



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22020-044 P&Z DATE 11/10/20 CC DATE 11/16/20 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☒ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☐ LOCATION MAP
- ☒ HOA MAP
- ☒ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 102 Thistle Place

Subdivision Chandlers landing

Lot 24 Block A

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Single family

Current Use land

Proposed Zoning Single family

Proposed Use single family home

Acreage 0.21

Lots [Current] _____

Lots [Proposed] _____

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Coastal Plains estates

☐ Applicant same

Contact Person Casey Cox

Contact Person _____

Address 8400 sunset blvd

Address AS

City, State & Zip Rowlett TX, 75088

City, State & Zip _____

Phone 618-218-5339

Phone _____

E-Mail CoastalPlainsEst@gmail.com

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Casey M. Cox [Owner] the undersigned, who stated the information on this application to be true and certified the following:

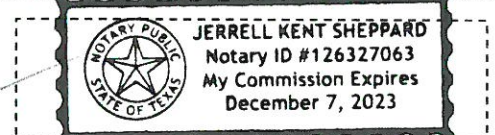
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's Signature

[Signature]

Notary Public in and for the State of Texas



My Commission Expires



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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City, State & Zip Rowlett TX, 75088

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Phone 618-218-5339

Phone _____

E-Mail CoastalPlainsEst@gmail.com

E-Mail _____

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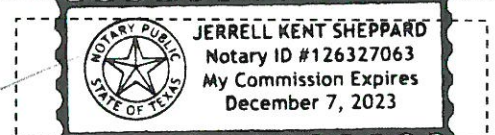
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Notary Public in and for the State of Texas



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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

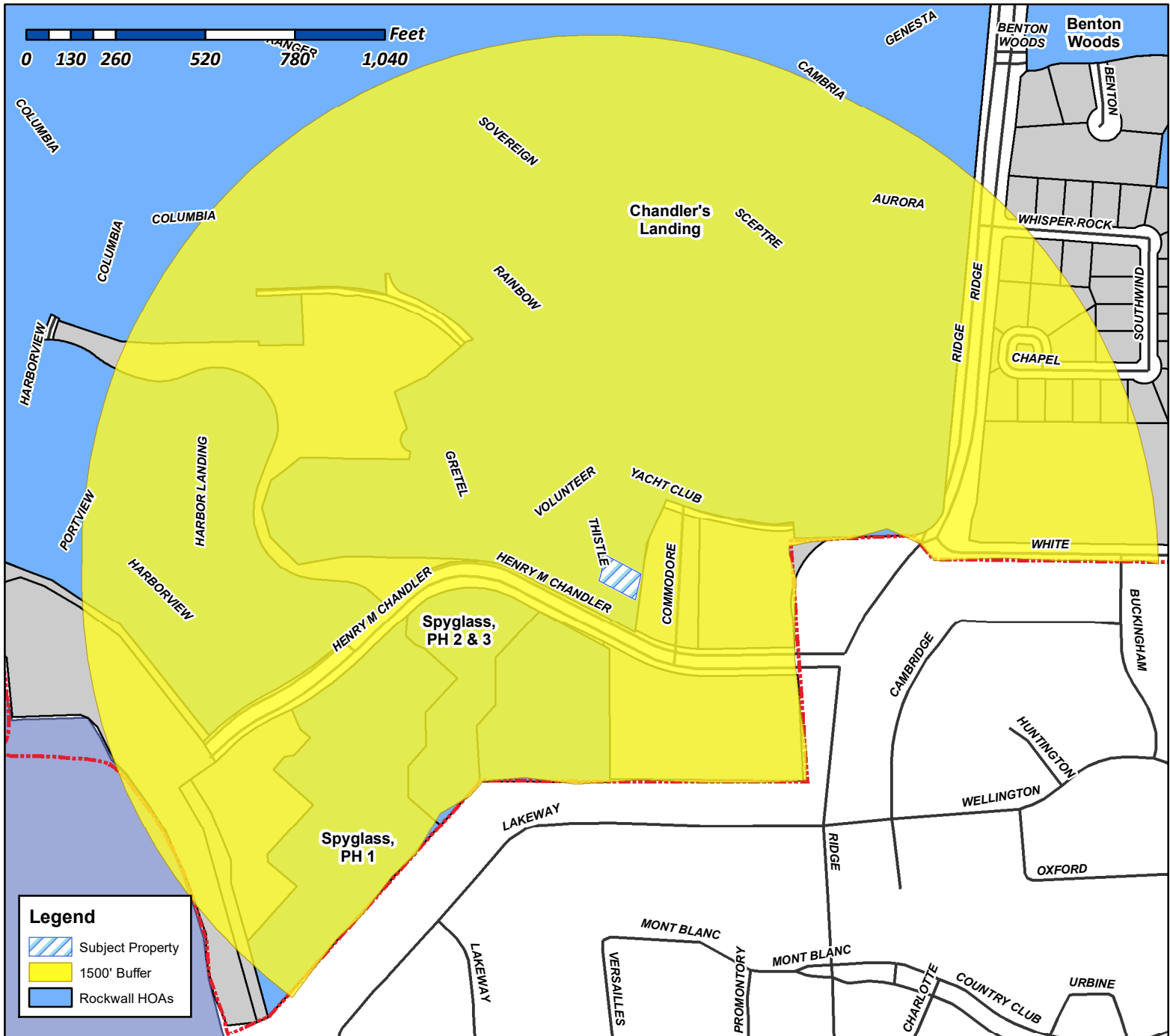




City of Rockwall

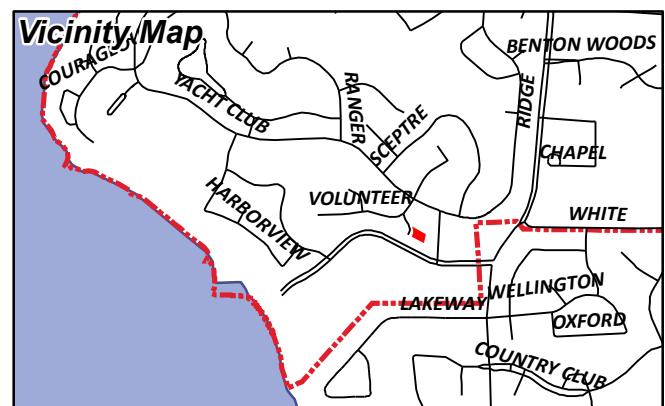
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-044.pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on Friday, October 23, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-044 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

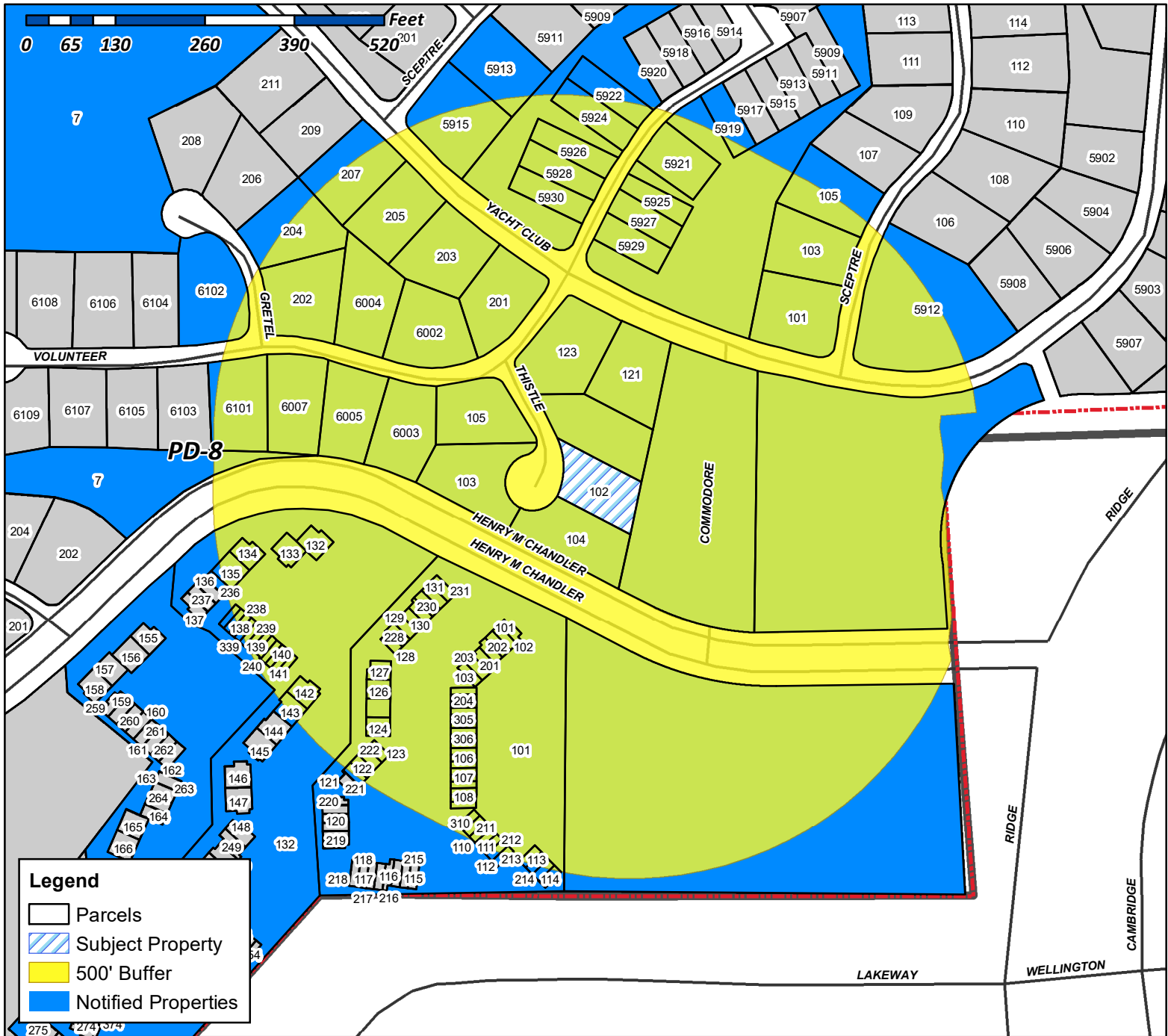
<http://www.rockwall.com/planning/>



City of Rockwall

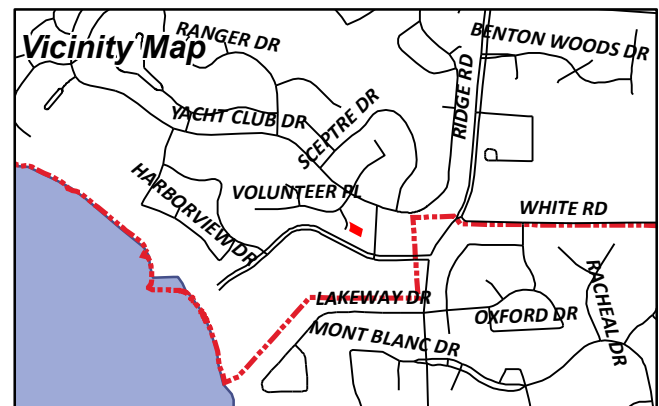
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Case Address: 102 Thistle Place

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For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

PRICE JASON ALAN
10041 W DUBLIN DR
FORNEY, TX 75126

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
102 HENRY M CHANDLERDR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
102 THISTLEPL
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

SHIVERS MARGARET ANN
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

FISHER TED Y
103 THISTLE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

SELZER DEANNA
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCMAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
107 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

PARNES ALEXANDRA
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE
GARLAND, TX 75043

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

ROMER ENTERPRISES LLC
111 HENRY M CHANDLERDR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
112 HENRY M CHANDLERDR
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

N & S PROPERTIES LLC
114 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RAGLE VICKIE
122 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
123 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

HPA US1 LLC
123 YACHT CLUBDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
124 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
125 HENRY M CHANDLERDR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
126 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
128 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
129 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
130 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
131 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
132 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WRIGHT RHONDA
133 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

CGN SPYGLASS LLC
135 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
138 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
139 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ENGEL MARIA
140 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
1403 BIRMINGHAM DR
ARLINGTON, TX 76012

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
142 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

CGN SPYGLASS LLC
143 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WEBSTER MARY ANN
14621 LAKECREST DR
ADDISON, TX 75001

PARNES ALEXANDRA
15 KESTREL CT
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
155 HENRY M CHANDLERDR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

COOK JEAN QUILL
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 YACHT CLUB DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETTEL PL
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETTEL PLACE
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

ALLEN FRANCIS C
204 SOVEREIGN CT
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

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205 HENRY M CHANDLERDR
ROCKWALL, TX 75032

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MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HENZEN CARLA
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

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208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

TAYLOR MARY
210 HENRY M CHANDLER DR
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
212 HENRY M CHANDLER DR
ROCKWALL, TX 75032

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DAVIS NITA
214 HENRY M CHANDLER DR
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221 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

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TULK SHARON K
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CARROLLTON, TX 75006

ARMSTRONG D
236 HENRY M CHANDLERDR
ROCKWALL, TX 75032

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MICHAEL D KNABLE TRUSTEE
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ROCKWALL, TX 75032

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239 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
240 HENRY M CHANDLERDR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

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GARVIN
2521 BOUNTIFUL COURT
HEATH, TX 75126

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HOUSTON, TX 77027

NICKSON SPYGLASS LLC
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HOUSTON, TX 77027

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MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

KEITH BENJAMIN AND
SHERYL KEITH
3011 BAYSIDE
ROCKWALL, TX 75087

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
304 HENRY M CHANDLERDR
ROCKWALL, TX 75032

DOMINGUE JON
305 HENRY M CHANDLER DR UNIT 305
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER MARY ANN
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VIERLING DENNIS & LISA
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

WEBSTER MARY ANN
341 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
3810 COVE RD
ROWLETT, TX 75088

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
4048 ROBIN ST
BAY ST LOUIS, MS 39520

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
427 PRIVATE ROAD 2939
PITTSBURG, TX 75686

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

CASTER JAMES E JR AND MILINDA J
512 PRIVATE RD 52444
LEESBURG, TX 75451

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

RABAH MUSTAFA-HASAN AND MILAN
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D & JUDY K
5913 SCEPTRE DR
ROCKWALL, TX 75032

HUNT ROBERT W & MARY E
5915 SCEPTRE DR
ROCKWALL, TX 75032

PRICE JASON ALAN
5919 VOLUNTEER PL
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
5921 VOLUNTEER PL
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

HEFFERNAN MARILYN
5924 VOLUNTEER PL
ROCKWALL, TX 75032

SRP SUB, LLC
5925 VOLUNTEER PL
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
5926 VOLUNTEERPL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

ALLEN FRANCIS C
5928 VOLUNTEERPL
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MACALIK OTTO JEFFREY
6102 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

HAYS DANNY W & JOAN
639 STAFFORD CIR
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

E C LIVING LLC
7926 ENCLAVE WAY
DALLAS, TX 75218

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SRP SUB, LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

ESTRERA AARON S ETUX
9011 CLEARHURST DR
DALLAS, TX 75238

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
963 W YELLOWJACKET LN APT 302
ROCKWALL, TX 75087

ENGEL MARIA
994 GREEN RIVER RD
WAYNESBORO, TN 38485

VIERLING DENNIS & LISA
PO BOX 1506
ROCKWALL, TX 75087

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-044: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-044: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

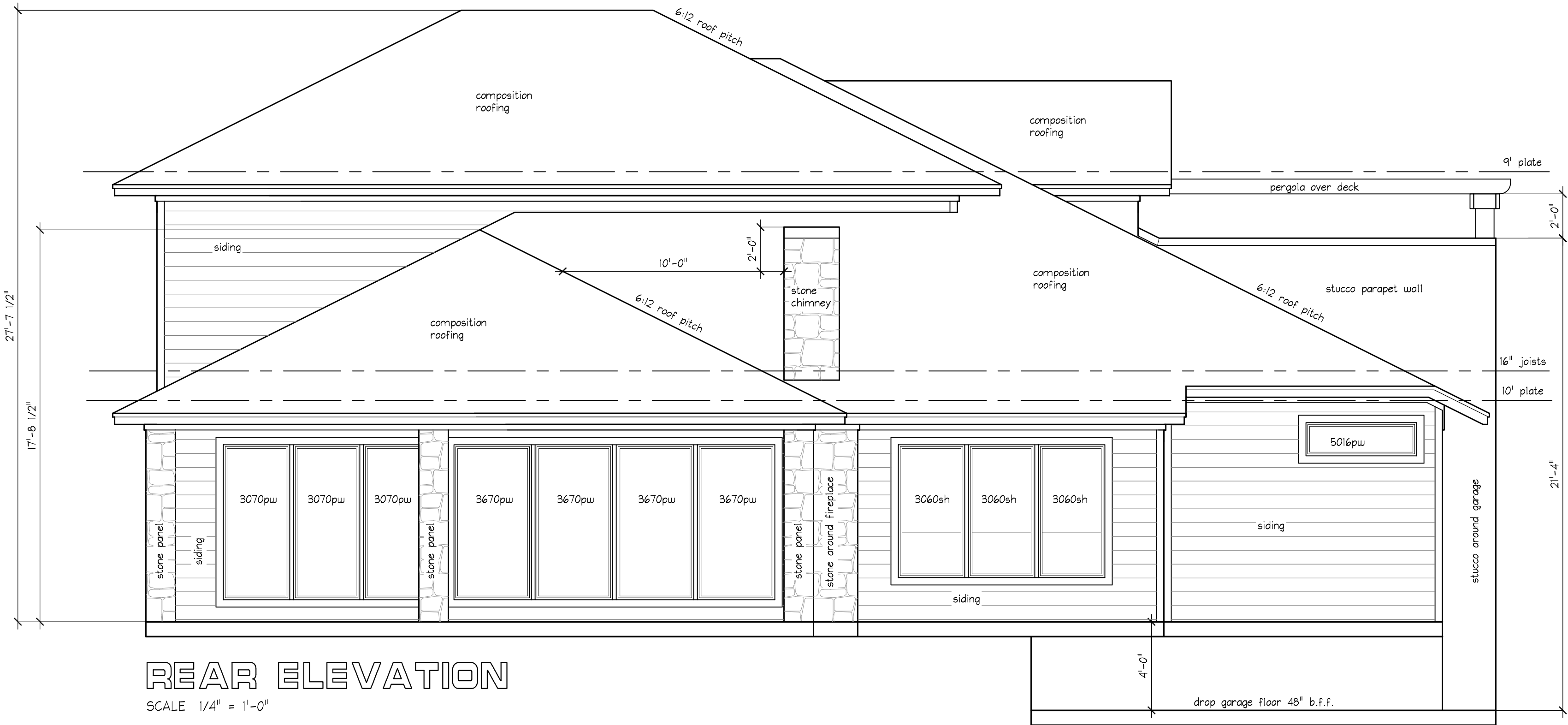
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich

Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

Coastal Plains Estates
(618) 218-5339

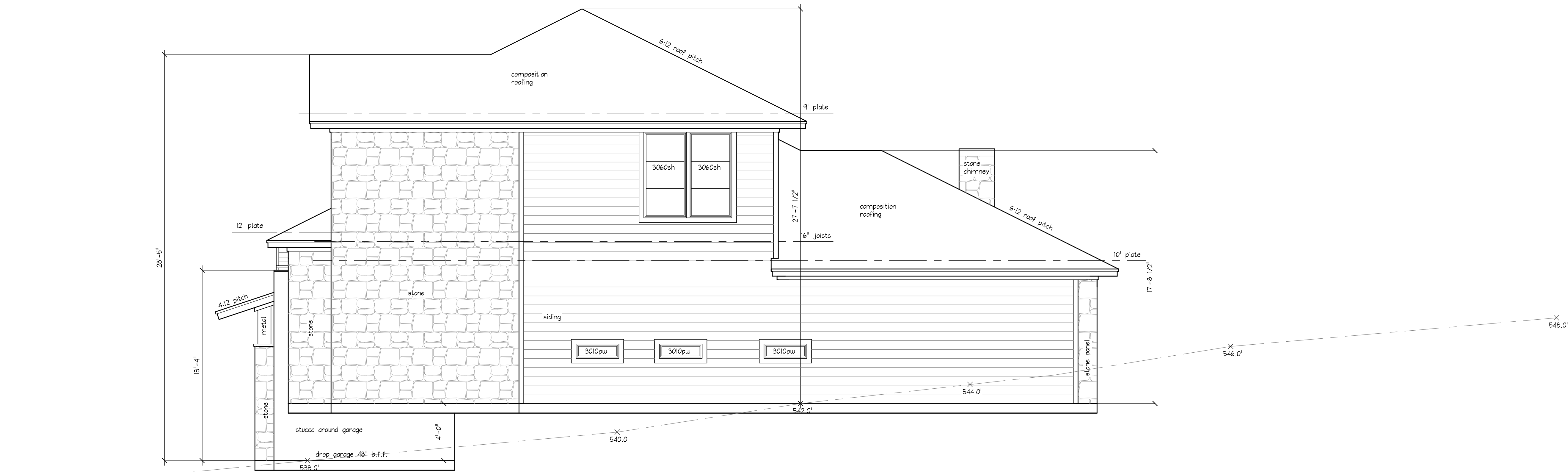
A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

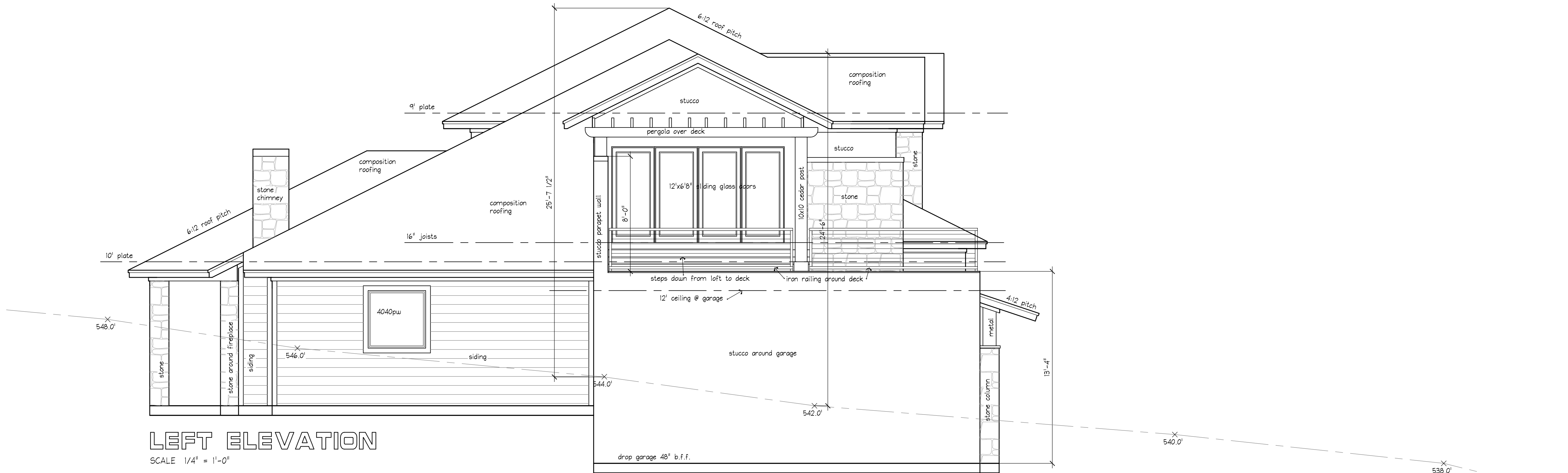
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SHEET NO.

06



RIGHT ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

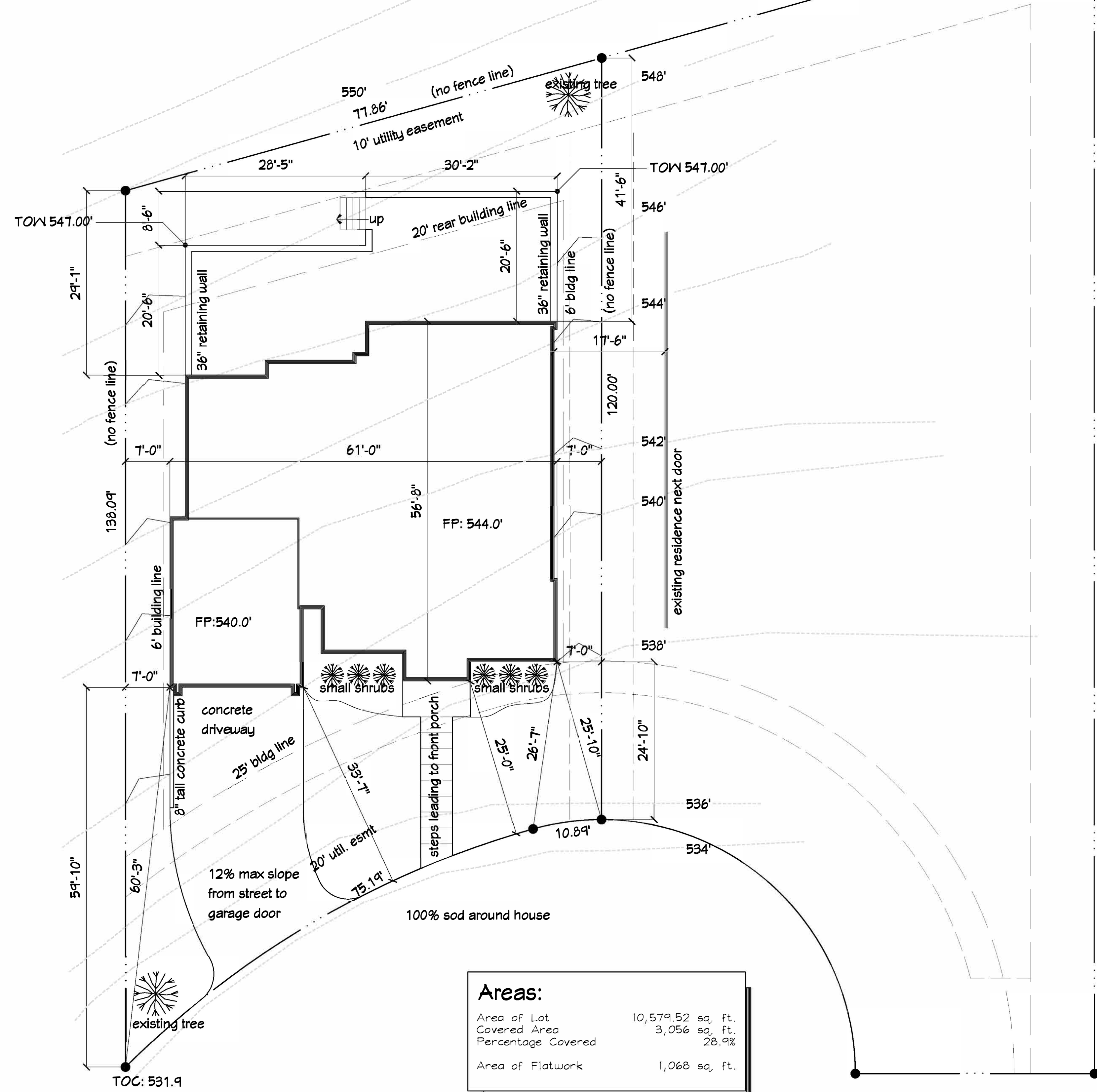
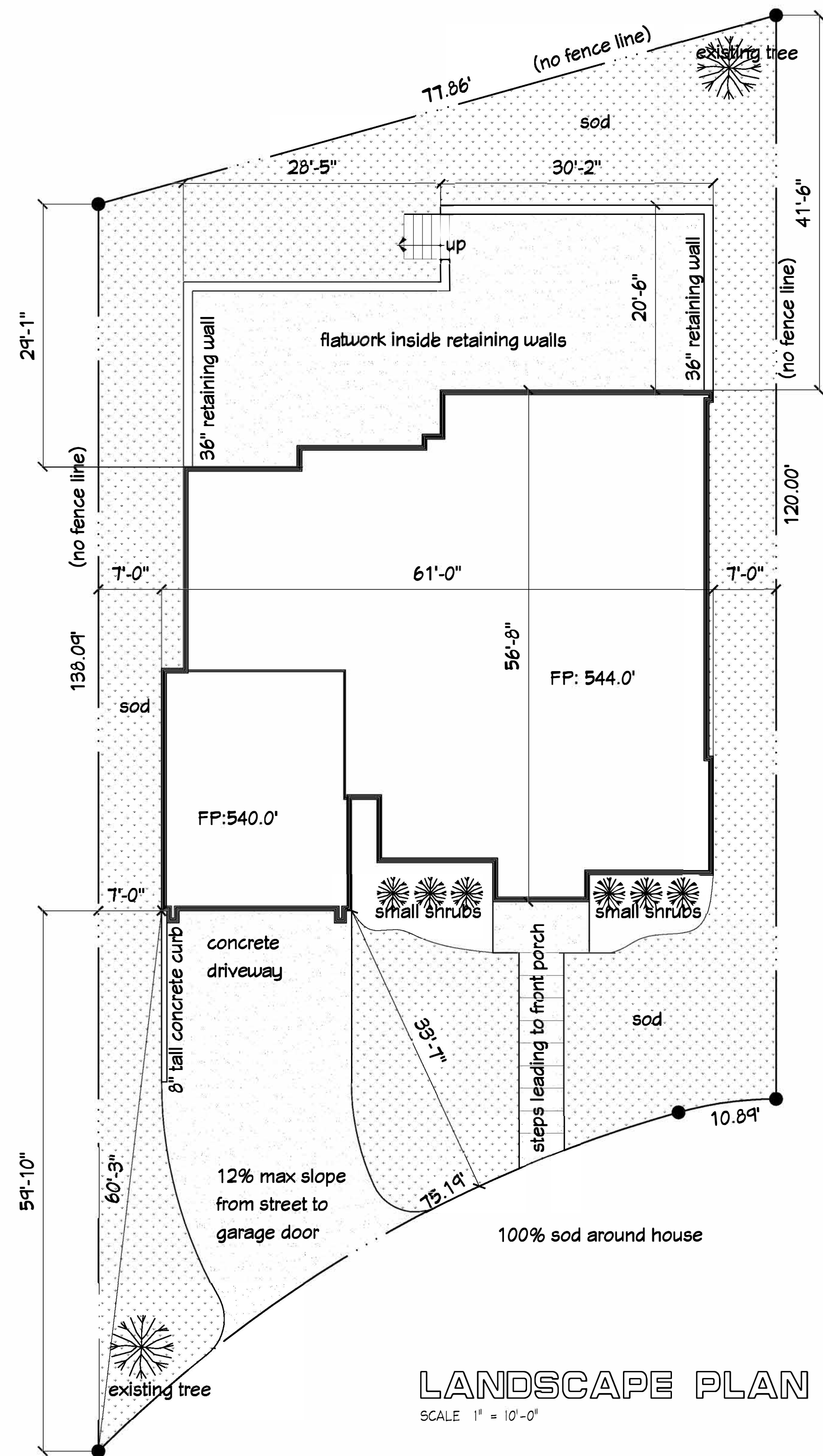
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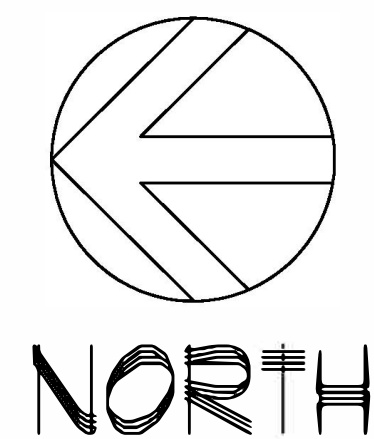
Coastal Plains Estates
(618) 218-5339

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

(c) copyright 2020 J. Karlovich Home Design
SHEET NO.



