



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, Texas 75087

P&Z CASE # SP2021-010 P&Z DATE 05/11/21 CC DATE _____ APPROVED/DENIED _____

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2021-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Southeast corner of IH 30 and Corporate Crossing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial C

CURRENT USE Vacant

PROPOSED ZONING N/A

PROPOSED USE Sports Complex

ACREAGE 6.38

LOTS [CURRENT]

0

LOTS [PROPOSED]

1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Structured REA-Rockwall Land, LLC

☒ APPLICANT Wier & Associates, Inc.

CONTACT PERSON Stephen Doyle

CONTACT PERSON Randall Eardley

ADDRESS 171 N Aberdeen Street, Suite 400

ADDRESS 2201 E. Lamar Blvd, Ste 200E

CITY, STATE & ZIP Chicago, Illinois 60607

CITY, STATE & ZIP Arlington, Texas 76006

PHONE 847-951-8974

PHONE 817-467-7700

E-MAIL SteveD@structuredrea.com

E-MAIL RandyE@WierAssociates.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Doyle [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

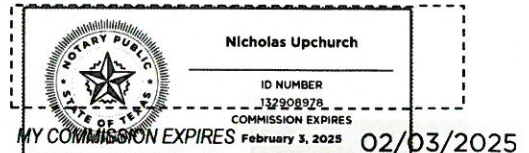
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 377.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

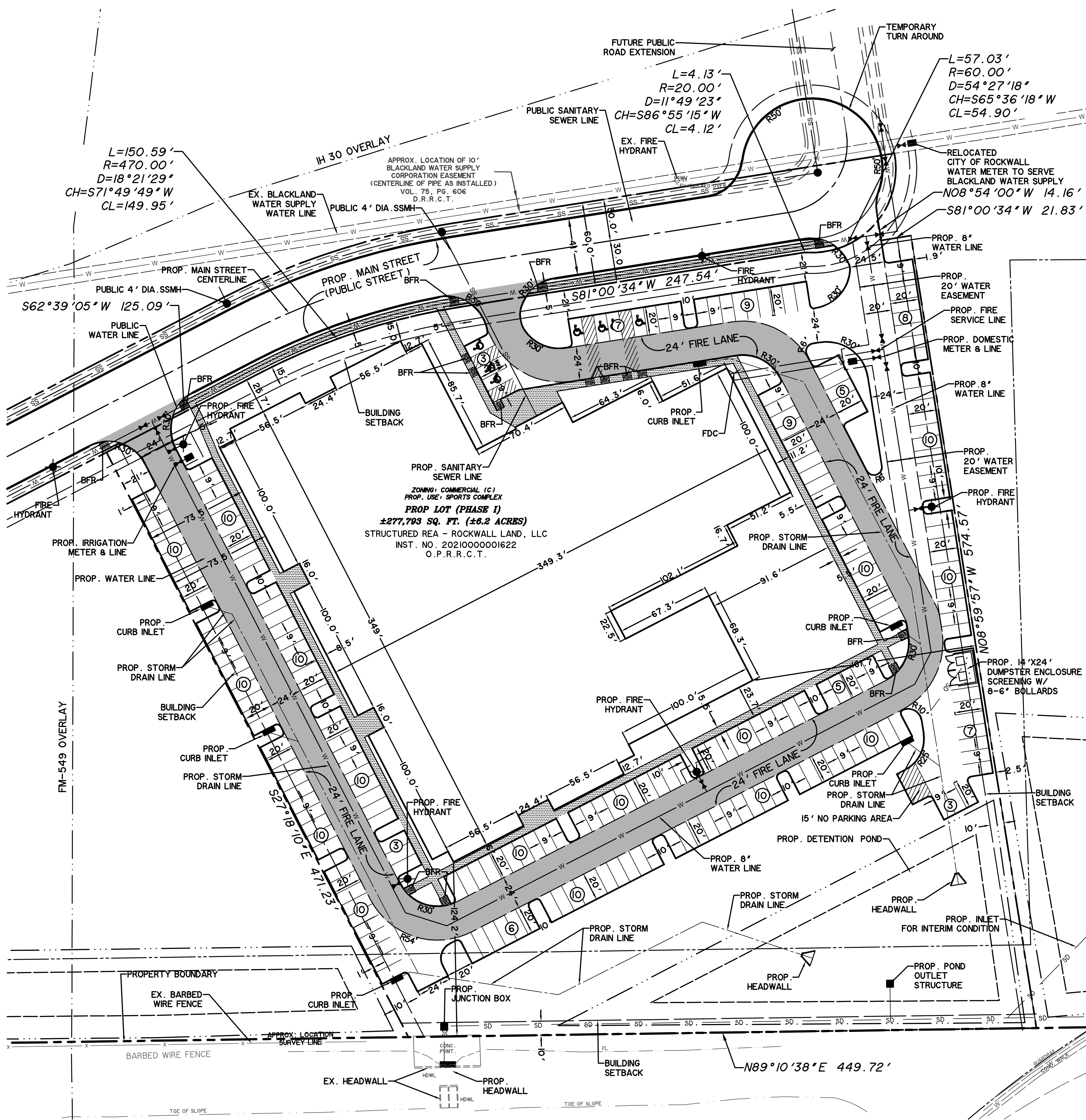
State of Texas, County of Hays
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 2021

OWNER'S SIGNATURE

Stephen Doyle
Nicholas Upchurch

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





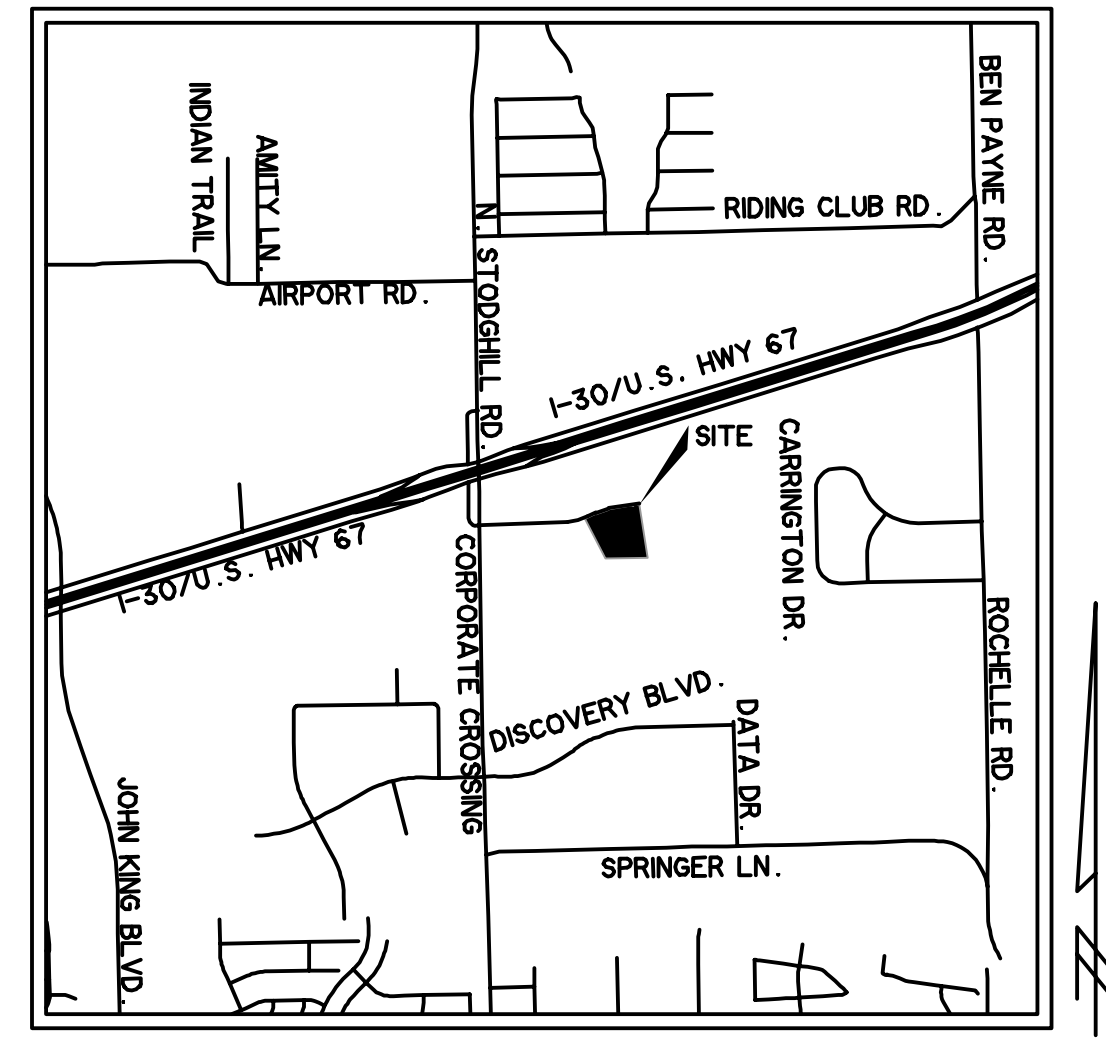
SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ. FT. ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ. FT. ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE I: 6.38 ACRES ± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7 225

