

Name: *Todd W. White*

Address: *503 S.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a p
change must receive, in order to take effect,
written and signed by the owners of at least 2
lots or land immediately adjoining the area co

PLEASE S

503 SOUTH GOLIA
ROCKWALL, TEXAS 75087

THE WHITE LAW FIRM



David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall TX 75087-3737



ing application:

*allow a detached garage
i 0.40-acre parcel of land
d Property, zoned Single*

d a public hearing on
e hearings will be held in

g please return the form

e Planning Department

NGDEVCASES.ASP

peety

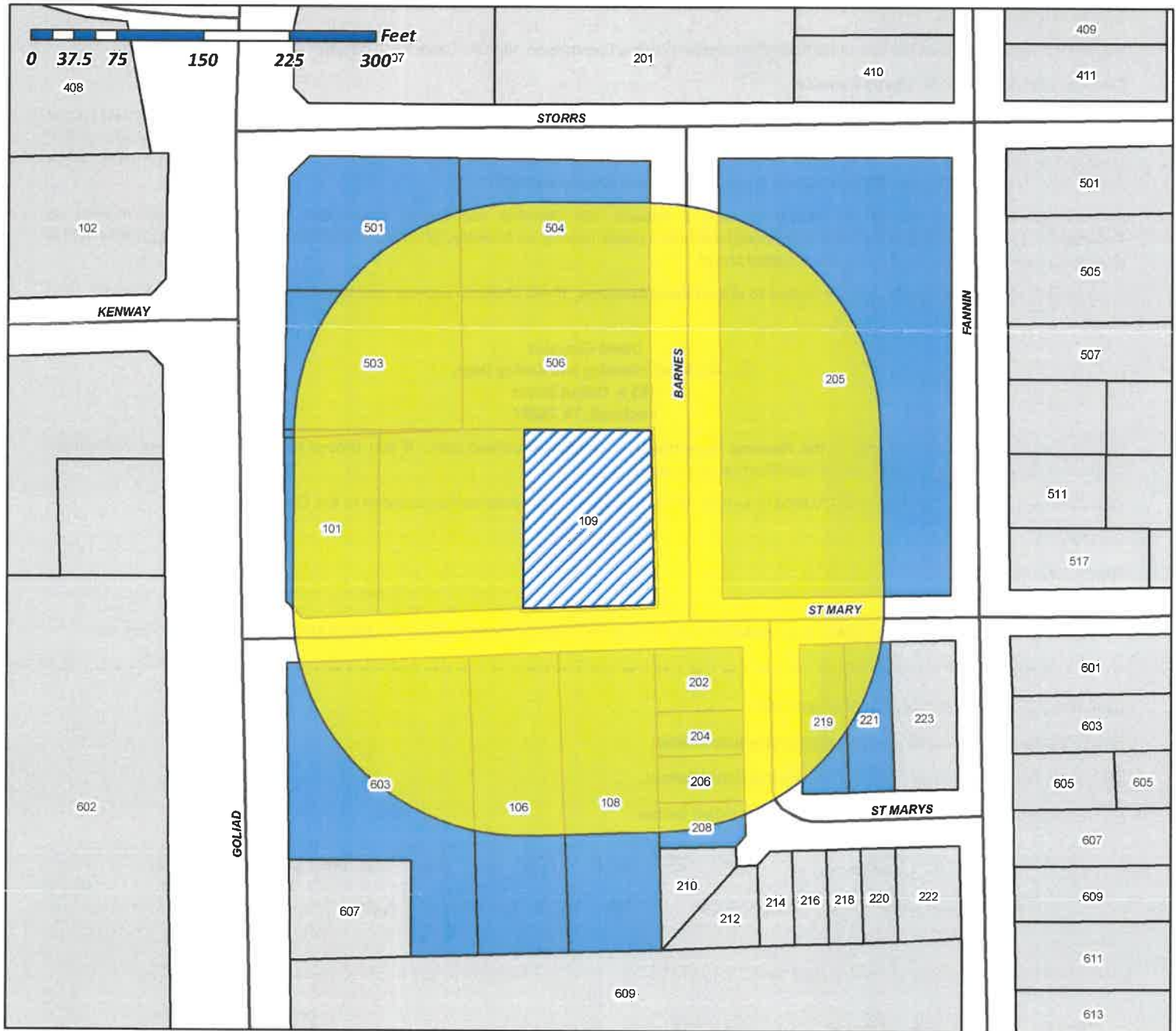
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The protest must be
or (2) the area of the



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Case Number: Z2014-003
Case Name: 109 St. Mary's Remodel
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 109 St. Mary's

Date Created: 1/24/2014

For Questions on this Case Call (972) 771-7745

Vicinity Map





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 EMAIL: PLANNING@ROCKWALL.COM

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Case No. Z2014-003: 109 St. Mary's Remodel

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 Director of Planning & Zoning

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Case No. Z2014-003: 109 St. Mary's Remodel

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

WAY FAMILY MGT. LLC
 8441 S. F.M. 649 HEATH TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Reference No	Last Name	Name	Legal Description	Address 1	Address 2	Address 3	City	State	Zip
5061-0001-0004-00-0R		MOORE, GLEN & JACQUE	ST MARY'S PLACE, BLOCK 1, LOT 4		2026 SUNNY CIR		ROCKWALL, TX		75032
3140-080C-0000-00-0R		MERRITT P CRAIG JR	B F BOYDSTON, BLOCK 80C		504 BARNES ST		ROCKWALL, TX		75087
3140-080A-0000-00-0R	LAKEPOINTE PHOTOGRAPHY	WAY FAMILY MANAGEMENT LLC	B F BOYDSTON, BLOCK 80A		8441 S FM 549		ROCKWALL, TX		75032
3140-0117-000A-00-0R		GRANDSTAFF DEANNA	B F BOYDSTON, BLOCK 117, LOT A		8128 MONTEREA VILLA TRL	APT 3016	FT WORTH, TX		76177
3140-0079-0000-00-0R		MIGNEAULT WILLIAM H & MELINDA	ST MARY'S PLACE, BLOCK 79, ACRES .500		188 RIDGEMONT DR		FORNEY, TX		75126
5061-0002-0001-00-0R		GREEN MAUREEN & MICKY R	ST MARY'S PLACE, BLOCK 2, LOT 1		945 BREEZY HILL LN		ROCKWALL, TX		75087
5061-0002-0002-00-0R		GREEN MAUREEN & MICKY R	ST MARY'S PLACE, BLOCK 2, LOT 2		945 BREEZY HILL LN		ROCKWALL, TX		75087
3140-0808-0000-00-0R		PEOPLES BILLY W	B F BOYDSTON, BLOCK 80B		PO BOX 35		ROCKWALL, TX		75087
3140-0117-000E-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT E	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST		1122 SURREY LANE	ALLEN, TX		75013
3140-0117-000D-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT D, ACRES 0.471	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST		1122 SURREY LANE	ROCKWALL, TX		75013
5061-0001-0001-00-0R		RICKARDS MICHAEL A ETUX	ST MARY'S PLACE, BLOCK 1, LOT 1		202 SAINT MARY'S PL		ROCKWALL, TX		75087
5061-0001-0002-00-0R		VEGA JOHN & PAUL S	ST MARY'S PLACE, BLOCK 1, LOT 2		205 TUPELO DR		ROCKWALL, TX		75087
5061-0001-0003-00-0R		MORKEN PETER & GAY ANDERSON	ST MARY'S PLACE, BLOCK 1, LOT 3	GILMA L MORKEN LIFE ESTATE	206 SAINT MARY'S PL		ROCKWALL, TX		75087
3239-000A-0001-00-0R	ABANDONED ROW	SAINT JOSEPH BUILDING LLC	CARABAL ADONITION, BLOCK A, LOT 1		503 SOUTH GOLIAD		ROCKWALL, TX		75087
CEMETERY									
3205-000A-0001-00-0R	ROCKWALL NURSING CENTER	CAMPBELL W E	W E CAMPBELL, BLOCK A, LOT 1, ACRES 1.814	C/O RW SCC, LLC	206 STORRS ST		ROCKWALL, TX		75087
3140-0078-0000-00-0R	JOUR SALON & SPA	MERRITT CRAIG	B F BOYDSTON, BLOCK 78, ACRES .500		504 BARNES ST		ROCKWALL, TX		75087
3140-0117-000C-00-0R		MCCORD SHANNON	B F BOYDSTON, BLOCK 117, LOT C		501 S GOLIAD ST		ROCKWALL, TX		75087

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 02/11/2014

APPLICANT: Charlie Rickerson

AGENDA ITEM: **Z2014-003**; Detached Garage with Secondary Living Unit

SUMMARY:

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydstun Addition, Rockwall, Rockwall County, Texas, also identified as a *Landmarked Property*, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

DISCUSSION:

The applicant, Charlie Rickerson, is requesting approval of a Specific Use Permit (SUP) for the construction of a detached garage that will include a guest quarters/secondary living unit. The property is located at 109 St. Mary's St., zoned Single Family (SF-7) District, is recognized locally as a *Landmarked Property*, and was constructed in 1888. The *Folk Victorian* styled home is also known as the *Jordan House*. In keeping with the historic integrity of the property, the detached garage (accessory structure) will be composed primarily of a beveled (horizontal) six (6) inch wood siding, a steep sloped gabled roof with a staggered "shake" wall surface pattern on the façade, and decorative windows with the cornice and lintel matching the primary structures appearance. The garage door for the building will have the appearance of a carriage styled door, providing a historically relevant quality to the structure.

The proposed accessory structure will be a two (2) story structure with an overall square footage of approximately 1,152 sq. ft. and an overall height of 30.8 feet. The lower level of the accessory structure will consist of a detached garage that will be approximately 576 sq. ft. in area. The Unified Development Code (UDC) allows for one (1) detached garage in a residential district as long as it does not exceed 900 sq. ft. in area or fifteen (15) feet in height, provided that it is located on the same lot as the residential use and that the exterior cladding contains the same materials, excluding glass, as found on the main structure and is generally in the same proportion. The area of the proposed accessory structure does not exceed the maximum square footage allowed; however, it does exceed the maximum height of fifteen (15) feet, therefore requires an SUP.

In addition, the proposed accessory structure will provide a "Guest Quarters/Secondary Living Unit" to be located on the second floor. The applicant has submitted proposed floor plans for the accessory structure indicating the upstairs living space to be approximately 576 sq. ft., thereby not exceeding the maximum allowable area of 30% of the main structure (2738 sq. ft. X 30% = 821.4 sq. ft.). Under the Permissible Uses Section of the Unified Development Code

(UDC), a guest quarters/secondary living unit requires approval of an SUP with the following conditions:

- Guest quarters or secondary living units may be allowed on a property in a residential zoning district provided it is ancillary to the primary use and that only one such facility is provided.
- The area of such quarters shall not exceed 30% of the area of the main structure.
- No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance.