Areas:	
Area of Lot	10,579.52 sq. ft.
Covered Area	3,056 sq. ft.
Percentage Covered	28.9%
Area of Flatwork	1,068 sq. ft.



REVISIONS:

8/3/2020
8/11/2020
9/2/2020

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Coastal Plains Estates
(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place

Lot 24, Block A

Chandlers Landing #7

City of Rockwall, Texas

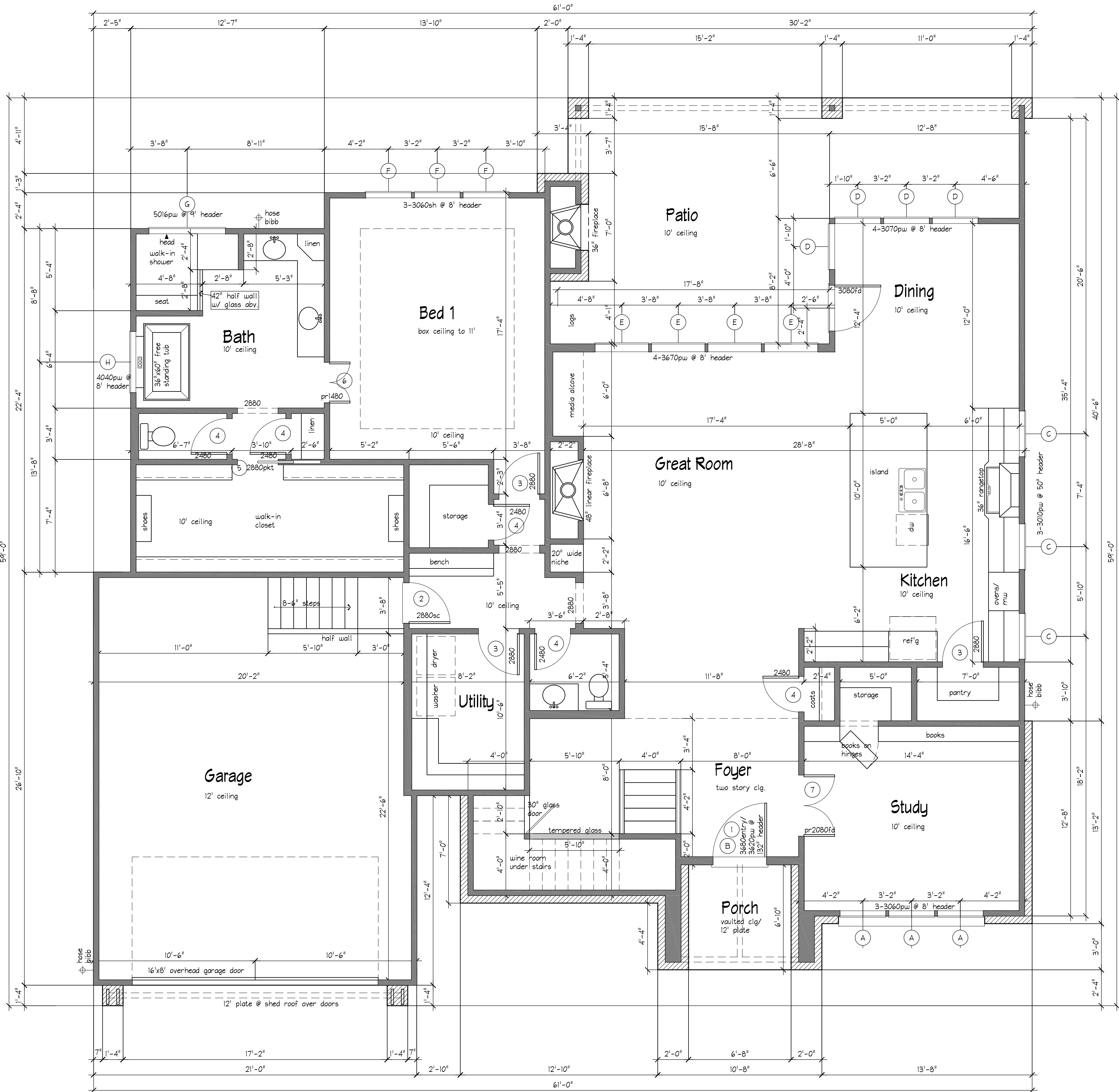
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SHEET NO.

01

PLAN NOTES

- All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from face of stud to face of stud unless otherwise noted.
- Window sizes indicated on plans are noted by approximate rough openings size. Refer to plans and exterior elevations for window types.
- Coordinate location of utility meters with site plan and locate away from public view. Visual impact shall be minimized, i.e. mount as low as possible.
- Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall flue height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed.
- Contractor shall coordinate all closet shelving requirements.
- Do not scale drawings, follow dimensions only.
- Contractor shall field verify all cabinet dimensions before fabrication.
- Bedroom windows shall have a minimum net clear opening of 5.7 sq. ft., a minimum net clear operable width of 20", a minimum net clear operable height of 24", and have a maximum finish sill height of 43" from finish floor.
- All glass located within 18" of floor, 24" of a door or located within 60" of floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
- All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.
- Provide combustion air vents, with screen and back damper. For fireplaces, wood stoves and any appliance with an open flame.
- Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 cfm fan. Range hoods shall also be vented to outside.
- Attic hvac units shall be located within 20' of its service opening. Return air grilles shall not be located within 10 feet of a gas fired appliance.
- All walls and ceilings in garage and garage storage areas to have 5/8" type-X gyp. board w/ 1-hour fire rating. All ext. doors in garage to be metal or solid core doors including doors entering heat/cooled portion of residence.
- All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R-19) insulation between 2x4 joists.
- All interior walls shall be covered with 1/2" gypsum board, with metal corner reinforcing, tape float and sand. (3 coats) Use 5/8" gypsum board on ceilings when supporting members are 24" o.c. or greater. Use 1/2" gypsum board on ceiling members less than 24" o.c.
- All bath and toilet area walls and ceilings shall have water resistant gypsum boards.
- All plumbing walls (first and second floor) shall be 2x6.



Windows Schedule:

ID#	Size	Description	Quantity
A	3060	Picture Window	3
B	3070	Picture Window	1
C	3070	Picture Window	4
D	3070	Picture Window	5
E	3060	Picture Window	1
F	3060	Picture Window	1
G	3060	Picture Window	1
H	3060	Picture Window	1
I	3060	Picture Window	1
J	3060	Picture Window	1
K	3060	Picture Window	1

Doors Schedule:

ID#	Size	Description	Quantity
1	3680	Special Front Entry as Selected	1
2	2880	Interior Solid Core (1 hour rated)	1
3	2880	Interior as Selected	3
4	2880	Interior as Selected	1
5	2880	Interior as Selected	1
6	2880	Interior as Selected	1
7	2880	Interior as Selected	1
8	2880	Interior as Selected	1
9	2880	Interior as Selected	1
10	2880	Interior as Selected	1
11	2880	Interior as Selected	1
12	2880	Interior as Selected	1
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98	2880	Interior as Selected	1
99	2880	Interior as Selected	1
100	2880	Interior as Selected	1

Areas:

First Floor Living Area	2,034 sq. ft.
Second Floor Living Area	918 sq. ft.
Total Living Area	2,952 sq. ft.
Garage	546 sq. ft.
Front Porch	60 sq. ft.
Covered Patio	385 sq. ft.
Total Slab Area	3,056 sq. ft.
Total Under Roof	3,974 sq. ft.
Deck (uncovered)	501 sq. ft.

FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

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Home Design

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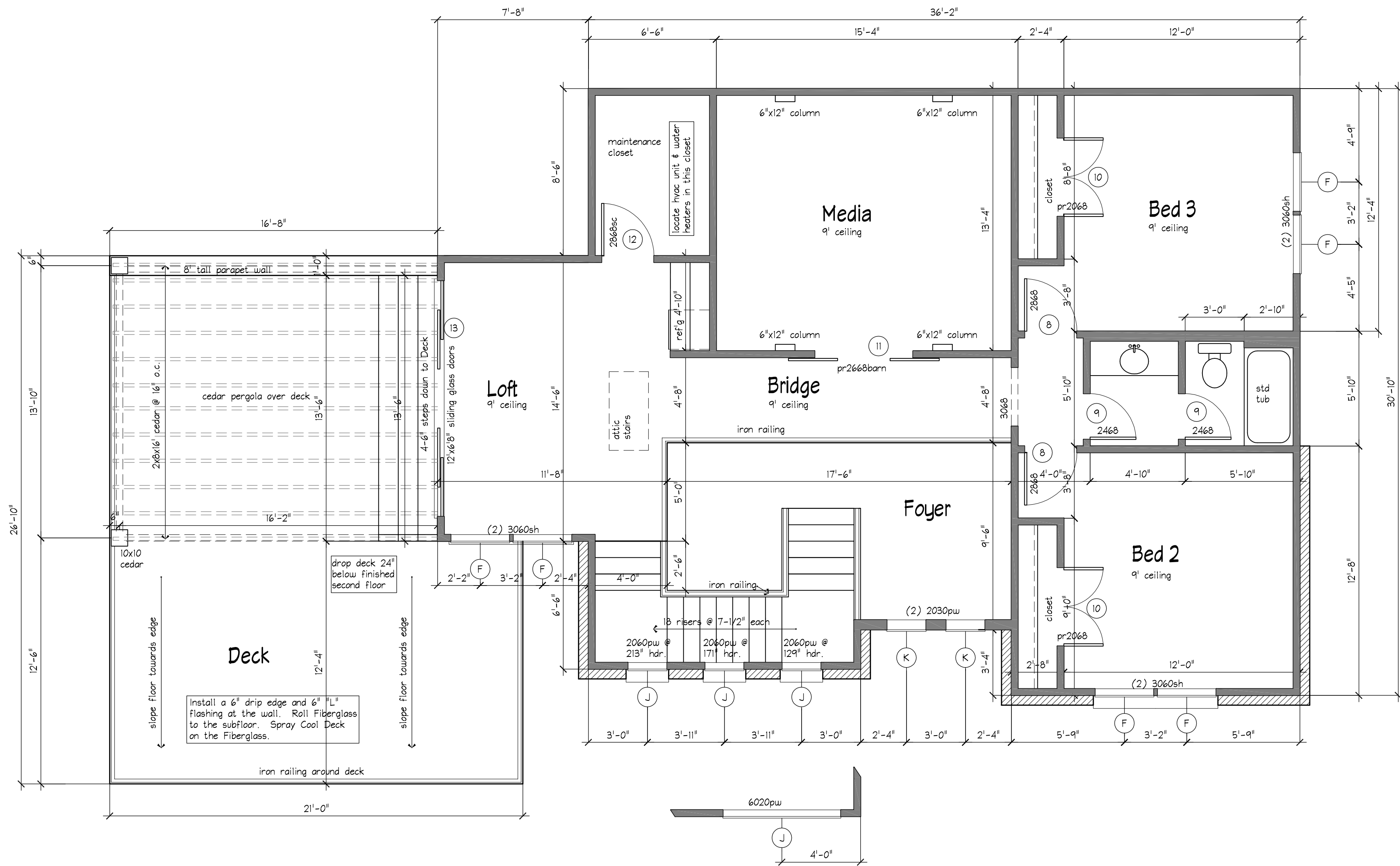
Coastal Plains Estates

(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

Coastal Plains Estates
(618) 218-5339

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jkarlovichhomedesign.com

REVISIONS:	
8/3/2020	
8/11/2020	
9/2/2020	

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.21-acre parcel of land being described as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A'
Location Map and Survey

Address: 102 Thistle Place

Legal Description: Lot 24, Block A, Chandler's Landing, Phase 7

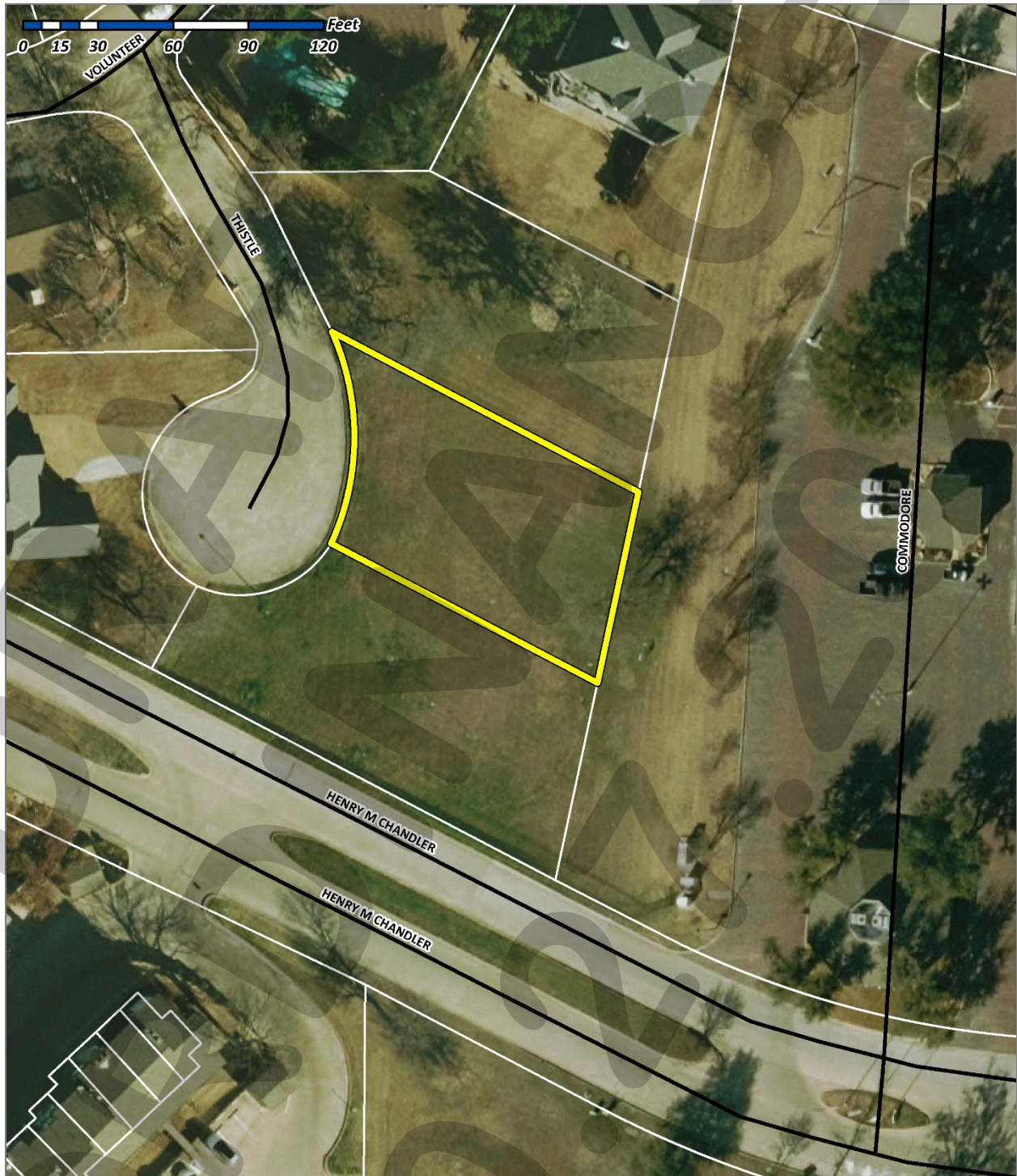


Exhibit 'B':
Residential Plot Plan

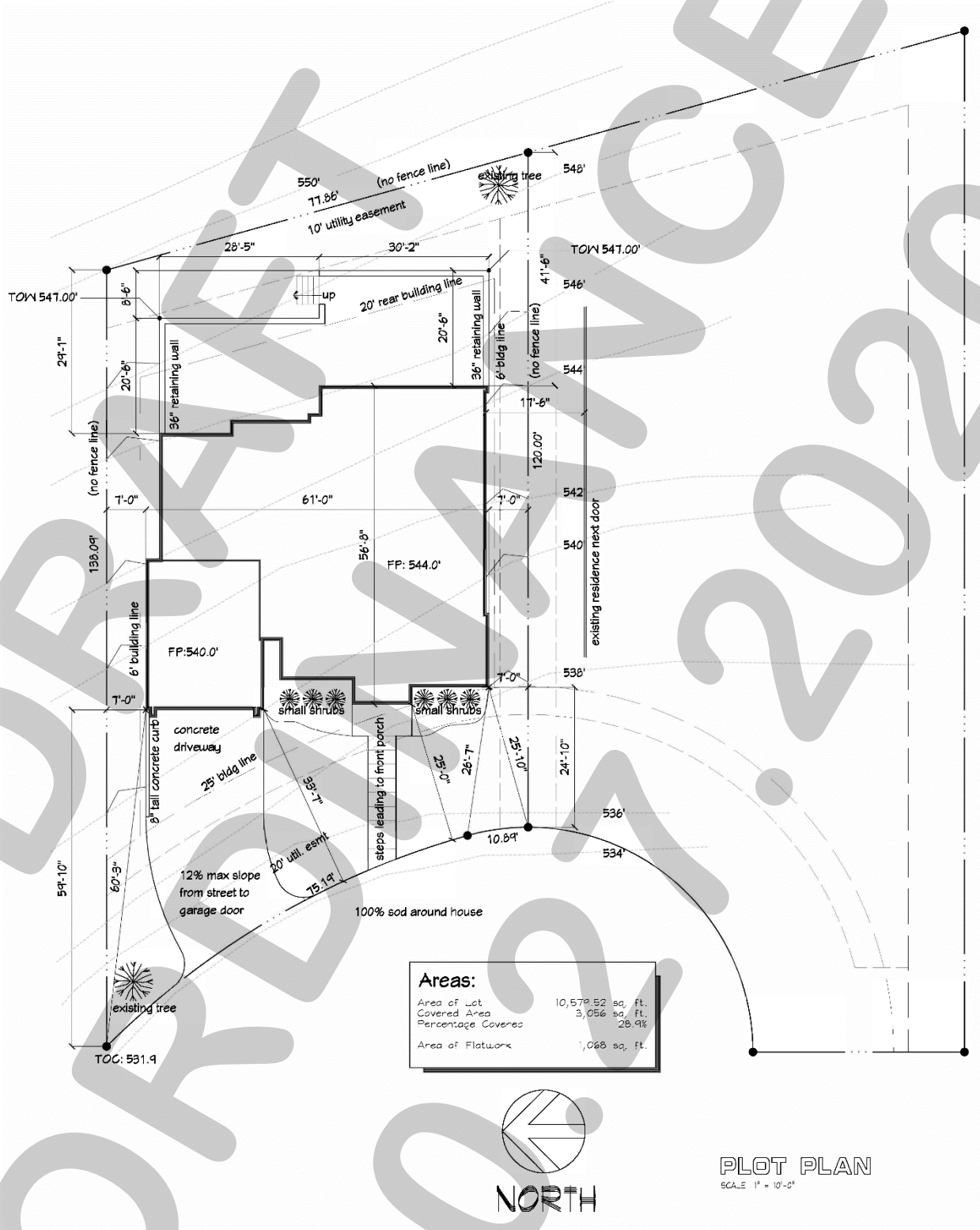
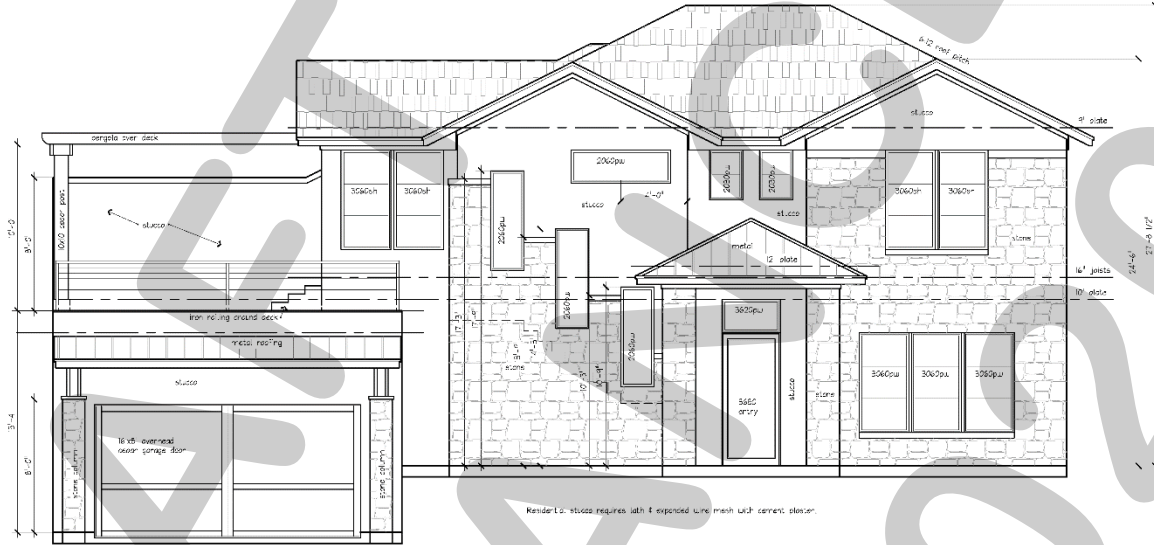
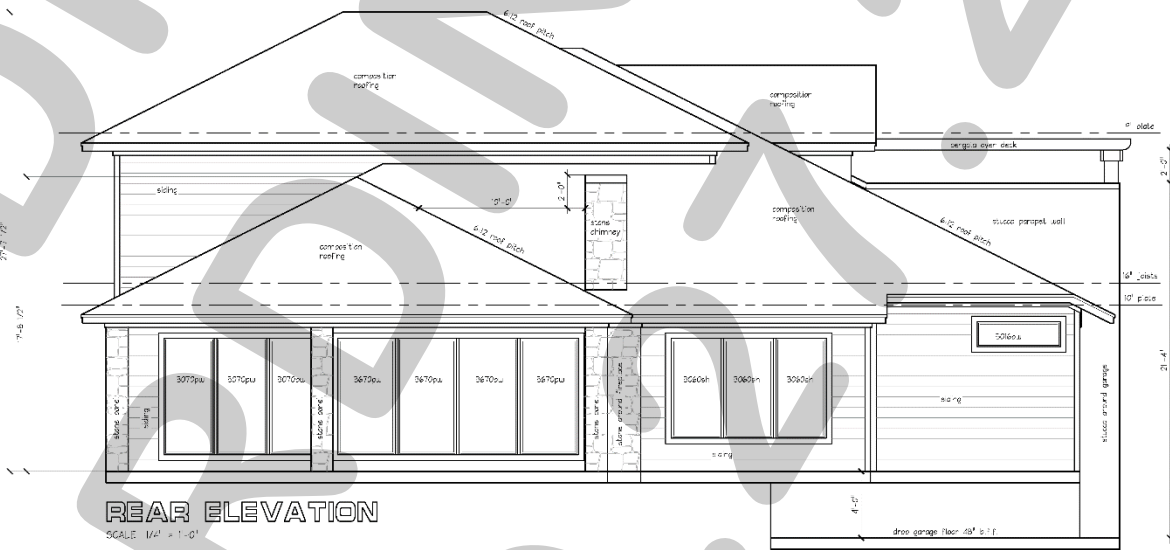


Exhibit 'C':
Building Elevations

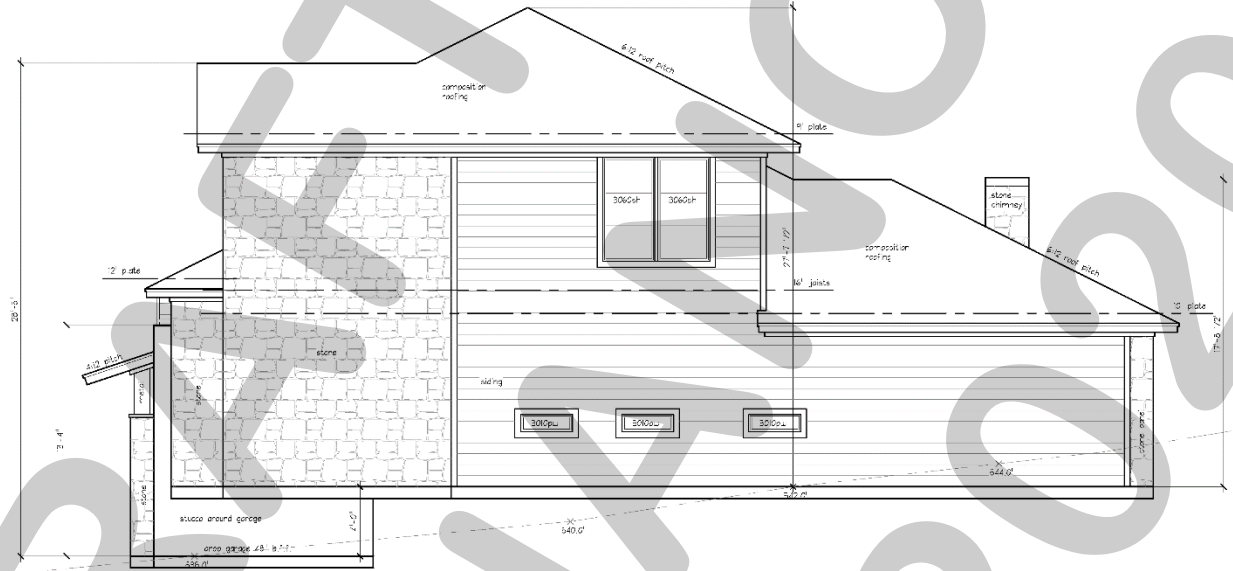


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

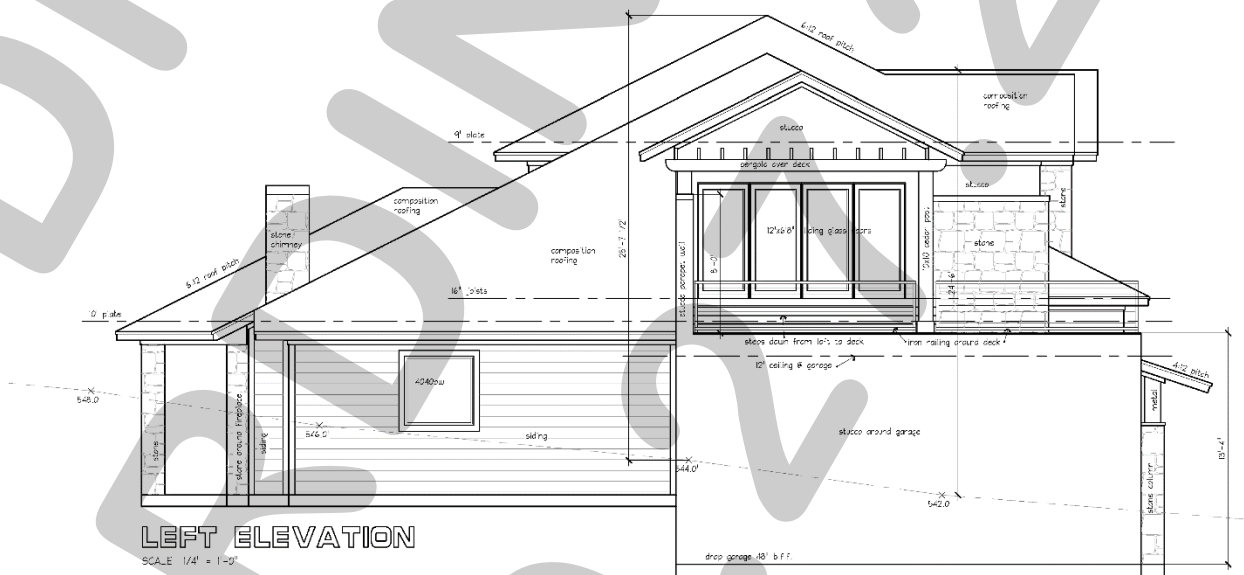


REAR ELEVATION
SCALE: 1/4" = 1'-0"

Exhibit 'C':
Building Elevations



RIGHT ELEVATION
S.C.A. E 1/4" = 1'-0"



LEFT ELEVATION
S.C.A. E 1/4" = 1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2020

PROJECT NUMBER: Z2020-044
PROJECT NAME: SUP for 102 Thistle Place
SITE ADDRESS/LOCATIONS: 102 THISTLE PL, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/22/2020	Approved w/ Comments

10/22/2020: Z2020-044; Specific Use Permit (SUP) for Residential Infill for 102 Thistle Place
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, and addressed as 102 Thistle Place.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.

M.3 For reference, include the case number (Z2020-044) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within Phase 7 of the Chandler's Landing Subdivision, which was established on November 20, 1976, consists of 35 total residential lots, and currently only has three (3) vacant lots.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

I.6 According to Subsection 04.01(B) of Section 4, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a J-Swing garage where the garage door is perpendicular to the street."

M.7 In this case, the proposed garage door is situated in front of the front façade of the proposed home facing the street, and does not meet the requirements of the Unified Development Code (UDC). This garage configuration will require approval by the City Council as part of the Specific Use Permit (SUP) ordinance.

M.8 Please review the attached Draft Ordinance prior to the October 27, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 3, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give

staff ample time to review the case prior to the November 10, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 27, 2020.

I.10 The projected City Council meeting dates for this case will be November 16, 2020 (1st Reading) and December 7, 2020 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Approved w/ Comments

10/22/2020: M - Must include a plot plan with the building permit. This plot plan will need to show the entire property draining to the front of the lot.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls 18" and over must be rock or stone faced.

I - There is a 10' wide utility easement at the back of the property.

I - There is a 20' wide utility easement at the front of the property.

