



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP 2019-077 P&Z DATE 8/13/2019 CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☒ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2019-027

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

## Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- ☐ Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- ☐ Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

## Site Plan Application Fees:

- ☒ Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

## Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

## Other Application Fees:

- ☐ Tree Removal (\$75.00)

## Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 277 RANCH TRAIL

Subdivision LOT 23 RAWBO ACRES

Lot

Block

General Location RANCH ROAD TRAIL OFF OF HORIZON ROAD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning APPROVED SUP

Current Use AG

Proposed Zoning

Proposed Use

MINI-STORAGE (APPROVED)

Acreage 7.489

Lots [Current]

Lots [Proposed]

- ☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner HORIZON ROAD SELF STORAGE, LAC Applicant

Contact Person RUSSELL PHILLIPS

Contact Person

Address

Address

City, State & Zip

City, State & Zip

Phone 469/446.7734

Phone

E-Mail RUSSELL@STERLINGONE.US

E-Mail

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared RUSSELL PHILLIPS [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 399.78, to cover the cost of this application, has been paid to the City of Rockwall on this the 9th day of July, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9th day of July, 20 19.

Owner's/Applicant's Signature

Russell Phillips

Notary Public in and for the State of Texas



LORI L. BENNETT  
My Notary ID # 125224791  
Expires March 8, 2021

My Commission Expires



**DEVELOPMENT REVIEW COMMITTEE (DRC)**  
**CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 7/12/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 07/19/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 7/30/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 7/30/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** SP2019-027  
**Project Name:** 259 Horizon Road  
**Project Type:** SITE PLAN  
**Applicant Name:** HORIZON RAOD SELF STORAGE LLC  
**Owner Name:** TRUMAN HEIGHTS LLC  
**Project Description:**





# RECEIPT

Project Number: SP2019-027  
Job Address: 259 RANCH TRAIL  
ROCKWALL, TX 75032

Receipt Number: B85950

Printed: 7/15/2019 1:52 pm

Fee Description	Account Number	Fee Amount
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SITE PLANNING		
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	01-4280	
--	---------	--

		\$ 399.78
--	--	-----------

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**Total Fees Paid:**

**\$ 399.78**

Date Paid: 7/15/2019 12:00:00AM

Paid By: ROCWALL RETAIL INVESTORS LLC

Pay Method: CHECK 508

Received By: LM





## City of Rockwall

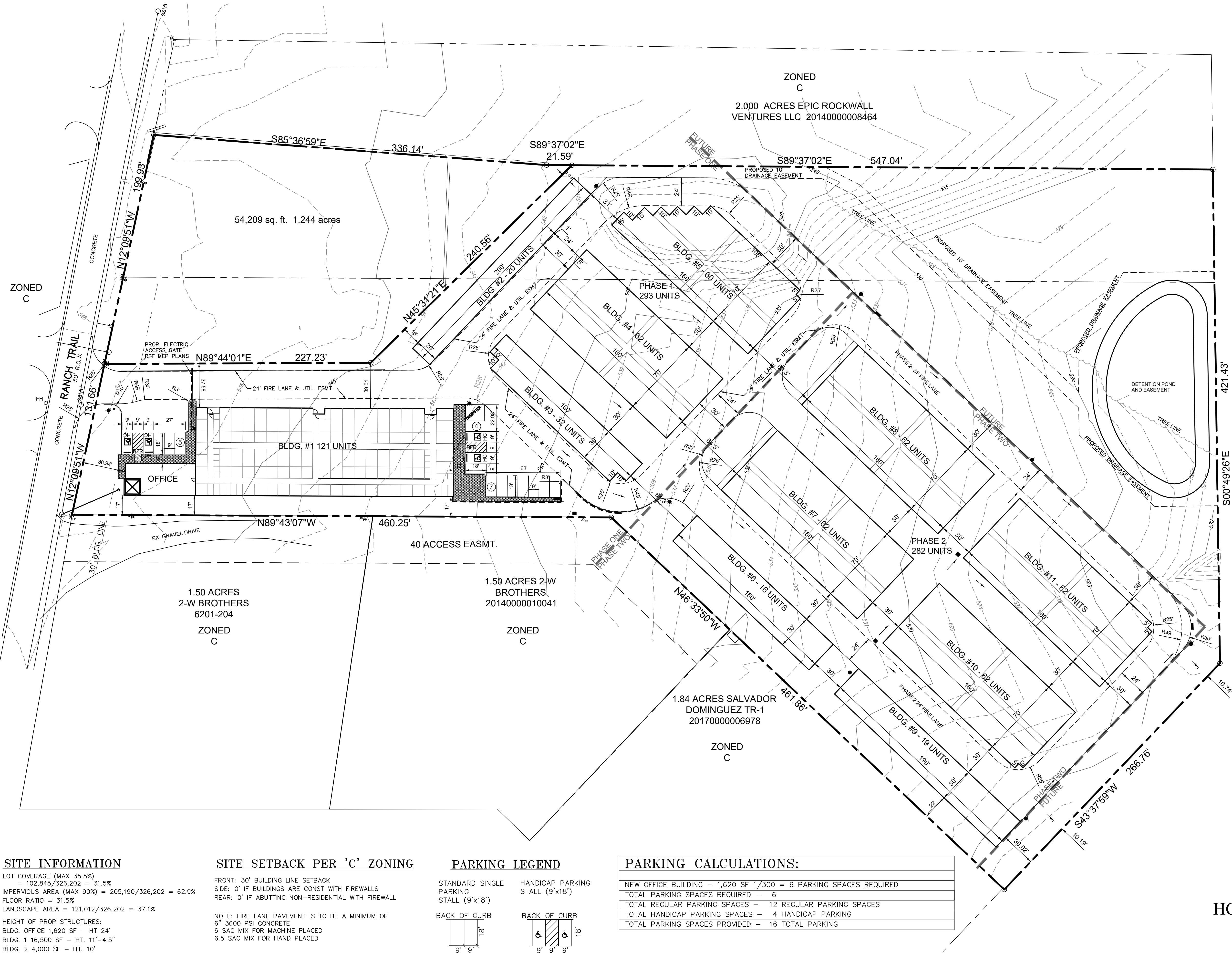
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Z:\PROJECTS\05211 Rockwall Mini Storage\Drawings\04-SITE PLAN.dwg--SITE PLAN PLOTTED Jul 11, 2019 at 4:07pm by Clayton Mulvey | Last Saved by: Clayton Mulvey



SITE INFORMATION

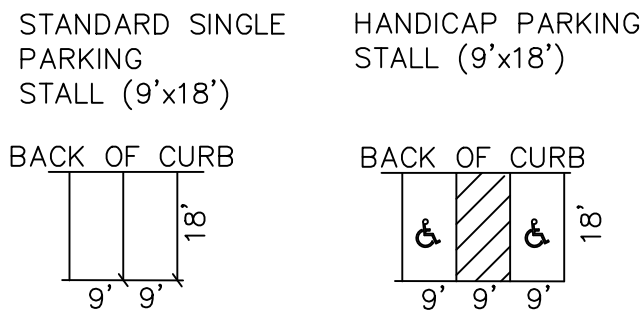
LOT COVERAGE (MAX 35.5%)  
= 102,845/326,202 = 31.5%  
IMPERVIOUS AREA (MAX 90%) = 205,190/326,202 = 62.9%  
FLOOR RATIO = 31.5%  
LANDSCAPE AREA = 121,012/326,202 = 37.1%  
HEIGHT OF PROP STRUCTURES:  
BLDG. OFFICE 1,620 SF - HT 24'  
BLDG. 1 16,500 SF - HT. 11'-4.5"  
BLDG. 2 4,000 SF - HT. 10'  
BLDG. 3 4,600 SF - HT. 10'-3"  
BLDG. 4 11,200 SF - HT. 9'-6"  
BLDG. 5 9,650 SF - HT. 9'-10.5"  
BLDG. 6 4,800 SF - HT. 10'-3"  
BLDG. 7 11,200 SF - HT. 9'-6"  
BLDG. 8 11,200 SF - HT. 9'-6"  
BLDG. 9 5,700 SF - HT. 10'-3"  
BLDG. 10 11,200 SF - HT. 9'-6"  
BLDG. 11 11,200 SF - HT. 9'-6"

PROP USE OF STRUCTURES: MINI PUBLIC STORAGE WAREHOUSES

SITE SETBACK PER 'C' ZONING

FRONT: 30' BUILDING LINE SETBACK  
SIDE: 0' IF BUILDINGS ARE CONST WITH FIREWALLS  
REAR: 0' IF ABUTTING NON-RESIDENTIAL WITH FIREWALL  
NOTE: FIRE LANE PAVEMENT IS TO BE A MINIMUM OF  
6" 3600 PSI CONCRETE  
6 SAC MIX FOR MACHINE PLACED  
6.5 SAC MIX FOR HAND PLACED

PARKING LEGEND



NOTE: FIRE LANE PAVEMENT IS TO BE A MINIMUM OF 6" 3600 PSI CONCRETE  
6 SAC MIX FOR MACHINE PLACED  
6.5 SAC MIX FOR HAND PLACED

PARKING CALCULATIONS:

NEW OFFICE BUILDING - 1,620 SF 1/300 = 6 PARKING SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED - 6
TOTAL REGULAR PARKING SPACES - 12 REGULAR PARKING SPACES
TOTAL HANDICAP PARKING SPACES - 4 HANDICAP PARKING
TOTAL PARKING SPACES PROVIDED - 16 TOTAL PARKING

SITE PLAN  
HORIZON ROAD SELF STORAGE  
326,202 sf 7.489 Acres  
TRACT 23 OF RAINBOW ACRES  
WILLIAM W. FORD SURVEY, A-20  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner/Applicant:  
ROCKWALL RETAIL INVESTORS, LLC  
521 MORaine WAY  
HEATH, TX 75032  
Telephone: 469.446.7734

Engineer  
ENGINEERING CONCEPTS & DESIGN, L.P.  
ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

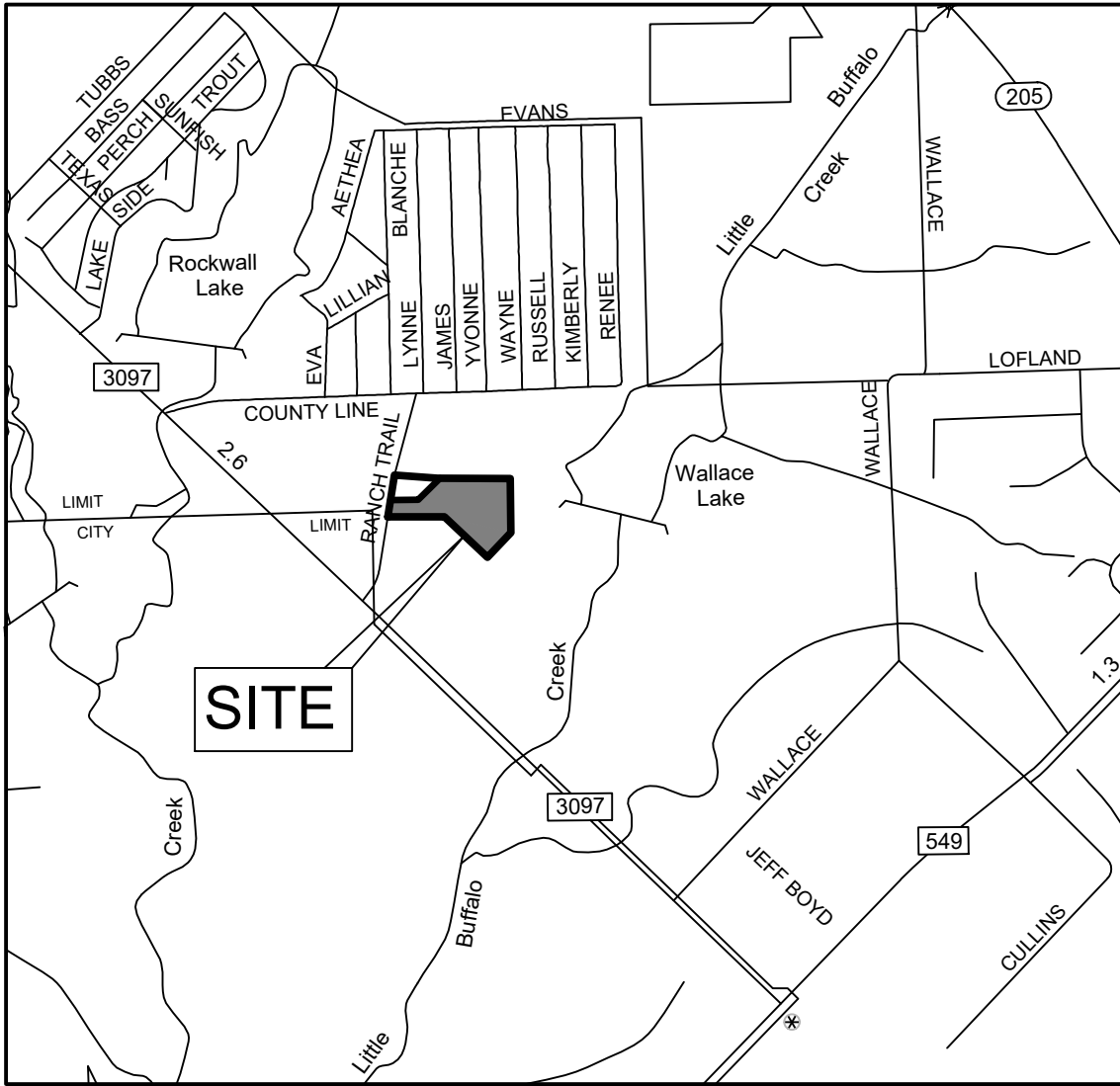
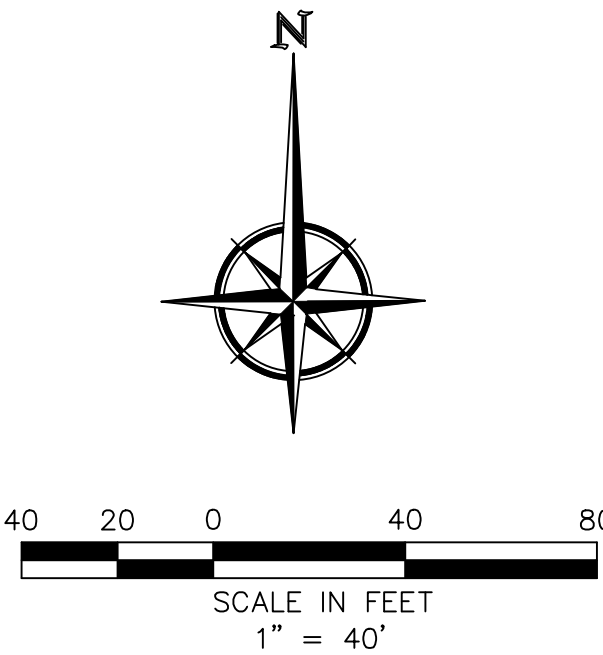
Scale 1"=40'