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ONSITE PAVEMENT SHALL BE:
- | | |
|------------|----------------------|
| PARKING: | 5" CONCRETE PAVEMENT |
| FIRE LANE: | 6" CONCRETE PAVEMENT |
| DUMPSTER: | 7" CONCRETE PAVEMENT |
- BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.

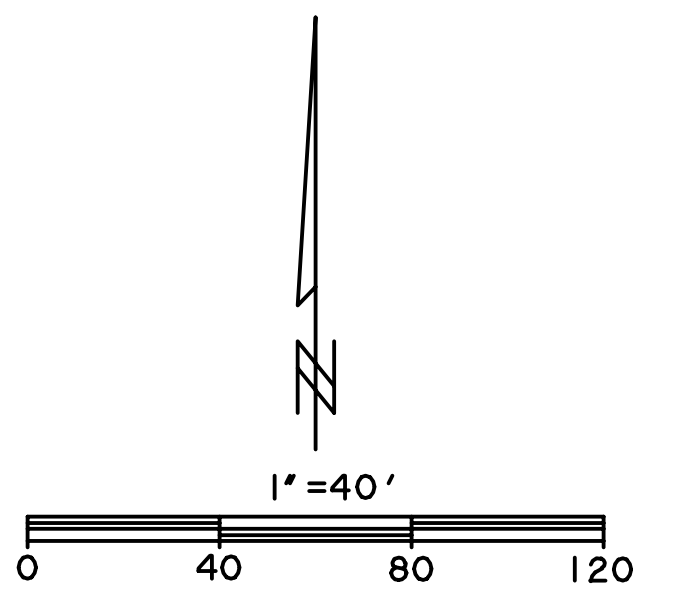
APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



- VICINITY MAP
NOT TO SCALE
- LEGEND
- SSMH @ EXISTING SANITARY SEWER MANHOLE
 - SSCO @ EXISTING SANITARY SEWER CLEAN OUT
 - FH @ EXISTING FIRE HYDRANT
 - WM @ EXISTING WATER METER
 - WM @ EXISTING WATER VAULT
 - W- EXISTING WATER LINE
 - SS- EXISTING SANITARY SEWER LINE
 - W- PROPOSED WATER LINE
 - SS- PROPOSED SANITARY SEWER LINE
 - SD- PROPOSED STORM DRAIN LINE
 - - - PHASE I PARCEL BOUNDARY
 - - - PROPERTY BOUNDARY
 - - - PROPOSED WATER EASEMENT
 - - - PROPOSED FIRE LANE
 - - - BUILDING SETBACK
 - BFR BARRIER FREE RAMP
 - Prop. Sidewalk
 - Prop. Public Access & Utility Easement



SITE PLAN FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

CASE NO. MISC-21-#### SP-21-####

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

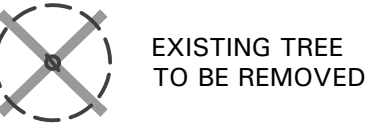
PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randall Eardley, PE
Texas Registration
No. 104567 On
Date Shown Below.

TREE SURVEY FIELD DATA				
No.	Dia.	Species	Status	Remarks
	(inches)	(common name)		
1	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
2	12	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
3	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
4	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
5	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
6	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
7	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
8	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
9	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
10	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
11	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
12	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
13	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
14	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
15	13	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
16	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
17	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
18	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
Total Caliper Inches on Site				163
Total Caliper Inches Removed				163
Total Mitigation Inches Required				31.5
Total Mitigation Inches Provided				32

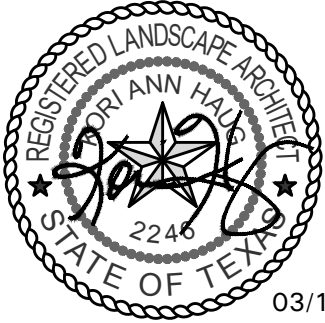
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



EXISTING TREE
TO BE REMOVED



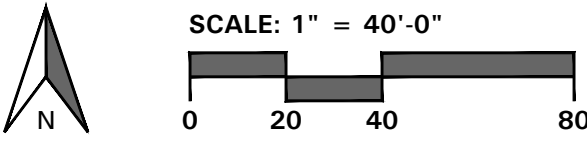
FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date: Detail:

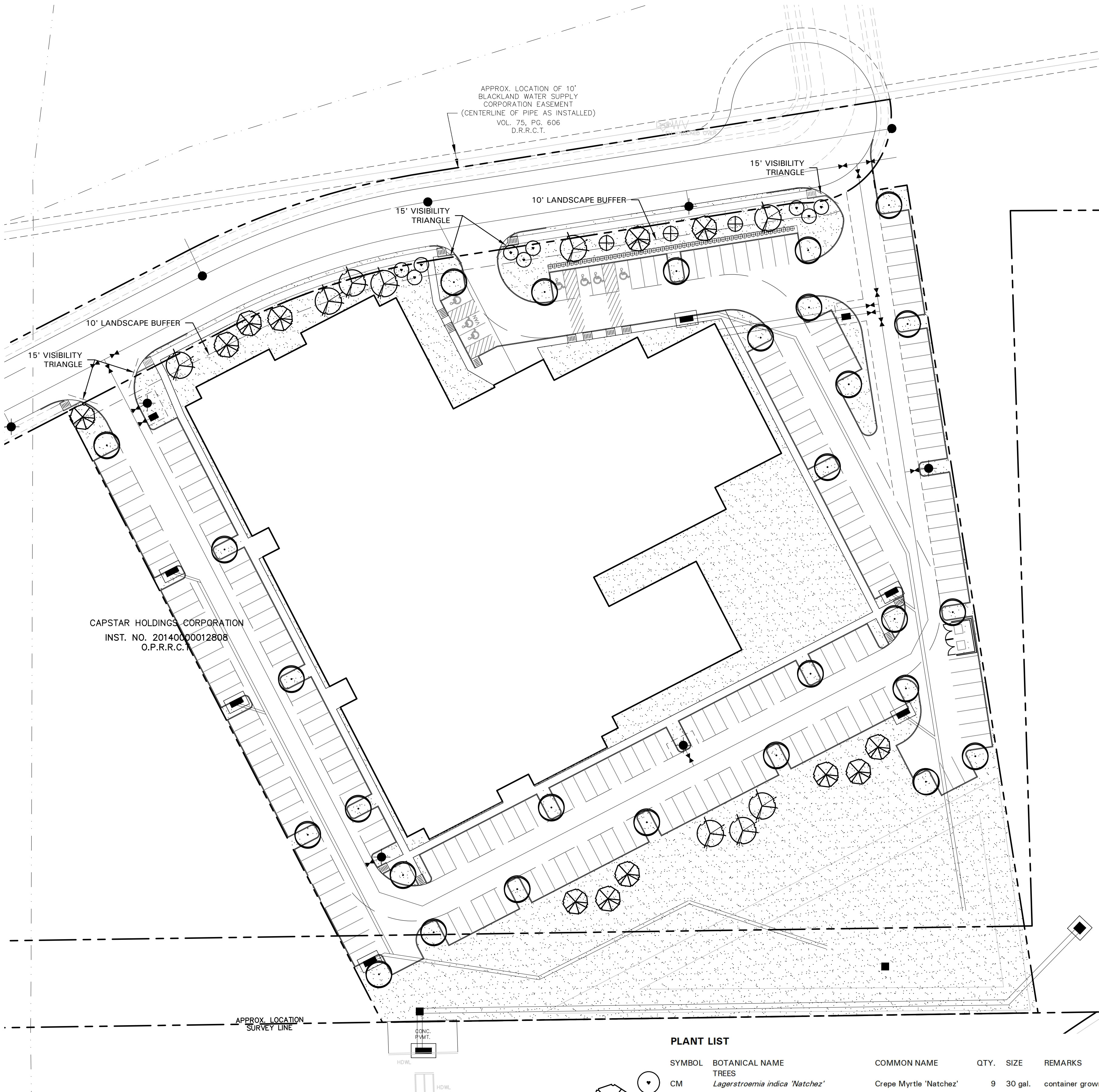
CASE NO: MISC-21-#### SP-21-####
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

OWNER/DEVELOPER/ APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



Sheet Title:
TREE
PRESERVATION
PLAN
Sheet Number:

L1.01



CAPSTAR HOLDINGS CORPORATION
INST. NO. 20140000012808
O.P.R.R.C.T.

APPROX. LOCATION OF 10'
BLACKLAND WATER SUPPLY
CORPORATION EASEMENT
(CENTERLINE OF PIPE AS INSTALLED)
VOL. 75, PG. 606
D.R.R.C.T.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muehlenbergii</i>	Chinkapin Oak	9	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	12	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	30 gal.	container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUND COVER					
TS	<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	57	5 gal.	container full, 20" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE: MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Ten (10') foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) l.f.

STREET A: 585 l.f.	
Required	Provided
(12) canopy trees, 4" cal.	(12) canopy trees, 4" cal.
(12) accent trees, 4' min. ht.	(12) accent trees, 4' min. ht.

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscape.
- One (1) canopy tree per 10 parking spaces

Total interior parking lot area: 41,433 s.f.
Total parking spaces: 225 spaces

Required	Provided
2,072 s.f. (5%)	7,238 s.f. (17%)
(23) canopy trees	(28) canopy trees

SITE LANDSCAPING

- Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
- Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.

Required	Provided
34,169 s.f. (15%)	95,456 s.f. (42%)
17,084 s.f. (50%)	33,262 s.f.

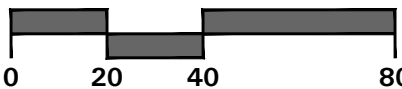
CASE NO: MISC-21-#### SP-21-####

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

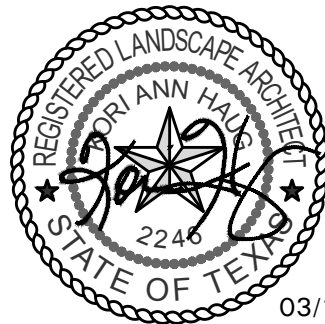
OWNER/DEVELOPER/ APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



SCALE: 1" = 40'-0"



4245 North Central Expy
Suite 501
Dallas, Texas 75205
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FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date: Detail:

Sheet Title:

LANDSCAPE
PLAN

Sheet Number:

L2.01

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Remove rejected plant material immediately from job site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and branch requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
- Organic matter shall be 3%-10% of total dry weight.
- If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UP) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- All planting areas shall receive a two (2") inch layer of specified mulch.
- Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- Do not wrap trees.
- Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- Pruning shall be done with clean, sharp tools.
- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

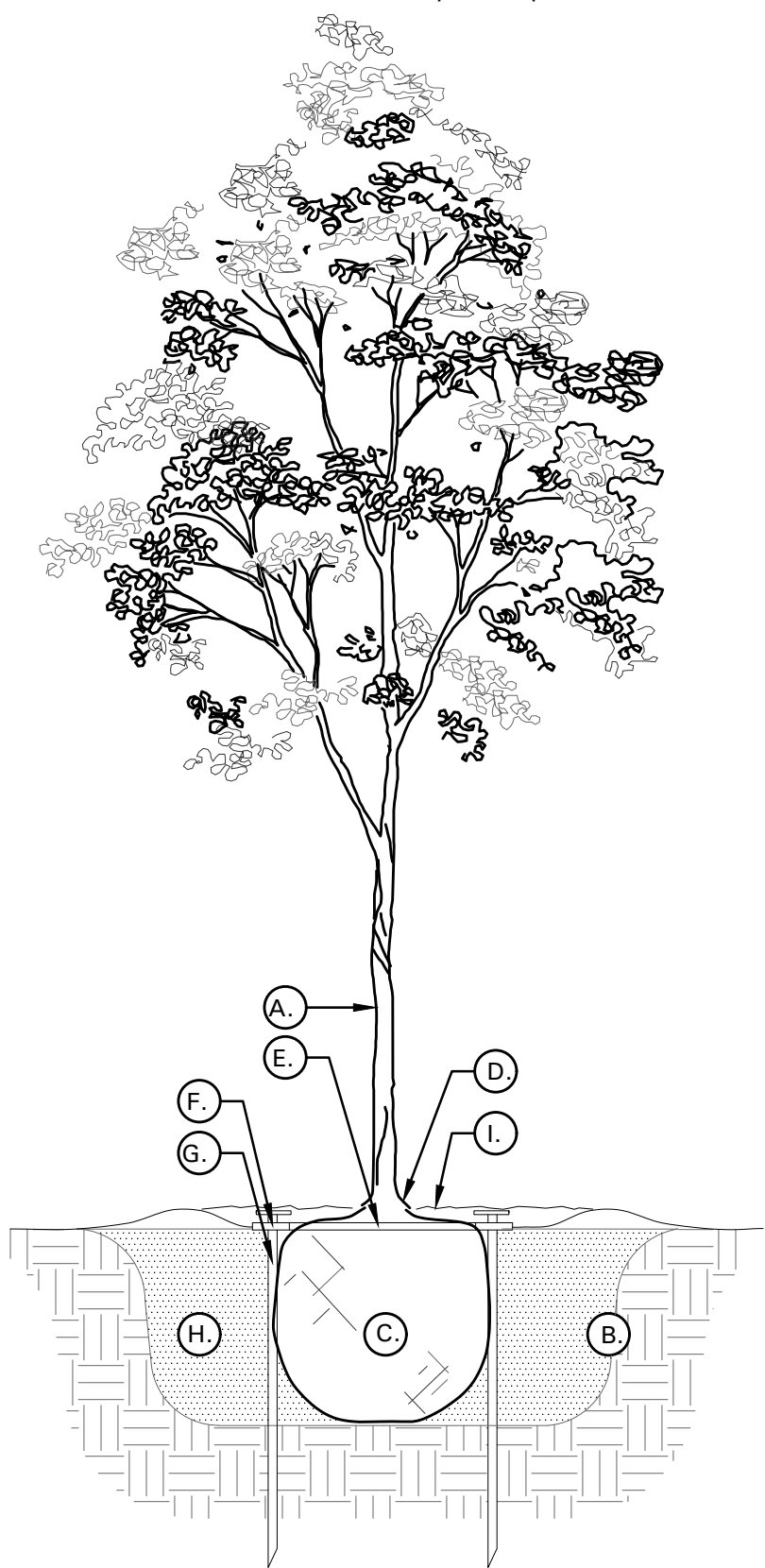
Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- All steel curbing shall be free of kinks and abrupt bends.
- Top of curbing shall be ½" maximum height above final finished grade.
- Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- Do not install steel edging along sidewalks or curbs.
- Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