I - There is a 10' wide utility easement on the south of the property

I - No walls will be allowed in any easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	10/22/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved

10/20/2020: no comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 102 Thistle Place

Subdivision Chandlers landing

Lot 24 Block A

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Single family

Current Use land

Proposed Zoning Single family

Proposed Use single family home

Acreage 0.21

Lots [Current] _____

Lots [Proposed] _____

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Coastal Plains estates

☐ Applicant same

Contact Person Casey Cox

Contact Person _____

Address 8400 sunset blvd

Address AS

City, State & Zip Rowlett TX, 75088

City, State & Zip _____

Phone 618-218-5339

Phone _____

E-Mail CoastalPlainsEst@gmail.com

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

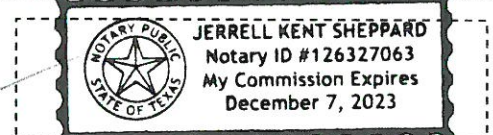
Before me, the undersigned authority, on this day personally appeared Casey M. Cox [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's Signature _____

Notary Public in and for the State of Texas



My Commission Expires _____



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

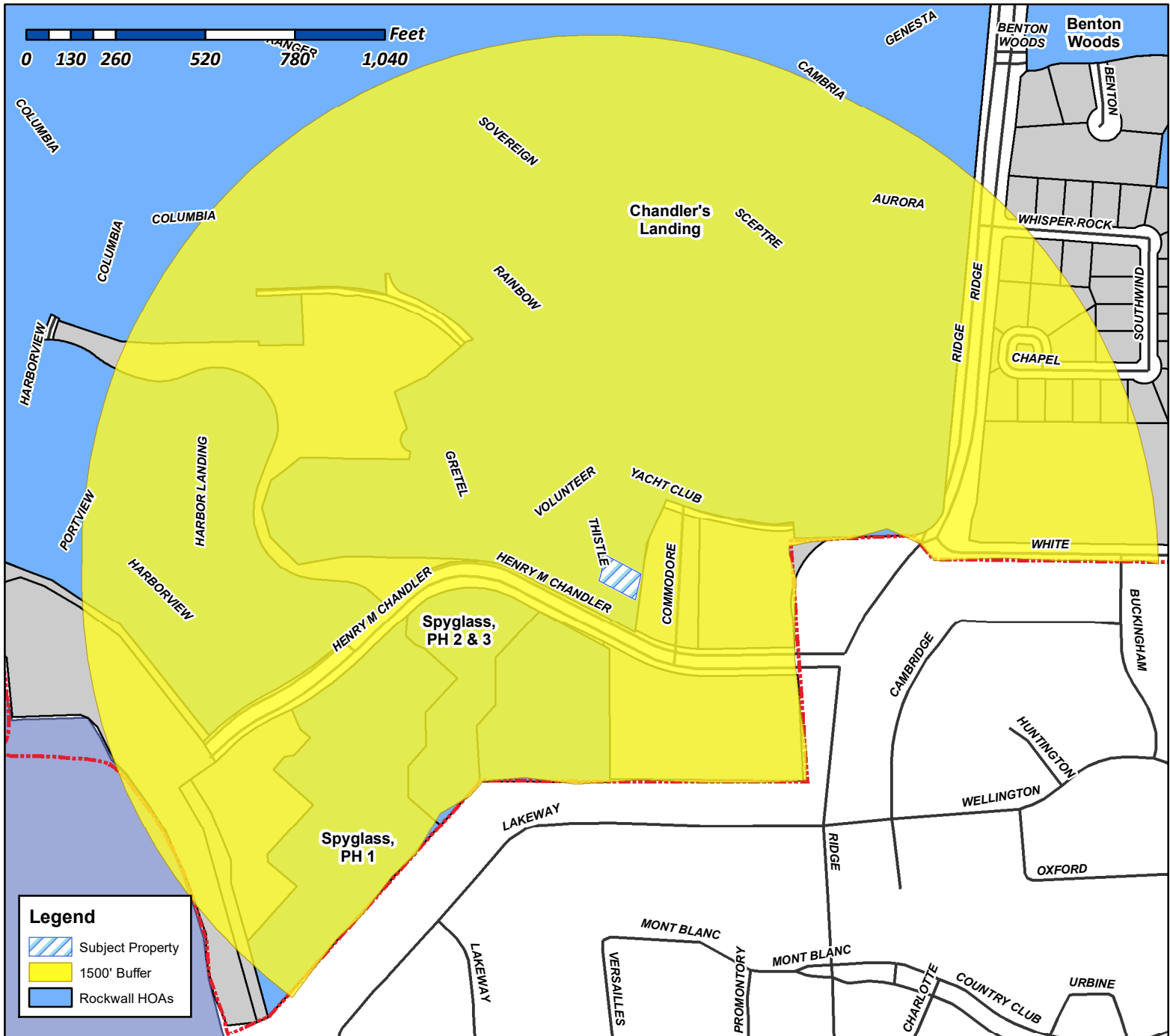




City of Rockwall

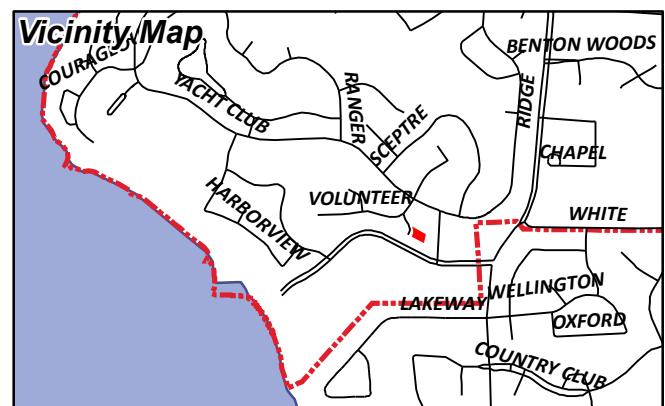
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385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-044.pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on Friday, October 23, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-044 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

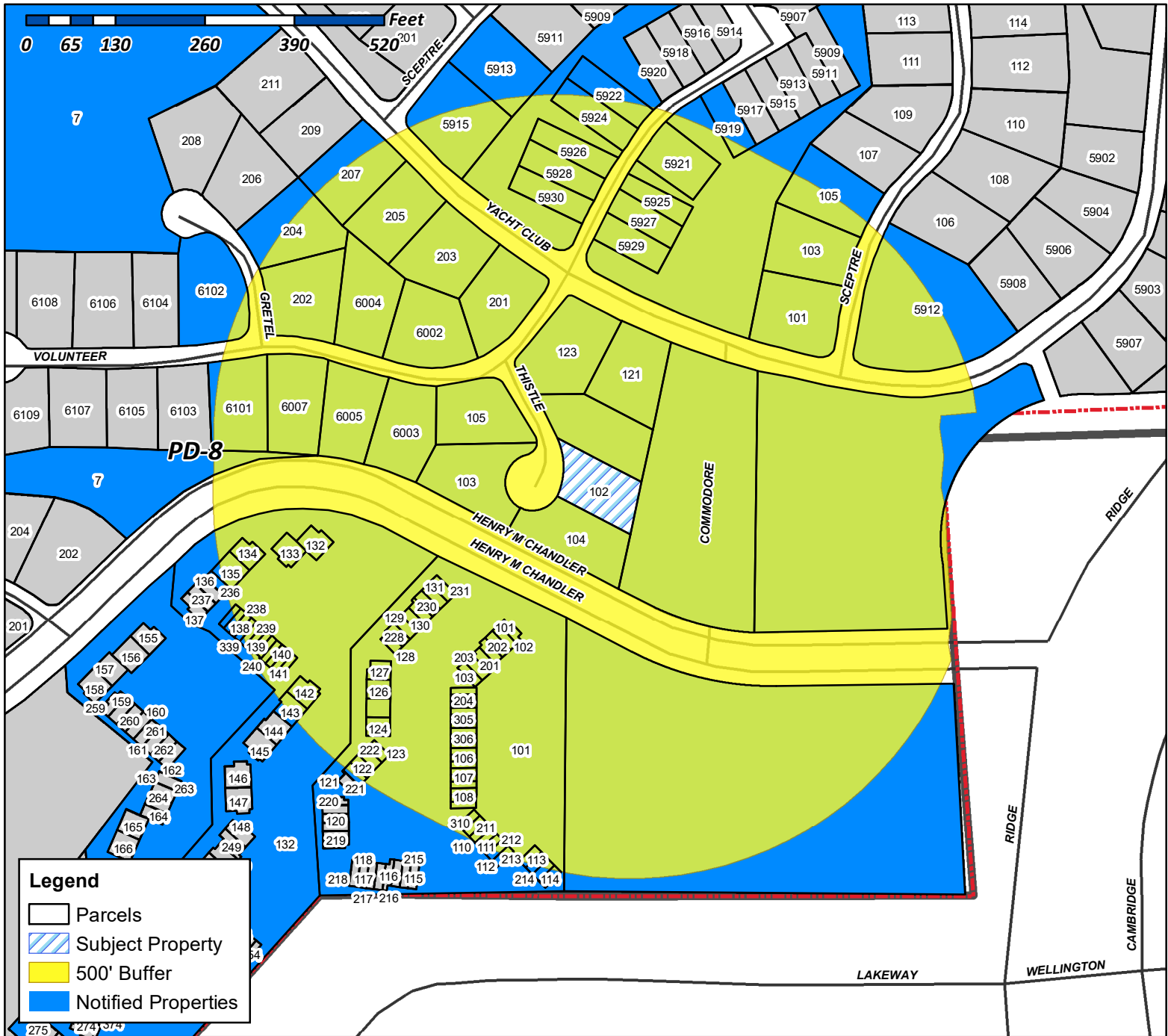
<http://www.rockwall.com/planning/>



City of Rockwall

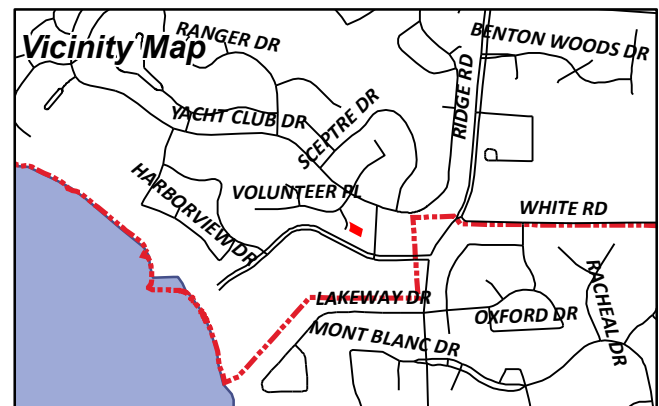
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

PRICE JASON ALAN
10041 W DUBLIN DR
FORNEY, TX 75126

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
102 HENRY M CHANDLERDR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
102 THISTLEPL
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

SHIVERS MARGARET ANN
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

FISHER TED Y
103 THISTLE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

SELZER DEANNA
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCPAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
107 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

PARNES ALEXANDRA
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE
GARLAND, TX 75043

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

ROMER ENTERPRISES LLC
111 HENRY M CHANDLERDR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
112 HENRY M CHANDLERDR
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

N & S PROPERTIES LLC
114 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RAGLE VICKIE
122 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
123 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

HPA US1 LLC
123 YACHT CLUBDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
124 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
125 HENRY M CHANDLERDR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
126 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
128 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
129 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
130 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
131 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
132 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WRIGHT RHONDA
133 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

CGN SPYGLASS LLC
135 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
138 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
139 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ENGEL MARIA
140 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
1403 BIRMINGHAM DR
ARLINGTON, TX 76012

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
142 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

CGN SPYGLASS LLC
143 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WEBSTER MARY ANN
14621 LAKECREST DR
ADDISON, TX 75001

PARNES ALEXANDRA
15 KESTREL CT
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
155 HENRY M CHANDLERDR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

COOK JEAN QUILL
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 YACHT CLUB DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETTEL PL
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETTEL PLACE
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

ALLEN FRANCIS C
204 SOVEREIGN CT
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

GARDNER DAVID L REV LIV TR
205 HENRY M CHANDLERDR
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HENZEN CARLA
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

E C LIVING LLC
208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
209 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TAYLOR MARY
210 HENRY M CHANDLER DR
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
212 HENRY M CHANDLER DR
ROCKWALL, TX 75032

E C LIVING LLC
213 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DAVIS NITA
214 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FLORES EMILY RODELA
221 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

E C LIVING LLC
222 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J
228 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TULK SHARON K
229 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
230 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
231 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
2311 NORWICH DR
CARROLLTON, TX 75006

ARMSTRONG D
236 HENRY M CHANDLERDR
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
238 HENRY M CHANDLERDR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
239 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
240 HENRY M CHANDLERDR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
2521 BOUNTIFUL COURT
HEATH, TX 75126

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

NICKSON SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

KEITH BENJAMIN AND
SHERYL KEITH
3011 BAYSIDE
ROCKWALL, TX 75087

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
304 HENRY M CHANDLERDR
ROCKWALL, TX 75032

DOMINGUE JON
305 HENRY M CHANDLER DR UNIT 305
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER MARY ANN
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VIERLING DENNIS & LISA
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

WEBSTER MARY ANN
341 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
3810 COVE RD
ROWLETT, TX 75088

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
4048 ROBIN ST
BAY ST LOUIS, MS 39520

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
427 PRIVATE ROAD 2939
PITTSBURG, TX 75686

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

CASTER JAMES E JR AND MILINDA J
512 PRIVATE RD 52444
LEESBURG, TX 75451

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

RABAH MUSTAFA-HASAN AND MILAN
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D & JUDY K
5913 SCEPTRE DR
ROCKWALL, TX 75032

HUNT ROBERT W & MARY E
5915 SCEPTRE DR
ROCKWALL, TX 75032

PRICE JASON ALAN
5919 VOLUNTEER PL
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
5921 VOLUNTEER PL
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

HEFFERNAN MARILYN
5924 VOLUNTEER PL
ROCKWALL, TX 75032

SRP SUB, LLC
5925 VOLUNTEER PL
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
5926 VOLUNTEERPL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

ALLEN FRANCIS C
5928 VOLUNTEERPL
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MACALIK OTTO JEFFREY
6102 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

HAYS DANNY W & JOAN
639 STAFFORD CIR
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

E C LIVING LLC
7926 ENCLAVE WAY
DALLAS, TX 75218

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SRP SUB, LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

ESTRERA AARON S ETUX
9011 CLEARHURST DR
DALLAS, TX 75238

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
963 W YELLOWJACKET LN APT 302
ROCKWALL, TX 75087

ENGEL MARIA
994 GREEN RIVER RD
WAYNESBORO, TN 38485

VIERLING DENNIS & LISA
PO BOX 1506
ROCKWALL, TX 75087

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-044: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-044: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

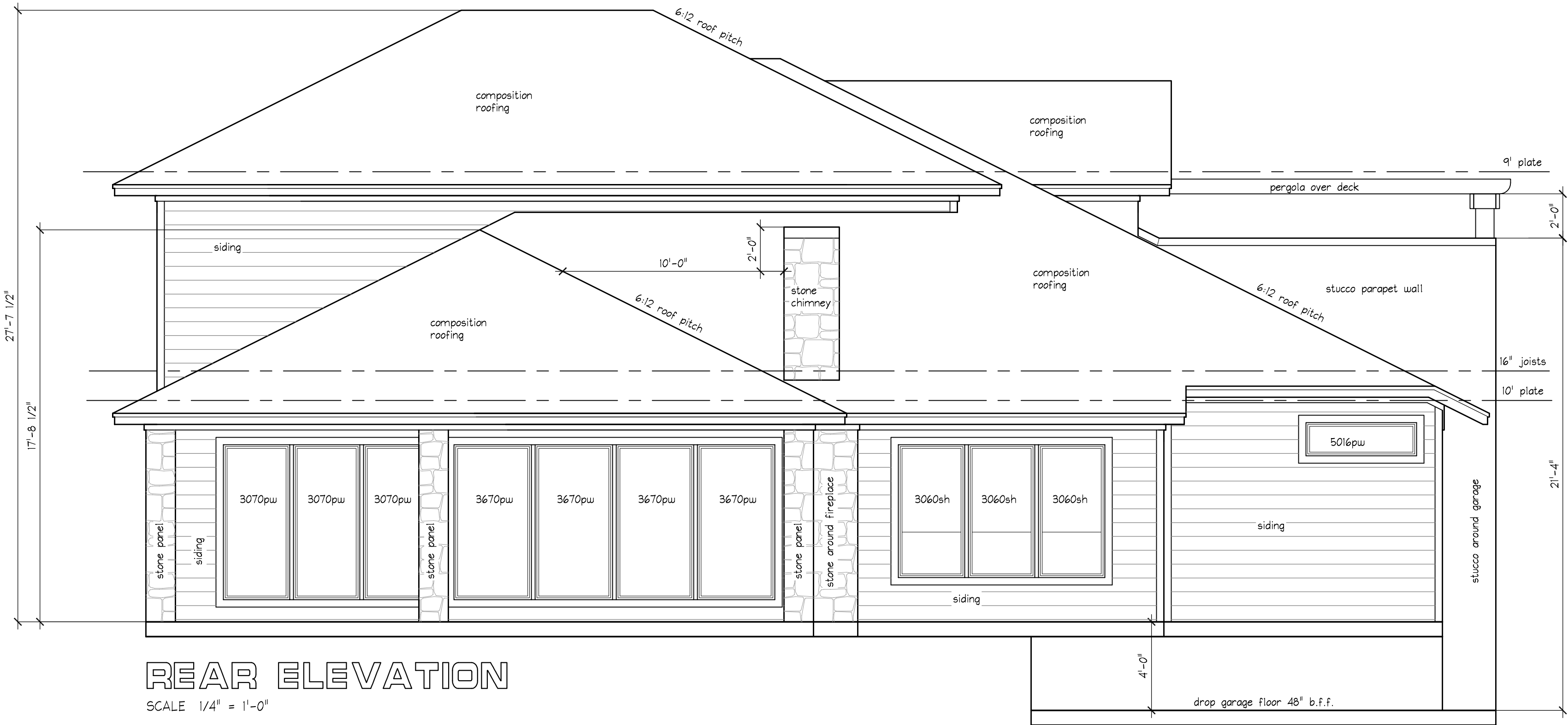
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich
Home Design
(214) 674-0290 : Phone
jkarlovichhomedesign.com

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

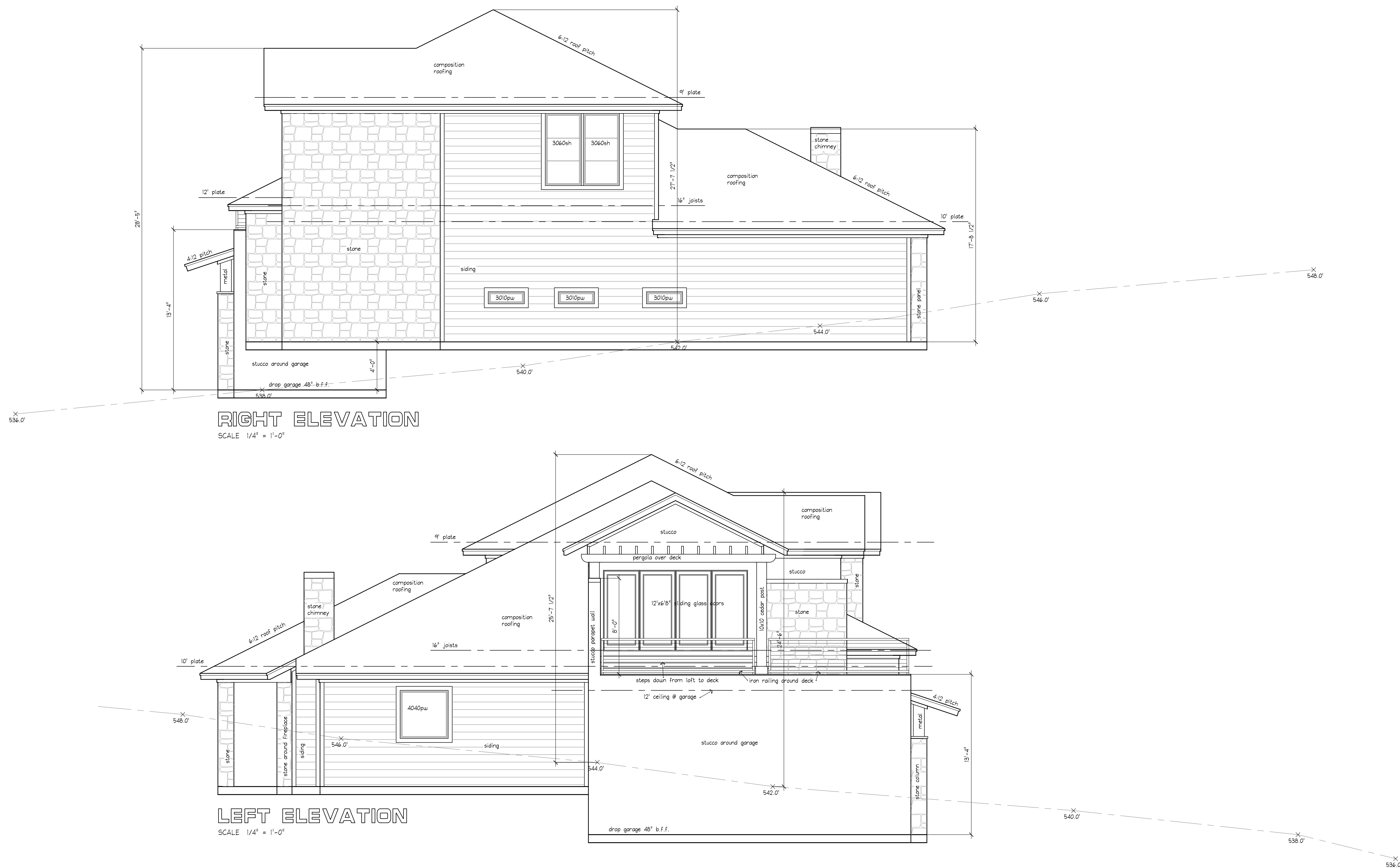
Coastal Plains Estates
(618) 218-5339

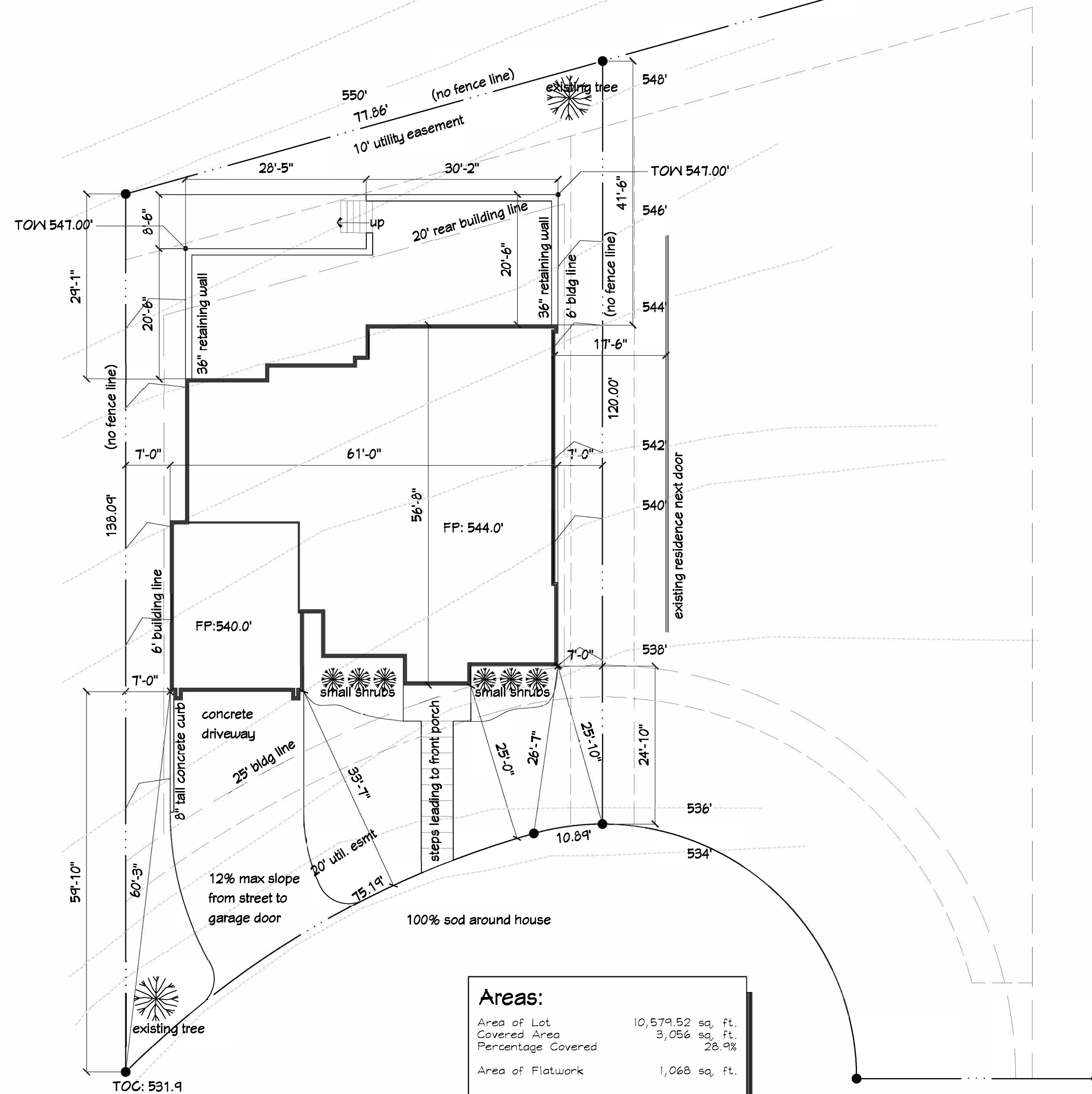
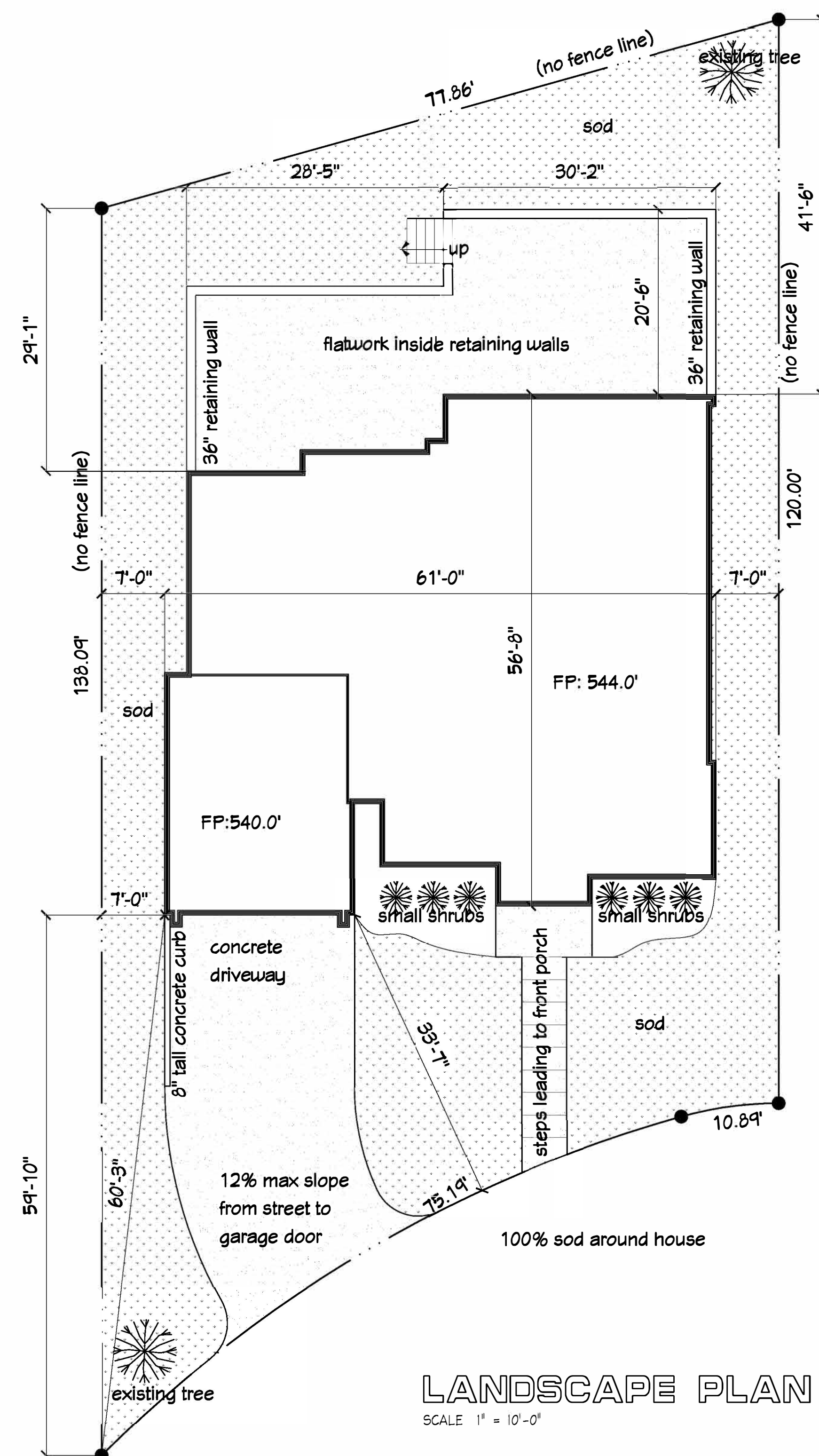
A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, Inc., is not an architectural or engineering firm and has no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur, it is the sole responsibility of the contractor and/or the owner to correct the error and pay any commission and expense and not the responsibility of J. Karlovich Home Design, Inc. All plans are intended to be a guide only for this address. ONLY plans are intended to be

Coastal Plains Estates
(618) 218-5339

A Custom House for :
Spec House
 102 Thistle Place
 Lot 24, Block A
 Chancellors Landing #7
 City of Rockwall, Texas





REVISIONS:

8/3/2020

8/11/2020

9/2/2020

J. Karlovich — Home Design

Keel Design

(214) 674-0290 : Phone
 @karlovichhomedesign.com

karlovichhomedesign.com

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not intend to provide a complete set of construction documents, but an architectural or engineering firm stands not liable for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. Any error or omission does not excuse this, the sole responsibility of the architect. The undersigned owner, J. Karlovich Home Design, is responsible for the design and construction of this structure, and for any error or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be used as a guide only. The undersigned owner is responsible for any one time use for this address ONLY.