July 10, 2019

Project No. 05211

SP2019-\*\*\*

Sheet 1 of 1



LEGEND	
1/2" I.R.S. W/CAP	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
I.R.F.	IRON ROD FOUND
GW	GUY WIRE
PP	POWER POLE
LP	LIGHT POLE
EM	ELECTRIC METER
ICV	IRRIGATION CONTROL VALVE
B	BOLLARD
WM	WATER METER
SSMH	SANITARY SEWER MANHOLE
TPED	TELEPHONE PEDESTAL
XFR	ELECTRIC TRANSFORMER
MB	MAILBOX
WV	WATER VALVE
EBX	ELECTRIC BOX
FOM	FIBER OPTIC CABLE MARKER
A/C	AIR CONDITIONER UNIT
ES	ELECTRIC SWITCH
HW	HEADWALL
TS	TRAFFIC SIGN
WF	WATER FAUCET
FH	FIRE HYDRANT
FOV	FIBER OPTIC VAULT
CMP	CORRUGATED METAL PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
P.R.R.C.T.	PLAT RECORDS ROCKWALL CO. TX.
D.R.R.C.T.	DEEDS RECORDS ROCKWALL CO. TX.
---	EDGE OF ASPHALT
-X-	WIRE FENCE
-E-	OVERHEAD ELECTRIC LINE
● PPH	PROPOSED FIRE HYDRANT
○ ○ ○	CLEAN-OUT
FDC	FIRE DEPARTMENT CONNECTION
~~~~~	ABANDONED WATER/SEWER LINES REMOVE OVERHEAD DOWNGUY

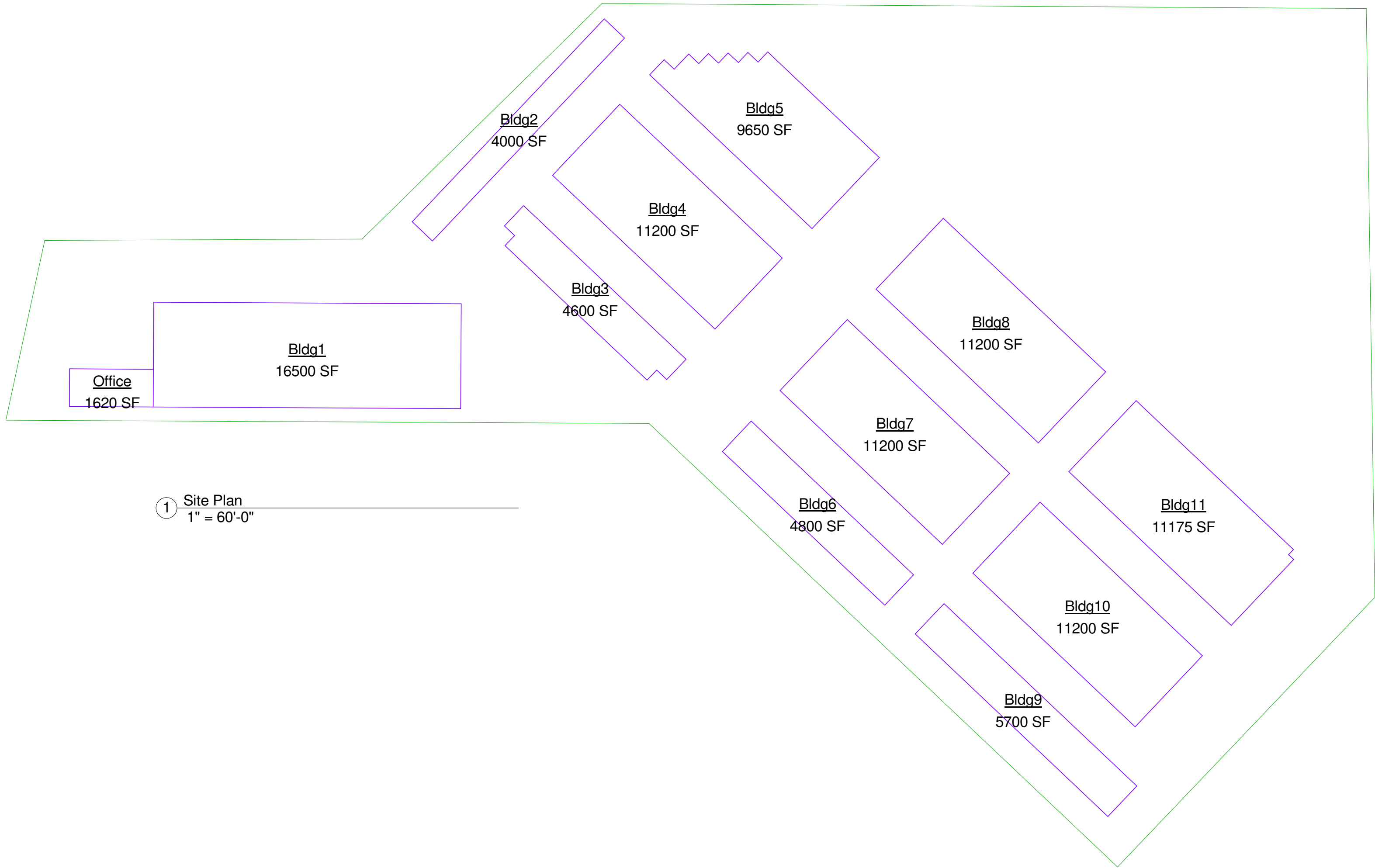
# Horizon Road Self Storage



3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

www.storagestructuresinc.com



TYPICAL STORAGE BUILDING STRUCTURE = 5'-0"x10'-0" LIGHT GAUGE FRAMING SYSTEM  
OFFICE AND TOWER STRUCTURE = STEEL COLUMN AND BEAM  
ROOF MATERIALS = 24ga STANDING SEEM ROOFING, GALVALUME



3807 Carrollton - Villa Rica Hwy  
Villa Rica, GA 30180  
770-456-1602

Unit Mix Schedule - Total			
Count	Name	Rent As	%
11	5x5	275	2%
17	5x10	850	3%
158	10x10	15800	27%
165	10x15	24750	29%
189	10x20	37800	33%
35	10x30	10500	6%
575		89975	100%

Area Schedule (Gross Building)		
Name	Area	Perimeter
Bldg1	16500 SF	590' - 0"
Bldg2	4000 SF	440' - 0"
Bldg3	4600 SF	380' - 0"
Bldg4	11200 SF	460' - 0"
Bldg5	9650 SF	460' - 0"
Bldg6	4800 SF	380' - 0"
Bldg7	11200 SF	460' - 0"
Bldg8	11200 SF	460' - 0"
Bldg9	5700 SF	440' - 0"
Bldg10	11200 SF	460' - 0"
Bldg11	11175 SF	460' - 0"
Office	1620 SF	174' - 0"
Grand total: 12	102845 SF	5164' - 0"

Drawing Schedule			
Sheet Number	Sheet Name	Sheet Issue Date	Revised Date
S001	Cover	04/09/19	06/26/19
S002	Unit Mix	04/09/19	06/25/19
S101	Building 1	06/19/19	06/25/19
S102	Building 2	06/19/19	06/25/19
S103	Building 3	06/19/19	06/25/19
S104	Building 4	06/19/19	06/25/19
S105	Building 5	06/19/19	06/25/19
S106	Building 6	06/19/19	06/25/19
S107	Building 7	06/19/19	06/26/19
S108	Building 8	06/19/19	06/26/19
S109	Building 9	06/19/19	06/26/19
S110	Building 10	06/19/19	06/26/19
S111	Building 11	06/19/19	06/26/19

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

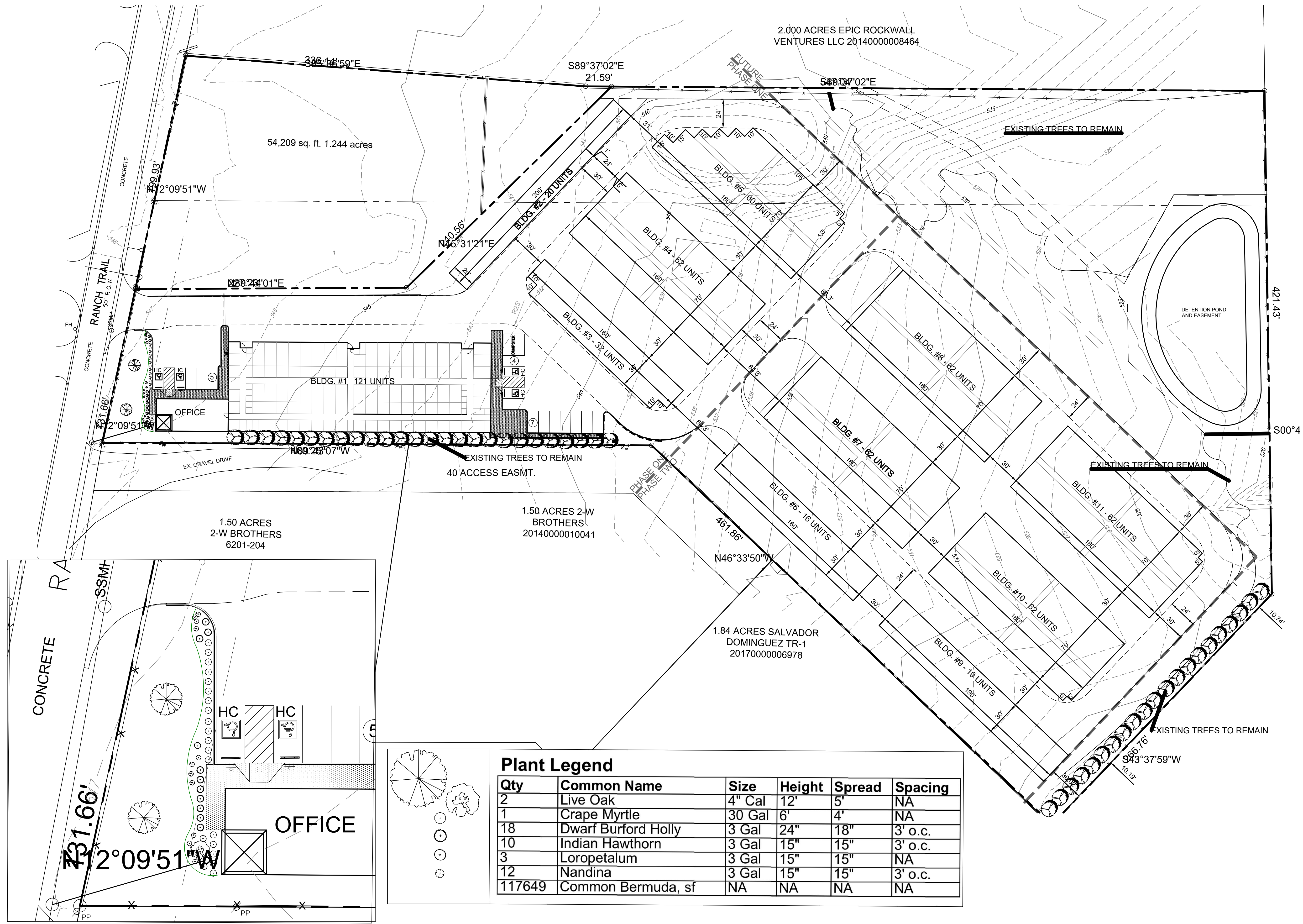
Engineer  
Engineer Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
6/26/2019 9:01:51 AM  
SSI  
AH  
CC

S001  
Cover





2.000 ACRES EPIC ROCKWALL  
VENTURES LLC 20140000008464

54,209 sq. ft. 1.244 acres

1.50 ACRES  
2-W BROTHERS  
6201-204

1.50 ACRES 2-W  
BROTHERS  
20140000010041

1.84 ACRES SALVADOR  
DOMINGUEZ TR-1  
20170000006978

### Plant Legend

Qty	Common Name	Size	Height	Spread	Spacing
2	Live Oak	4" Cal	12'	5'	NA
1	Crape Myrtle	30 Gal	6'	4'	NA
18	Dwarf Burford Holly	3 Gal	24"	18"	3' o.c.
10	Indian Hawthorn	3 Gal	15"	15"	3' o.c.
3	Loropetalum	3 Gal	15"	15"	NA
12	Nandina	3 Gal	15"	15"	3' o.c.
117649	Common Bermuda, sf	NA	NA	NA	NA

### General Notes

No.	Revision/Issue	Date
-----	----------------	------

Firm Name and Address

Project Name and Address

HORIZON ROAD SELF STORAGE  
ROCKWALL, TEXAS

Project

Date

7/8/2019

Scale

NOT TO SCALE

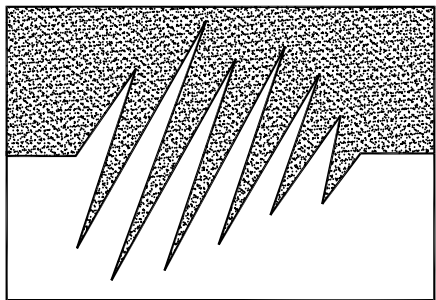
Sheet

1









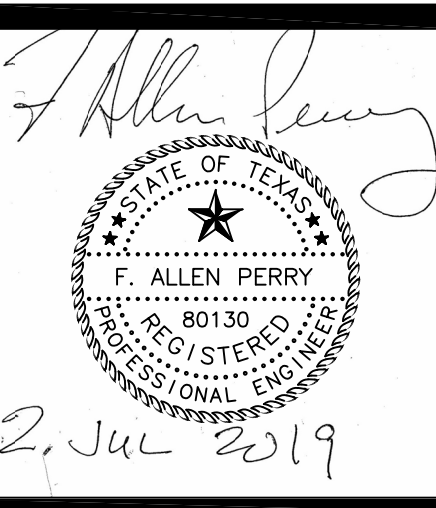
ALPACA  
Energy Solutions, Inc.

3736 Bee Cave Road  
Suite 1, #126  
Austin, Tx 78746

P : (512) 328-8999

www.alpacacenergy.com  
MEP Engineering Services  
Business Reg. No. F-3616

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## Rockwall Self Storage

Rockwall, Texas

REV. 1 7-2-19

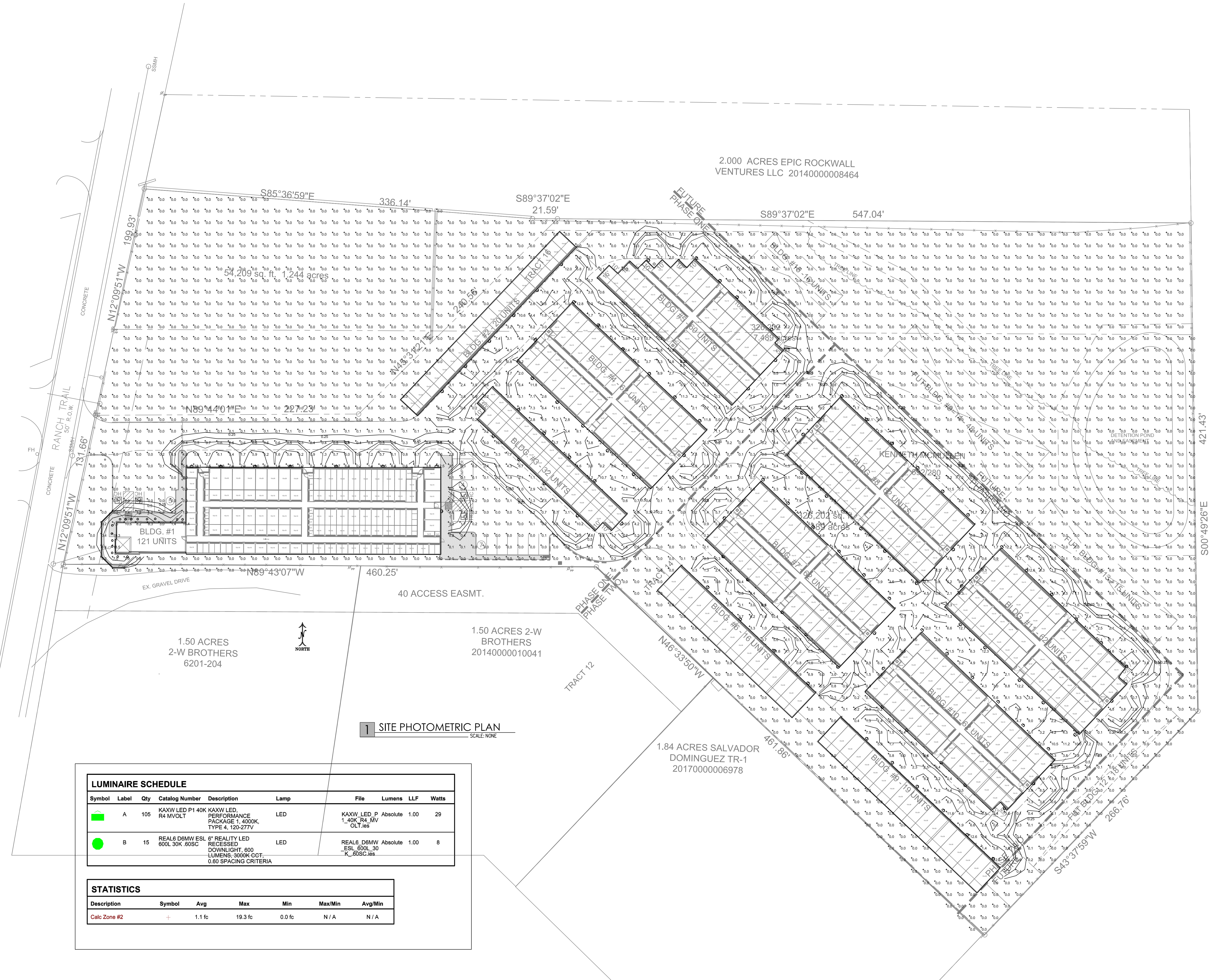
DATE: November 8, 2018

SHEET TITLE:

PHOTOMETRIC  
SITE PLAN

SHEET NUMBER:

E-401



LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
	A	105	KAXW LED P1 40K	KAXW LED, PERFORMANCE PACKAGE 1, 4000K, TYPE 4, 120-277V	LED	KAXW_LED_P1_40K_R4_MV_OLT.ies	1,000 1.00 29
	B	15	REAL6 D6MW ESL 600L 30K 60SC	6" REALITY LED RECESSED DOWNLIGHT, 600 LUMENS, 3000K COT, 0.60 SPACING CRITERIA	LED	REAL6_D6MW_ESL_600L_30K_60SC.ies	1,000 1.00 8

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
Calc Zone #2	+	1.1 fc	19.3 fc	0.0 fc	N / A N / A





3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

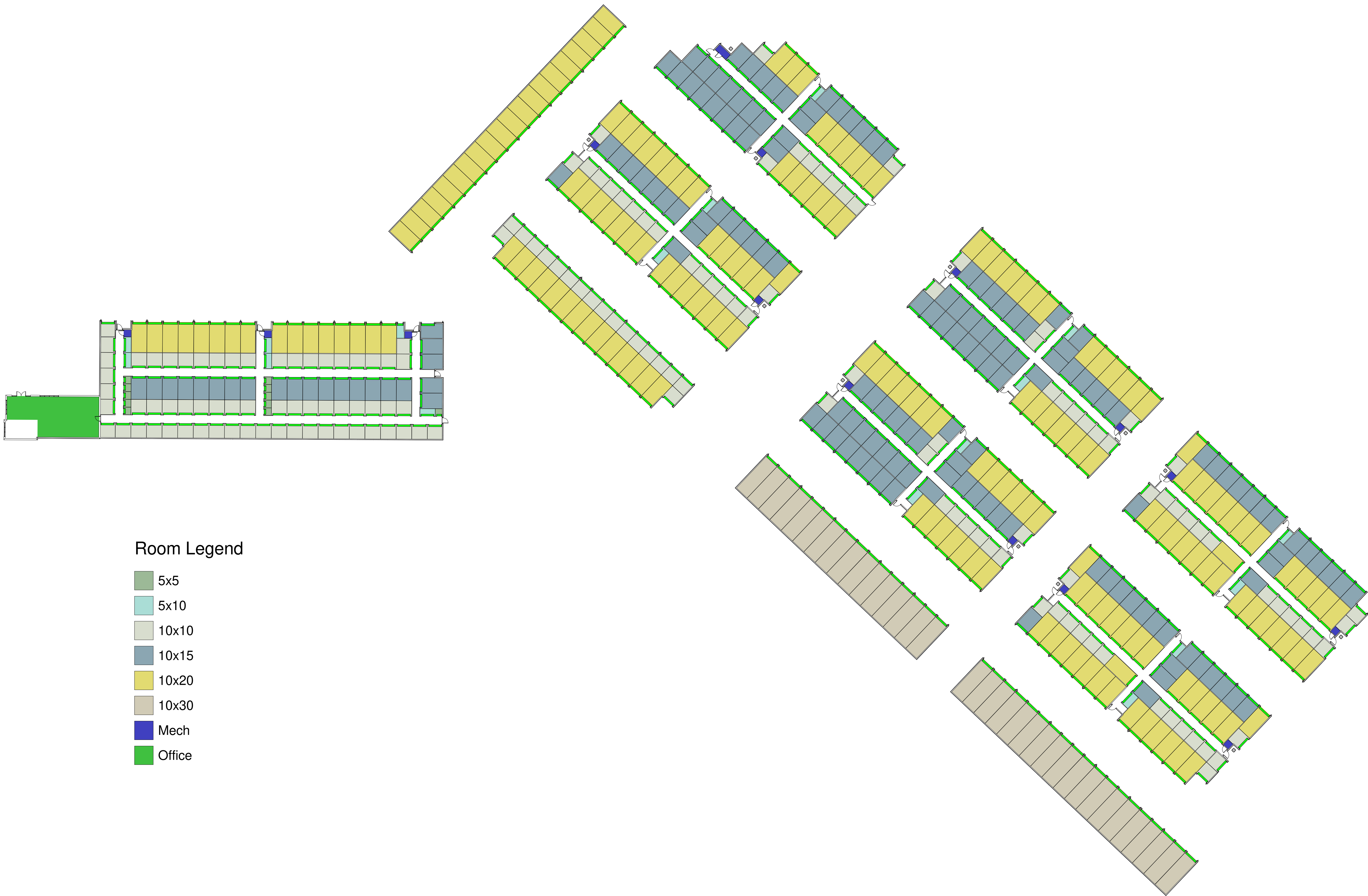
Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:54 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S002  
Unit Mix



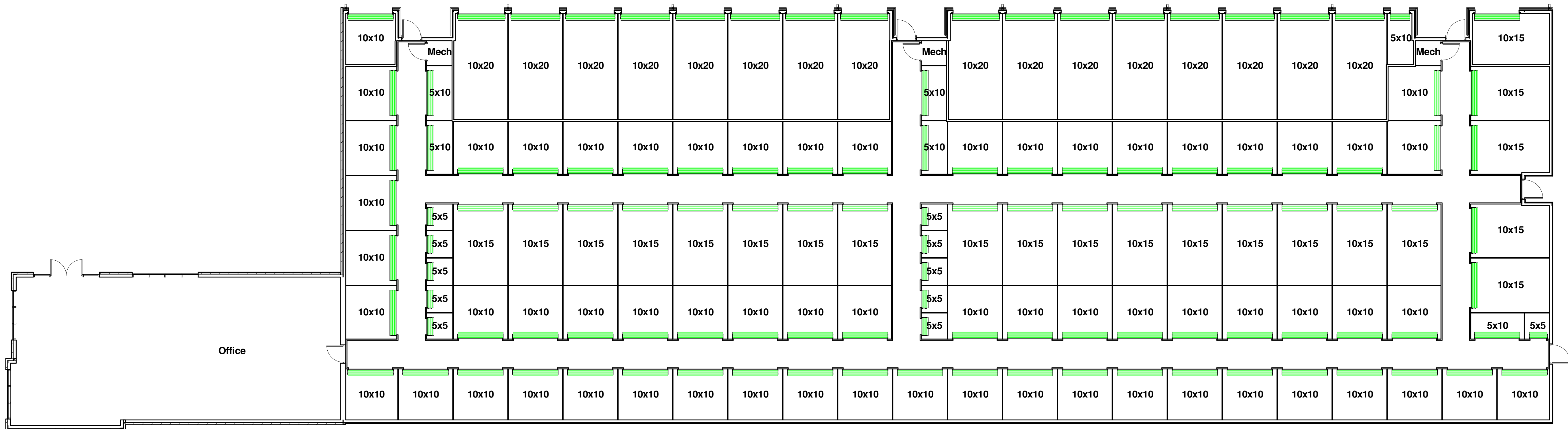
Room Legend

- 5x5
- 5x10
- 10x10
- 10x15
- 10x20
- 10x30
- Mech
- Office

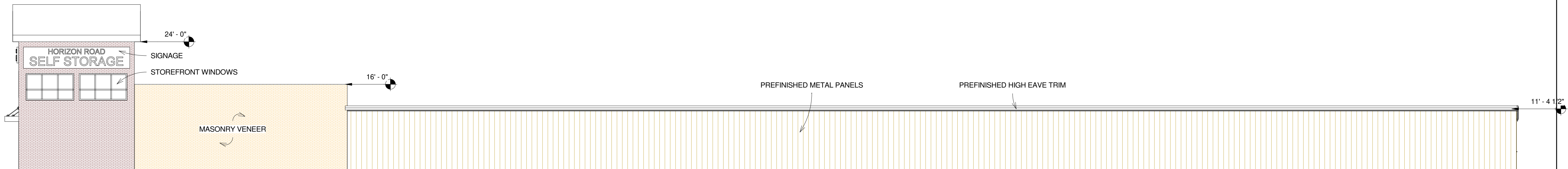
1 Unit Mix Color Scheme  
1/32" = 1'-0"

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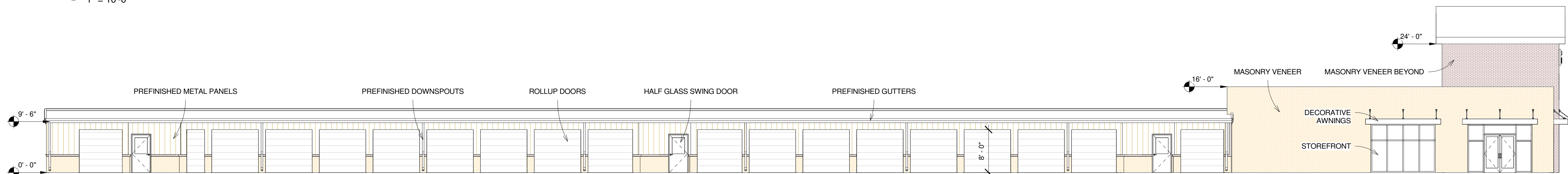




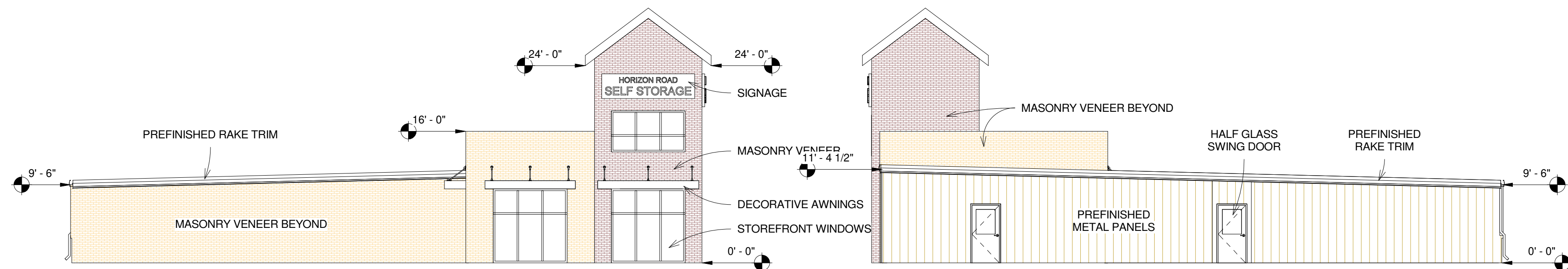
① Unit Mix - Bldg 1  
1" = 10'-0"



② Bldg 1 South Elevation  
1" = 10'-0"



③ Bldg 1 North Elevation  
1" = 10'-0"



④ Bldg 1 West Elevation  
1" = 10'-0"

⑤ Bldg 1 East Elevation  
1" = 10'-0"

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Villa Rica, Ga 30180

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#### Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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## Horizon Road Self Storage

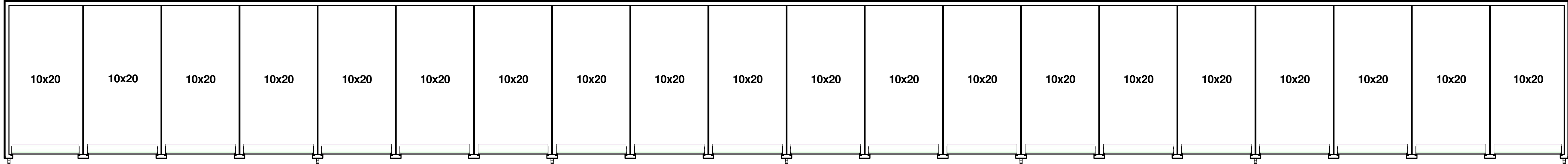
Rockwall, TX

Engineer

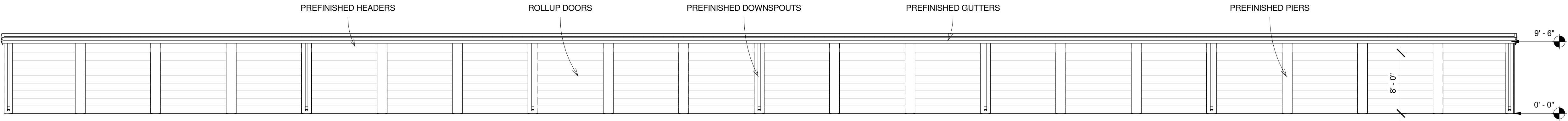
Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:55 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S101  
Building 1



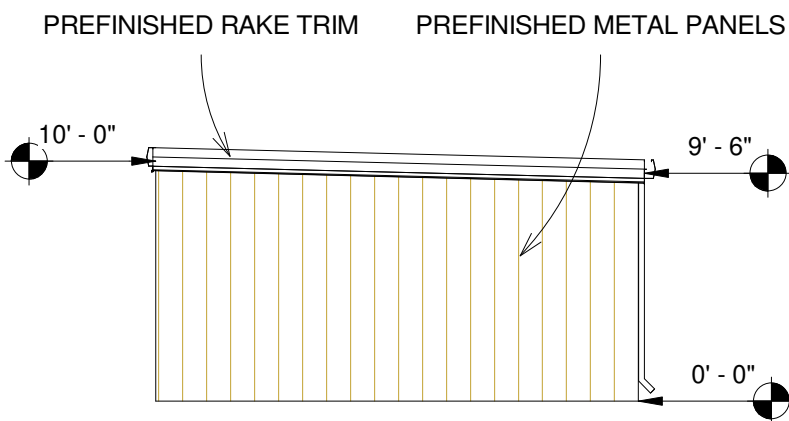
1 Unit Mix - Bldg 2  
1/8" = 1'-0"



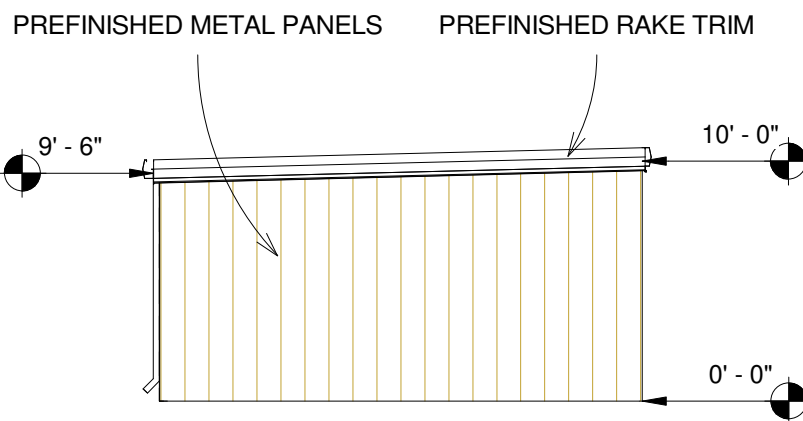
2 Bldg 2 SE Elevation  
1/8" = 1'-0"



3 Bldg 2 NW Elevation  
1/8" = 1'-0"



4 Bldg 2 SW Elevation  
1/8" = 1'-0"



5 Bldg 2 NE Elevation  
1/8" = 1'-0"

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FAX: 770-456-1662

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

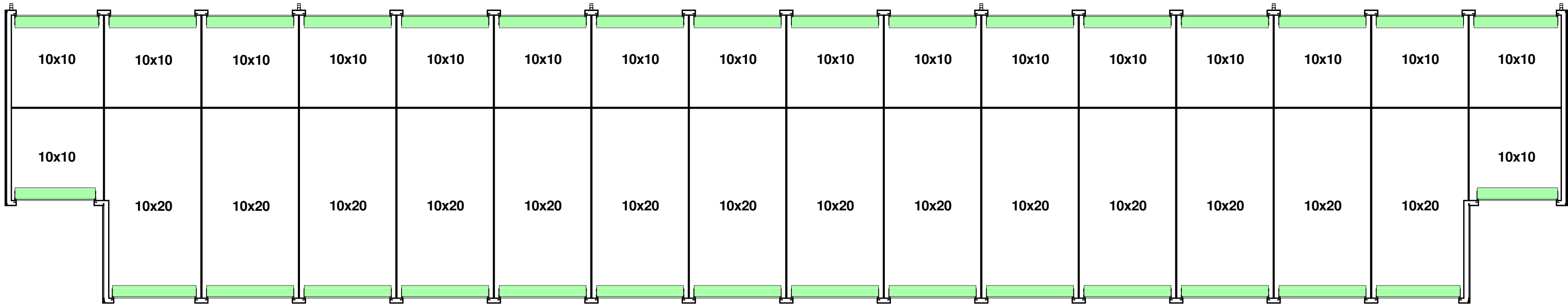
Engineer

Engineer  
Address  
PE No

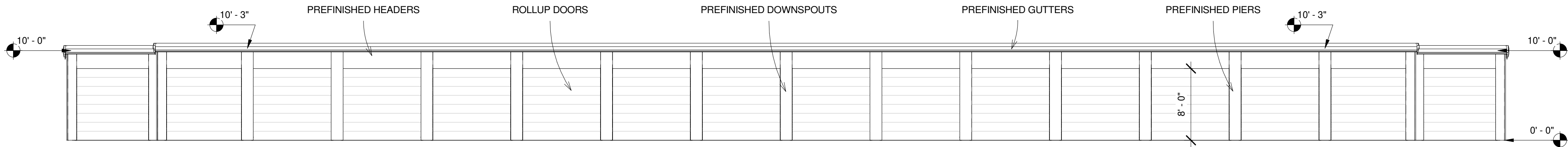
SSI Project Number	Project Number
Date	6/26/2019 9:01:56 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S102  
Building 2

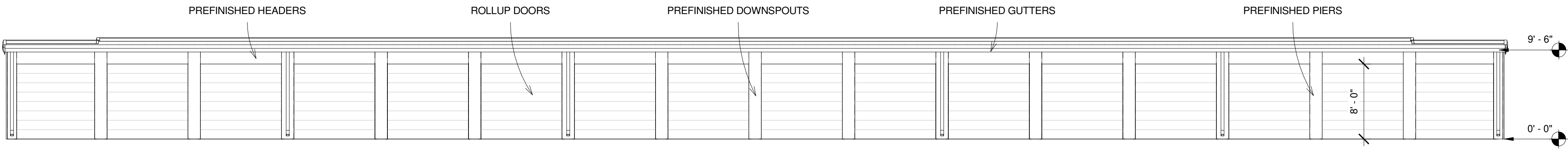




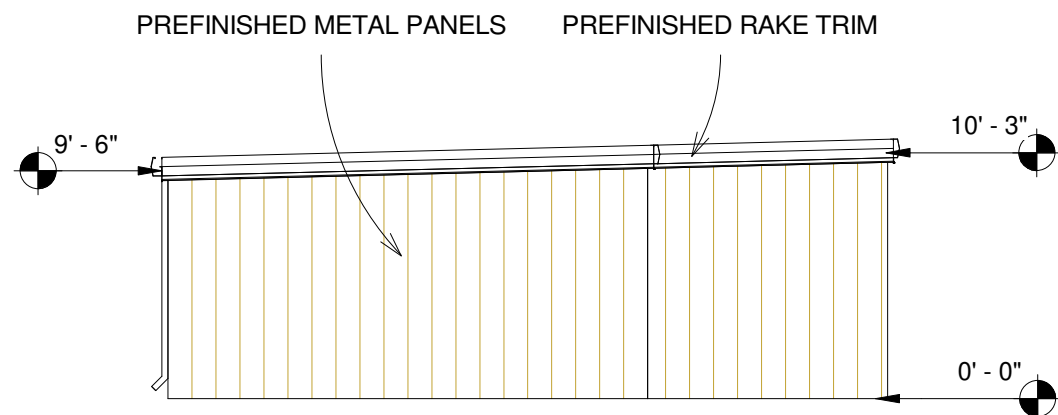
① Unit Mix - Bldg 3  
1/8" = 1'-0"



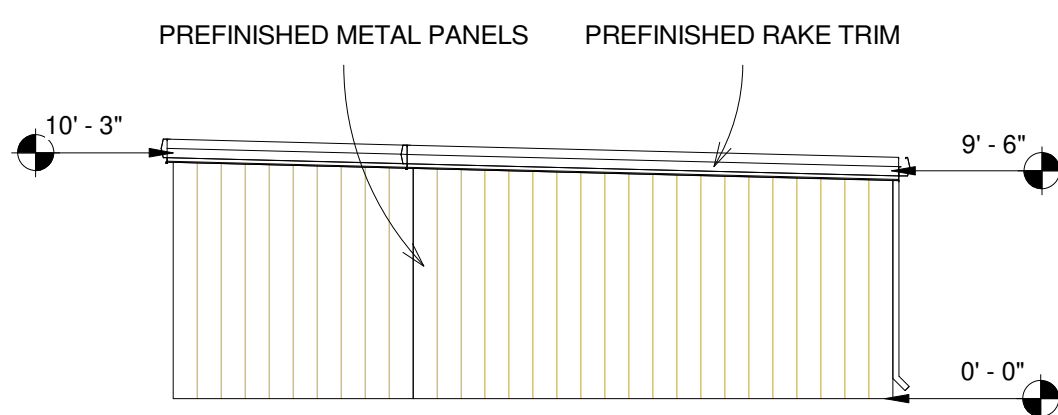
② Bldg 3 SW Elevation  
1/8" = 1'-0"



③ Bldg 3 NE Elevation  
1/8" = 1'-0"



④ Bldg 3 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 3 SE Elevation  
1/8" = 1'-0"

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

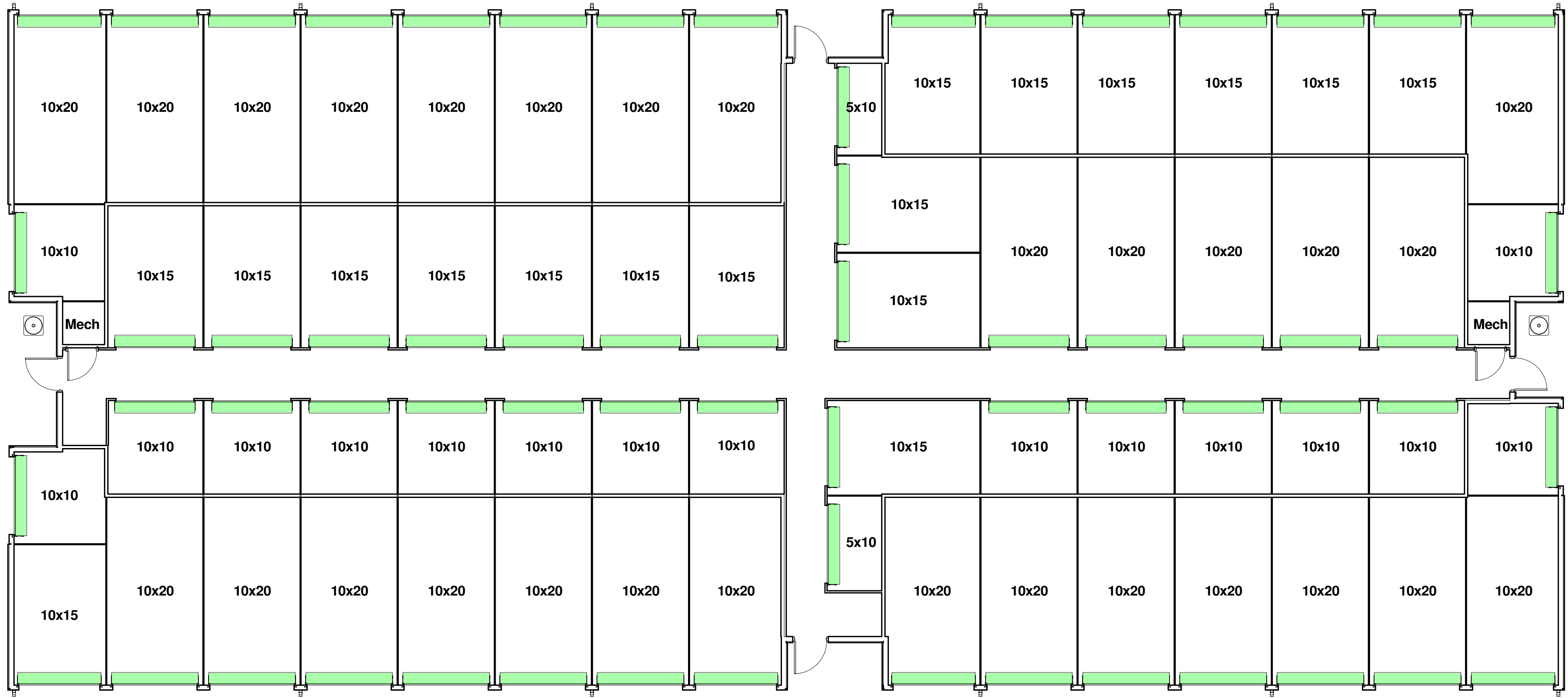
Rockwall, TX

Engineer

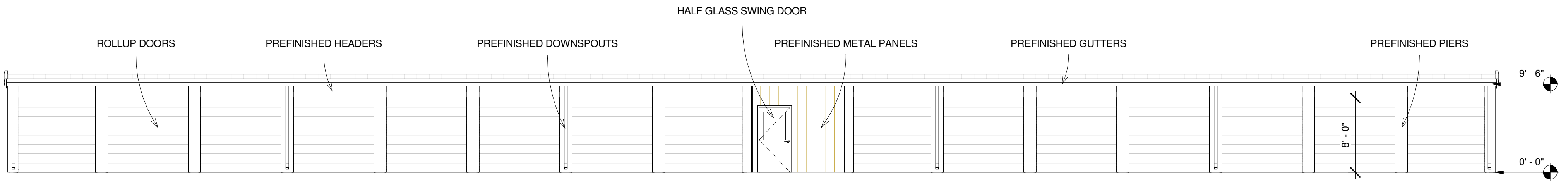
Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:56 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

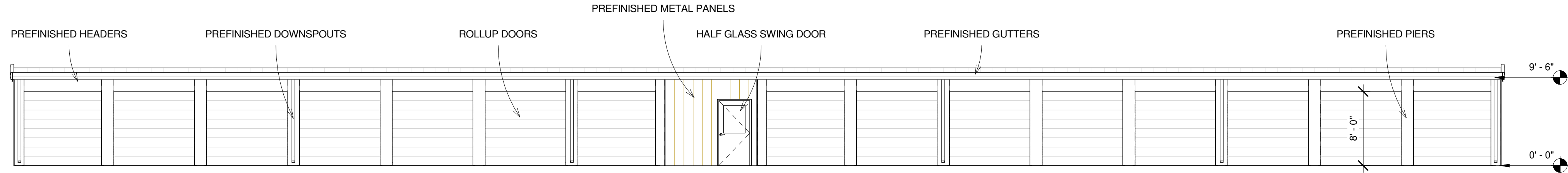
S103  
Building 3



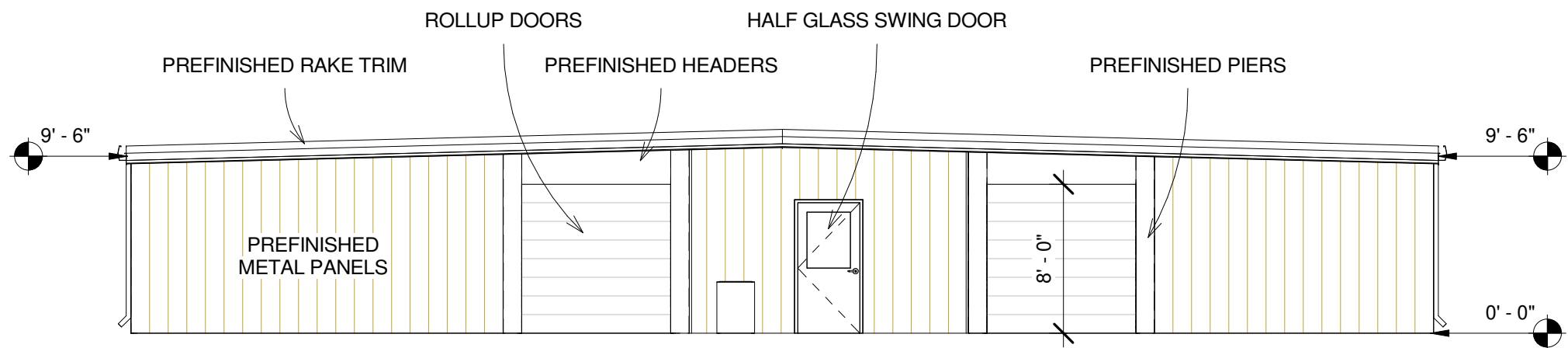
① Unit Mix - Bldg 4  
1/8" = 1'-0"



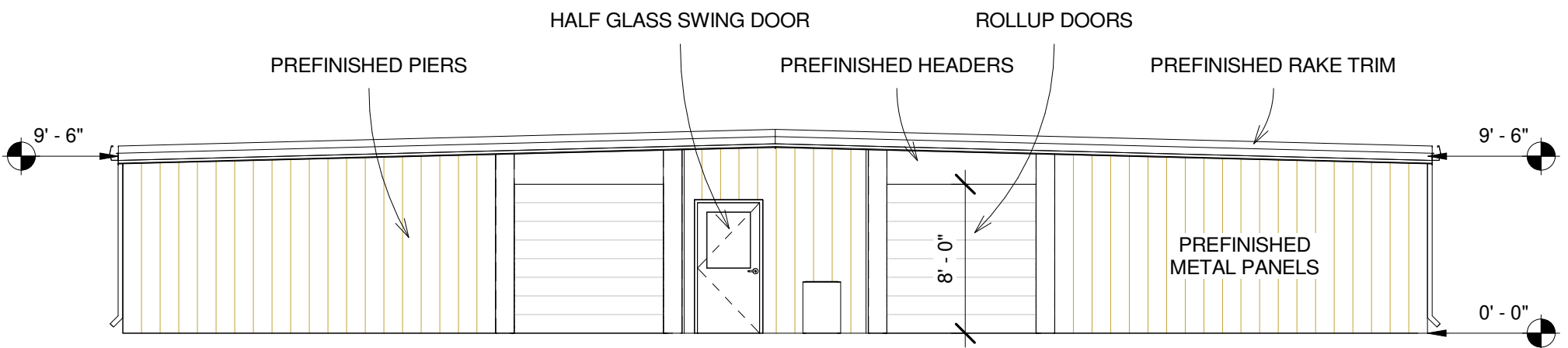
② Bldg 4 SW Elevation  
1/8" = 1'-0"



③ Bldg 4 NE Elevation  
1/8" = 1'-0"



④ Bldg 4 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 4 SE Elevation  
1/8" = 1'-0"

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer  
Engineer Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
6/26/2019 9:01:57 AM  
SSI  
AH  
CC

S104  
Building 4



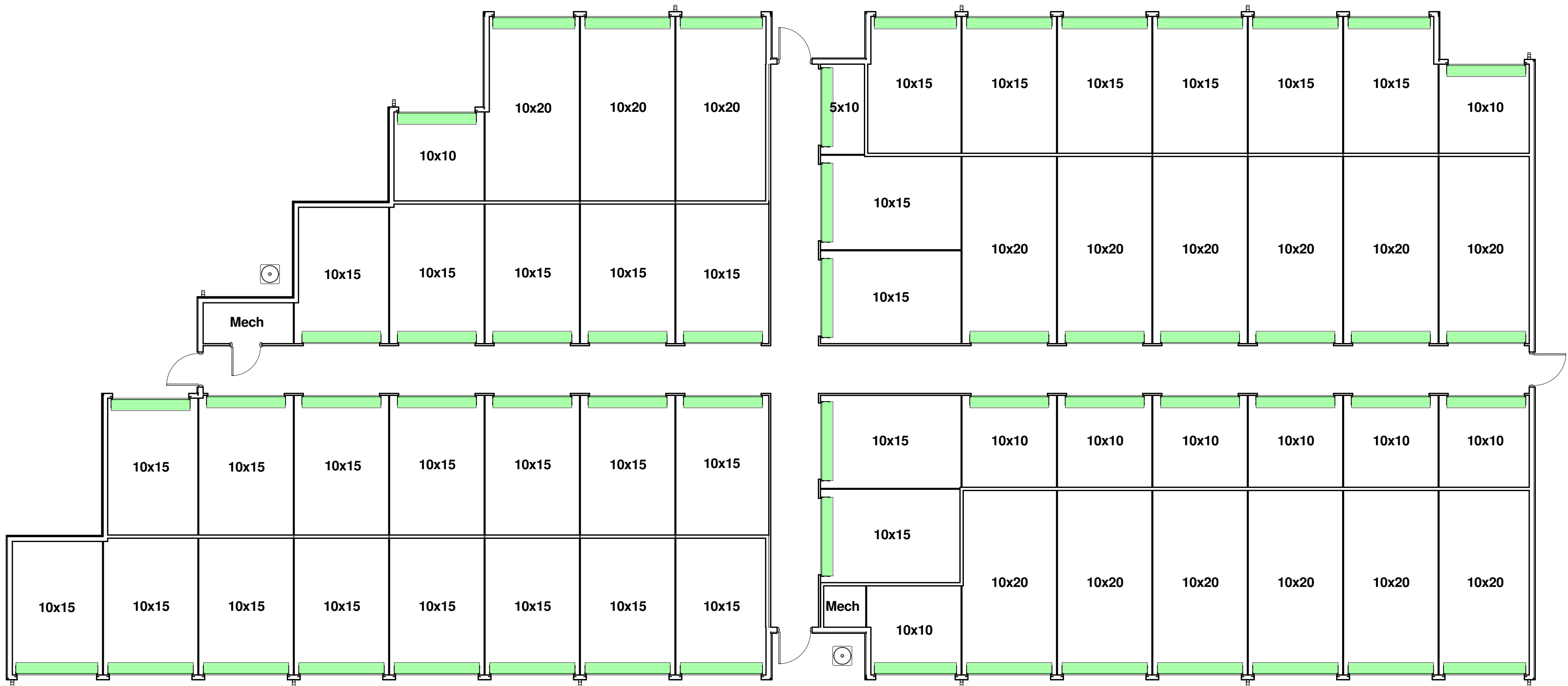
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

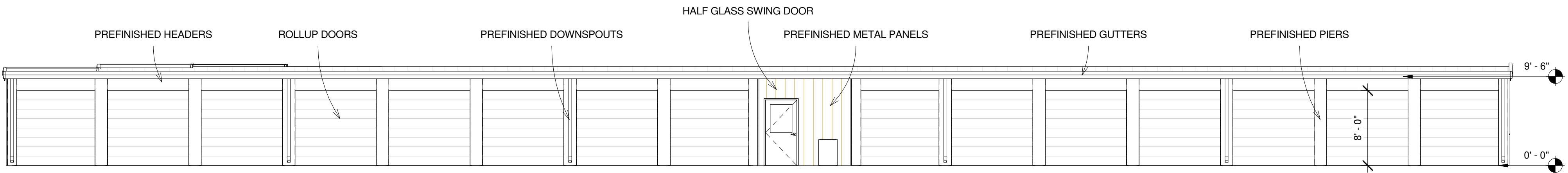
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Revision Schedule

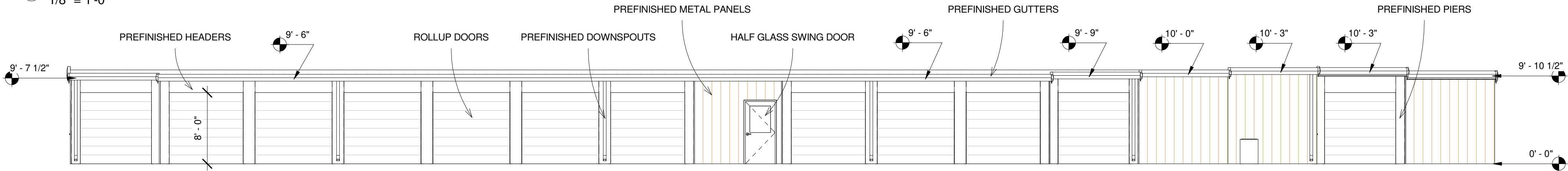
Revision Number	Revision Date	Revision Description	Issued by
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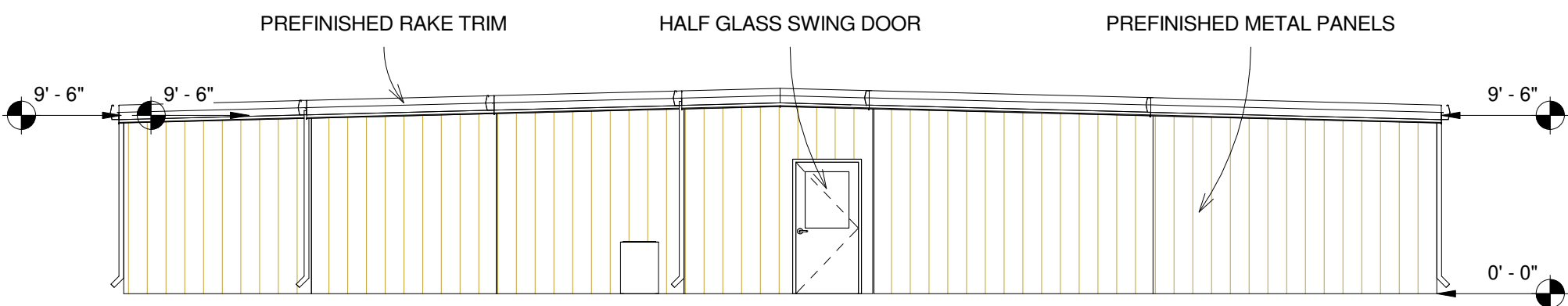
① Unit Mix - Bldg 5  
1/8" = 1'-0"



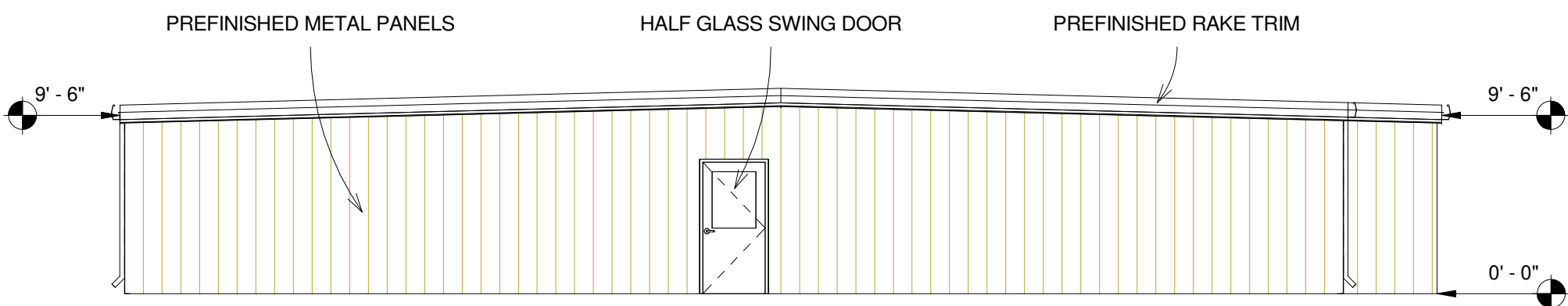
② Bldg 5 SW Elevation  
1/8" = 1'-0"



③ Bldg 5 NE Elevation  
1/8" = 1'-0"



④ Bldg 5 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 5 SE Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

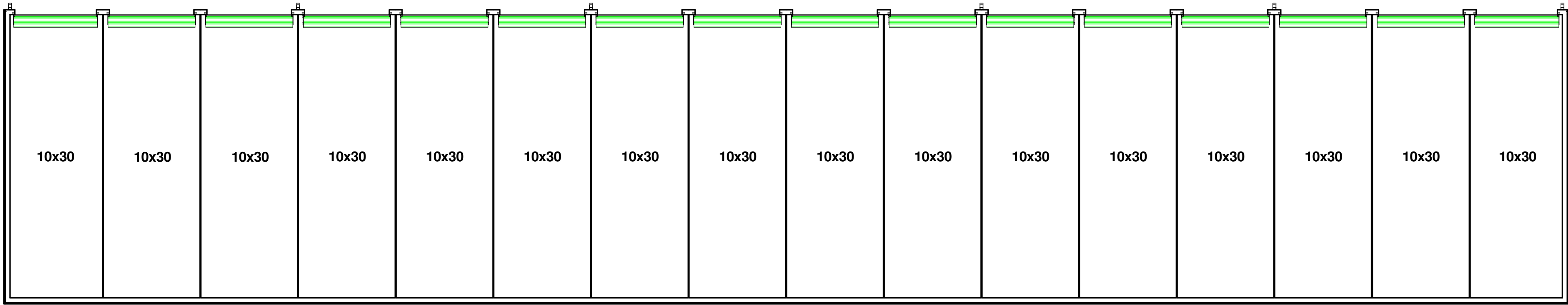
Engineer

Engineer  
Address  
PE No

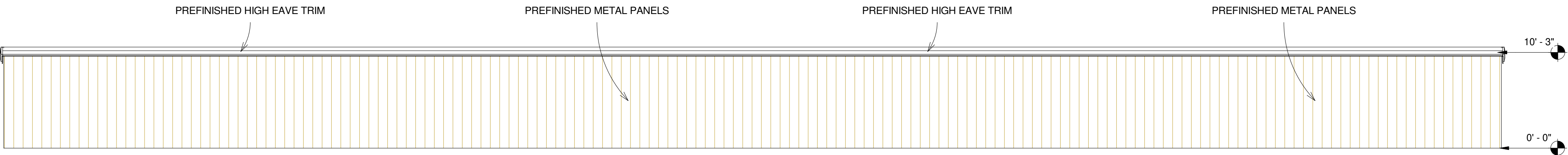
SSI Project Number	Project Number
Date	6/26/2019 9:01:58 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S105  
Building 5

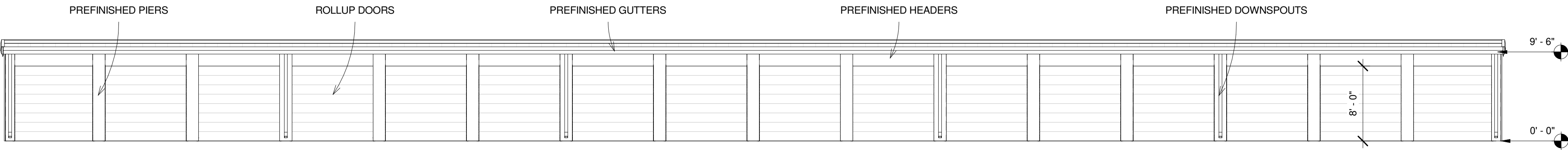




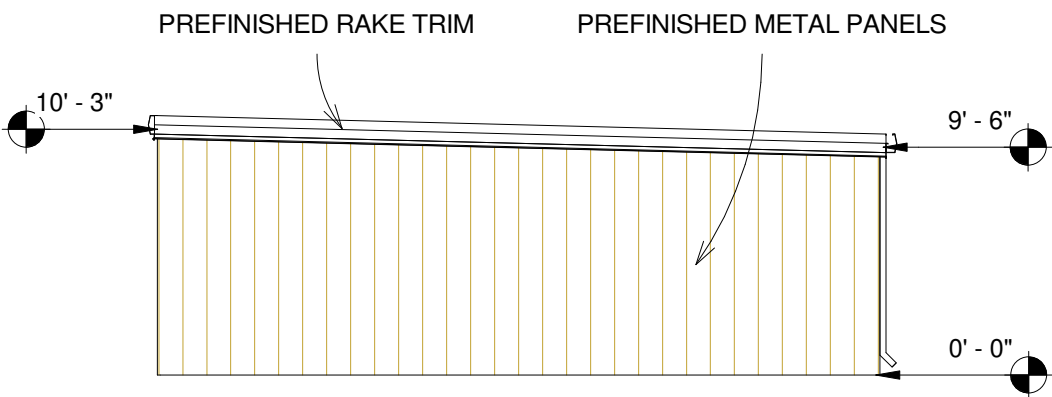
① Unit Mix - Bldg 6  
1/8" = 1'-0"



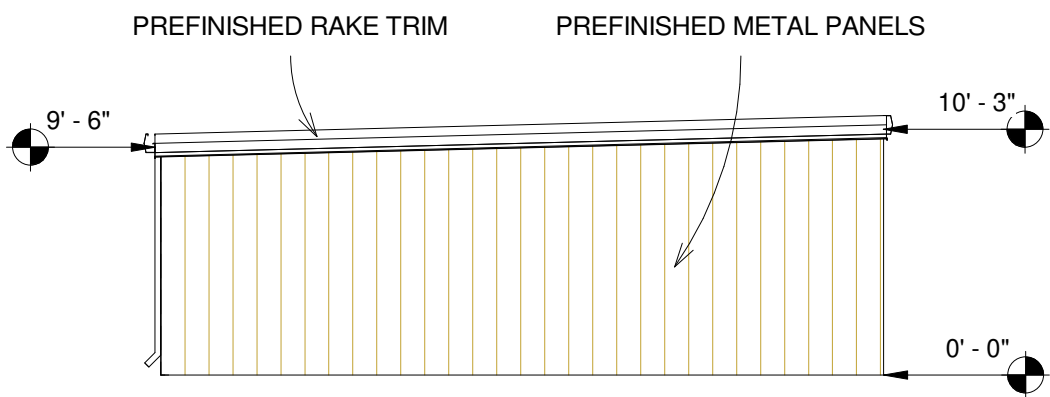
② Bldg 6 SW Elevation  
1/8" = 1'-0"



③ Bldg 6 NE Elevation  
1/8" = 1'-0"



④ Bldg 6 SE Elevation  
1/8" = 1'-0"



⑤ Bldg 6 NW Elevation  
1/8" = 1'-0"

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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

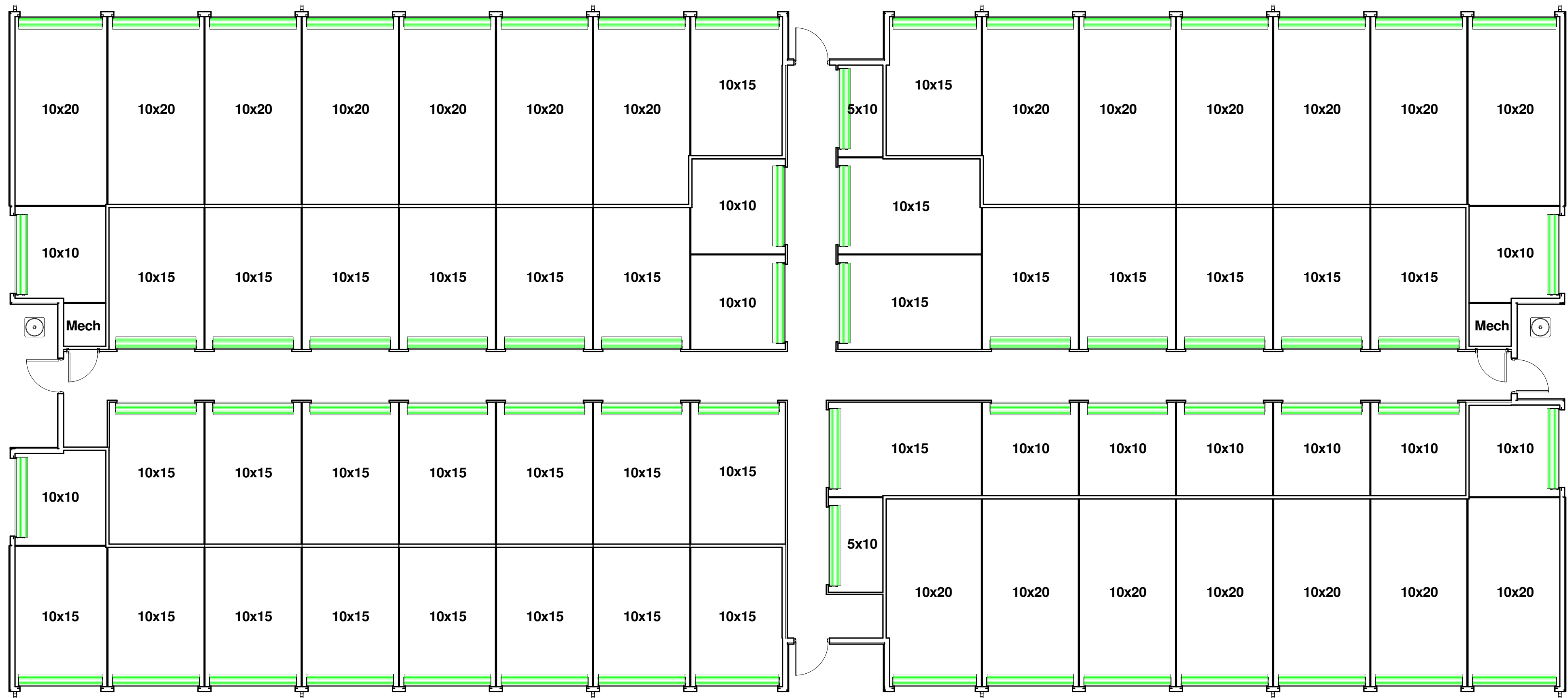
Rockwall, TX

Engineer

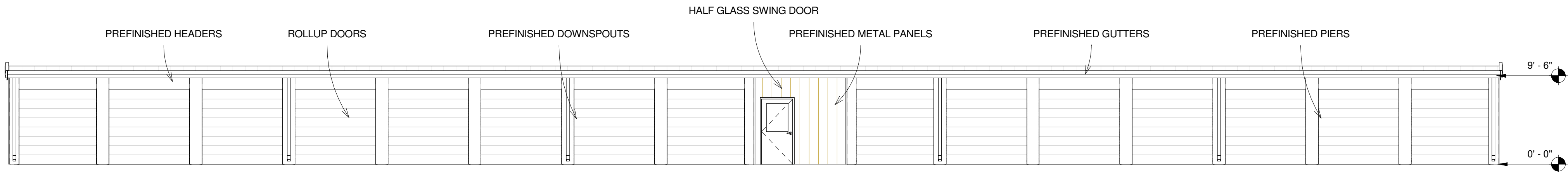
Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:58 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

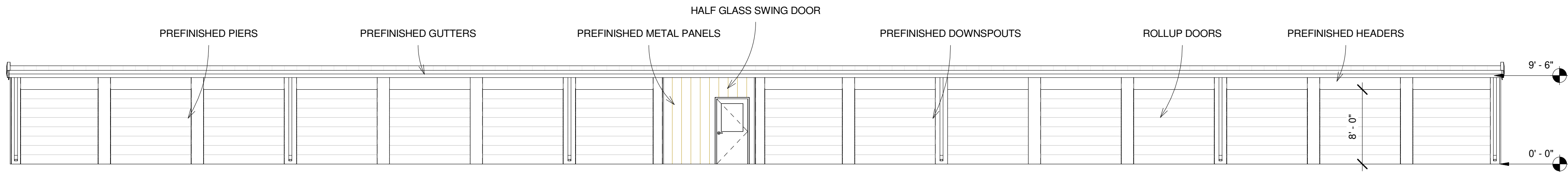
S106  
Building 6



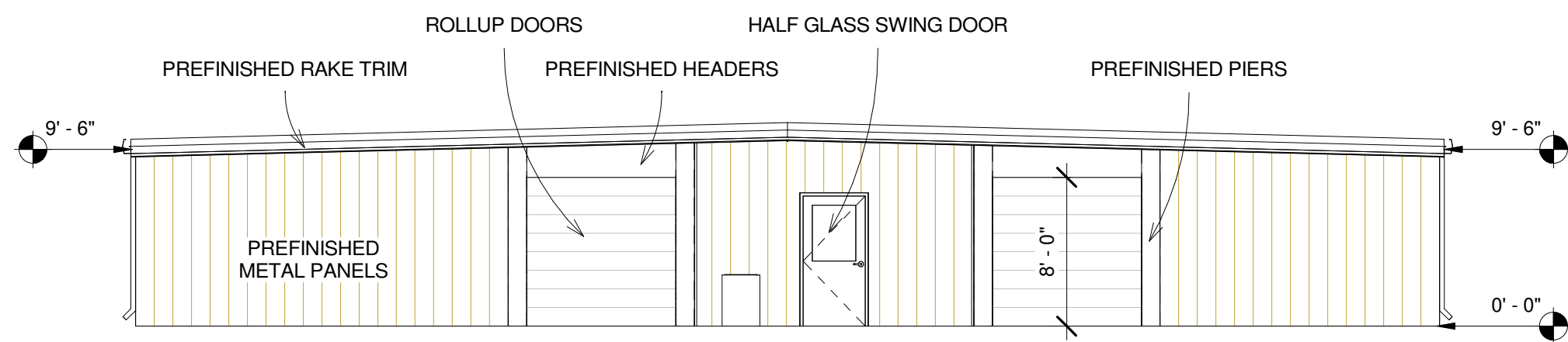
① Unit Mix - Bldg 7  
1/8" = 1'-0"



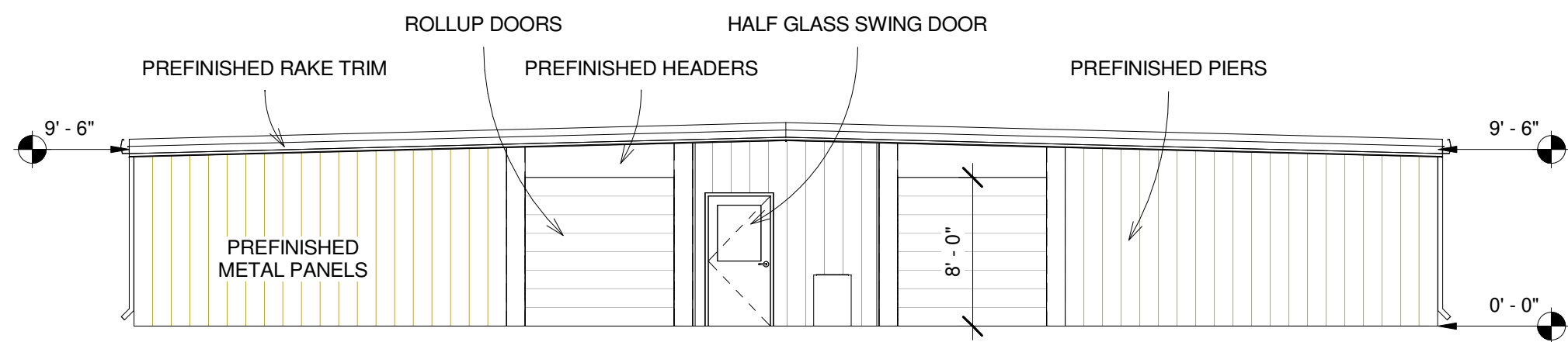
② Bldg 7 SW Elevation  
1/8" = 1'-0"



③ Bldg 7 NE Elevation  
1/8" = 1'-0"



④ Bldg 7 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 7 SE Elevation  
1/8" = 1'-0"