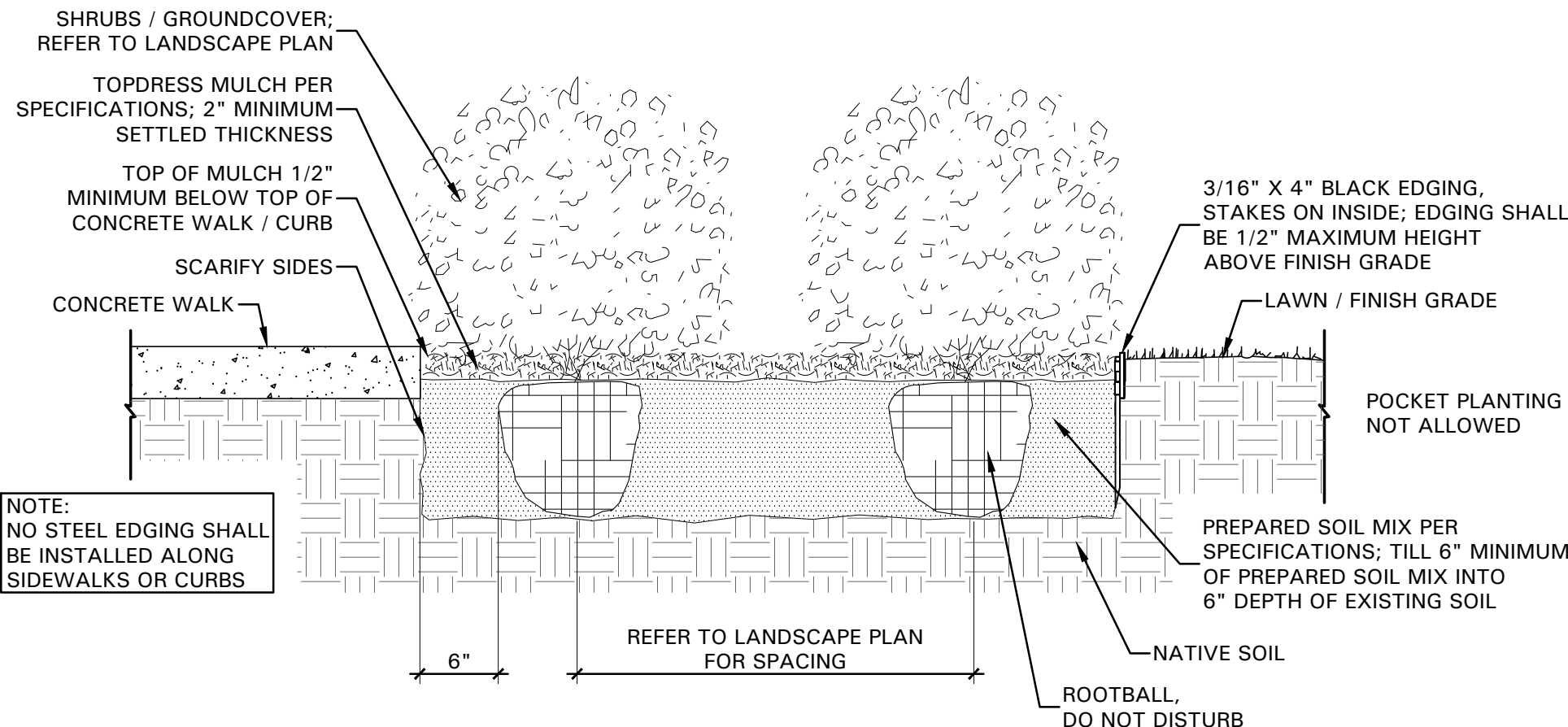
- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL. CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP ½ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.

- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com

OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.

- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



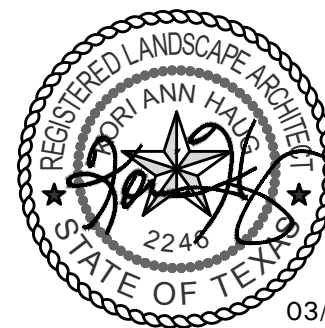
02 SHRUB / GROUND COVER DETAIL NOT TO SCALE



01 TREE PLANTING DETAIL NOT TO SCALE



4245 North Central Expy
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FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
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Revisions
No. Date: Detail:

Sheet Title:
LANDSCAPE
SPECIFICATIONS
AND NOTES

Sheet Number:

L2.02

CASE NO: MISC-21-#### SP-21-####

ENGINEER:
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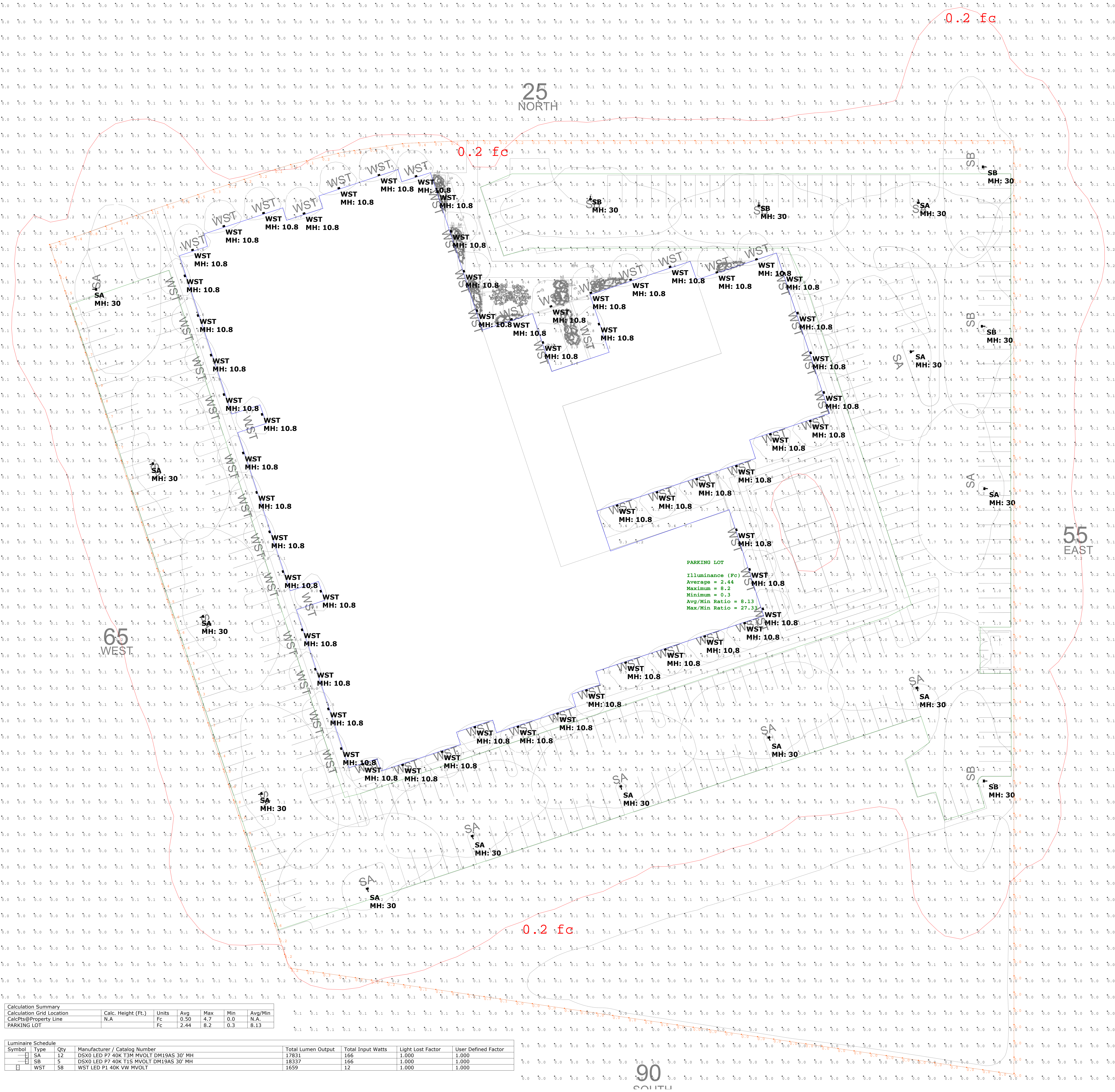
- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
- C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 7-6-2010)

- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



Calculation Summary						
Calculation Grid Location		Calc. Height (Ft.)	Units	Avg	Max	Min
CalcPnts@Property Line		N.A.	Fc	0.50	4.7	0.0
PARKING LOT			Fc	2.44	8.2	0.3

Luminaire Schedule				Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
SA	12	DSX0 LED P7 40K T3M MVOLT DM19AS 30' MH		17831	166	1.000	1.000
SB	5	DSX0 LED P7 40K T1S MVOLT DM19AS 30' MH		18337	166	1.000	1.000
WST	38	WST LED P7 40K VW MVOLT		1659	12	1.000	1.000

Notes:
1. Surface reflectance: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH".
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Shows lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