The Rickerson's have recently been approved for a Certificate of Appropriateness (COA) by the Historic Preservation Advisory Board (HPAB) that allows for the construction of the accessory building (with approval of an SUP) and restoration of the primary structure based on their goal of maintaining the historical integrity of the home. Although the intent of the applicant is to provide an accessory structure that is compatible in height, materials, color, design and style to the primary structure, the SUP remains a discretionary action for the Planning and Zoning Commission and City Council.

NOTIFICATION:

A public notice has been published in the Rockwall County News, on the City's web-site, and a sign has been posted on the property. Also, notices have been mailed to fifteen (15) property owners within 200-ft of the subject property as required by law. At time of this report, staff has received two (2) response "in favor of," and none "opposed to" the request.

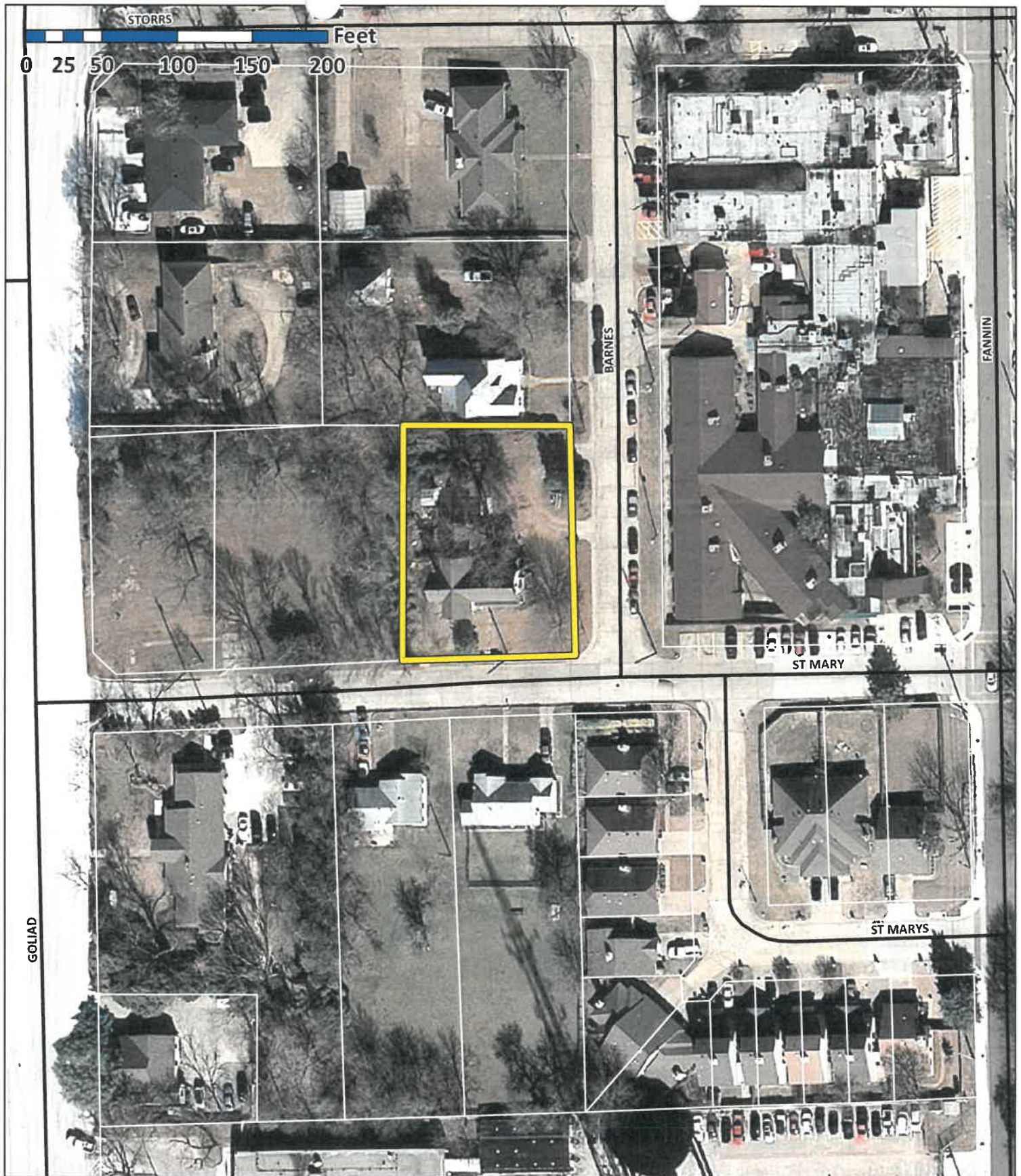
RECOMMENDATIONS:

On January 16, 2014, the Historic Preservation Advisory Board approved the request of a COA for the garage and secondary living unit, rear driveway and reconstructed front walkway with staff recommendations and to include an additional condition that the new front driveway be a ribbon driveway that extends a minimum of seventy feet from the front property line towards the garage prior to pouring a standard drive for maneuvering and parking purposes.

Should the request be approved, staff would offer the following conditions:

- 1) The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
- 2) The detached garage/accessory structure shall comply with the submitted site plan and building elevations;
- 3) The detached garage/accessory structure shall not exceed an overall height of 32-ft;
- 4) The area of the detached garage shall not exceed 900 sq. ft.;
- 5) The second floor guest quarters/secondary living area shall not exceed 30% of the area of the main structure (i.e. 821.4 sq. ft.);
- 6) The guest quarters/secondary living unit shall be ancillary to the primary use and only one such unit shall be provided;

- 7) The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
- 8) The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
- 9) The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
- 10) Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

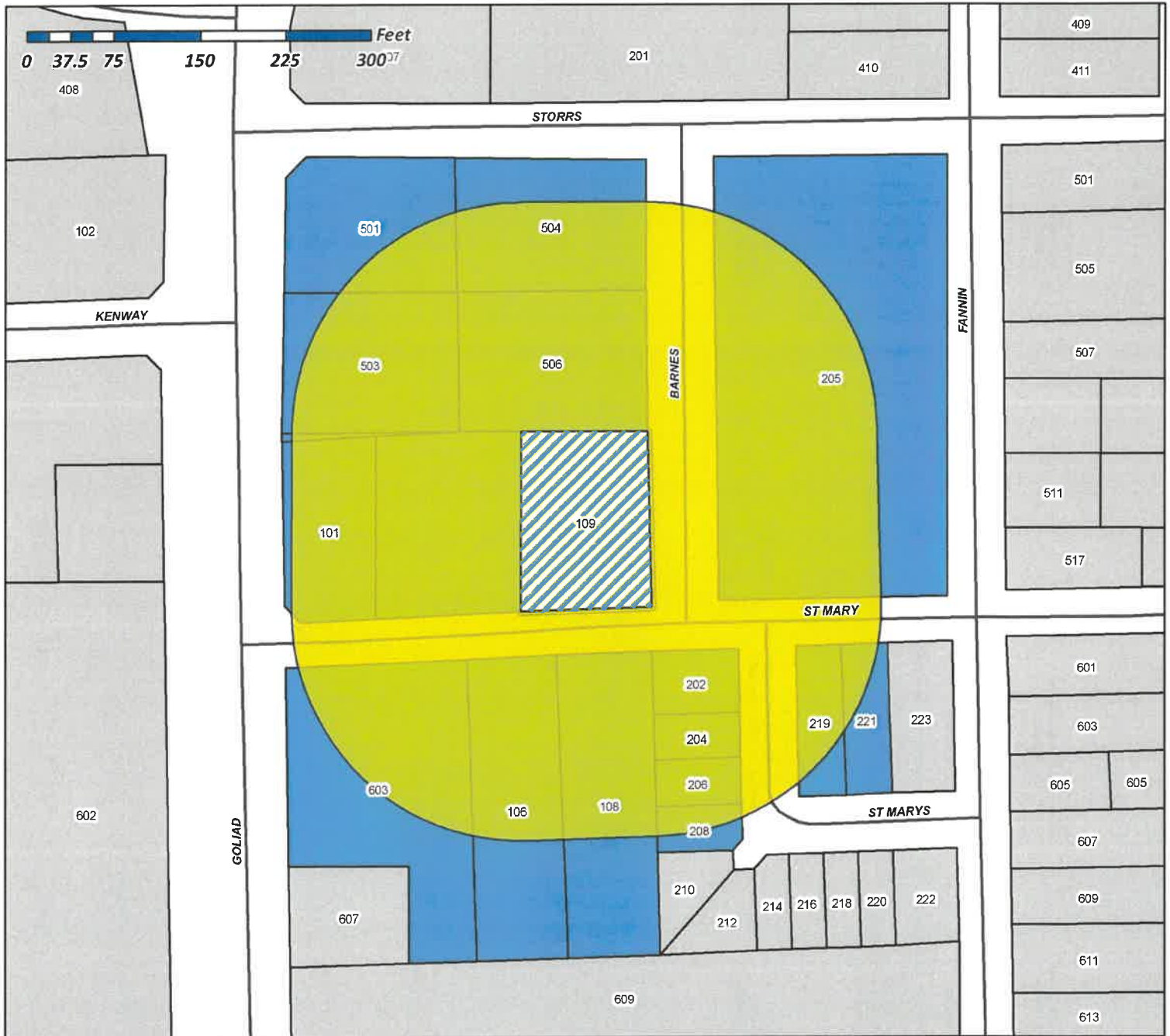




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Case Number: Z2014-003
Case Name: 109 St. Mary's Remodel
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 109 St. Mary's