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Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:59 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S107  
Building 7





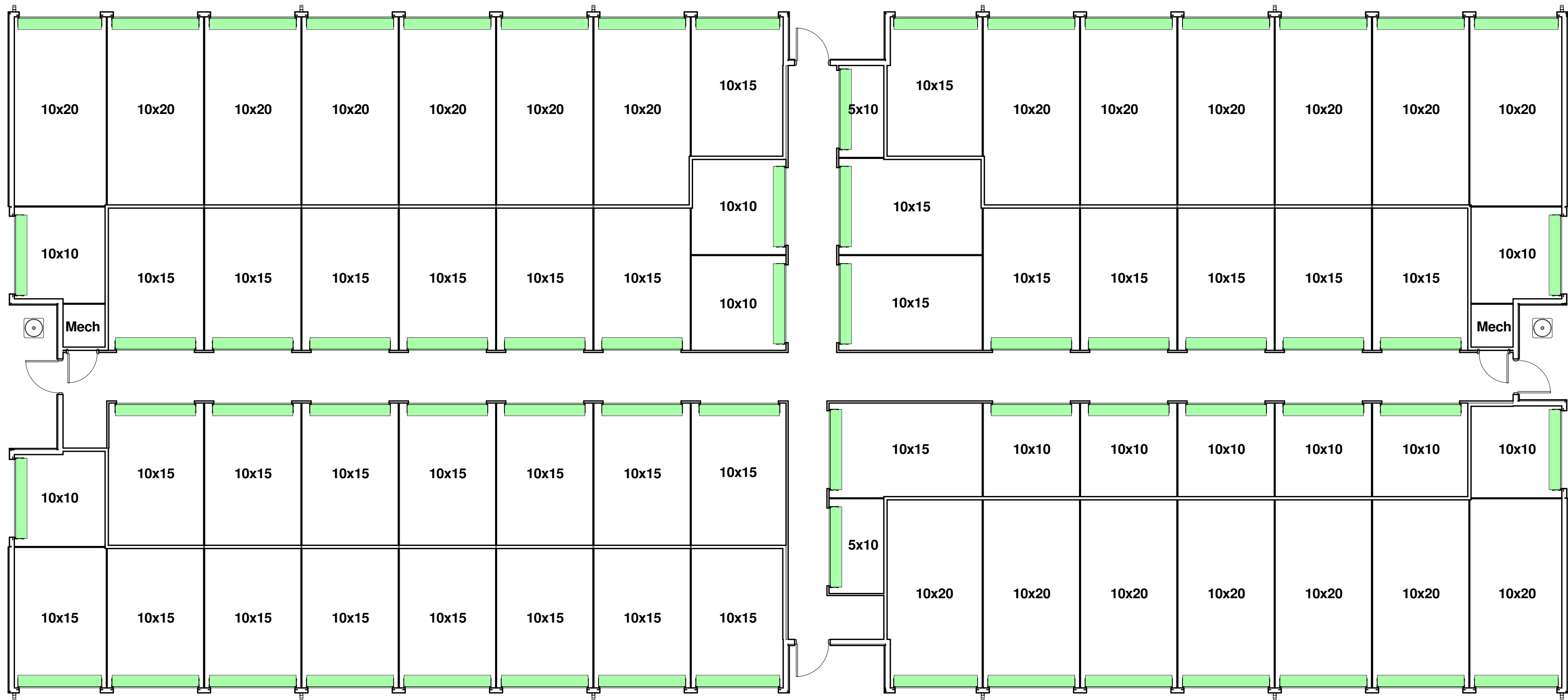
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

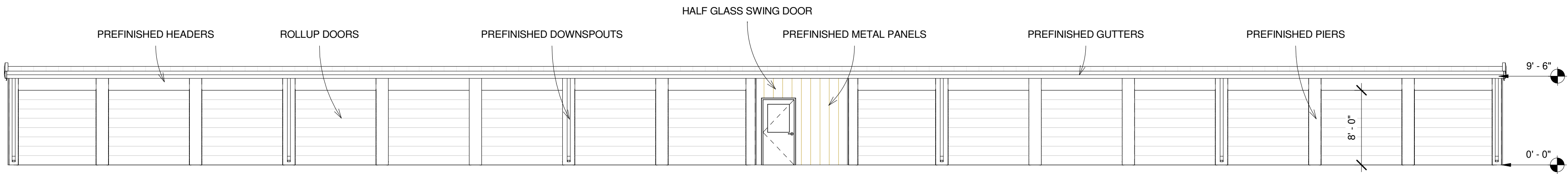
www.storagestructuresinc.com

Revision Schedule

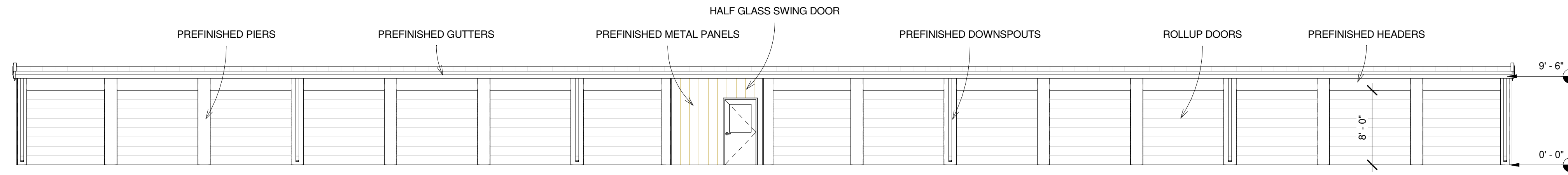
Revision Number	Revision Date	Revision Description	Issued by
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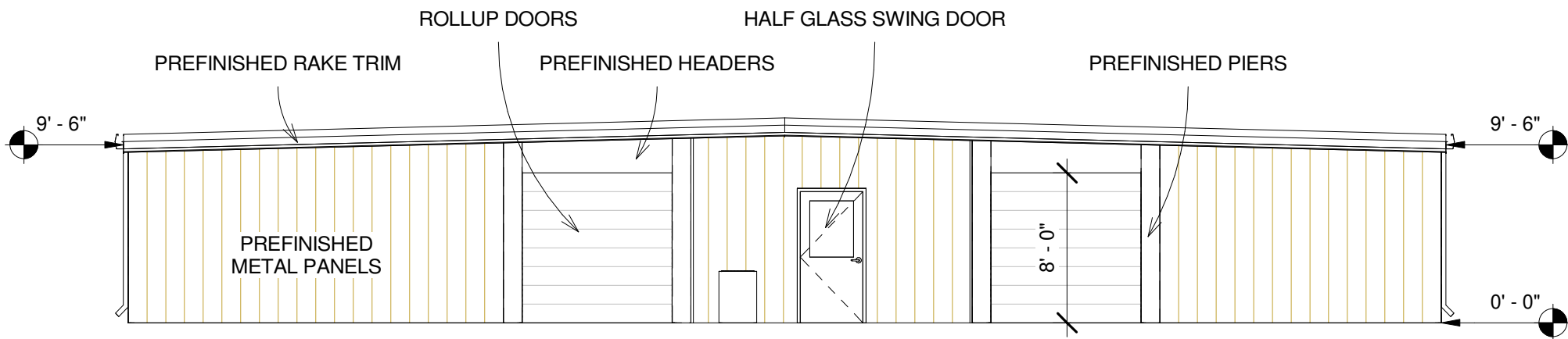
1 Unit Mix - Bldg 8  
1/8" = 1'-0"



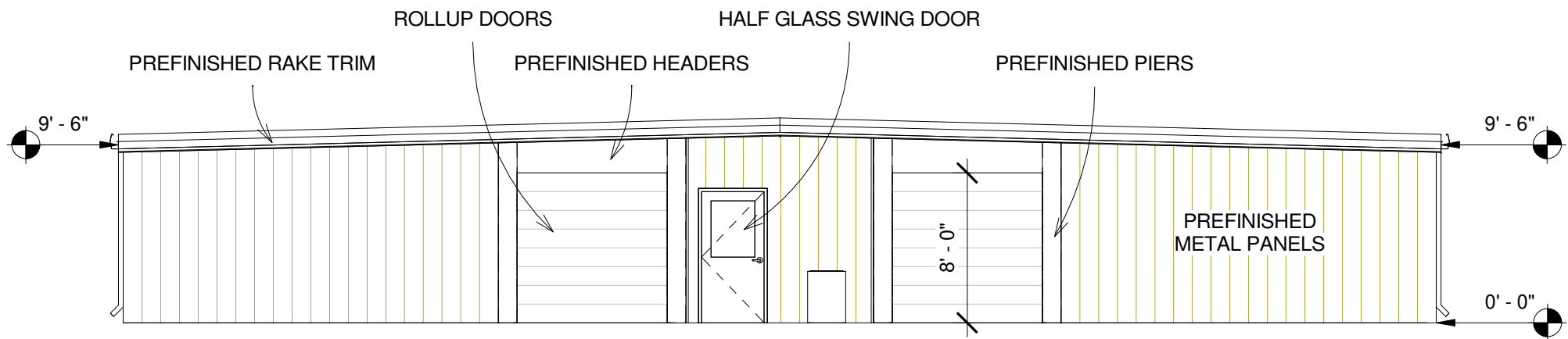
2 Bldg 8 SW Elevation  
1/8" = 1'-0"



3 Bldg 8 NE Elevation  
1/8" = 1'-0"



4 Bldg 8 NW Elevation  
1/8" = 1'-0"



5 Bldg 8 SE Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer  
Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
6/26/2019 9:02:00 AM  
SSI  
AH  
CC

S108  
Building 8



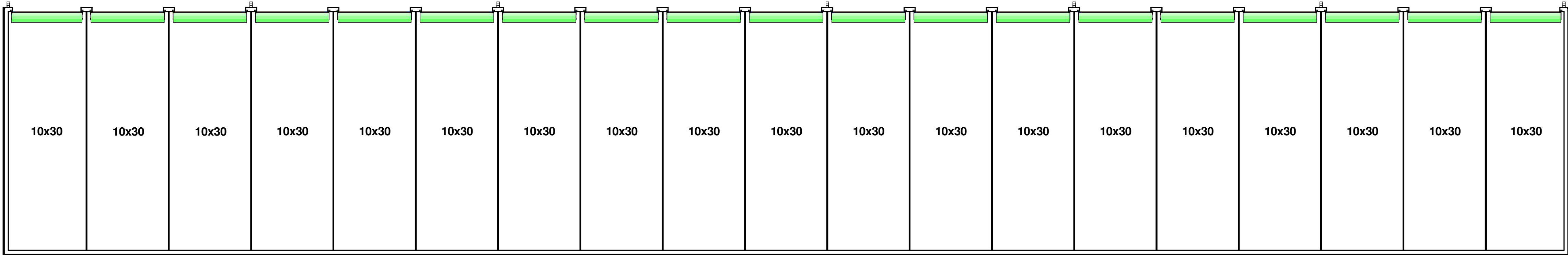
3807 Hwy 61  
Villa Rica, Ga 30180

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TOLL FREE: 877-456-1602  
FAX: 770-456-1662

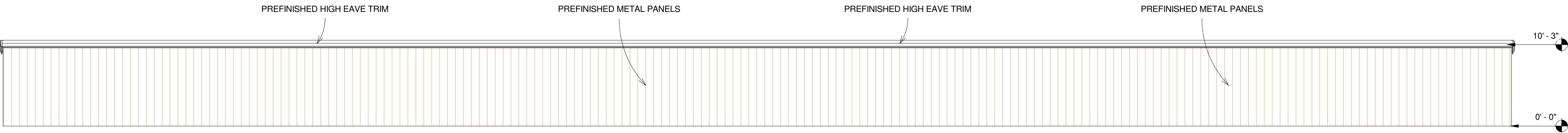
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Revision Schedule

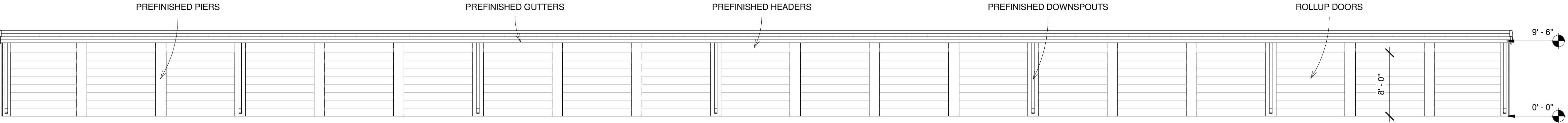
Revision Number	Revision Date	Revision Description	Issued by
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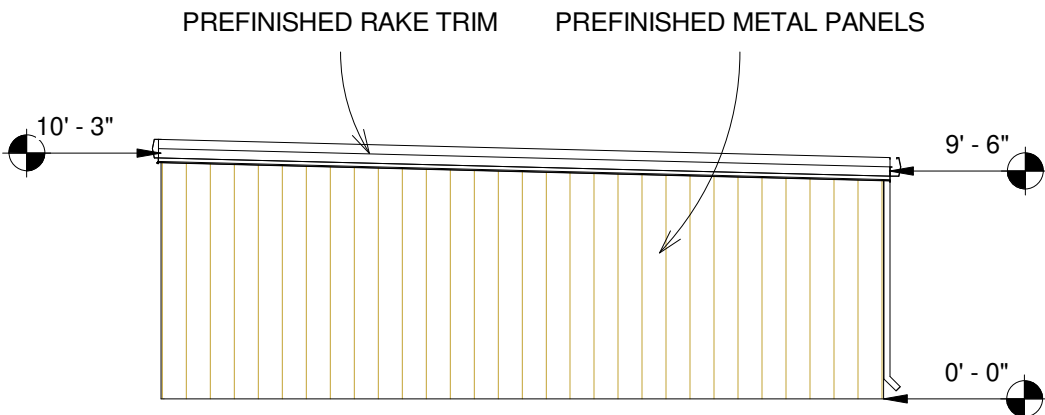
① Unit Mix - Bldg 9  
1/8" = 1'-0"



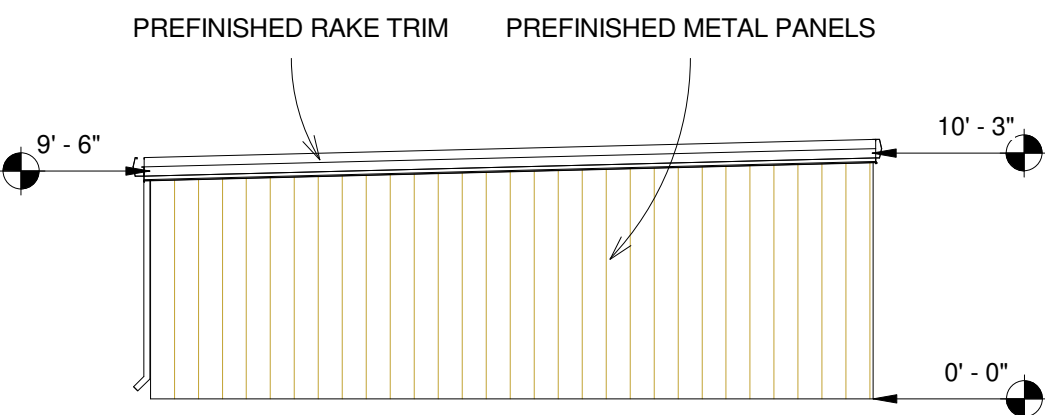
② Bldg 9 SW Elevation  
1/8" = 1'-0"



③ Bldg 9 NE Elevation  
1/8" = 1'-0"



④ Bldg 9 SE Elevation  
1/8" = 1'-0"



⑤ Bldg 9 NW Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:00 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S109  
Building 9





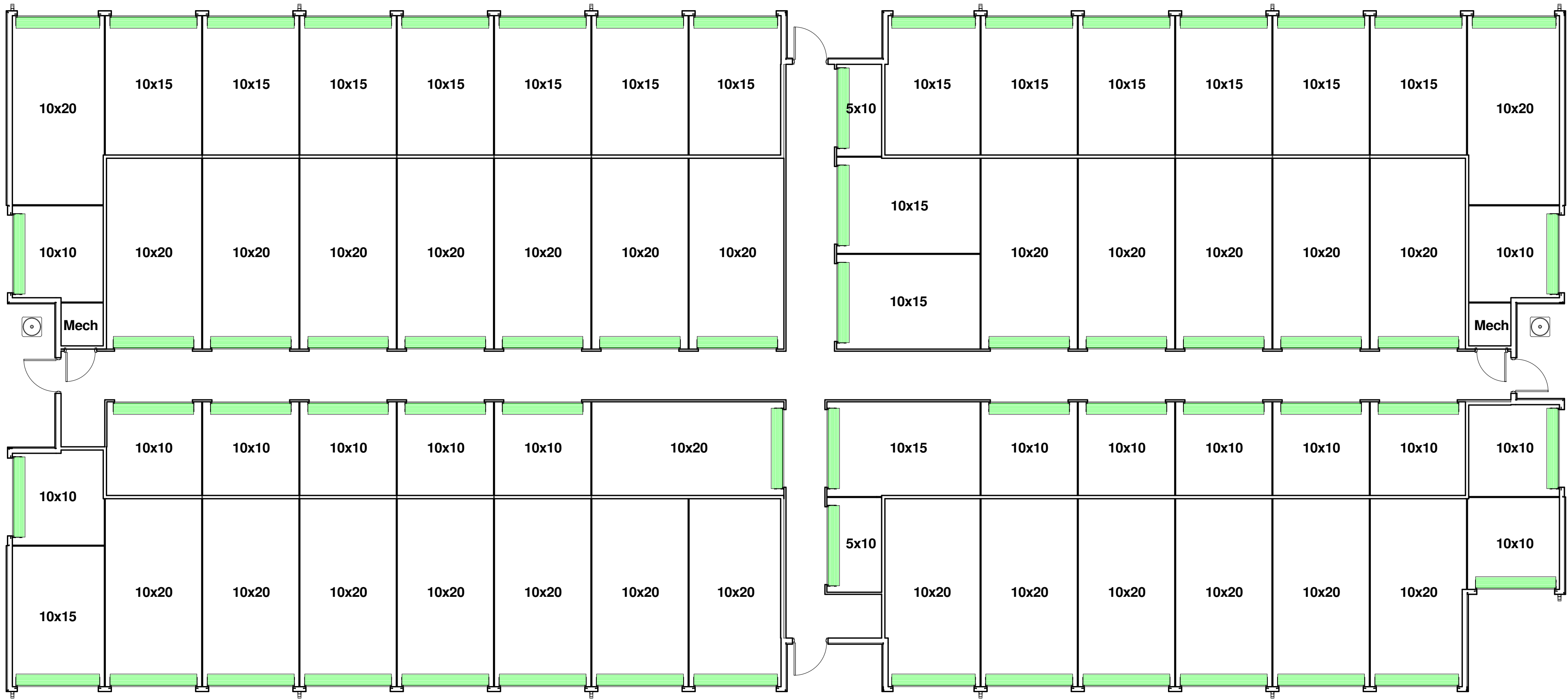
3807 Hwy 61  
Villa Rica, Ga 30180

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TOLL FREE: 877-456-1602  
FAX: 770-456-1662

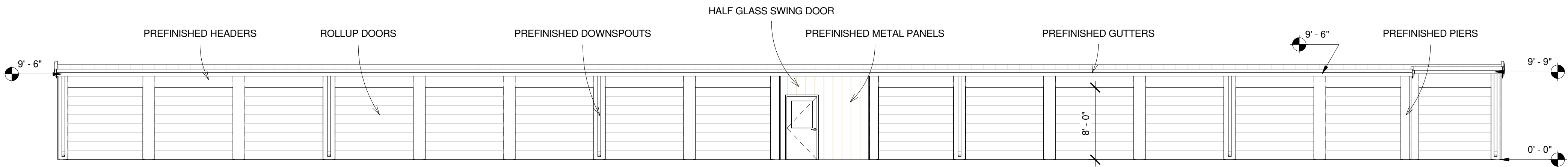
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Revision Schedule

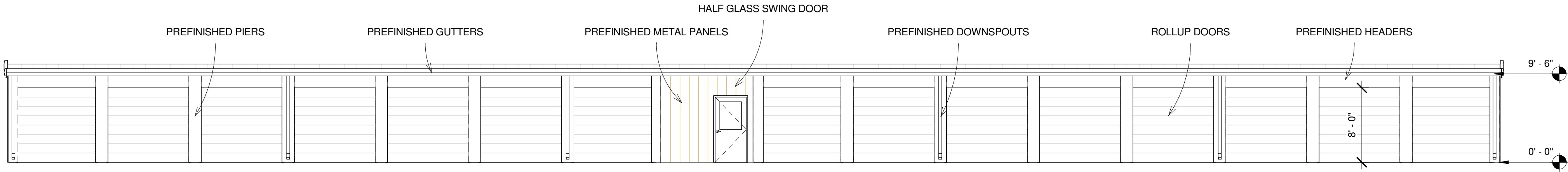
Revision Number	Revision Date	Revision Description	Issued by
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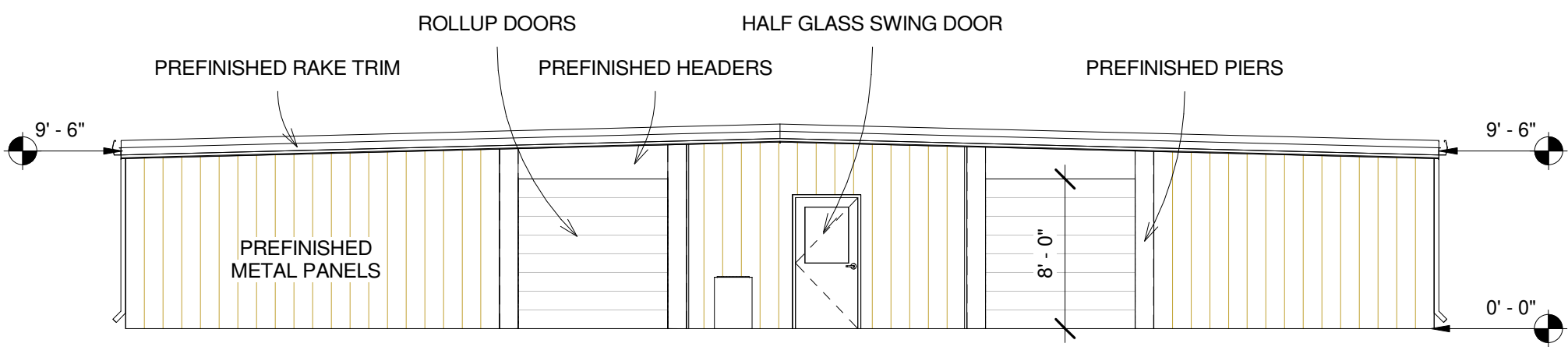
① Unit Mix - Bldg 10  
1/8" = 1'-0"



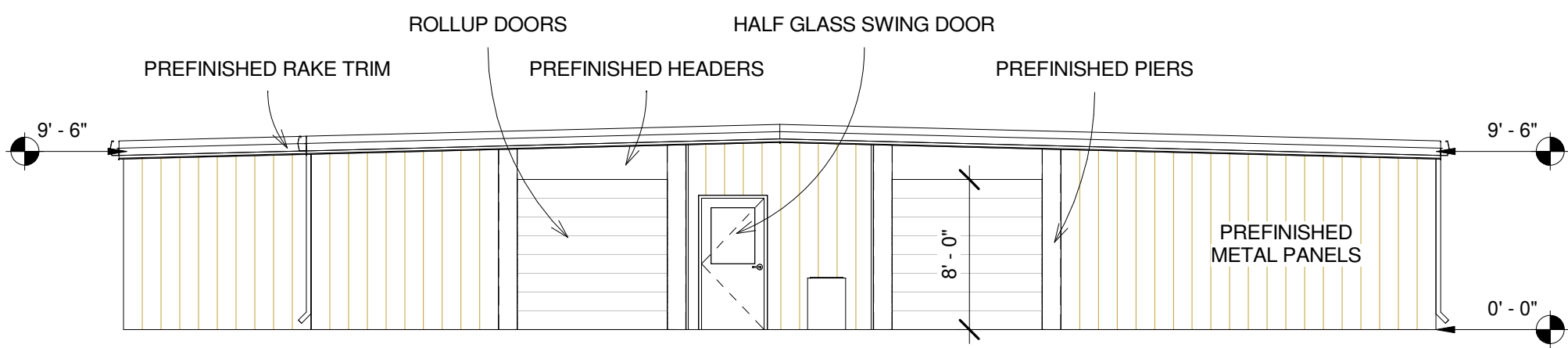
② Bldg 10 SW Elevation  
1/8" = 1'-0"



③ Bldg 10 NE Elevation  
1/8" = 1'-0"



④ Bldg 10 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 10 SE Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:01 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S110  
Building 10



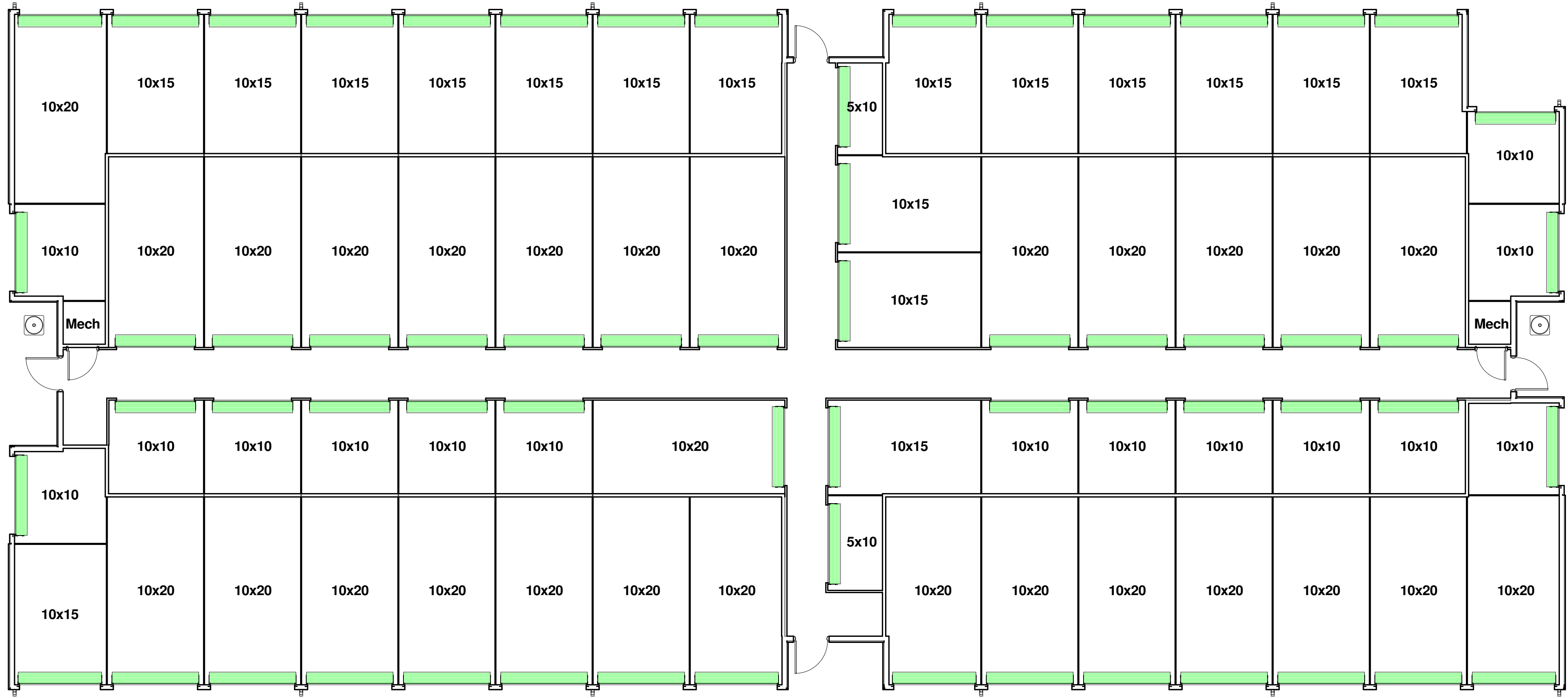
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

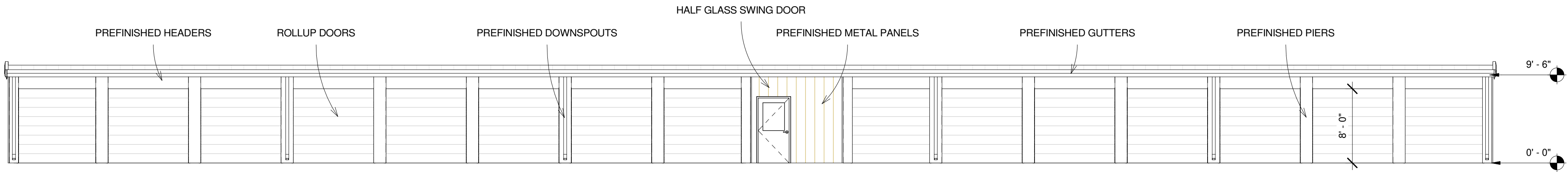
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Revision Schedule

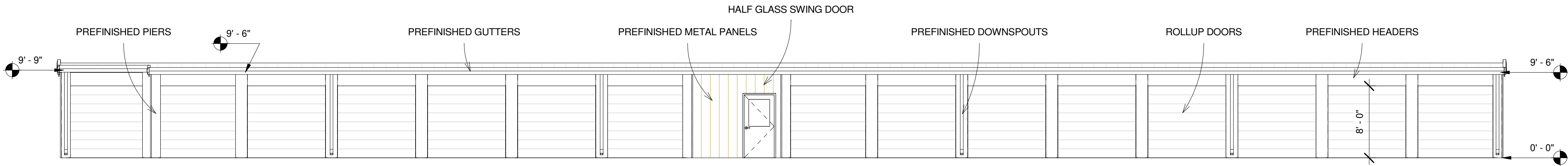
Revision Number	Revision Date	Revision Description	Issued by
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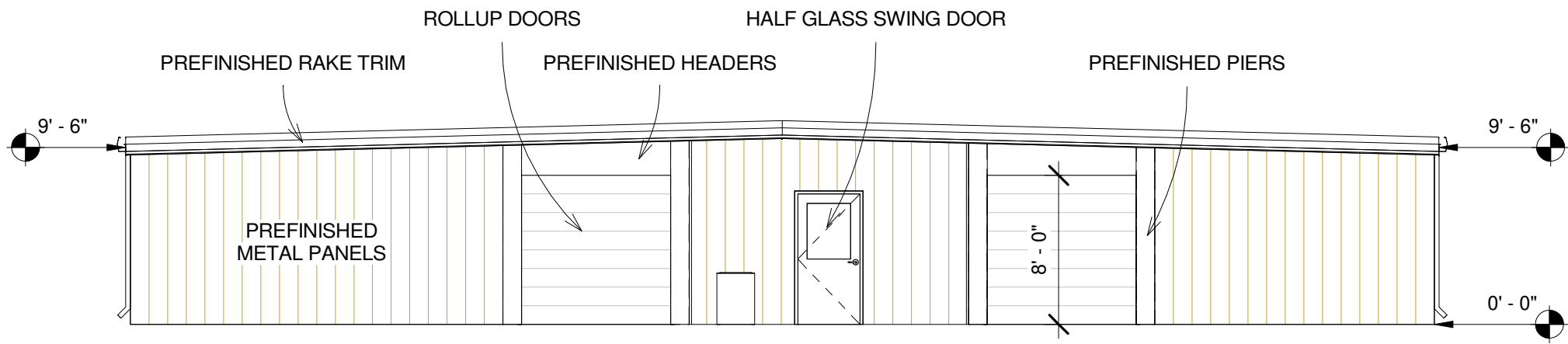
① Unit Mix - Bldg 11  
1/8" = 1'-0"



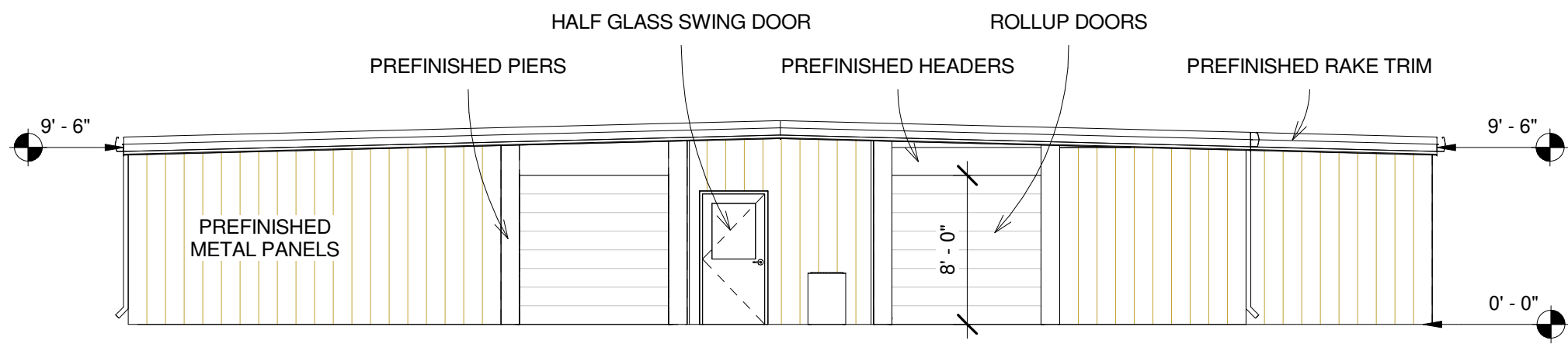
② Bldg 11 SW Elevation  
1/8" = 1'-0"



③ Bldg 11 NE Elevation  
1/8" = 1'-0"



④ Bldg 11 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 11 SE Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
6/26/2019 9:02:02 AM  
SSI  
AH  
CC

S111  
Building 11



7/25/2019

**City of Rockwall**  
**Project Plan Review History**



<b>Project Number</b>	SP2019-027	<b>Owner</b>	TRUMAN HEIGHTS LLC	<b>Applied</b>	7/12/2019	LM
<b>Project Name</b>	259 Ranch Trail	<b>Applicant</b>	HORIZON RAOD SELF STORAGE LLC	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>					<b>Zoning</b>
231 RANCH TRAIL	ROCKWALL, TX 75032					
<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>		<b>General Plan</b>
RAINBOW ACRES	22		22	4720-0000-0022-00-OR		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/12/2019	7/19/2019				
ENGINEERING	Sarah Hager	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	

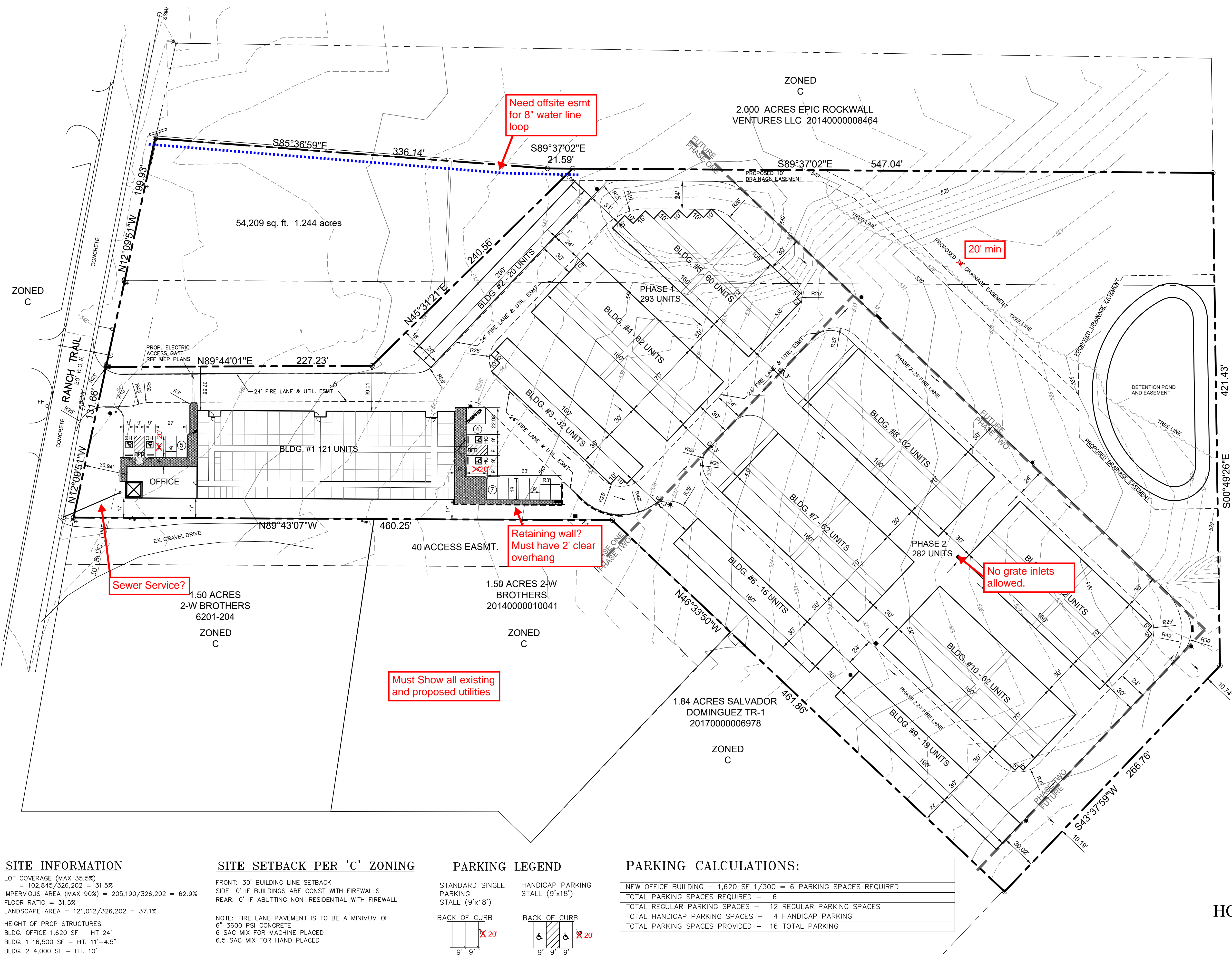
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2019 11:32 AM SH) - No grate inlets allowed. - Must show existing and proposed utilities. - Where is the sewer service? - Parking spaces must have 2' clear overhang. - Must loop 8" water line and include an easement on it. - Trees are to be removed from the drainage system easement.  The following items are for your information for engineering design. - 4% Engineering Inspection Fees - Impact Fees - Must meet City Standards. - Minimum easement width is 20' - Must have sheet flow conditions before crossing property lines or will need an easement. - Maximum 4:1 slope for grades - Must loop water - Must have detention. Manning's C-value is per zoning - Dumpster enclosure must drain to an oil/water separate and then to the storm lines. - Retaining walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls. - Will need to complete flood study. Review fees apply - Detention Must be over the existing 100-year water surface - Must have 2-Ft freeboard for detention - Must meet all standards of design and construction - Full panel concrete replacement on water ties in Ranch Trail - No grate inlets allowed. - WOUS/Wetland Determination						
FIRE	Ariana Hargrove	7/12/2019	7/19/2019	7/18/2019	6 COMMENTS	
(7/18/2019 4:28 PM AA) Presence of automatic fire sprinkler system shall be indicated on the plans. (Fire sprinkler protection required for all buildings except those that are less than 5,000 square feet and have no interior corridors.)  The proposed location of the Fire Department Connections (FDCs) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.						
GIS	Lance Singleton	7/12/2019	7/19/2019	7/16/2019	4 APPROVED	See comment
(7/16/2019 3:54 PM LS) Address will be: 231 RANCH TRAIL, ROCKWALL, TX 75032						
PLANNING	Korey Brooks	7/12/2019	7/19/2019	7/25/2019	13 COMMENTS	Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-027 Site Plan for Mini Warehouse Facility on Ranch Trail						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This a request by Russell Phillips of Horizon Road Self Storage, LLC for the approval of a site plan for a Mini-Warehouse facility on a 7.489-acre tract of land identified as Lot 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally situated north of Horizon Road and east of Ranch Trail Road.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-027) in the lower right hand corner of all pages on future submittals.						
M.4 Please note, according to the specific use permit and approved concept elevations, the building containing the office is supposed to have 'masonry veneer' along the entire south façade.						
M.5 The maximum number of storage units provided shall not exceed 575 units for the facility.						
M.6 The residential unit as an accessory to the permitted use shall not exceed 1,600 square feet.						
M.7 The residential unit may exceed one story, but shall not be greater than 36 feet in height.						
M.8 No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, trailers, and motor or self-propelled vehicles).						
M.9 Businesses shall not be allowed to operate within individual storage units.						
M.10 The commercial operation of rental trucks and trailers shall be prohibited.						
M.11 The developer shall maintain the treeline at the south, east, and north property lines.						
M.12 Please note, according to the approved SUP, any perimeter building with facades that are visible from the street shall be 100% masonry						
M.13 Please provide scale and vicinity map on all pages.						
M.14 Please provide site data table on all sheets.						
M.15 Please note, the plant legend for the siteplan does not line up with the Common Name rows.						
M.16 Please show front setback and landscape buffer on plans.						
M.17 The landscape plan shows an area where existing trees are to remain toward the southeast property line; however, the remaining callouts for existing trees do not show the trees.						
M.18 Please provide owner information and developer information on all sheets.						
M.19 Please show and label property line on photometric plan.						
M.20 Please provide cut sheets.						
M.21 It is difficult to see the locations of the fixtures on the photometric plan.						
M.22 Please provide tree mitigation table on the treescape plan (e.g. tree number, type, caliper inches, removed/saved, etc.).						
M.23 Please leave signage blank on the building elevations.						
M.24 Please note, as shown, a variance to vertical and horizontal articulation is required.						
M.25 Please indicate all facades that face the street.						
M.26 Please provide specs of materials (e.g. brick vs stone, type of awnings, etc.)						
I.27 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 6, 2019. The Planning and Zoning Worksession for this case is July 30, 2019. The Park Board Meeting for this case is August 6, 2019. The Planning and Zoning Meeting for this case is August 13, 2019.						



Z:\PROJECTS\05211 Rockwall Mini Storage\Drawings\SITE PLAN.dwg--SITE PLAN PLOTTED Jul 11, 2019 at 4:07pm by Clayton Mulvey | Last Saved by: Clayton Mulvey



#### SITE INFORMATION

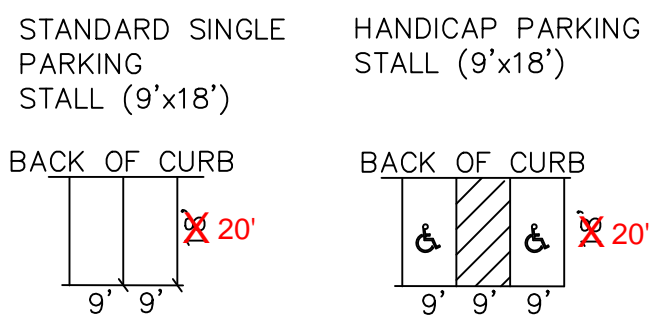
LOT COVERAGE (MAX 35.5%)  
= 102,845/326,202 = 31.5%  
IMPERVIOUS AREA (MAX 90%) = 205,190/326,202 = 62.9%  
FLOOR RATIO = 31.5%  
LANDSCAPE AREA = 121,012/326,202 = 37.1%  
HEIGHT OF PROP STRUCTURES:  
BLDG. OFFICE 1,620 SF - HT 24'  
BLDG. 1 16,500 SF - HT. 11'-4.5"  
BLDG. 2 4,000 SF - HT. 10'  
