



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2020-023 P&Z DATE 09/15/20 CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☒ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2020-023

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☒ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

351 Ranch Trail

Subdivision

Lot

Block

General Location

HORIZON Rd. & RANCH TRAIL

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

COMMERCIAL

Current Use

COMMERCIAL

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

- ☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner

EPIC ROCKWALL VENTURES, LLC

☐ Applicant

Contact Person

JOHN MCKINNEY

Contact Person

Address

315 RANCH TRAIL

Address

City, State & Zip

ROCKWALL TEXAS 75032

City, State & Zip

Phone

(214) 669-2236

Phone

E-Mail

jjranch58@gmail.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Michael Daul [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

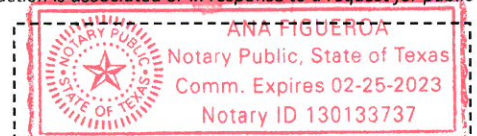
Given under my hand and seal of office on this the 16th day of July, 2020.

Owner's Signature

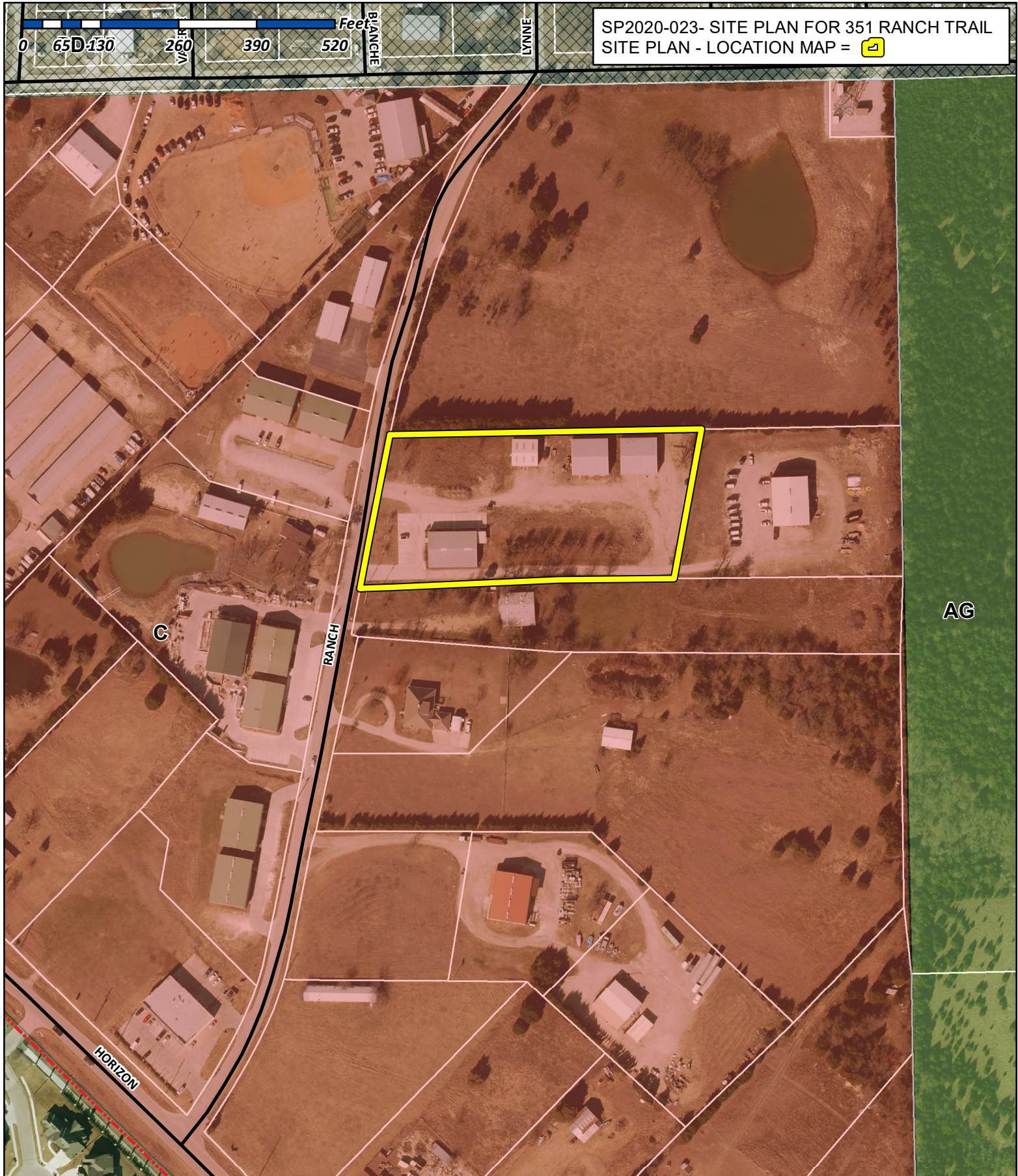
[Signature]

Notary Public in and for the State of Texas

[Signature]



My Commission Expires 02-25-2023



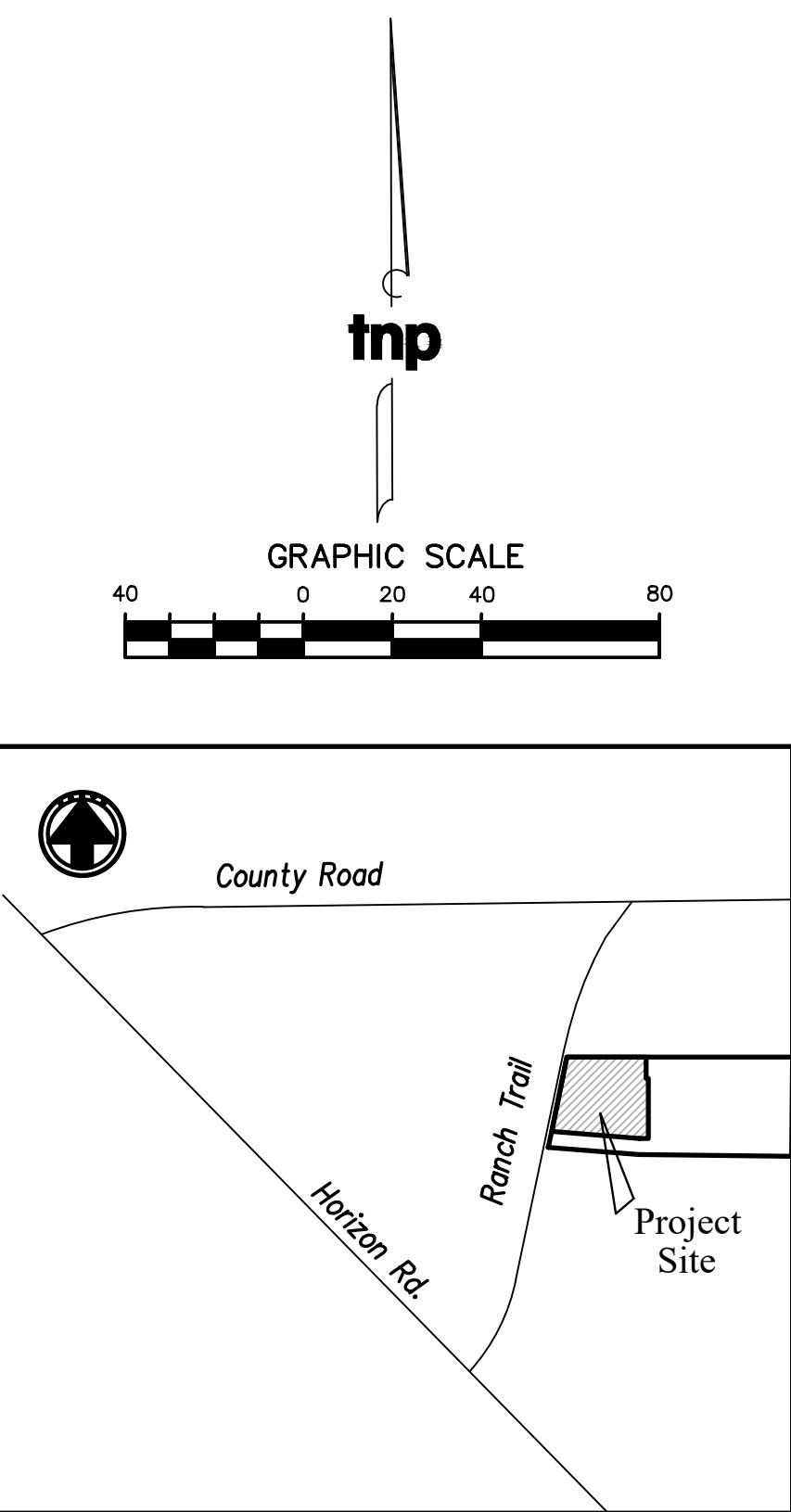
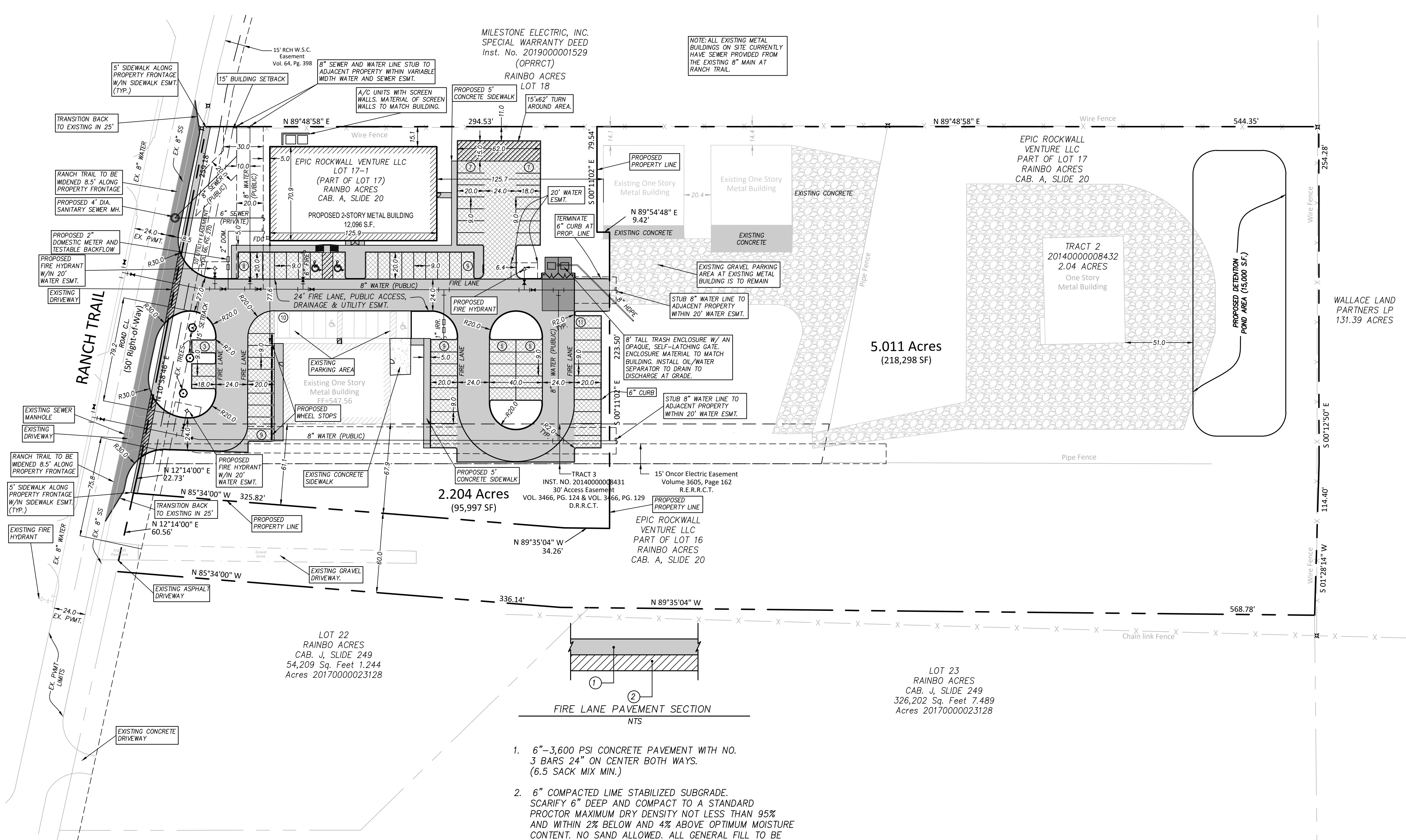
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Drawing: P:\00_FCCo\Projects\6-Commercial\Rockwall - Ranch Trail\1-DRAWINGS\F-DESIGN-CURRENT\01.04 SITE PLAN.dwg at Jul 16, 2020-4:21pm by cblown
LAYOUT: SITE PLAN - X SITE.dwg - X SITE.dwg - X SITE.dwg - X SITE.dwg



LOCATION MAP

NOTES:

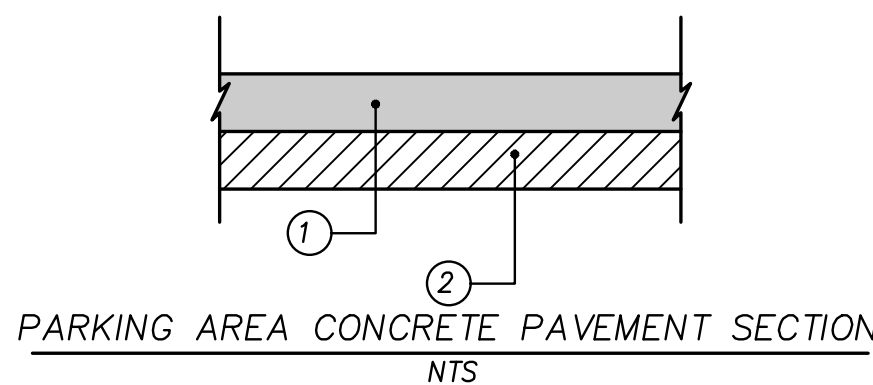
DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE PROPOSED BUILDING.