Date Created: 1/24/2014

For Questions on this Case Call (972) 771-7745

Vicinity Map



Reference No.	Last Name	Name	Legal Description	Address 1	Address 2	Address 3	City	State	Zip
5061-0001-0004-00-0R		MOORE GLEN & JACKIE	ST MARYS PLACE, BLOCK 1, LOT 4		2026 SUNNY CIR		ROCKWALL	TX	75032
3140-080C-0000-00-0R		MERRITT P CRAIG JR	B F BOYDSTON, BLOCK 80C		504 BARNES ST		ROCKWALL	TX	75087
3140-080A-0000-00-0R	LAKEPOINTE PHOTOGRAPHY	WAY FAMILY MANAGEMENT LLC	B F BOYDSTON, BLOCK 80A		8441 S FM 549		ROCKWALL	TX	75032
3140-0117-000A-00-0R		GRANDSTAFF DEANNA	B F BOYDSTON, BLOCK 117, LOT A		8128 MONTERRA VILLA TRL	APT 3016	FT WORTH	TX	76177
3140-0079-0000-00-0R		MIGNEAULT WILLIAM H & MELINDA	B F BOYDSTON, BLOCK 79, ACRES .500		188 RIDGEMONT DR		FORNEY	TX	75126
5061-0002-0001-00-0R		GREEN MAUREEN & MICKEY R	ST MARYS PLACE, BLOCK 2, LOT 1		945 BREEZY HILL LN		ROCKWALL	TX	75087
5061-0002-0002-00-0R		GREEN MAUREEN & MICKEY R	ST MARYS PLACE, BLOCK 2, LOT 2		945 BREEZY HILL LN		ROCKWALL	TX	75087
3140-080B-0000-00-0R		PEOPLES BILLY W	B F BOYDSTON, BLOCK 80B		PO BOX 35		ROCKWALL	TX	75087
3140-0117-000F-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT E		1122 SURREY LANE		ALLEN	TX	75013
3140-0117-000G-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT D, ACRES 0.471		1122 SURREY LANE		ALLEN	TX	75013
5061-0001-0001-00-0R		RICKARDS MICHAEL A ETUX	ST MARYS PLACE, BLOCK 1, LOT 1		202 SAINT MARYS PL		ROCKWALL	TX	75087
3140-0078-0000-00-0R		VEGA JOHN & PAM S	ST MARYS PLACE, BLOCK 1, LOT 2		205 TUPELO DR		ROCKWALL	TX	75087
5061-0001-0002-00-0R		MORKEN PETER & GAY ANDERSON	ST MARYS PLACE, BLOCK 1, LOT 3		205 SAINT MARYS PL		ROCKWALL	TX	75087
5061-0001-0003-00-0R		SAINT JOSEPH BUILDING LLC	CARABAIA ADDITION, BLOCK A, LOT 1		503 SOUTH GOLIAD		ROCKWALL	TX	75087
3239-000A-0001-00-0R	ABANDONED ROW								
CEMETERY									
3205-000A-0001-00-0R	ROCKWALL NURSING CENTER	CAMPBELL W E	W E CAMPBELL, BLOCK A, LOT 1, ACRES 1.814	C/O RW SCC, LLC	206 STORRS ST		ROCKWALL	TX	75087
3140-0078-0000-00-0R		MERRITT CRAIG	B F BOYDSTON, BLOCK 78, ACRES .500		504 BARNES ST		ROCKWALL	TX	75087
3140-0117-000C-00-0R	JOUR SALON & SPA	MCCORD SHANNON	B F BOYDSTON, BLOCK 117, LOT C		501 S GOLIAD ST		ROCKWALL	TX	75087



NOTICE OF PUBLIC HEARING
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2014-003: 109 St. Mary's Remodel

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydstun Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 2/11/2014 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 2/17/2014 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **2/17/2014** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2014-003: 109 St. Mary's Remodel

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

No objection, but I would like to know where on the property the structure will be built. I can't see that online.

Name: Todd W. White, St. Joseph Building, LLC
Address: 503 South Goliad, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745

EMAIL: PLANNING@ROCKWALL.COM

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Case No. Z2014-003: 109 St. Mary's Remodel

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2014-003: 109 St. Mary's Remodel

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name: **W. H. Family MGT. VAC**
Address: **8144 S. F.M. 649 Heath TX 75032**

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

January 02, 2014

Historic Preservation Advisory Board,

We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

Sincerely,

Charlie & Ginni Rickerson

1914

WELL

KNOWN AS LOT A
BLOCK 117
ANNA DEAN COATES
VOL. 79, PG. 79

RESIDENCE
109 ST. MARY'S
STREET

WOOD

ST. MARY'S STREET

BARNES STREET

CONTROLLING BEARING LINE
S 154° 14' 14" E

N 88° 28' 20" E 110.34'

N 0° 00' 38" W 154.12'

S 88° 28' 55" W 110.31'

1/2 IRF

3/8 IRF

1/2 IRS

O/H ELEC LINE

1/2 IRF

3/8 IRF

1/2 IRS

O/H ELEC LINE

BEGINNING

DATE _____

DATE _____

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Anna Dean Coates to Richard D. Jordan and Wilma D. Jordan, dated May 5, 1967 and being recorded in Volume 79, Page 79 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of St. Mary's Street with the West right-of-way line of Barnes Street at the Southeast corner of said Jordan tract;

THENCE S. 88 deg. 28 min. 55 sec. W. along the North right-of-way line of St. Mary's Street, a distance of 110.31 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 38 sec. W. a distance of 154.12 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 28 min. 20 sec. E. a distance of 110.34 feet to a 3/8" iron rod found for corner in the West right-of-way line of Barnes Street;

THENCE SOUTH (Controlling bearing line) along said right-of-way line, a distance of 154.14 feet to the POINT OF BEGINNING and containing 0.39 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, LEHMAN BROTHERS BANK, and DEANNA GRANDSTAFF at 109 ST. MARY'S STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 12th day of December, 2005.


Harold D. Fetty III, R.P.L.S. No. 5034

R.S.C.I.
ROCKWALL SURVEYING CO., INC.



SYMBOL LEGEND				
TV TELEPHONE CABLE TIE	GAS GAS PIPING	TEL PHONE CABLE	FH FIRE HYDRANT	PP POWER POLE
ELEC ELECTRIC PETER	TU ELEC BOX SUBSURFACE CONDUIT	WM WATER METER	1/2" INF 1/4" 200 SCALD (1505 62)	LP LIGHT POLE
-X- FENCE	A/C AIR COND UNIT	PROPT PROPERTY	ROAD ROADWAY	TAN TANK

SURVEY DATE DECEMBER 12, 2005
SCALE 1" = 30' FILE # 20052148
CLIENT GRANDSTAFF GF # 17582-RW05



576 SF

SECOND FLOOR AREA

576 SF

GROSS FLOOR AREA: 1152 SF | FIRST FLOOR AREA (GARAGE): 576 SF

GRADE TO RIDGE HEIGHT: 22' - 8"

Building Materials List for Plan #1152-1

Local building code approved substitutions may be made to this list -
Verify in construction methods and materials can require modification
of this list. Every attempt is made for greatest accuracy, but typographical
or human error is possible. Quantities verification by the materials supplier
is recommended before materials package is finalized and/or shipped.

Concrete & Reinforcements For Stemwall/Footing Foundation

Poured-in-place concrete (see 111.5 ft) 568 yd 28' - 20' psi
#4 Reinforcing Steel Bar 500 # 126 # 4' rod