BLDG. 3 4,600 SF - HT. 10'-3"  
BLDG. 4 11,200 SF - HT. 9'-6"  
BLDG. 5 9,650 SF - HT. 9'-10.5"  
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BLDG. 10 11,200 SF - HT. 9'-6"  
BLDG. 11 11,200 SF - HT. 9'-6"

PROP USE OF STRUCTURES: MINI PUBLIC STORAGE WAREHOUSES

#### SITE SETBACK PER 'C' ZONING

FRONT: 30' BUILDING LINE SETBACK  
SIDE: 0' IF BUILDINGS ARE CONST WITH FIREWALLS  
REAR: 0' IF ABUTTING NON-RESIDENTIAL WITH FIREWALL  
NOTE: FIRE LANE PAVEMENT IS TO BE A MINIMUM OF  
6" 3600 PSI CONCRETE  
6 SAC MIX FOR MACHINE PLACED  
6.5 SAC MIX FOR HAND PLACED

#### PARKING LEGEND



NOTE: FIRE LANE PAVEMENT IS TO BE A MINIMUM OF 6" 3600 PSI CONCRETE  
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6.5 SAC MIX FOR HAND PLACED

#### PARKING CALCULATIONS:

NEW OFFICE BUILDING - 1,620 SF 1/300 = 6 PARKING SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED - 6
TOTAL REGULAR PARKING SPACES - 12 REGULAR PARKING SPACES
TOTAL HANDICAP PARKING SPACES - 4 HANDICAP PARKING
TOTAL PARKING SPACES PROVIDED - 16 TOTAL PARKING

- 4% Engineering Inspection Fees
- Impact Fees
- Must meet City Standards.
- Minimum easement width is 20'
- Must have sheet flow conditions before crossing property lines or will need an easement.
- Maximum 4:1 slope for grades
- Must loop water
- Must have detention. Manning's C-value is per zoning
- Dumpster enclosure must drain to an oil/water separate and then to the storm lines.
- Retaining walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.
- Will need to complete flood study.
- Review fees apply
- Detention Must be over the existing 100-year water surface
- Must have 2-Ft freeboard for detention
- Must meet all standards of design and construction
- Full panel concrete replacement on water ties in Ranch Trail
- No grate inlets allowed.
- WOUS/Wetland Determination

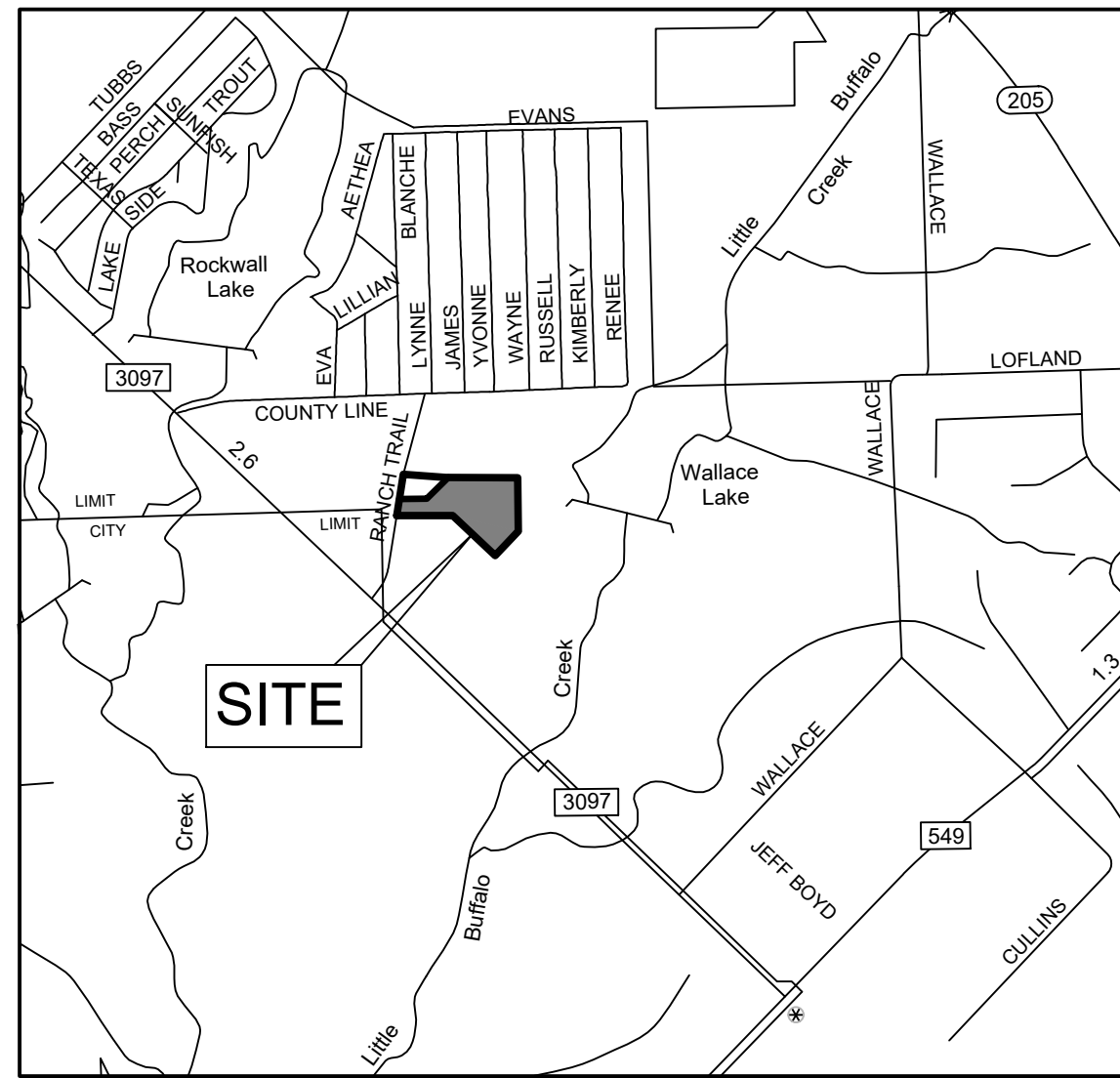
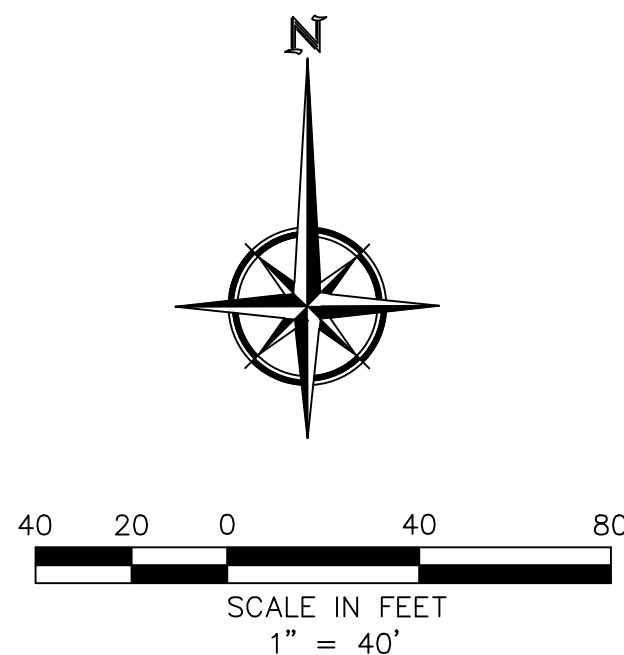
### SITE PLAN

## HORIZON ROAD SELF STORAGE

326,202 sf 7.489 Acres  
TRACT 23 OF RAINBOW ACRES  
WILLIAM W. FORD SURVEY, A-20  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

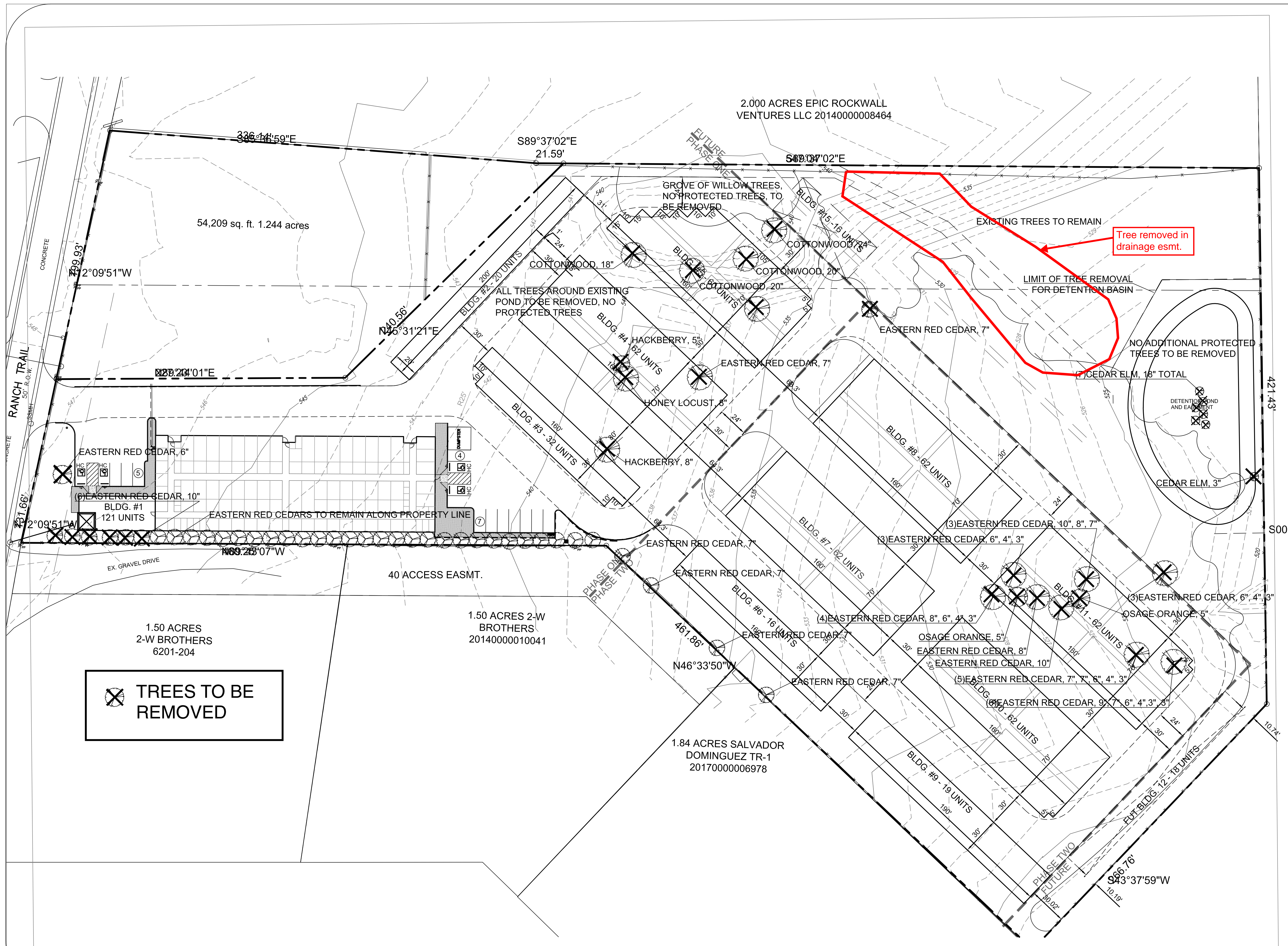
Owner/Applicant:  
**ROCKWALL RETAIL INVESTORS, LLC**  
521 MORaine WAY  
HEATH, TX 75032  
Telephone: 469.446.7734

Engineer  
**ENGINEERING CONCEPTS & DESIGN, L.P.**  
ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM



LEGEND	
1/2" I.R.S. W/CAP	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
I.R.F.	IRON ROD FOUND
GW	GUY WIRE
PP	POWER POLE
LP	LIGHT POLE
EM	ELECTRIC METER
ICV	IRRIGATION CONTROL VALVE
B	BOLLARD
WM	WATER METER
SSMH	SANITARY SEWER MANHOLE
TPED	TELEPHONE PEDESTAL
XFR	ELECTRIC TRANSFORMER
MB	MAILBOX
WV	WATER VALVE
EBX	ELECTRIC BOX
FOM	FIBER OPTIC CABLE MARKER
A/C	AIR CONDITIONER UNIT
ES	ELECTRIC SWITCH
HW	HEADWALL
TS	TRAFFIC SIGN
WF	WATER FAUCET
FH	FIRE HYDRANT
FOV	FIBER OPTIC VAULT
CMP	CORRUGATED METAL PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCF	REINFORCED CONCRETE PIPE
P.R.R.C.T.	PLAT RECORDS ROCKWALL CO. TX.
D.R.R.C.T.	DEEDS RECORDS ROCKWALL CO. TX.
—	EDGE OF ASPHALT
—X—	WIRE FENCE
—E—	OVERHEAD ELECTRIC LINE
●	PROPOSED FIRE HYDRANT
○	CLEAN-OUT
○C○	FIRE DEPARTMENT CONNECTION
FDC	FIRE DEPARTMENT CONNECTION
—	ABANDONED WATER/SEWER LINES
—	REMOVE OVERHEAD DOWNGUY





# TREESCAPE PLAN

General Notes

No.	Revision/Issue	Date

Firm Name and Address

ML Johnson  
& Associates

Wylie, Texas

Project Name and Address

HORIZON ROAD SELF STORAGE  
ROCKWALL, TEXAS

Project

Date 7/8/2019

Scale  
NOT TO SCALE

Sheet





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

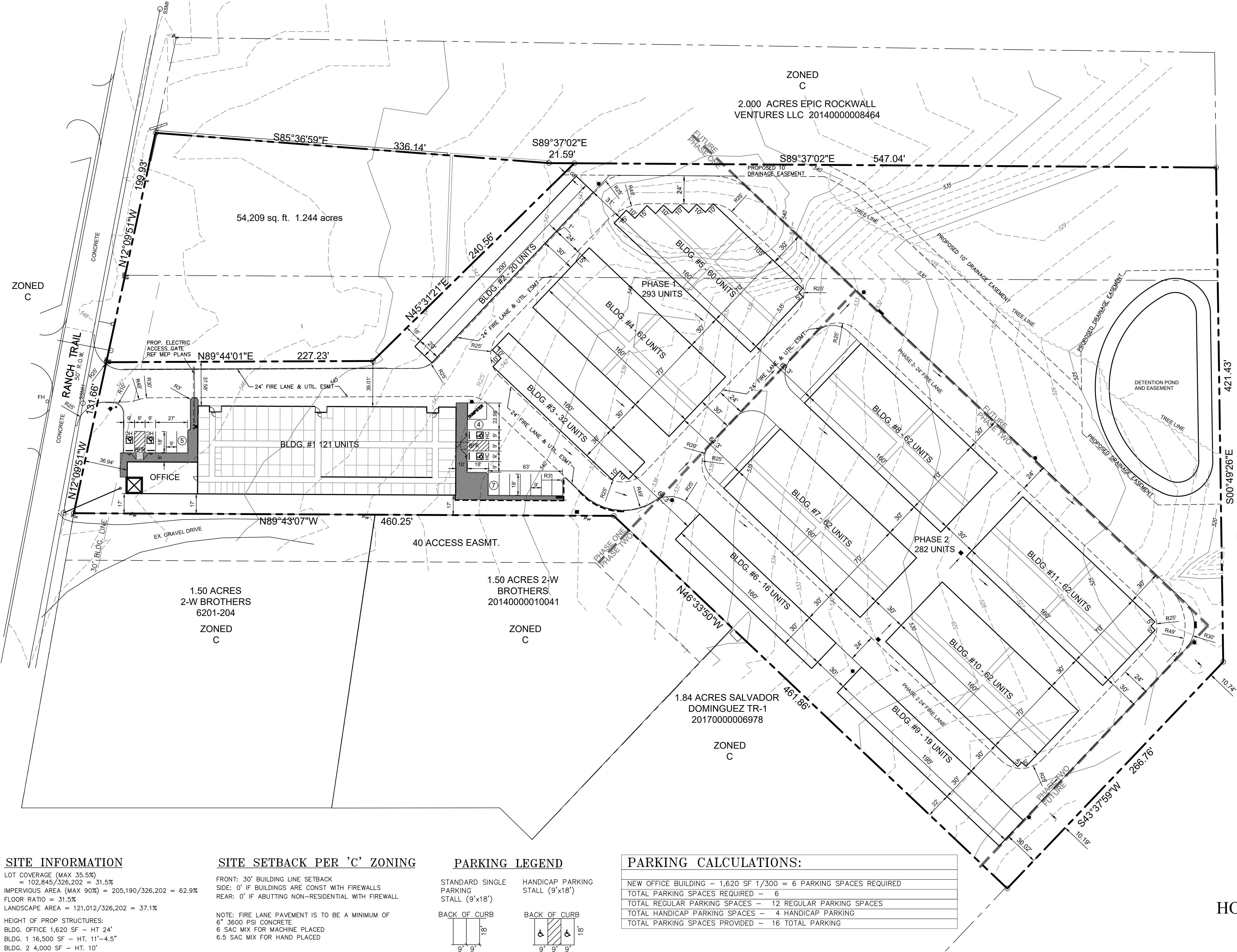
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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ZONED  
C



#### SITE INFORMATION

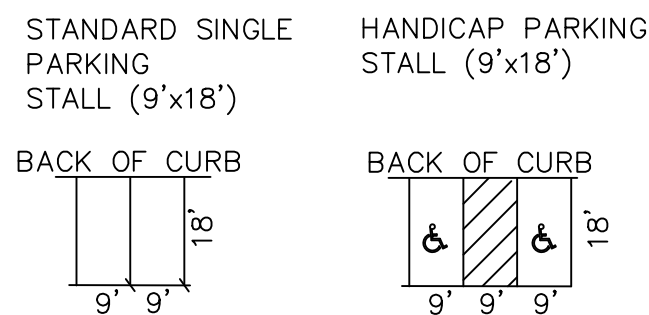
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201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

Scale 1"=40'

July 10, 2019

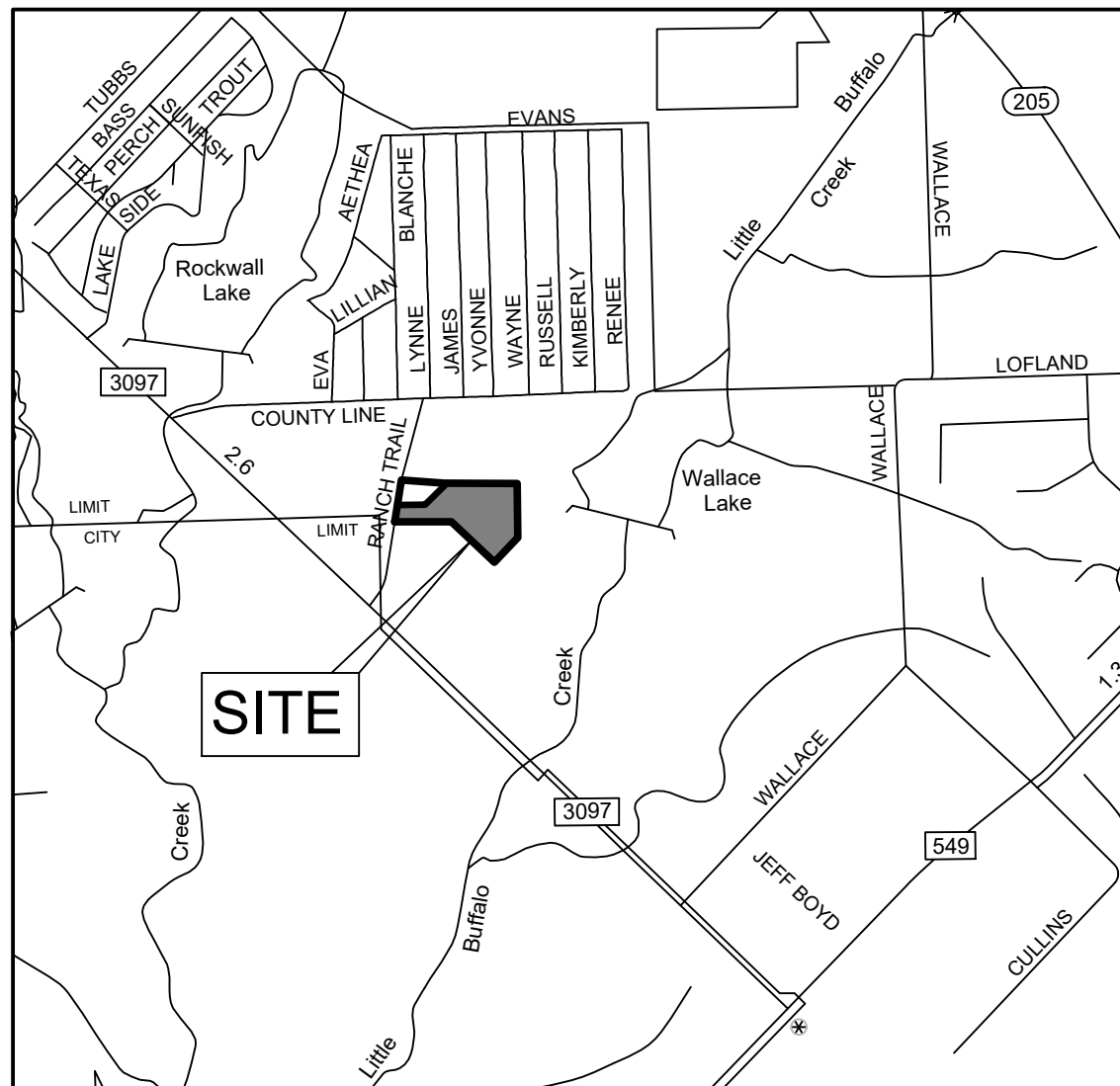
Project No. 05211

SP2019-\*\*\*

Sheet 1 of 1



40 20 0 40 80  
SCALE IN FEET  
1" = 40'



#### LEGEND

- |                      |                                                          |
|----------------------|----------------------------------------------------------|
| 1/2" I.R.S.<br>W/CAP | 1/2" IRON ROD SET WITH YELLOW<br>CAP STAMPED "RPLS 3963" |
| I.R.F.               | IRON ROD FOUND                                           |
| GW                   | GUY WIRE                                                 |
| PP                   | POWER POLE                                               |
| LP                   | LIGHT POLE                                               |
| EM                   | ELECTRIC METER                                           |
| ICV                  | IRRIGATION CONTROL VALVE                                 |
| B                    | BOLLARD                                                  |
| WM                   | WATER METER                                              |
| SSMH                 | SANITARY SEWER MANHOLE                                   |
| TPED                 | TELEPHONE PEDESTAL                                       |
| XFR                  | ELECTRIC TRANSFORMER                                     |
| MB                   | MAILBOX                                                  |
| WV                   | WATER VALVE                                              |
| EBX                  | ELECTRIC BOX                                             |
| FOM                  | FIBER OPTIC CABLE MARKER                                 |
| A/C                  | AIR CONDITIONER UNIT                                     |
| ES                   | ELECTRIC SWITCH                                          |
| HW                   | HEADWALL                                                 |
| TS                   | TRAFFIC SIGN                                             |
| WF                   | WATER FAUCET                                             |
| FH                   | FIRE HYDRANT                                             |
| FOV                  | FIBER OPTIC VAULT                                        |
| CMP                  | CORRUGATED METAL PIPE                                    |
| PVC                  | POLYVINYL CHLORIDE PIPE                                  |
| RCP                  | REINFORCED CONCRETE PIPE                                 |
| P.R.R.C.T.           | PLAT RECORDS ROCKWALL CO. TX.                            |
| D.R.R.C.T.           | DEEDS RECORDS ROCKWALL CO. TX.                           |
| ---                  | EDGE OF ASPHALT                                          |
| -X-                  | WIRE FENCE                                               |
| -E-                  | OVERHEAD ELECTRIC LINE                                   |
| ● PPH                | PROPOSED FIRE HYDRANT                                    |
| ○ ○ ○                | CLEAN-OUT                                                |
| FDC                  | FIRE DEPARTMENT CONNECTION                               |
| ~~~~~                | ABANDONED WATER/SEWER LINES<br>REMOVE OVERHEAD DOWNGUY   |

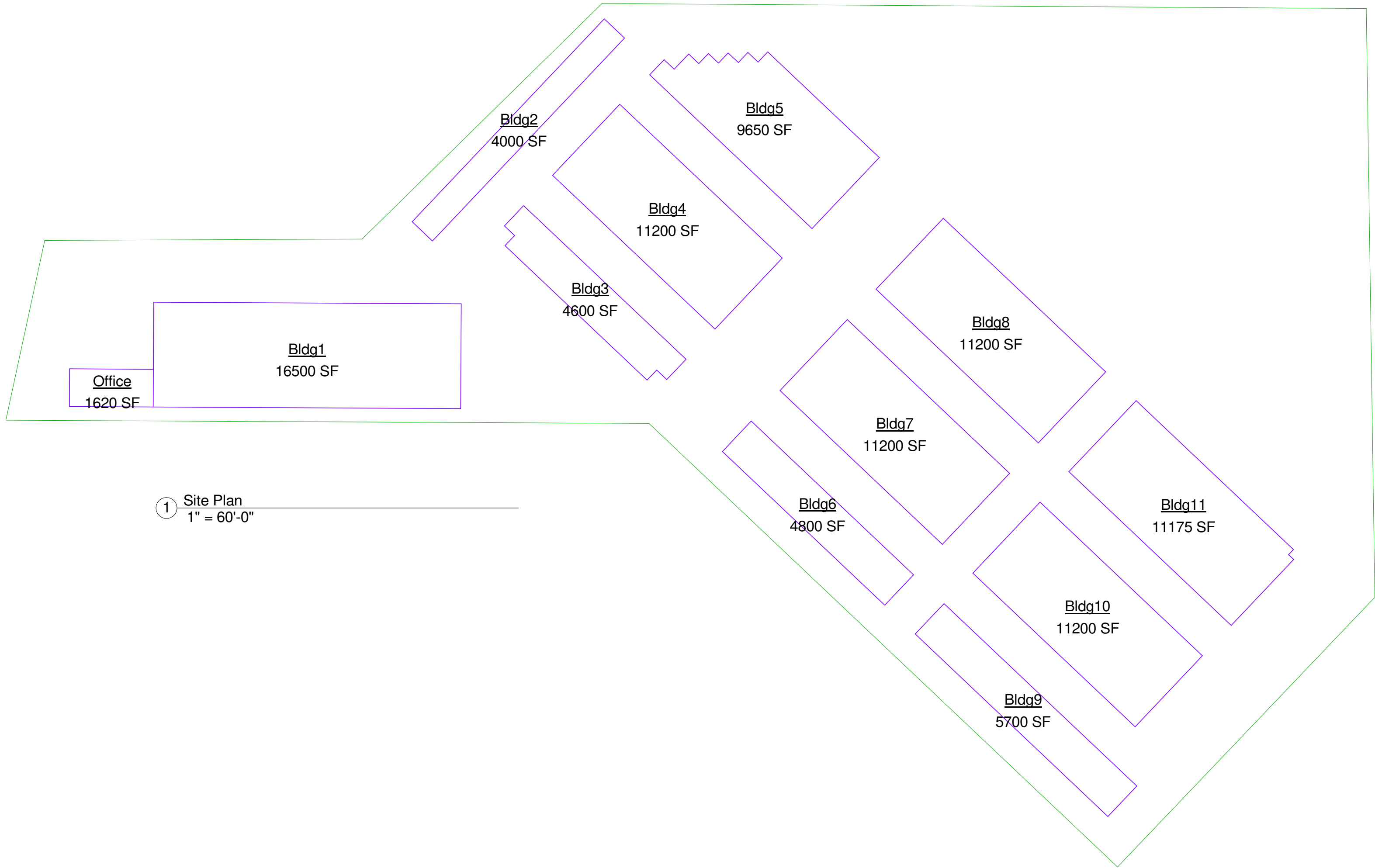
# Horizon Road Self Storage



3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

www.storagestructuresinc.com



TYPICAL STORAGE BUILDING STRUCTURE = 5'-0"x10'-0" LIGHT GAUGE FRAMING SYSTEM  
OFFICE AND TOWER STRUCTURE = STEEL COLUMN AND BEAM  
ROOF MATERIALS = 24ga STANDING SEEM ROOFING, GALVALUME



3807 Carrollton - Villa Rica Hwy  
Villa Rica, GA 30180  
770-456-1602

Unit Mix Schedule - Total			
Count	Name	Rent As	%
11	5x5	275	2%
17	5x10	850	3%
158	10x10	15800	27%
165	10x15	24750	29%
189	10x20	37800	33%
35	10x30	10500	6%
575		89975	100%

Area Schedule (Gross Building)		
Name	Area	Perimeter
Bldg1	16500 SF	590' - 0"
Bldg2	4000 SF	440' - 0"
Bldg3	4600 SF	380' - 0"
Bldg4	11200 SF	460' - 0"
Bldg5	9650 SF	460' - 0"
Bldg6	4800 SF	380' - 0"
Bldg7	11200 SF	460' - 0"
Bldg8	11200 SF	460' - 0"
Bldg9	5700 SF	440' - 0"
Bldg10	11200 SF	460' - 0"
Bldg11	11175 SF	460' - 0"
Office	1620 SF	174' - 0"
Grand total: 12	102845 SF	5164' - 0"

Drawing Schedule			
Sheet Number	Sheet Name	Sheet Issue Date	Revised Date
S001	Cover	04/09/19	06/26/19
S002	Unit Mix	04/09/19	06/25/19
S101	Building 1	06/19/19	06/25/19
S102	Building 2	06/19/19	06/25/19
S103	Building 3	06/19/19	06/25/19
S104	Building 4	06/19/19	06/25/19
S105	Building 5	06/19/19	06/25/19
S106	Building 6	06/19/19	06/25/19
S107	Building 7	06/19/19	06/26/19
S108	Building 8	06/19/19	06/26/19
S109	Building 9	06/19/19	06/26/19
S110	Building 10	06/19/19	06/26/19
S111	Building 11	06/19/19	06/26/19

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

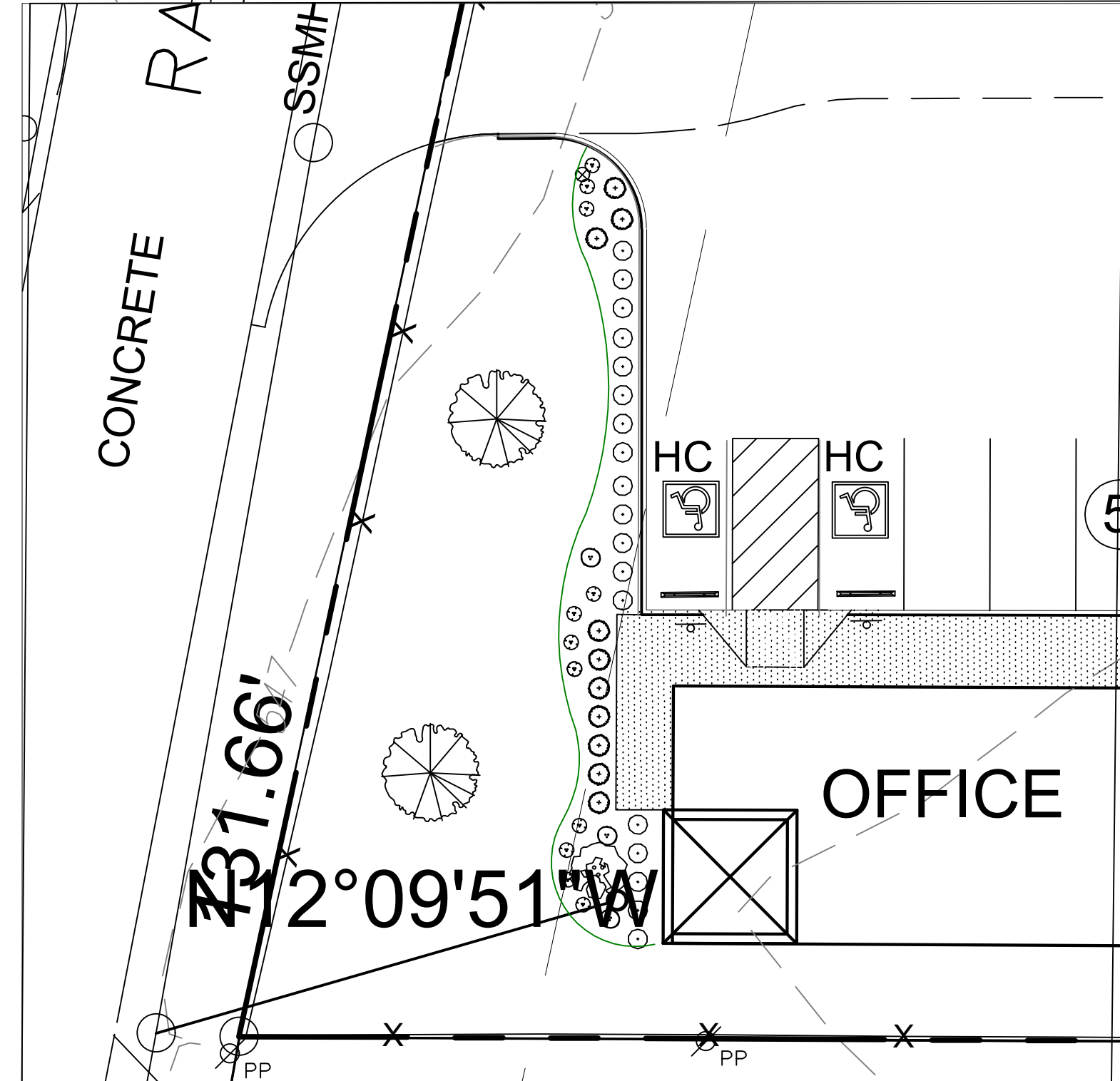
Engineer  
Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
6/26/2019 9:01:51 AM  
SSI  
AH  
CC

S001  
Cover





Plant Legend					
Qty	Common Name	Size	Height	Spread	Spacing
2	Live Oak	4" Cal	12'	5'	NA
1	Crape Myrtle	30 Gal	6'	4'	NA
18	Dwarf Burford Holly	3 Gal	24"	18"	3' o.c.
10	Indian Hawthorn	3 Gal	15"	15"	3' o.c.
3	Loropetalum	3 Gal	15"	15"	NA
12	Nandina	3 Gal	15"	15"	3' o.c.
117649	Common Bermuda, sf	NA	NA	NA	NA

General Notes		
No.	Revision/Issue	Date

Firm Name and Address
-----------------------

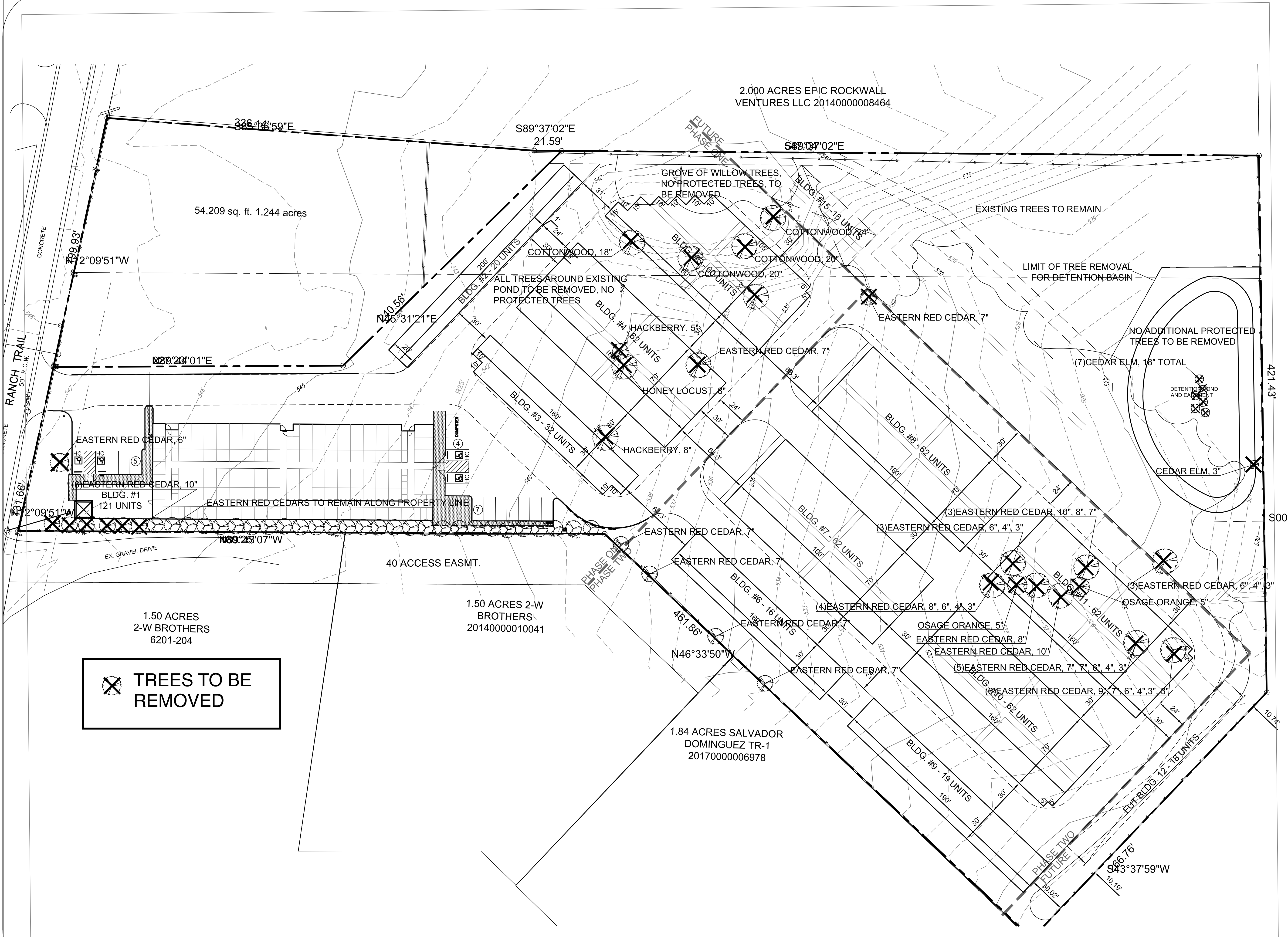
  

Project Name and Address  HORIZON ROAD SELF STORAGE ROCKWALL, TEXAS