Coastal Plains Estates
(618) 218-5339

(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place

Lot 24, Block A

LOC 21, BLOCK A Chandlers Landing #7

City of Rockwall, Texas

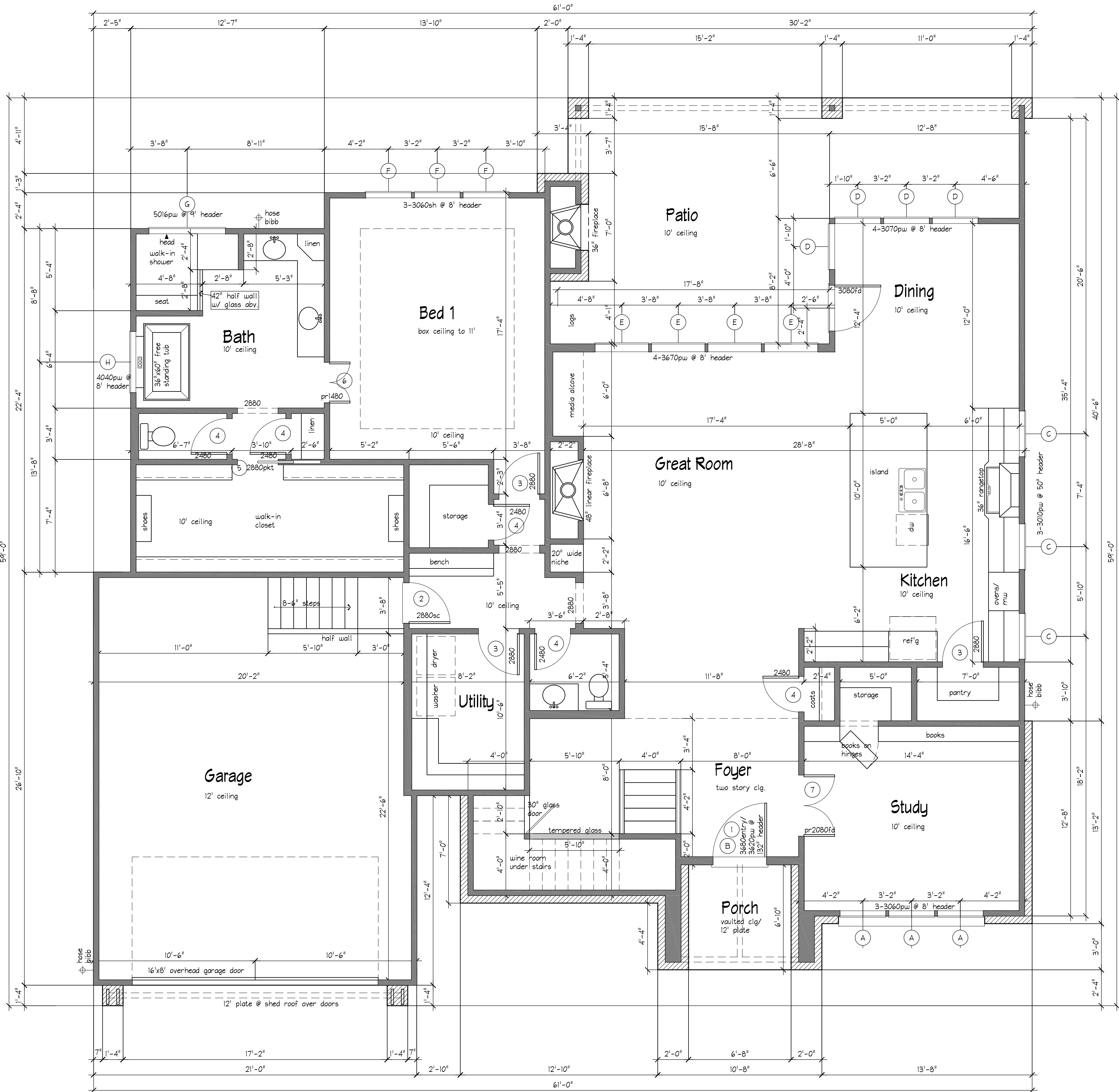
(c) copyright 2020 J. Karlovich Home Design

SHEET NO.

01

PLAN NOTES

- All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from face of stud to face of stud unless otherwise noted.
- Window sizes indicated on plans are noted by approximate rough openings size. Refer to plans and exterior elevations for window types.
- Coordinate location of utility meters with site plan and locate away from public view. Visual impact shall be minimized, i.e. mount as low as possible.
- Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall flue height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed.
- Contractor shall coordinate all closet shelving requirements.
- Do not scale drawings, follow dimensions only.
- Contractor shall field verify all cabinet dimensions before fabrication.
- Bedroom windows shall have a minimum net clear opening of 5.7 sq. ft., a minimum net clear operable width of 20", a minimum net clear operable height of 24", and have a maximum finish sill height of 43" from finish floor.
- All glass located within 18" of floor, 24" of a door or located within 60" of floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
- All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.
- Provide combustion air vents, with screen and back damper. For fireplaces, wood stoves and any appliance with an open flame.
- Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 cfm fan. Range hoods shall also be vented to outside.
- Attic hvac units shall be located within 20' of its service opening. Return air grilles shall not be located within 10 feet of a gas fired appliance.
- All walls and ceilings in garage and garage storage areas to have 5/8" type-X gyp. board w/ 1-hour fire rating. All ext. doors in garage to be metal or solid core doors including doors entering heat/cooled portion of residence.
- All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R-19) insulation between 2x4 joists.
- All interior walls shall be covered with 1/2" gypsum board, with metal corner reinforcing, tape float and sand. (3 coats) Use 5/8" gypsum board on ceilings when supporting members are 24" o.c. or greater. Use 1/2" gypsum board on ceiling members less than 24" o.c.
- All bath and toilet area walls and ceilings shall have water resistant gypsum boards.
- All plumbing walls (first and second floor) shall be 2x6.



Windows Schedule:

ID#	Size	Description	Quantity
A	3060	Picture Window	3
B	3070	Picture Window	1
C	3070	Picture Window	3
D	3070	Picture Window	4
E	3070	Picture Window	6
F	3060	Single Hung	1
G	5016	Picture Window	1
H	4040	Picture Window	1
I	2060	Picture Window	1
J	2030	Picture Window	2

Doors Schedule:

ID#	Size	Description	Quantity
1	3680	Special Front Entry as Selected	1
2	2880	Interior Solid Core (1 hour rated)	1
3	2880	Interior as Selected	3
4	2880	Interior as Selected	1
5	2880	Interior as Selected	1
6	2880	Interior as Selected	1
7	2080	Interior French Doors	2
8	2668	Interior as Selected	2
9	2468	Interior as Selected	2
10	2068	Interior Solid Core (1 hour rated)	1
11	2668	Interior Solid Core (1 hour rated)	1
12	12 x 6'8"	Exterior Sliding Glass Doors	1

Areas:

First Floor Living Area	2,034 sq. ft.
Second Floor Living Area	918 sq. ft.
Total Living Area	2,952 sq. ft.
Garage	546 sq. ft.
Front Porch	60 sq. ft.
Covered Patio	385 sq. ft.
Total Slab Area	3,056 sq. ft.
Total Under Roof	3,974 sq. ft.
Deck (uncovered)	501 sq. ft.

FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich

Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

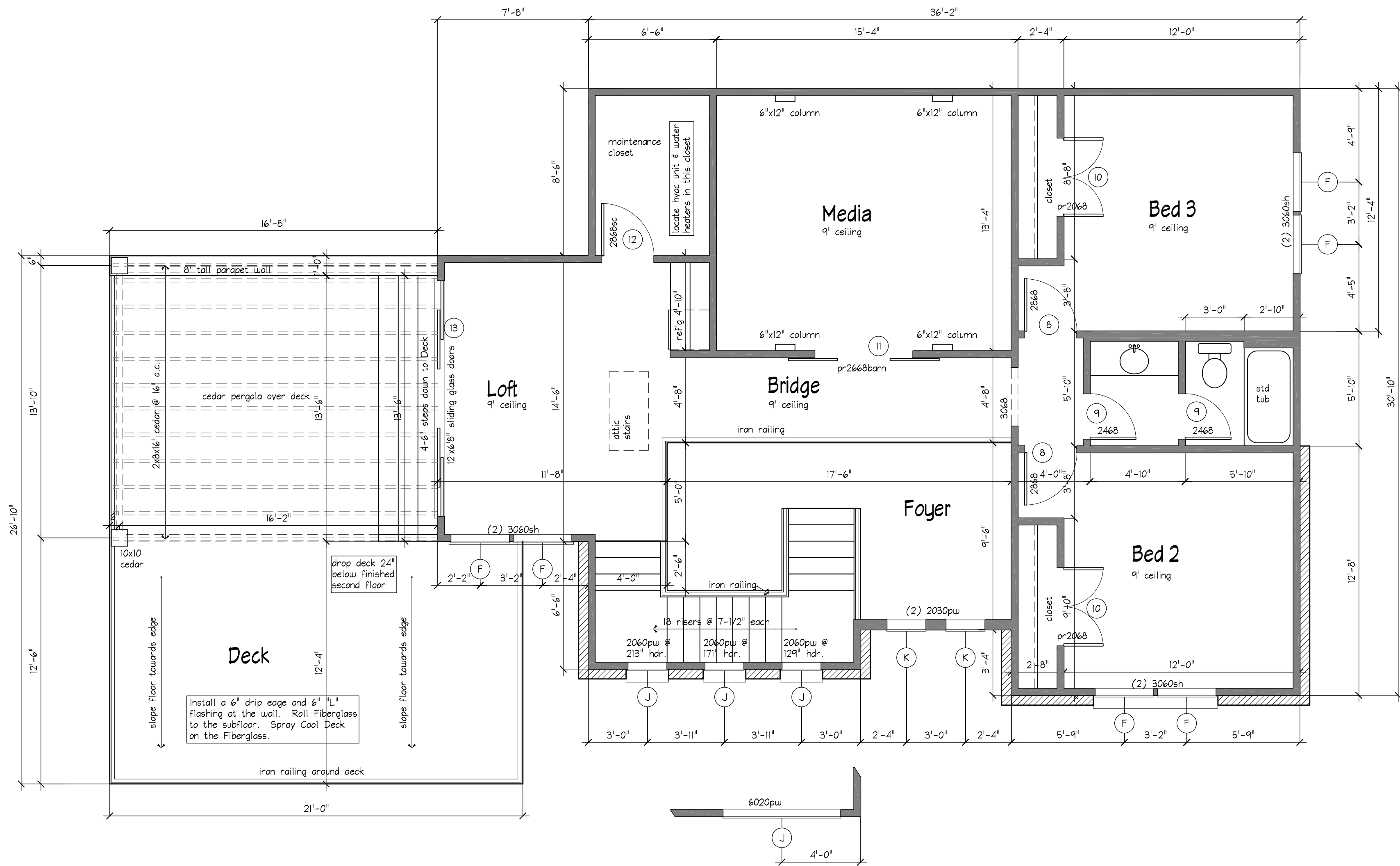
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Coastal Plains Estates
(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

Coastal Plains Estates
(618) 218-5339

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J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

REVISIONS:
8/3/2020
8/11/2020
9/2/2020

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.21-acre parcel of land being described as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A'
Location Map and Survey

Address: 102 Thistle Place

Legal Description: Lot 24, Block A, Chandler's Landing, Phase 7

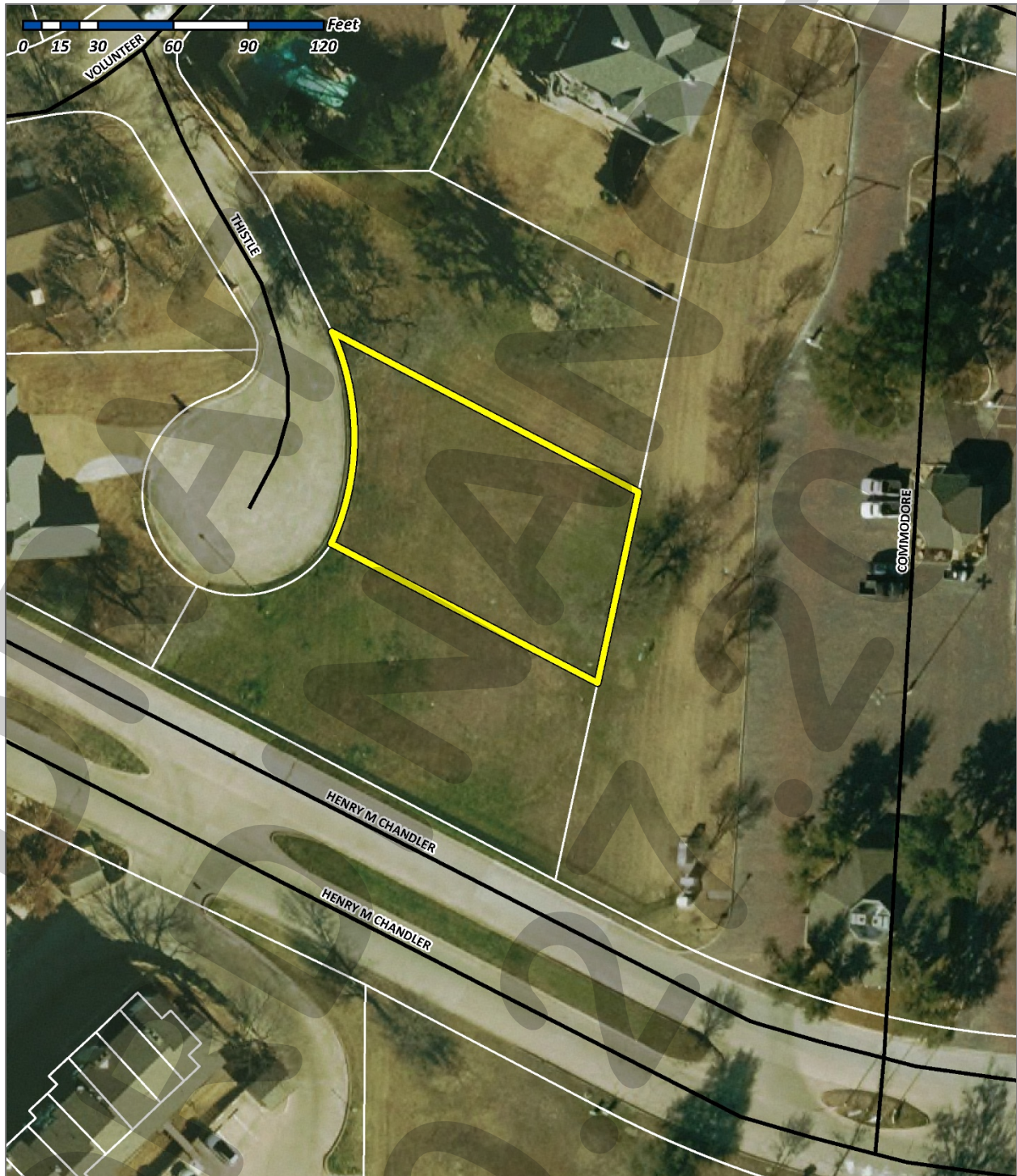
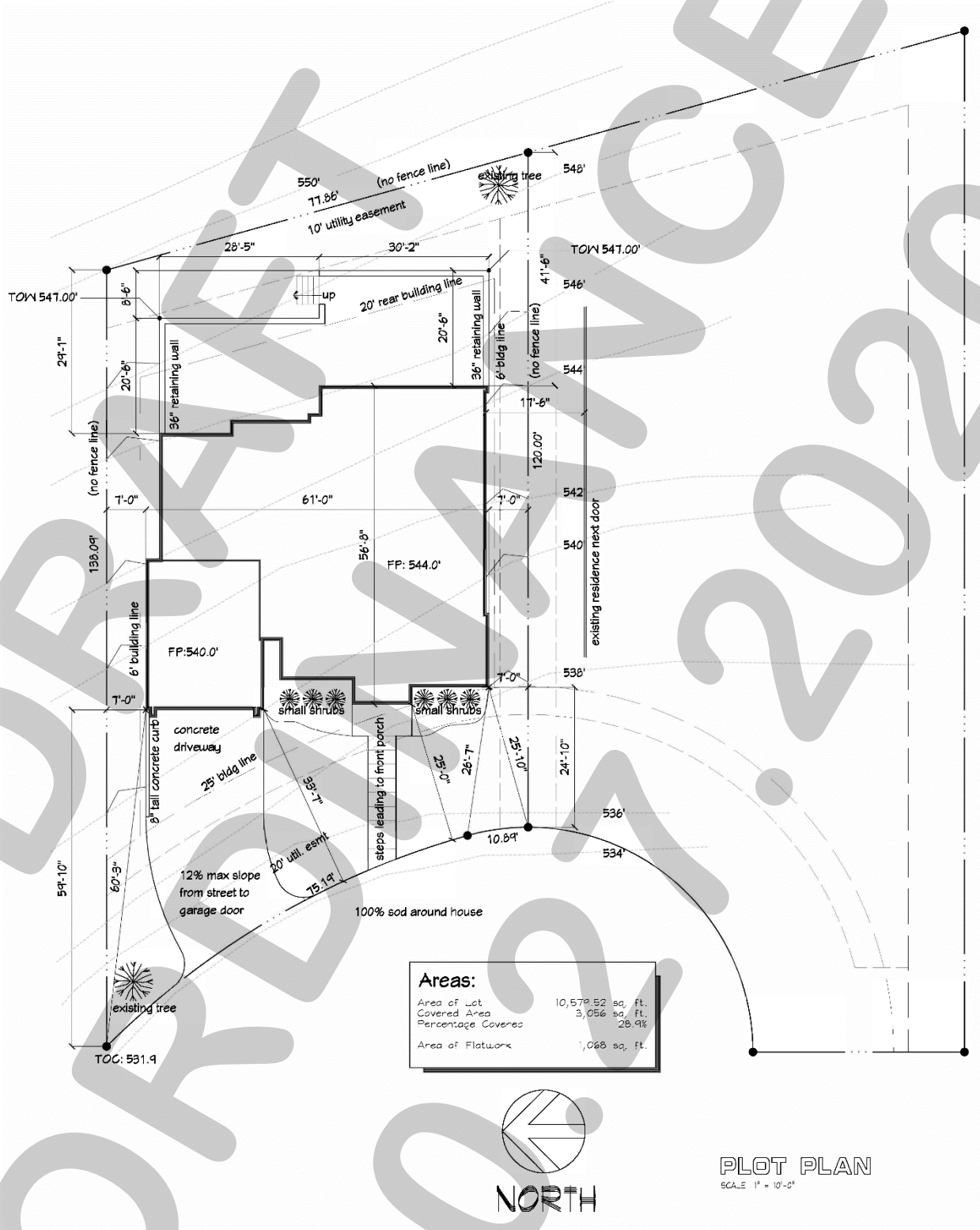
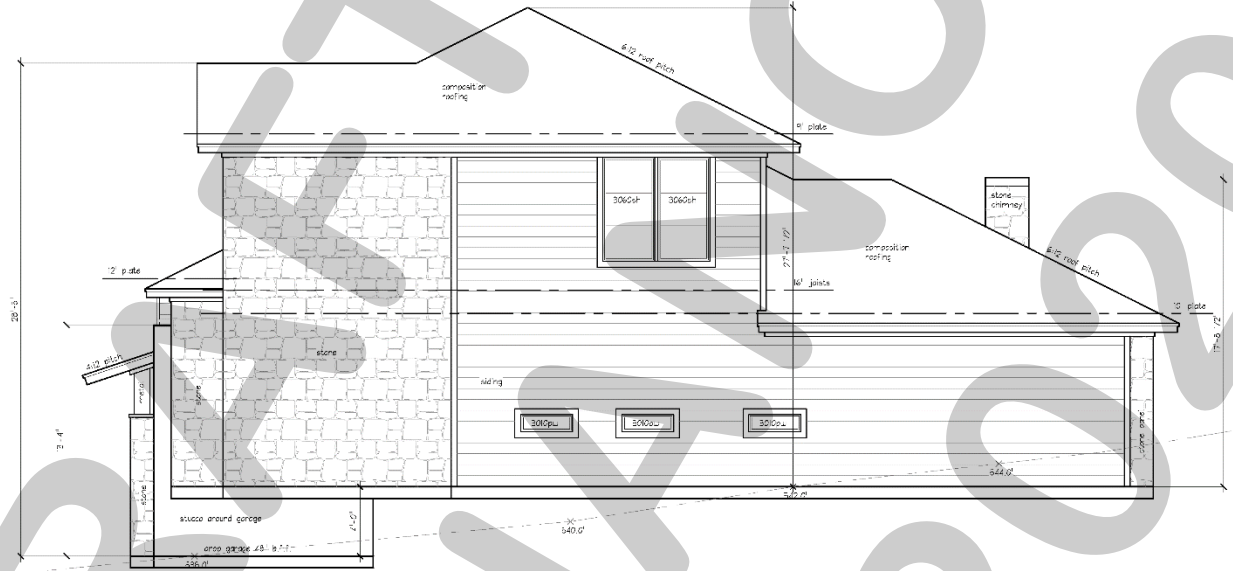


Exhibit 'B':
Residential Plot Plan

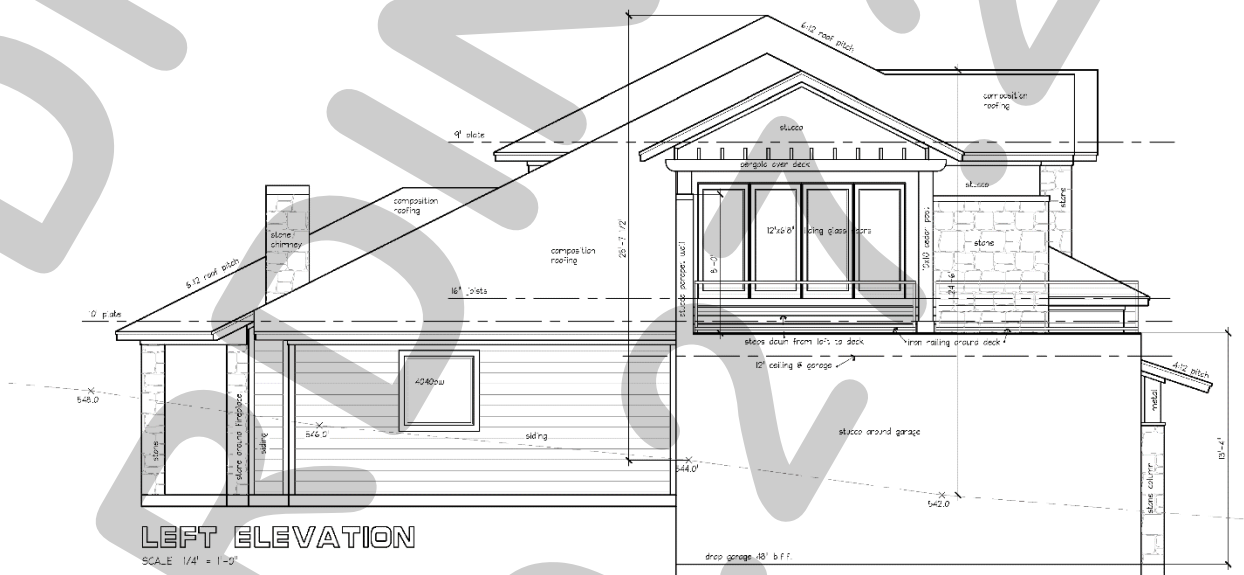


Architectural drawing of the rear elevation of a house. The drawing shows a two-story structure with a gabled roof. The left side features a large window with three panes (30'0" x 6'0", 30'0" x 6'0", 30'0" x 6'0") and a stone chimney. The right side has a smaller window with three panes (30'0" x 6'0", 30'0" x 6'0", 30'0" x 6'0") and a stone chimney. The roof is labeled with "composition roofing" and "6-12 roof pitch". The walls are labeled "siding" and "stone veneer". The drawing includes dimensions for the roof pitch, window sizes, and overall height. The title "REAR ELEVATION" is at the bottom, with a scale of 1/4" = 1'-0".

Exhibit 'C':
Building Elevations



RIGHT ELEVATION
S.C.A. E 1/4" = 1'-0"



LEFT ELEVATION
S.C.A. E 1/4" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 10, 2020

APPLICANT: Casey Cox

CASE NUMBER: Z2020-044; *Specific Use Permit (SUP) for a Residential Infill for 102 Thistle Place*

SUMMARY

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-43*. At the time of annexation, the property was zoned Agricultural (AG) District. On November 12, 1973, the subject property was rezoned from an Agricultural (AG) District to Planned Development District 8 (PD-8) for single-family land uses by *Ordinance No. 73-48*. The subject property was platted as Lot 4, Block A, as part of the Chandlers Landing Phase 7, Installment 2 final plat, which was approved by the City Council on June 7, 1976. On September 16, 2013, the City Council approved a replat [P2013-026] that combined the subject property and Lot 5, Block A to create one (1) residential lot (*i.e. Lot 23, Block A, Chandler's Landing, Phase 7, Installment 2*). On September 16, 2014, the City Council approved a replat subdividing Lot 23, Block A, Chandler's Landing, Phase 7, Installment 2 into two (2) residential lots (*i.e. Lots 24 & 25, Block A, Chandler's Landing Phase 7, Installment 2*). The subject property has remained vacant since its annexation into the City of Rockwall.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 102 Thistle Place. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.1928-acre vacant parcel of land (*i.e. Lot 3, Block A, Chandler's Landing, Phase 7, Installment 2*). Beyond this are two (2) single family homes (*i.e. 121 & 123 Yacht Club Drive*) zoned Planned Development District 8 (PD-8) for single-family land uses. North of this is Yacht Club Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a single-family home (*i.e. 104 Thistle Place*) zoned Planned Development District 8 (PD-8) for single-family land uses. Beyond this is Henry M. Chandler Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.53-acre tract of land indicated as the Spyglass Hill, Phase One Subdivision, which is zoned for multi-family land uses.

East: Directly east of the subject property are two (2) tracts of land (i.e. *Tract 134 & 134-16 of the E. Teal Survey, Abstract No. 207*) owned by the Chandler's Landing Homeowners Association (HOA), and which total 4.263-acres. These tracts serve as a plaza and open space for the Chandler's Landing Subdivision. Beyond this is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is Thistle Place, which is classified as a R2 (i.e. *residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) single-family homes (i.e. *103 Thistle Place & 6003 Volunteer Place*), which are zoned Planned Development District 8 (PD-8) for Single-Family land uses. West of this is Henry M. Chandler Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Chandler's Landing, Phase 7, Installment 2 Subdivision, which has been in existence June 7, 1976, consists of 34 lots, and is 91.18% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Thistle Place, Gretel Place, and Volunteer Place compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Thistle Place, Gretel Place, & Volunteer Place and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Thistle Place.
Year Built	1979-2012	N/A
Building SF on Property	1,586 SF – 4,949 SF	3,974 SF (2,952 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	25-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	X>7-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>20-Feet
Building Materials	Brick and Siding (Secondary)	Stone, Siding, and Stucco
Paint and Color	Red, White, Grey, Blonde, and Brown	Undefined by the Applicant
Roofs	Composite Shingles	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing, J-swing, and no garages.	The garage will be attached and located approximately one (1) foot in front of the front façade.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage one (1) foot in front of the front façade of the single-

family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that single-family home directly south of the subject property also has a garage in front of the front façade of the single-family home, and that this garage orientation is not uncharacteristic of the neighborhood. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) and Planned Development District 8 (PD-8). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Thistle Place, Gretel Place, and Volunteer Place and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 17, 2020, staff mailed 159 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Chandler's Landing, and Spyglass Phase 1, 2, & 3 Homeowner's Associations (HOAs), which are HOA's within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 102 Thistle Place

Subdivision Chandlers landing

Lot 24 Block A

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Single family

Current Use land

Proposed Zoning Single family

Proposed Use single family home

Acreage 0.21

Lots [Current] _____

Lots [Proposed] _____

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Coastal Plains estates

☒ Applicant same

Contact Person Casey Cox

Contact Person _____

Address 6400 sunset blvd

Address AS

City, State & Zip Rowlett TX, 75088

City, State & Zip _____

Phone 618-218-5339

Phone _____

E-Mail CoastalPlainsEst@gmail.com

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Casey M. Cox [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 2020.