LEGEND	
	PROPOSED FIRE LANE
	SIDEWALK HATCH
	PROPOSED CONCRETE FIRE LANE
	PROPOSED RANCH TRAIL/TRASH ENCLOSURE PAVEMENT
	PROPOSED PARKING AREA PAVEMENT
	EXISTING SAN SEWER MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE

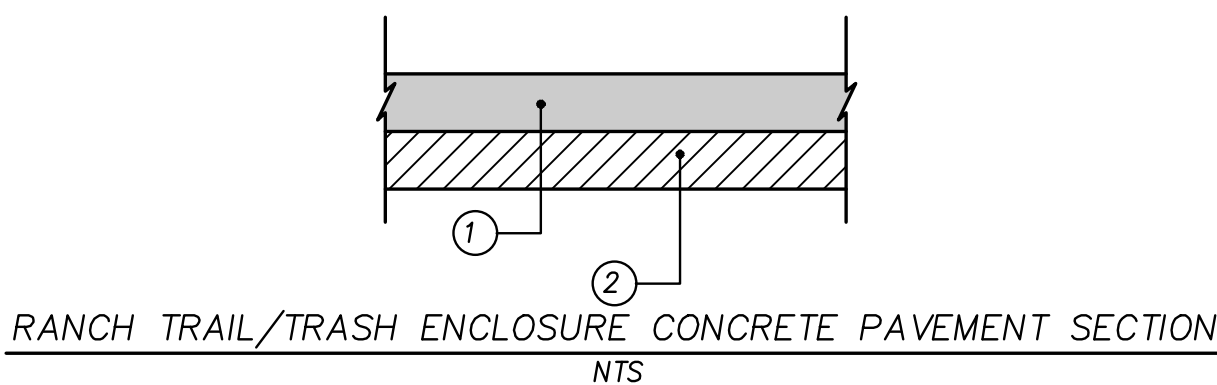
SITE INFORMATION

PROPOSED LAND AREA:	2.204 ACRES (95,997 S.F.)
CURRENT ZONING:	COMMERCIAL
EXISTING USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	4,900 S.F. EXISTING OFFICE 12,096 S.F. PROPOSED OFFICE
BUILDING TO LOT COVERAGE:	16,996/95,997=.093 -> 17.7%
PROPOSED BUILDING HEIGHT:	31 FEET 10 INCHES
BUILDING REQUIRED PARKING:	16,996 S.F./300=57 SPACES
BUILDING PARKING PROVIDED:	83 TOTAL (INCLUDES 4 HANDICAP SPACES)
IMPERVIOUS AREA:	50,129 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,868 S.F. (1.05 ACRES)

- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



- 5"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
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- 8"-3,600 PSI CONCRETE PAVEMENT WITH NO. 4 BARS 18" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
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APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of ____, 2020.
Witness our hands this ____ day of ____, 2020.

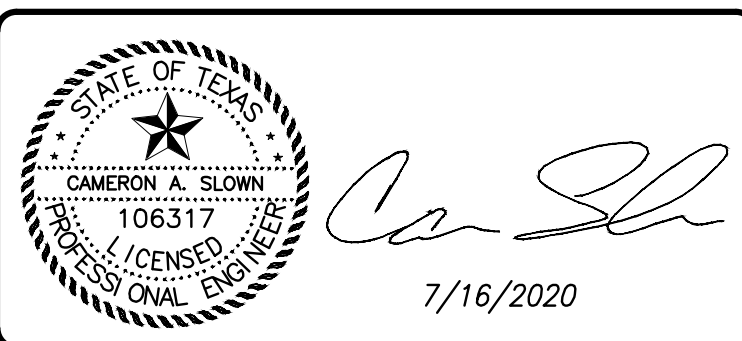
Planning & Zoning Commission, Chairman _____ Director of Planning & Zoning _____

CASE NUMBER: SP2019-050

no.	revision	by	date



teague nall and perkins, inc
825 Walters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPE: F-230; TBPLS: 10011600, 10011601, 10194381

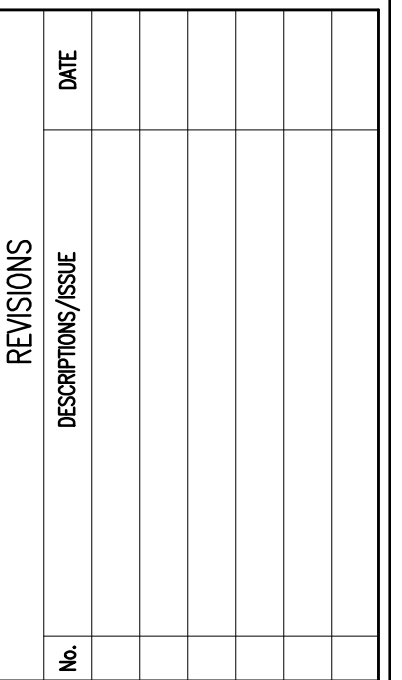


scale
when bar is
1 inch long
horiz
1"=40'
vert
N/A
JUL 2020

ROCKWALL EPIC
VENTURES, LLC

City of RockWall, Texas Improvements for 315 - Ranch Trail SITE PLAN

tnp project
RSY20508
sheet
C1.04



PROJECT NAME AND ADDRESS:
ROCKWALL EPIC VENTURES, LLC
351 RANCH TRAIL
ROCKWALL TEXAS 75032

DRAWING NAME:

BUILDING
ELEVATION

A 1

SP2020-??

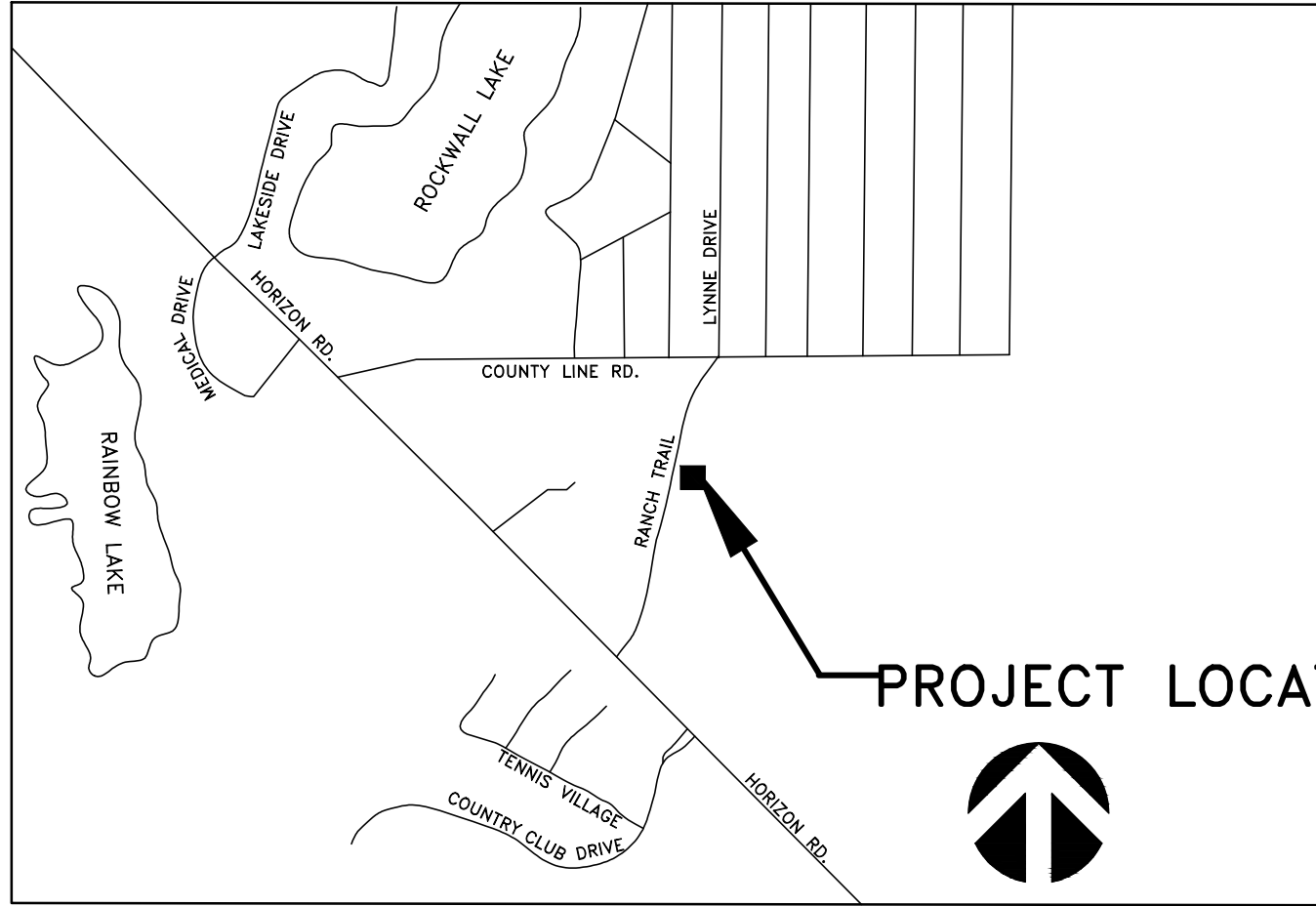


MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,779	
DOORS & WINDOWS (DEDUCTED)		170	
ACCOUNTABLE AREA		1,003	100%
INSULATED METAL PANELS		514	51%
NATURAL STONE		489	49%



MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,041	
DOORS & WINDOWS (DEDUCTED)		85	
ACCOUNTABLE AREA		956	100%
NATURAL STONE		243	26%
INSULATED METAL PANELS		713	74%





VICINITY MAP

PLANT SCHEDULE

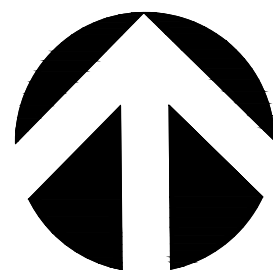
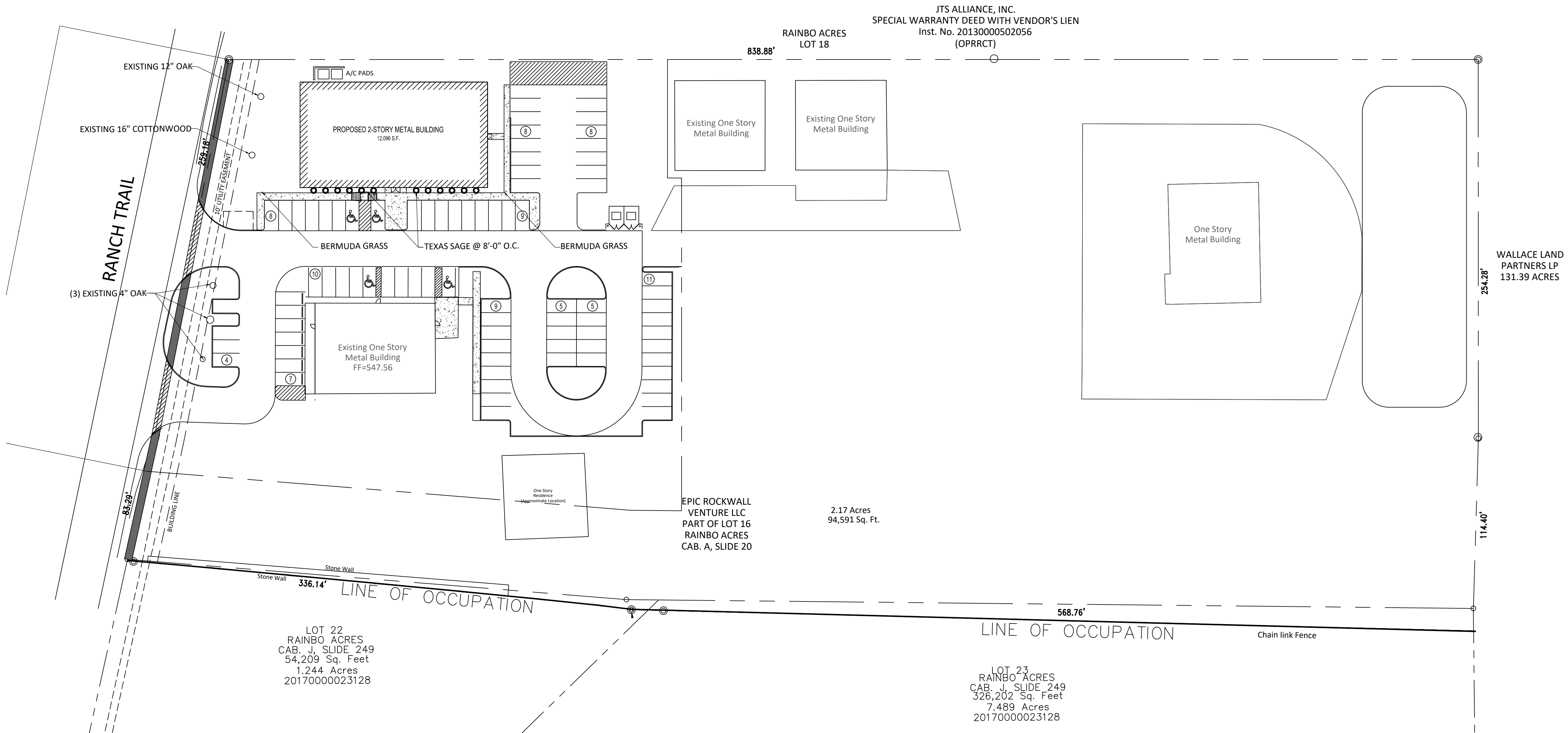
QTY.	SIZE	TYPE	SPACING	MIN. HEIGHT
12	3 GALLON	TEXAS SAGE (Leucophyllum frutescent)	8'-0"	4'-0"

REQUIRED TREES

A. STREET TREES
1 TREE FOR EVERY 50 L.F. OF FRONTAGE

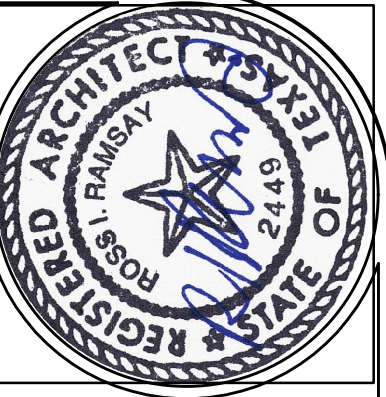
RANCH TRAIL FRONTAGE : 282' / 50' = 5.64
5 TREES REQUIRED

(5) TREES EXISTING - 12" OAK, 16" COTTONWOOD, (3) 4" OAK



LANDSCAPE PLAN

SCALE: 1"=40'



RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	
No.	