------------------------------------------------------------------------------

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Project				
Date 7/8/2019				
Scale NOT TO SCALE				





General Notes

TREESCAPE PLAN

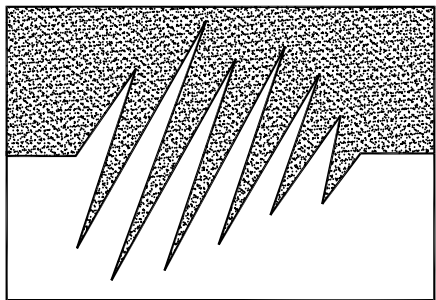
No.	Revision/Issue	Date

Firm Name and Address  
**ML Johnson  
& Associates**  
Wylie, Texas

Project Name and Address  
HORIZON ROAD SELF STORAGE  
ROCKWALL, TEXAS

Project	Sheet
Date 7/8/2019	1
Scale NOT TO SCALE	





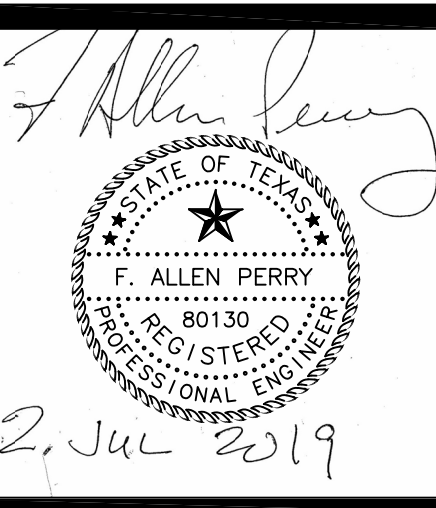
ALPACA  
Energy Solutions, Inc.

3736 Bee Cave Road  
Suite 1, #126  
Austin, Tx 78746

P : (512) 328-8999

www.alpacacenergy.com  
MEP Engineering Services  
Business Reg. No. F-3616

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# Rockwall Self Storage

Rockwall, Texas

REV. 1 7-2-19

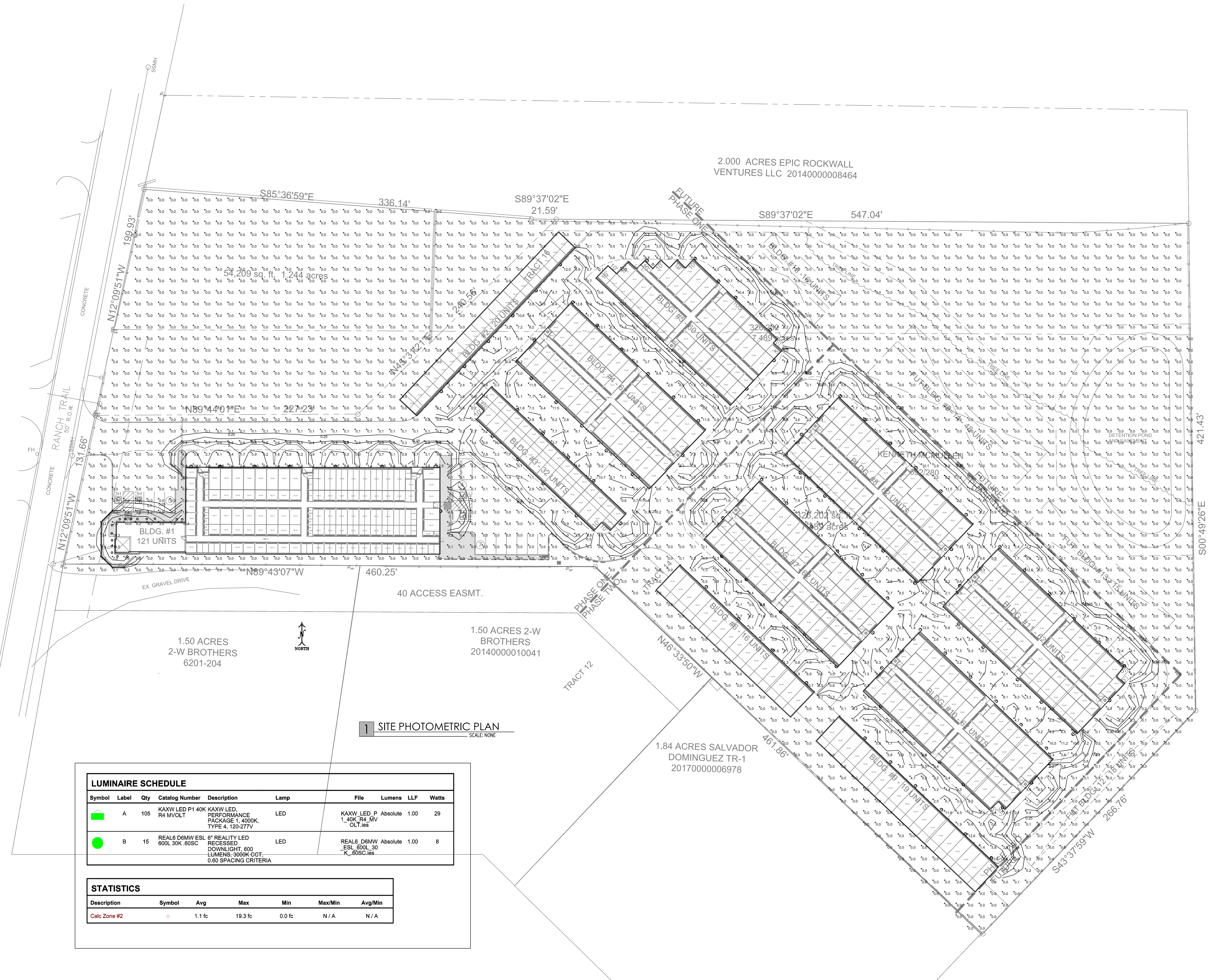
DATE: November 8, 2018

SHEET TITLE:

PHOTOMETRIC  
SITE PLAN

SHEET NUMBER:

E-401



LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
	A	105	KAXW LED P1 40K	KAXW LED, PERFORMANCE PACKAGE 1, 4000K, TYPE 4, 120-277V	LED	KAXW_LED_P1_40K_R4_MV_OLT.ies	Absolute 1.00 29
	B	15	REAL6 D6MW ESL 600L 30K 60SC	6" REALITY LED RECESSED DOWNLIGHT, 600 LUMENS, 3000K COT, 0.60 SPACING CRITERIA	LED	REAL6_D6MW_ESL_600L_30K_60SC.ies	Absolute 1.00 8

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.1 fc	19.3 fc	0.0 fc	N / A	N / A





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TOLL FREE: 877-456-1602  
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www.storagestructuresinc.com

Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

Rockwall, TX

Engineer

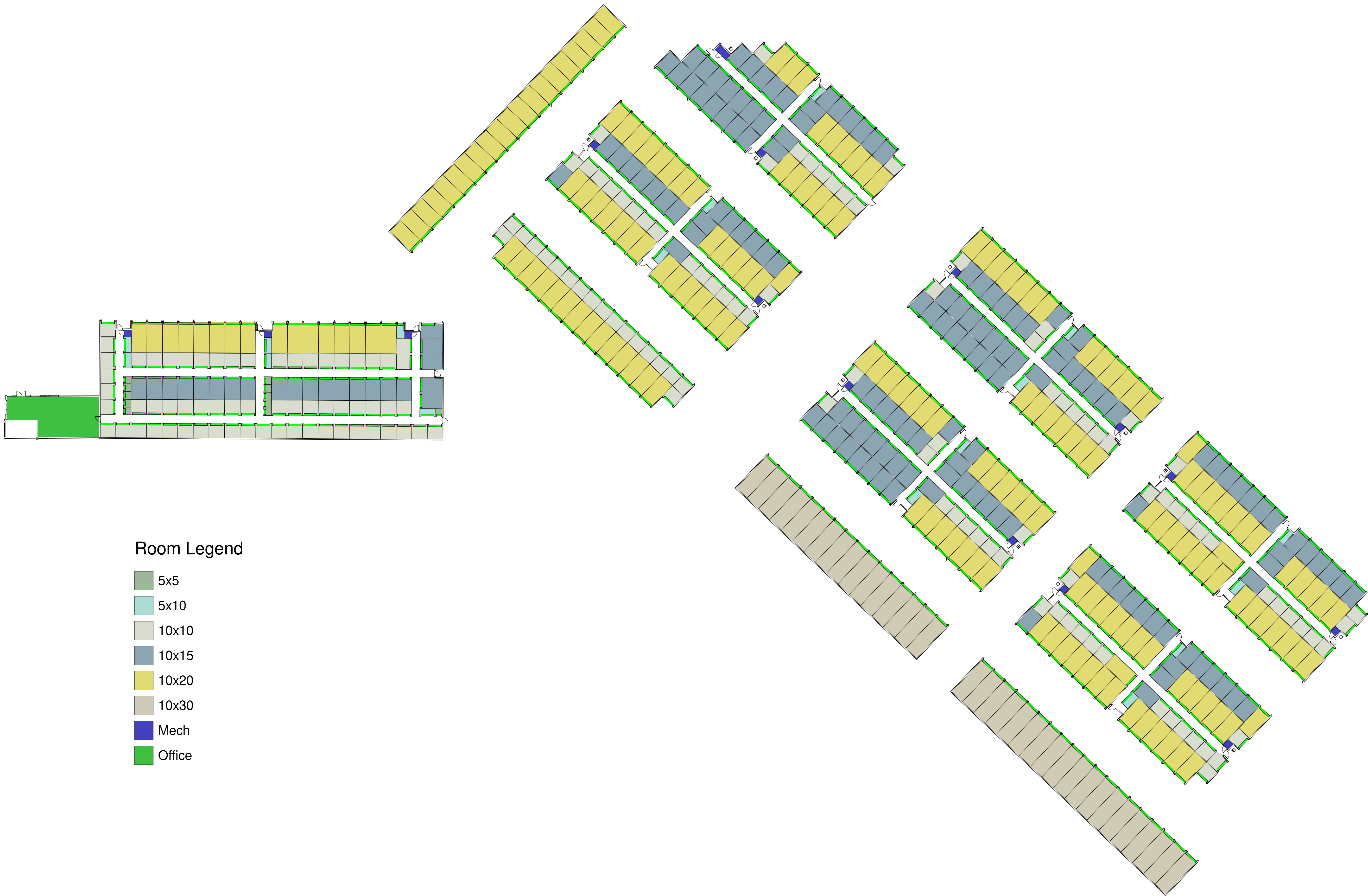
Engineer  
Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
6/26/2019 9:01:54 AM  
SSI  
AH  
CC

S002

Unit Mix



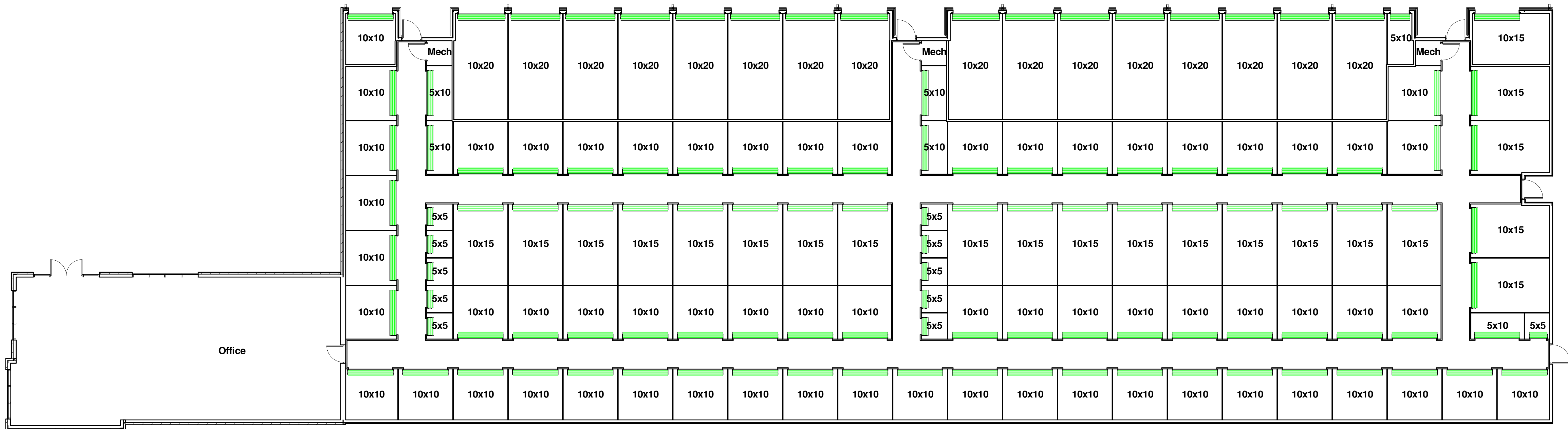
Room Legend

- 5x5
- 5x10
- 10x10
- 10x15
- 10x20
- 10x30
- Mech
- Office

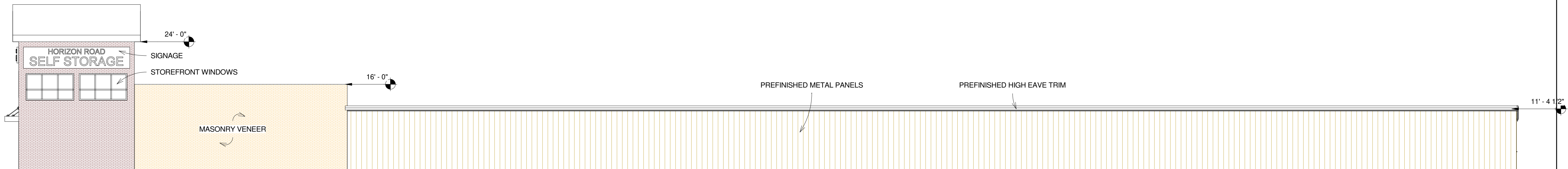
1 Unit Mix Color Scheme  
1/32" = 1'-0"

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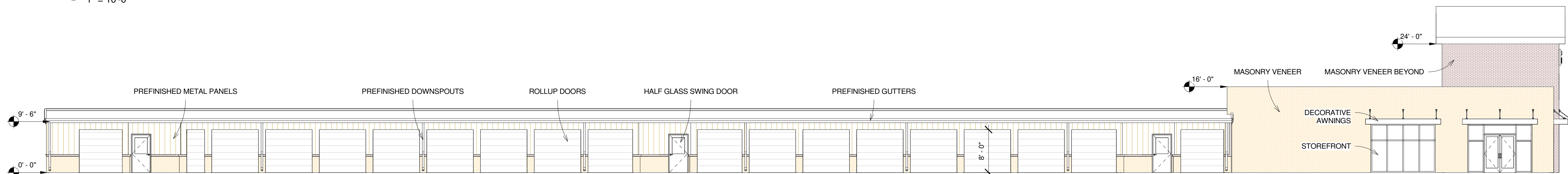




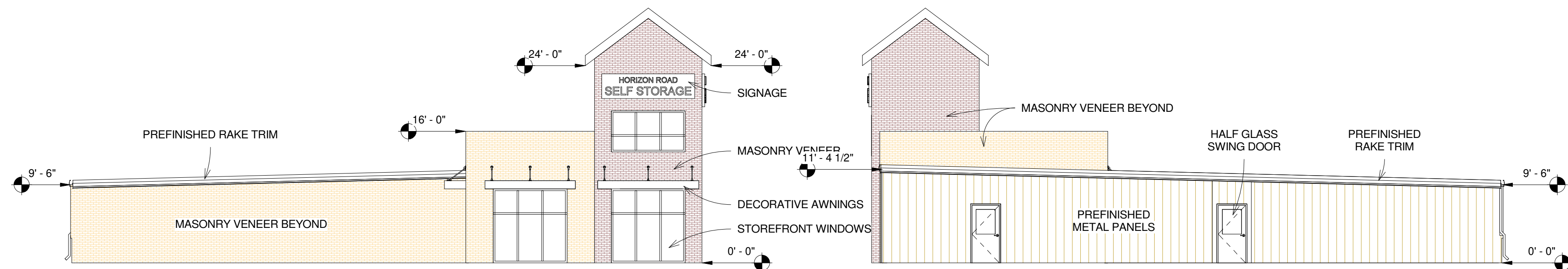
① Unit Mix - Bldg 1  
1" = 10'-0"



② Bldg 1 South Elevation  
1" = 10'-0"



③ Bldg 1 North Elevation  
1" = 10'-0"



④ Bldg 1 West Elevation  
1" = 10'-0"

⑤ Bldg 1 East Elevation  
1" = 10'-0"

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FAX: 770-456-1662

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#### Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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## Horizon Road Self Storage

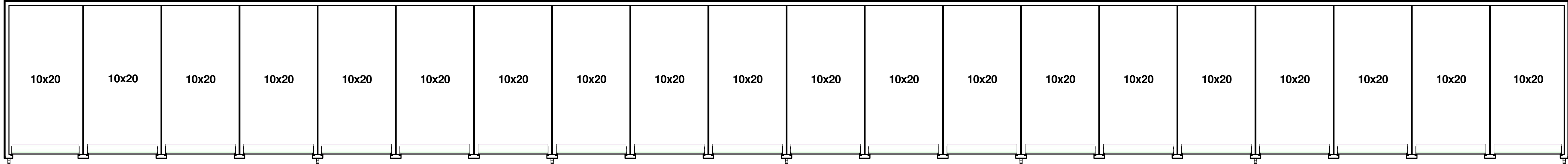
Rockwall, TX

Engineer

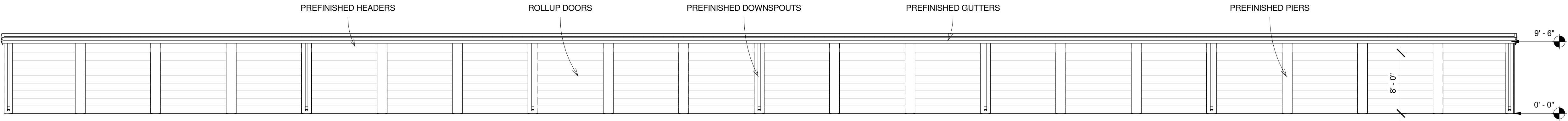
Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:55 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S101  
Building 1



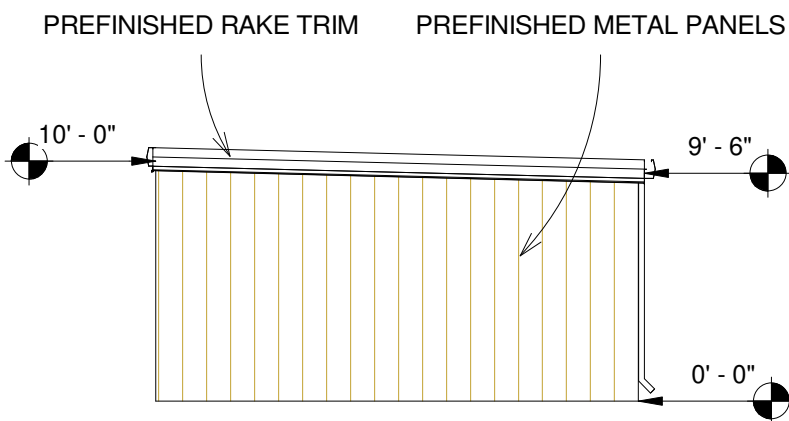
① Unit Mix - Bldg 2  
1/8" = 1'-0"



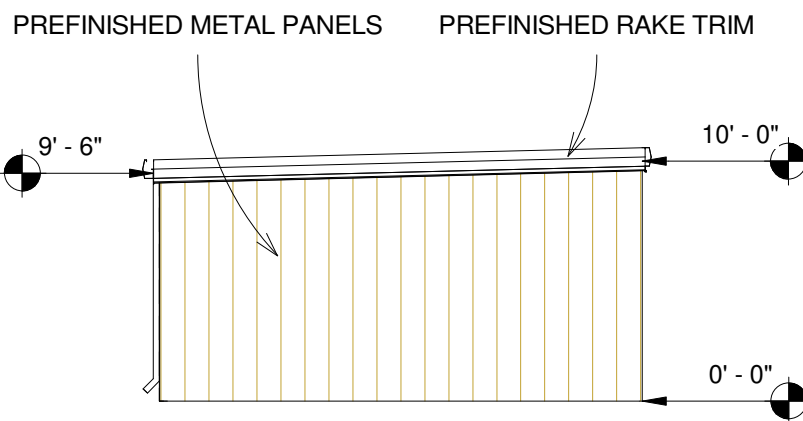
② Bldg 2 SE Elevation  
1/8" = 1'-0"



③ Bldg 2 NW Elevation  
1/8" = 1'-0"



④ Bldg 2 SW Elevation  
1/8" = 1'-0"



⑤ Bldg 2 NE Elevation  
1/8" = 1'-0"

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

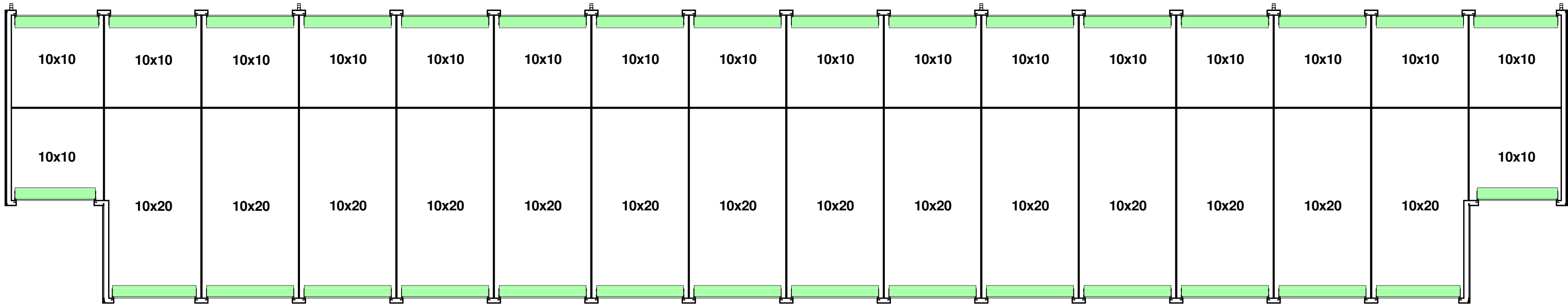
Rockwall, TX

Engineer  
Address  
PE No

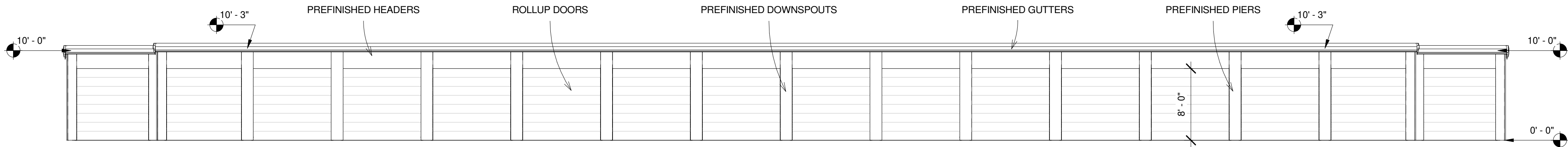
SSI Project Number	Project Number
Date	6/26/2019 9:01:56 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S102  
Building 2

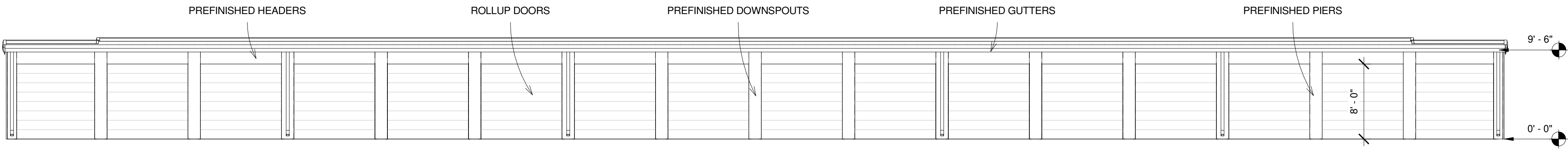




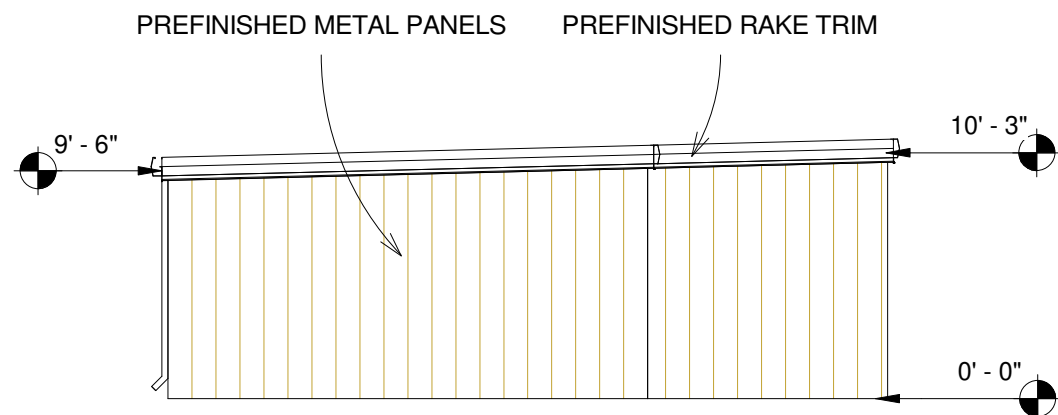
① Unit Mix - Bldg 3  
1/8" = 1'-0"



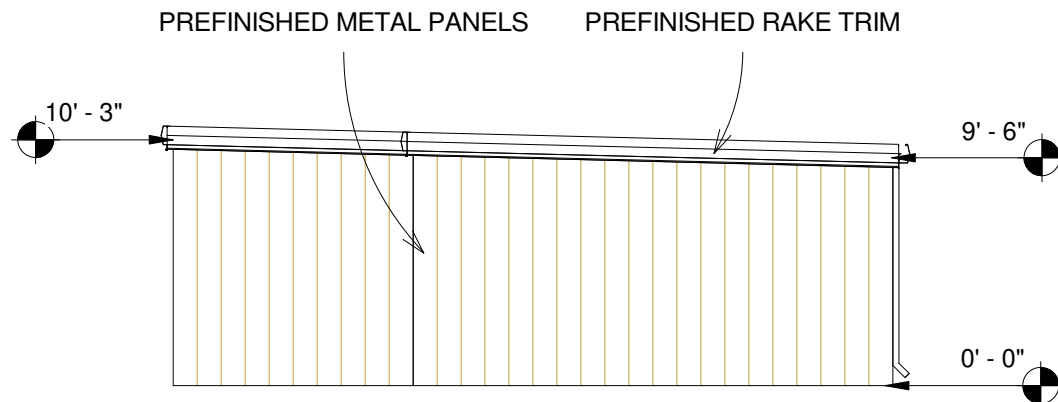
② Bldg 3 SW Elevation  
1/8" = 1'-0"



③ Bldg 3 NE Elevation  
1/8" = 1'-0"



④ Bldg 3 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 3 SE Elevation  
1/8" = 1'-0"

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:56 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S103  
Building 3



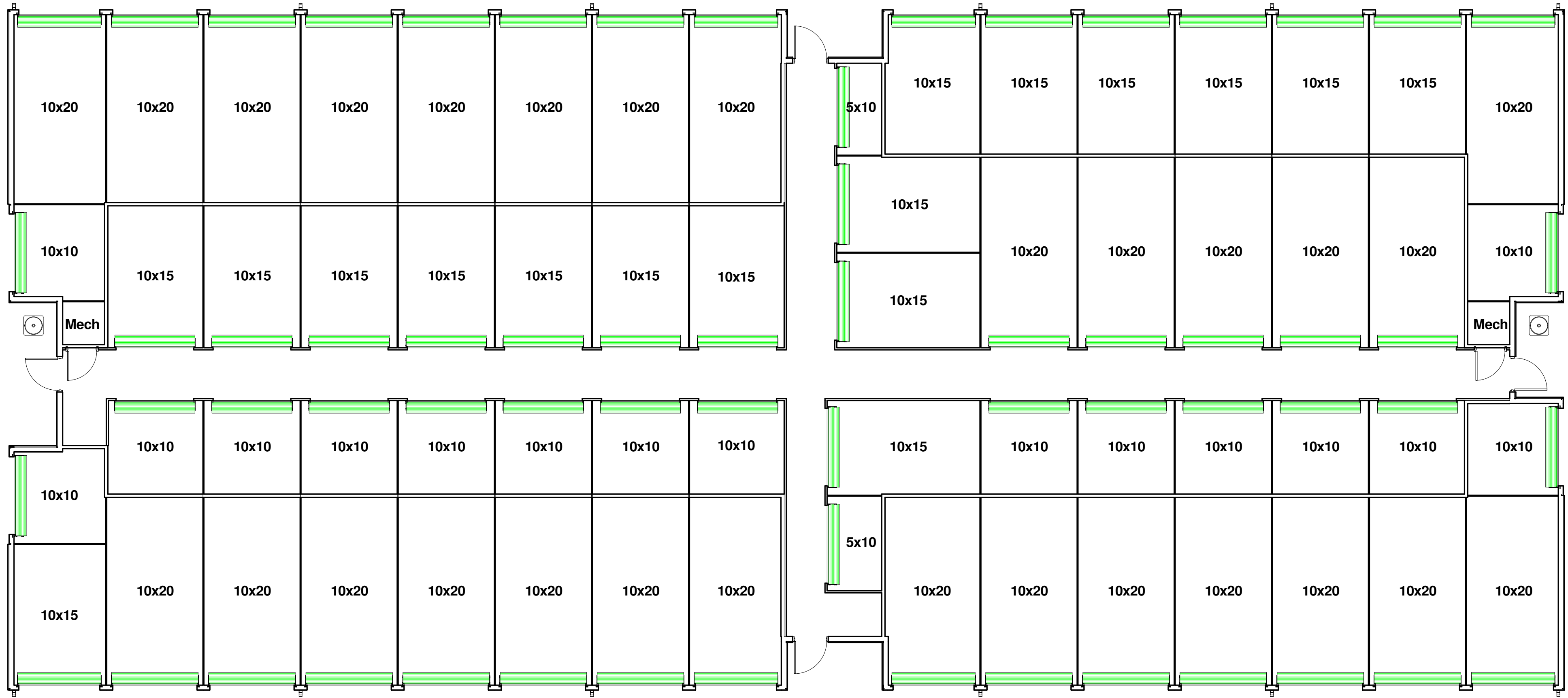
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

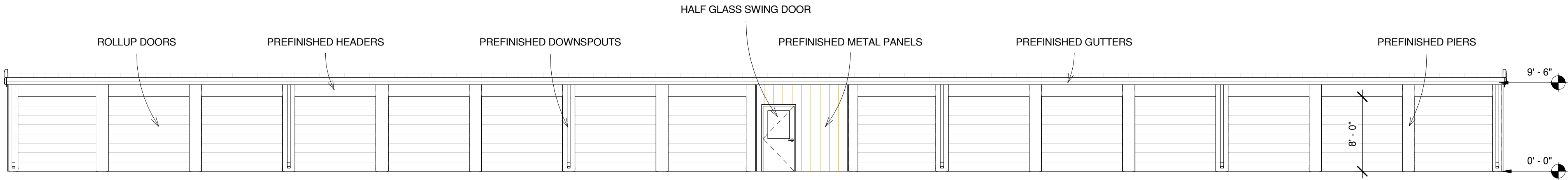
www.storagestructuresinc.com

Revision Schedule

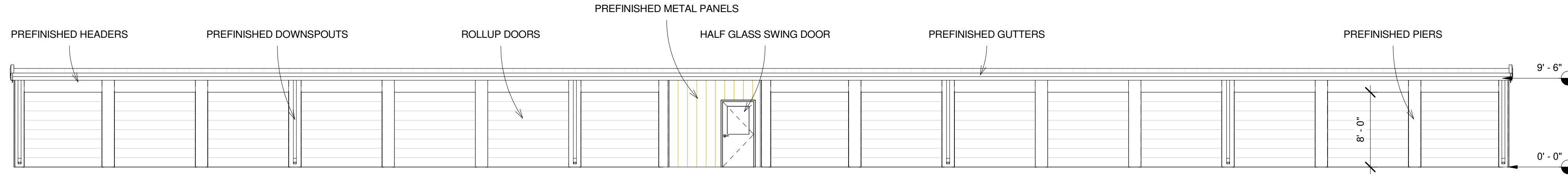
Revision Number	Revision Date	Revision Description	Issued by
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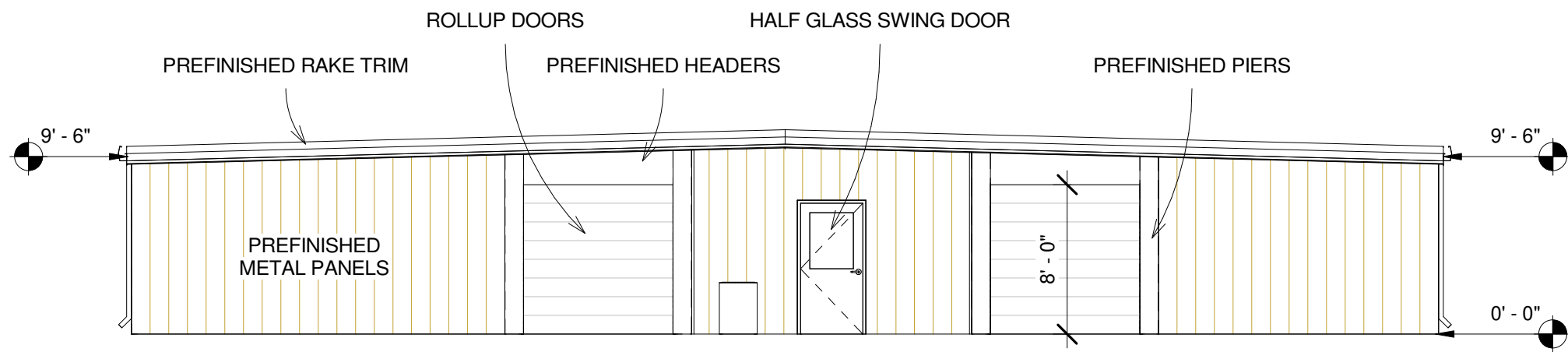
① Unit Mix - Bldg 4  
1/8" = 1'-0"



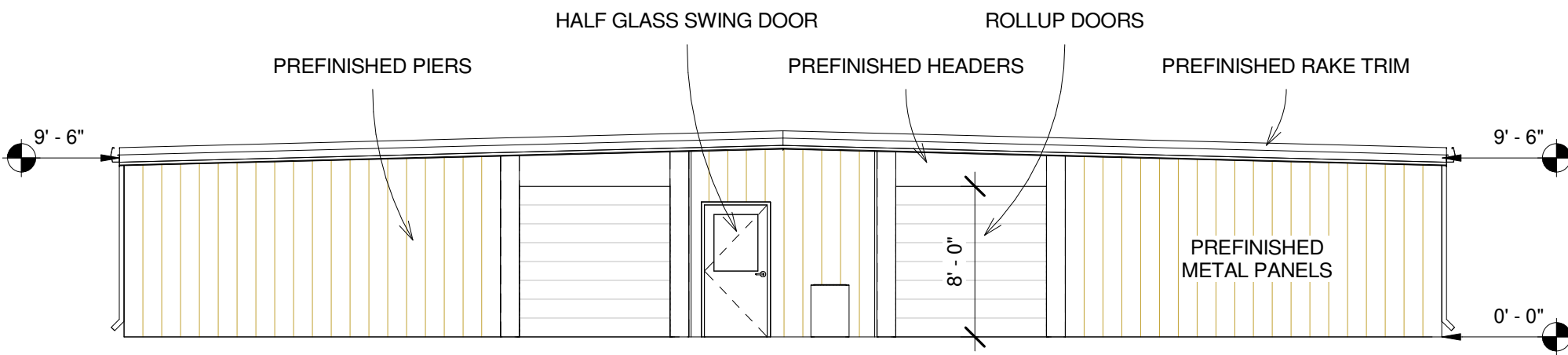
② Bldg 4 SW Elevation  
1/8" = 1'-0"



③ Bldg 4 NE Elevation  
1/8" = 1'-0"



④ Bldg 4 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 4 SE Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:57 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S104  
Building 4





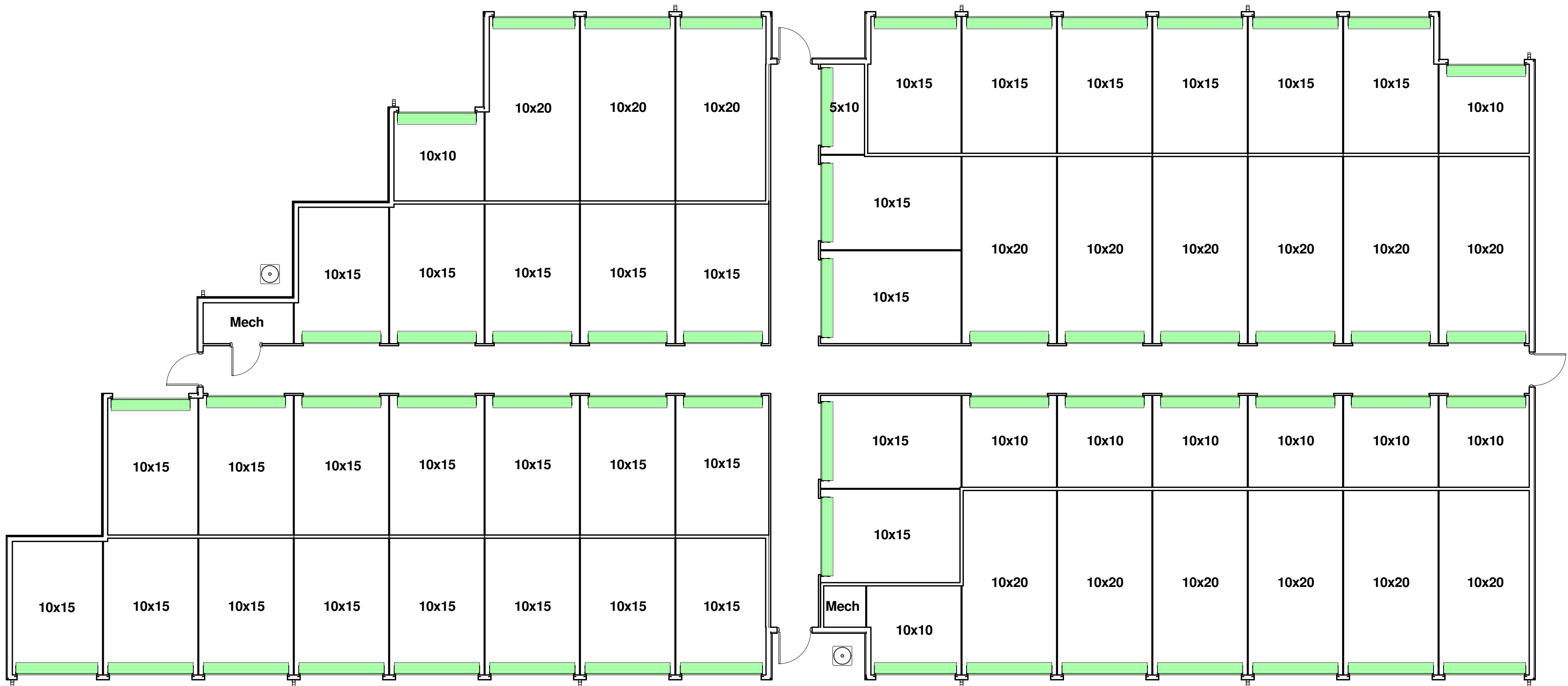
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

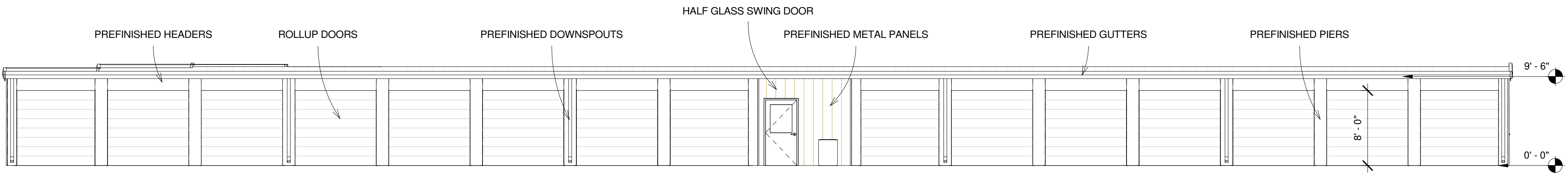
www.storagestructuresinc.com

Revision Schedule

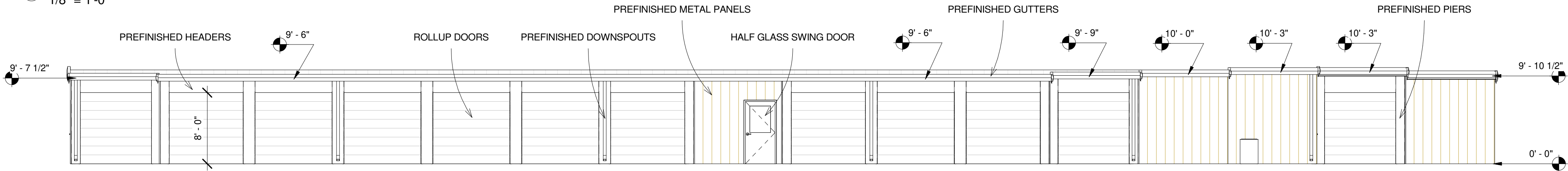
Revision Number	Revision Date	Revision Description	Issued by
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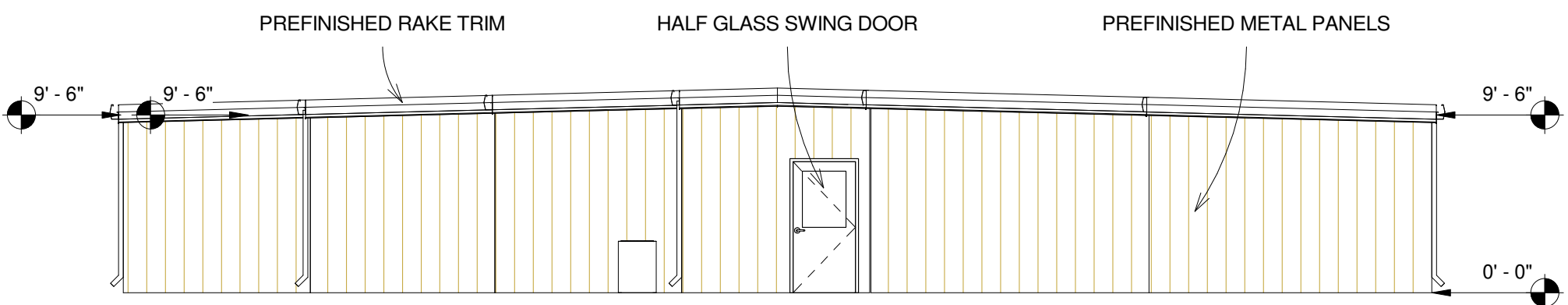
① Unit Mix - Bldg 5  
1/8" = 1'-0"



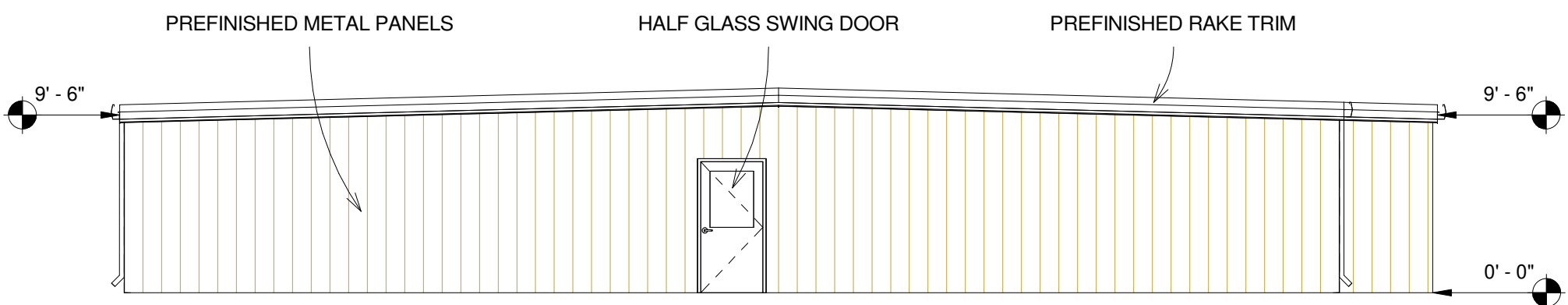
② Bldg 5 SW Elevation  
1/8" = 1'-0"



③ Bldg 5 NE Elevation  
1/8" = 1'-0"



④ Bldg 5 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 5 SE Elevation  
1/8" = 1'-0"

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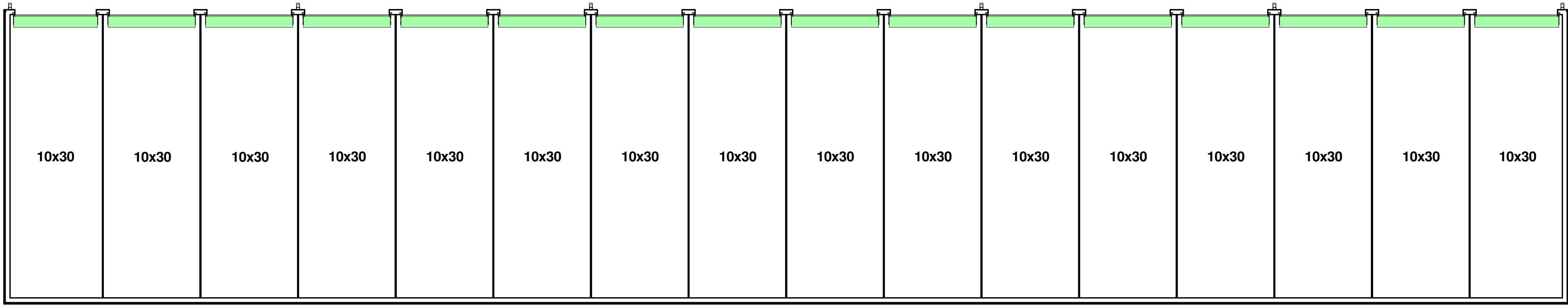
Rockwall, TX

Engineer

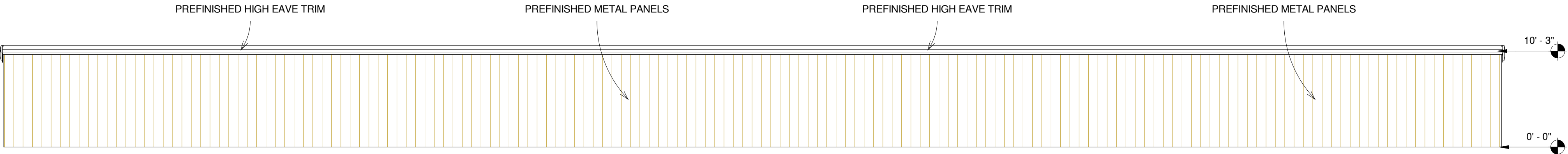
Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:58 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

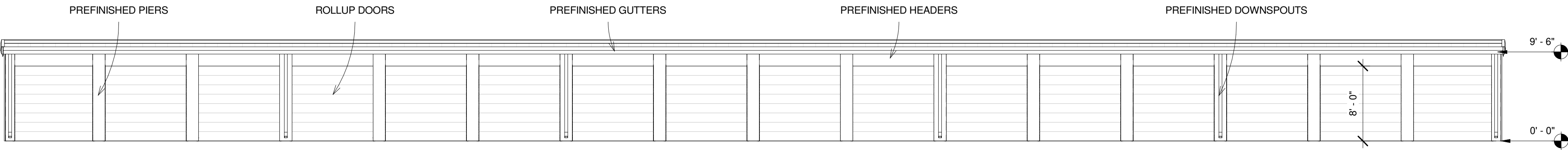
S105  
Building 5



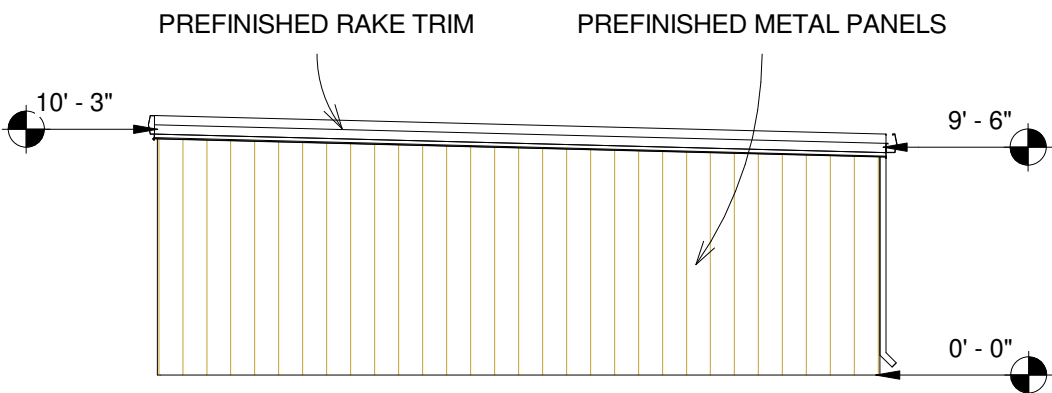
① Unit Mix - Bldg 6  
1/8" = 1'-0"



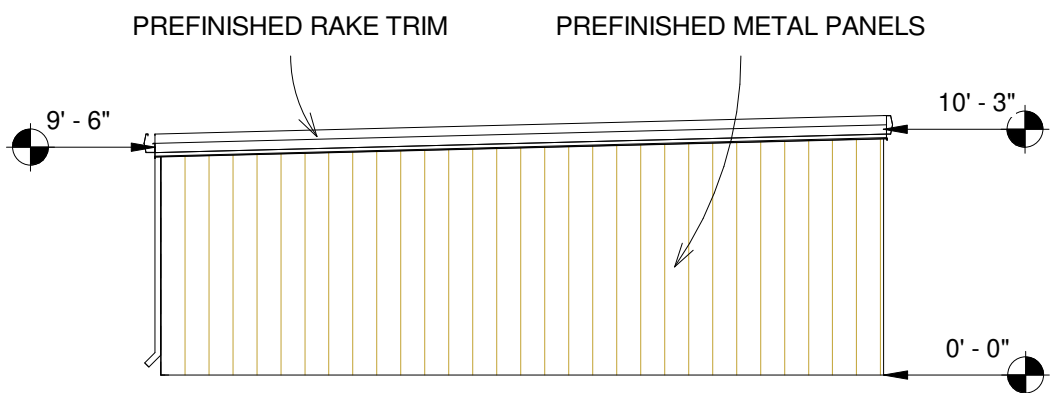
② Bldg 6 SW Elevation  
1/8" = 1'-0"



③ Bldg 6 NE Elevation  
1/8" = 1'-0"



④ Bldg 6 SE Elevation  
1/8" = 1'-0"



⑤ Bldg 6 NW Elevation  
1/8" = 1'-0"

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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

Rockwall, TX

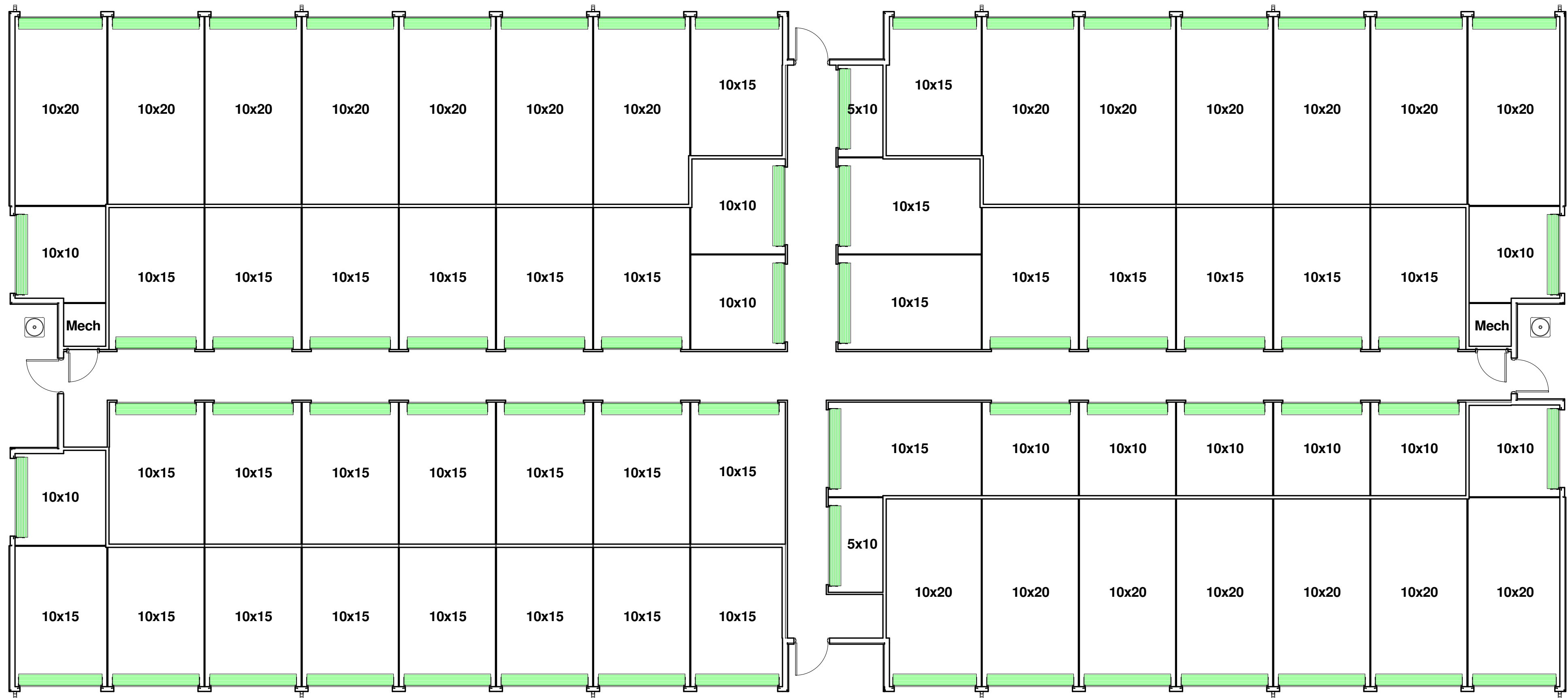
Engineer

Engineer  
Address  
PE No

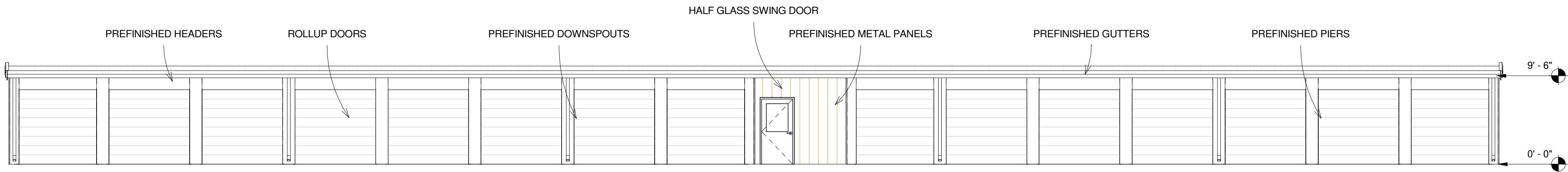
SSI Project Number	Project Number
Date	6/26/2019 9:01:58 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S106  
Building 6

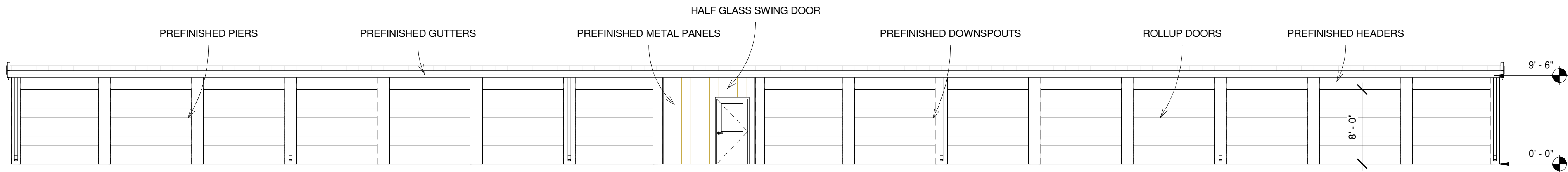




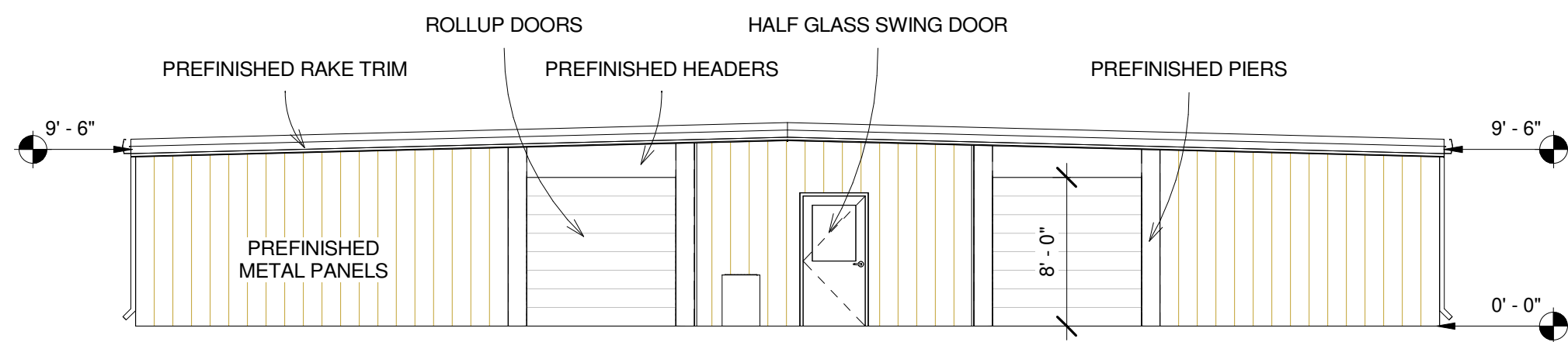
① Unit Mix - Bldg 7  
1/8" = 1'-0"



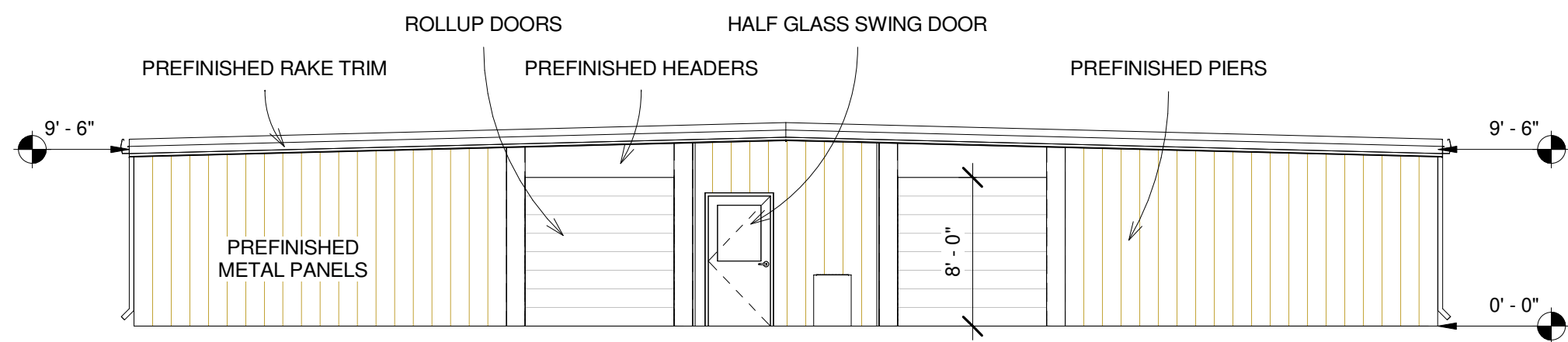
② Bldg 7 SW Elevation  
1/8" = 1'-0"



③ Bldg 7 NE Elevation  
1/8" = 1'-0"



④ Bldg 7 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 7 SE Elevation  
1/8" = 1'-0"

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Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer  
Engineer Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
6/26/2019 9:01:59 AM  
SSI  
AH  
CC

S107  
Building 7



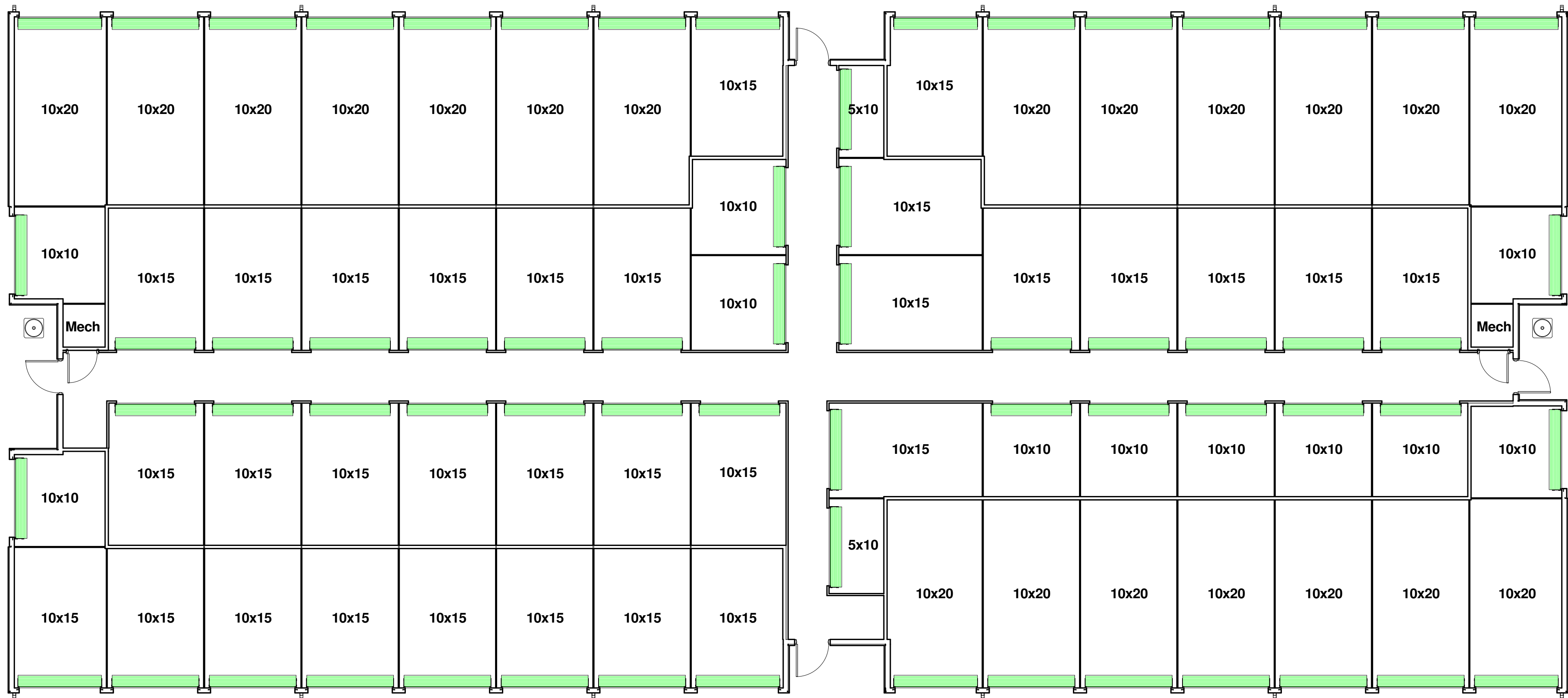
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

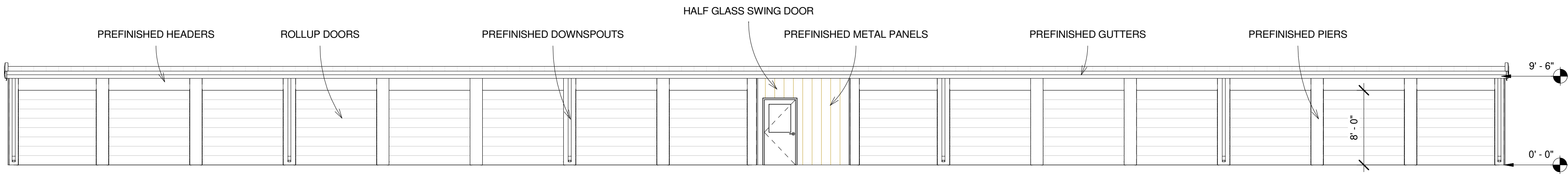
www.storagestructuresinc.com

Revision Schedule

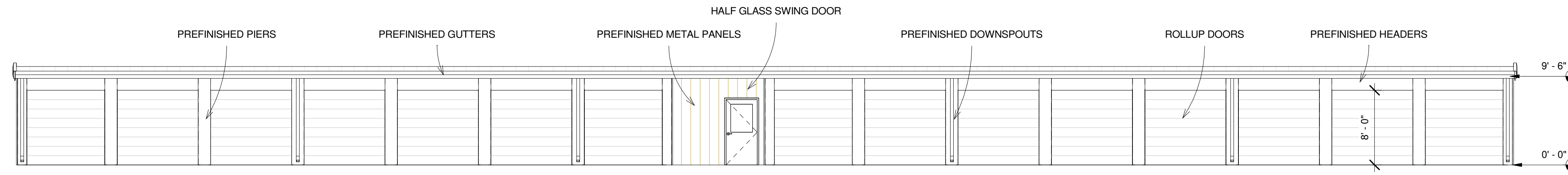
Revision Number	Revision Date	Revision Description	Issued by
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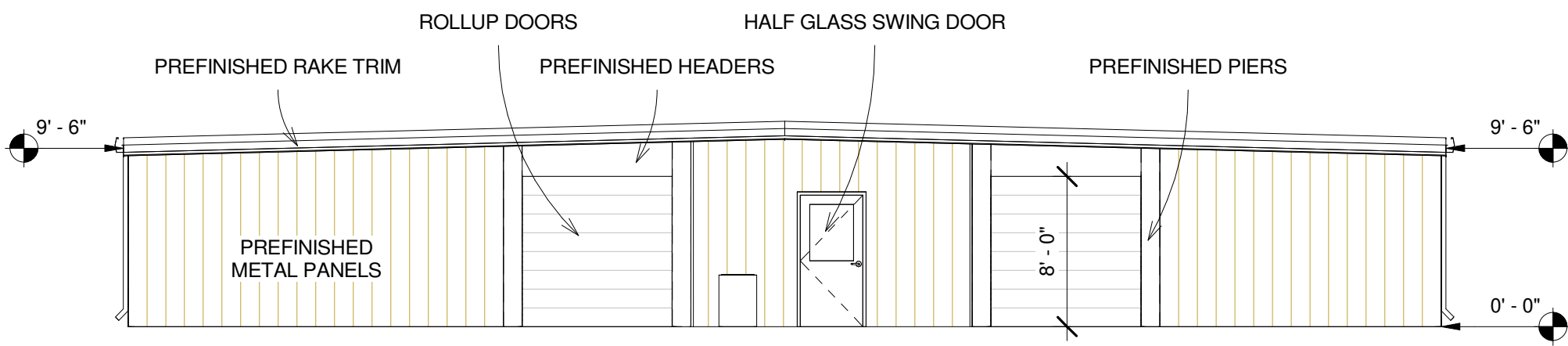
1 Unit Mix - Bldg 8  
1/8" = 1'-0"



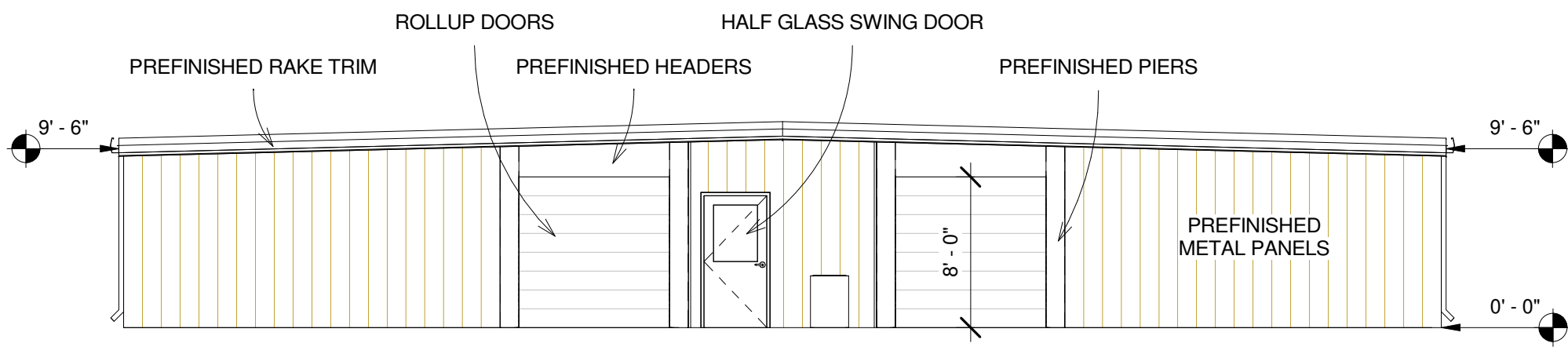
2 Bldg 8 SW Elevation  
1/8" = 1'-0"



3 Bldg 8 NE Elevation  
1/8" = 1'-0"



4 Bldg 8 NW Elevation  
1/8" = 1'-0"



5 Bldg 8 SE Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:00 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S108  
Building 8

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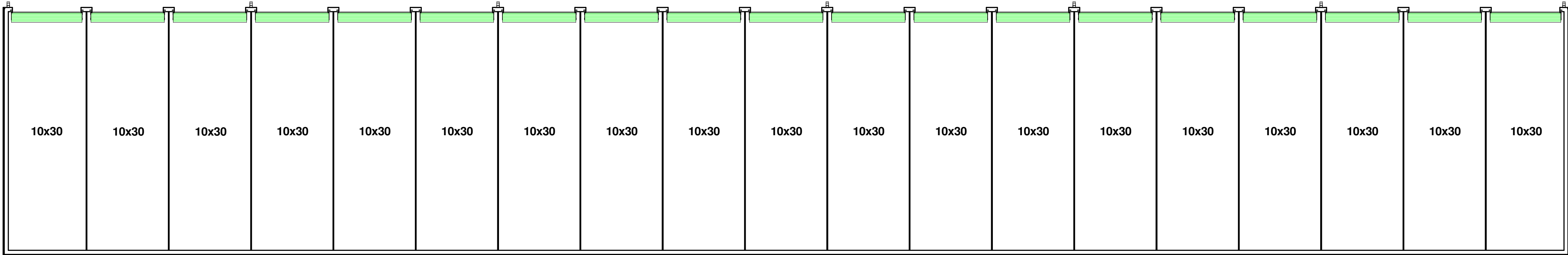
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

www.storagestructuresinc.com

Revision Schedule

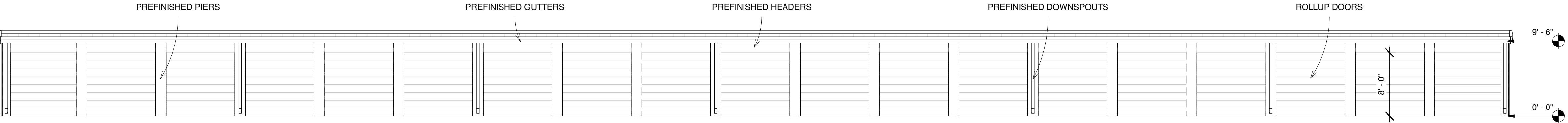
Revision Number	Revision Date	Revision Description	Issued by
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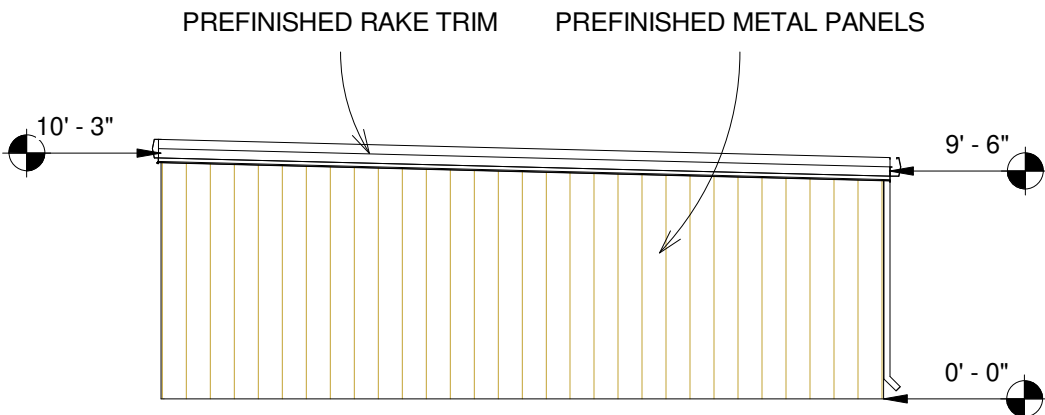
① Unit Mix - Bldg 9  
1/8" = 1'-0"



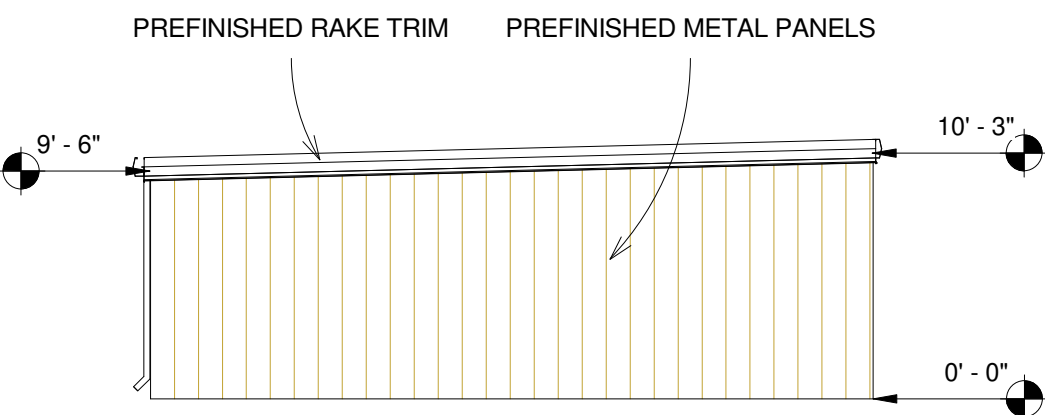
② Bldg 9 SW Elevation  
1/8" = 1'-0"



③ Bldg 9 NE Elevation  
1/8" = 1'-0"



④ Bldg 9 SE Elevation  
1/8" = 1'-0"



⑤ Bldg 9 NW Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:00 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S109  
Building 9



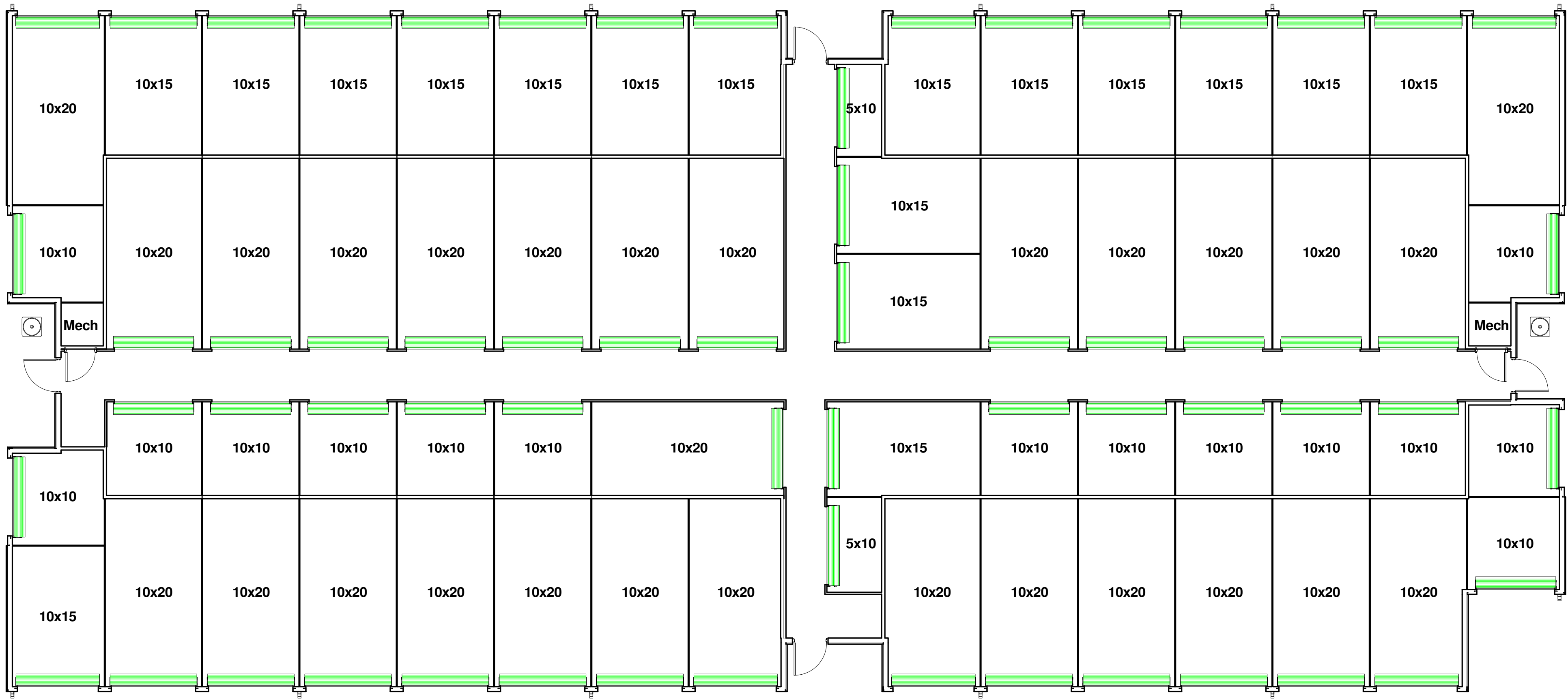
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

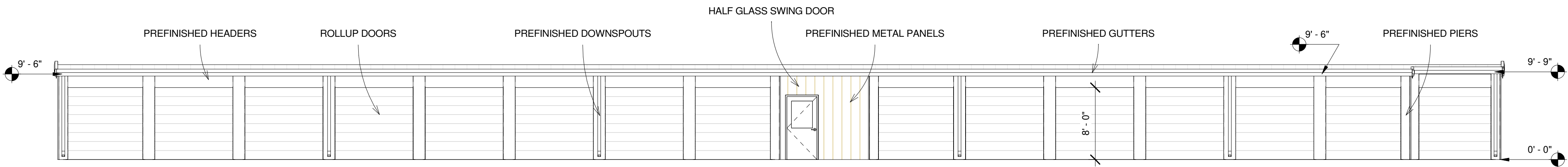
www.storagestructuresinc.com

Revision Schedule

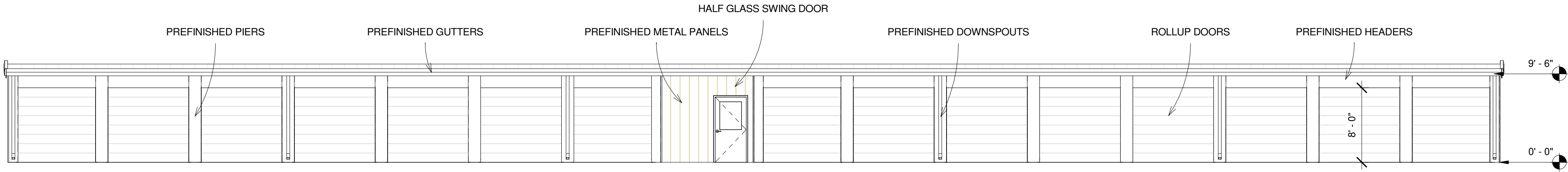
Revision Number	Revision Date	Revision Description	Issued by
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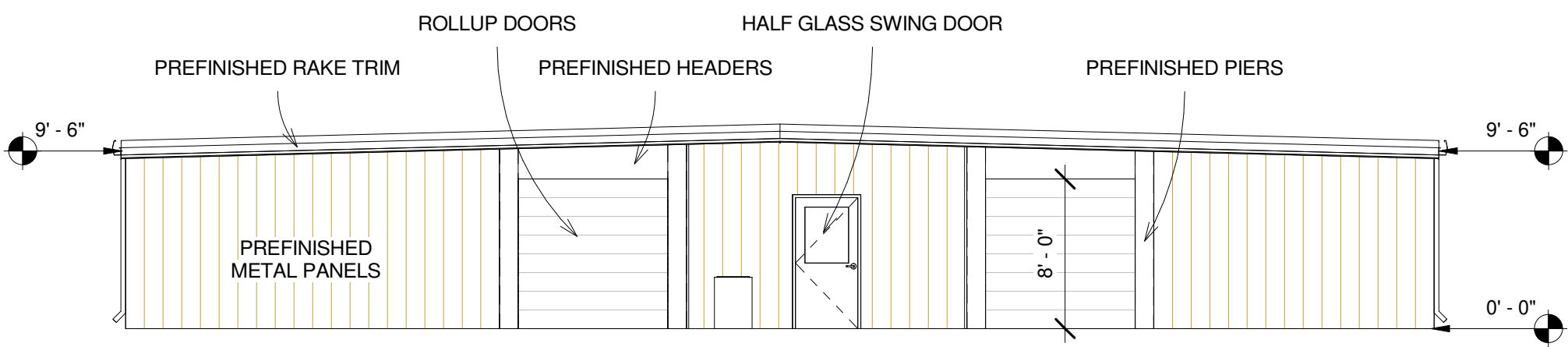
① Unit Mix - Bldg 10  
1/8" = 1'-0"



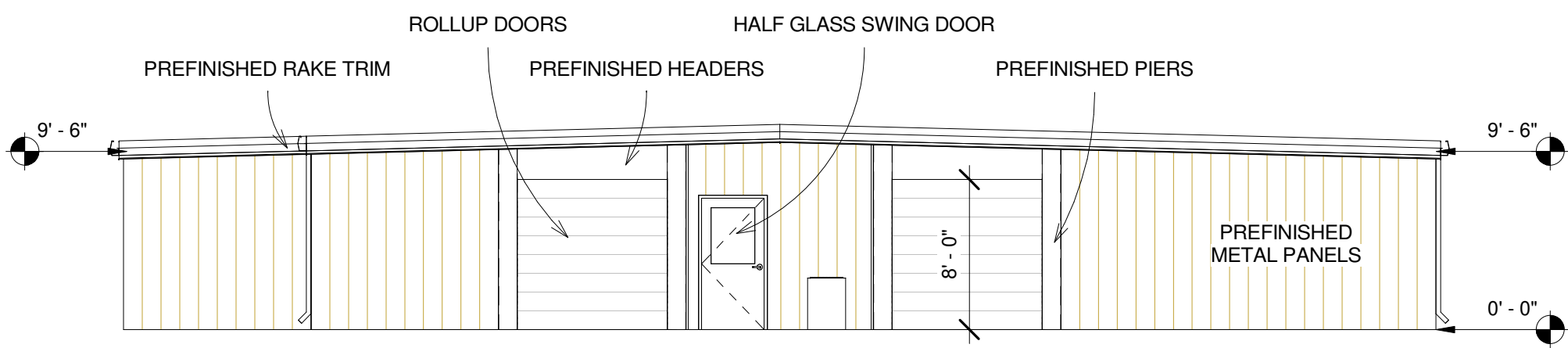
② Bldg 10 SW Elevation  
1/8" = 1'-0"



③ Bldg 10 NE Elevation  
1/8" = 1'-0"



④ Bldg 10 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 10 SE Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:01 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S110  
Building 10

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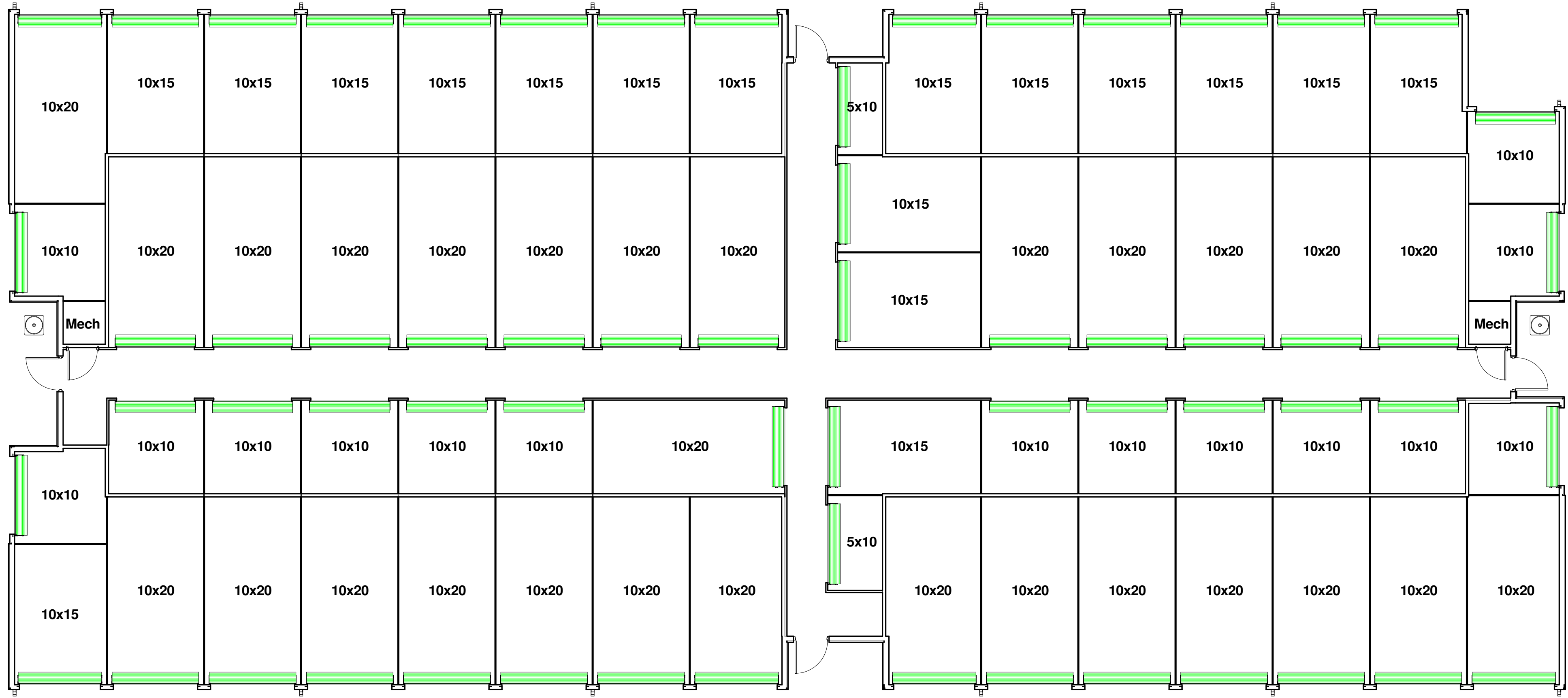
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

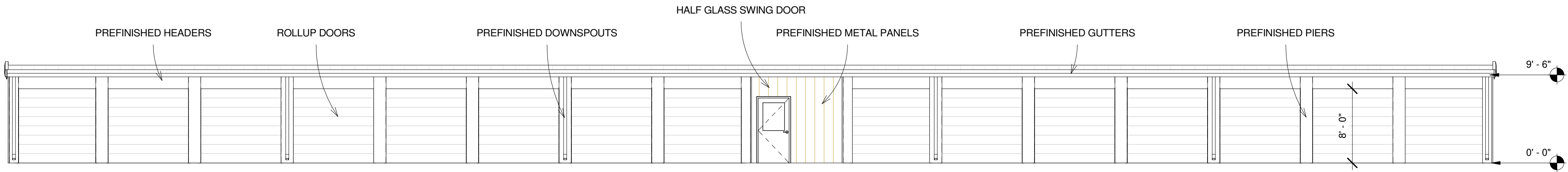
www.storagestructuresinc.com

Revision Schedule

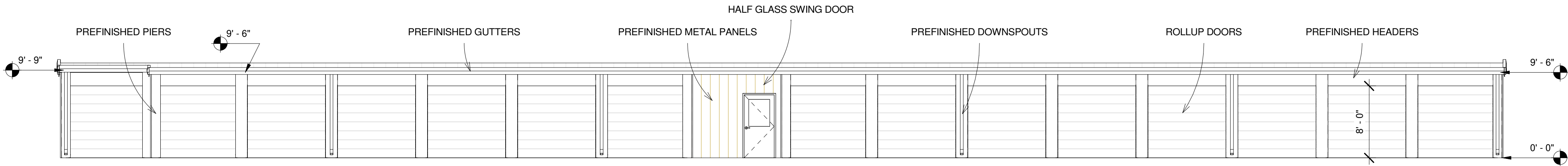
Revision Number	Revision Date	Revision Description	Issued by
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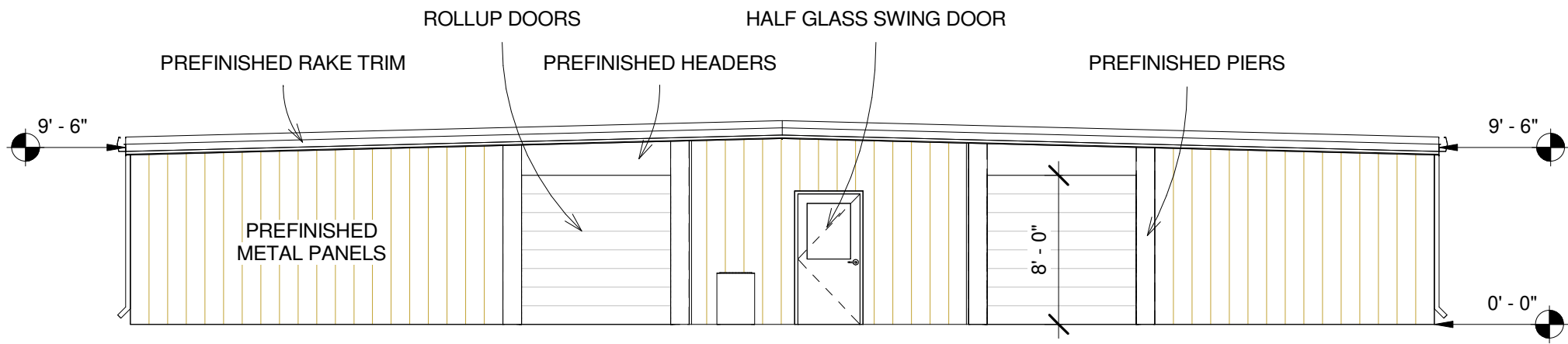