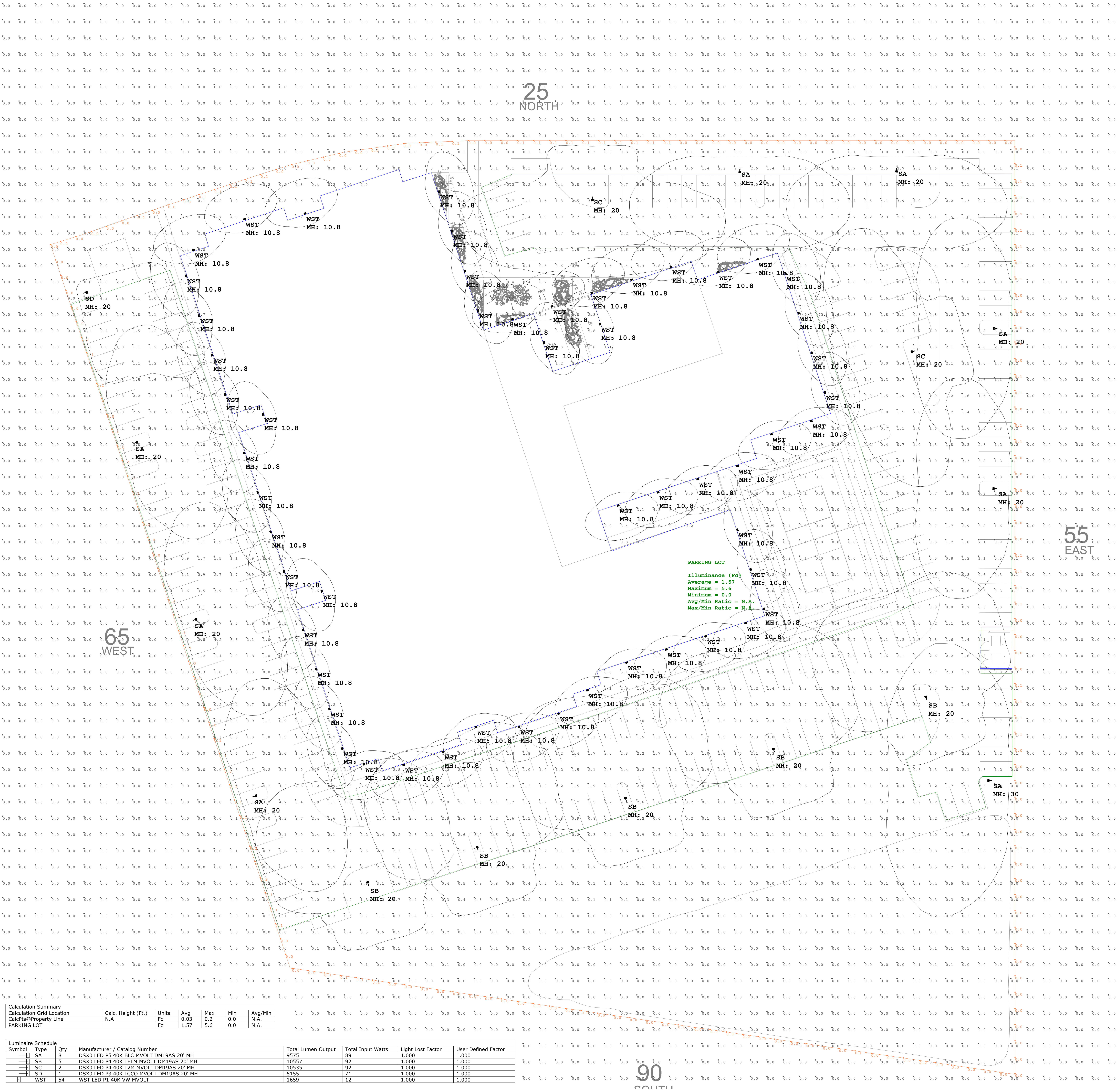
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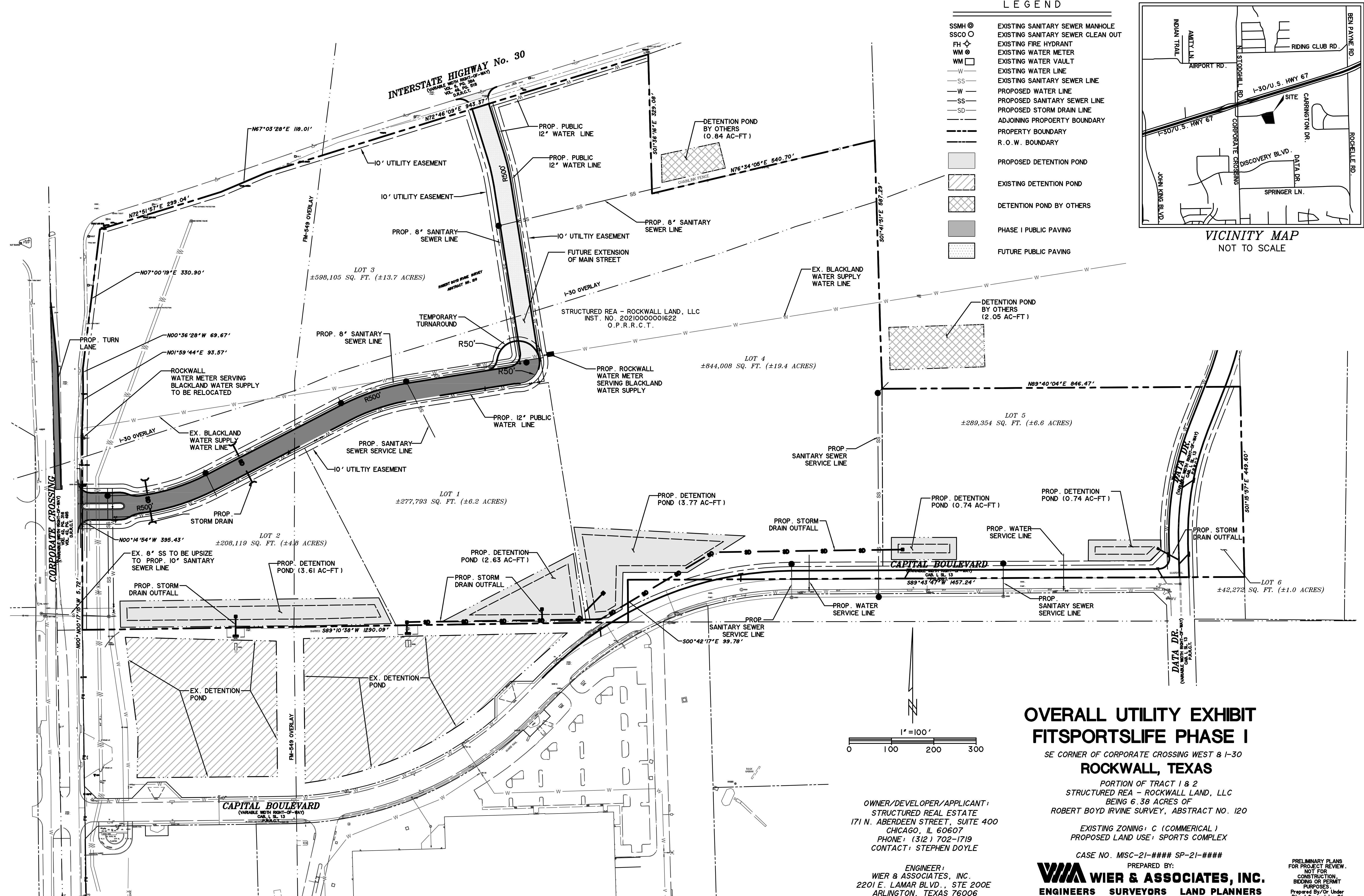
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