PROJECT NAME AND ADDRESS:
ROCKWALL EPIC VENTURES, LLC
351 RANCH TRAIL
ROCKWALL, TEXAS 75032

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	07/17/2020
SCALE	
SHEET NO.	of

DRAWING NAME:
LANDSCAPE PLAN

LS-1

SP2020-??



PROJECT ADDRESS:
351 RANCH TRAIL
ROCKWALL, TEXAS 75032

OWNER/DEVELOPER:
EPIC ROCKWALL VENTURES, LLC
315 RANCH TRAIL
ROCKWALL, TEXAS 75032

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
2235 RIDGE RD.
ROCKWALL, TEXAS 75032



ROOF
METAL ROOF PANELS



MAIN PORTION
METAL SIDING



NATURAL STONE
BUILDING BASE

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/24/2020

PROJECT NUMBER: SP2020-023
PROJECT NAME: Site Plan for 351 Ranch Trail
SITE ADDRESS/LOCATIONS: 315 RANCH TRL, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	08/24/2020	Needs Review

08/24/2020: SP2020-023; Administrative Site Plan for 351 Ranch Trail - Administrative Review
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Administrative Site Plan for an industrial building in an existing multi-tenant industrial park on a 9.52-acre tract of land identified as Lots 17 & 17-1, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 295, 315, 339, 327 & 331 Ranch Trail.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-023) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the Development Standards of Article 05 that are applicable to the subject property.

M.5 Provide a standard signature block with a signature space for the Planning & Zoning Chairman and Planning Director on all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.6 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

M.7 Site Plan. Please make the following clarifications on the site plan. (§03.04, Art. 11, UDC):

- 1) Correct the address on the title block to indicate '351 Ranch Trail'. (§03.04.A, Art. 11, UDC)
- 2) Indicate the distance between the building and Ranch Trail. (§03.04.B Art. 11, UDC)
- 3) Indicate all easements. Provide a cross access easement to the property to the east/rear. (§03.04.B Art. 11, UDC)

M.8 Landscape Plan. Please make the following clarifications and changes to the landscape plan. (Sec. 2, Art. 08, UDC):

- 1) Provide the same site data information as inserted with the Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Sec. 2.1 of the Site Plan Checklist)
- 2) Provide a label for the detention area for the site. (Sec. 3.1 of the Site Plan Checklist)
- 3) Provide a standard signature block with a signature space for the Planning & Zoning Chairman and Planning Director on the revised landscape plan. (§03.04.A, Art. 11, UDC)
- 4) Indicate the locations and dimensions of the required landscape buffers. Label the minimum 10-ft landscape buffer along Ranch Trail. (§05.01, Art. 08, UDC)
- 5) Indicate the locations of all existing and proposed landscaping. (§05.03.(B), Art. 08, UDC)
- 6) Identify visibility triangles on all lots for all driveway intersections and public streets. (§01.08, Art. 08, UDC)
- 7) Provide note indicating irrigation will meet requirements of UDC on Sheet No. L1.1. (§5.04, Art. 08, UDC)

M. 9 Photometric Plan.

- 1) Provide the same site data information as inserted with the Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Sec. 2.1 of the Site Plan Checklist)
- 2) Provide a standard signature block with a signature space for the Planning & Zoning Chairman and Planning Director on the revised photometric plan. (§03.04.A, Art. 11, UDC)

M.10 Building Elevations.

- 1) Provide a standard signature block with a signature space for the Planning & Zoning Chairman and Planning Director on the building elevations for approval. (§03.04.A, Art. 11, UDC)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jeremy White	08/19/2020	Approved w/ Comments
08/19/2020: *+General Items:+*			
- Engineering review fees apply (i)			
- 4% Engineering inspection fees (i)			
- Impact fees. (i)			
- Min 20' utility easements. (i)			
- No structures in easements. (i)			
- Fire lane easement to be on plat. (i)			
- No trees within 5' of public utilities. (i)			
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)			
- Replat is necessary. Each lot must meet minimum frontage requirements.			
- Must meet all Standards of Design and Construction			
+Roadway/Paving Items:+			
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m)			
- Parking to be 20'x9' (i)			
- Verify ROW width. Must have 30' dedicated from the Center line of Ranch Trail. Sidewalk to be 2' inside the ROW. (m)			
- Taper access pavement with on adjacent property to match 24' wide width. (m)			
- Must install 5' sidewalk along Ranch Trail. (i)			
+Water & Wastewater Items:+			
- Must bring sewer to all buildings and back lot. (m)			
- 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.			
- 8" sewer in Ranch Trl. (i)			
- How are the existing buildings getting sewer service? (i)			

- Sewer Pro-Rata of \$94.41 per acre.
- Fire hydrants to have 5' clearance around (Even from parking spaces) (m)
- No walls in utility esmts (i)

+Drainage & Detention Items;+

- Dumpster area to drain to oil/water separator or grease trap. (i)
- Must have detention. Manning's "c-value" is for any new impervious areas.
- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- No vertical walls allowed in detention.

+Landscape Items;+

- No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/18/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Kevin Clark	08/18/2020	Approved
No Comments			

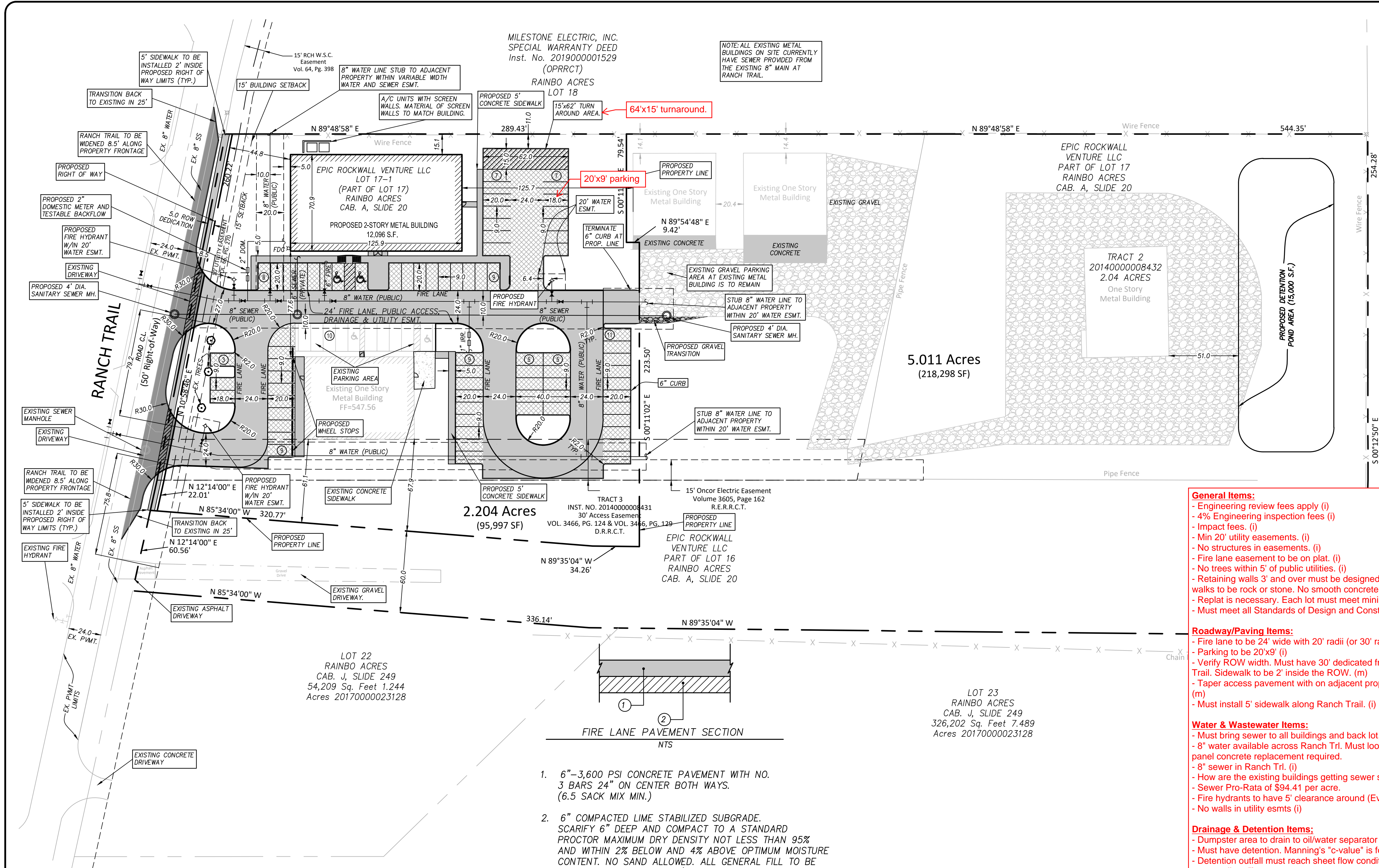
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	08/24/2020	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/17/2020	Denied

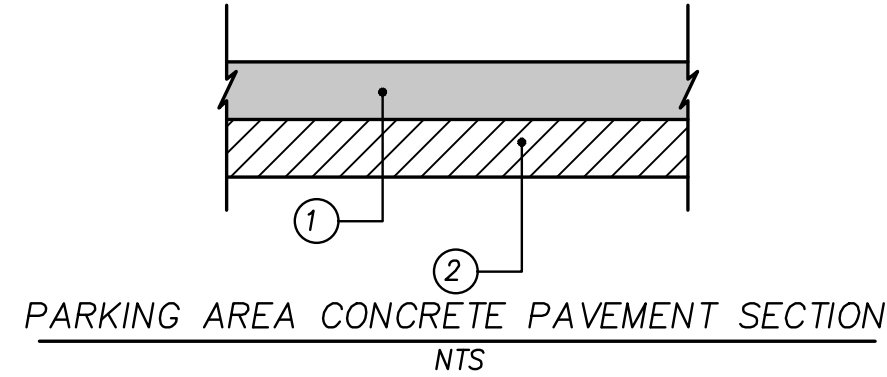
- 08/17/2020: 1. Cottonwood would not count towards tree requirements as it is not a protected tree.
 2. Please verify that the parking layout does not trigger parking lot trees based on landscape requirements.
 3. No tree planted within 5' of utility lines
 4. Verify existing trees are not in the visibility triangle

Drawing: P:\00_FCO\PROJECTS\G-Commercial\Ramsey - Ranch Trail\Drawings\VF-DESIGN-CURRENT\C1.04 SITE PLAN.dwg at Sep 01, 2020-11:53am by cblown
LAYOUT: SITE PLAN Xrefs: X SURV.dwg - X REF-BORDER.dwg

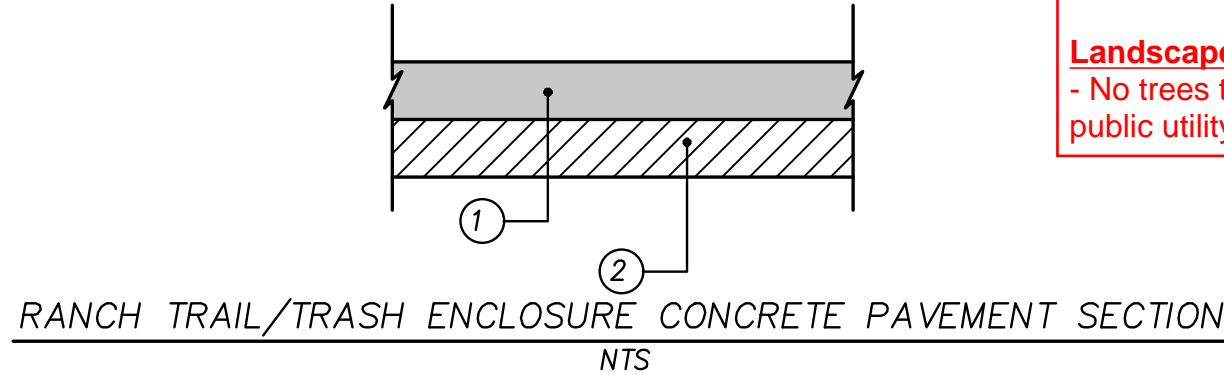


SITE INFORMATION	
PROPOSED LAND AREA:	2.204 ACRES (95,997 S.F.)
CURRENT ZONING:	COMMERCIAL
EXISTING USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	4,900 S.F. EXISTING OFFICE 12,096 S.F. PROPOSED OFFICE
BUILDING TO LOT COVERAGE:	16,996/95,997=.093 -> 17.7%
PROPOSED BUILDING HEIGHT:	31 FEET 10 INCHES
BUILDING REQUIRED PARKING:	16,996 S.F./300=57 SPACES
BUILDING PARKING PROVIDED:	83 TOTAL (INCLUDES 4 HANDICAP SPACES)
IMPERVIOUS AREA:	50,129 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,868 S.F. (1.05 ACRES)

- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

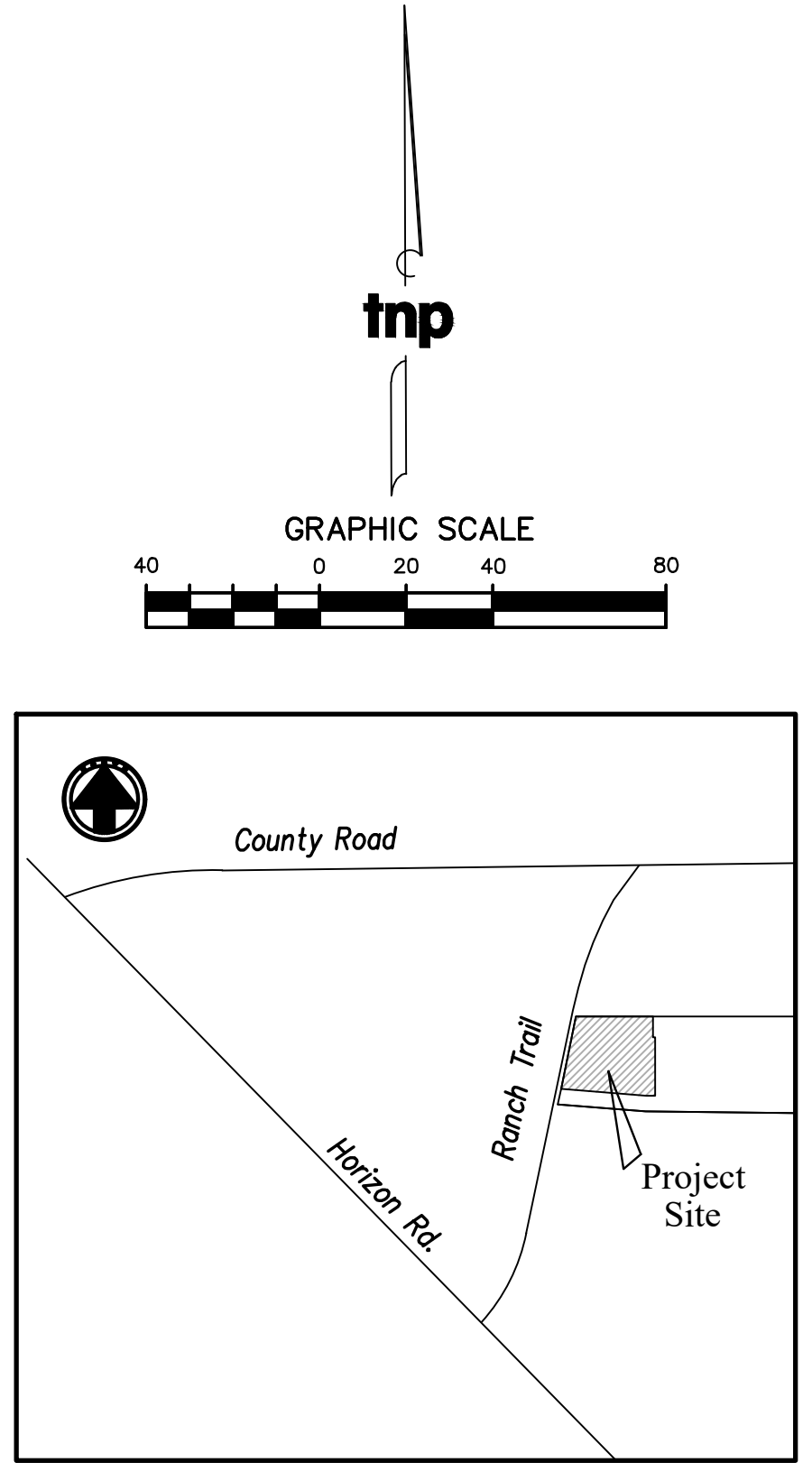


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- General Items:**
- Engineering review fees apply (i)
 - 4% Engineering inspection fees (i)
 - Impact fees. (i)
 - Min 20' utility easements. (i)
 - No structures in easements. (i)
 - Fire lane easement to be on plat. (i)
 - No trees within 5' of public utilities. (i)
 - Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
 - Replat is necessary. Each lot must meet minimum frontage requirements.
 - Must meet all Standards of Design and Construction
- Roadway/Paving Items:**
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m)
 - Parking to be 20'x9' (i)
 - Verify ROW width. Must have 30' dedicated from the Center line of Ranch Trail. Sidewalk to be 2' inside the ROW. (m)
 - Taper access pavement with on adjacent property to match 24' wide width. (m)
 - Must install 5' sidewalk along Ranch Trail. (i)
- Water & Wastewater Items:**
- Must bring sewer to all buildings and back lot. (m)
 - 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
 - 8" sewer in Ranch Trl. (i)
 - How are the existing buildings getting sewer service? (i)
 - Sewer Pro-Rata of \$94.41 per acre.
 - Fire hydrants to have 5' clearance around (Even from parking spaces) (m)
 - No walls in utility esmts (i)
- Drainage & Detention Items:**
- Dumpster area to drain to oil/water separator or grease trap. (i)
 - Must have detention. Manning's "c-value" is for any new impervious areas.
 - Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
 - No vertical walls allowed in detention.
- Landscape Items:**
- No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter.



LOCATION MAP

NOTES:

DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE PROPOSED BUILDING.

LEGEND	
---	PROPOSED FIRE LANE
[Hatched Box]	SIDEWALK HATCH
[Hatched Box]	PROPOSED CONCRETE FIRE LANE
[Hatched Box]	PROPOSED RANCH TRAIL/TRASH ENCLOSURE PAVEMENT
[Hatched Box]	PROPOSED PARKING AREA PAVEMENT
[Circle with Dot]	EXISTING SAN SEWER MANHOLE
[Circle with Cross]	PROPOSED FIRE HYDRANT
[Circle with X]	PROPOSED SANITARY SEWER MANHOLE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.
Witness our hands this ____ day of _____, 2020.

Planning & Zoning Commission, Chairman

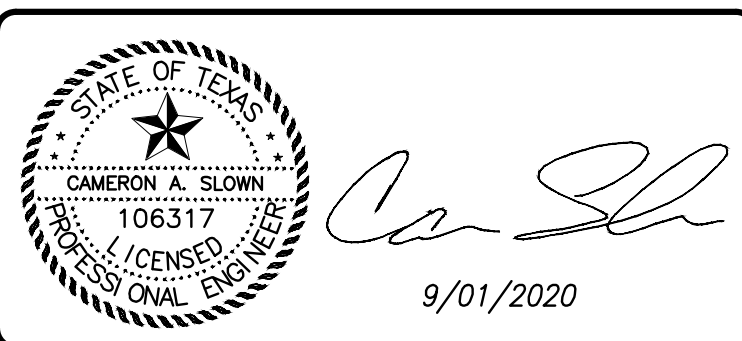
Director of Planning & Zoning

CASE NUMBER: SP2020-023

no.	revision	by	date



teague nall and perkins, inc
825 Walters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale
when bar is
1 inch long
horiz
1"=40'
vert
N/A
SEP 2020

ROCKWALL EPIC
VENTURES, LLC

City of RockWall, Texas
Improvements for
351 - Ranch Trail
SITE PLAN

tnp project
RSY20508
sheet
C1.04

September 1, 2020

David Gonzales
City of Rockwall
Planning Department
385 S. Goliad
Rockwall, TX 75087

RE: 351 Ranch Trail Site Plan Comment Response Letter

David,

I received Site Plan comments from the Planning and Engineering Departments for the project referenced above. Please see the below provided responses to these comments:

Planning Comments "M.7 Site Plan" by David Gonzales

1. Correct the address on the title block to indicate '351 Ranch Trail'. (§03.04.A, Art. 11, UDC)
[TNP Response: Title block address has been corrected.](#)
2. Indicate the distance between the building and Ranch Trail. (§03.04.B Art. 11, UDC)
[TNP Response: Added dimension from Ranch Trail right of way to the closest building corner.](#)
3. Indicate all easements. Provide a cross access easement to the property to the east/rear. (§03.04.B Art. 11, UDC)
[TNP Response: A 24' Fire Lane, Public Access, Drainage and Utility Easement is provided.](#)

Engineering Comments by Jeremy White

- General Items:
 - Engineering review fees apply (i)
 - 4% Engineering inspection fees (i)
 - Impact fees. (i)
 - Min 20' utility easements. (i)
 - No structures in easements. (i)
 - Fire lane easement to be on plat. (i)
 - No trees within 5' of public utilities. (i)
 - Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
 - Replat is necessary. Each lot must meet minimum frontage requirements.
 - Must meet all Standards of Design and Construction

[TNP Response: Informational comments titled "General Items" have all been noted.](#)

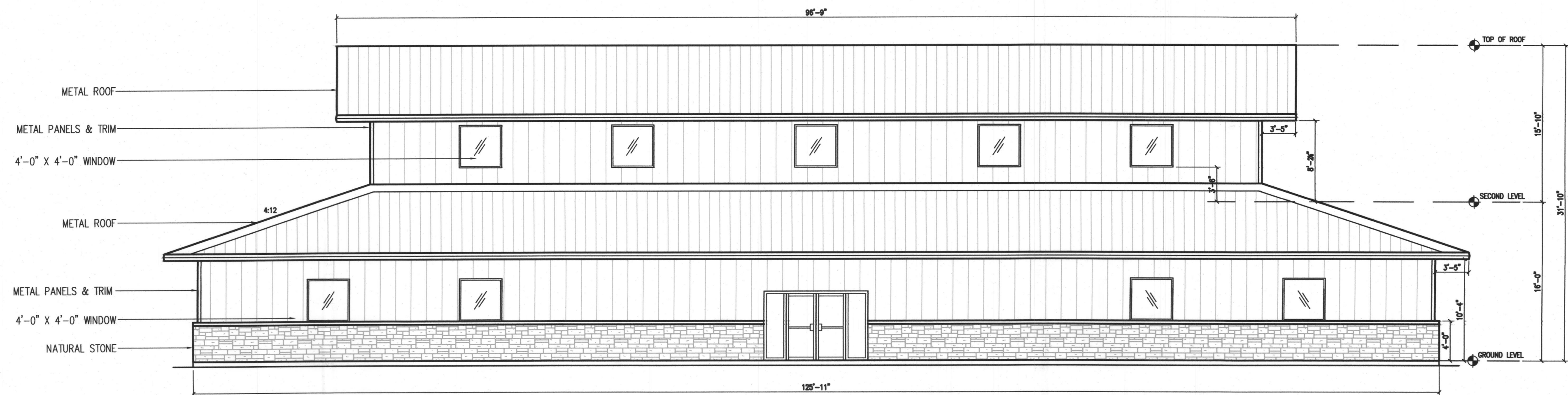
- Roadway/Paving Items:
 - Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m)
[TNP Response: Noted.](#)
 - Parking to be 20'x9' (i)
[TNP Response: Noted.](#)
 - Verify ROW width. Must have 30' dedicated from the Center line of Ranch Trail. Sidewalk to be 2' inside the ROW. (m)
[TNP Response: An additional 5' of right of way has been provided on the project property.](#)
 - Taper access pavement with on adjacent property to match 24' wide width. (m)
[TNP Response: Tapered pavement section has been added.](#)
 - Must install 5' sidewalk along Ranch Trail. (i)
[TNP Response: 5' sidewalk along Ranch Trail is included 2' inside the dedicated right of way.](#)

- **Water & Wastewater Items:**
 - Must bring sewer to all buildings and back lot. (m)
TNP Response: Sewer line has been extended past east property line to allow for other buildings on adjacent lot to connect. A stub from the proposed manhole will be provided for the adjacent lot connection.
 - 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
TNP Response: 8" proposed water line is looped on site. Full panel replacement requirement has been noted.
 - 8" sewer in Ranch Trl. (i)
TNP Response: Noted.
 - How are the existing buildings getting sewer service? (i)
TNP Response: All buildings located on the property are connected to the city's sewer. The existing building located on the far east pumps their sewer to the sewer line used by all buildings on the site.
 - Sewer Pro-Rata of \$94.41 per acre.
TNP Response: Noted.
 - Fire hydrants to have 5' clearance around (Even from parking spaces) (m)
TNP Response: Noted.
 - No walls in utility esmts (i)
TNP Response: Noted.
- **Drainage & Detention Items**
 - Dumpster area to drain to oil/water separator or grease trap. (i)
TNP Response: Per the client's request, they would like for the dumpster to be removed from the plan and all buildings will be using "Poly Carts" for trash and recycling. This will be coordinated with the city prior to C/O.
 - Must have detention. Manning's "c-value" is for any new impervious areas.
 - Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
 - No vertical walls allowed in detention.
TNP Response: Informational comments titled "Drainage & Detention Items" have all been noted.
- **Landscape Items**
 - No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter.
TNP Response: Noted.

I trust that the responses provided above adequately address all comments provided by the Planning and Engineering Departments. If there are any questions, please feel free to contact me at (817) 889-5050 or cslohn@tnpinc.com.