W8 x 6 - 1/2 x 14 wide mesh 500 # 126 # 4' rod

Rough Framing

2 x 6 x 92-1/2" HFDF "AUG" exterior wall framing 180 pcs

2 x 6 HFDF NO. 2 exterior sole plate material 96 #

2 x 6 x 92" utility grade interior wall framing 65 pcs

2 x 4 utility grade interior wall plates 128 #

2 x 6 x 92" utility grade interior wall framing 10 pcs

2 x 6 HFDF No. 2 for exterior wall plates 384 #

2 x 4 HFDF No. 2 for exterior wall plates 48 #

2 x 4 HFDF No. 2 for exterior wall plates 48 #

2 x 6 HFDF No. 2 pressure-treated mudsill (bottom plate) 96 #

4 x 6 x 92-1/2" HFDF No. 2 "long stud" material (for bracket support) 2 pcs

4 x 4 x 92" HFDF No. 2 support bracket material 3 pcs

2 x 6 DF No. 1 header material 17 pcs

5 1/2 x 8 1/4 LVL garage door header 2560Fb2 0E 19 pcs

18" LVL 32 second floor joists 23' - 8 3/4" length 48 #

10" x 1-1/8" thick LPI rim joist material 18 sheets

3/4" T & G C-D APA Plywood, ext. glue floor 4 x 8 sheet 1 pc

2 x 6 HFDF pressure treated landing joists 8' length 3 pcs

2 x 6 HFDF pressure treated landing joists 8' length 3 pcs

2 x 12 HF No. 2 Stud Stringer 16' length 30 pcs

2 x 4 cedar or treated wood for stair tread & landing 8' length 26 pcs

2 x 4 cedar or treated wood for stair tread & landing 8' length 3 pcs

2 x 4 cedar cap for guardrails 8' length 13 pcs

1 x 4 cedar trim for guardrail 24 pcs

2 x 4 x 22-1/2" steel blocks w/ screened vent holes 25 sheets

Sheeting Materials 4 x 8 sheets 53 sheets

15/32" 5-9/16" C-D APA, ext. glue P1 240 Roof Sh 4 x 8 sheets

7/16" 5/8" b. Wall Sheathing 4 x 8 sheets

Vapor Barrier 300 #

Roof 158 baumorous felt paper in 35" wide roll 680 #

Wall 78 baumorous felt paper in 40" wide roll 576 #

Floor 000" black polyethylene membrane 1500 # of total area

Sliding Materials 8" stained o.s.b. siding boards with 1" lap 4 x 8 sheets

(alternating siding) insulated 7/16" o.s.b. panel siding 20 sheets

(alternating siding) insulated 7/16" o.s.b. panel siding 24 sheets

Trim 34 x 4 (use 1 x trim for all siding) 8' length 8 pcs

Trim 34 x 4 8' length 8 pcs

Trim 34 x 4 10' length 2 pcs

Flashed: 1 x 6 52 #

Rakeboard 2 x 6 4 pcs

Knotting Materials 16' length 731 # of roof area

Composition Roofing Shingles 24 #

Roofing material 24 #

Windows and Doors 2 ea

4068 interior bypass door assembly 2 ea

2608 interior swing door assembly 1 ea

2608 interior bi-fold door assembly 2 ea

2608 interior swing door assembly 2 ea

6040 slider window 2 ea

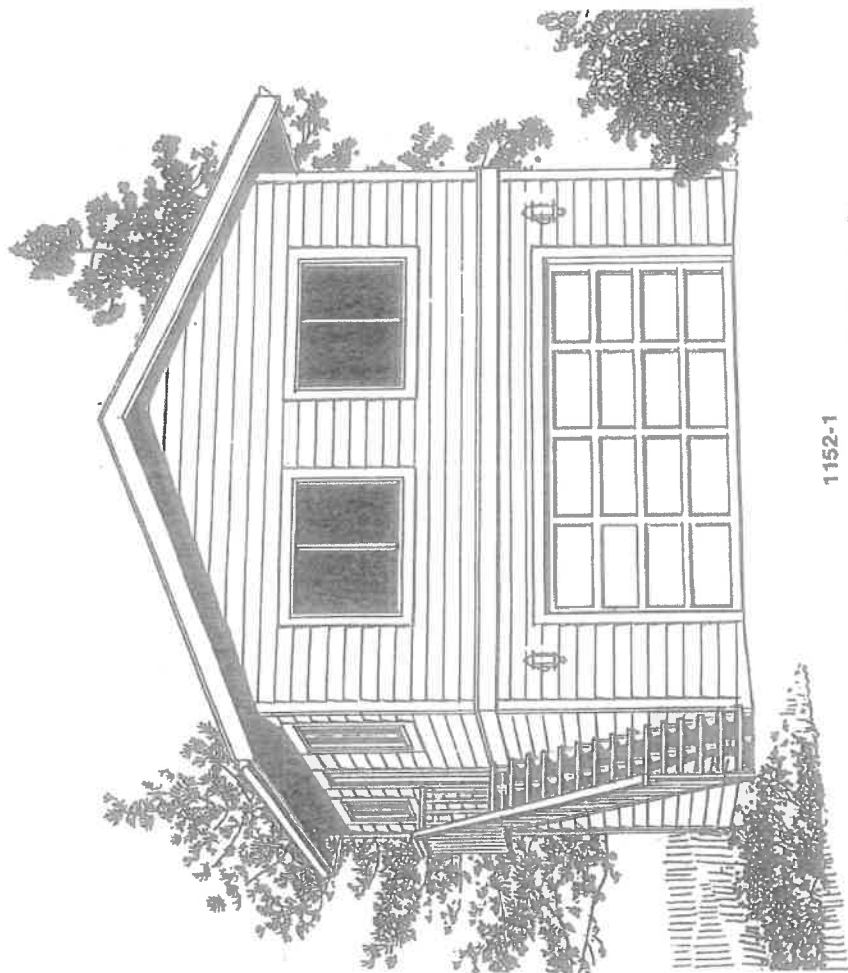
5040 slider window 1 ea

5040 slider window 2 ea

3000 slider window 1 ea

3000 slider window 2 ea

16'-0" x 7'-0" sectional garage door assembly 1 ea



1152-1

Building Code Compliance
This plan was prepared to comply
with the prescriptive requirements
of the 2009 edition of the
International Residential Code (IRC)

Parameters For Design

Wind Speed:

100 mph - 3 sec. gust

Wind Exposure: "B"

Seismic Category:

A, B and C

Snow Load: 30# / sq. ft.

Building Categories and Data

Occupancy Classification: "U"

Construction Type: "V"

Metal Parts

Anchor bolts: 1/2" x 10" ASTM A-307 22 pcs

Hex Nuts for anchor bolts 22 pcs

Flat washer: 2" x 2" square x 3/16" thick 22 pcs

Simpson H1 clips 15' length 4 pcs

Handrail, 1-1/2" dia. Wood or metal 4 pcs

Handrail Support Brackets 3 pcs

Simpson SHD14 hold-down straps 50 lbs

Hanger - Simpson L28 for slings 10 lbs

16d nailer nails @ 80 lbs / box 54 #

6d x 1 1/2" nails @ 80 lbs / box 48 #

Roofing nails @ 210 nails / lb.

Metal flashing strip for work & door heads (supplied length)

2-lane strip for aluminum panel siding (installed, allow for overlaps)

(Interior finishing materials are not included in this list, except for minor doors)

- Note: To advise corrections, please call Behm Design @ 1-800-210-6778 -



CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 02/17/2014

APPLICANT: Charlie Rickerson

AGENDA ITEM: Z2014-003; Detached Garage with Secondary Living Unit

SUMMARY:

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydstun Addition, Rockwall, Rockwall County, Texas, also identified as a *Landmarked Property*, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

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- Guest quarters or secondary living units may be allowed on a property in a residential zoning district provided it is ancillary to the primary use and that only one such facility is provided.
- The area of such quarters shall not exceed 30% of the area of the main structure.
- No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance.

The Rickerson's have recently been approved for a Certificate of Appropriateness (COA) by the Historic Preservation Advisory Board (HPAB) that allows for the construction of the accessory building (with approval of an SUP) and restoration of the primary structure based on their goal of maintaining the historical integrity of the home. Although the intent of the applicant is to provide an accessory structure that is compatible in height, materials, color, design and style to the primary structure, the SUP remains a discretionary action for the Planning and Zoning Commission and City Council.

NOTIFICATION:

A public notice has been published in the Rockwall County News, on the City's web-site, and a sign has been posted on the property. Also, notices have been mailed to fifteen (15) property owners within 200-ft of the subject property as required by law. At time of this report, staff has received two (2) response "in favor of," and none "opposed to" the request.

RECOMMENDATIONS:

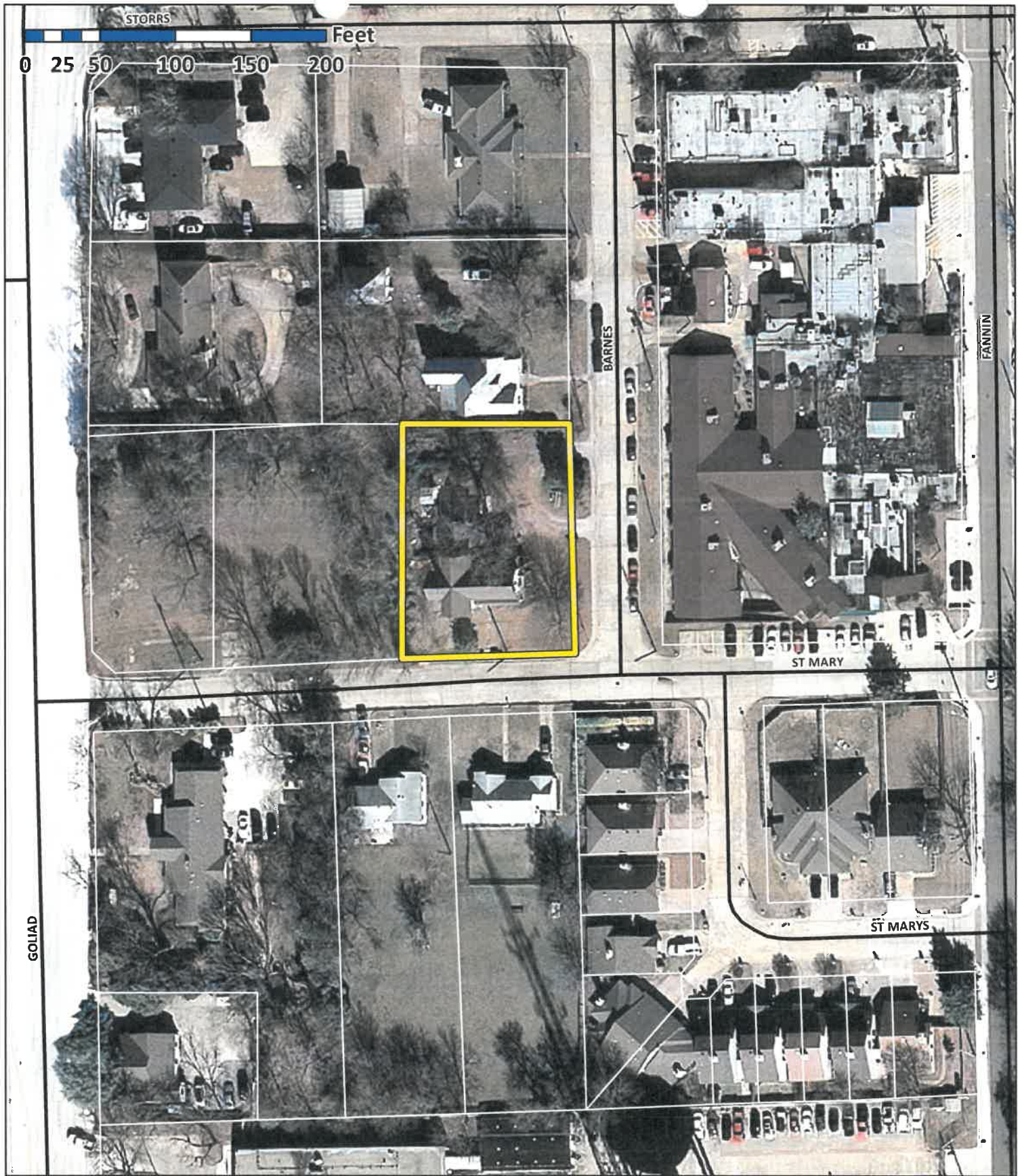
On January 16, 2014, the Historic Preservation Advisory Board approved the request of a COA for the garage and secondary living unit, rear driveway and reconstructed front walkway with staff recommendations and to include an additional condition that the new front driveway be a ribbon driveway that extends a minimum of seventy feet from the front property line towards the garage prior to pouring a standard drive for maneuvering and parking purposes.

Should the request be approved, staff would offer the following conditions:

- 1) The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
- 2) The detached garage/accessory structure shall comply with the submitted site plan and building elevations;
- 3) The detached garage/accessory structure shall not exceed an overall height of 32-ft;
- 4) The area of the detached garage shall not exceed 900 sq. ft.;
- 5) The second floor guest quarters/secondary living area shall not exceed 30% of the area of the main structure (i.e. 821.4 sq. ft.);
- 6) The guest quarters/secondary living unit shall be ancillary to the primary use and only one such unit shall be provided;

- 7) The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
- 8) The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
- 9) The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
- 10) Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

On February 11, 2014, the Planning and Zoning Commission recommended approval of the Specific Use Permit request with staff conditions by a vote of 5 to 1 (Lyons - against & Minth - absent).