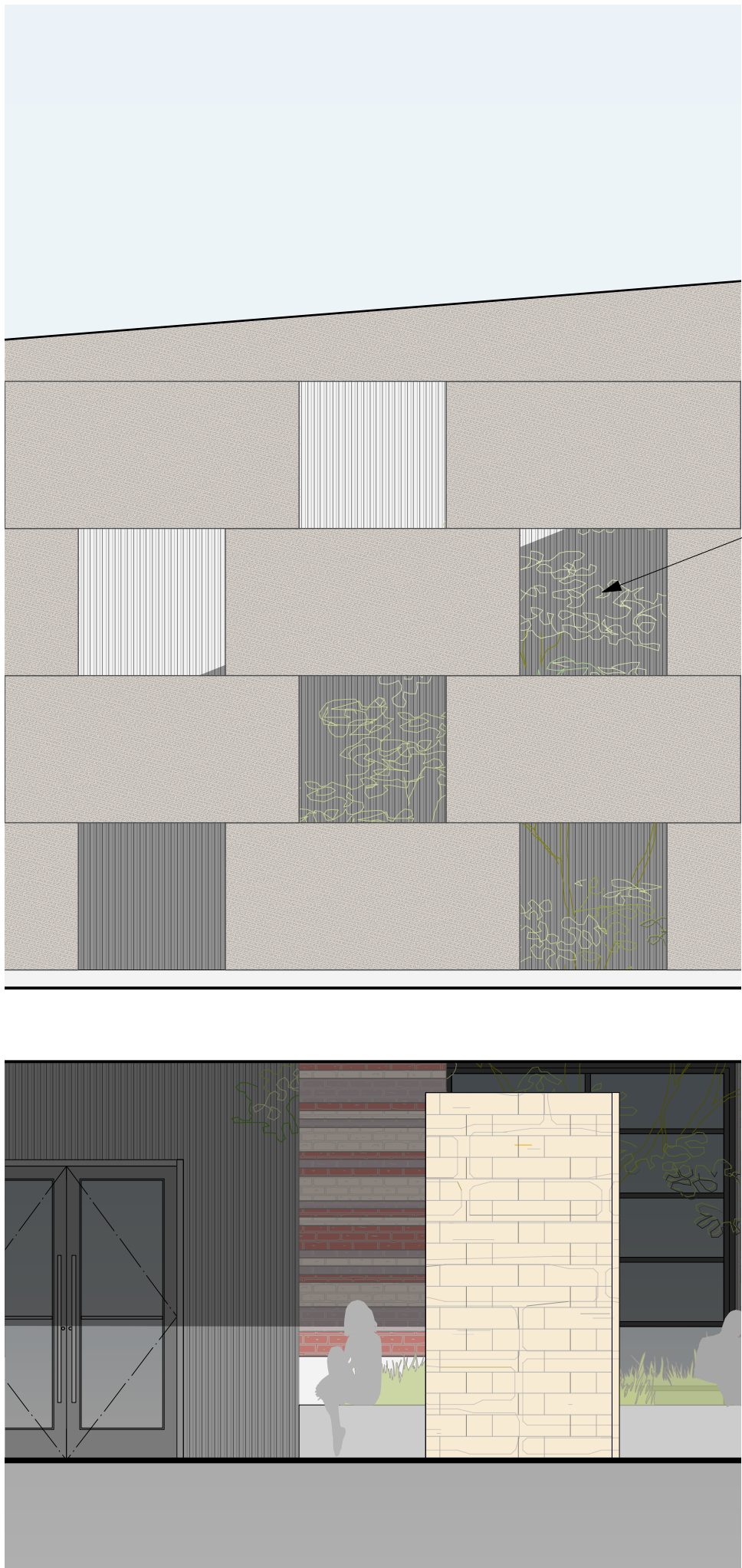
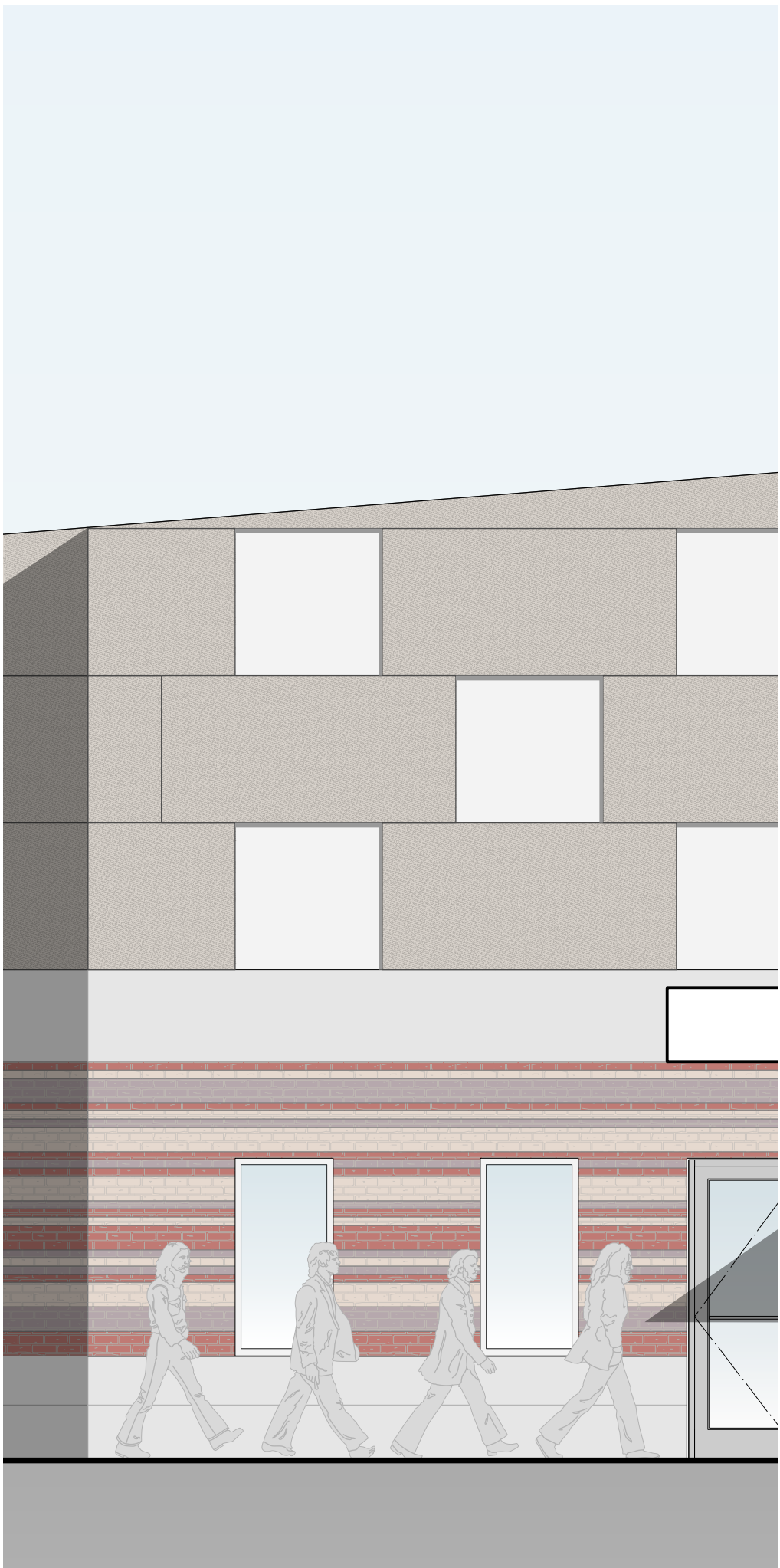
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- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