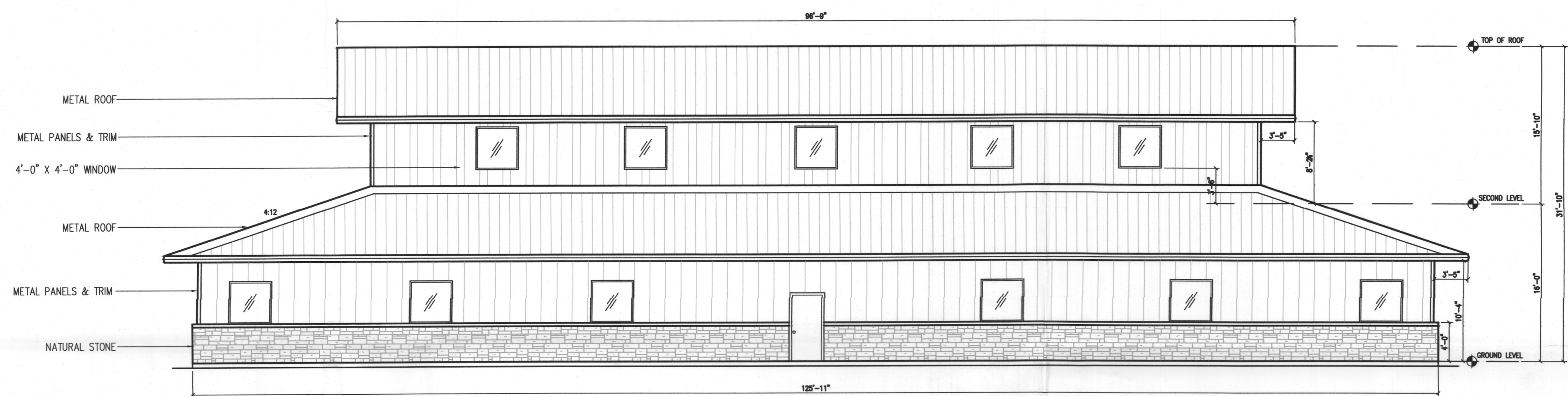
Sincerely,
tnp
teague nall & perkins





SOUTH ELEVATION

SCALE: 1/8" = 1'

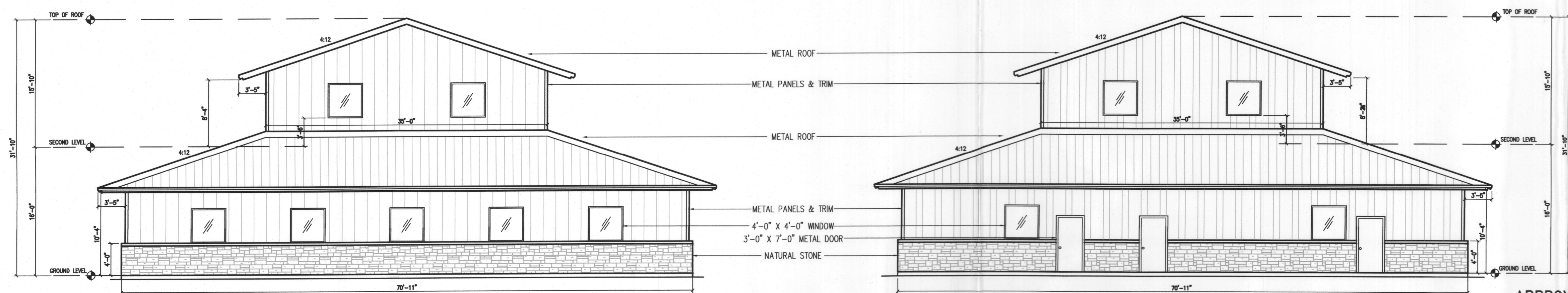


NORTH ELEVATION

SCALE: 1/8" = 1'

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,779	
DOORS & WINDOWS (DEDUCTED)		249	
ACCOUNTABLE AREA		1,530	100%
NATURAL STONE		423	28%
INSULATED METAL PANELS		1,107	72%

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,779	
DOORS & WINDOWS (DEDUCTED)		170	
ACCOUNTABLE AREA		1,003	100%
INSULATED METAL PANELS		514	51%
NATURAL STONE		489	49%



WEST ELEVATION (FACING RANCH TRAIL)

SCALE: 1/8" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,041	
DOORS & WINDOWS (DEDUCTED)		95	
ACCOUNTABLE AREA		946	100%
NATURAL STONE		283	30%
INSULATED METAL PANELS		663	70%

EAST ELEVATION

SCALE: 1/8" = 1'

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,041	
DOORS & WINDOWS (DEDUCTED)		85	
ACCOUNTABLE AREA		956	100%
NATURAL STONE		243	26%
INSULATED METAL PANELS		713	74%

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.

WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.

PLANNING AND ZONING COMMISSION

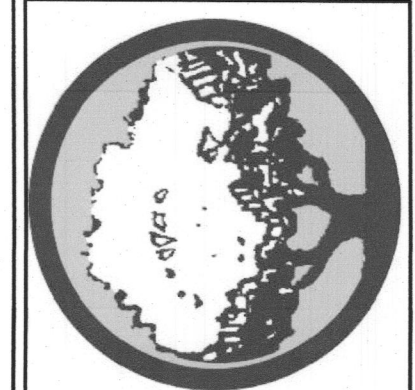
DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
EPIC ROCKWALL VENTURES, LLC
JOHN MCKINNEY
(214)669-2336
315 RANCH TRAIL
ROCKWALL, TEXAS 75032

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	

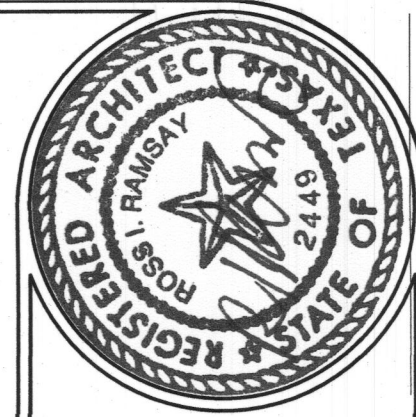
ROCKWALL EPIC VENTURES, LLC
351 RANCH TRAIL
ROCKWALL, TEXAS 75032

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	09/04/2020
SCALE	1/8"=1'-0"
SHEET NO.	of

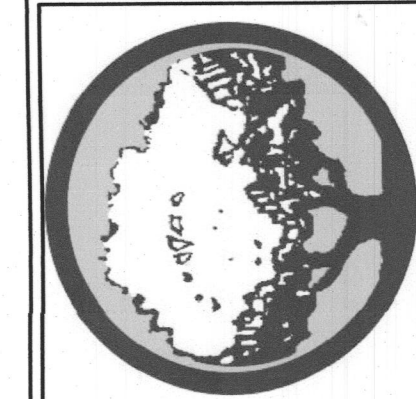
DRAWING NAME:
BUILDING ELEVATION

A1

SP2020-023



RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	
No.	

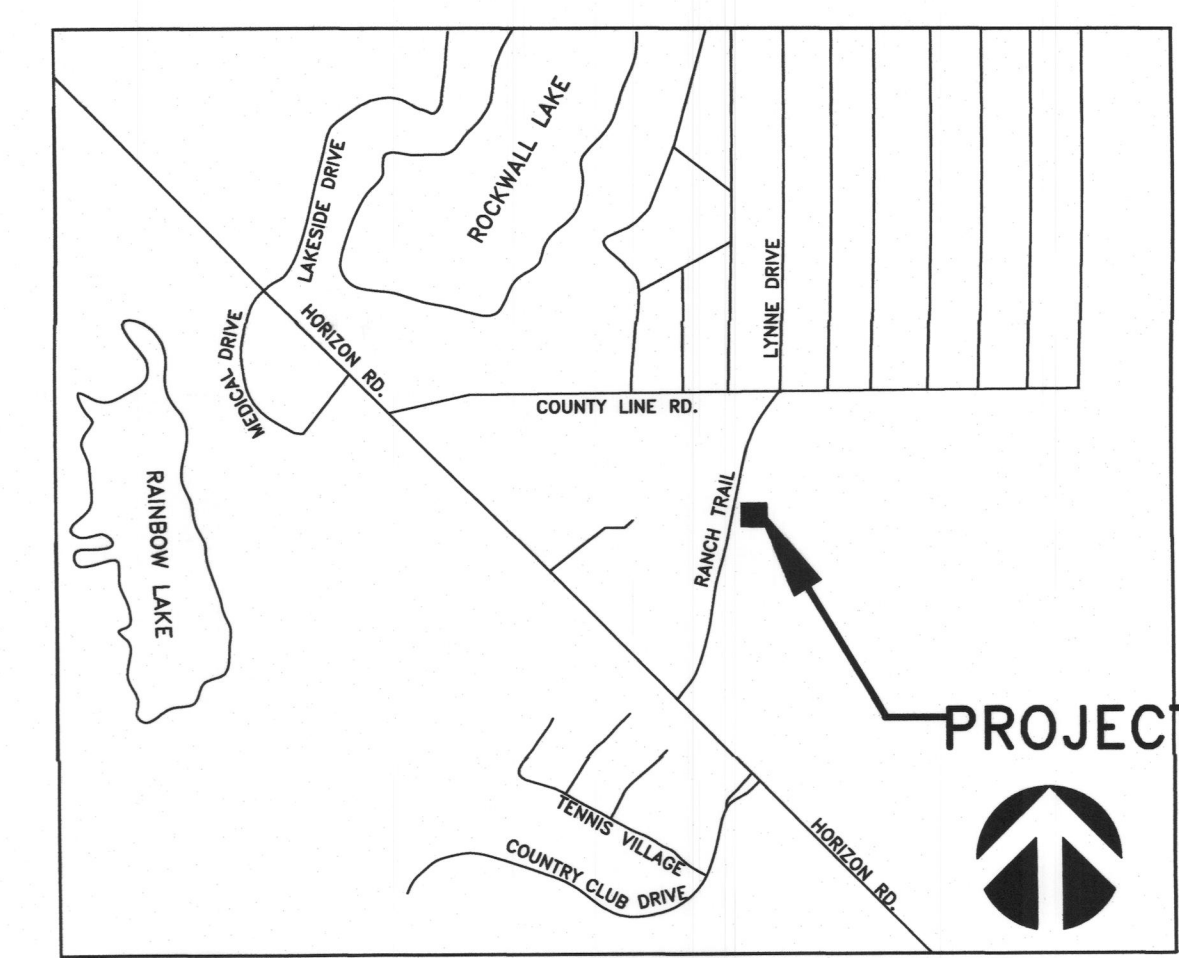
PROJECT NAME AND ADDRESS:
ROCKWALL EPIC VENTURES, LLC
351 RANCH TRAIL
ROCKWALL, TEXAS 75032

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	07/17/2020
SCALE	
SHEET NO.	of

DRAWING NAME:
LANDSCAPE PLAN

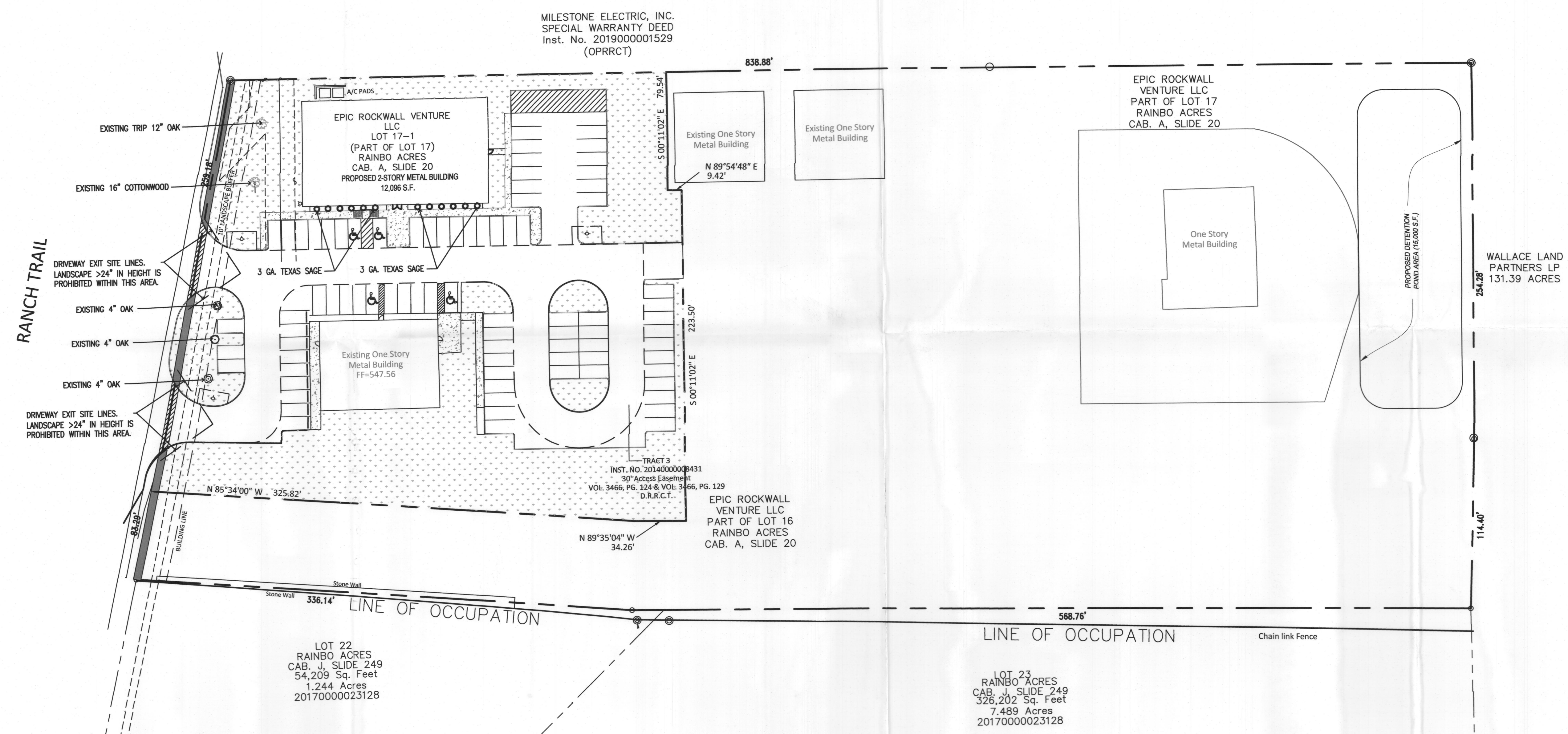
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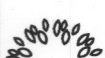
SP2020-??