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

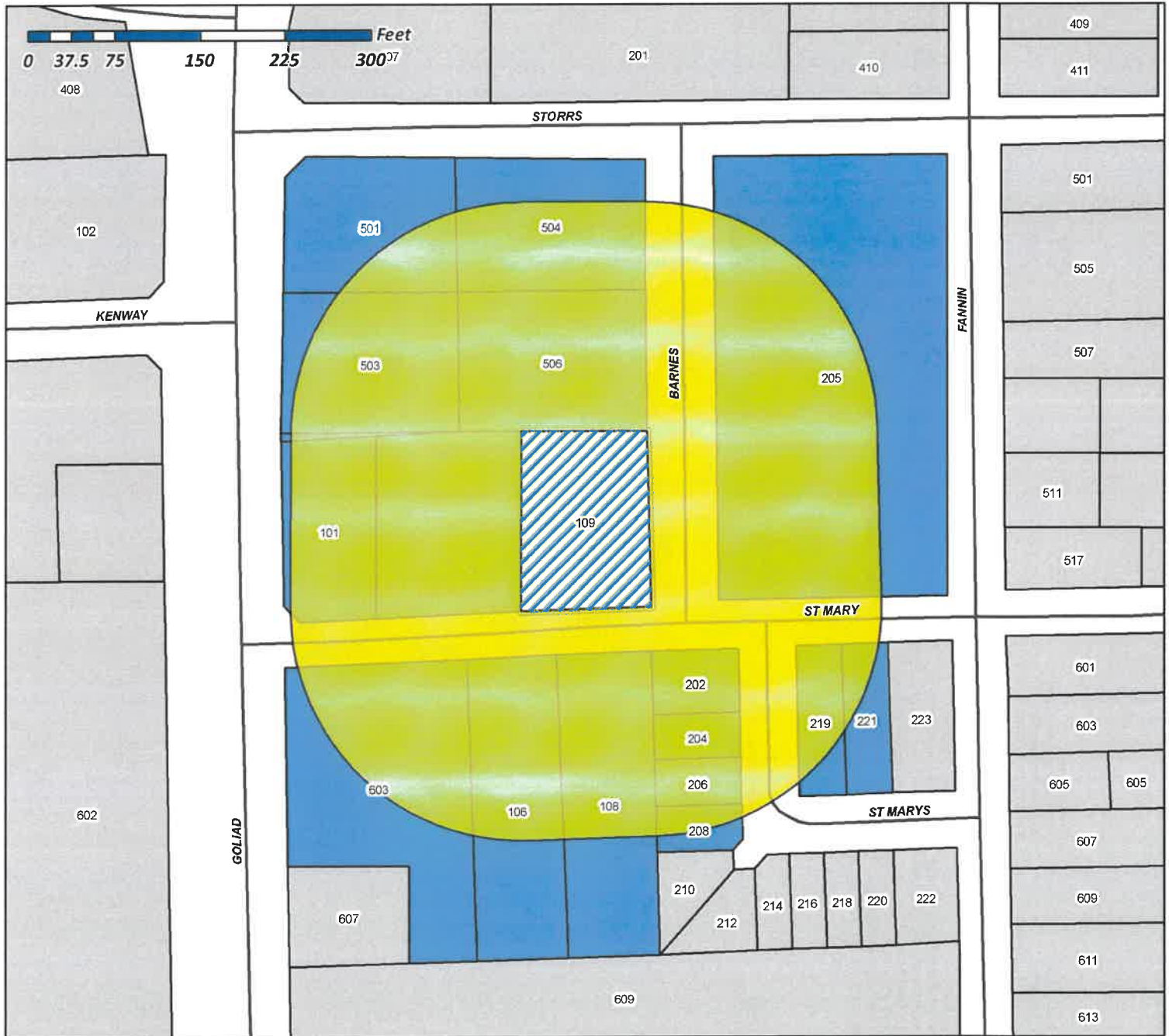




City of Rockwall

Planning & Zoning Department
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Case Number: Z2014-003
Case Name: 109 St. Mary's Remodel
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 109 St. Mary's

Date Created: 1/24/2014

For Questions on this Case Call (972) 771-7745

Vicinity Map



Reference No.	Last Name	Name	Legal Description	Address 1	Address 2	Address 3	City	State	Zip
5061-0001-0004-00-OR		MOORE GLEN & JACKIE	ST MARYS PLACE, BLOCK 1, LOT 4		2026 SUNNY CIR		ROCKWALL	TX	75032
3140-080C-0000-00-OR		MERRITT P CRAIG JR	B F BOYDSTON, BLOCK 80C		504 BARNES ST		ROCKWALL	TX	75087
3140-080A-0000-00-OR	LAKEPOINTE PHOTOGRAPHY	WAY FAMILY MANAGEMENT LLC	B F BOYDSTON, BLOCK 80A		8441 S FM 549		ROCKWALL	TX	75032
3140-0117-000A-00-OR		GRANDSTAFF DEANNA	B F BOYDSTON, BLOCK 117, LOT A		8128 MONTEERRA VILLA TRL	APT 3016	FT WORTH	TX	76177
3140-0079-0000-00-OR		MIGNEAULT WILLIAM H & MELINDA	B F BOYDSTON, BLOCK 79, ACRES .500		188 RIDGEMONT DR		FORNEY	TX	75126
5061-0002-0001-00-OR		GREEN MAUREEN & MICKEY R	ST MARYS PLACE, BLOCK 2, LOT 1		945 BREEZY HILL LN		ROCKWALL	TX	75087
5061-0002-0002-00-OR		GREEN MAUREEN & MICKEY R	ST MARYS PLACE, BLOCK 2, LOT 2		945 BREEZY HILL LN		ROCKWALL	TX	75087
3140-080B-0000-00-OR		PEOPLES BILLY W	B F BOYDSTON, BLOCK 80B		PO BOX 35		ROCKWALL	TX	75087
3140-0117-000E-00-OR		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT E		1122 SURREY LANE		ALLEN	TX	75013
3140-0117-000D-00-OR		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT D, ACRES 0.471		1122 SURREY LANE		ALLEN	TX	75013
5061-0001-0001-00-OR		RICKARDS MICHAELA ETUX	ST MARYS PLACE, BLOCK 1, LOT 1		204 SAINT MARYS PL		ROCKWALL	TX	75087
5061-0001-0002-00-OR		VEGA JOHN & PAM S	ST MARYS PLACE, BLOCK 1, LOT 2		205 TUPELO DR		ROCKWALL	TX	75087
5061-0001-0003-00-OR		MORKEN PETER & GAY ANDERSON	ST MARYS PLACE, BLOCK 1, LOT 3		206 SAINT MARYS PL		ROCKWALL	TX	75087
3239-000A-0001-00-OR	ABANDONED ROW	SAINT JOSEPH BUILDING LLC	CARABAJAL ADDITION, BLOCK A, LOT 1	GILMA L MORKEN LIFE ESTATE	503 SOUTH GOLIAD		ROCKWALL	TX	75087
CEMETERY									
3205-000A-0001-00-OR	ROCKWALL NURSING CENTER	CAMPBELL W E	W E CAMPBELL, BLOCK A, LOT 1, ACRES 1.814	C/O RW SCC, LLC	206 STORRS ST		ROCKWALL	TX	75087
3140-0078-0000-00-OR		MERRITT CRAIG	B F BOYDSTON, BLOCK 78, ACRES .500		504 BARNES ST		ROCKWALL	TX	75087
3140-0117-000C-00-OR	JOUR SALON & SPA	MCCORD SHANNON	B F BOYDSTON, BLOCK 117, LOT C		501 S GOLIAD ST		ROCKWALL	TX	75087



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2014-003: 109 St. Mary's Remodel

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 2/11/2014 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 2/17/2014 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **2/17/2014** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2014-003: 109 St. Mary's Remodel

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

No objection, but I would like to know where on the property the structure will be built. I can't see that online.

Name: Todd W. White, St. Joseph Building, LLC
Address: 503 South Goliad, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745

EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2014-003: 109 St. Mary's Remodel

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

WATKINS MGT. VAC.
8441 S. F.M. 649 HEATH TX 75032

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

January 02, 2014

Historic Preservation Advisory Board,

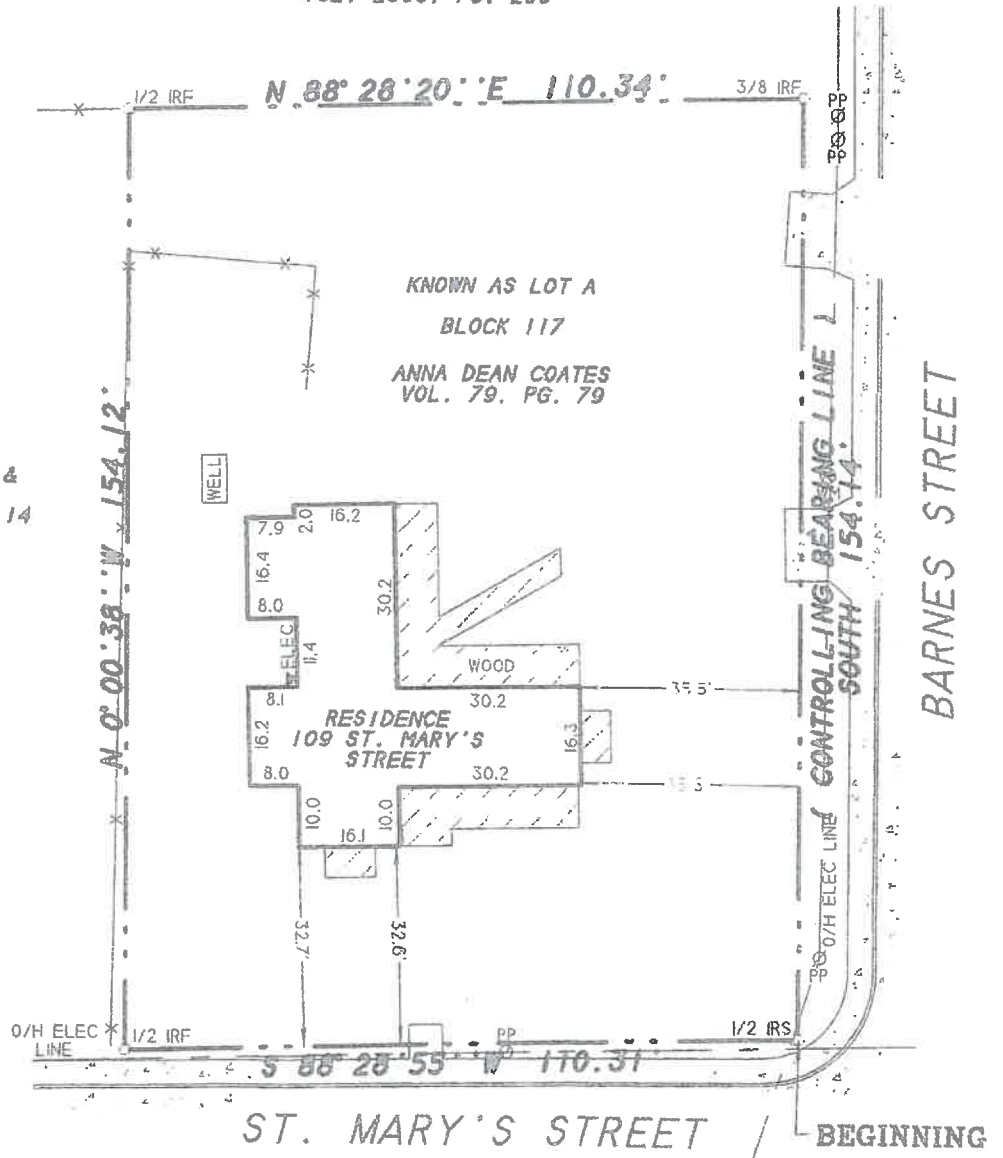
We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

Sincerely,

Charlie & Ginni Rickerson

WILLIAM H. MIGNEALT
VOL. 2933, PG. 260

NAN L. SMARTT &
JULIA BOND
VOL. 879, PG. 14



SURVEY ACCEPTED BY:

DATE _____

DATE _____

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Anna Dean Coates to Richard D. Jordan and Wilma D. Jordan, dated May 5, 1967 and being recorded in Volume 79, Page 79 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of St. Mary's Street with the West right-of-way line of Barnes Street at the Southeast corner of said Jordan tract;

THENCE S. 88 deg. 28 min. 55 sec. W. along the North right-of-way line of St. Mary's Street, a distance of 110.31 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 38 sec. W. a distance of 154.12 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 28 min. 20 sec. E. a distance of 110.34 feet to a 3/8" iron rod found for corner in the West right-of-way line of Barnes Street;

THENCE SOUTH (Controlling bearing line) along said right-of-way line, a distance of 154.14 feet to the POINT OF BEGINNING and containing 0.39 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034 "
















SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, LEHMAN BROTHERS BANK, and DEANNA GRANDSTAFF at 109 ST. MARY'S STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 12th day of December, 2005.


Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND

				
TELEVISION	GAS	PHONE	FIRE	POWER
				
ELECTRIC	TU ELEC	WATER	1/2" IRF	WATER FOUND
WATER	BOX			1" COU. ET 1
				
SPRING	SUBSURFACE	A/C	LP	LP
	WATER	UNIT	WATER	WATER

PROPERTY UNIT



R.S.C.
ROCKWALL SURVEYING CO., INC.

LAND SURVEYING

SURVEY DATE DECEMBER 12, 2005
SCALE 1" = 30' FILE # 20052148
CLIENT GRANDSTAFF GF # 17582-RW05



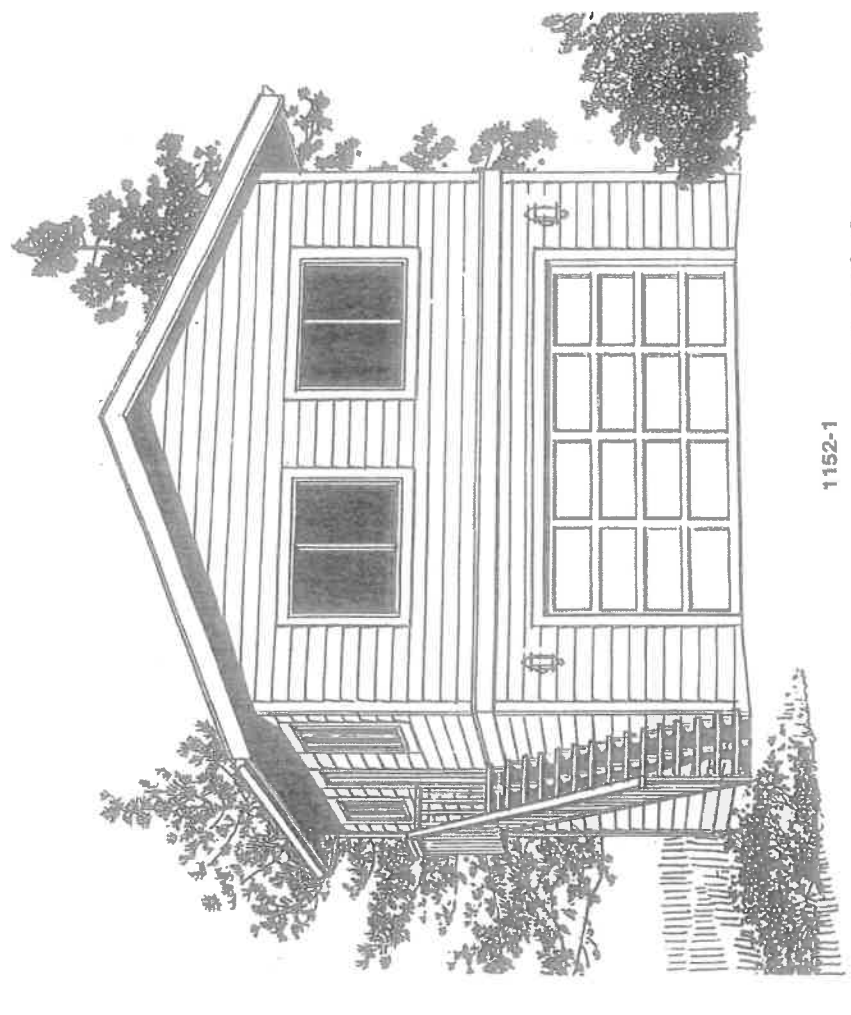
GROSS FLOOR AREA: 1152 SF

GRADE TO RIDGE HEIGHT: 22' - 8"

FIRST FLOOR AREA (GARAGE): 576 SF

SECOND FLOOR AREA

578 SF



1152-1

Building Materials List for Plan #1152-1

Verifications in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

Concrete & Reinforcement For Stemwall/Footing Foundation

44 Reinforcing Steel Bar	(mm) 11.5 cy
44 Reinforcing Steel Bar	568 ft
44 Reinforcing Steel Bar	28 - 20' pcs
44 Reinforcing Steel Bar	508 ft
44 Reinforcing Steel Bar	128 ft
44 Reinforcing Steel Bar	180 pcs
44 Reinforcing Steel Bar	96 ft
44 Reinforcing Steel Bar	65 pcs
44 Reinforcing Steel Bar	128 ft
44 Reinforcing Steel Bar	10 pcs
44 Reinforcing Steel Bar	24 ft
44 Reinforcing Steel Bar	304 ft
44 Reinforcing Steel Bar	48 ft
44 Reinforcing Steel Bar	96 ft
44 Reinforcing Steel Bar	2 pcs
44 Reinforcing Steel Bar	3 pcs
44 Reinforcing Steel Bar	17 pcs
44 Reinforcing Steel Bar	1 pc
44 Reinforcing Steel Bar	19 pcs
44 Reinforcing Steel Bar	48 ft
44 Reinforcing Steel Bar	18 sheets
44 Reinforcing Steel Bar	1 pc
44 Reinforcing Steel Bar	8' length
44 Reinforcing Steel Bar	3 pcs
44 Reinforcing Steel Bar	18' length
44 Reinforcing Steel Bar	30 pcs
44 Reinforcing Steel Bar	8' length
44 Reinforcing Steel Bar	28 pcs
44 Reinforcing Steel Bar	3 pcs
44 Reinforcing Steel Bar	13 pcs
44 Reinforcing Steel Bar	28 pcs
44 Reinforcing Steel Bar	25 sheets
44 Reinforcing Steel Bar	53 sheets
44 Reinforcing Steel Bar	300 ft
44 Reinforcing Steel Bar	680 ft
44 Reinforcing Steel Bar	576 sf
44 Reinforcing Steel Bar	1500 sf of soffit area
44 Reinforcing Steel Bar	4 x 8 sheets
44 Reinforcing Steel Bar	20 sheets
44 Reinforcing Steel Bar	4 x 10 sheets
44 Reinforcing Steel Bar	24 sheets
44 Reinforcing Steel Bar	8 pcs
44 Reinforcing Steel Bar	32 pcs
44 Reinforcing Steel Bar	2 pcs
44 Reinforcing Steel Bar	52 ft
44 Reinforcing Steel Bar	4 pcs
44 Reinforcing Steel Bar	731 sf
44 Reinforcing Steel Bar	24 ft
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	1 ea
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	1 ea
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	1 ea
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	1 ea
44 Reinforcing Steel Bar	2 ea
44 Reinforcing Steel Bar	1 ea

Roofing Materials

Asphalt Shingles	1500 sf of soffit area
Asphalt Shingles	4 x 8 sheets
Asphalt Shingles	20 sheets
Asphalt Shingles	4 x 10 sheets
Asphalt Shingles	24 sheets
Asphalt Shingles	8 pcs
Asphalt Shingles	32 pcs
Asphalt Shingles	2 pcs
Asphalt Shingles	52 ft
Asphalt Shingles	4 pcs
Asphalt Shingles	731 sf
Asphalt Shingles	24 ft
Asphalt Shingles	2 ea
Asphalt Shingles	2 ea
Asphalt Shingles	1 ea
Asphalt Shingles	2 ea
Asphalt Shingles	2 ea
Asphalt Shingles	2 ea
Asphalt Shingles	1 ea
Asphalt Shingles	2 ea
Asphalt Shingles	1 ea
Asphalt Shingles	2 ea
Asphalt Shingles	1 ea

Interior Materials

Interior Siding	1500 sf of soffit area
Interior Siding	4 x 8 sheets
Interior Siding	20 sheets
Interior Siding	4 x 10 sheets
Interior Siding	24 sheets
Interior Siding	8 pcs
Interior Siding	32 pcs
Interior Siding	2 pcs
Interior Siding	52 ft
Interior Siding	4 pcs
Interior Siding	731 sf
Interior Siding	24 ft
Interior Siding	2 ea
Interior Siding	2 ea
Interior Siding	1 ea
Interior Siding	2 ea
Interior Siding	2 ea
Interior Siding	2 ea
Interior Siding	1 ea
Interior Siding	2 ea
Interior Siding	1 ea
Interior Siding	2 ea
Interior Siding	1 ea

Windows and Doors

Windows	1500 sf of soffit area
Windows	4 x 8 sheets
Windows	20 sheets
Windows	4 x 10 sheets
Windows	24 sheets
Windows	8 pcs
Windows	32 pcs
Windows	2 pcs
Windows	52 ft
Windows	4 pcs
Windows	731 sf
Windows	24 ft
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	1 ea

Roofing Materials

Roofing	1500 sf of soffit area
Roofing	4 x 8 sheets
Roofing	20 sheets
Roofing	4 x 10 sheets
Roofing	24 sheets
Roofing	8 pcs
Roofing	32 pcs
Roofing	2 pcs
Roofing	52 ft
Roofing	4 pcs
Roofing	731 sf
Roofing	24 ft
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	1 ea

Interior Materials

Interior	1500 sf of soffit area
Interior	4 x 8 sheets
Interior	20 sheets
Interior	4 x 10 sheets
Interior	24 sheets
Interior	8 pcs
Interior	32 pcs
Interior	2 pcs
Interior	52 ft
Interior	4 pcs
Interior	731 sf
Interior	24 ft
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	1 ea

Windows and Doors

Windows	1500 sf of soffit area
Windows	4 x 8 sheets
Windows	20 sheets
Windows	4 x 10 sheets
Windows	24 sheets
Windows	8 pcs
Windows	32 pcs
Windows	2 pcs
Windows	52 ft
Windows	4 pcs
Windows	731 sf
Windows	24 ft
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	1 ea

Roofing Materials

Roofing	1500 sf of soffit area
Roofing	4 x 8 sheets
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Roofing	8 pcs
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Roofing	2 pcs
Roofing	52 ft
Roofing	4 pcs
Roofing	731 sf
Roofing	24 ft
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	1 ea

Interior Materials

Interior	1500 sf of soffit area
Interior	4 x 8 sheets
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Interior	8 pcs
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Interior	2 pcs
Interior	52 ft
Interior	4 pcs
Interior	731 sf
Interior	24 ft
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	1 ea