Owner's Signature _____

Notary Public in and for the State of Texas

JERRELL KENT SHEPPARD
Notary ID #126327063
My Commission Expires
December 7, 2023

My Commission Expires _____



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

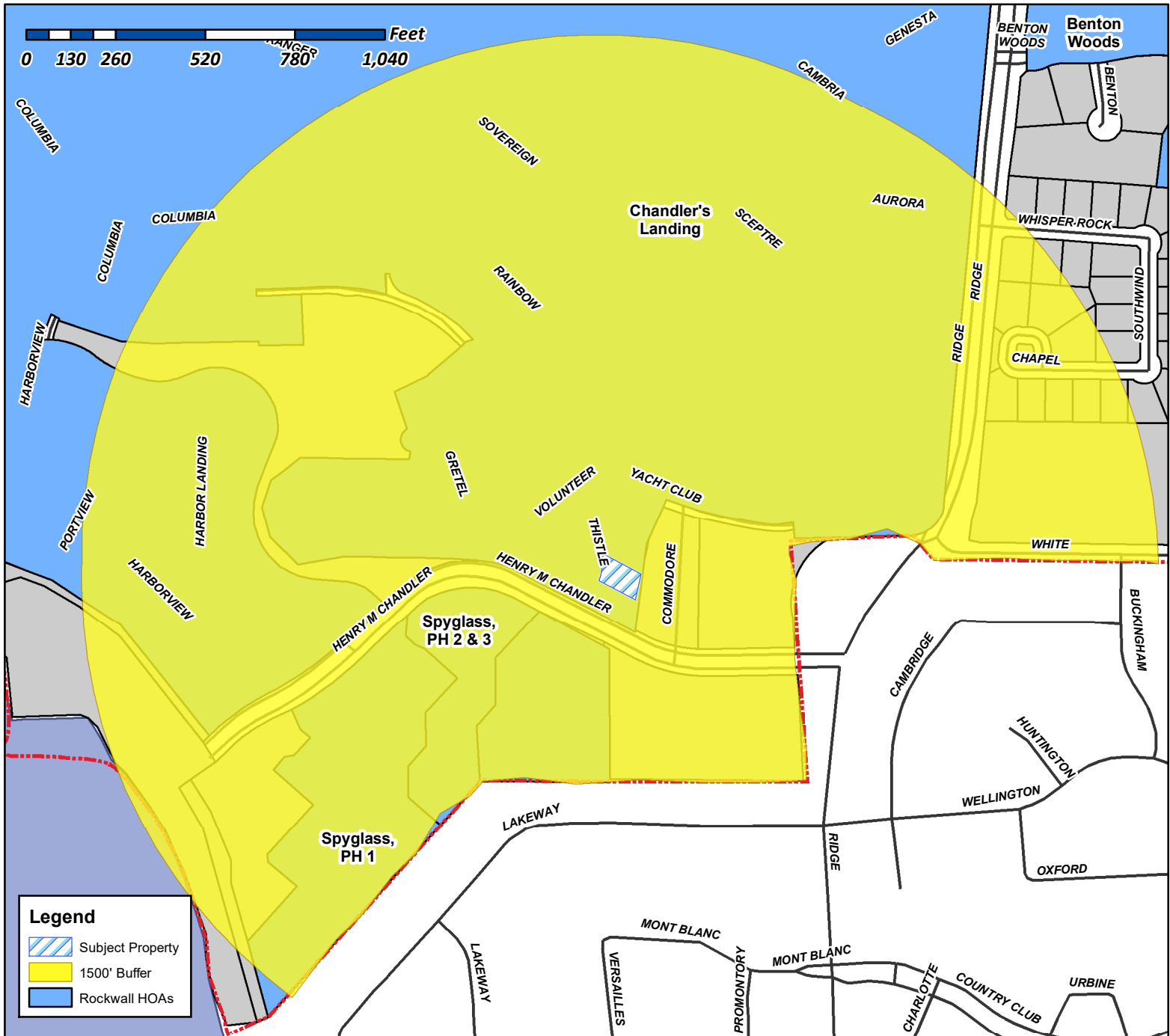




City of Rockwall

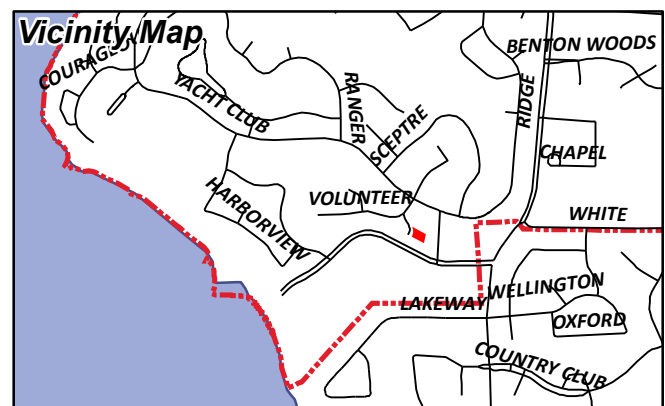
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Rockwall, Texas 75087
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-044.pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on Friday, October 23, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-044 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

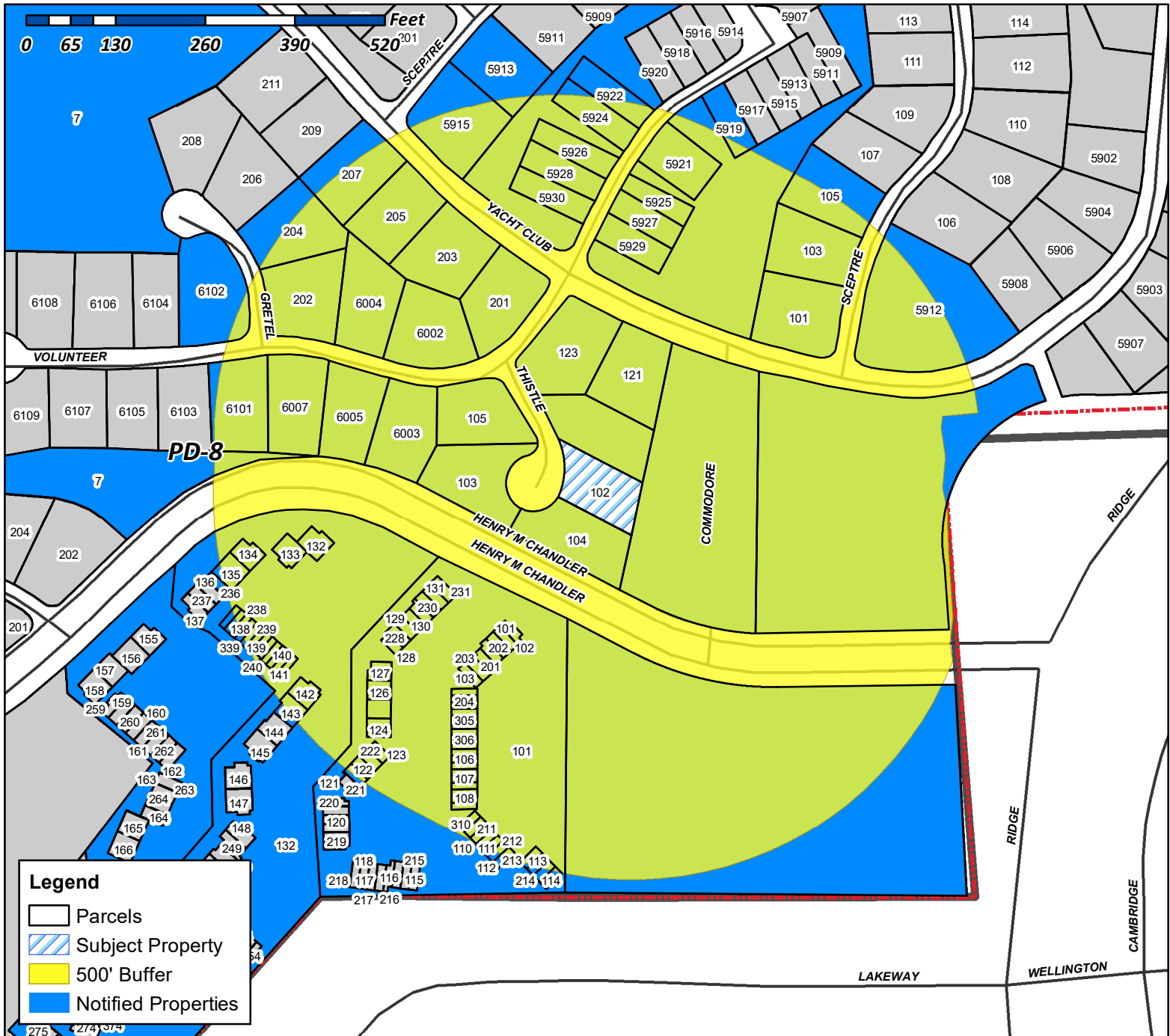
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City of Rockwall

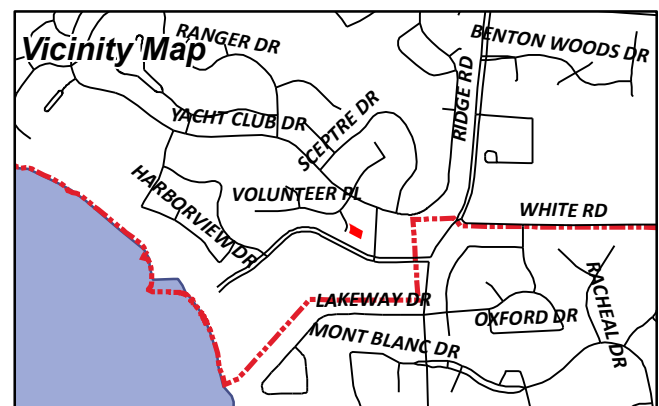
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

PRICE JASON ALAN
10041 W DUBLIN DR
FORNEY, TX 75126

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
102 HENRY M CHANDLERDR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
102 THISTLEPL
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

SHIVERS MARGARET ANN
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

FISHER TED Y
103 THISTLE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

SELZER DEANNA
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCPAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
107 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

PARNES ALEXANDRA
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE
GARLAND, TX 75043

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

ROMER ENTERPRISES LLC
111 HENRY M CHANDLERDR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
112 HENRY M CHANDLERDR
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

N & S PROPERTIES LLC
114 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RAGLE VICKIE
122 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
123 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

HPA US1 LLC
123 YACHT CLUBDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
124 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
125 HENRY M CHANDLERDR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
126 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
128 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
129 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
130 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
131 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
132 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WRIGHT RHONDA
133 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

CGN SPYGLASS LLC
135 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
138 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
139 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ENGEL MARIA
140 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
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ARLINGTON, TX 76012

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
142 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

CGN SPYGLASS LLC
143 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WEBSTER MARY ANN
14621 LAKECREST DR
ADDISON, TX 75001

PARNES ALEXANDRA
15 KESTREL CT
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
155 HENRY M CHANDLERDR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

COOK JEAN QUILL
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 YACHT CLUB DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETTEL PL
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETTEL PLACE
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

ALLEN FRANCIS C
204 SOVEREIGN CT
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

GARDNER DAVID L REV LIV TR
205 HENRY M CHANDLERDR
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HENZEN CARLA
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

E C LIVING LLC
208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
209 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TAYLOR MARY
210 HENRY M CHANDLER DR
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
212 HENRY M CHANDLER DR
ROCKWALL, TX 75032

E C LIVING LLC
213 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DAVIS NITA
214 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FLORES EMILY RODELA
221 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

E C LIVING LLC
222 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J
228 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TULK SHARON K
229 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
230 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
231 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
2311 NORWICH DR
CARROLLTON, TX 75006

ARMSTRONG D
236 HENRY M CHANDLERDR
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
238 HENRY M CHANDLERDR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
239 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
240 HENRY M CHANDLERDR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
2521 BOUNTIFUL COURT
HEATH, TX 75126

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

NICKSON SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

KEITH BENJAMIN AND
SHERYL KEITH
3011 BAYSIDE
ROCKWALL, TX 75087

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
304 HENRY M CHANDLERDR
ROCKWALL, TX 75032

DOMINGUE JON
305 HENRY M CHANDLER DR UNIT 305
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER MARY ANN
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VIERLING DENNIS & LISA
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

WEBSTER MARY ANN
341 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
3810 COVE RD
ROWLETT, TX 75088

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
4048 ROBIN ST
BAY ST LOUIS, MS 39520

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
427 PRIVATE ROAD 2939
PITTSBURG, TX 75686

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

CASTER JAMES E JR AND MILINDA J
512 PRIVATE RD 52444
LEESBURG, TX 75451

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

RABAH MUSTAFA-HASAN AND MILAN
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D & JUDY K
5913 SCEPTRE DR
ROCKWALL, TX 75032

HUNT ROBERT W & MARY E
5915 SCEPTRE DR
ROCKWALL, TX 75032

PRICE JASON ALAN
5919 VOLUNTEER PL
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
5921 VOLUNTEER PL
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

HEFFERNAN MARILYN
5924 VOLUNTEER PL
ROCKWALL, TX 75032

SRP SUB, LLC
5925 VOLUNTEER PL
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
5926 VOLUNTEERPL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

ALLEN FRANCIS C
5928 VOLUNTEERPL
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MACALIK OTTO JEFFREY
6102 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

HAYS DANNY W & JOAN
639 STAFFORD CIR
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

E C LIVING LLC
7926 ENCLAVE WAY
DALLAS, TX 75218

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SRP SUB, LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

ESTRERA AARON S ETUX
9011 CLEARHURST DR
DALLAS, TX 75238

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
963 W YELLOWJACKET LN APT 302
ROCKWALL, TX 75087

ENGEL MARIA
994 GREEN RIVER RD
WAYNESBORO, TN 38485

VIERLING DENNIS & LISA
PO BOX 1506
ROCKWALL, TX 75087

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-044: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-044: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

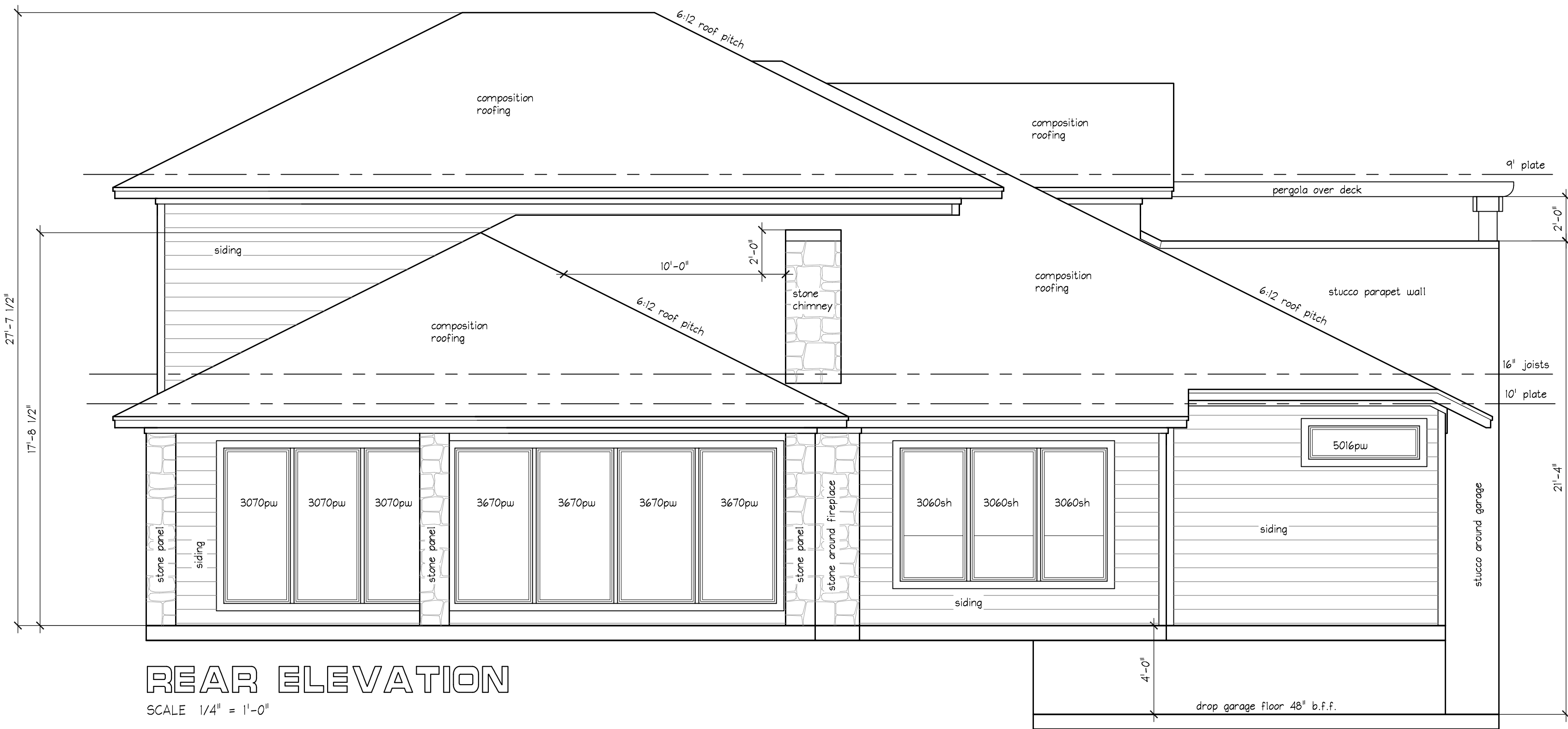
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

Coastal Plains Estates
(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

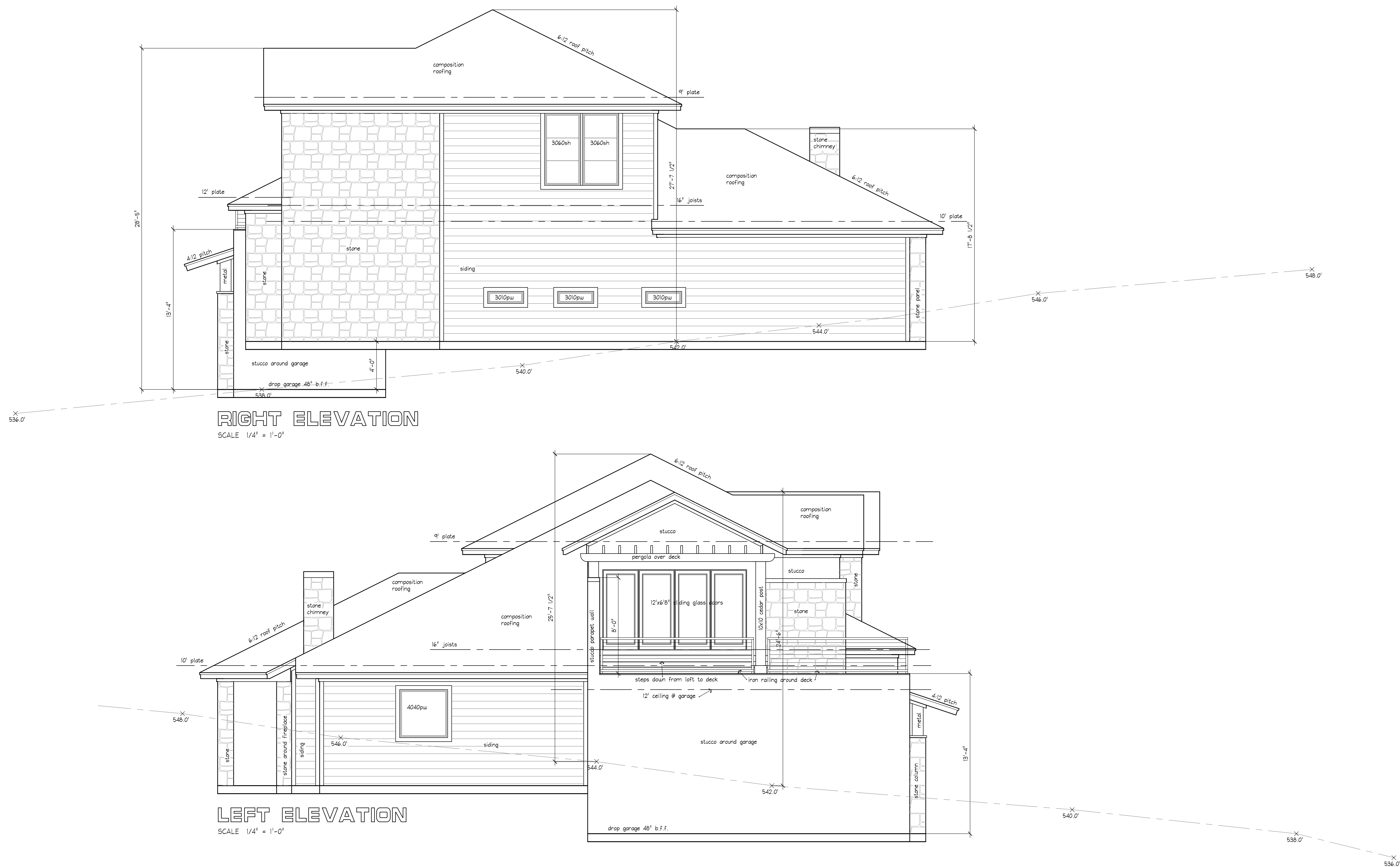
(c) copyright 2020 J. Karlovich Home Design
SHEET NO.

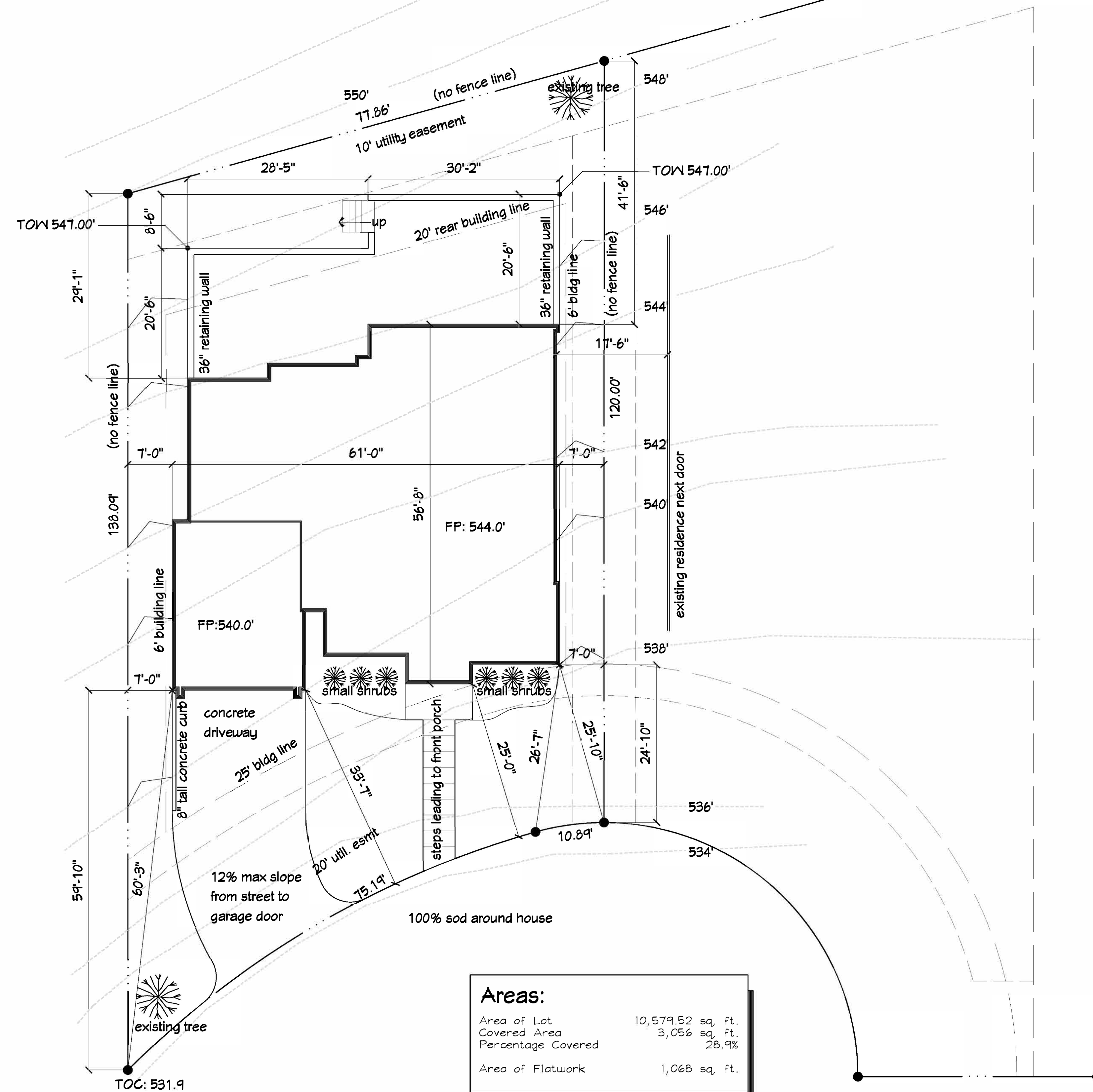
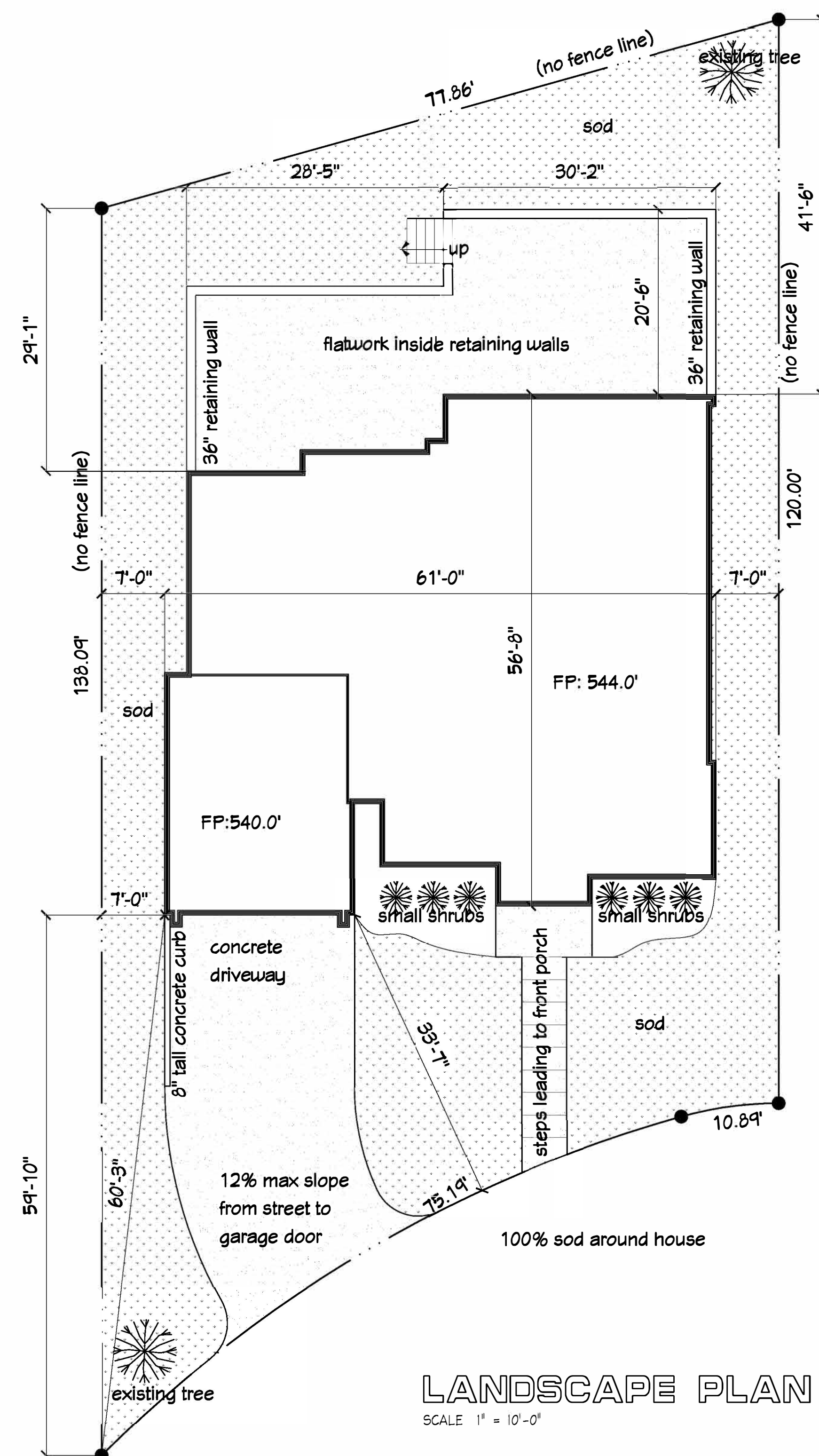
06

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, Inc., is not an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been followed. The undersigned hereby certifies that the responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address. ONLY.

Coastal Plains Estates
(618) 218-5339

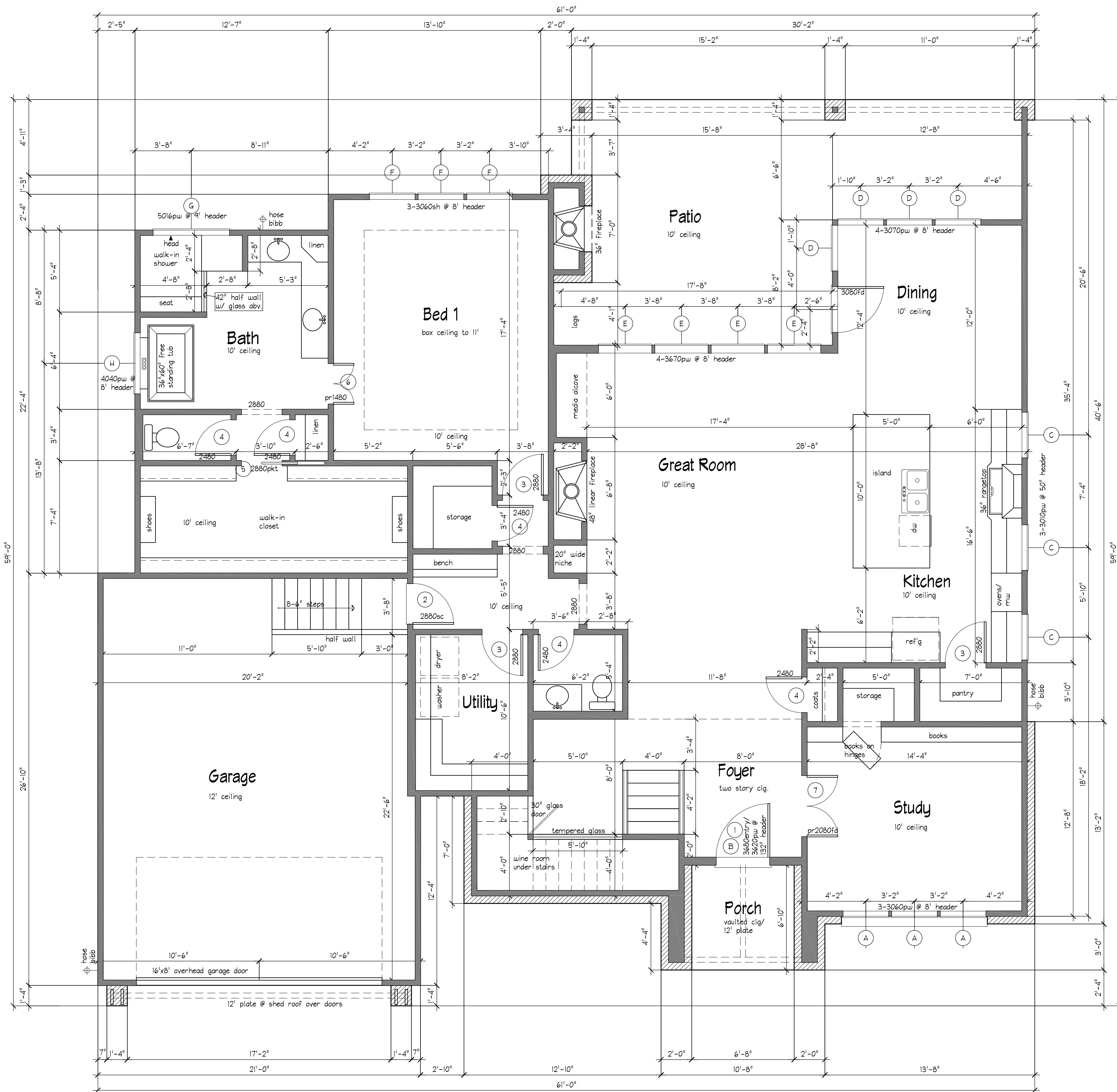
A Custom House for :
Spec House
 102 Thistle Place
 Lot 24, Block A
 Chancellors Landing #7
 City of Rockwall, Texas





1. All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.

1. All dimensions are from face of stud to face of stud unless otherwise noted.
2. Window sizes indicated on plans are noted by approximate rough openings size. Refer to plans and exterior elevations for window types.
3. Coordinate location of utility meters with site plan and locate away from public view. Visual impact shall be minimized, i.e. mount as low as possible.
4. Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall fire height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed.
5. Contractor shall coordinate all closet shelving requirements.
6. Do not scale drawings, follow dimensions only.
7. Contractor shall field verify all cabinet dimensions before fabrication.
8. Bedroom windows shall have a minimum net clear opening of 5.7 sq. ft., a minimum net clear openable width of 20", a minimum net clear openable height of 24", and have a maximum finish sill height of 43" from finish floor.
9. All glass located within 18" of floor, 24" of a door or located within 60" of floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
10. All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.
11. Provide combustion air vents, with screen and backdraft damper. For fireplaces, wood stoves and any appliance with an open flame.
12. Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 cfm fan. Range hoods shall also be vented to outside.
13. Attic hvac units shall be located within 20' of its service opening. Return air grilles shall not be located within 10 feet of a gas fired appliance.
14. All walls and ceilings in garage and garage storage area shall have 5/8" type-X gyp board w/ 1-hour fire rating. All ext. doors in garage to be metal or solid core doors including doors entering heat/cooled portion of residence.
15. All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R-19) insulation between 2x4 joists.
16. All interior walls shall be covered with 1/2" gypsum board, with metal corner reinforcing, ceiling flat, and doors (3 core). Use 5/8" gypsum board on ceilings when supporting members are 24" o.c. or greater. Use 1/2" gypsum board on ceiling members less than 24" o.c.
17. All bath and toilet area walls and ceilings shall have water resistant gypsum boards.
18. All plumbing walls (first and second floor) shall be 2x6.



Areas:

First Floor Living Area	2,034 sq. ft.
Second Floor Living Area	2,918 sq. ft.
Total Living Area	4,952 sq. ft.
Garage	546 sq. ft.
Front Porch	60 sq. ft.
Covered Patio	385 sq. ft.
Total Slab Area	3,056 sq. ft.
Total Under Roof	3,974 sq. ft.
Deck (uncovered)	501 sq. ft.