1 Unit Mix - Bldg 11  
1/8" = 1'-0"



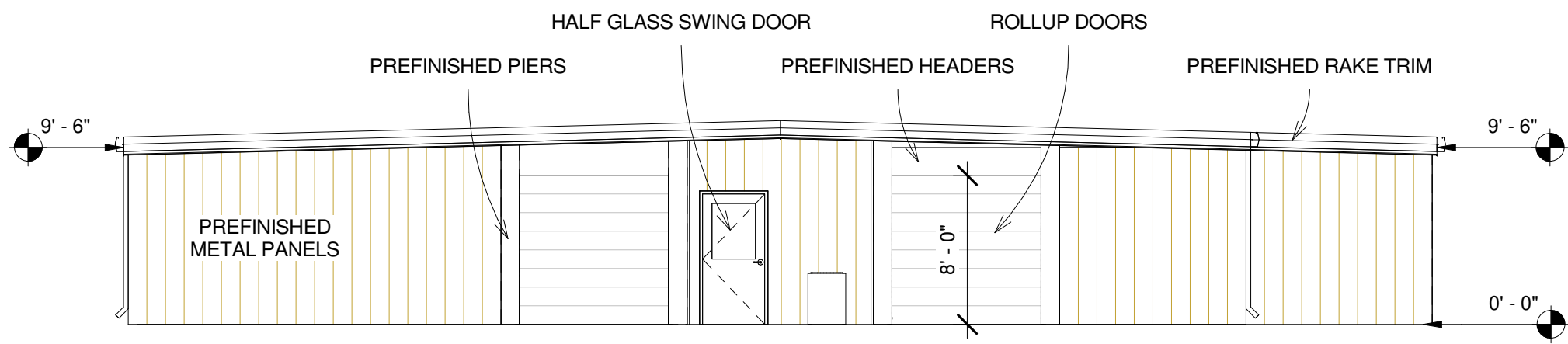
2 Bldg 11 SW Elevation  
1/8" = 1'-0"



3 Bldg 11 NE Elevation  
1/8" = 1'-0"



4 Bldg 11 NW Elevation  
1/8" = 1'-0"



5 Bldg 11 SE Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:02 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S111  
Building 11

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# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** August 13, 2019  
**APPLICANT:** Russell Phillips  
**CASE NUMBER:** SP2019-027; *Site Plan for 259 Ranch Trail*

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### **SUMMARY**

Discuss and consider a request by Russell Phillips of Horizon Road Self Storage, LLC for the approval of a site plan for a Mini-Warehouse facility on a 7.489-acre tract of land identified as Lot 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally situated north of Horizon Road and east of Ranch Trail Road, and take any action necessary.

### **BACKGROUND**

On October 16, 2017, the City Council approved Specific Use Permit (SUP) No. S-178 [*Ordinance No. 17-59; Case No. Z2018-052*] for a mini-warehouse on a 7.489-acre tract of land located along Ranch Trail Road. This Specific Use Permit (SUP) expired due to inactivity on November 6, 2018. In response to this expiration, the applicant submitted a subsequent request for a Specific Use Permit (SUP) for a mini-warehouse on the subject property [*Case No. Z2018-052*]. This was approved on January 7, 2019 by *Ordinance No. 19-04 [S-202]*.

### **PURPOSE**

The applicant is requesting approval of a site plan for a 575 unit mini-warehouse facility in accordance with *Ordinance No. 19-04*. The subject property is a 7.489-acre tract of land that is zoned Commercial District.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located generally north of Horizon Road [FM-3097] and Ranch Trail Road. The land uses adjacent to the subject property are as follows:

*North:* Directly north of the subject property are commercial structures. Beyond this is vacant land adjacent to County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District.

*South:* Directly south of the subject property are commercial structures. Beyond this is vacant land that is adjacent to FM-3097, which is identified as a M4D (*Major Collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. This area is zoned Commercial (C) District.

*East:* Directly east of the subject property is a large, vacant tract of land that is zoned Agricultural (AG) District. Beyond this is a single-family residential subdivision, which is zoned Single-Family Estates 1.5 (SFE-1.5) District.

*West:* Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector*. Beyond this are commercial structures, that are zoned Commercial (C) District.



## **DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1.1, *Land Use and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) a mini-warehouse facility is permitted in a Commercial (C) District by Specific Use Permit (SUP). In this case, since there is an approved Specific Use Permit (SUP) [Ordinance No. 19-04] for the subject property, no additional approvals will be necessary with regard to land use. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=326,202 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X~132-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=1,011-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X=15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=11-24-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=31.5%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X=0-100%; Not In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>9 Parking Spaces</i>	<i>X=16 Spaces; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20%</i>	<i>X=0%; Not In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=37.1%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=62.9%; In Conformance</i>

The proposed mini warehouse facility will contain 575 units and will be developed in two (2) phases. Phase 1 will have seven (7) buildings totaling 293 units ranging from 16 to 121 units per building. Phase 2 will have 12 buildings totaling 282 units ranging from ten (10) to 32 units per building. The proposed mini-warehouse will have perimeter building that utilizes masonry on all exterior facades visible from the street. The interior buildings will utilize metal and will have limited visibility from the street. Staff should note that most of the surrounding buildings are constructed of metal. *Building One* will include the leasing office and climate-controlled units that are accessible internally in the building. The remaining buildings will have drive-up units with roll-up doors, which will be oriented so the roll-up doors will not face Ranch Trail or Horizon Road. The applicant is proposing to utilize landscape screening for the mini-warehouse facility to limit the visibility of the facility from Ranch Trail and Horizon Road. Additionally, the northeast portion of the subject property is wooded and will be preserved to provide landscape screening for adjacent properties.

## **TREESCAPE PLAN**

The submitted treescape plan identifies that there are no protected trees being removed from the site.

## **CONFORMANCE WITH THE CITY'S CODES**

Subsection 4.05, *Commercial (C) District*, of Section 4, *Commercial Districts*, Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the Commercial (C) District is a district intended to provide commercial land uses such as retail, large shopping centers, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district. In addition, these areas may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less

stringent as lower intensity districts such as Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts. In this case, the applicant's proposal is adjacent to Ranch Trail Road -- *identified as a Minor Collector on the City's Master Thoroughfare Plan* --, and the mini-warehouse land use is not typically a high volume water/wastewater user. With regard to the land use, a mini-warehouse facility is permitted with a Specific Use Permit (SUP) in a Commercial (C) District.

### **VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT**

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

#### **(1) Construction Materials.**

- (a) *Primary Materials.* Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) stipulates minimum masonry requirements (*i.e. 90% Primary Materials, 20% stone, and no more than 10% Secondary Materials*) for commercial buildings. In this case, the applicant's proposed development does not conform to the minimum masonry requirements. Specifically, the building façades are mostly metal (*i.e. between 0-100% metal*), which is considered to be a secondary material. Although the applicant is proposing to utilize 100% brick on the façades that are visible from the street, the interior building façades will be 100% metal. Additionally, the applicant is not providing stone on the façades. Since the façades exceed the maximum amount of secondary materials and are below the minimum masonry requirements, an exception to the material requirements needs to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

#### **(2) Building Articulation.**

- (a) *Horizontal Articulation.* Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) stipulates that the maximum wall length shall not exceed more than three (3) times the wall's height without a recess or projection of an architectural element. In this case the maximum wall length is approximately 33-feet; however, the proposed buildings have walls that are approximately 160-feet in length. Since this exceeds the maximum allowable length, an exception to the building articulation standards is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

These exceptions are discretionary decisions for the Planning and Zoning Commission and require approval by a simple majority vote. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Southwest Residential District* and is situated within an area that is identified as a *Transitional Area*. According to the district, the *Transitional Area* is defined as, "...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties..." In this case, the applicant is proposing a mini-warehouse that is composed of metal buildings. This use and the proposed metal buildings are similar to the existing buildings in the area, and the proposed improvements are similar to other buildings that have been approved along Ranch Trail since this area was annexed by the City in 2004.



## **ARCHITECTURAL REVIEW BOARD (ARB):**

On July, 30, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval of the site plan by a 5-2 vote with Board Members Wacker and Meyrat dissenting.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for approval of a site plan with the associated exceptions, then staff would propose the following conditions of approval:

- (1) The development shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of the approved Specific Use Permit (SUP) [*Ordinance No. 19-04*].
- (2) The building elevations shall generally conform to the Concept Building Elevations depicted in *Exhibit 'D'* of the approved Specific Use Permit (SUP) [*Ordinance No. 19-04*].
- (3) The maximum number of storage units provided shall not exceed 575 units for the facility.