Windows and Doors

Windows	1500 sf of soffit area
Windows	4 x 8 sheets
Windows	20 sheets
Windows	4 x 10 sheets
Windows	24 sheets
Windows	8 pcs
Windows	32 pcs
Windows	2 pcs
Windows	52 ft
Windows	4 pcs
Windows	731 sf
Windows	24 ft
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	1 ea

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Roofing	1500 sf of soffit area
Roofing	4 x 8 sheets
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Roofing	52 ft
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Roofing	731 sf
Roofing	24 ft
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	1 ea

Interior Materials

Interior	1500 sf of soffit area
Interior	4 x 8 sheets
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Interior	24 sheets
Interior	8 pcs
Interior	32 pcs
Interior	2 pcs
Interior	52 ft
Interior	4 pcs
Interior	731 sf
Interior	24 ft
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	1 ea

Windows and Doors

Windows	1500 sf of soffit area
Windows	4 x 8 sheets
Windows	20 sheets
Windows	4 x 10 sheets
Windows	24 sheets
Windows	8 pcs
Windows	32 pcs
Windows	2 pcs
Windows	52 ft
Windows	4 pcs
Windows	731 sf
Windows	24 ft
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	2 ea
Windows	2 ea
Windows	1 ea
Windows	2 ea
Windows	1 ea

Roofing Materials

Roofing	1500 sf of soffit area
Roofing	4 x 8 sheets
Roofing	20 sheets
Roofing	4 x 10 sheets
Roofing	24 sheets
Roofing	8 pcs
Roofing	32 pcs
Roofing	2 pcs
Roofing	52 ft
Roofing	4 pcs
Roofing	731 sf
Roofing	24 ft
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	2 ea
Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	1 ea

Interior Materials

Interior	1500 sf of soffit area
Interior	4 x 8 sheets
Interior	20 sheets
Interior	4 x 10 sheets
Interior	24 sheets
Interior	8 pcs
Interior	32 pcs
Interior	2 pcs
Interior	52 ft
Interior	4 pcs
Interior	731 sf
Interior	24 ft
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	2 ea
Interior	2 ea
Interior	1 ea
Interior	2 ea
Interior	1 ea

Windows and Doors

Windows	1500 sf of soffit area
Windows	4 x 8 sheets
Windows	20 sheets
Windows	4 x 10 sheets
Windows	24 sheets
Windows	8 pcs
Windows	32 pcs
Windows	2 pcs
Windows	52 ft
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Windows	2 ea
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Roofing	2 ea
Roofing	1 ea
Roofing	2 ea
Roofing	1 ea

Interior Materials

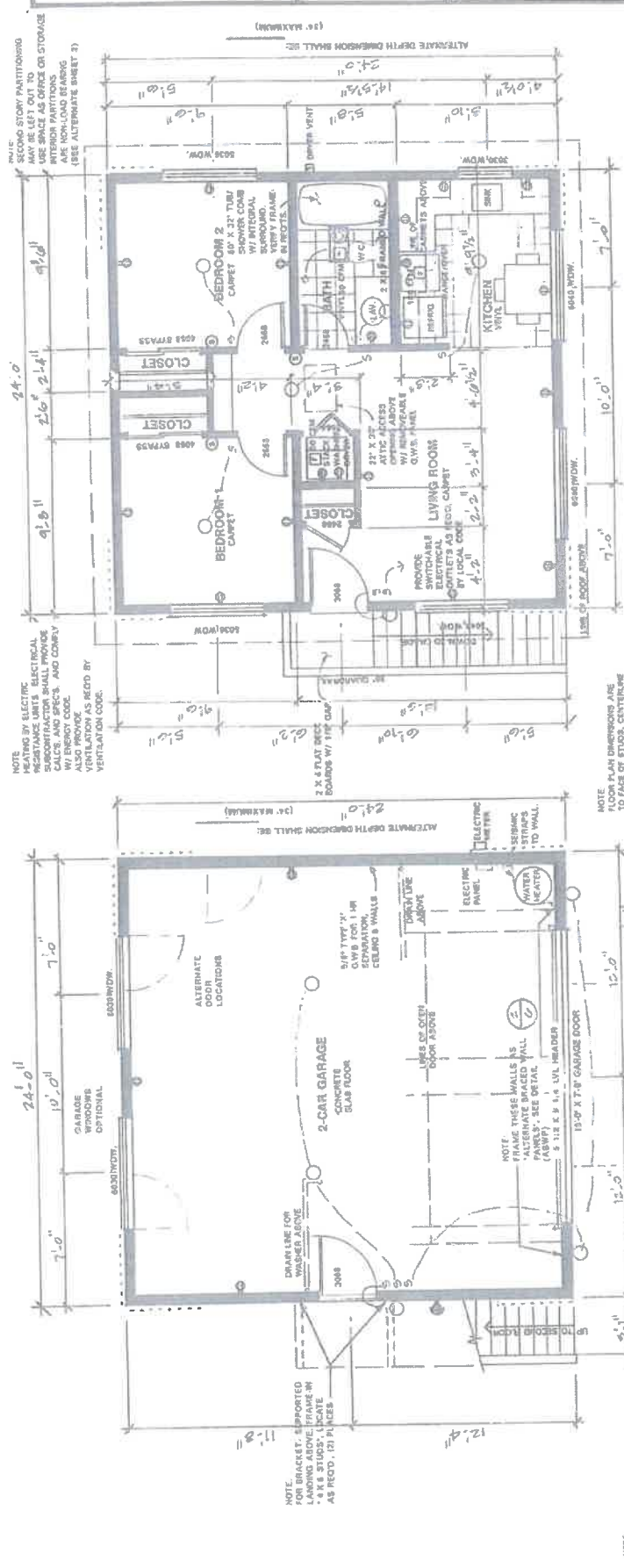
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Interior	4 x 8 sheets
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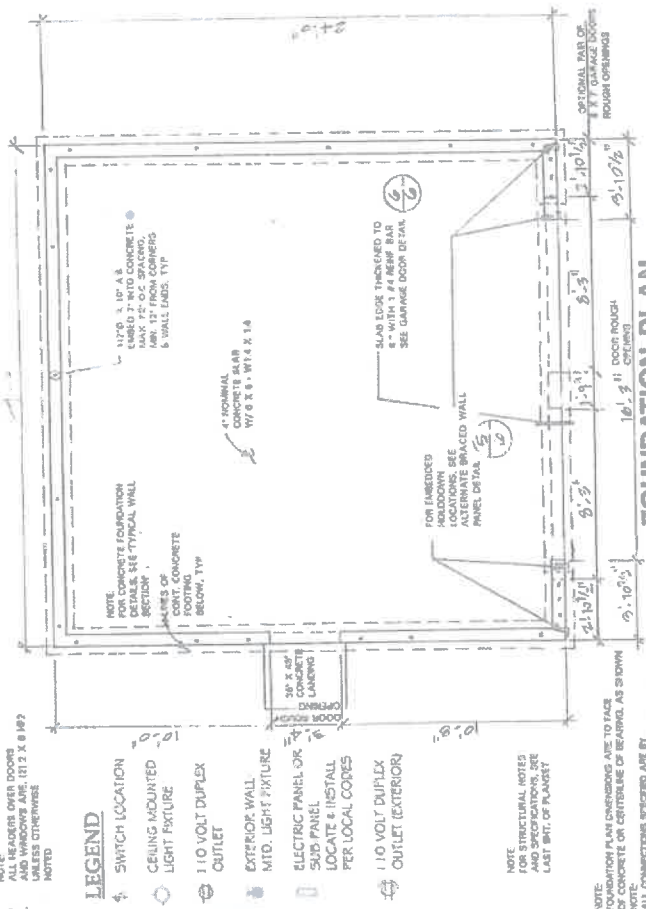
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Roofing	2 ea
Roofing	2 ea
Roofing	1 ea

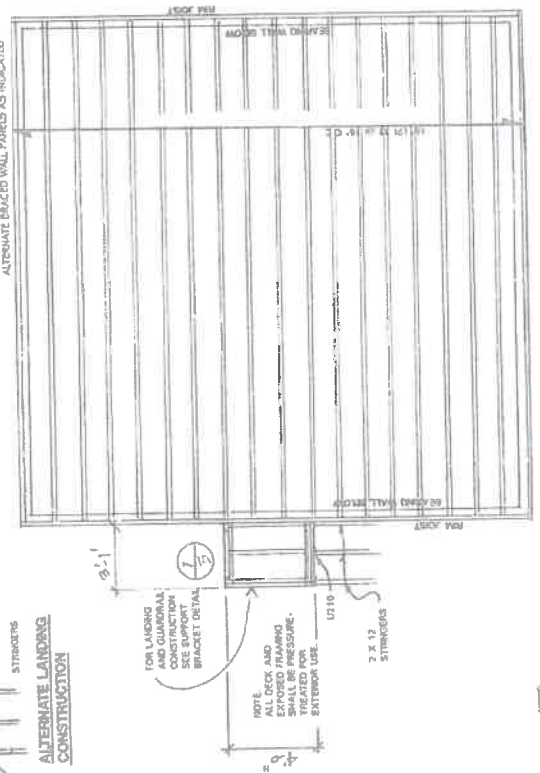


SECOND FLOOR PLAN

NOTE. BUILDING DEPTH MAY BE ADJUSTED TO DIMENSION WITHIN LIMITS SHOWN. EXACT DIMENSION SHALL BE NOTED ON THE PLAN. BUILDING MATERIALS LIST QUANTITIES ARE BASED ON 24" DEPTH. DIMENSION AND OTHER DEPTH WILL REQUIRE DIFFERENT MATERIALS.