Doors Schedule:

ID#	Size	Description
1	3x6/8	Special Front Entry as Selected
2	2x8/0	Interior Solid Core (1 hour rated)
3	2x8/0	Interior as Selected
4	2x8/0	Interior as Selected
5	2x8/0	Interior Pocket as Selected
6	2x8/0 4/8/0	Interior Pocket as Selected
7	Pair 2x8/0	Interior Prehung Doors
8	2x6/6	Interior as Selected
9	2x4/6	Interior as Selected
10	Pair 2x6/6	Interior Barn as Selected
11	Pair 2x6/6	Interior Solid Core (1 hour rated)
12	2x6/6	Exterior Solid Core (1 hour rated)
13	12x6/6	Exterior Sliding Glass Doors

Windows Schedule:

ID#	Size	Description	Quantity
A	3060	Picture Window	3
B	3620	Picture Window	1
C	3070	Picture Window	3
D	3070	Picture Window	4
E	3670	Picture Window	4
F	5060	Single Hung	9
G	5010	Picture Window	1
H	4040	Picture Window	1
I	2060	Picture Window	4
J	2030	Picture Window	2

FIRST FLOOR PLAN

SCALE $1/4" = 1'-0"$

A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

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SHEET NO.

02

Coastal Plains Estates

(618) 218-5339

REVISIONS

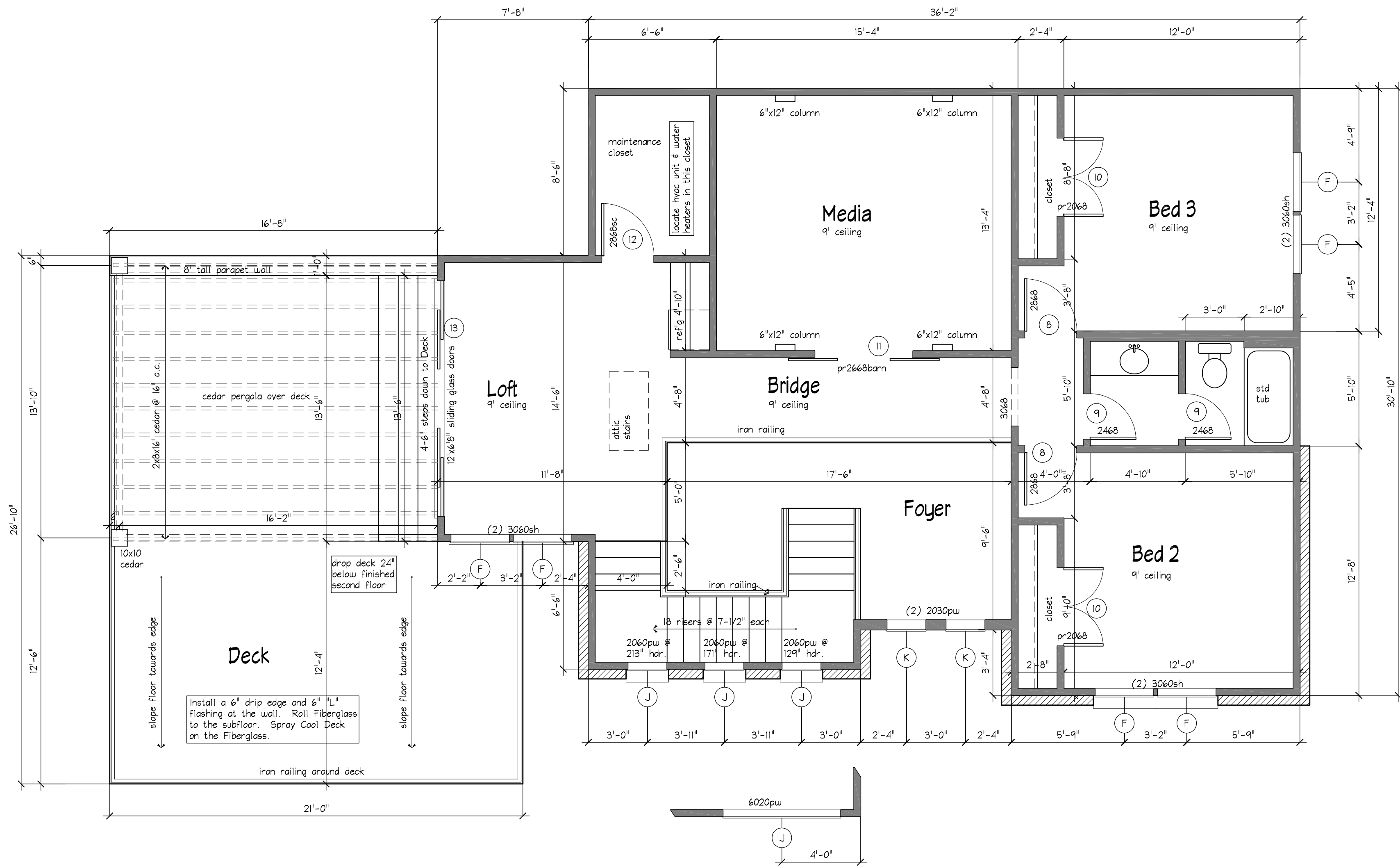
8/3/2020

8/11/2020

9/2/2020

J. Karlovich — *Home Design* —

(214) 674-0290 : Phone
ikarlovichhomedesign.com



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

Coastal Plains Estates
(618) 218-5339

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
102 Thistle Place	<i>RCAD Indicates Vacant</i>		<i>Subject Property</i>		N/A
103 Thistle Place	<i>Single-Family Home</i>	1994	2,356	N/A	Brick
104 Thistle Place	<i>Single-Family Home</i>	2018	4,949	N/A	Brick
105 Thistle Place	<i>Single-Family Home</i>	1984	2,567	N/A	Brick
202 Gretel Place	<i>Single-Family Home</i>	1986	3,014	N/A	Brick
204 Gretel Place	<i>Single-Family Home</i>	1988	2,686	N/A	Brick
206 Gretel Place	<i>Single-Family Home</i>	1988	3,920	N/A	Brick
208 Gretel Place	<i>Single-Family Home</i>	1989	3,163	N/A	Brick
6002 Volunteer Place	<i>Single-Family Home</i>	1982	3,233	N/A	Brick
6003 Volunteer Place	<i>Single-Family Home</i>	1979	2,498	N/A	Brick
6004 Volunteer Place	<i>Single-Family Home</i>	1995	2,171	N/A	Brick
6005 Volunteer Place	<i>Single-Family Home</i>	1987	2,422	N/A	Brick
6007 Volunteer Place	<i>Single-Family Home</i>	1989	2,684	N/A	Brick
6101 Volunteer Place	<i>Single-Family Home</i>	1985	2,488	N/A	Brick
6102 Volunteer Place	<i>Single-Family Home</i>	1983	2,719	N/A	Brick
6103 Volunteer Place	<i>Single-Family Home</i>	1988	1,586	N/A	Brick
6105 Volunteer Place	<i>Single-Family Home</i>	1994	1,931	N/A	Brick
6106 Volunteer Place	<i>Single-Family Home</i>	2012	3,605	N/A	Brick
6108 Volunteer Place	<i>Single-Family Home</i>	1982	2,696	N/A	Brick
6109 Volunteer Place	<i>Single-Family Home</i>	1985	2,779	N/A	Brick
6110 Volunteer Place	<i>Single-Family Home</i>	1982	3,113	N/A	Brick
6111 Volunteer Place	<i>Single-Family Home</i>	1986	3,322	N/A	Brick
6112 Volunteer Place	<i>Single-Family Home</i>	2002	3,141	N/A	Brick
Averages:		1990	2,866		



102 Thistle Place



103 Thistle Place



104 Thistle Place



105 Thistle Place



202 Gretel Place



204 Gretel Place



206 Gretel Place



208 Gretel Place



6002 Volunteer Place



6003 Volunteer Place



6004 Volunteer Place



6005 Volunteer Place



6007 Volunteer Place



6101 Volunteer Place



6102 Volunteer Place



6103 Volunteer Place



6105 Volunteer Place



6106 Volunteer Place



6108 Volunteer Place



6109 Volunteer Place



6110 Volunteer Place



6111 Volunteer Place



6112 Volunteer Place

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.21-acre parcel of land being described as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A'
Location Map and Survey

Address: 102 Thistle Place

Legal Description: Lot 24, Block A, Chandler's Landing, Phase 7

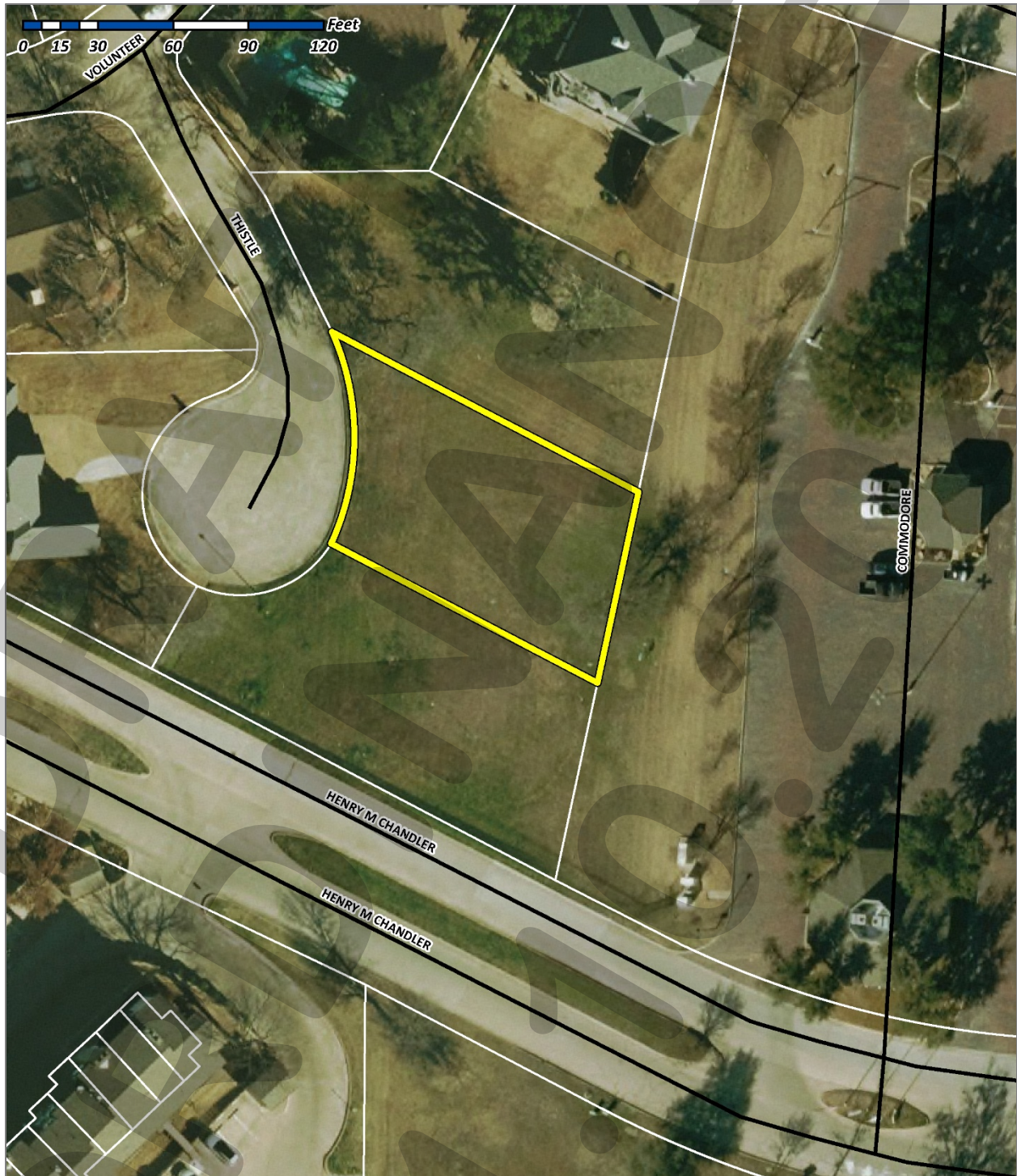
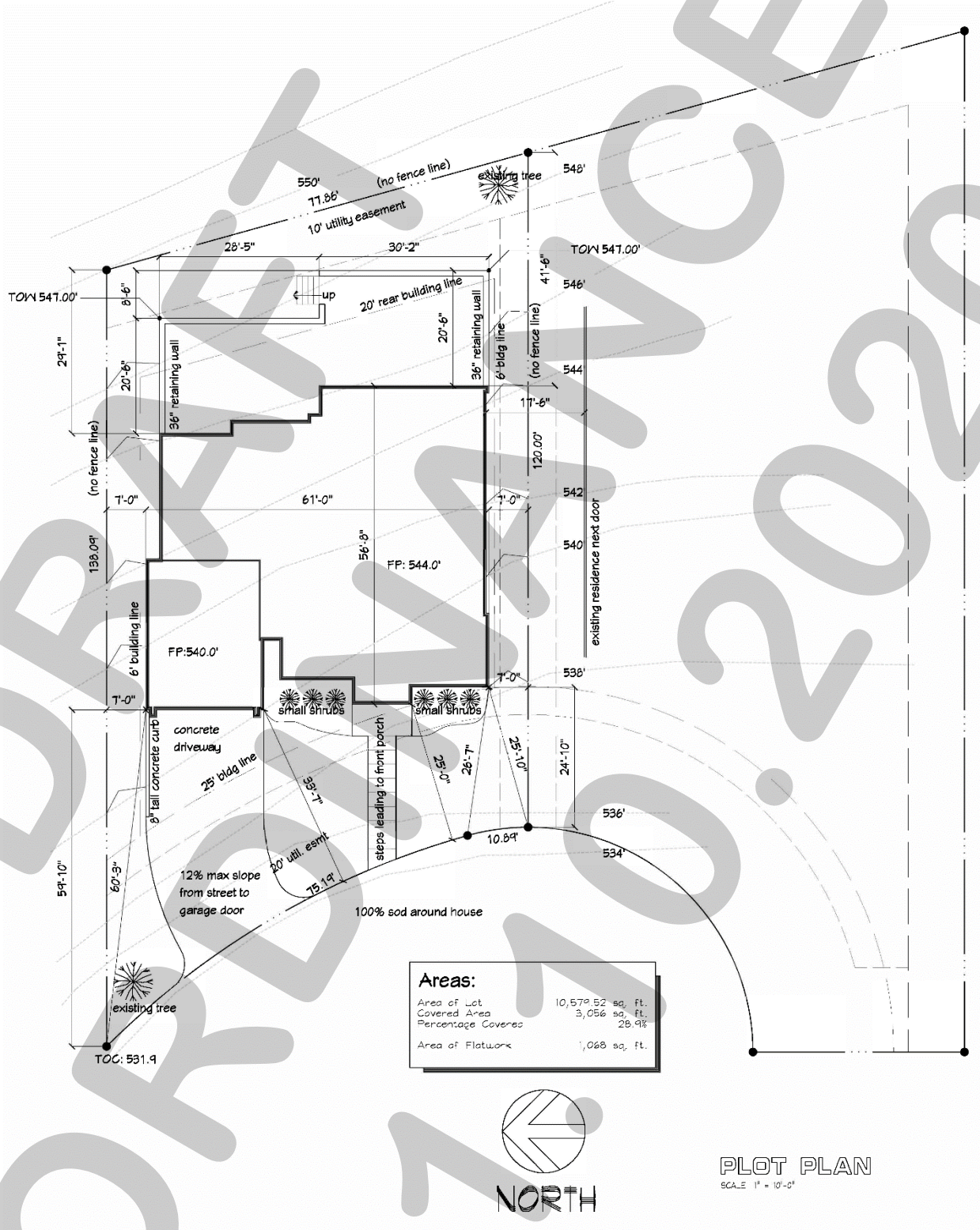


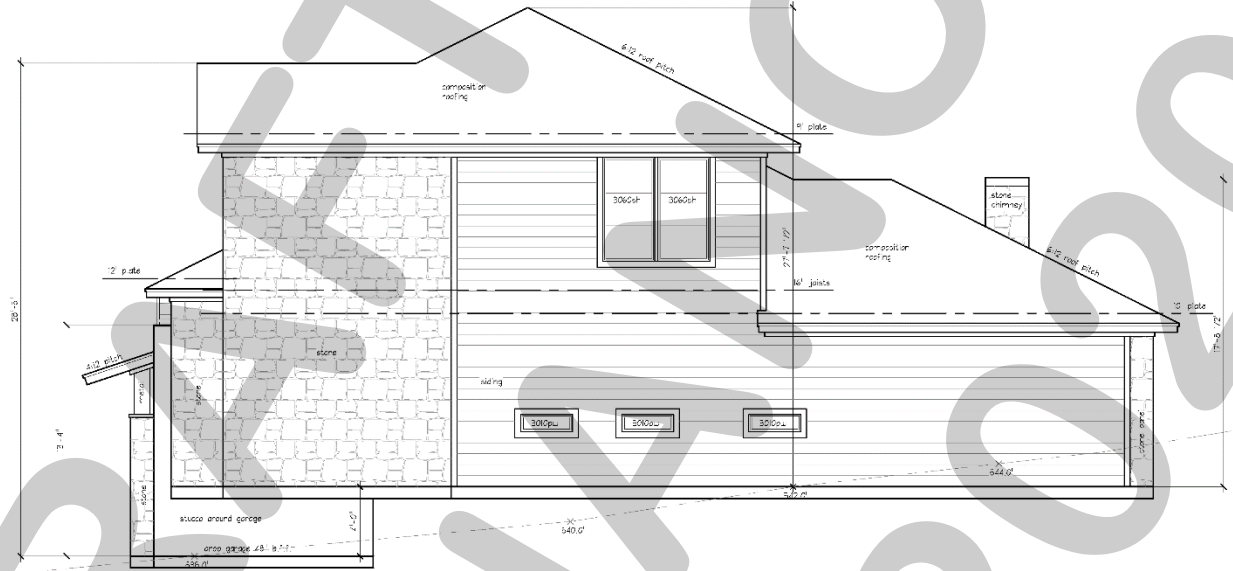
Exhibit 'B':
Residential Plot Plan



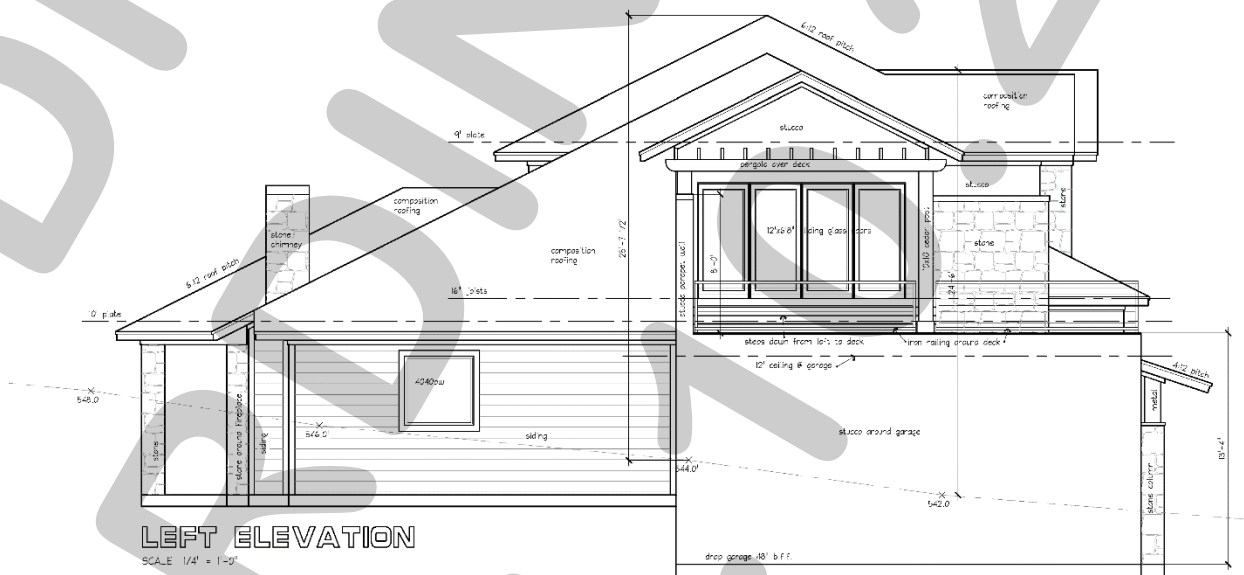
Architectural drawing of the rear elevation of a house. The drawing shows a two-story structure with a gabled roof. The roof has a 6:12 pitch on the main section and a 12:12 pitch on the smaller section to the right. The main section features a large window with a stone chimney on the right side. The smaller section has a stone chimney on the left side. The drawing includes various labels for materials and features, such as 'composition roofing', 'stone chimney', 'stone veneer', 'siding', 'copper over deck', 'stone parapet wall', and 'stone veneer garage'. Dimensions are provided for the roof pitch, window height, and overall height. A scale bar at the bottom indicates 1/4" = 1'-0".

City of Rockwall, Texas

Exhibit 'C':
Building Elevations



RIGHT ELEVATION
S.C.A. E 1/4" = 1'-0"



LEFT ELEVATION
S.C.A. E 1/4" = 1'-0"



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 16, 2020
APPLICANT: Casey Cox
CASE NUMBER: Z2020-044; *Specific Use Permit (SUP) for a Residential Infill for 102 Thistle Place*

SUMMARY

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-43*. At the time of annexation, the property was zoned Agricultural (AG) District. On November 12, 1973, the subject property was rezoned from an Agricultural (AG) District to Planned Development District 8 (PD-8) for single-family land uses by *Ordinance No. 73-48*. The subject property was platted as Lot 4, Block A, as part of the Chandlers Landing Phase 7, Installment 2 final plat, which was approved by the City Council on June 7, 1976. On September 16, 2013, the City Council approved a replat [P2013-026] that combined the subject property and Lot 5, Block A to create one (1) residential lot (*i.e. Lot 23, Block A, Chandler's Landing, Phase 7, Installment 2*). On September 16, 2014, the City Council approved a replat subdividing Lot 23, Block A, Chandler's Landing, Phase 7, Installment 2 into two (2) residential lots (*i.e. Lots 24 & 25, Block A, Chandler's Landing Phase 7, Installment 2*). The subject property has remained vacant since its annexation into the City of Rockwall.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 102 Thistle Place. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.1928-acre vacant parcel of land (*i.e. Lot 3, Block A, Chandler's Landing, Phase 7, Installment 2*). Beyond this are two (2) single family homes (*i.e. 121 & 123 Yacht Club Drive*) zoned Planned Development District 8 (PD-8) for single-family land uses. North of this is Yacht Club Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a single-family home (*i.e. 104 Thistle Place*) zoned Planned Development District 8 (PD-8) for single-family land uses. Beyond this is Henry M. Chandler Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.53-acre tract of land indicated as the Spyglass Hill, Phase One Subdivision, which is zoned for multi-family land uses.

East: Directly east of the subject property are two (2) tracts of land (i.e. *Tract 134 & 134-16 of the E. Teal Survey, Abstract No. 207*) owned by the Chandler's Landing Homeowners Association (HOA), and which total 4.263-acres. These tracts serve as a plaza and open space for the Chandler's Landing Subdivision. Beyond this is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is Thistle Place, which is classified as a R2 (i.e. *residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) single-family homes (i.e. *103 Thistle Place & 6003 Volunteer Place*), which are zoned Planned Development District 8 (PD-8) for Single-Family land uses. West of this is Henry M. Chandler Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Chandler's Landing, Phase 7, Installment 2 Subdivision, which has been in existence June 7, 1976, consists of 34 lots, and is 91.18% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Thistle Place, Gretel Place, and Volunteer Place compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Thistle Place, Gretel Place, & Volunteer Place and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Thistle Place.
Year Built	1979-2012	N/A
Building SF on Property	1,586 SF – 4,949 SF	3,974 SF (2,952 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	25-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	X>7-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>20-Feet
Building Materials	Brick and Siding (Secondary)	Stone, Siding, and Stucco
Paint and Color	Red, White, Grey, Blonde, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing, J-swing, and no garages.	The garage will be attached and located approximately one (1) foot in front of the front façade.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage one (1) foot in front of the front façade of the single-family home,

and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that single-family home directly south of the subject property also has a garage in front of the front façade of the single-family home, and that this garage orientation is not uncharacteristic of the neighborhood. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) and Planned Development District 8 (PD-8). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Thistle Place, Gretel Place, and Volunteer Place and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 17, 2020, staff mailed 159 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Chandler's Landing, and Spyglass Phase 1, 2, & 3 Homeowner's Associations (HOAs), which are HOA's within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 10, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 102 Thistle Place

Subdivision Chandlers landing

Lot 24 Block A

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Single family

Current Use land

Proposed Zoning Single family

Proposed Use single family home

Acreage 0.21

Lots [Current] _____

Lots [Proposed] _____

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Coastal Plains estates

☒ Applicant same

Contact Person Casey Cox

Contact Person _____

Address 6400 sunset blvd

Address AS

City, State & Zip Rowlett TX, 75088

City, State & Zip _____

Phone 618-218-5339

Phone _____

E-Mail coastalplainsrest@gmail.com

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Casey M. Cox [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 2020.

Owner's Signature _____

Notary Public in and for the State of Texas

JERRELL KENT SHEPPARD
Notary ID #126327063
My Commission Expires
December 7, 2023

My Commission Expires _____



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-044.pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on Friday, October 23, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-044 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

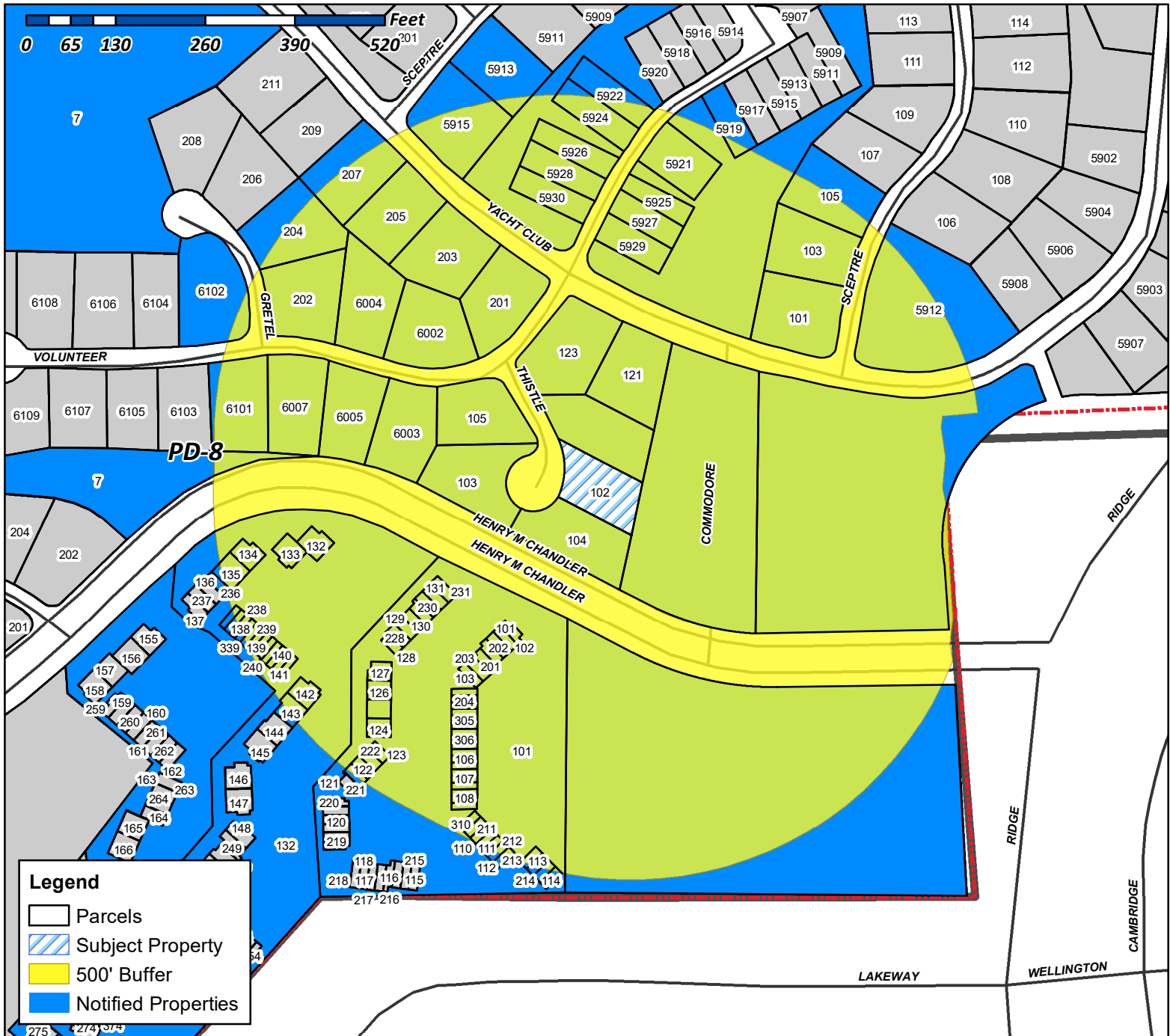
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City of Rockwall

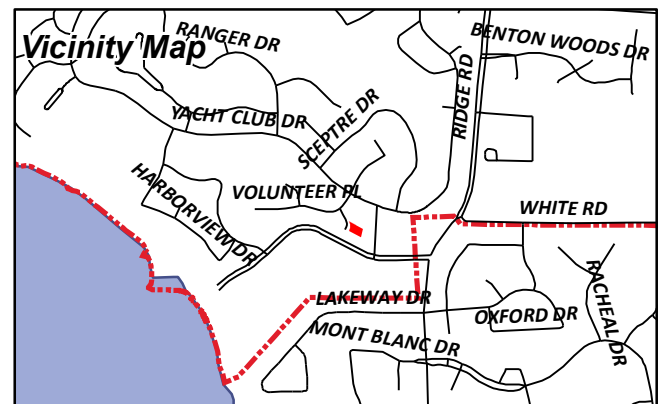
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

PRICE JASON ALAN
10041 W DUBLIN DR
FORNEY, TX 75126

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
102 HENRY M CHANDLERDR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
102 THISTLEPL
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

SHIVERS MARGARET ANN
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

FISHER TED Y
103 THISTLE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

SELZER DEANNA
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCMAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
107 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

PARNES ALEXANDRA
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE
GARLAND, TX 75043

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

ROMER ENTERPRISES LLC
111 HENRY M CHANDLERDR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
112 HENRY M CHANDLERDR
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

N & S PROPERTIES LLC
114 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RAGLE VICKIE
122 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
123 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

HPA US1 LLC
123 YACHT CLUBDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
124 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
125 HENRY M CHANDLERDR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
126 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
128 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
129 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
130 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
131 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
132 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WRIGHT RHONDA
133 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

CGN SPYGLASS LLC
135 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
138 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
139 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ENGEL MARIA
140 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
1403 BIRMINGHAM DR
ARLINGTON, TX 76012

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
142 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

CGN SPYGLASS LLC
143 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WEBSTER MARY ANN
14621 LAKECREST DR
ADDISON, TX 75001