- (4) The residential unit/caretaker's quarters shall not exceed 1,600 square feet.
- (5) The residential unit/caretaker's quarters shall not be greater than 36-feet in height.
- (6) No outside storage of any kind shall be allowed (including, but not limited to the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles).
- (7) Businesses shall not be allowed to operate within individual storage units.
- (8) The commercial operation of rental trucks and trailers shall be prohibited.
- (9) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

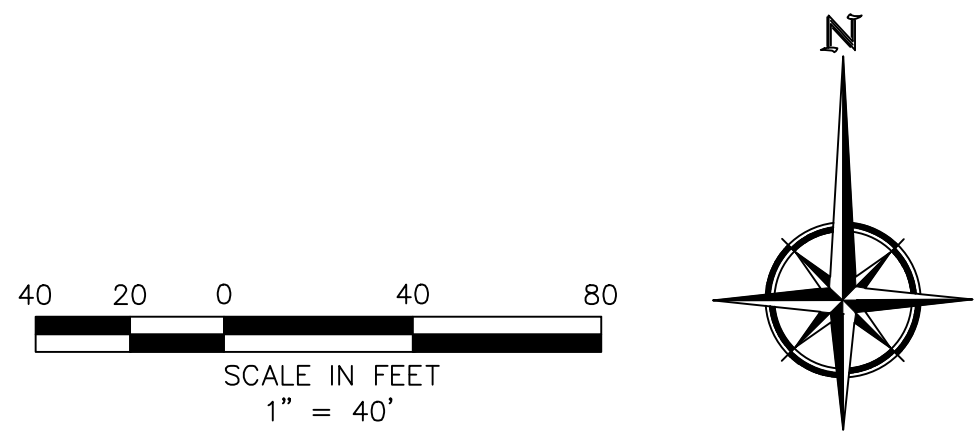
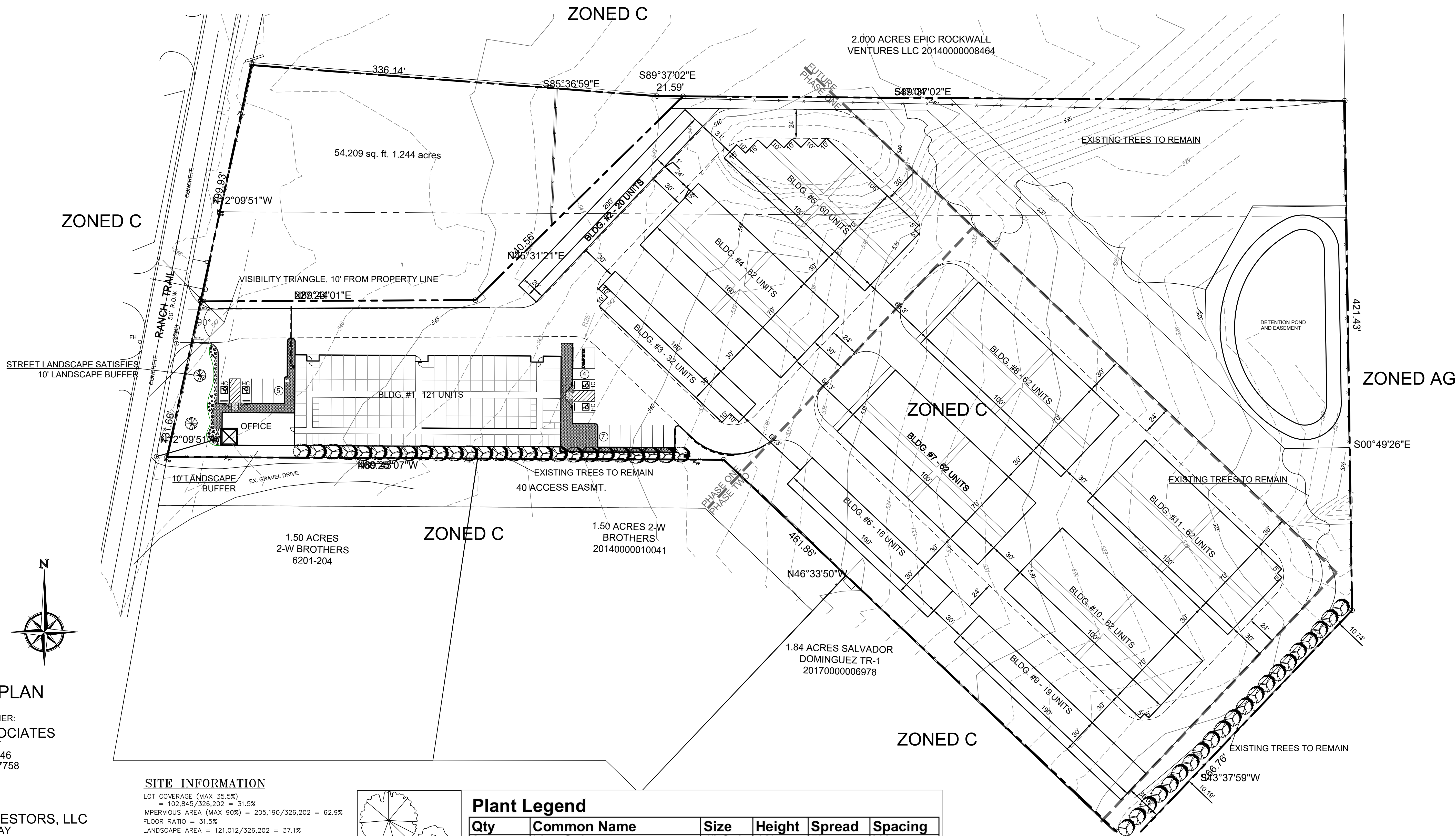
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.











LANDSCAPE PLAN

LANDSCAPE DESIGNER:  
ML JOHNSON & ASSOCIATES  
PO BOX 460897  
GARLAND, TX 75046  
Telephone: 972.442.7758

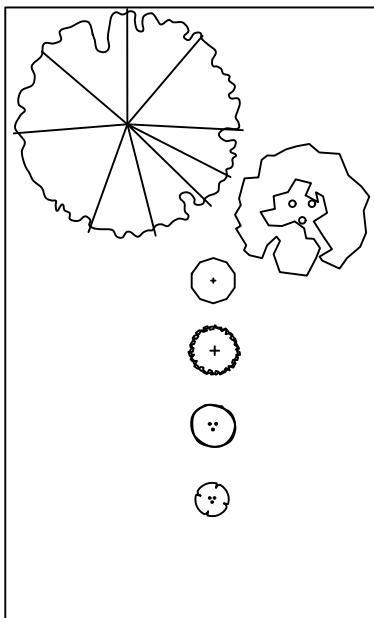
Owner/Applicant:  
ROCKWALL RETAIL INVESTORS, LLC  
521 MORaine WAY  
HEATH, TX 75032  
Telephone: 469.446.7734

**HORIZON ROAD SELF STORAGE**  
326,202 sf 7.489 Acres  
TRACT 23 OF RAINBOW ACRES  
WILLIAM W. FORD SURVEY, A-20  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SITE INFORMATION

LOT COVERAGE (MAX 35.5%)  
= 102,845/326,202 = 31.5%  
IMPERVIOUS AREA (MAX 90%) = 205,190/326,202 = 62.9%  
FLOOR RATIO = 31.5%  
LANDSCAPE AREA = 121,012/326,202 = 37.1%

HEIGHT OF PROP. STRUCTURES:  
BLDG. OFFICE 1,620 SF - HT. 24'  
BLDG. 1 16,500 SF - HT. 11'-4.5"  
BLDG. 2 4,000 SF - HT. 10'  
BLDG. 3 4,600 SF - HT. 10'-3"  
BLDG. 4 11,200 SF - HT. 9'-6"  
BLDG. 5 9,650 SF - HT. 9'-10.5"  
BLDG. 6 4,800 SF - HT. 10'-3"  
BLDG. 7 11,200 SF - HT. 9'-6"  
BLDG. 8 11,200 SF - HT. 9'-6"  
BLDG. 9 5,700 SF - HT. 10'-3"  
BLDG. 10 11,200 SF - HT. 9'-6"  
BLDG. 11 11,200 SF - HT. 9'-6"

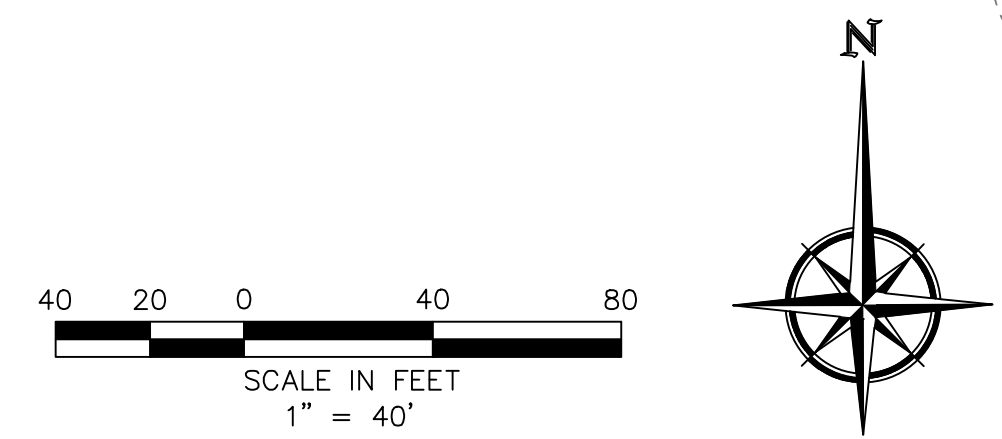
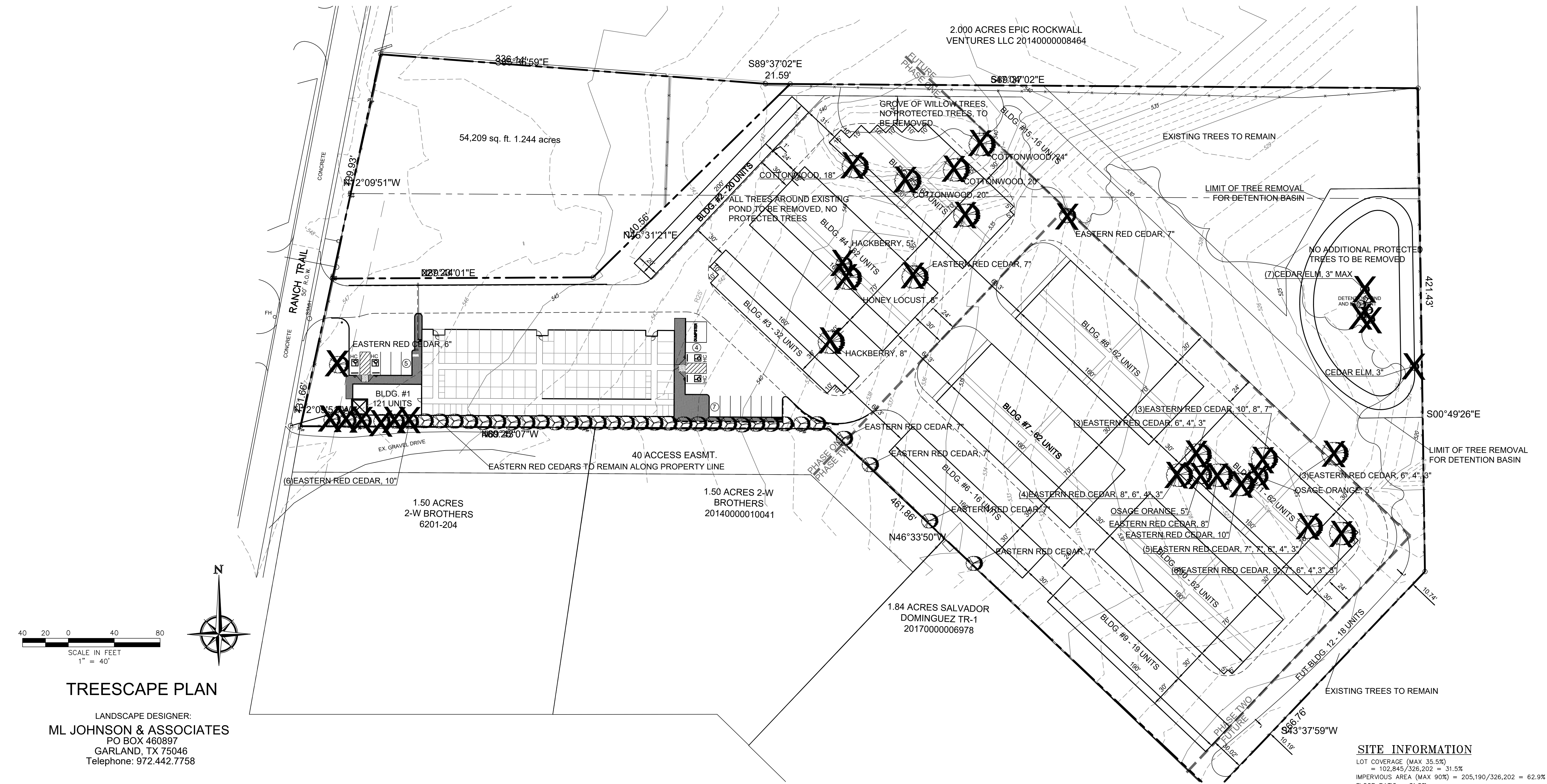


Plant Legend

Qty	Common Name	Size	Height	Spread	Spacing
2	Live Oak	4" Cal	12'	5'	NA
1	Crape Myrtle	30 Gal	6'	4'	NA
18	Dwarf Burford Holly	3 Gal	24"	18"	3' o.c.
10	Indian Hawthorn	3 Gal	15"	15"	3' o.c.
3	Loropetalum	3 Gal	15"	15"	NA
12	Nandina	3 Gal	15"	15"	3' o.c.
117649	Common Bermuda, sf	NA	NA	NA	NA

IRRIGATION SYSTEM TO BE INSTALLED  
ACCORDING TO CITY OF ROCKWALL UDC





## TREESCAPE PLAN

LANDSCAPE DESIGNER:  
ML JOHNSON & ASSOCIATES  
PO BOX 460897  
GARLAND, TX 75046  
Telephone: 972.442.7758

Owner/Applicant:  
ROCKWALL RETAIL INVESTORS, LLC  
521 MORaine WAY  
HEATH, TX 75032  
Telephone: 469.446.7734

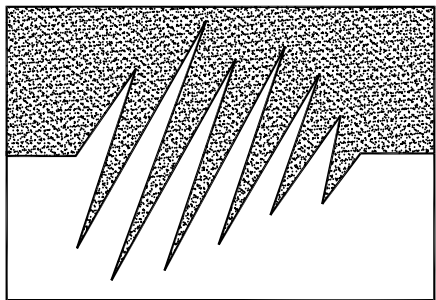
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326,202 sf 7.489 Acres  
TRACT 23 OF RAINBOW ACRES  
WILLIAM W. FORD SURVEY, A-20  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

	TREE TO BE REMOVED
--	--------------------

NOTE: NO PROTECTED  
TREES TO BE REMOVED

**SITE INFORMATION**  
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= 102,845/326,202 = 31.5%  
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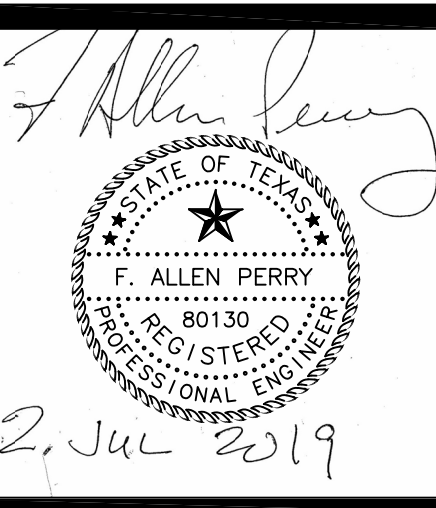
ALPACA  
Energy Solutions, Inc.

3736 Bee Cave Road  
Suite 1, #126  
Austin, Tx 78746

P : (512) 328-8999

www.alpacaenergy.com  
MEP Engineering Services  
Business Reg. No. F-3616

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# Rockwall Self Storage

Rockwall, Texas

REV. 1 7-2-19

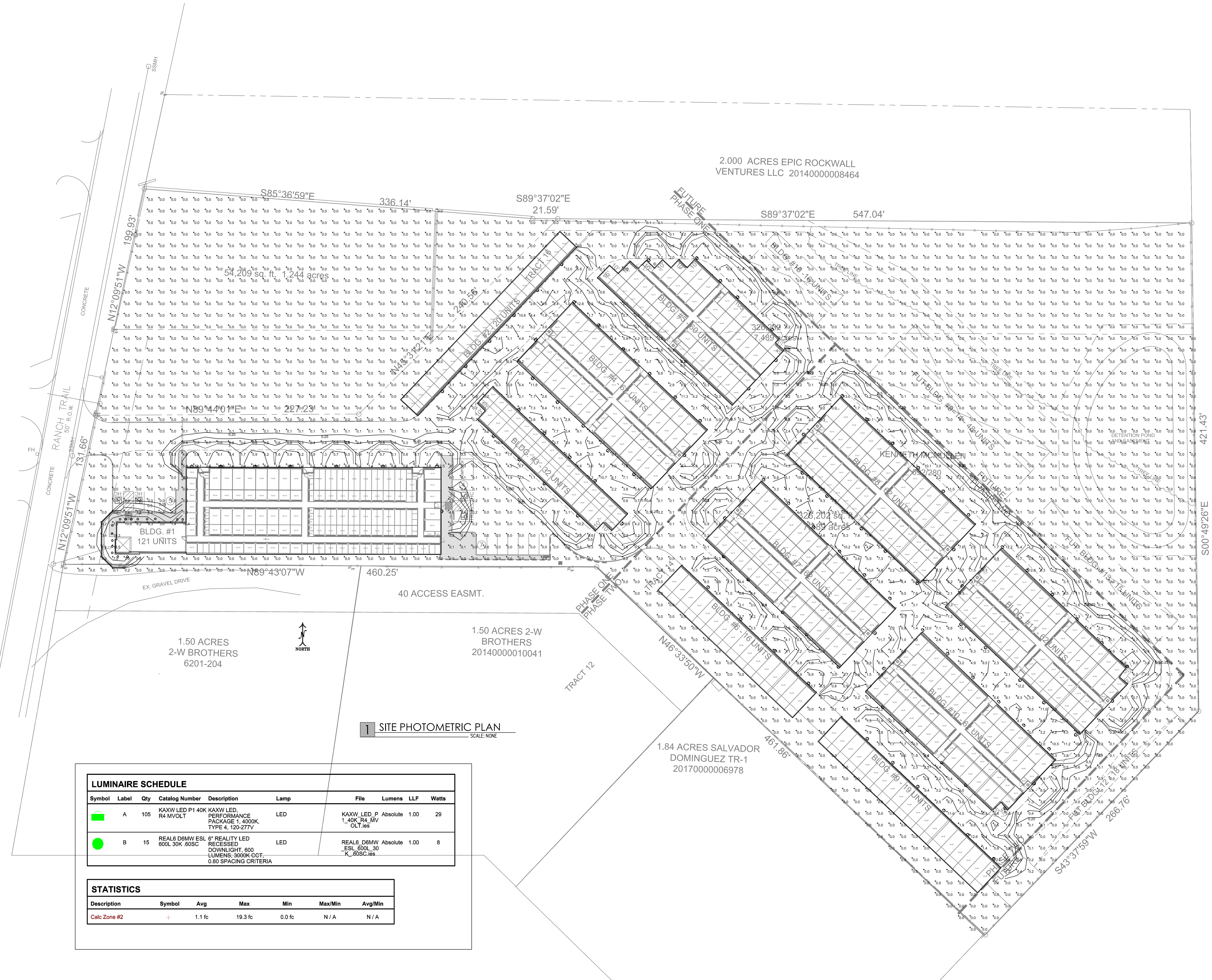
DATE: November 8, 2018

SHEET TITLE:

PHOTOMETRIC  
SITE PLAN

SHEET NUMBER:

E-401



LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
	A	105	KAXW LED P1 40K	KAXW LED, PERFORMANCE PACKAGE 1, 4000K, TYPE 4, 120-277V	LED	KAXW_LED_P1_40K_R4_MV_OLT.ies	Absolute 1.00 29
	B	15	REAL6 D6MW ESL 600L 30K 60SC	6" REALITY LED RECESSED DOWNLIGHT, 600 LUMENS, 3000K COT, 0.60 SPACING CRITERIA	LED	REAL6_D6MW_ESL_600L_30K_60SC.ies	Absolute 1.00 8

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.1 fc	19.3 fc	0.0 fc	N / A	N / A



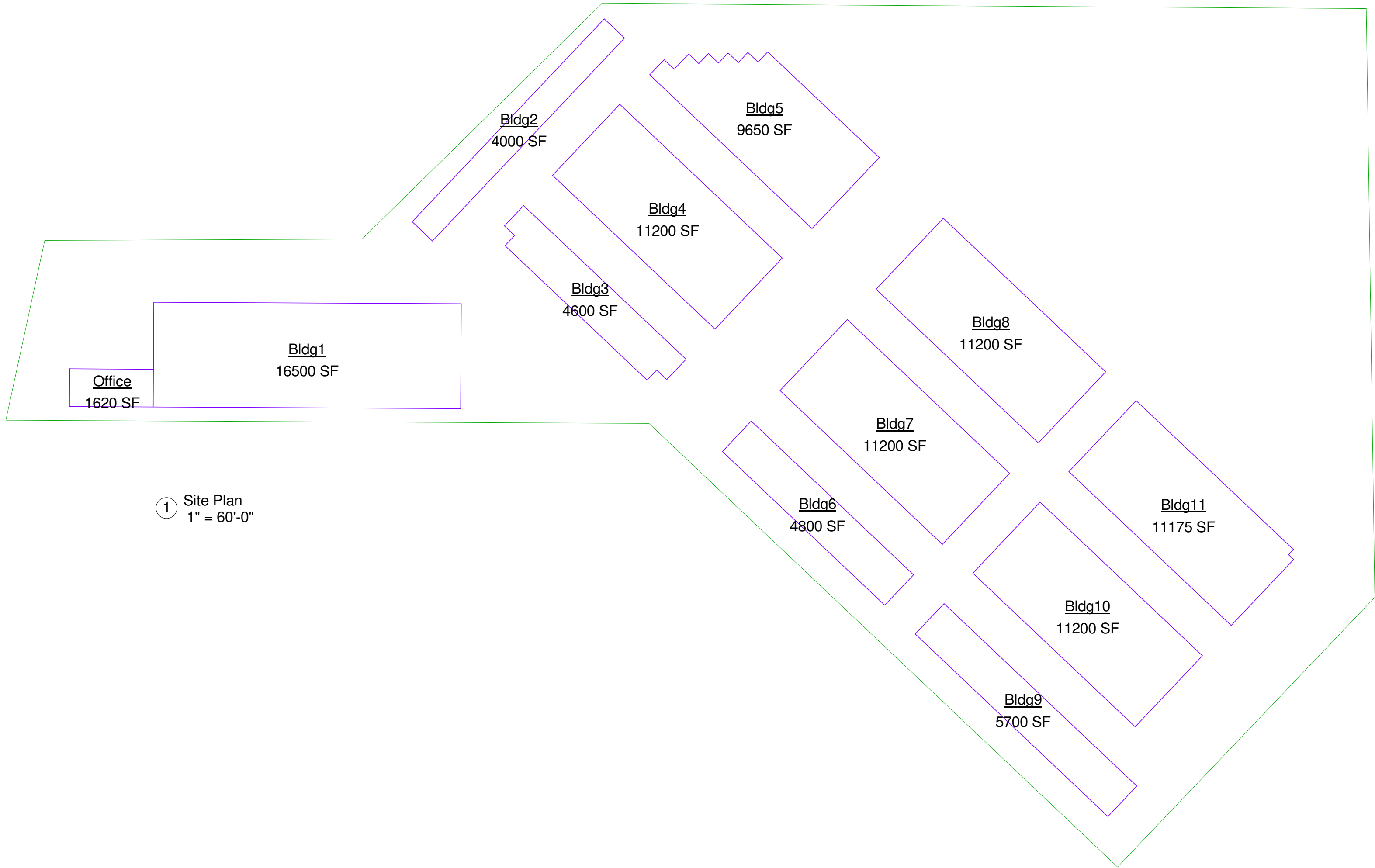
# Horizon Road Self Storage



3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

www.storagestructuresinc.com



TYPICAL STORAGE BUILDING STRUCTURE = 5'-0"x10'-0" LIGHT GAUGE FRAMING SYSTEM  
OFFICE AND TOWER STRUCTURE = STEEL COLUMN AND BEAM  
ROOF MATERIALS = 24ga STANDING SEEM ROOFING, GALVALUME



3807 Carrollton - Villa Rica Hwy  
Villa Rica, GA 30180  
770-456-1602

Unit Mix Schedule - Total			
Count	Name	Rent As	%
11	5x5	275	2%
17	5x10	850	3%
158	10x10	15800	27%
165	10x15	24750	29%
189	10x20	37800	33%
35	10x30	10500	6%
575		89975	100%

Area Schedule (Gross Building)		
Name	Area	Perimeter
Bldg1	16500 SF	590' - 0"
Bldg2	4000 SF	440' - 0"
Bldg3	4600 SF	380' - 0"
Bldg4	11200 SF	460' - 0"
Bldg5	9650 SF	460' - 0"
Bldg6	4800 SF	380' - 0"
Bldg7	11200 SF	460' - 0"
Bldg8	11200 SF	460' - 0"
Bldg9	5700 SF	440' - 0"
Bldg10	11200 SF	460' - 0"
Bldg11	11175 SF	460' - 0"
Office	1620 SF	174' - 0"
Grand total: 12	102845 SF	5164' - 0"

Drawing Schedule			
Sheet Number	Sheet Name	Sheet Issue Date	Revised Date
S001	Cover	04/09/19	08/06/19
S002	Unit Mix	04/09/19	07/24/19
S101	Building 1	06/19/19	08/06/19
S102	Building 2	06/19/19	08/06/19
S103	Building 3	06/19/19	07/24/19
S104	Building 4	06/19/19	07/24/19
S105	Building 5	06/19/19	07/24/19
S106	Building 6	06/19/19	07/24/19
S107	Building 7	06/19/19	07/24/19
S108	Building 8	06/19/19	07/24/19
S109	Building 9	06/19/19	07/24/19
S110	Building 10	06/19/19	07/24/19
S111	Building 11	06/19/19	07/24/19

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer  
Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By

Project Number  
8/6/2019 1:09:45 PM  
SSI  
AH  
CC

S001  
Cover





3807 Hwy 61  
Villa Rica, Ga 30180

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FAX: 770-456-1662

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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:09:48 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

S002  
Unit Mix

Room Legend

- 5x5
- 5x10
- 10x10
- 10x15
- 10x20
- 10x30
- Mech



Unit Mix Schedule - Phase 1				
Count	Name	Rent As	%	Occupancy
11	5x5	275	4%	CC
8	5x10	400	3%	CC
80	10x10	8000	28%	CC
46	10x15	6900	16%	CC
11	10x20	2200	4%	CC
1	5x10	50	0%	NC
26	10x10	2600	9%	NC
23	10x15	3450	8%	NC
82	10x20	16400	28%	NC
288		40275	100%	

Unit Mix Schedule - Phase 2				
Count	Name	Rent As	%	Occupancy
8	5x10	400	3%	CC
34	10x10	3400	12%	CC
48	10x15	7200	17%	CC
26	10x20	5200	9%	CC
18	10x10	1800	6%	NC
48	10x15	7200	17%	NC
70	10x20	14000	24%	NC
35	10x30	10500	12%	NC
287		49700	100%	

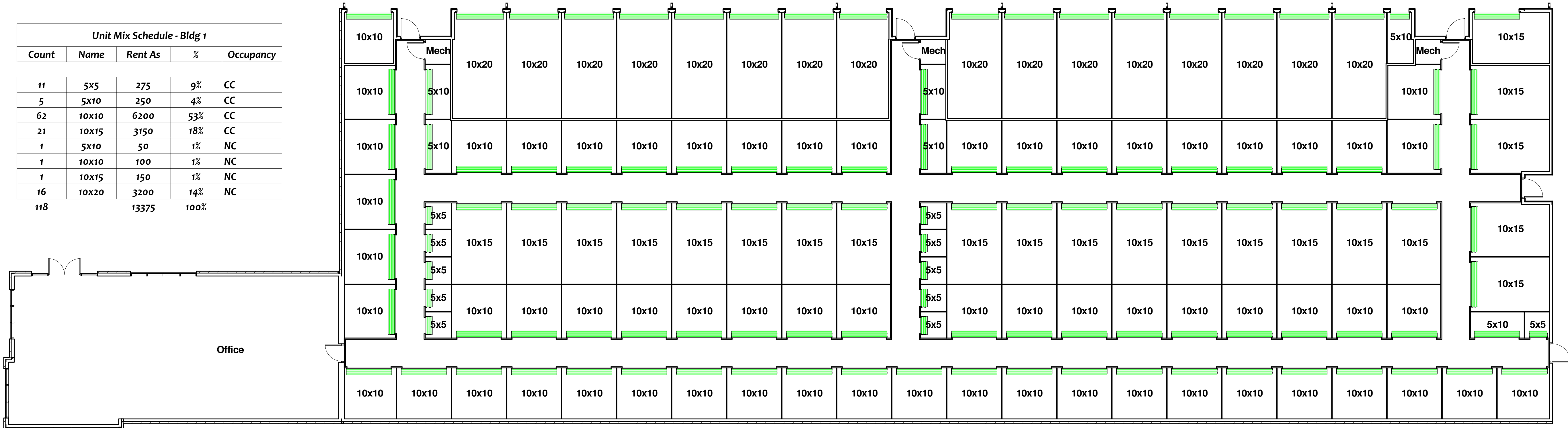
Unit Mix Schedule - Total Climate			
Count	Name	Rent As	%
11	5x5	275	4%
16	5x10	800	6%
114	10x10	11400	42%
94	10x15	14100	35%
37	10x20	7400	14%
272		33975	100%

Unit Mix Schedule - Total NonClimate			
Count	Name	Rent As	%
1	5x10	50	0%
44	10x10	4400	15%
71	10x15	10650	23%
152	10x20	30400	50%
35	10x30	10500	12%
303		56000	100%

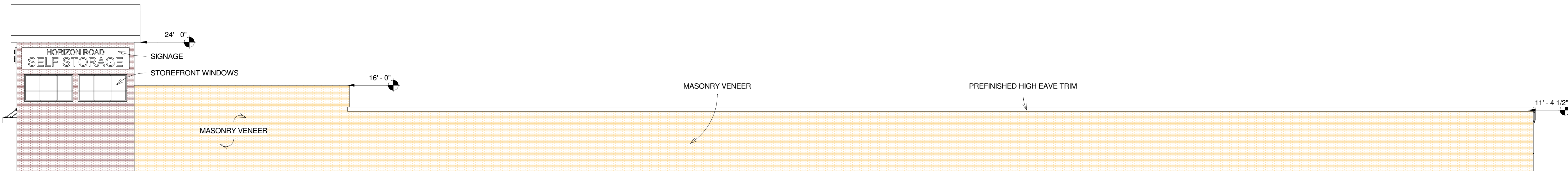
① Unit Mix Color Scheme  
1/32" = 1'-0"



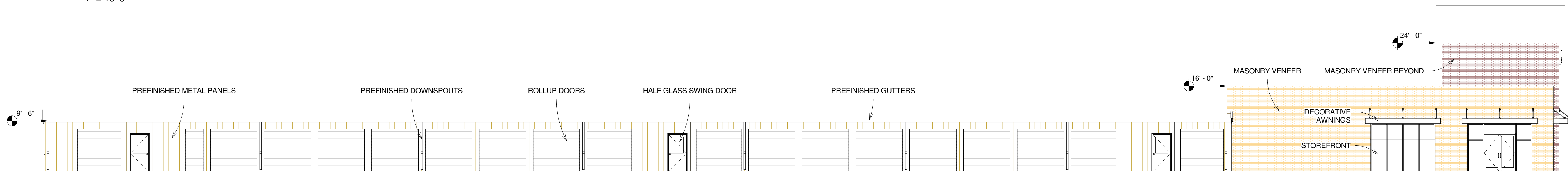
Unit Mix Schedule - Bldg 1				
Count	Name	Rent As	%	Occupancy
11	5x5	275	9%	CC
5	5x10	250	4%	CC
62	10x10	6200	53%	CC
21	10x15	3150	18%	CC
1	5x10	50	1%	NC
1	10x10	100	1%	NC
1	10x15	150	1%	NC
16	10x20	3200	14%	NC
118		13375	100%	



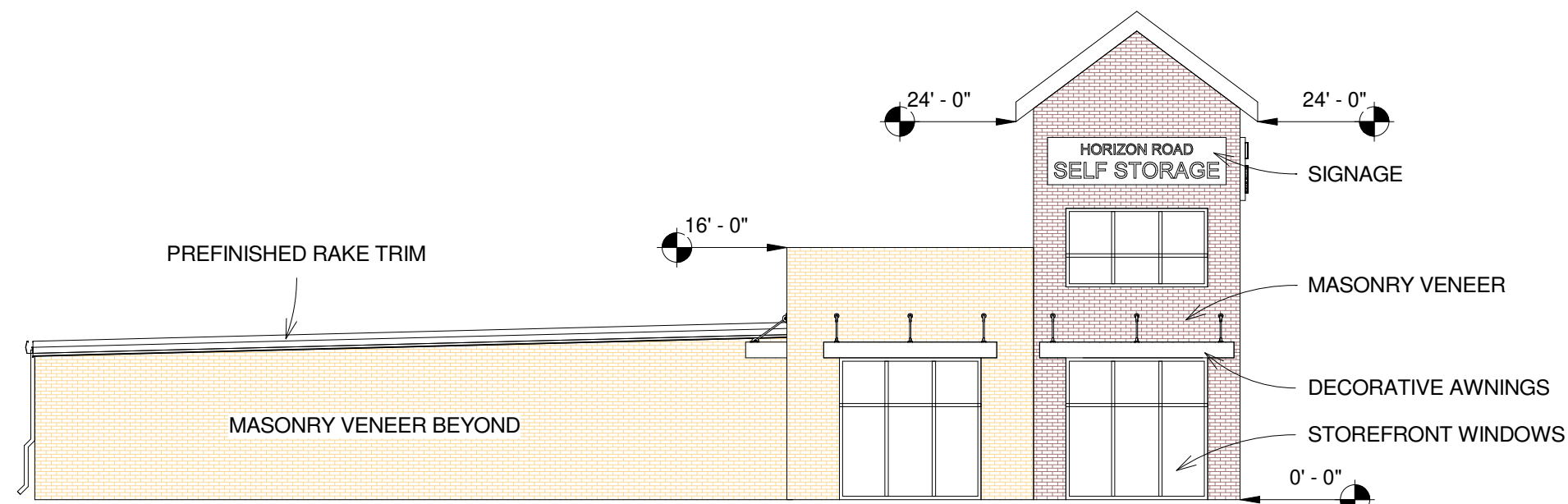
① Unit Mix - Bldg 1  
1" = 10'-0"



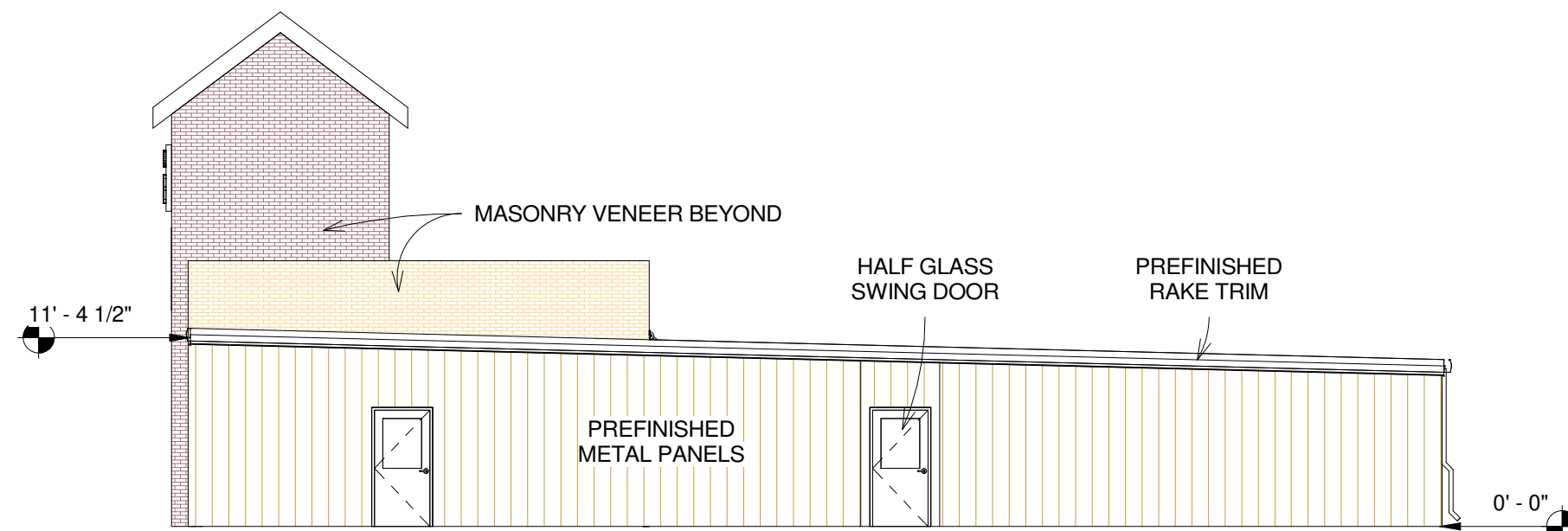
② Bldg 1 South Elevation  
1" = 10'-0"



③ Bldg 1 North Elevation  
1" = 10'-0"



④ Bldg 1 West Elevation  
1" = 10'-0"



⑤ Bldg 1 East Elevation  
1" = 10'-0"

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Villa Rica, Ga 30180

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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

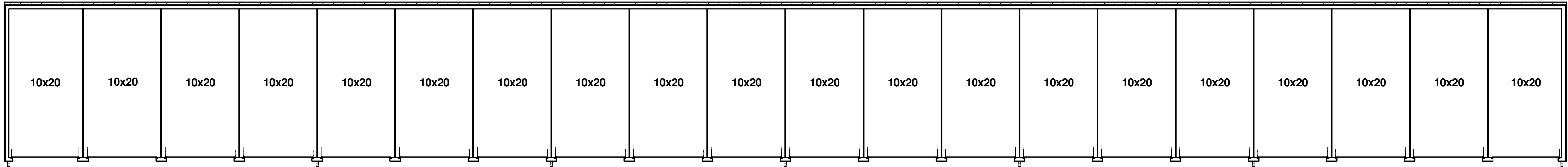
Rockwall, TX

Engineer

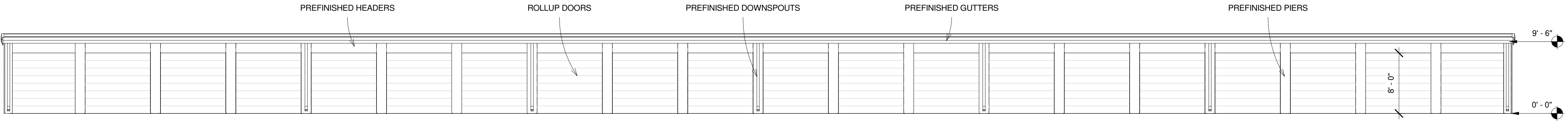
Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:09:49 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

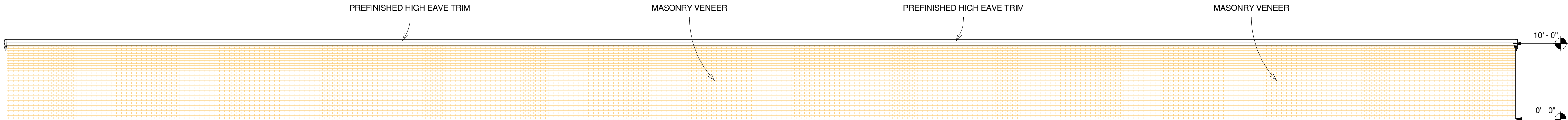
S101  
Building 1



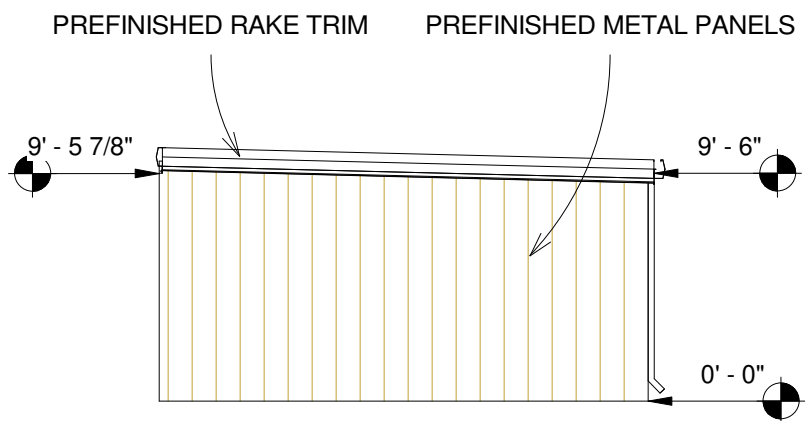
① Unit Mix - Bldg 2  
1/8" = 1'-0"



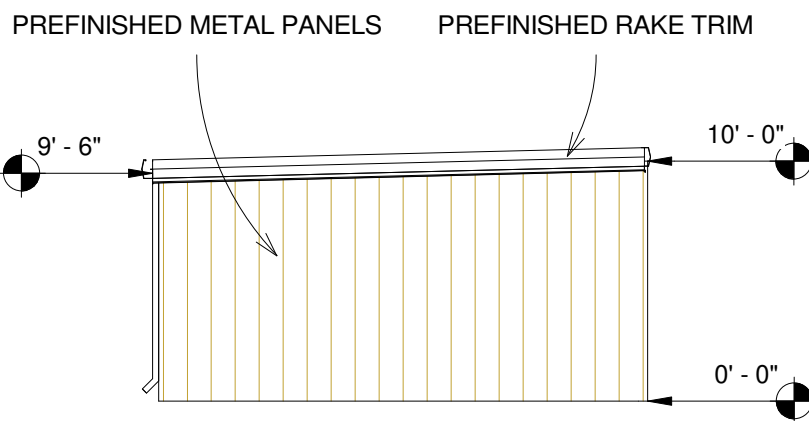
② Bldg 2 SE Elevation  
1/8" = 1'-0"



③ Bldg 2 NW Elevation  
1/8" = 1'-0"



④ Bldg 2 SW Elevation  
1/8" = 1'-0"



⑤ Bldg 2 NE Elevation  
1/8" = 1'-0"

Unit Mix Schedule - Bldg 2				
Count	Name	Rent As	%	Occupancy
20	10x20	4000	100%	NC
20		4000	100%	

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:09:50 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

S102  
Building 2





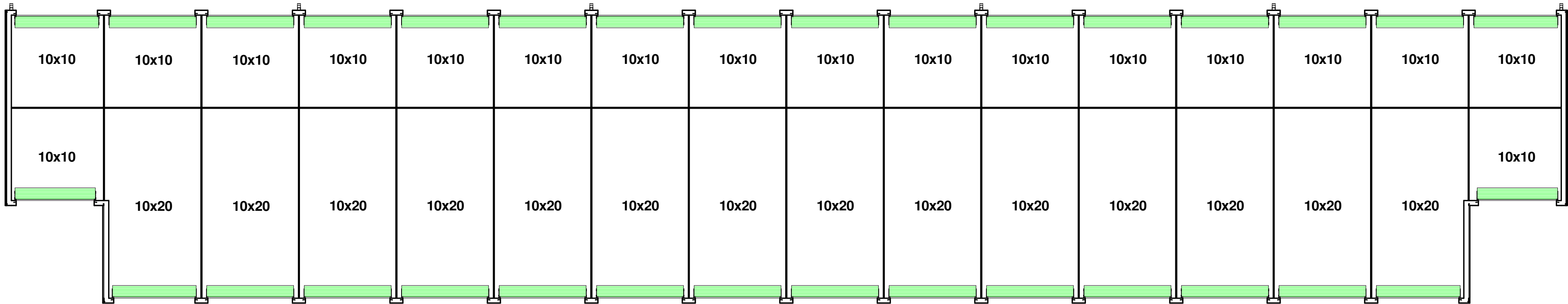
3807 Hwy 61  
Villa Rica, Ga 30180

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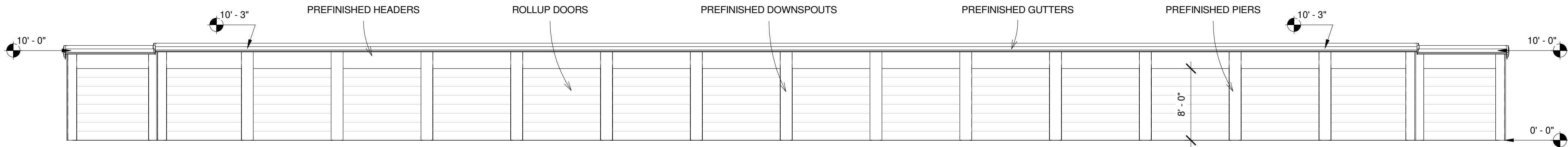
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Revision Schedule

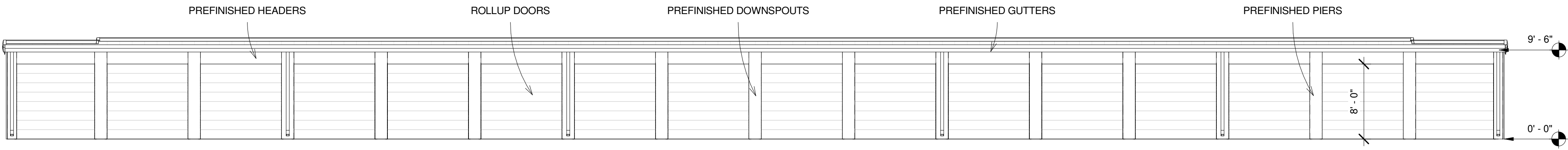
Revision Number	Revision Date	Revision Description	Issued by
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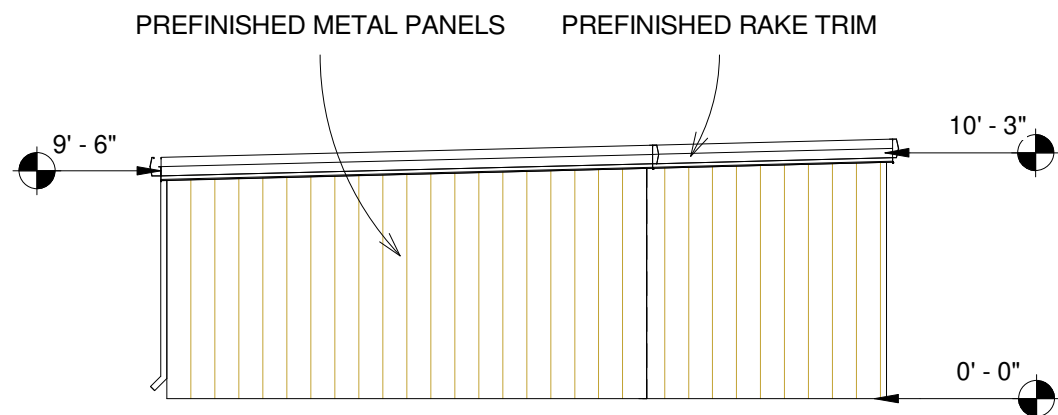
① Unit Mix - Bldg 3  
1/8" = 1'-0"



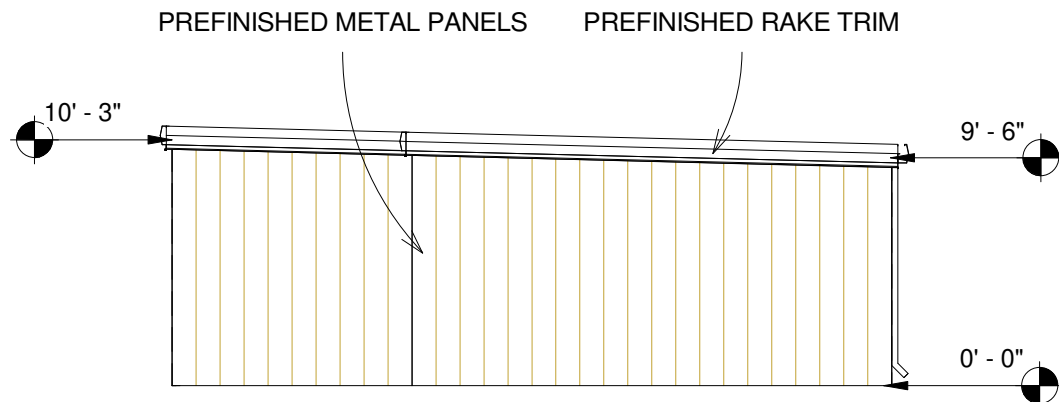
② Bldg 3 SW Elevation  
1/8" = 1'-0"



③ Bldg 3 NE Elevation  
1/8" = 1'-0"



④ Bldg 3 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 3 SE Elevation  
1/8" = 1'-0"

Unit Mix Schedule - Bldg 3				
Count	Name	Rent As	%	Occupancy
18	10x10	1800	56%	NC
14	10x20	2800	44%	NC
32		4600	100%	

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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number

Project Number

Date 8/6/2019 1:09:51 PM

Designed By SSI

Drawn By AH

Checked By CC

S103  
Building 3



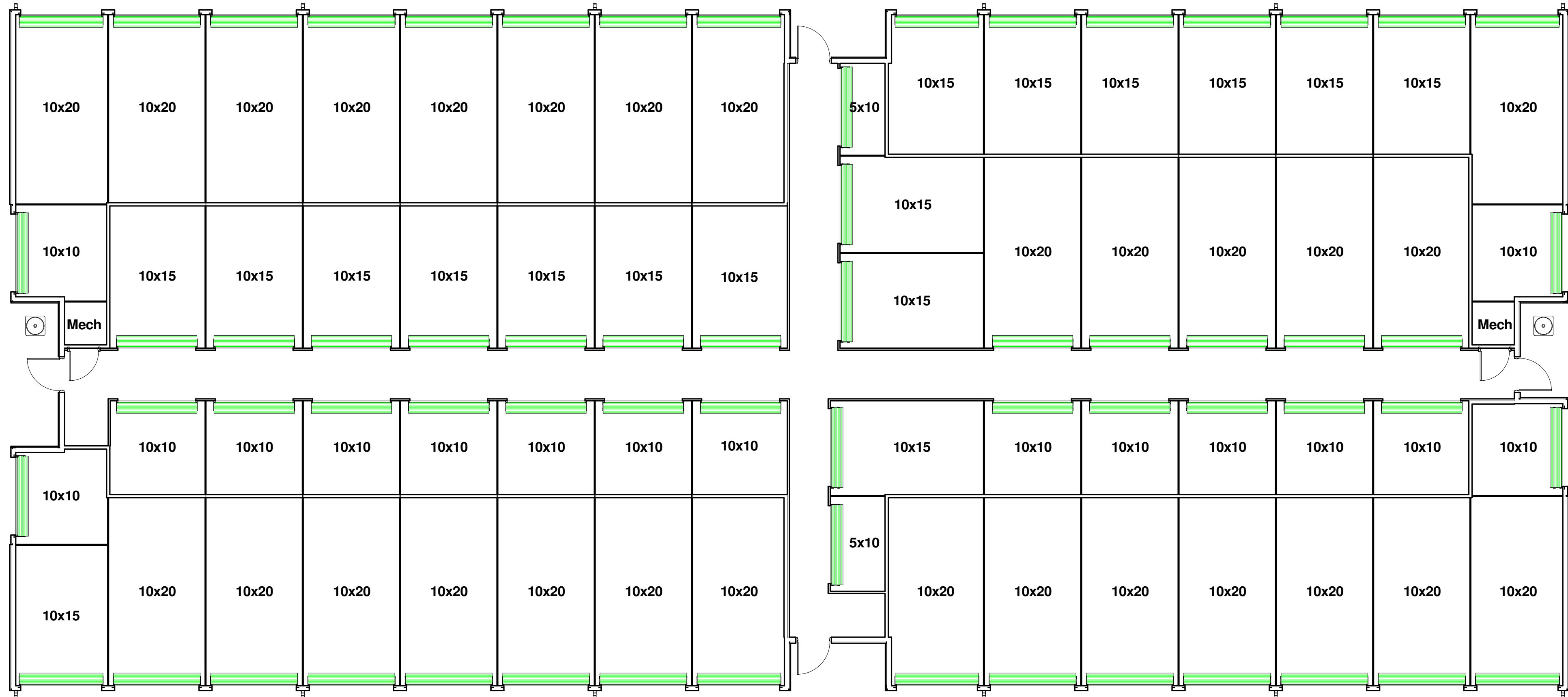
3807 Hwy 61  