FOUNDATION PLAN

 $3/4^{\circ} = 1^{\circ}-0''$ 

SECOND FLOOR FRAMING PLAN

$$\frac{1}{4} = 1 - Q^2$$

NOTE:
ARROW LINE INDICATIONS
ILLUSTRATE EXTENT OF SPANNING
MEMBERS, NOT DIRECTION OF SPAN



CITY OF ROCKWALL

ORDINANCE NO. 14

SPECIFIC USE PERMIT NO. S

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT ALLOWING FOR A DETACHED GARAGE WITH GUEST QUARTERS/SECONDARY LIVING UNIT, EXCEEDING THE MAXIMUM PERMISSIBLE HEIGHT OF 15-FT. FOR AN ACCESSORY STRUCTURE, ON A 0.40-ACRE PARCEL OF LAND IDENTIFIED AS LOT A, BLOCK 117, B.F. BOYDSTUN ADDITION, LOCATED AT 109 ST. MARY'S STREET, AND FURTHER DESCRIBED IN EXHIBIT "A" ATTACHED HERETO, AND ZONED (SF-7) SINGLE-FAMILY RESIDENTIAL DISTRICT; CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Charlie Rickerson for a Specific Use Permit (SUP) within the (SF-7) Single-Family Residential district allowing for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height 15-ft. for an accessory structure, on a parcel of land located at 109 St. Mary's Street, being Lot A, Block 117, B.F. Boydston Addition, as further described in Exhibit "A", City of Rockwall, Rockwall County, Texas, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height of 15-ft. for an accessory structure within the (SF-7) Single Family Residential District as stipulated by the Unified Development Code [Ordinance no. 04-38] on the *Subject Property*; and

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) and as set forth in the Unified Development Code [Ordinance No. 04-38] as heretofore amended, and as may be amended in the future, and shall be subject to the additional conditions and compliance standards;

2.1 Operational Conditions

The following conditions pertain to the operation of a "detached garage with guest quarters/secondary living unit" on the *Subject Property*, and conformance to these operational conditions is required for continued operations;

1. The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
2. The detached garage / accessory structure shall comply with the approved site plan (Exhibit "A") and building elevations contained in the Certificate of Appropriateness (COA) as approved by the Historic Preservation Advisory Board on January 16, 2014;
3. The detached garage / accessory structure shall not exceed an overall height of 32 feet;
4. The area of the detached garage shall not exceed 900 sq. ft.;
5. The second floor "guest quarters/secondary living unit" area shall not exceed 30% of the area of the main structure (i.e.821.4 sq. ft.);
6. The "guest quarters/secondary living unit" shall be ancillary to the primary use and only one such unit shall be provided;
7. The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
8. The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
9. The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
10. Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of

the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this ____ day of _____, 2014.

David Sweet, *Mayor*

ATTEST:

Kristy Ashberry, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: _____

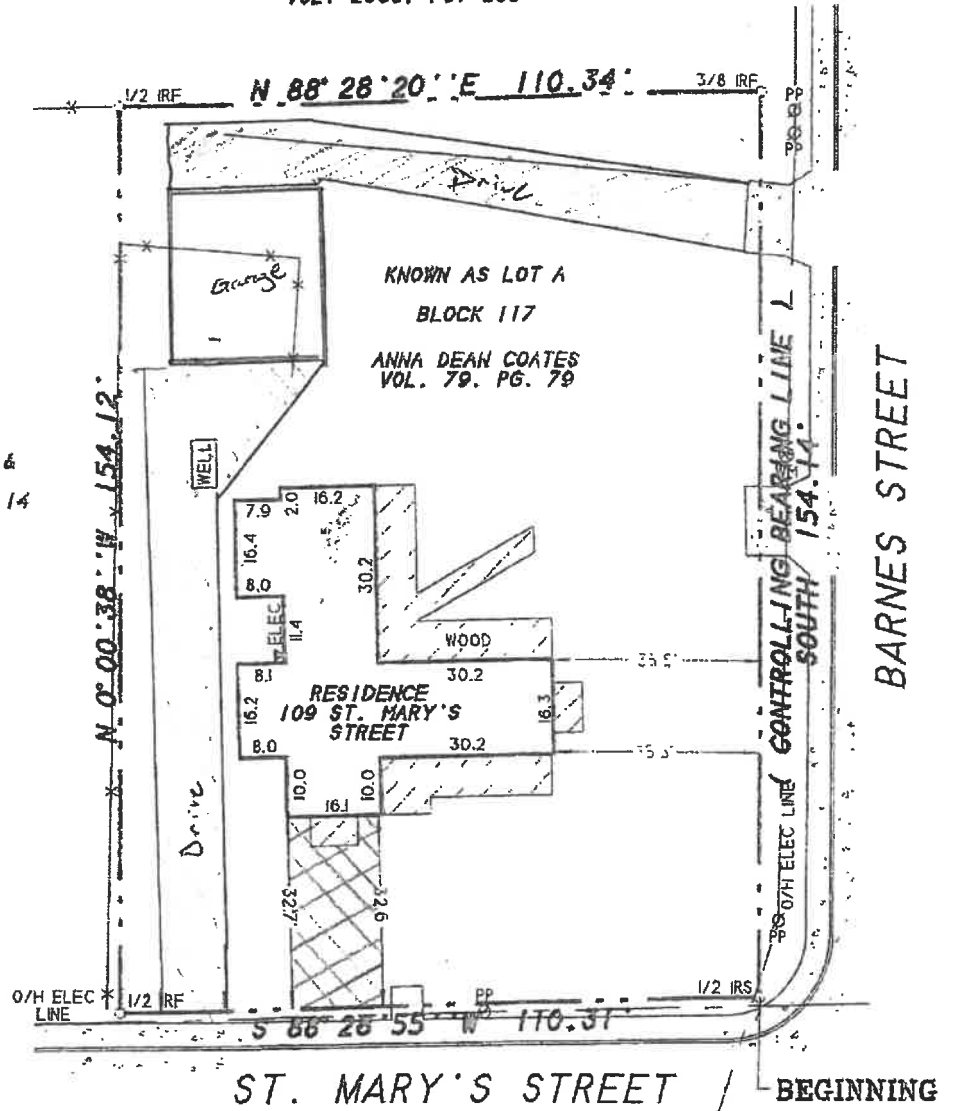
2nd Reading: _____

Exhibit "A"



WILLIAM H. MIGNEALT
VOL. 2933, PG. 260

NAN L. SMARTT &
JULIA BOND
VOL. 879, PG. 14



SURVEY ACCEPTED BY.

DATE

DATE



March 10, 2014

ATTN:

Charlie Rickerson
109 St. Mary's Street,
ROCKWALL, TX 75087

RE: SUP ZONING (Z2014-003), 109 St. Mary's Remodel

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by City Council on 03/03/2014 via Ordinance No. 14-10. The following is a record of all recommendations, voting records and conditions of approval:

On January 16, 2014, the Historic Preservation Advisory Board approved the request of a COA for the garage and secondary living unit, rear driveway and reconstructed front walkway with staff recommendations and to include an additional condition that the new front driveway be a ribbon driveway that extends a minimum of seventy feet from the front property line towards the garage prior to pouring a standard drive for maneuvering and parking purposes.

Should the request be approved, staff would offer the following conditions:

- 1) The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;*
- 2) The detached garage/accessory structure shall comply with the submitted site plan and building elevations;*
- 3) The detached garage/accessory structure shall not exceed an overall height of 32-ft;*
- 4) The area of the detached garage shall not exceed 900 sq. ft.;*
- 5) The second floor guest quarters/secondary living area shall not exceed 30% of the area of the main structure (i.e. 821.4 sq. ft.);*
- 6) The guest quarters/secondary living unit shall be ancillary to the primary use and only one such unit shall be provided;*
- 7) The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;*
- 8) The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;*
- 9) The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;*



10) Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

On February 11, 2014, the Planning and Zoning Commission recommended approval of the Specific Use Permit request with staff conditions by a vote of 5 to 1 (Lyons - against & Minth -absent).

On February 17, 2014, the City Council approved the Specific Use Permit request with staff conditions by a vote of 6 to 0 (Council Member Lewis absent). 1st Reading.

On March 3, 2014, the City Council approved the Specific Use Permit request with staff conditions by a vote of 7 to 0. 2nd Reading.

Please contact the City of Rockwall Planning staff at (972) 771-7745 with any questions or concerns regarding this matter.

Sincerely,

A handwritten signature in dark ink, appearing to read "David Gonzales", is written over the typed name and title. The signature is fluid and cursive, with a large loop at the end.

David Gonzales, Planner
Planning & Zoning Department
City of Rockwall, TX

CITY OF ROCKWALL

ORDINANCE NO. 14-10

SPECIFIC USE PERMIT NO. S-119

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT ALLOWING FOR A DETACHED GARAGE WITH GUEST QUARTERS/SECONDARY LIVING UNIT, EXCEEDING THE MAXIMUM PERMISSIBLE HEIGHT OF 15-FT. FOR AN ACCESSORY STRUCTURE, ON A 0.40-ACRE PARCEL OF LAND IDENTIFIED AS LOT A, BLOCK 117, B.F. BOYDSTUN ADDITION, LOCATED AT 109 ST. MARY'S STREET, AND FURTHER DESCRIBED IN EXHIBIT "A" ATTACHED HERETO, AND ZONED (SF-7) SINGLE-FAMILY RESIDENTIAL DISTRICT; CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Charlie Rickerson for a Specific Use Permit (SUP) within the (SF-7) Single-Family Residential district allowing for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height 15-ft. for an accessory structure, on a parcel of land located at 109 St. Mary's Street, being Lot A, Block 117, B.F. Boydston Addition, as further described in Exhibit "A", City of Rockwall, Rockwall County, Texas, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height of 15-ft. for an accessory structure within the (SF-7) Single Family Residential District as stipulated by the Unified Development Code [Ordinance no. 04-38] on the *Subject Property*; and

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) and as set forth in the Unified Development Code [Ordinance No. 04-38] as heretofore amended, and as may be amended in the future, and shall be subject to the additional conditions and compliance standards;

2.1 Operational Conditions

The following conditions pertain to the operation of a "detached garage with guest quarters/secondary living unit" on the *Subject Property*, and conformance to these operational conditions is required for continued operations;

1. The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
2. The detached garage / accessory structure shall comply with the approved site plan (Exhibit "A") and building elevations contained in the Certificate of Appropriateness (COA) as approved by the Historic Preservation Advisory Board on January 16, 2014;
3. The detached garage / accessory structure shall not exceed an overall height of 32 feet;
4. The area of the detached garage shall not exceed 900 sq. ft.;
5. The second floor "guest quarters/secondary living unit" area shall not exceed 30% of the area of the main structure (i.e. 821.4 sq. ft.);
6. The "guest quarters/secondary living unit" shall be ancillary to the primary use and only one such unit shall be provided;
7. The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
8. The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
9. The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
10. Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

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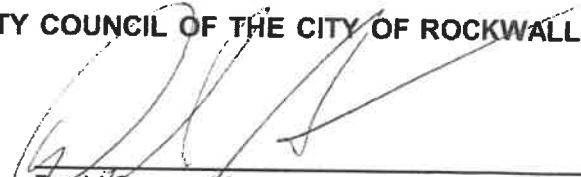
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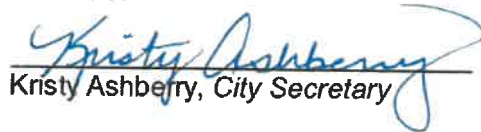
Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 3rd day of February, 2014.

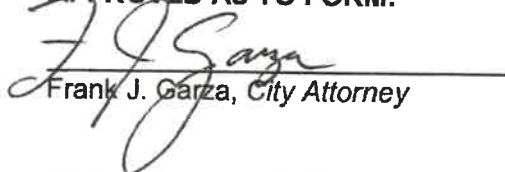

David Sweet, Mayor

ATTEST:


Kristy Ashberry, City Secretary



APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: 02-17-14

2nd Reading: 03-03-14

Exhibit "A"