PARNES ALEXANDRA
15 KESTREL CT
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
155 HENRY M CHANDLERDR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

COOK JEAN QUILL
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 YACHT CLUB DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETTEL PL
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETTEL PLACE
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

ALLEN FRANCIS C
204 SOVEREIGN CT
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

GARDNER DAVID L REV LIV TR
205 HENRY M CHANDLERDR
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HENZEN CARLA
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

E C LIVING LLC
208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
209 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TAYLOR MARY
210 HENRY M CHANDLER DR
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
212 HENRY M CHANDLER DR
ROCKWALL, TX 75032

E C LIVING LLC
213 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DAVIS NITA
214 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FLORES EMILY RODELA
221 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

E C LIVING LLC
222 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J
228 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TULK SHARON K
229 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
230 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
231 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
2311 NORWICH DR
CARROLLTON, TX 75006

ARMSTRONG D
236 HENRY M CHANDLERDR
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
238 HENRY M CHANDLERDR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
239 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
240 HENRY M CHANDLERDR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
2521 BOUNTIFUL COURT
HEATH, TX 75126

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

NICKSON SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

KEITH BENJAMIN AND
SHERYL KEITH
3011 BAYSIDE
ROCKWALL, TX 75087

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
304 HENRY M CHANDLERDR
ROCKWALL, TX 75032

DOMINGUE JON
305 HENRY M CHANDLER DR UNIT 305
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER MARY ANN
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VIERLING DENNIS & LISA
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

WEBSTER MARY ANN
341 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
3810 COVE RD
ROWLETT, TX 75088

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
4048 ROBIN ST
BAY ST LOUIS, MS 39520

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
427 PRIVATE ROAD 2939
PITTSBURG, TX 75686

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

CASTER JAMES E JR AND MILINDA J
512 PRIVATE RD 52444
LEESBURG, TX 75451

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

RABAH MUSTAFA-HASAN AND MILAN
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D & JUDY K
5913 SCEPTRE DR
ROCKWALL, TX 75032

HUNT ROBERT W & MARY E
5915 SCEPTRE DR
ROCKWALL, TX 75032

PRICE JASON ALAN
5919 VOLUNTEER PL
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
5921 VOLUNTEER PL
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

HEFFERNAN MARILYN
5924 VOLUNTEER PL
ROCKWALL, TX 75032

SRP SUB, LLC
5925 VOLUNTEER PL
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
5926 VOLUNTEERPL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

ALLEN FRANCIS C
5928 VOLUNTEERPL
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MACALIK OTTO JEFFREY
6102 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

HAYS DANNY W & JOAN
639 STAFFORD CIR
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

E C LIVING LLC
7926 ENCLAVE WAY
DALLAS, TX 75218

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SRP SUB, LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

ESTRERA AARON S ETUX
9011 CLEARHURST DR
DALLAS, TX 75238

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
963 W YELLOWJACKET LN APT 302
ROCKWALL, TX 75087

ENGEL MARIA
994 GREEN RIVER RD
WAYNESBORO, TN 38485

VIERLING DENNIS & LISA
PO BOX 1506
ROCKWALL, TX 75087

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-044: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-044: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

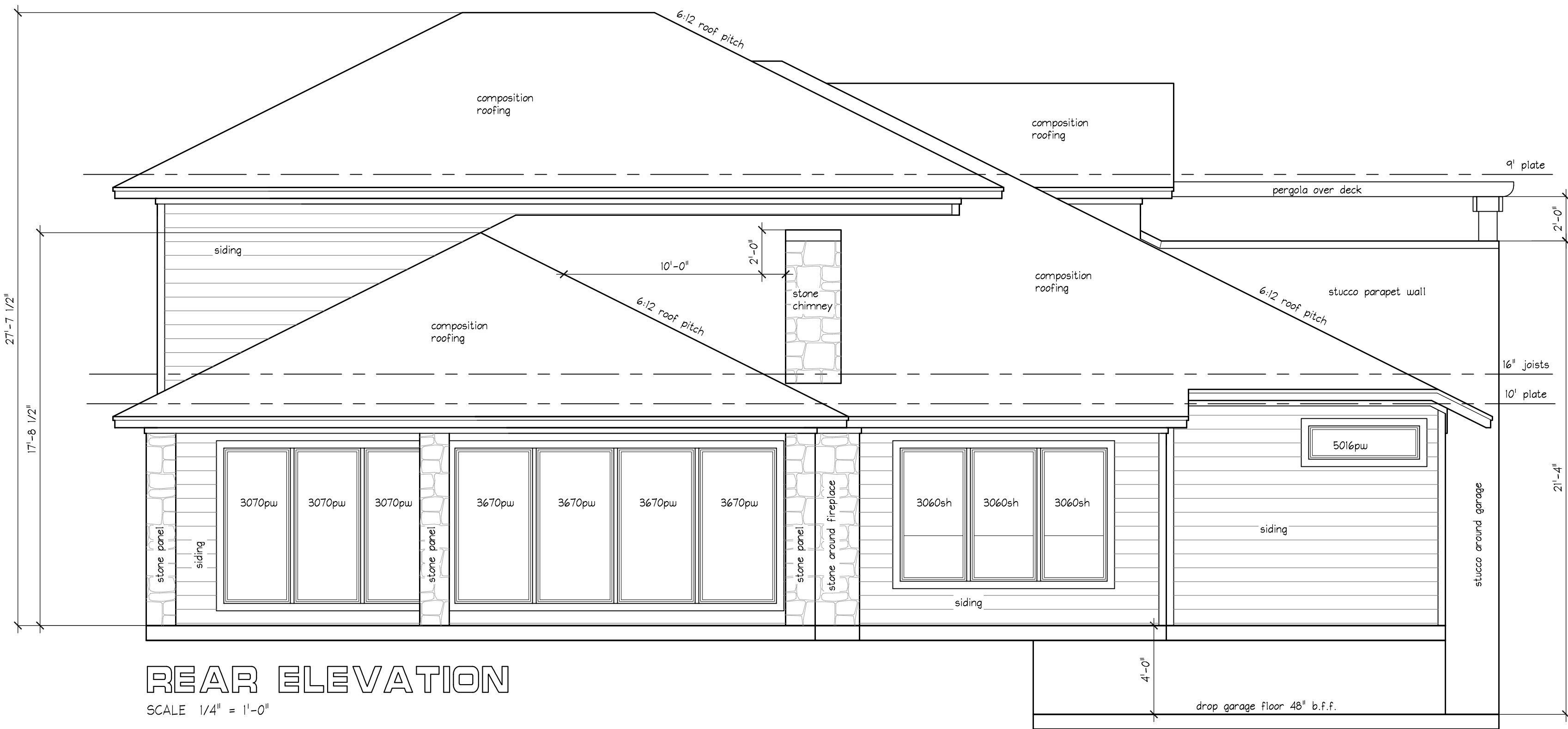
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

Coastal Plains Estates
(618) 218-5339

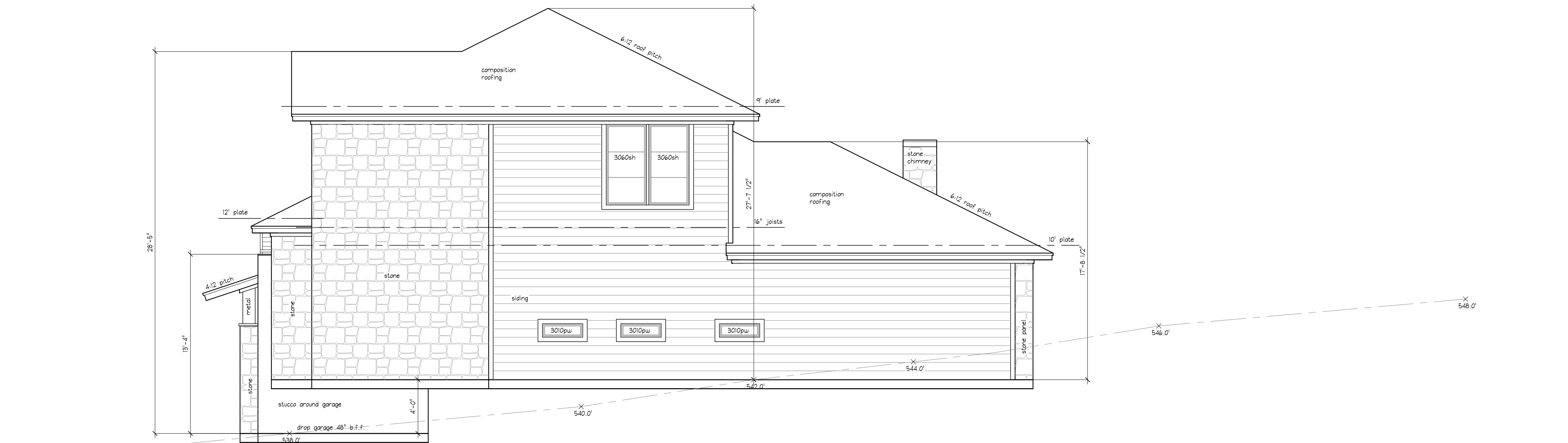
A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

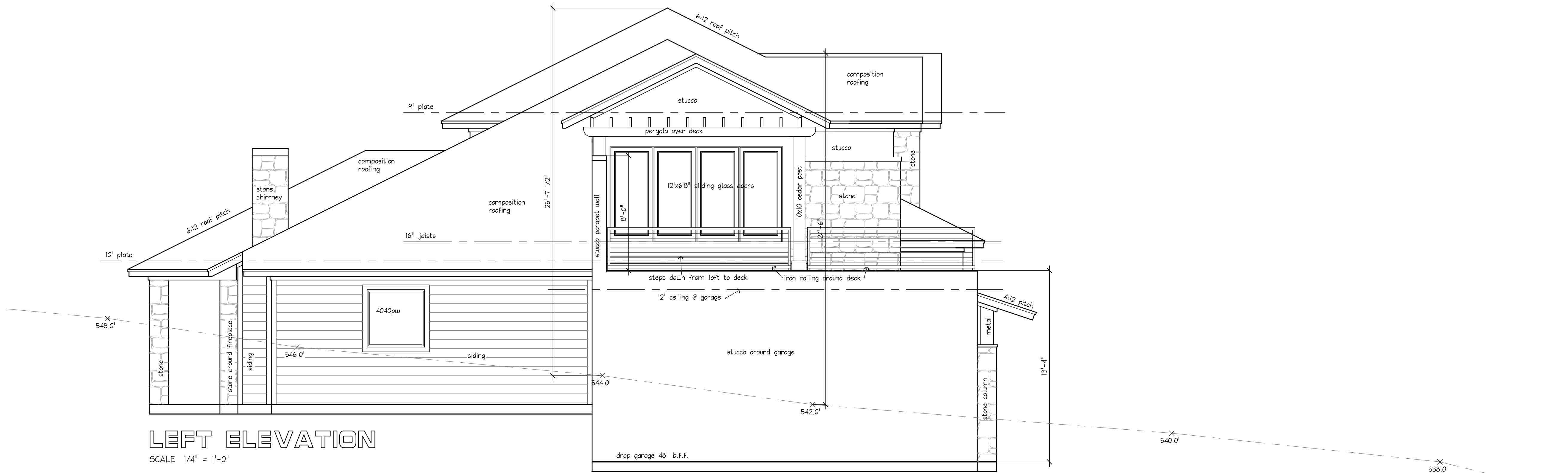
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SHEET NO.

06



RIGHT ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

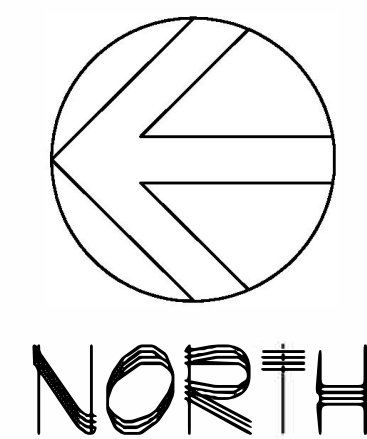
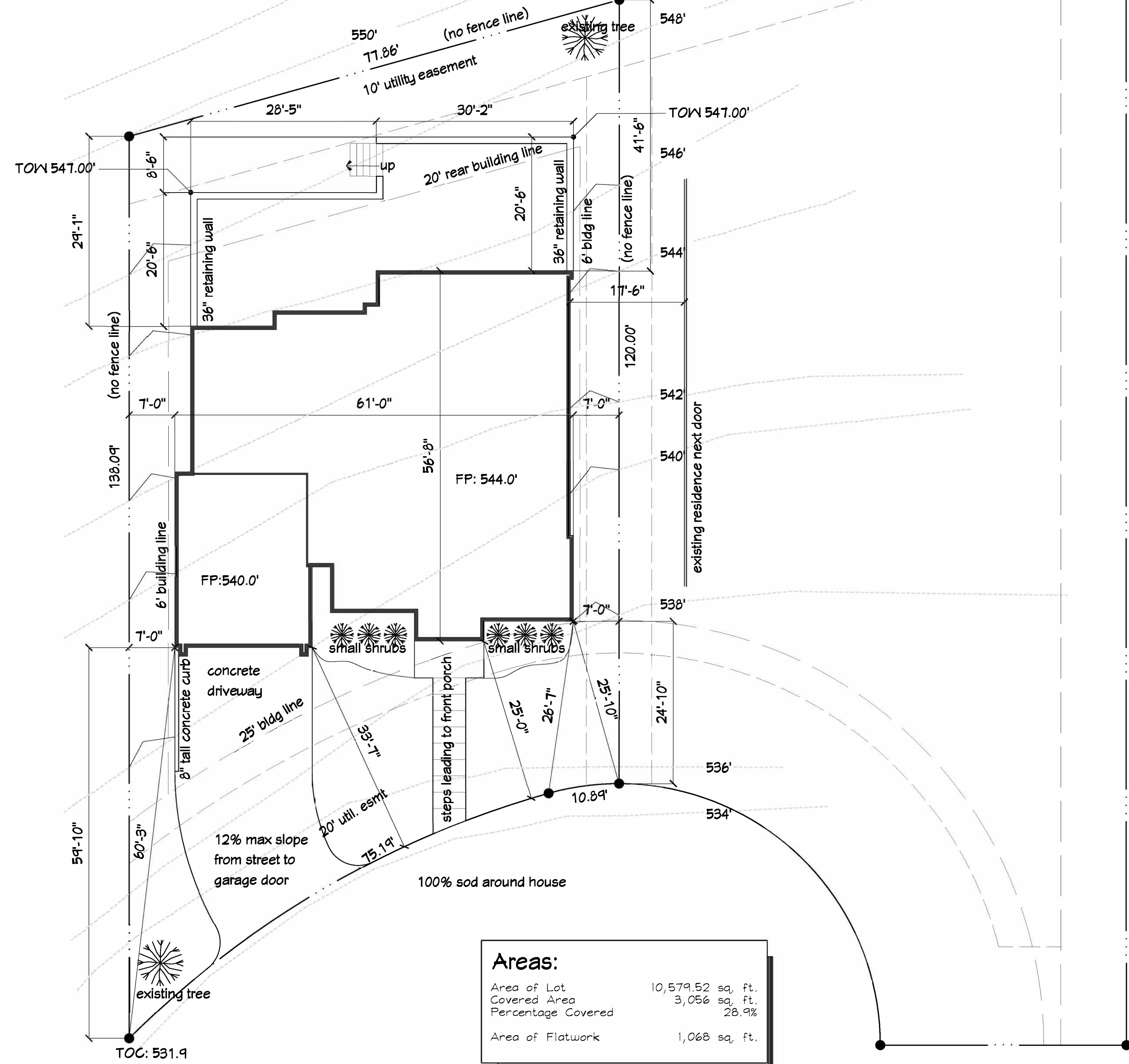
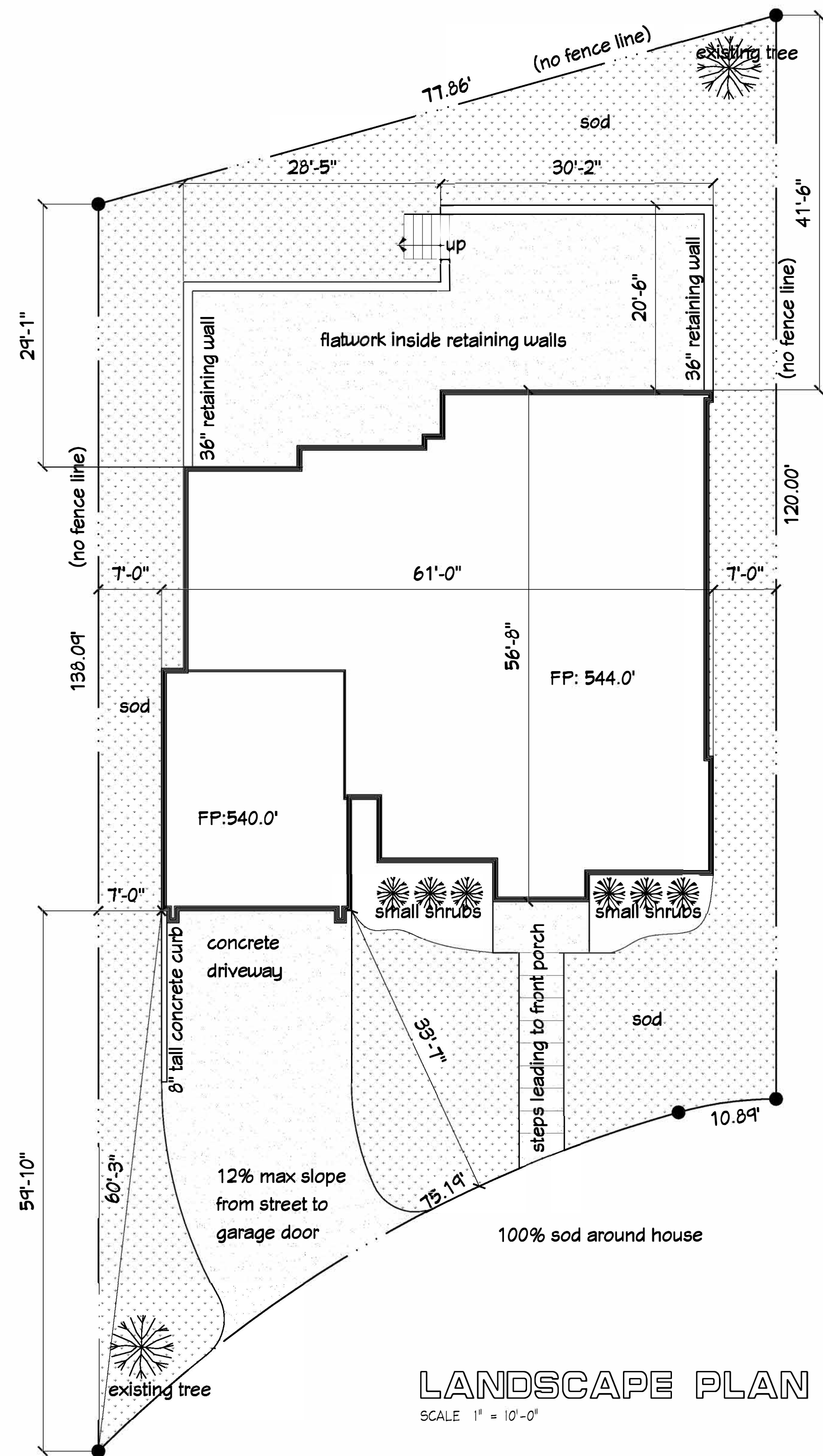
J. Karlovich
Home Design

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jkarlovichhomedesign.com

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Coastal Plains Estates
(618) 218-5339

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas



REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich

Home Design

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jkarlovichhomedesign.com

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Coastal Plains Estates

(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place

Lot 24, Block A

Chandlers Landing #7

City of Rockwall, Texas

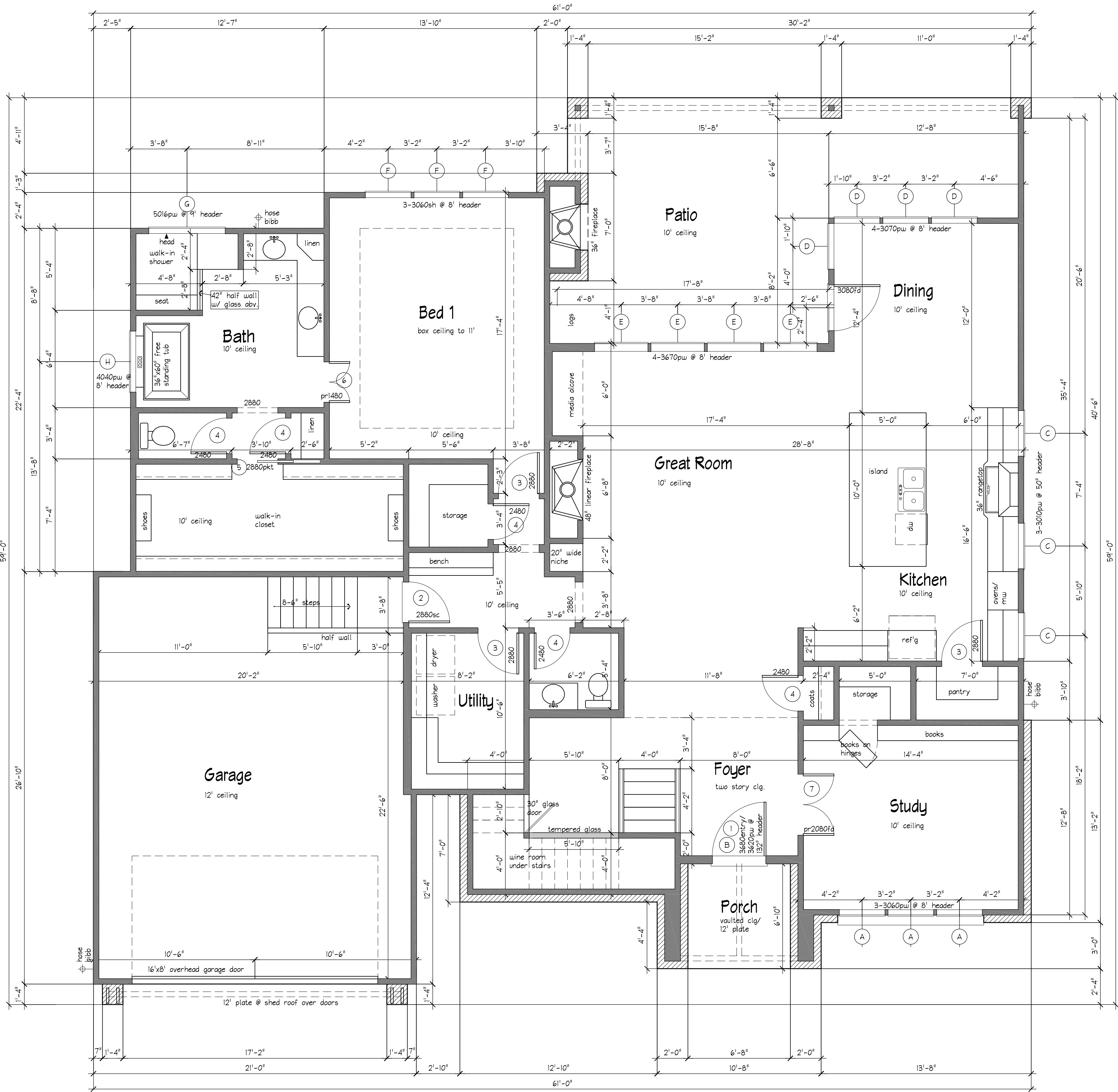
(c) copyright 2020 J. Karlovich Home Design

SHEET NO.

01

PLAN NOTES

- All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from face of stud to face of stud unless otherwise noted.
- Window sizes indicated on plans are noted by approximate rough openings size. Refer to plans and exterior elevations for window types.
- Coordinate location of utility meters with site plan and locate away from public view. Visual impact shall be minimized, i.e. mount as low as possible.
- Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall flue height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed.
- Contractor shall coordinate all closet shelving requirements.
- Do not scale drawings, follow dimensions only.
- Contractor shall field verify all cabinet dimensions before fabrication.
- Bedroom windows shall have a minimum net clear opening of 5.7 sq. ft., a minimum net clear operable width of 20", a minimum net clear operable height of 24", and have a maximum finish sill height of 43" from finish floor.
- All glass located within 18" of floor, 24" of a door or located within 60" of floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
- All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.
- Provide combustion air vents, with screen and back damper. For fireplaces, wood stoves and any appliance with an open flame.
- Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 cfm fan. Range hoods shall also be vented to outside.
- Attic hvac units shall be located within 20' of its service opening. Return air grilles shall not be located within 10 feet of a gas fired appliance.
- All walls and ceilings in garage and garage storage areas to have 5/8" type-X gyp. board w/ 1-hour fire rating. All ext. doors in garage to be metal or solid core doors including doors entering heat/cooled portion of residence.
- All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R-19) insulation between 2x4 joists.
- All interior walls shall be covered with 1/2" gypsum board, with metal corner reinforcing, tape float and sand. (3 coats) Use 5/8" gypsum board on ceilings when supporting members are 24" o.c. or greater. Use 1/2" gypsum board on ceiling members less than 24" o.c.
- All bath and toilet area walls and ceilings shall have water resistant gypsum boards.
- All plumbing walls (first and second floor) shall be 2x6.



Areas:

First Floor Living Area	2,034 sq. ft.
Second Floor Living Area	918 sq. ft.
Total Living Area	2,952 sq. ft.
Garage	546 sq. ft.
Front Porch	60 sq. ft.
Covered Patio	385 sq. ft.
Total Slab Area	3,056 sq. ft.
Total Under Roof	3,974 sq. ft.
Deck (uncovered)	501 sq. ft.

Doors Schedule:

ID#	Size	Description	Quantity
1	3680	Special Front Entry as Selected	1
2	2880	Interior Solid Core (1 hour rated)	1
3	2880	Interior as Selected	3
4	2880	Interior as Selected	1
5	2880	Interior as Selected	1
6	2880	Interior as Selected	1
7	2080	Interior French Doors	2
8	2668	Interior as Selected	2
9	2468	Interior as Selected	2
10	2068	Interior as Selected	2
11	2668	Interior Solid Core (1 hour rated)	1
12	2668	Interior Solid Core (1 hour rated)	1
13	12 x 6'8"	Exterior Sliding Glass Doors	1

Windows Schedule:

ID#	Size	Description	Quantity
A	3060	Picture Window	3
B	3060	Picture Window	1
C	3070	Picture Window	4
D	3070	Picture Window	4
E	3670	Picture Window	6
F	3060	Single Hung	1
G	5016	Picture Window	1
H	4040	Picture Window	1
I	2060	Picture Window	1
J	2030	Picture Window	1

FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

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SHEET NO.