VICINITY MAP - NTS

PROJECT LOCATION



SITE INFORMATION		PLANT SCHEDULE					
PROPOSED LAND AREA:	2.204 ACRES (95,997 S.F.)		QTY. 12	SIZE 3 GALLON	TYPE TEXAS SAGE (<i>Leucophyllum frutescent</i>)	SPACING 8'-0"	MIN. HEIGHT 4'-0"
CURRENT ZONING:	COMMERCIAL						
EXISTING USE:	COMMERCIAL						
PROPOSED USE:	COMMERCIAL						
BUILDING AREA:	4,900 S.F. EXISTING OFFICE 12,096 S.F. PROPOSED OFFICE						
BUILDING TO LOT COVERAGE: 16,996/95,997=.093 -> 17.7%		<u>REQUIRED TREES</u> A. STREET TREES 1 TREE FOR EVERY 50 L.F. OF FRONTAGE RANCH TRAIL FRONTAGE : 282' / 50' = 5.64 5 TREES REQUIRED (5) TREES EXISTING - 12" OAK, 16" COTTONWOOD, (3) 4" OAK					
PROPOSED BUILDING HEIGHT: 31 FEET 10 INCHES							
BUILDING REQUIRED PARKING: 16,996 S.F./300=57 SPACES							
BUILDING PARKING PROVIDED: 83 TOTAL							
(INCLUDES 4 HANDICAP SPACES)							
IMPERVIOUS AREA: 50,129 S.F.							
LANDSCAPE AREA REQUIRED: 0 S.F.							
LANDSCAPE AREA PROVIDED: 45,868 S.F. (1.05 ACRES)		NOTE: IRRIGATION DESIGN TO MEET REQUIREMENTS OF UNIFIED DEVELOPMENT CODE					

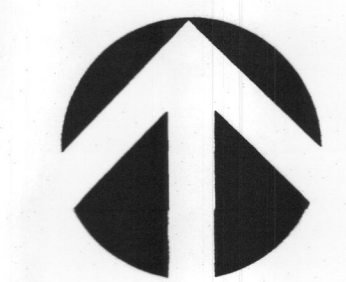
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.

WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.

PLANNING AND ZONING COMMISSION

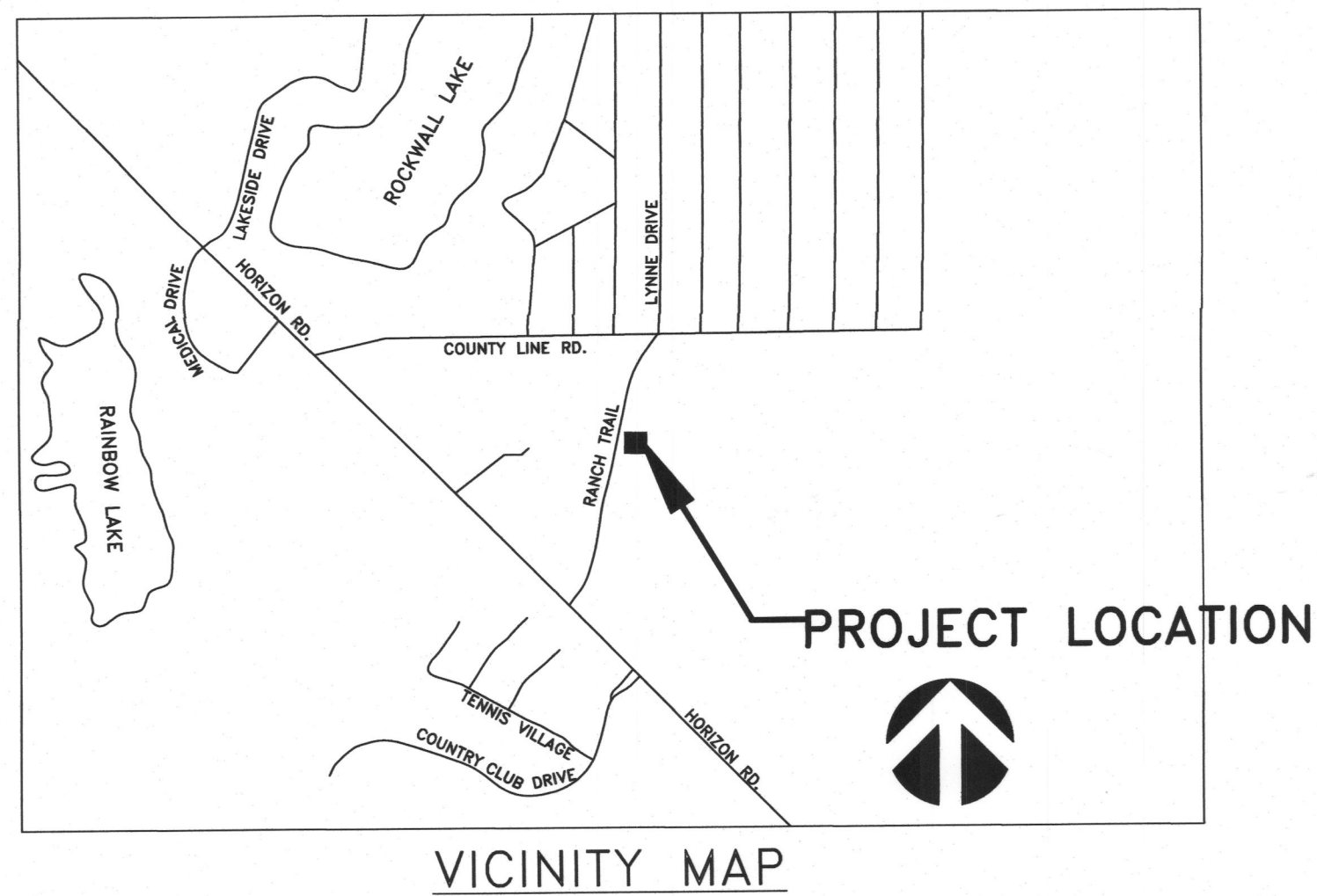
DIRECTOR OF PLANNING AND ZONING



LANDSCAPE PLAN
SCALE: 1"=40'

OWNER/DEVELOPER:
EPIC ROCKWALL VENTURES, LLC
JOHN MCKINNEY
(214)669-2336
315 RANCH TRAIL
ROCKWALL, TEXAS 75032

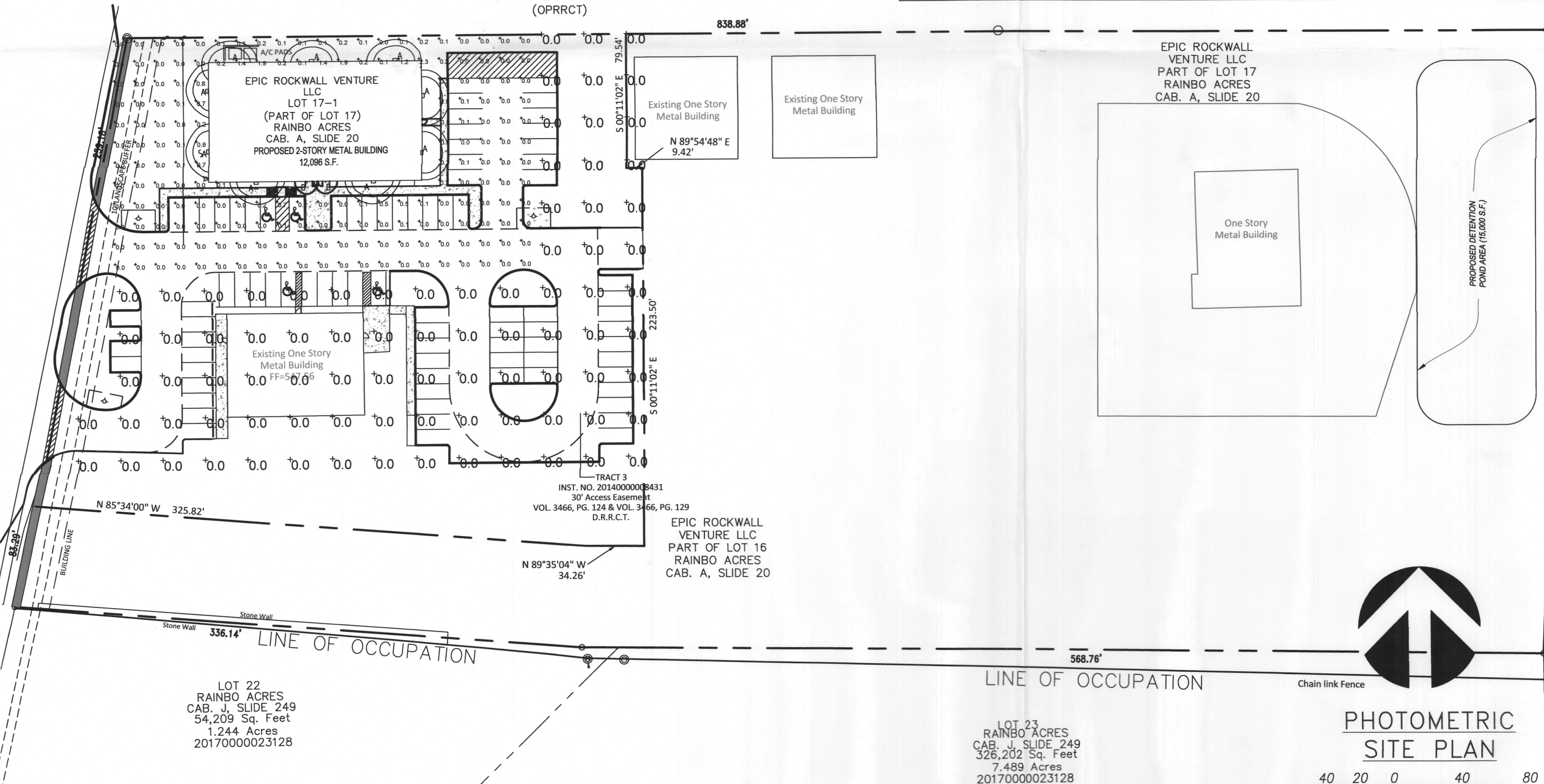
ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



VICINITY MAP

MILESTONE ELECTRIC, INC.
SPECIAL WARRANTY DEED
Inst. No. 2019000001529
(OPRRCT)

RANCH TRAIL



LIL LED LED Wall Luminaire

Energy Star
24
DLC
5
warranty

Specifications

	Standard	With Battery Pack(EU)
Width:	5"	5-7/8"
Height:	5-1/8"	6-1/8"
Depth:	2-3/4"	4-1/4"
Weight:	1.5 lbs	3 lbs

Introduction

LIL LED is a compact and energy efficient wall luminaire ideal for replacing small incandescent and CFL luminaires. Photo cell and battery pack options make LIL LED great for installations above doors, balconies, garage or warehouse entrances, and security applications. Whether directly mounting to a recessed junction box, or using the back box accessory for conduit entry/through wiring, LIL LED has you covered!

Ordering Information

EXAMPLE: LIL LED 40K MVOLT WH

Series	Color Temperature	Voltage	Controls	Mounting	Finish
LIL LED	30K 3000K 40K 4000K	MVOLT 120 / 277V	(blank) None PE MVOLT button photocell EL Battery pack	(blank) None DB Back box accessory for conduit wiring	DB/BD Textured Dark Bronze WH White

Accessories

LIL LED DB DB/BD Back box for conduit entry applications, dark bronze - (1) Code "249WDB"
LIL LED DB WH Back box for conduit entry applications, white - (1) Code "249WDB"

NOTES

- MVOLT driver operates on 120V and 277V (50/60Hz).
- PE and EL cannot be ordered together.
- Optional accessory for conduit entry wiring. Can be ordered with the luminaire or separately. Slotted separately. DB option is not available with emergency battery pack (EB) version.

FEATURES & SPECIFICATIONS

INTENDED USE
The versatility of LIL LED combines a sleek, compact profile with photocell and emergency battery pack options to provide a great solution for wall mount applications. LIL LED is ideal for replacing up to 100W incandescent or 30W CFL luminaires in installations above doors, balconies, garage or warehouse entrances, and security applications. It can also be used for decorative and general lighting in outdoor environments.

CONSTRUCTION
Aluminum housing with white or textured dark bronze paint for lasting durability. The polycarbonate lens creates uniform light distribution, and it is UV resistant - great for outdoor environments!

OPTICS
Light engines are available in 3000K and 4000K CCTs. See Lighting Facts label and photometry reports for specific beam spread performance.

ELECTRICAL
LED technology provides long operating life (50,000 hours at 25°C). Electronic drivers have a power factor >90% and 110V <20% and a minimum 2.5W surge rating.

INSTALLATION
Easily mounts to recessed junction boxes or for surface mounting and conduit entry — with the back box with two 1/2" threaded conduit entry hubs.
This luminaire is mounted with the lens facing down. Neutral wire is required for three phase input.