Villa Rica, Ga 30180

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Revision Schedule

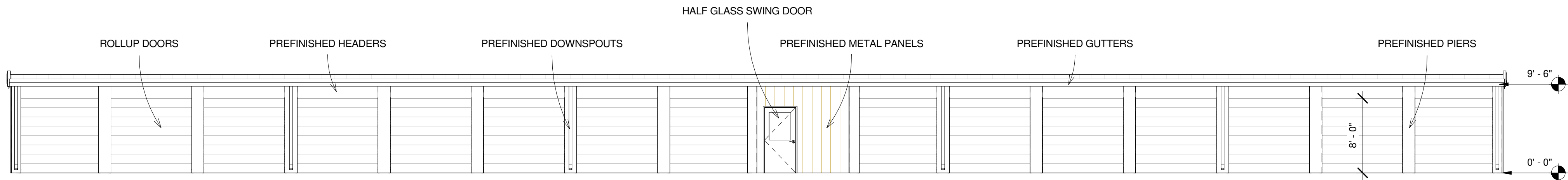
Revision Number	Revision Date	Revision Description	Issued by
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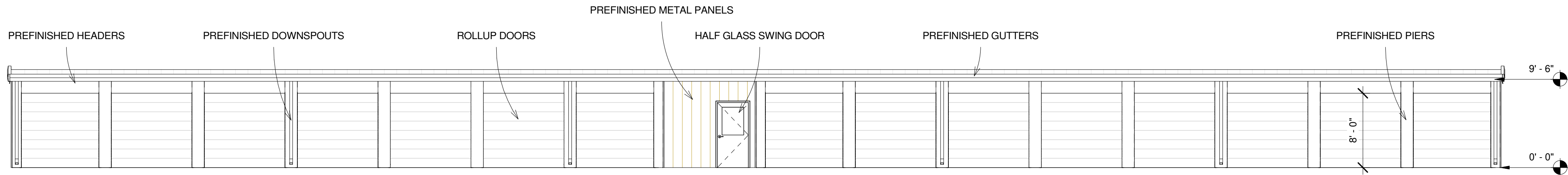
Unit Mix Schedule - Bldg 4				
Count	Name	Rent As	%	Occupancy

2	5x10	100	3%	CC
12	10x10	1200	19%	CC
10	10x15	1500	16%	CC
5	10x20	1000	8%	CC
4	10x10	400	6%	NC
7	10x15	1050	11%	NC
23	10x20	4600	37%	NC
63		9850	100%	

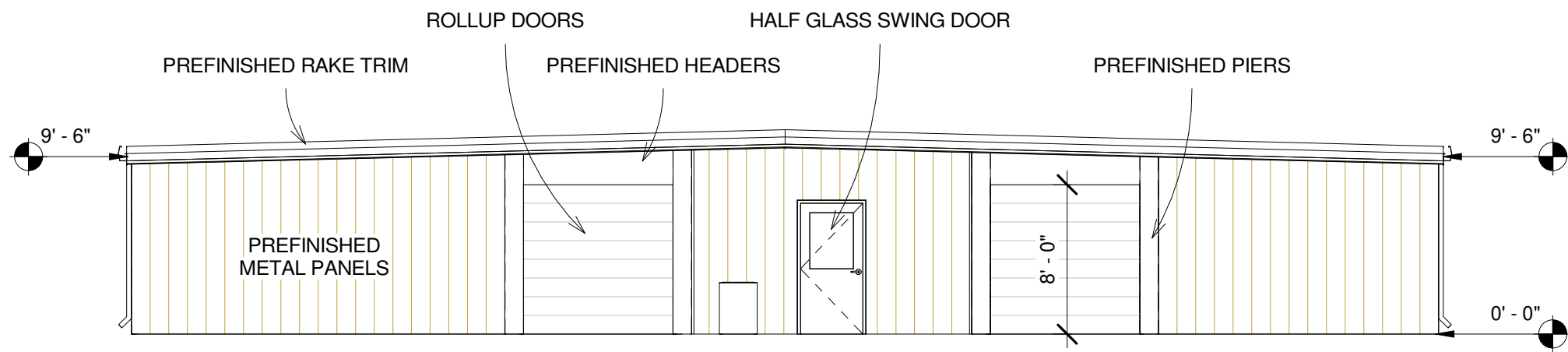
1 Unit Mix - Bldg 4  
1/8" = 1'-0"



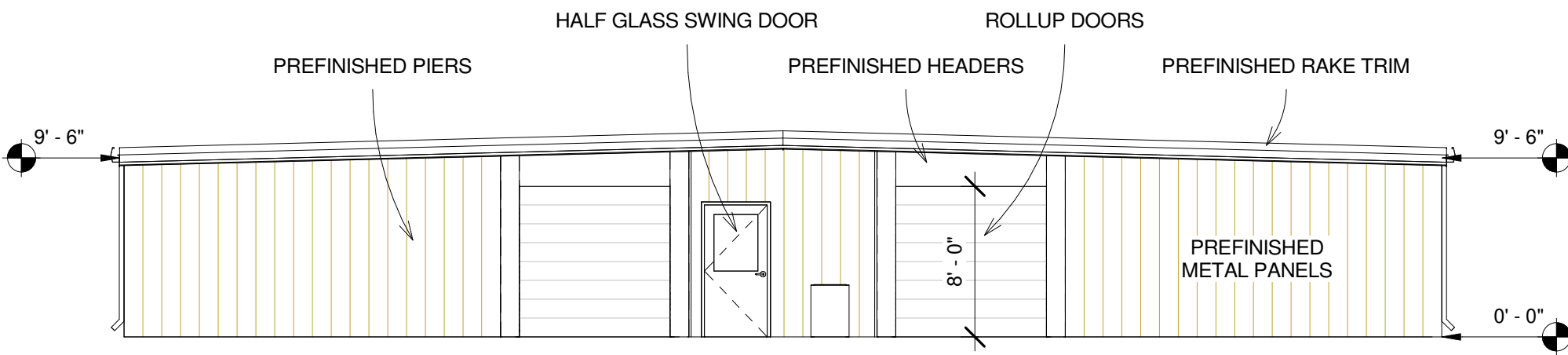
2 Bldg 4 SW Elevation  
1/8" = 1'-0"



3 Bldg 4 NE Elevation  
1/8" = 1'-0"



4 Bldg 4 NW Elevation  
1/8" = 1'-0"



5 Bldg 4 SE Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number

Project Number

Date

8/6/2019 1:09:53 PM

Designed By

SSI

Drawn By

AH

Checked By

CC

S104  
Building 4





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Villa Rica, Ga 30180

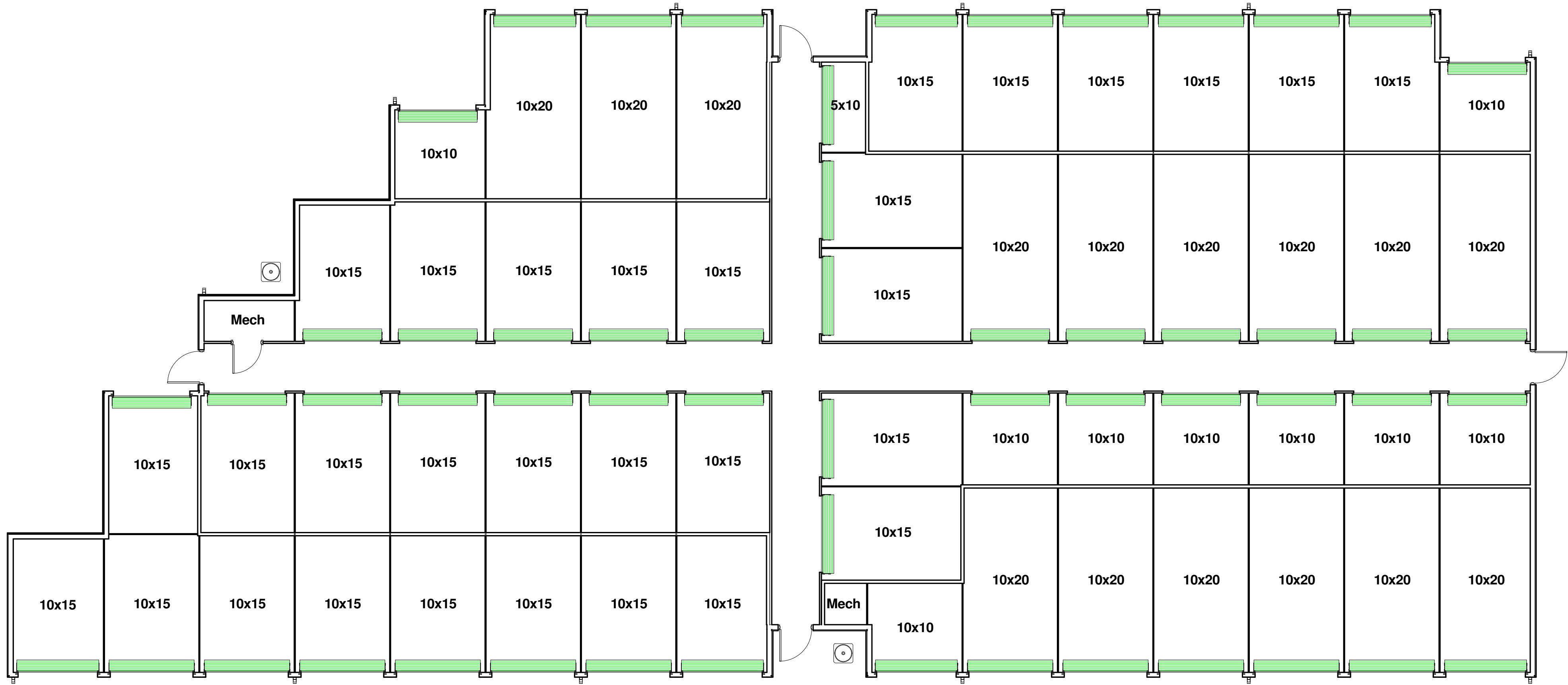
PHONE: 770-456-1602  
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FAX: 770-456-1662

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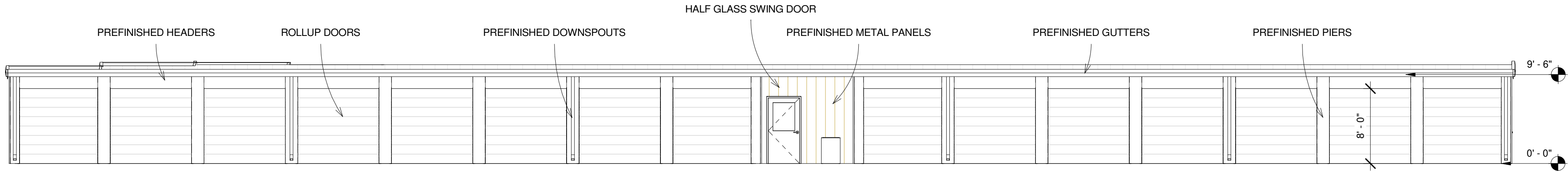
Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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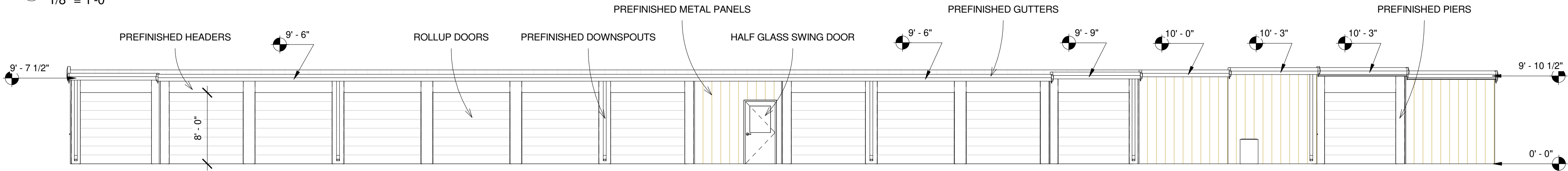
Unit Mix Schedule - Bldg 5				
Count	Name	Rent As	%	Occupancy
1	5x10	50	2%	CC
6	10x10	600	11%	CC
15	10x15	2250	27%	CC
6	10x20	1200	11%	CC
3	10x10	300	5%	NC
15	10x15	2250	27%	NC
9	10x20	1800	16%	NC
55		8450	100%	



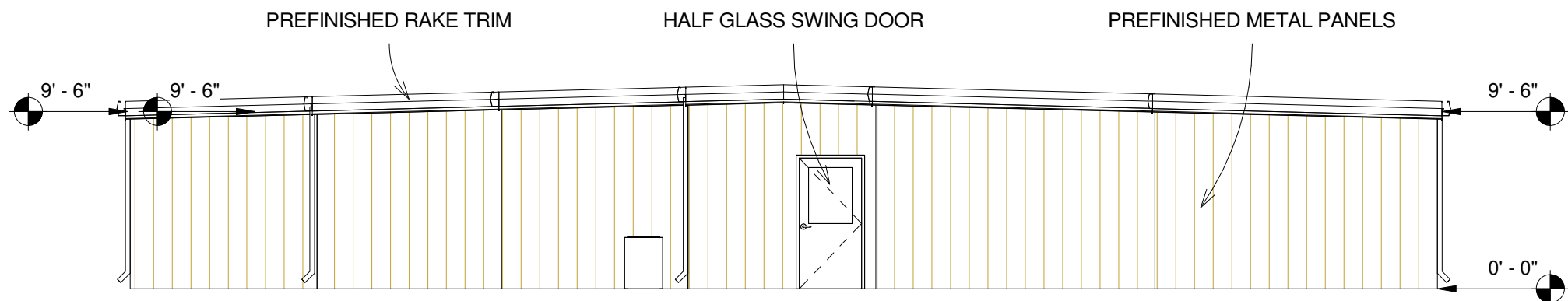
1 Unit Mix - Bldg 5  
1/8" = 1'-0"



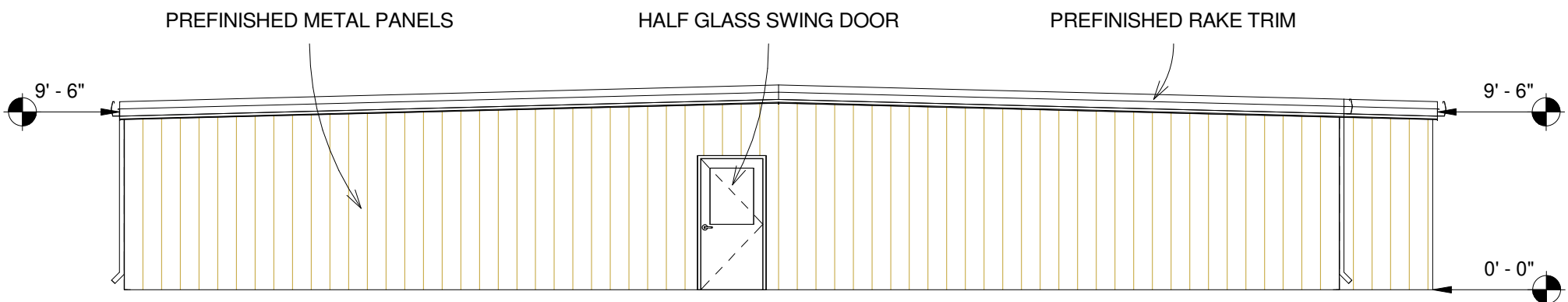
2 Bldg 5 SW Elevation  
1/8" = 1'-0"



3 Bldg 5 NE Elevation  
1/8" = 1'-0"



4 Bldg 5 NW Elevation  
1/8" = 1'-0"



5 Bldg 5 SE Elevation  
1/8" = 1'-0"

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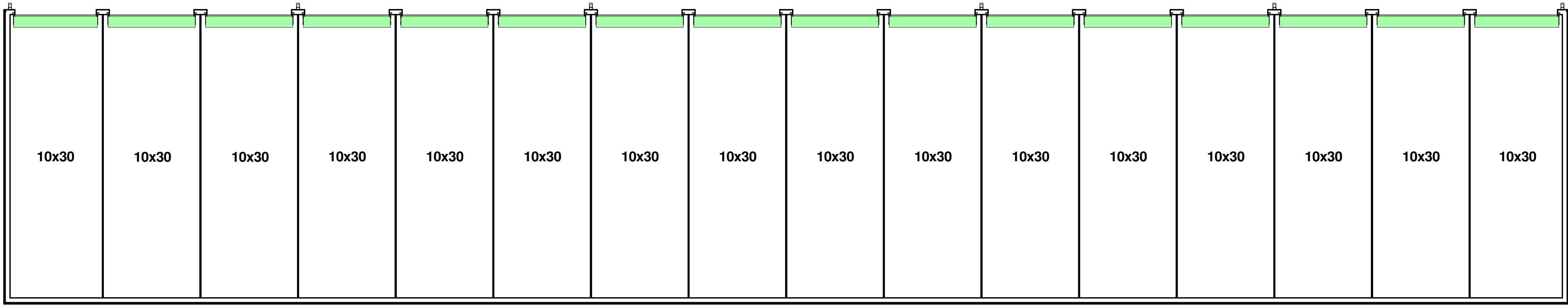
Rockwall, TX

Engineer

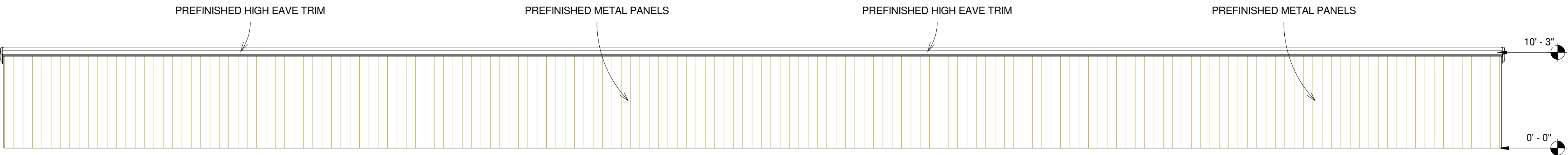
Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:09:55 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

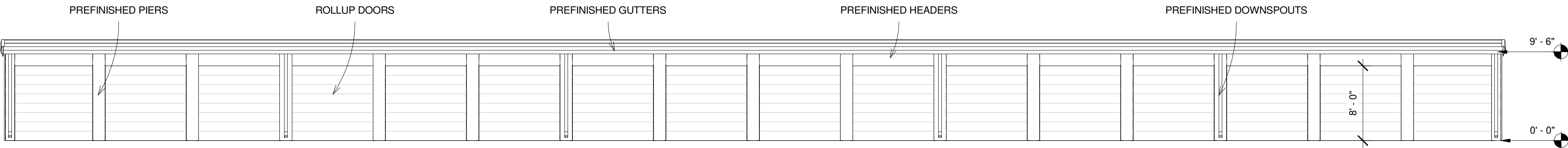
S105  
Building 5



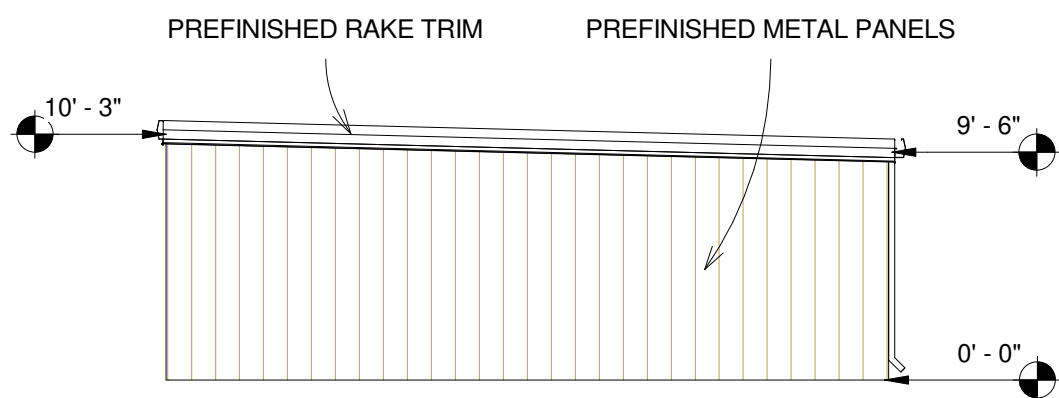
① Unit Mix - Bldg 6  
1/8" = 1'-0"



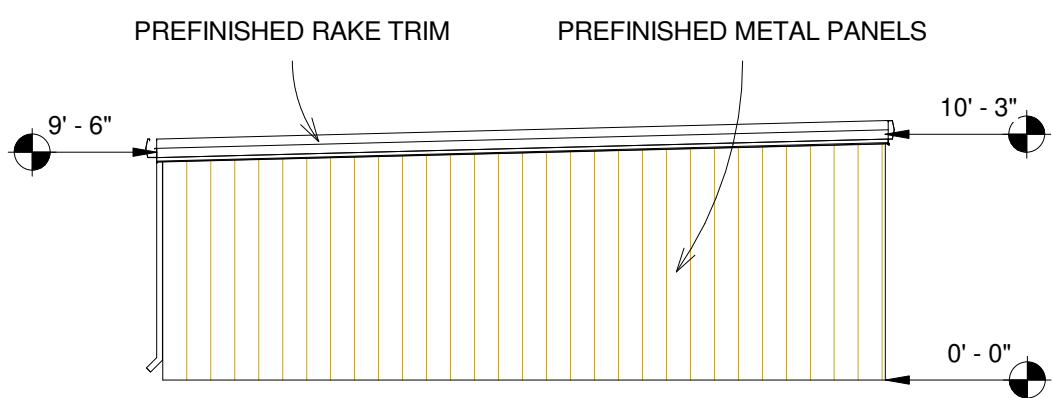
② Bldg 6 SW Elevation  
1/8" = 1'-0"



③ Bldg 6 NE Elevation  
1/8" = 1'-0"



④ Bldg 6 SE Elevation  
1/8" = 1'-0"



⑤ Bldg 6 NW Elevation  
1/8" = 1'-0"

Unit Mix Schedule - Bldg 6				
Count	Name	Rent As	%	Occupancy
16	10X30	4800	100%	NC
16		4800	100%	

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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

Rockwall, TX

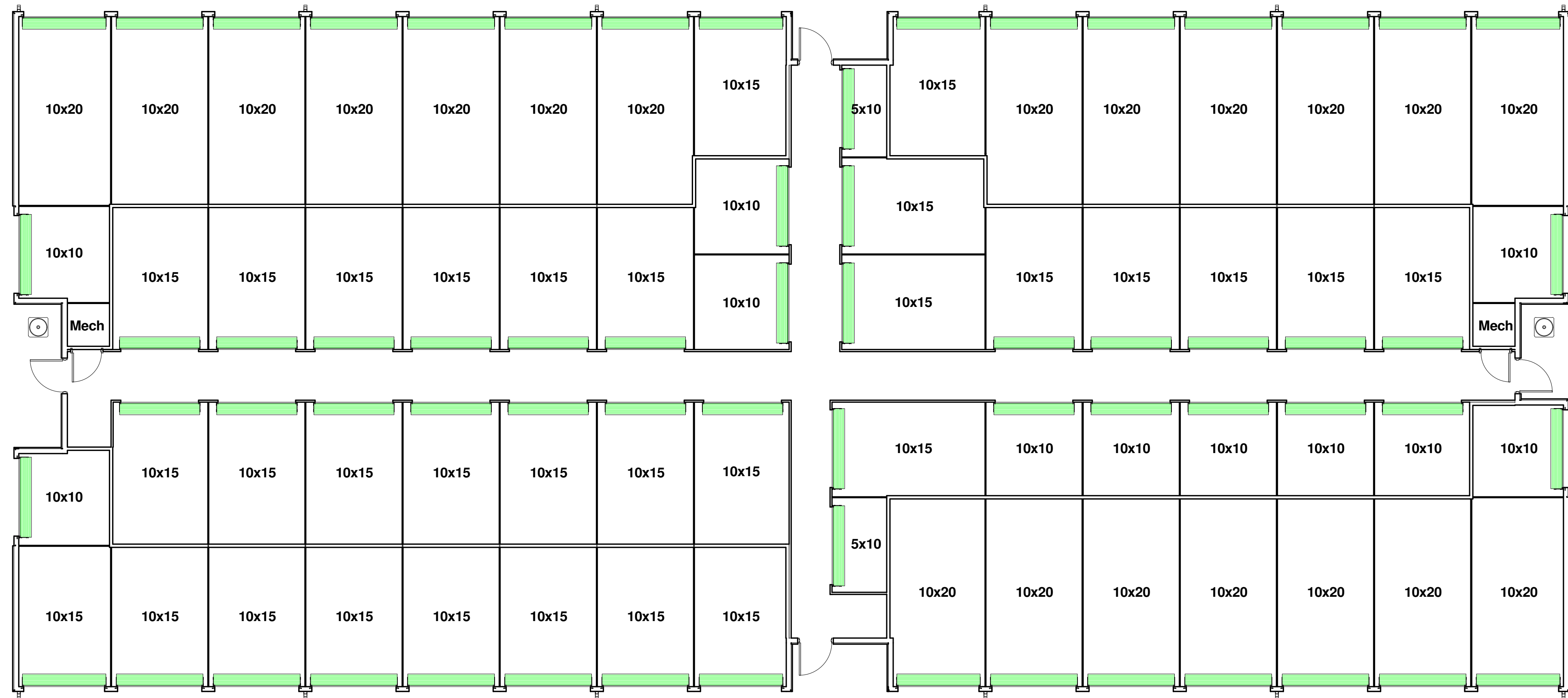
Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:09:56 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

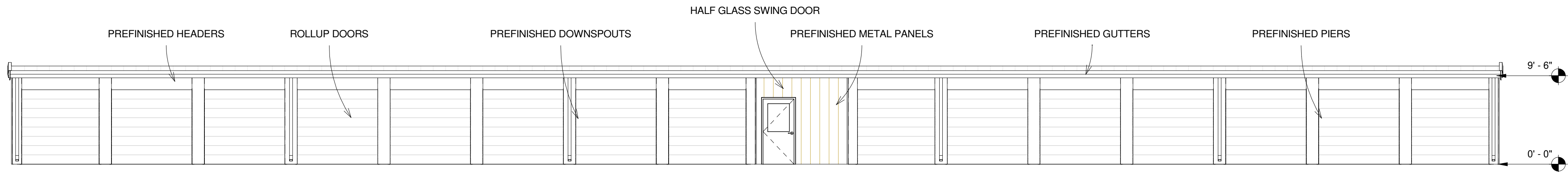
S106  
Building 6



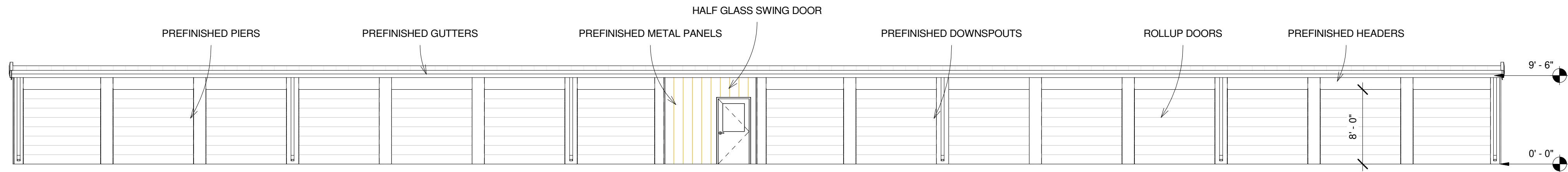


Unit Mix Schedule - Bldg 7				
Count	Name	Rent As	%	Occupancy
2	5x10	100	3%	CC
7	10x10	700	11%	CC
21	10x15	3150	33%	CC
4	10x10	400	6%	NC
10	10x15	1500	16%	NC
20	10x20	4000	31%	NC
64		9850	100%	

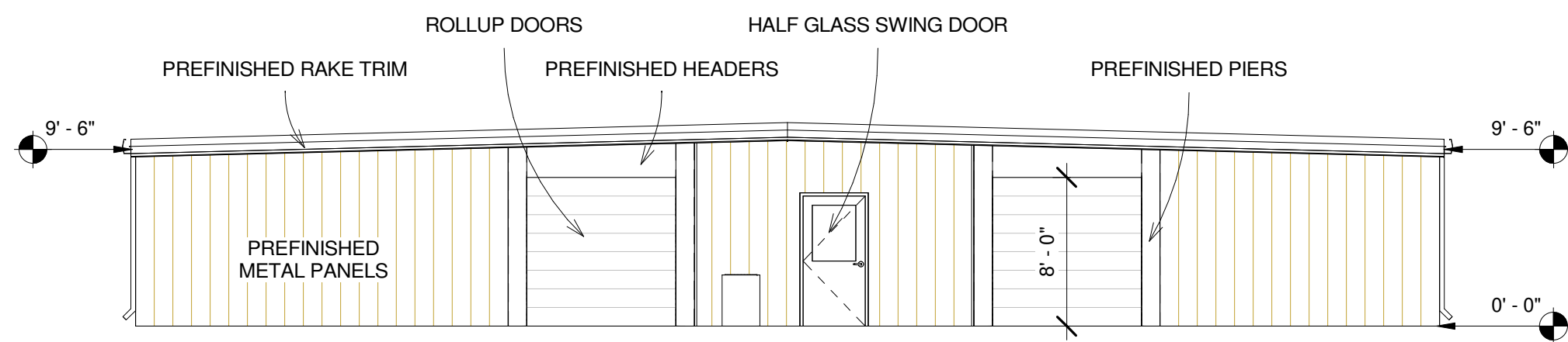
1 Unit Mix - Bldg 7  
1/8" = 1'-0"



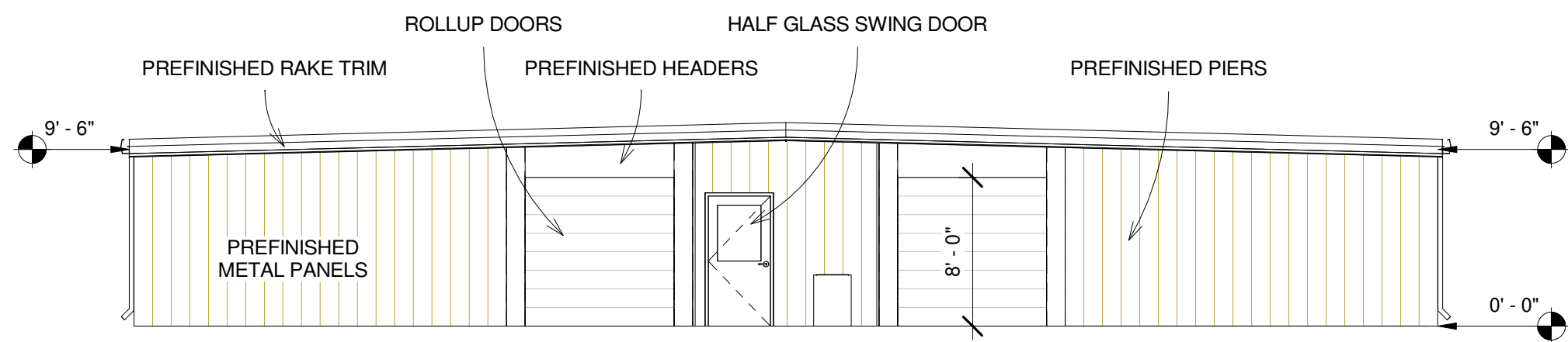
2 Bldg 7 SW Elevation  
1/8" = 1'-0"



3 Bldg 7 NE Elevation  
1/8" = 1'-0"



4 Bldg 7 NW Elevation  
1/8" = 1'-0"



5 Bldg 7 SE Elevation  
1/8" = 1'-0"

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Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:09:58 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

S107  
Building 7



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Villa Rica, Ga 30180

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Revision Number	Revision Date	Revision Description	Issued by

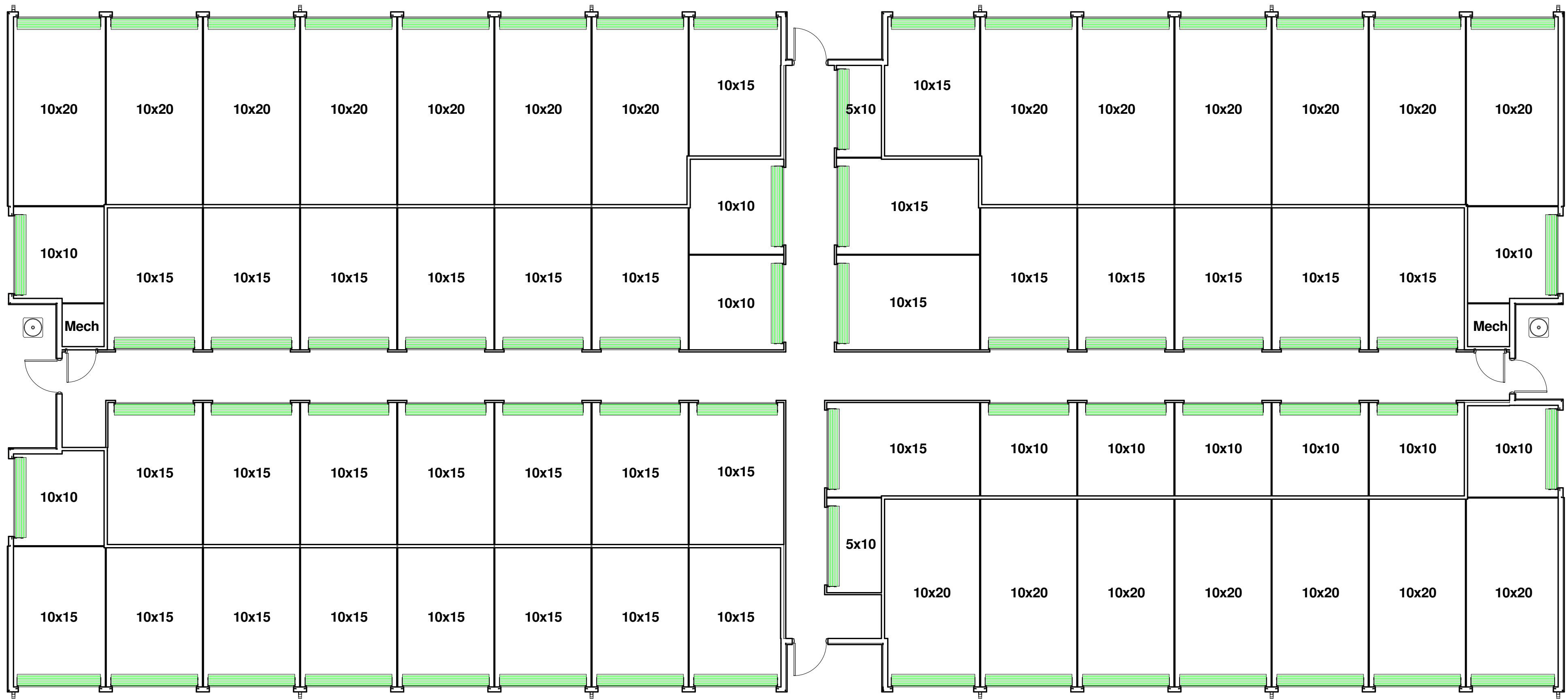
Horizon Road Self Storage

Rockwall, TX

Engineer	Engineer Address PE No
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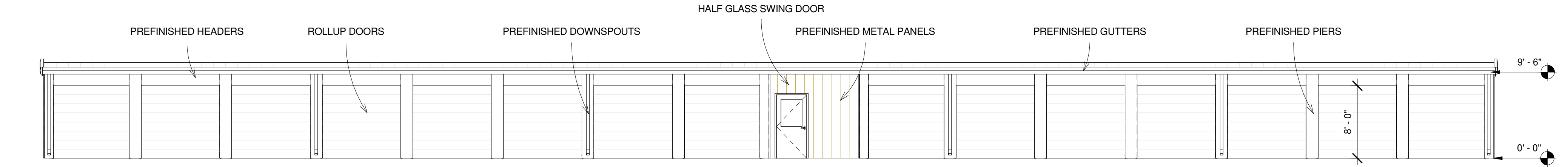
SSI Project Number	Project Number
Date	8/6/2019 1:10:00 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

S108  
Building 8

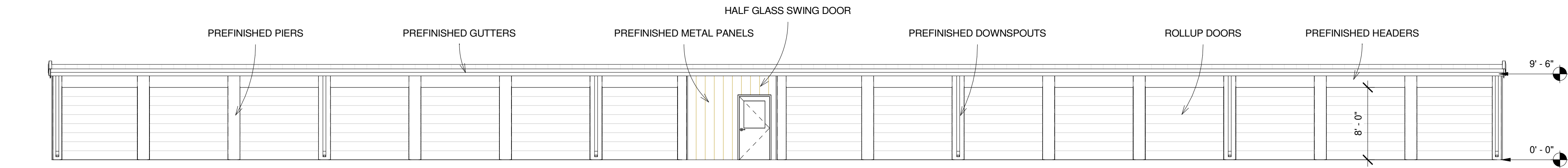


Unit Mix Schedule - Bldg 8				
Count	Name	Rent As	%	Occupancy
2	5x10	100	3%	CC
7	10x10	700	11%	CC
21	10x15	3150	33%	CC
4	10x10	400	6%	NC
10	10x15	1500	16%	NC
20	10x20	4000	31%	NC
64		9850	100%	

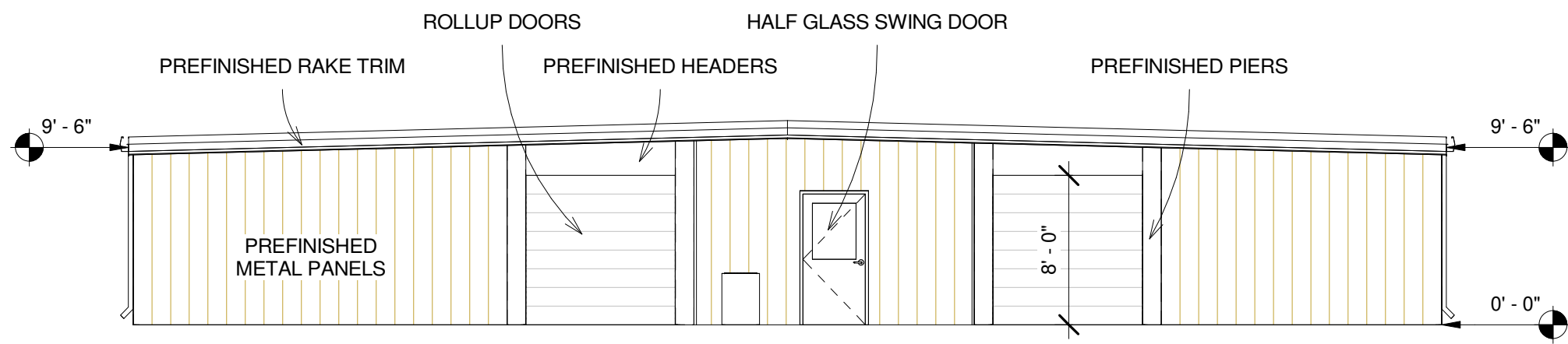
1 Unit Mix - Bldg 8  
1/8" = 1'-0"



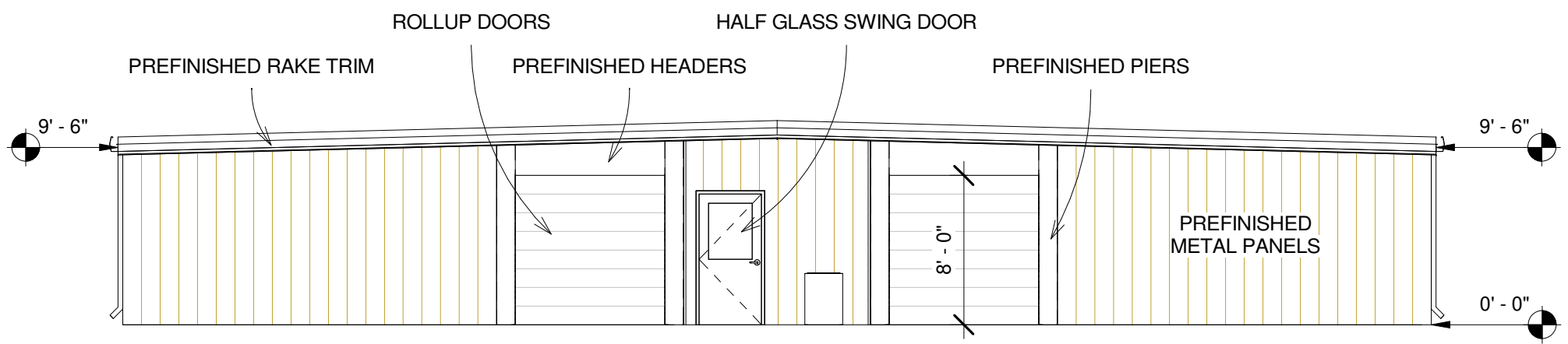
2 Bldg 8 SW Elevation  
1/8" = 1'-0"



3 Bldg 8 NE Elevation  
1/8" = 1'-0"



4 Bldg 8 NW Elevation  
1/8" = 1'-0"



5 Bldg 8 SE Elevation  
1/8" = 1'-0"

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Revision Schedule

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Horizon Road Self Storage

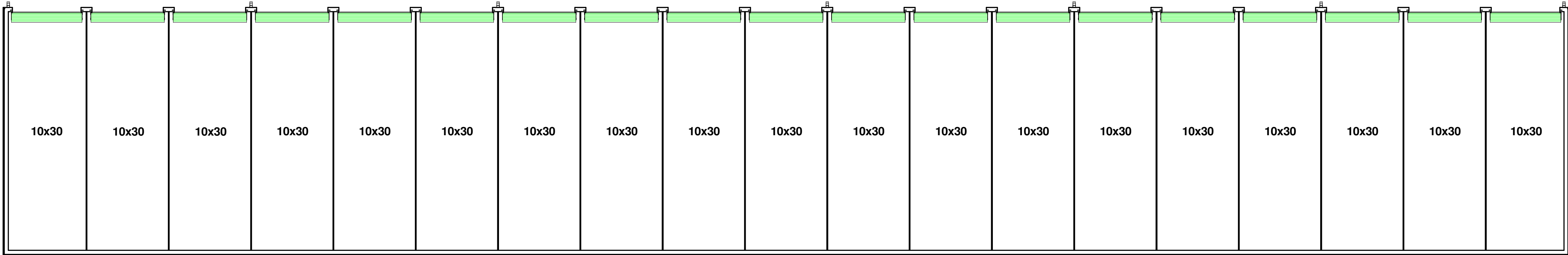
Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:10:00 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

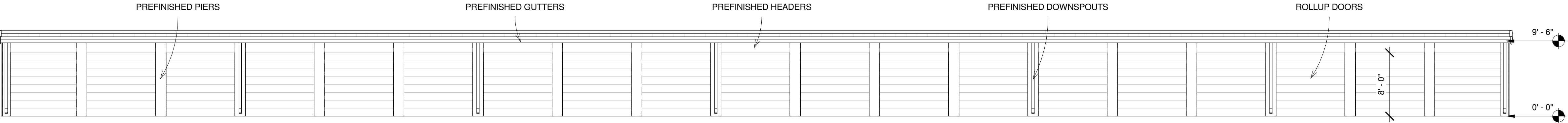
S109  
Building 9



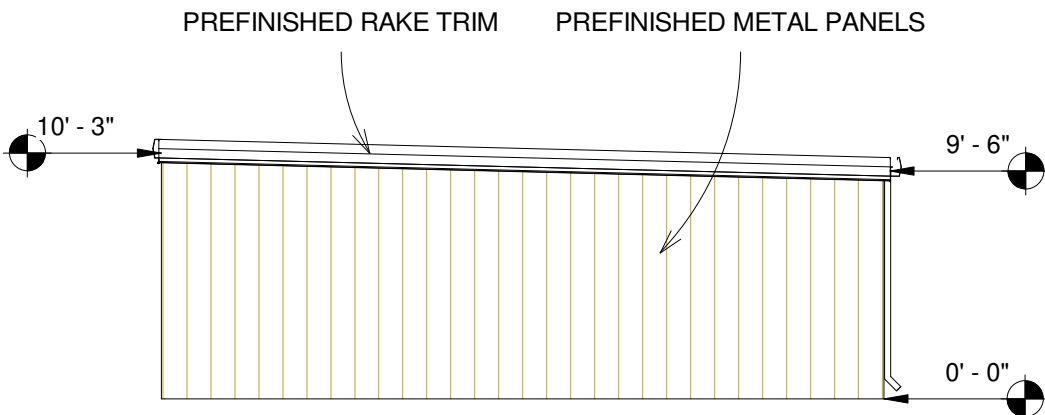
① Unit Mix - Bldg 9  
1/8" = 1'-0"



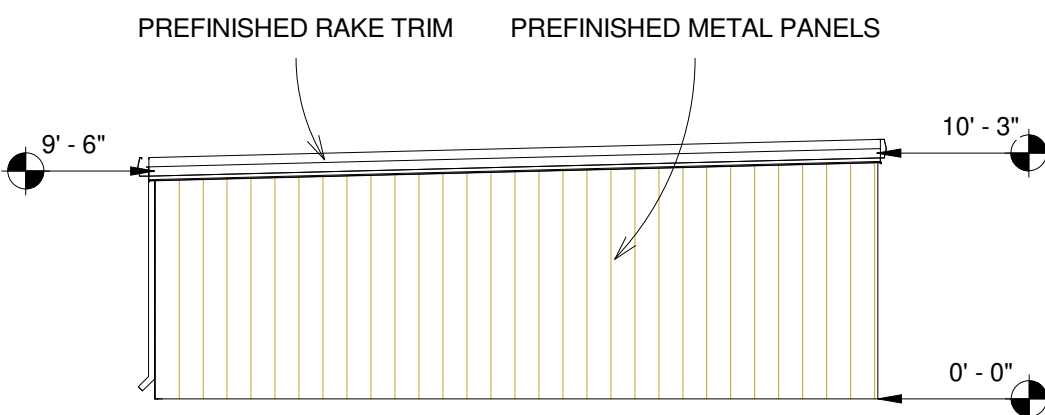
② Bldg 9 SW Elevation  
1/8" = 1'-0"



③ Bldg 9 NE Elevation  
1/8" = 1'-0"



④ Bldg 9 SE Elevation  
1/8" = 1'-0"



⑤ Bldg 9 NW Elevation  
1/8" = 1'-0"

Unit Mix Schedule - Bldg 9				
Count	Name	Rent As	%	Occupancy
19	10x30	5700	100%	NC
19		5700	100%	

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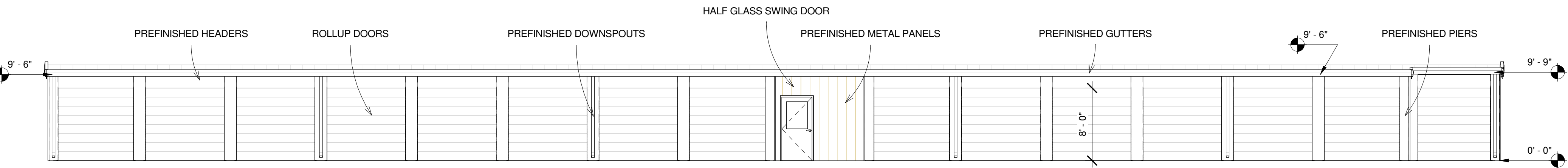
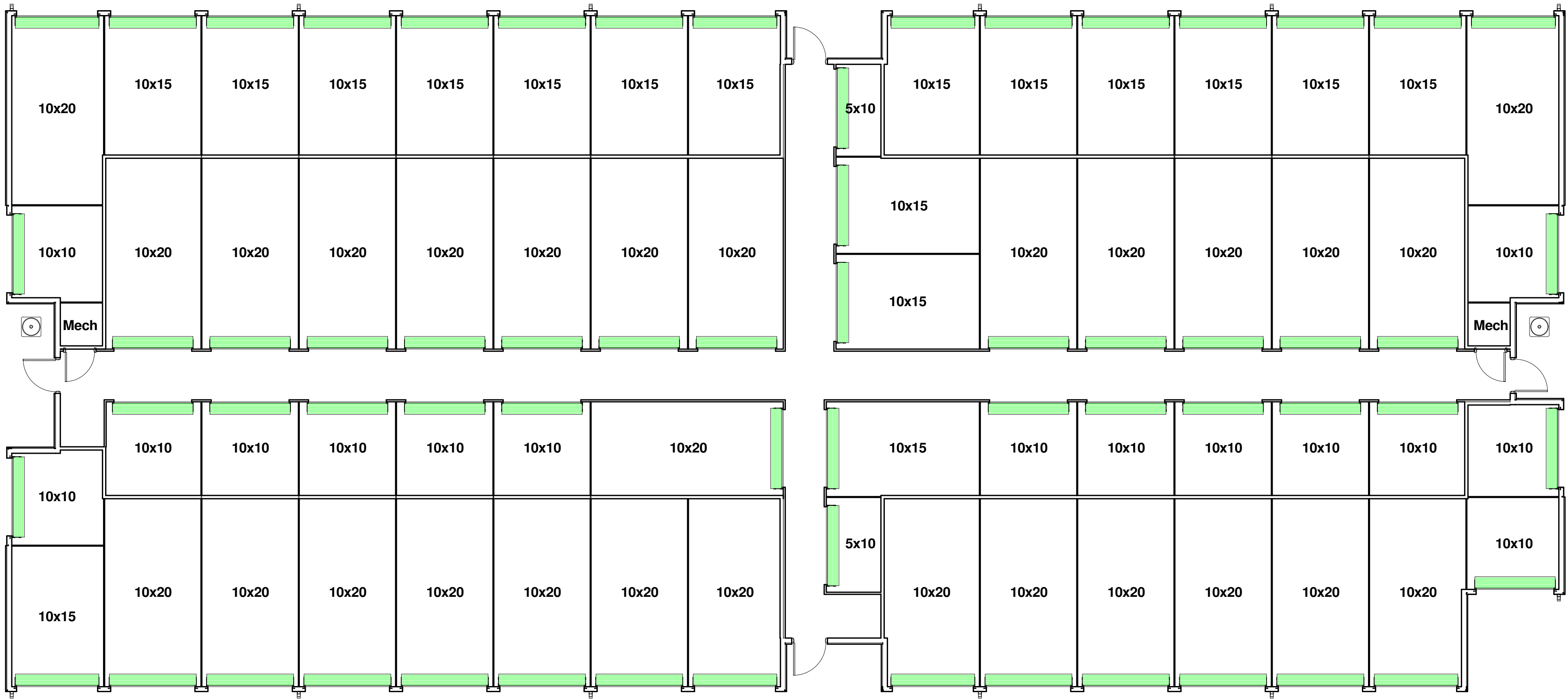
Revision Number	Revision Date	Revision Description	Issued by
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Unit Mix Schedule - Bldg 10

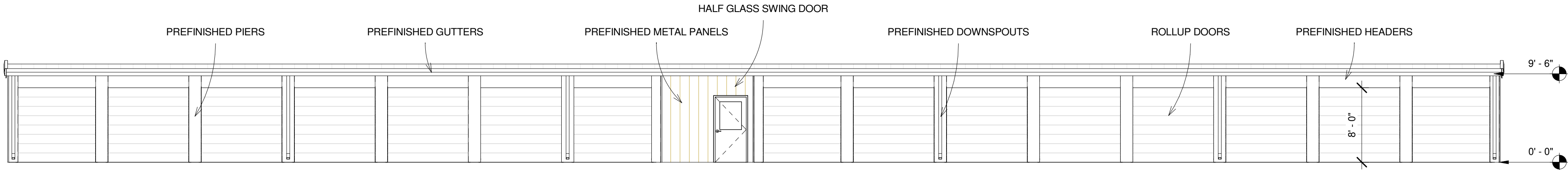
Count	Name	Rent As	%	Occupancy
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2	5x10	100	3%	CC
10	10x10	1000	16%	CC
3	10x15	450	5%	CC
13	10x20	2600	21%	CC
5	10x10	500	8%	NC
14	10x15	2100	23%	NC
15	10x20	3000	24%	NC
62		9750	100%	

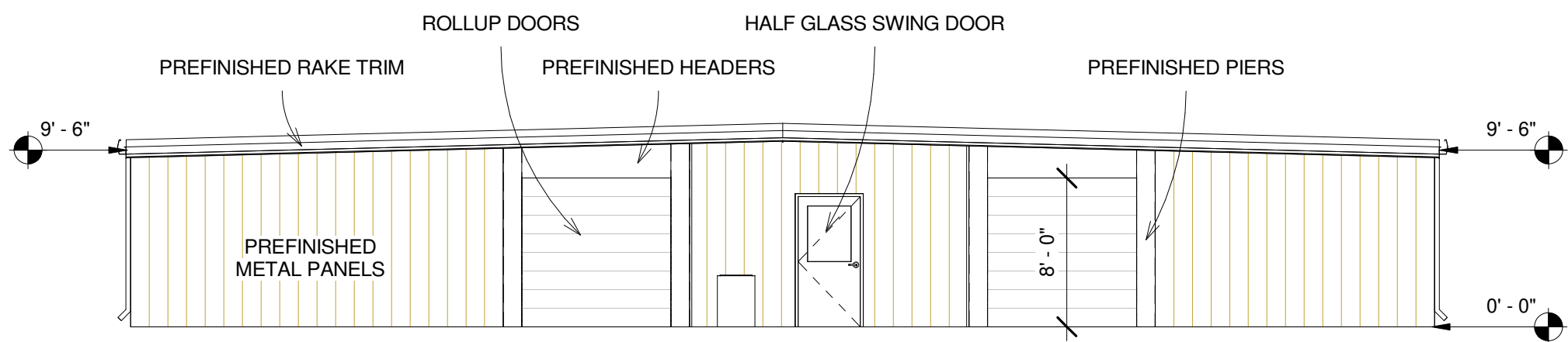
1 Unit Mix - Bldg 10  
1/8" = 1'-0"



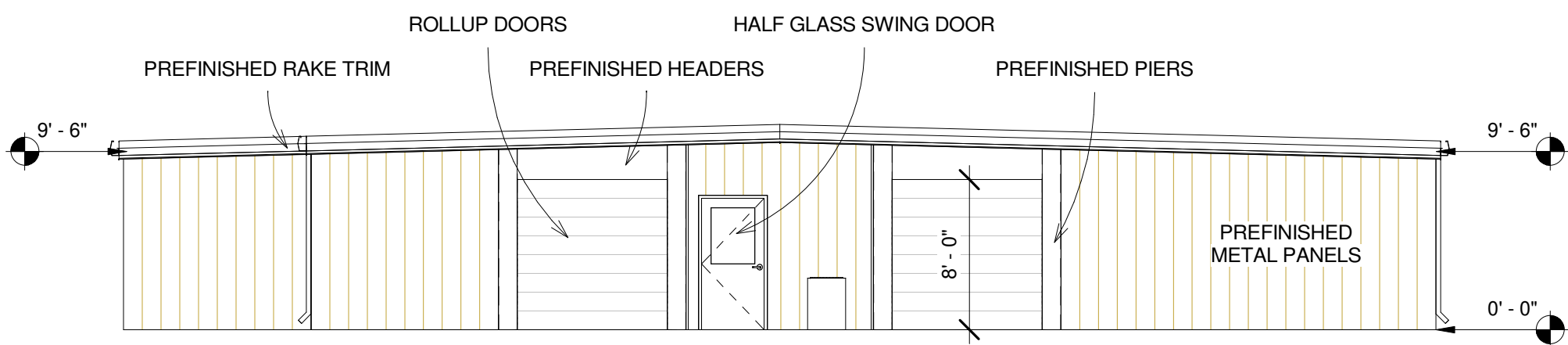
2 Bldg 10 SW Elevation  
1/8" = 1'-0"



3 Bldg 10 NE Elevation  
1/8" = 1'-0"



4 Bldg 10 NW Elevation  
1/8" = 1'-0"



5 Bldg 10 SE Elevation  
1/8" = 1'-0"

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Horizon Road Self Storage

Rockwall, TX

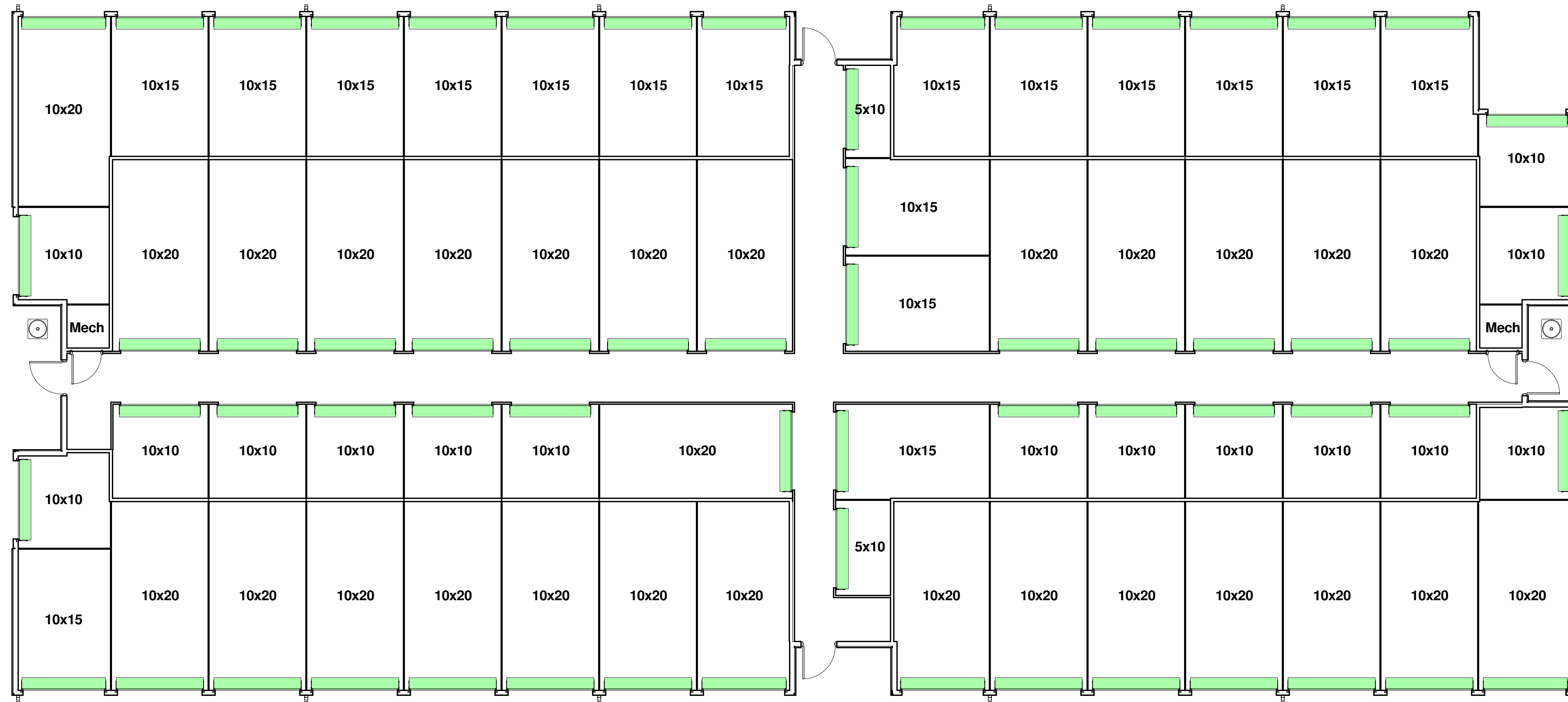
Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:10:01 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

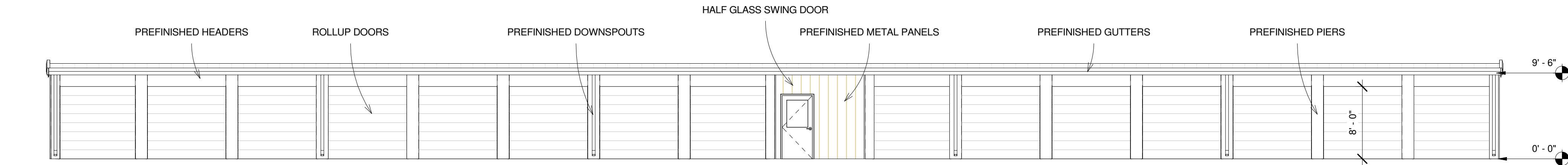
S110  
Building 10



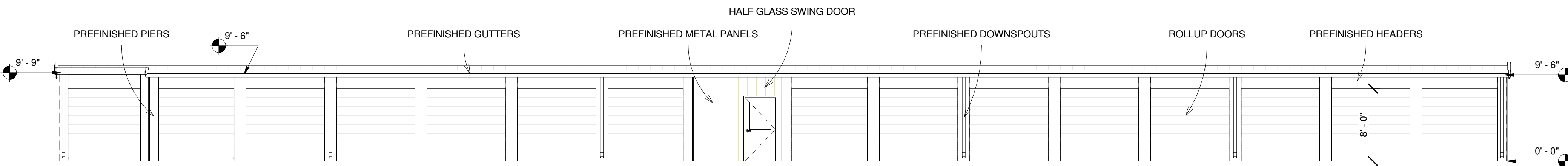


Unit Mix Schedule - Bldg 11				
Count	Name	Rent As	%	Occupancy
2	5x10	100	3%	CC
10	10x10	1000	16%	CC
3	10x15	450	5%	CC
13	10x20	2600	21%	CC
5	10x10	500	8%	NC
14	10x15	2100	23%	NC
15	10x20	3000	24%	NC
62		9750	100%	

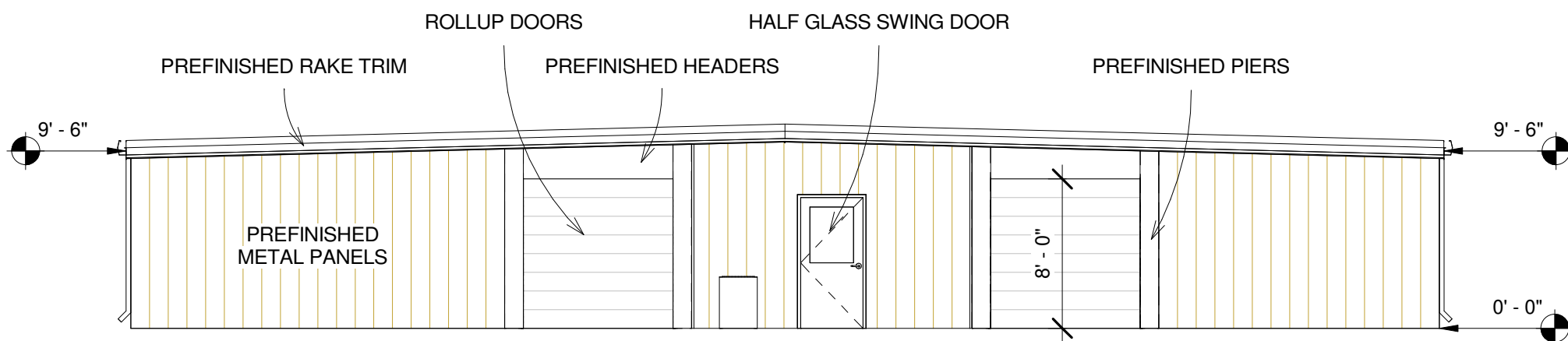
1 Unit Mix - Bldg 11  
1/8" = 1'-0"



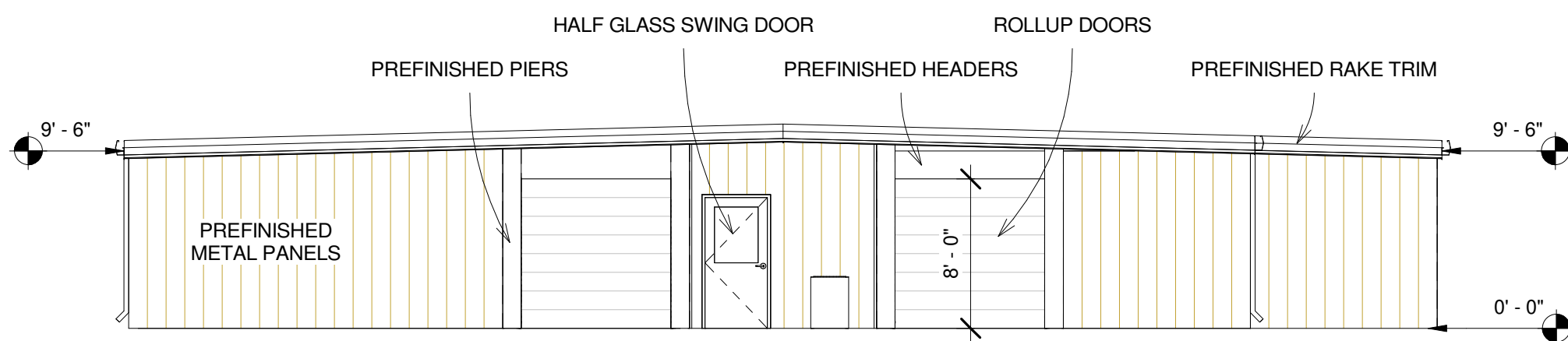
2 Bldg 11 SW Elevation  
1/8" = 1'-0"



3 Bldg 11 NE Elevation  
1/8" = 1'-0"



4 Bldg 11 NW Elevation  
1/8" = 1'-0"



5 Bldg 11 SE Elevation  
1/8" = 1'-0"

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www.storagestructuresinc.com

Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	8/6/2019 1:10:01 PM
Designed By	SSI
Drawn By	AH
Checked By	CC

S111  
Building 11



October 2, 2019

**ATTN:** RUSSELL PHILLIPS  
HORIZON RAOD SELF STORAGE LLC  
231 RANCH TRAIL,  
Rockwall, TX 75032

**RE: SITE PLAN (SP2019-027), 259 Ranch Trail**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the City Council / Planning and Zoning Commission on 08/13/2019. The following is a record of all recommendations, voting records and conditions of approval:

*ARCHITECTURAL REVIEW BOARD (ARB):*

*On July, 30, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval of the site plan by a 5-2 vote with Board Members Wacker and Meyrat dissenting.*

*CONDITIONS OF APPROVAL*

*If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for approval of a site plan with the associated exceptions, then staff would propose the following conditions of approval:*

- (1) The development shall generally conform to the Concept Plan depicted in Exhibit 'B' of the approved Specific Use Permit (SUP) [Ordinance No. 19-04].*
- (2) The building elevations shall generally conform to the Concept Building Elevations depicted in Exhibit 'D' of the approved Specific Use Permit (SUP) [Ordinance No. 19-04].*
- (3) The maximum number of storage units provided shall not exceed 575 units for the facility.*
- (4) The residential unit/caretaker's quarters shall not exceed 1,600 square feet.*
- (5) The residential unit/caretaker's quarters shall not be greater than 36-feet in height.*
- (6) No outside storage of any kind shall be allowed (including, but not limited to the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles).*
- (7) Businesses shall not be allowed to operate within individual storage units.*
- (8) The commercial operation of rental trucks and trailers shall be prohibited.*
- (9) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

*PLANNING AND ZONING COMMISSION*

*On August 13, 2019, the Planning and Zoning Commission's motion to approve the site plan and associated variances passed by a vote of 7-0.*





For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read "Korey Brooks".

**Korey Brooks, AICP**  
Senior Planner  
Planning & Zoning Department  
City of Rockwall, TX