02

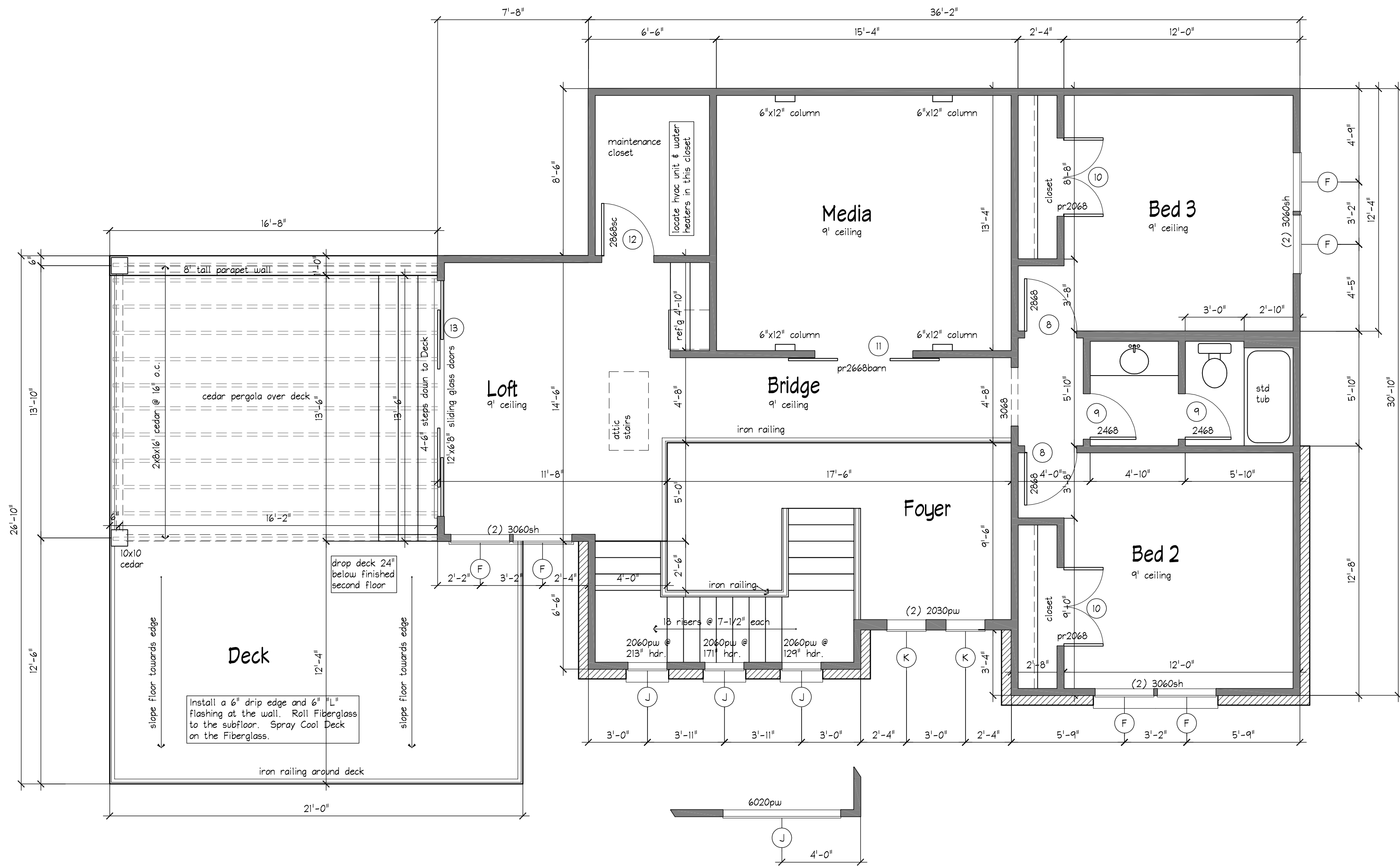
Coastal Plains Estates
(618) 218-5339

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J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

REVISIONS:
8/3/2020
8/11/2020
9/2/2020



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

Coastal Plains Estates
(618) 218-5339

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J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

REVISIONS:
8/3/2020
8/11/2020
9/2/2020

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
102 Thistle Place	<i>RCAD Indicates Vacant</i>		<i>Subject Property</i>		N/A
103 Thistle Place	<i>Single-Family Home</i>	1994	2,356	N/A	Brick
104 Thistle Place	<i>Single-Family Home</i>	2018	4,949	N/A	Brick
105 Thistle Place	<i>Single-Family Home</i>	1984	2,567	N/A	Brick
202 Gretel Place	<i>Single-Family Home</i>	1986	3,014	N/A	Brick
204 Gretel Place	<i>Single-Family Home</i>	1988	2,686	N/A	Brick
206 Gretel Place	<i>Single-Family Home</i>	1988	3,920	N/A	Brick
208 Gretel Place	<i>Single-Family Home</i>	1989	3,163	N/A	Brick
6002 Volunteer Place	<i>Single-Family Home</i>	1982	3,233	N/A	Brick
6003 Volunteer Place	<i>Single-Family Home</i>	1979	2,498	N/A	Brick
6004 Volunteer Place	<i>Single-Family Home</i>	1995	2,171	N/A	Brick
6005 Volunteer Place	<i>Single-Family Home</i>	1987	2,422	N/A	Brick
6007 Volunteer Place	<i>Single-Family Home</i>	1989	2,684	N/A	Brick
6101 Volunteer Place	<i>Single-Family Home</i>	1985	2,488	N/A	Brick
6102 Volunteer Place	<i>Single-Family Home</i>	1983	2,719	N/A	Brick
6103 Volunteer Place	<i>Single-Family Home</i>	1988	1,586	N/A	Brick
6105 Volunteer Place	<i>Single-Family Home</i>	1994	1,931	N/A	Brick
6106 Volunteer Place	<i>Single-Family Home</i>	2012	3,605	N/A	Brick
6108 Volunteer Place	<i>Single-Family Home</i>	1982	2,696	N/A	Brick
6109 Volunteer Place	<i>Single-Family Home</i>	1985	2,779	N/A	Brick
6110 Volunteer Place	<i>Single-Family Home</i>	1982	3,113	N/A	Brick
6111 Volunteer Place	<i>Single-Family Home</i>	1986	3,322	N/A	Brick
6112 Volunteer Place	<i>Single-Family Home</i>	2002	3,141	N/A	Brick
Averages:		1990	2,866		



102 Thistle Place



103 Thistle Place



104 Thistle Place



105 Thistle Place



202 Gretel Place



204 Gretel Place



206 Gretel Place



208 Gretel Place



6002 Volunteer Place



6003 Volunteer Place



6004 Volunteer Place



6005 Volunteer Place



6007 Volunteer Place



6101 Volunteer Place



6102 Volunteer Place



6103 Volunteer Place



6105 Volunteer Place



6106 Volunteer Place



6108 Volunteer Place



6109 Volunteer Place



6110 Volunteer Place



6111 Volunteer Place



6112 Volunteer Place

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.21-acre parcel of land being described as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A'
Location Map and Survey

Address: 102 Thistle Place

Legal Description: Lot 24, Block A, Chandler's Landing, Phase 7

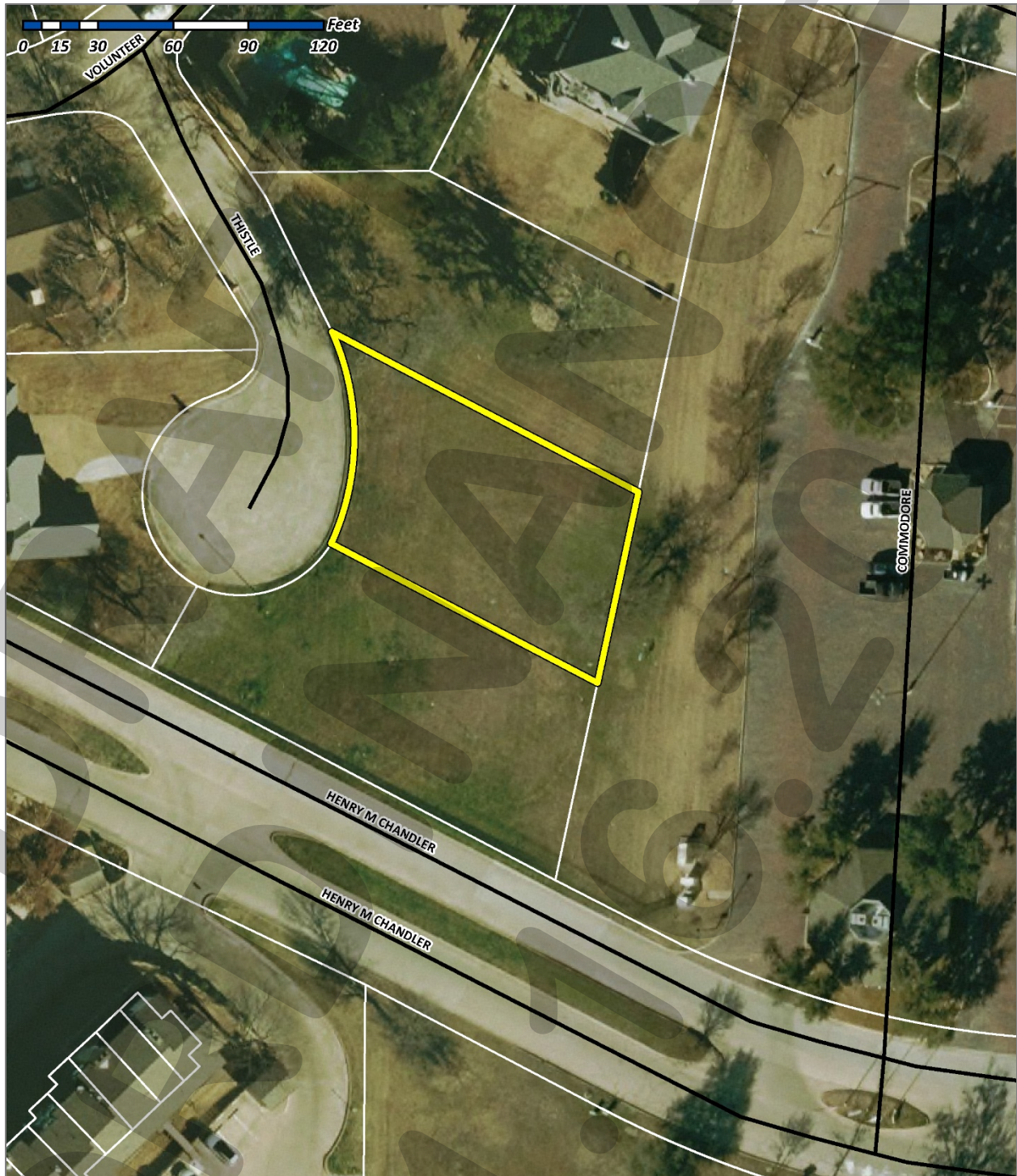
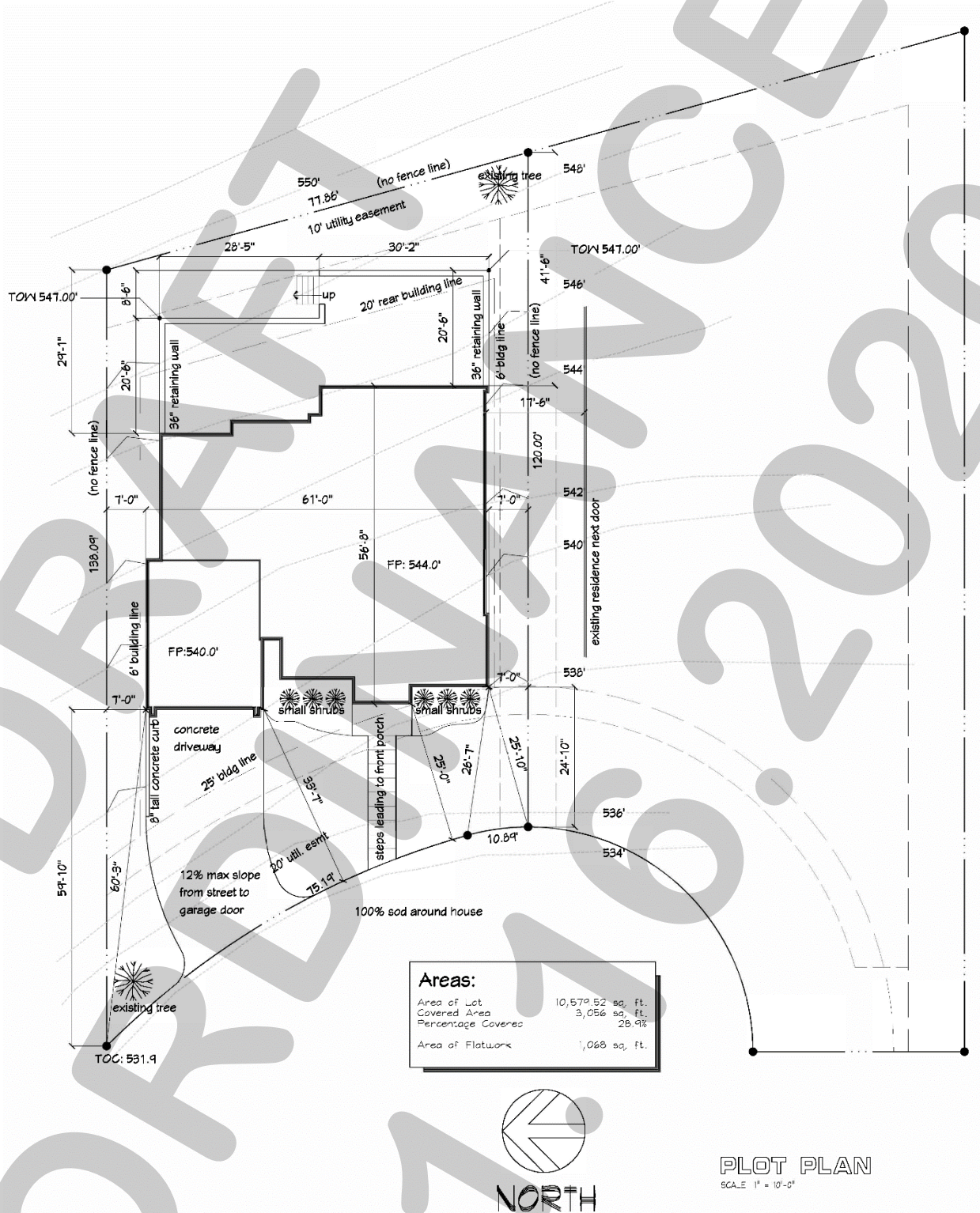
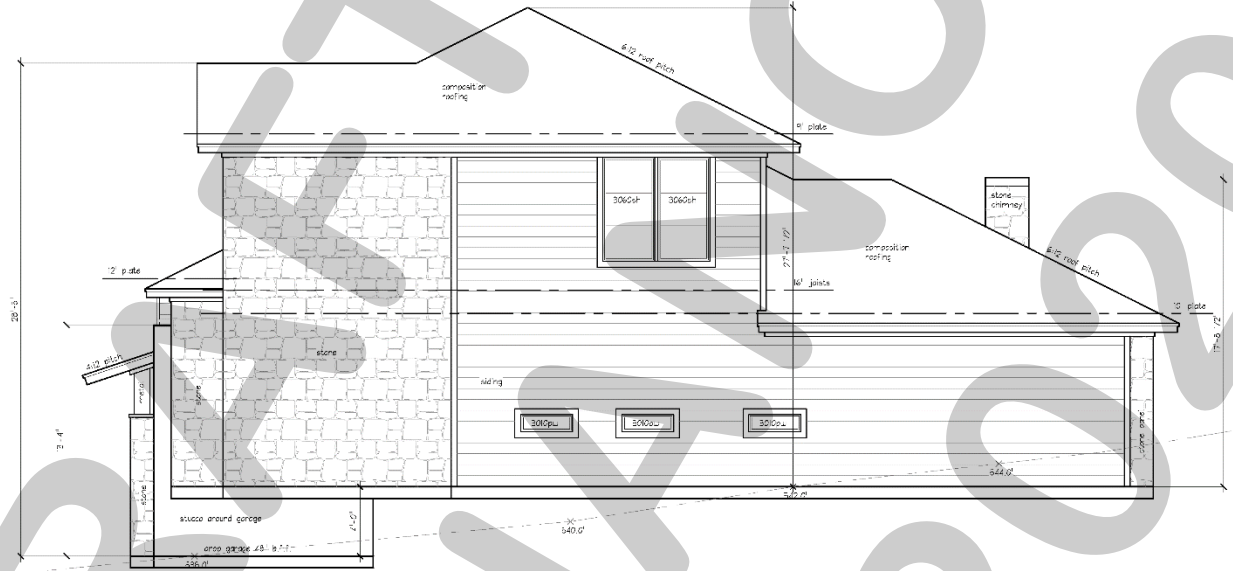


Exhibit 'B':
Residential Plot Plan

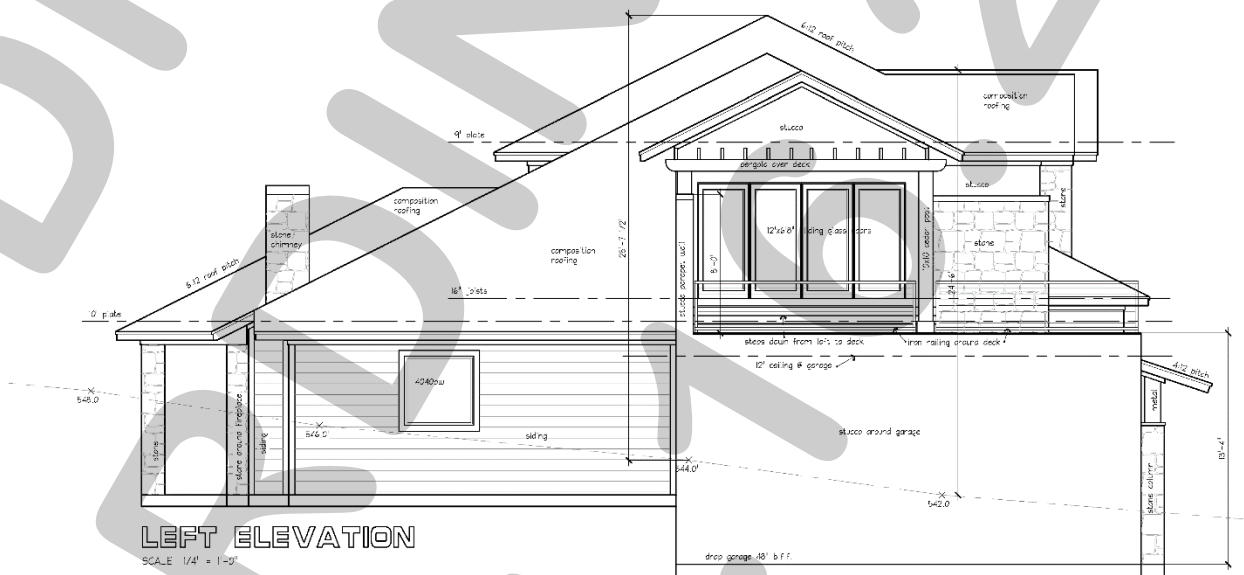


Architectural drawing of the rear elevation of a house. The drawing shows a two-story structure with a gabled roof. The left side features a large window with a stone surround and a small porch. The right side has a large window with a stone surround and a small porch. The roof is labeled with "composition roofing" and "6-12 roof pitch". The walls are labeled with "composition siding" and "stone chimney". The drawing includes dimensions for the roof pitch (6-12), window height (7'-0"), and window width (10'-0"). The overall height of the house is 21'-0". The drawing is titled "REAR ELEVATION" and includes a scale of 1/4" = 1'-0".

Exhibit 'C':
Building Elevations



RIGHT ELEVATION
S.C.A. E 1/4" = 1'-0"



LEFT ELEVATION
S.C.A. E 1/4" = 1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 20-48

SPECIFIC USE PERMIT NO. S-236

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Casey Cox for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.21-acre parcel of land being described as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

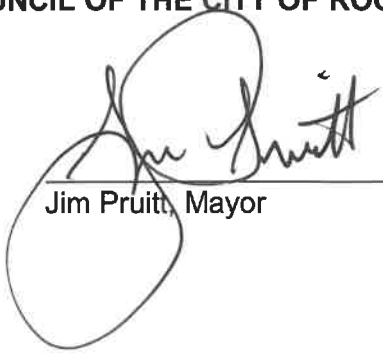
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**



Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: November 16, 2020

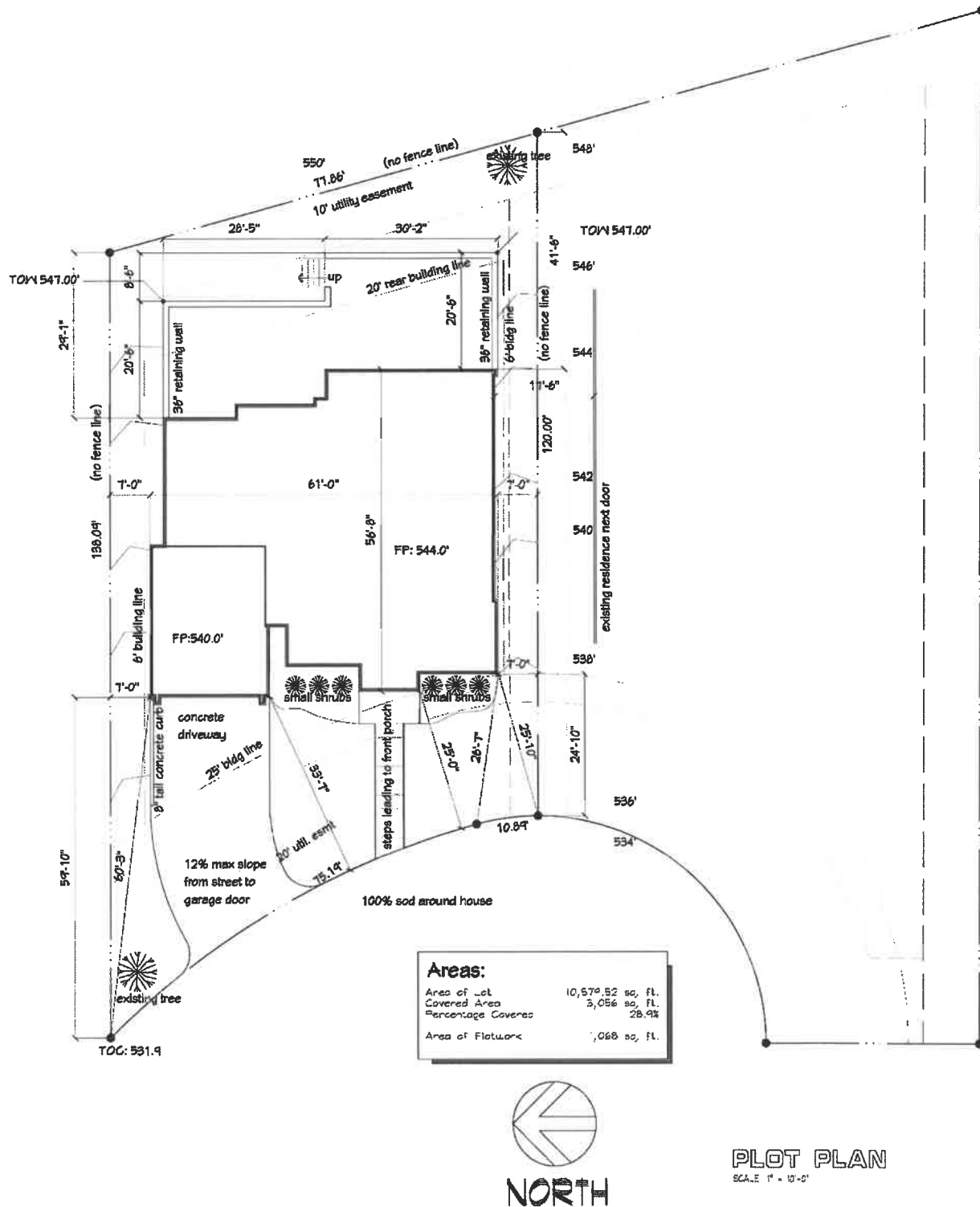
2nd Reading: December 7, 2020

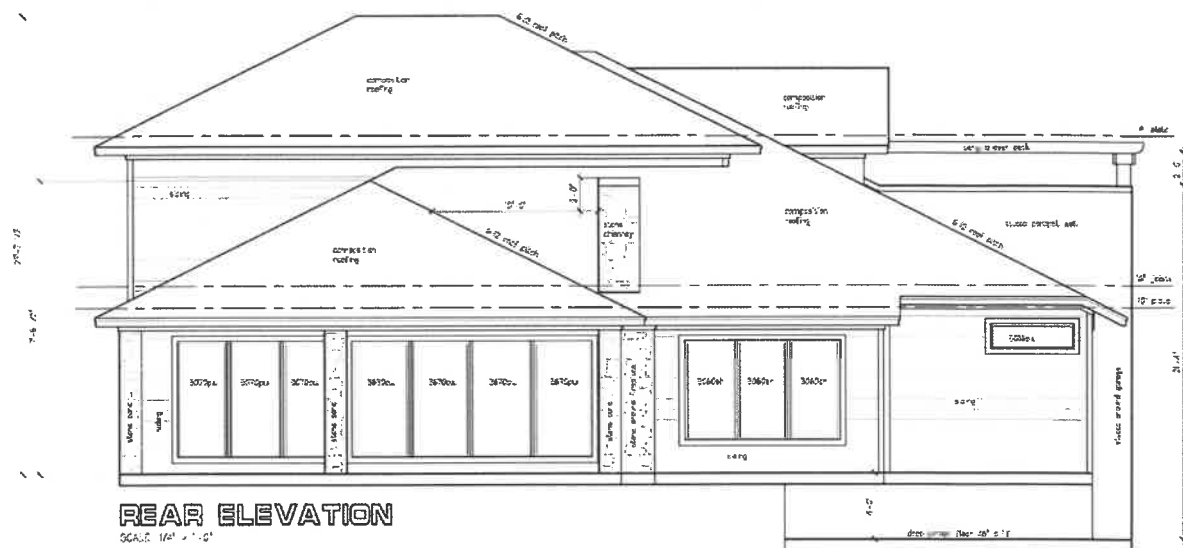
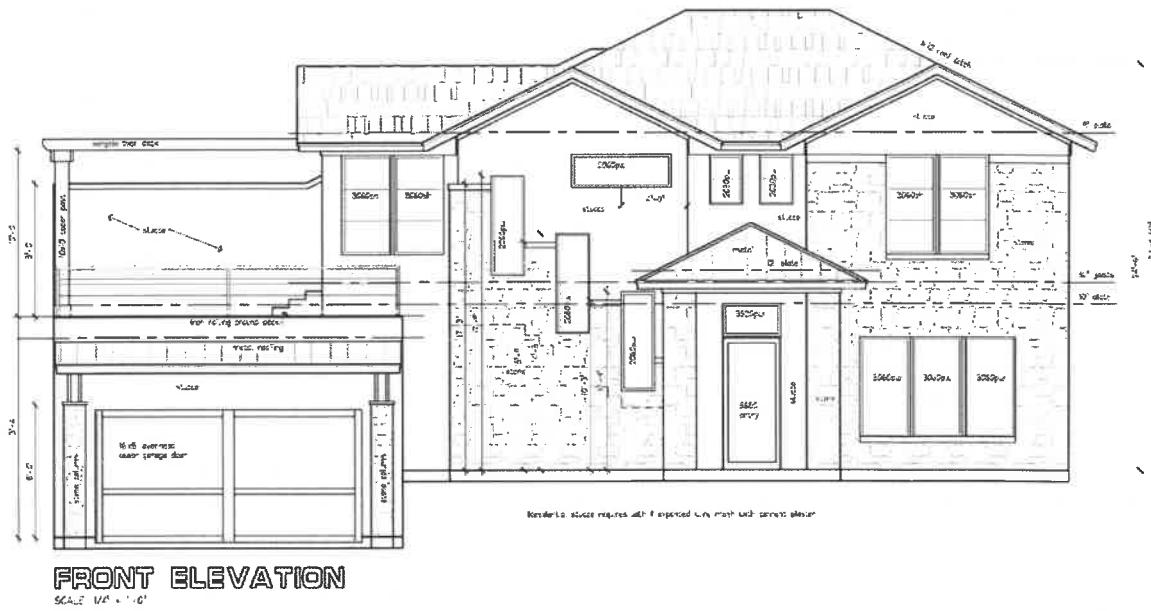
Exhibit 'A'
Location Map and Survey

Address: 102 Thistle Place

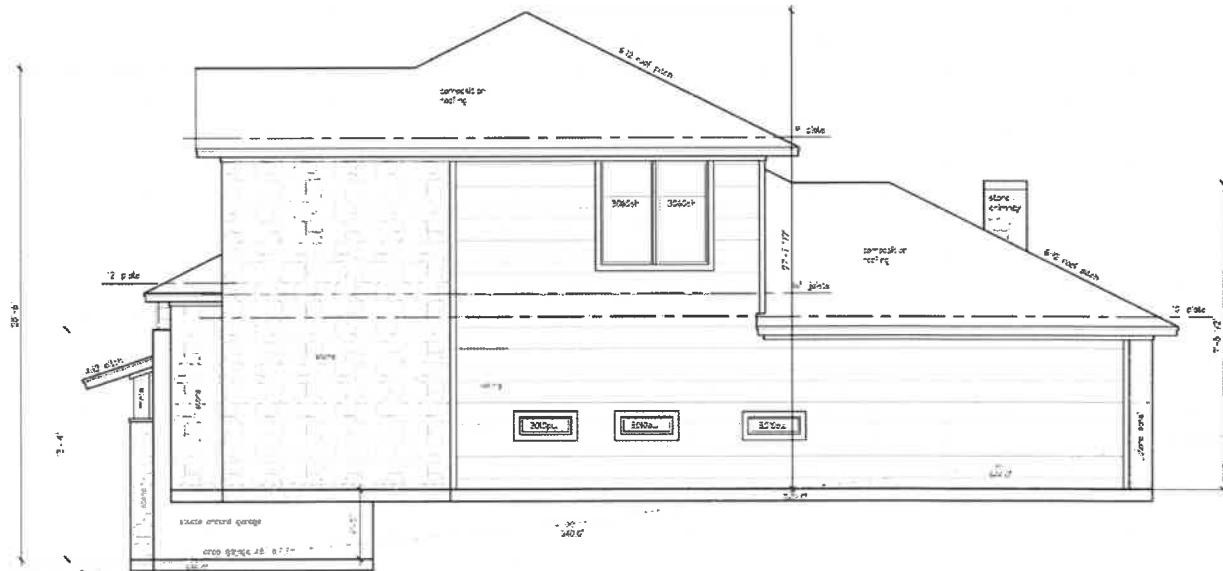
Legal Description: Lot 24, Block A, Chandler's Landing, Phase 7





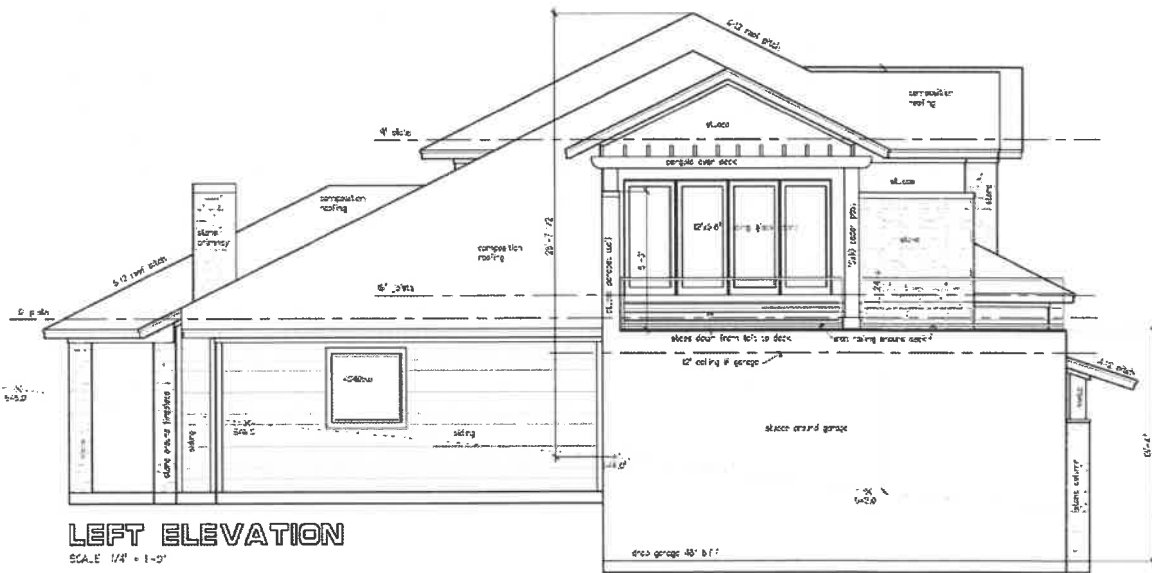


**Exhibit 'C':
Building Elevations**



RIGHT ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

Lee, Henry

From: Miller, Ryan
Sent: Friday, October 23, 2020 3:54 PM
To: 'coastalplainsest@gmail.com'
Subject: Project Comments: Z2020-044
Attachments: Project Comments (10.23.2020).pdf; Draft Ordinance (10.22.2020).pdf; Engineering Comments (10.23.2020).pdf

Ms. Cox,

Attached are the comments and draft ordinance for your Specific Use Permit (SUP) case. Please address these comments, redline the draft ordinance, and return them to staff no later than November 3, 2020. Please also note, the following meeting schedule:

Planning and Zoning Commission Work Session: October 27, 2020
Planning and Zoning Commission (Public Hearing): November 10, 2020
City Council (Public Hearing and 1st Reading): November 16, 2020
City Council (2nd Reading): December 7, 2020

All meetings will be held at 6:00 PM in the City Council Chambers at City Hall (*i.e.* 385 S. Goliad Street). A representative will need to be present at the meeting. If you have any questions please contact your case manager. Thank you.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

Lee, Henry

From: Lee, Henry
Sent: Friday, December 18, 2020 8:44 AM
To: 'coastalplainsest@gmail.com'
Subject: Z2020-044 Approval Letter
Attachments: Approval Letter (12.09.2020).pdf

Good Morning,

This email serves to inform you that your zoning case, Z2020-044, was approved. Attached is the approval letter, which will also be mailed to you. If you have any questions feel free to contact me.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



December 09, 2020

TO: Casey Cox
8400 Sunset Boulevard
Rowlett, TX 75088

FROM: Henry Lee, *Planner*
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2020-044; *Specific Use Permit (SUP) for 102 Thistle Place*

Casey Cox:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on December 07, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

- On November 10, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

City Council

- On November 16, 2020, the City Council approved a motion to approve the Specific Use Permit (SUP) for a residential infill for the purpose of constructing a single-family home by a vote of 7-0.
- On December 7, 2020, the City Council approved a motion to approve Specific Use Permit (SUP) to allow for the construction of a single-family home with the conditions of approval by a vote of 6-0, with Council Member Campbell absent.

Included with this letter is a copy of Ordinance No. 20-48, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 771-7745.

Sincerely,

Henry Lee
Planner