LISTINGS
LIL LED listed to U.S. and Canadian safety standards for wet locations. Rated for -40°C minimum to 40°C maximum ambient temperature. Battery pack versions are rated to 0°C minimum. Tested in accordance with IESNA LM-79 and LM-80 standards.
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY
5-year limited warranty. Complete warranty terms located at: www.lithonia.com
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

LITHONIA LIGHTING
COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.705.7378 • www.lithonia.com
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LIL LED
Rev. 08/19/19

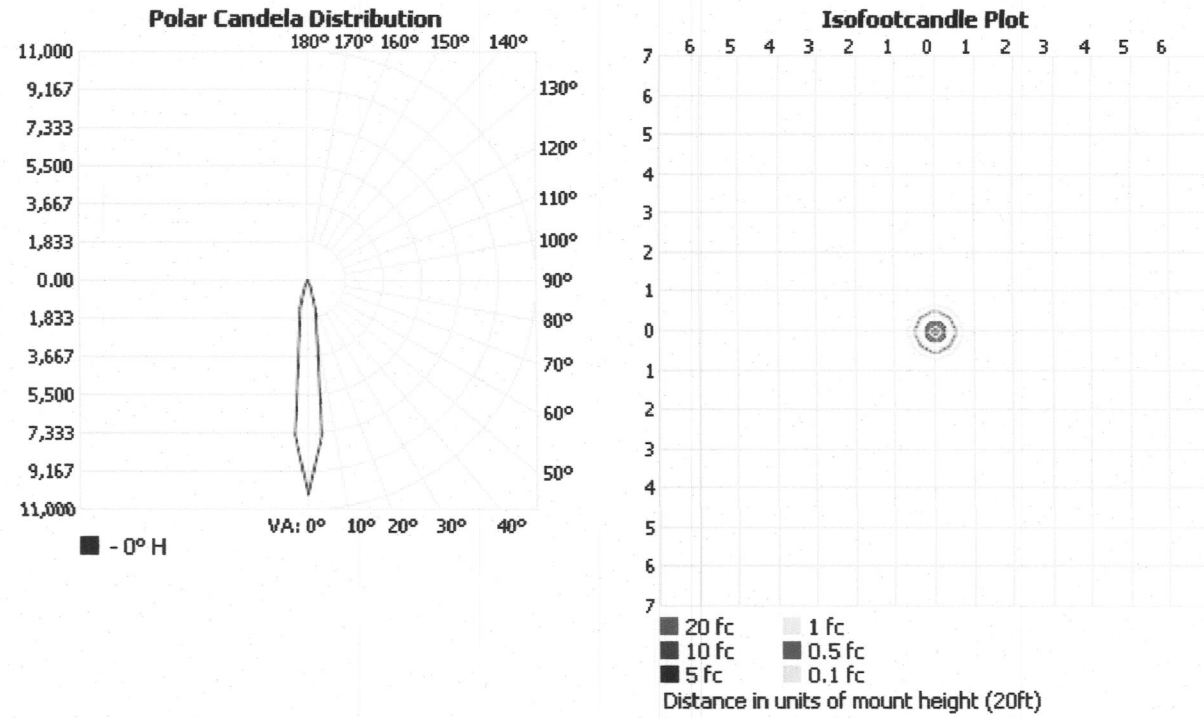
CA6 6MB (PAR38/SP)

Page 1 of 3

INDOOR PHOTOMETRIC REPORT
CATALOG: CA6 6MB (PAR38/SP)

TEST #: 43080
TEST LAB: ACUTY BRANDS LIGHTING CONYERS LAB
TEST DATE: 1/31/2008
CATALOG: CA6 6MB (PAR38/SP)
DESCRIPTION: CA6 6" OPEN CYLINDER WITH BLACK MICROGROOVE Baffle
SERIES: CA6
LAMP: ONE 150-WATT PAR-38 SPOT INCANDESCENT, VERTICAL BASE-UP POSITION.
LAMP OUTPUT: 150
LUMINOUS OUTPUT: 150
LUMINOUS OPENING: CIRCULAR (DIA: 5.16")
TER VALUE: 9 (BF = 1)
TER CATEGORY: CYLINDER
CIE CLASS: DIRECT
MAX CD: 10,268.0 AT HORIZONTAL: 0°, VERTICAL: 0°
SPACING CRITERION: @ 0 = 0.3 / @ 90 = 0.3
EFFICIENCY: 74.4%

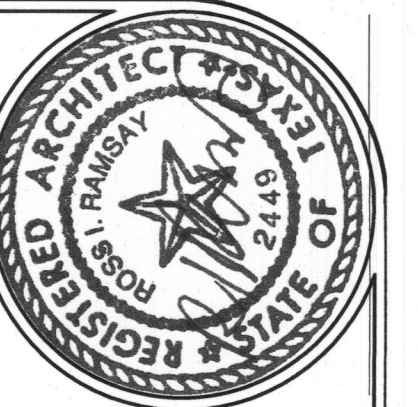
AcuityBrands
gotham



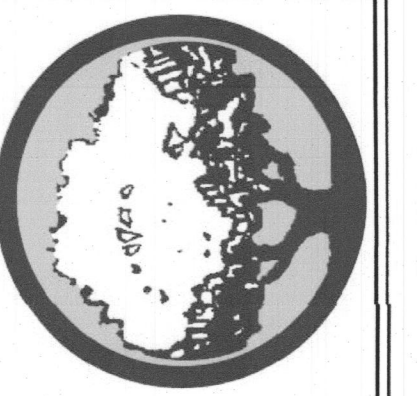
VISUAL PHOTOMETRIC TOOL 1.2.46 COPYRIGHT 2019, ACUTY BRANDS LIGHTING.
THIS PHOTOMETRIC REPORT HAS BEEN GENERATED USING METHODS RECOMMENDED BY THE IESNA. CALCULATIONS ARE BASED ON PHOTOMETRIC DATA PROVIDED BY THE MANUFACTURER, AND THE ACCURACY OF THIS PHOTOMETRIC REPORT IS DEPENDENT ON THE ACCURACY OF THE DATA PROVIDED. END-USER ENVIRONMENT AND APPLICATION (INCLUDING, BUT NOT LIMITED TO, VOLTAGE VARIATION AND DIRT ACCUMULATION) CAN CAUSE ACTUAL PHOTOMETRIC PERFORMANCE TO DIFFER FROM THE PERFORMANCE CALCULATED USING THE DATA PROVIDED BY THE MANUFACTURER. THIS REPORT IS PROVIDED WITHOUT WARRANTY AS TO ACCURACY, COMPLETENESS, RELIABILITY OR OTHERWISE. IN NO EVENT WILL ACUTY BRANDS LIGHTING BE RESPONSIBLE FOR ANY LOSS RESULTING FROM ANY USE OF THIS REPORT.

PUBLISH
PAGE 1 OF 3

<http://www.visual-3d.com/Tools/PhotometricViewer/Default.aspx?GUID=6087bc34-571...> 11/15/2019



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTION/ISSUE	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT NAME AND ADDRESS:
ROCKWALL EPIC VENTURES, LLC
351 RANCH TRAIL
ROCKWALL, TEXAS 75032

SITE INFORMATION	
PROPOSED LAND AREA:	2.204 ACRES (95,997 S.F.)
CURRENT ZONING:	COMMERCIAL
EXISTING USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	4,900 S.F. EXISTING OFFICE 12,096 S.F. PROPOSED OFFICE
BUILDING TO LOT COVERAGE:	16,996/95,997=.093 -> 17.7%
PROPOSED BUILDING HEIGHT:	31 FEET 10 INCHES
BUILDING REQUIRED PARKING:	16,996 S.F./300=57 SPACES
BUILDING PARKING PROVIDED:	83 TOTAL (INCLUDES 4 HANDICAP SPACES)
IMPERVIOUS AREA:	50,129 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,868 S.F. (1.05 ACRES)

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 11th DAY OF September, 2020.

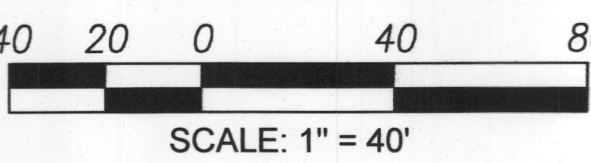
WITNESS OUR HANDS, THIS 15th DAY OF September, 2020

PLANNING AND ZONING COMMISSION
DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
EPIC ROCKWALL VENTURES, LLC
JOHN MCKINNEY
(214)669-2336
315 RANCH TRAIL
ROCKWALL, TEXAS 75032

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

PHOTOMETRIC
SITE PLAN

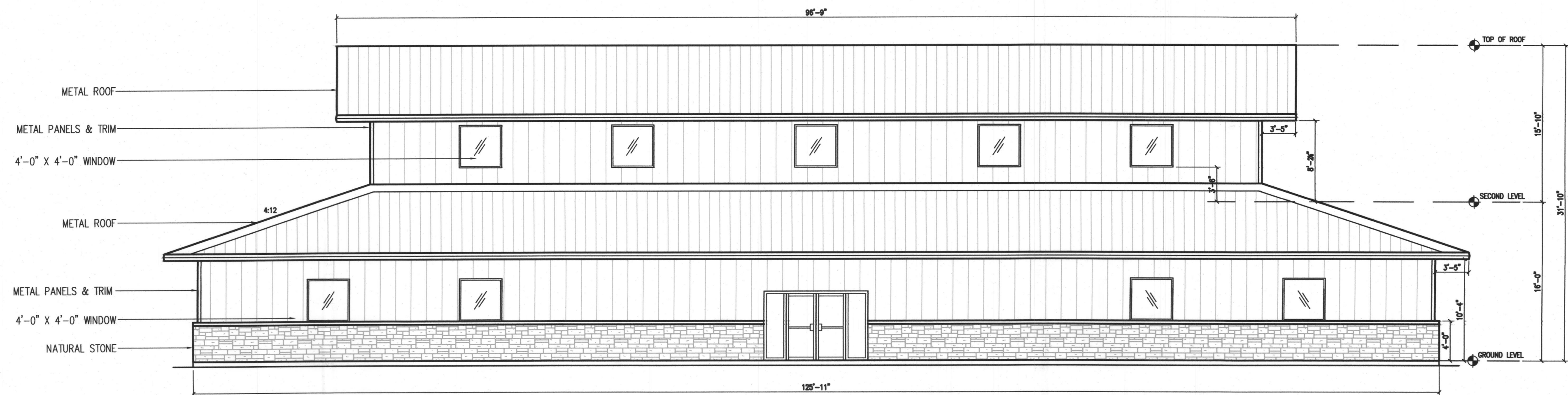


PROJECT No.	SR
DRAWN BY	RR
CHECKED BY	RR
DATE	09/04/2020
SCALE	1/8"=1'-0"
SHEET No.	of

DRAWING NAME:
PHOTOMETRIC
SITE PLAN

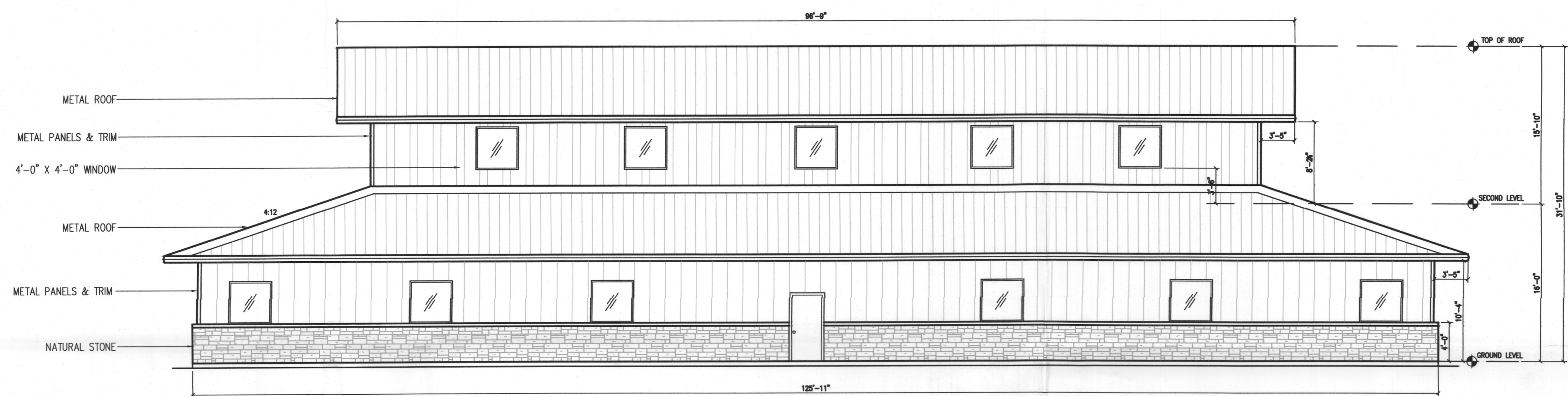
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SP2020-023



SOUTH ELEVATION

SCALE: 1/8" = 1'

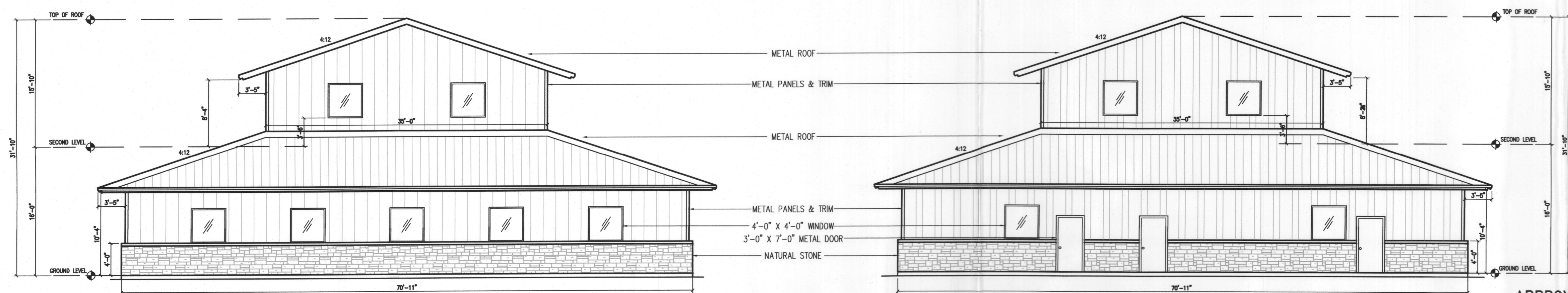


NORTH ELEVATION

SCALE: 1/8" = 1'

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,779	
DOORS & WINDOWS (DEDUCTED)		249	
ACCOUNTABLE AREA		1,530	100%
NATURAL STONE		423	28%
INSULATED METAL PANELS		1,107	72%

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
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DOORS & WINDOWS (DEDUCTED)		170	
ACCOUNTABLE AREA		1,003	100%
INSULATED METAL PANELS		514	51%
NATURAL STONE		489	49%



WEST ELEVATION (FACING RANCH TRAIL)

SCALE: 1/8" = 1'

EAST ELEVATION

SCALE: 1/8" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,041	
DOORS & WINDOWS (DEDUCTED)		95	
ACCOUNTABLE AREA		946	100%
NATURAL STONE		283	30%
INSULATED METAL PANELS		663	70%

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,041	
DOORS & WINDOWS (DEDUCTED)		85	
ACCOUNTABLE AREA		956	100%
NATURAL STONE		243	26%
INSULATED METAL PANELS		713	74%

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.

WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.

PLANNING AND ZONING COMMISSION

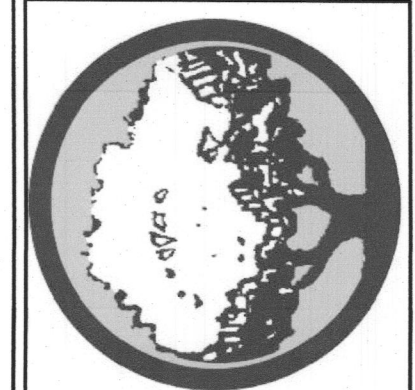
DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
EPIC ROCKWALL VENTURES, LLC
JOHN MCKINNEY
(214)669-2336
315 RANCH TRAIL
ROCKWALL, TEXAS 75032

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	

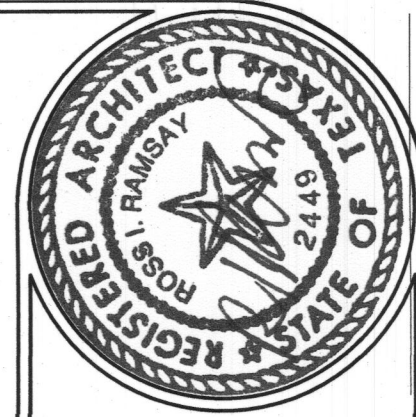
ROCKWALL EPIC VENTURES, LLC
351 RANCH TRAIL
ROCKWALL, TEXAS 75032

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	09/04/2020
SCALE	1/8"=1'-0"
SHEET No.	of

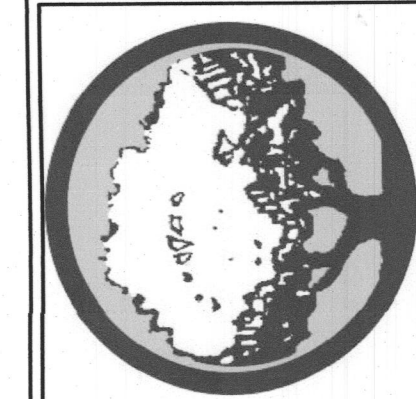
DRAWING NAME:
BUILDING ELEVATION

A1

SP2020-023



RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTION/ISSUE	
No.	

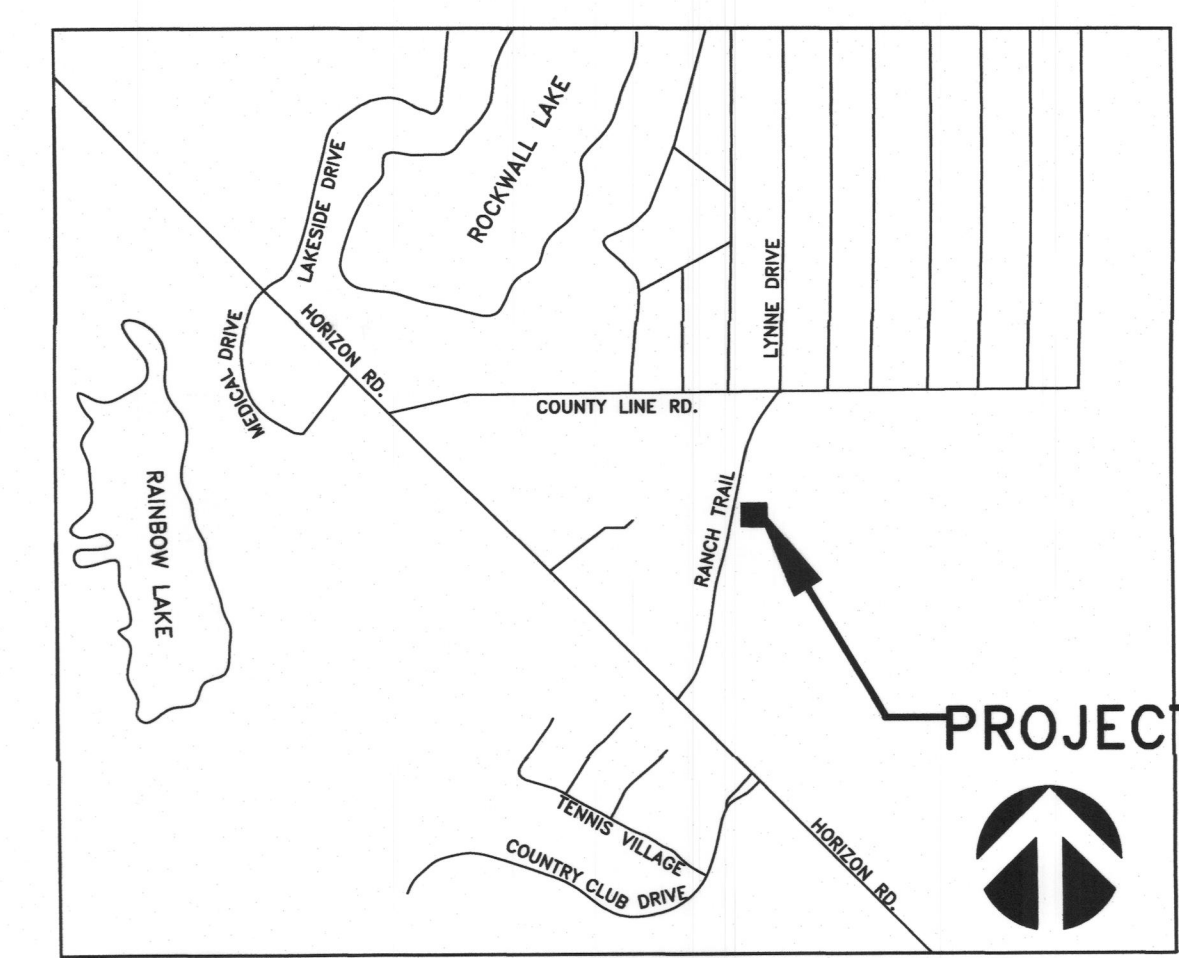
PROJECT NAME AND ADDRESS:
ROCKWALL EPIC VENTURES, LLC
351 RANCH TRAIL
ROCKWALL, TEXAS 75032

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	07/17/2020
SCALE	
SHEET NO.	of

DRAWING NAME:
LANDSCAPE PLAN

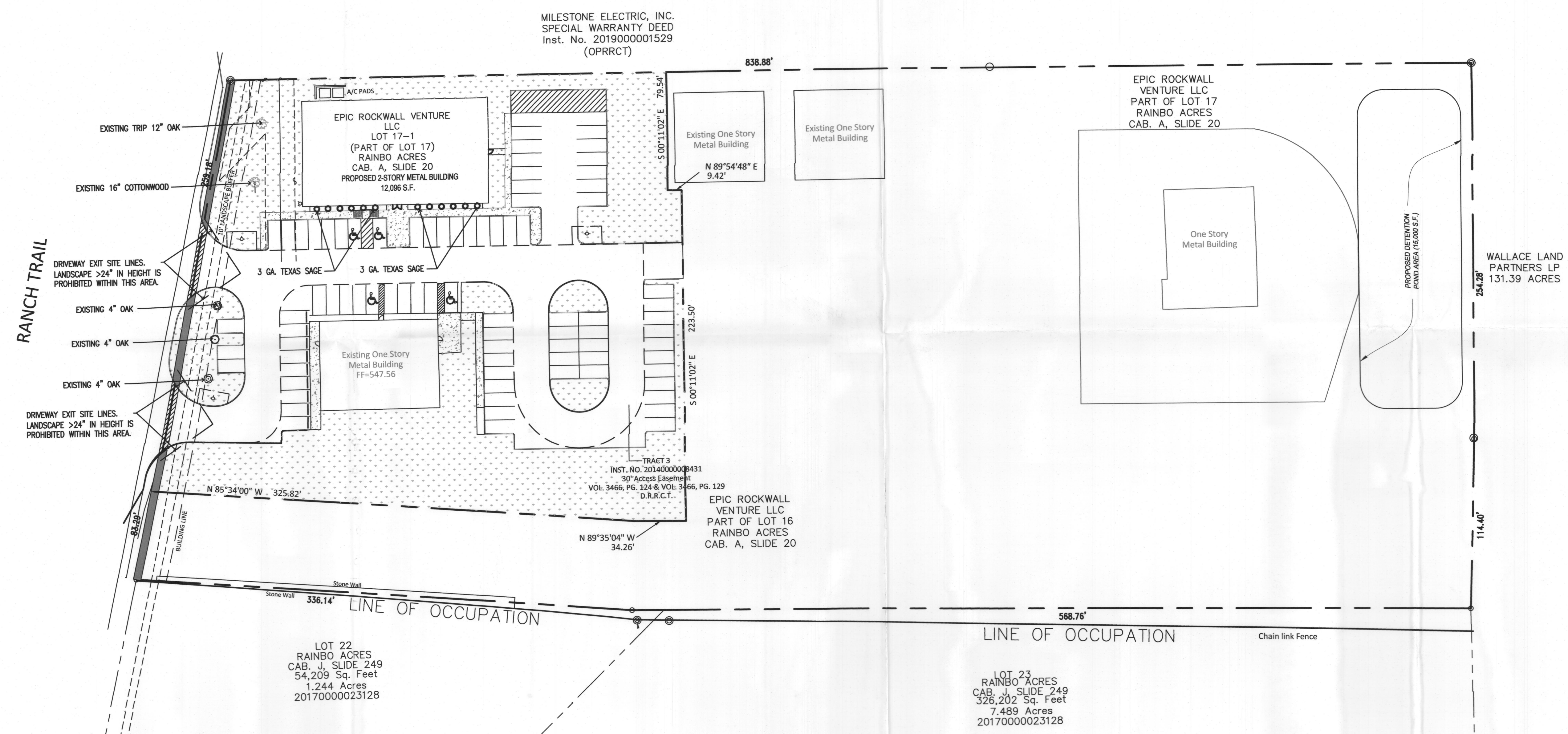
L-1

SP2020-??



VICINITY MAP - NTS

PROJECT LOCATION



SITE INFORMATION		PLANT SCHEDULE				
PROPOSED LAND AREA:	2.204 ACRES (95,997 S.F.)	QTY.	SIZE	TYPE	SPACING	MIN. HEIGHT
CURRENT ZONING:	COMMERCIAL					
EXISTING USE:	COMMERCIAL	12	3 GALLON	TEXAS SAGE (<i>Leucophyllum frutescent</i>)	8'-0"	4'-0"
PROPOSED USE:	COMMERCIAL	REQUIRED TREES				
BUILDING AREA:	4,900 S.F. EXISTING OFFICE 12,096 S.F. PROPOSED OFFICE					
BUILDING TO LOT COVERAGE:	16,996/95,997=0.93 -> 17.7%	A. STREET TREES 1 TREE FOR EVERY 50 L.F. OF FRONTAGE RANCH TRAIL FRONTAGE : 282' / 50' = 5.64 5 TREES REQUIRED (5) TREES EXISTING - 12" OAK, 16" COTTONWOOD, (3) 4" OAK				
PROPOSED BUILDING HEIGHT:	31 FEET 10 INCHES					
BUILDING REQUIRED PARKING:	16,996 S.F./300=57 SPACES	NOTE: IRRIGATION DESIGN TO MEET REQUIREMENTS OF UNIFIED DEVELOPMENT CODE				
BUILDING PARKING PROVIDED:	83 TOTAL (INCLUDES 4 HANDICAP SPACES)					
IMPERVIOUS AREA:	50,129 S.F.					
LANDSCAPE AREA REQUIRED:	0 S.F.					
LANDSCAPE AREA PROVIDED:	45,868 S.F. (1.05 ACRES)					

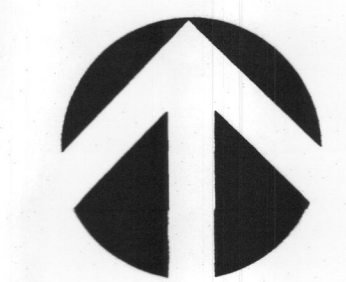
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.

WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



LANDSCAPE PLAN
SCALE: 1"=40'

OWNER/DEVELOPER:
EPIC ROCKWALL VENTURES, LLC
JOHN MCKINNEY
(214)669-2336
315 RANCH TRAIL
ROCKWALL, TEXAS 75032

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



September 18, 2020

TO: Epic Rockwall Ventures, LLC
John McKinney
315 Ranch Trail
Rockwall, TX 75032

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2020-023; *Site Plan for 351 Ranch Trail*

John McKinney:

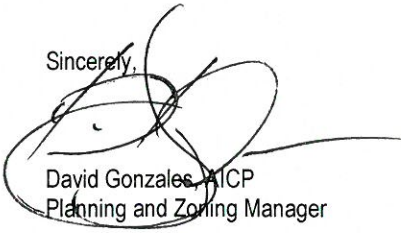
This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by City staff on September 15, 2020. The following is a record of all recommendations and conditions of approval:

Staff Recommendations

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit; and,
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP
Planning and Zoning Manager