Notes:
1. Surface reflectances: Vertical:Horizontal = 50/50.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "TM".
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Schema lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





- PERFORATED WALLS AT COURTYARD
- 6' x 10' SIGNAGE PER CODE
- SMOOTH CONCRETE FINISH
- TEXTURED CONCRETE FINISH
- FLUTED CONCRETE WALLS, PAINTED
- CONTINUOUS BRICK BAND
- TEXAS STONE
- PLANTINGS ADJACENT TO ALL ENTRANCES AND EGRESS FOR INTEGRATION OF NATURAL ELEMENTS WITH INSIDE ENVIRONMENT

PLANTINGS AT ALL ENTRANCES



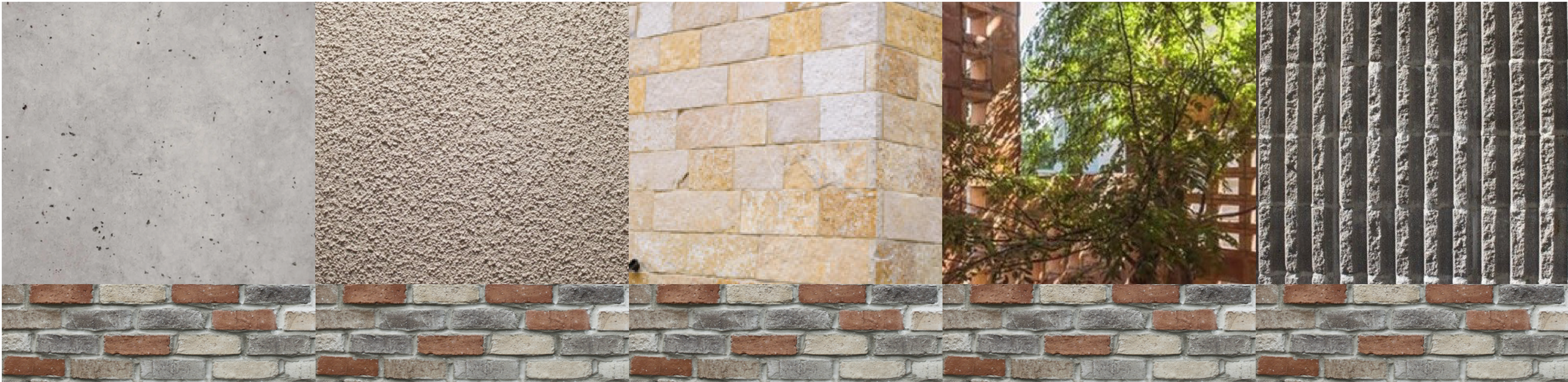
SMOOTH CONCRETE

TEXTURED CONCRETE

TEXAS STONE

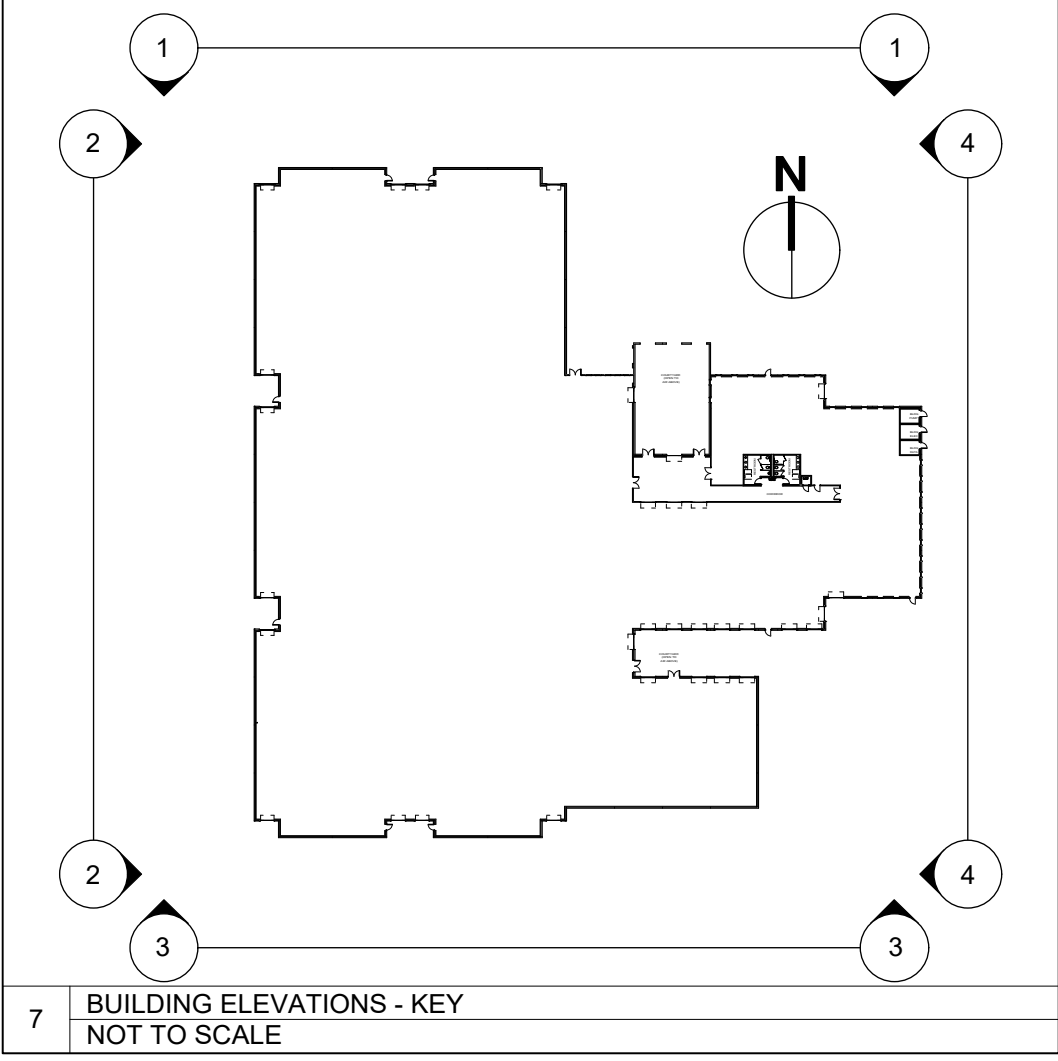
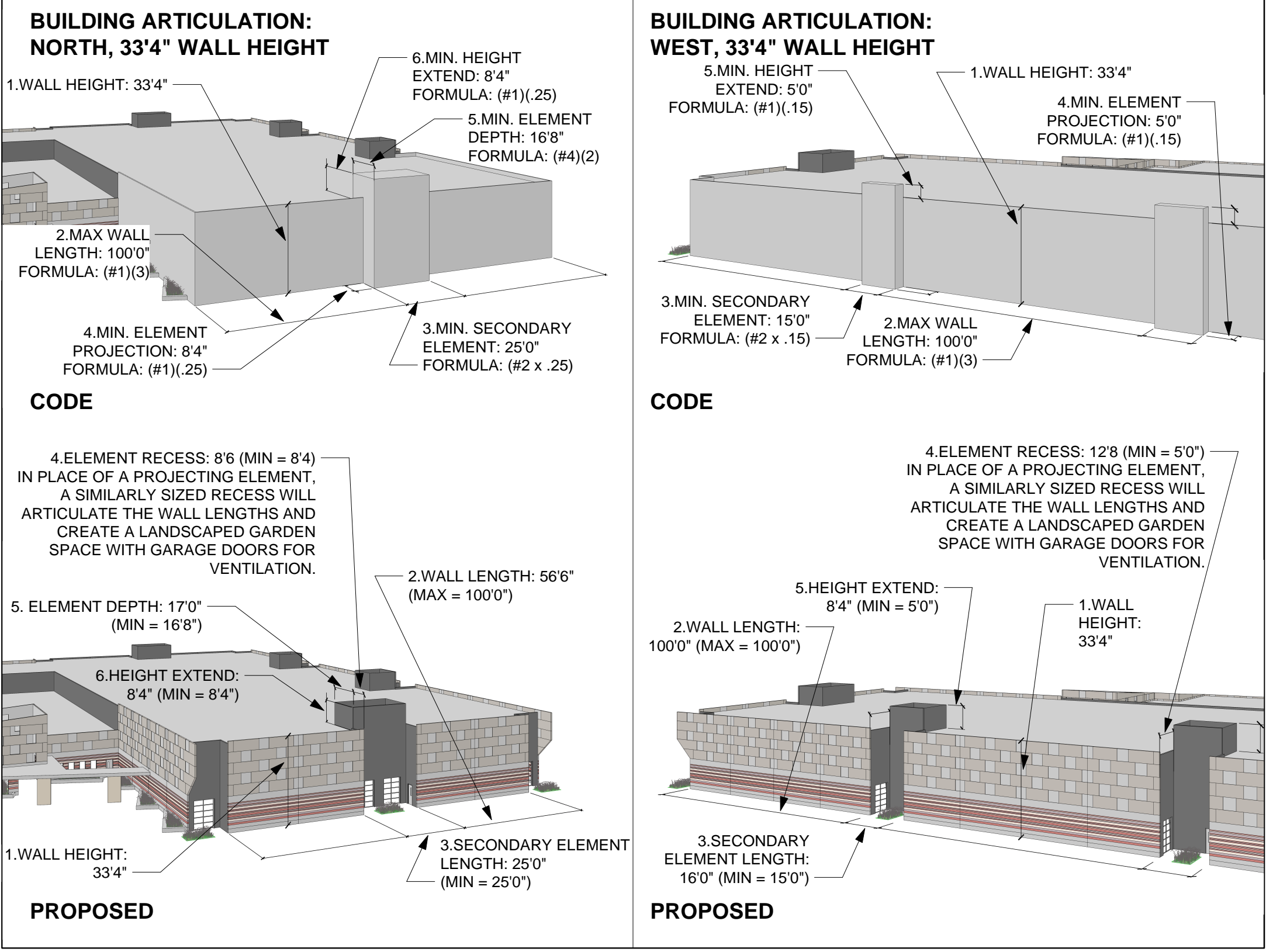
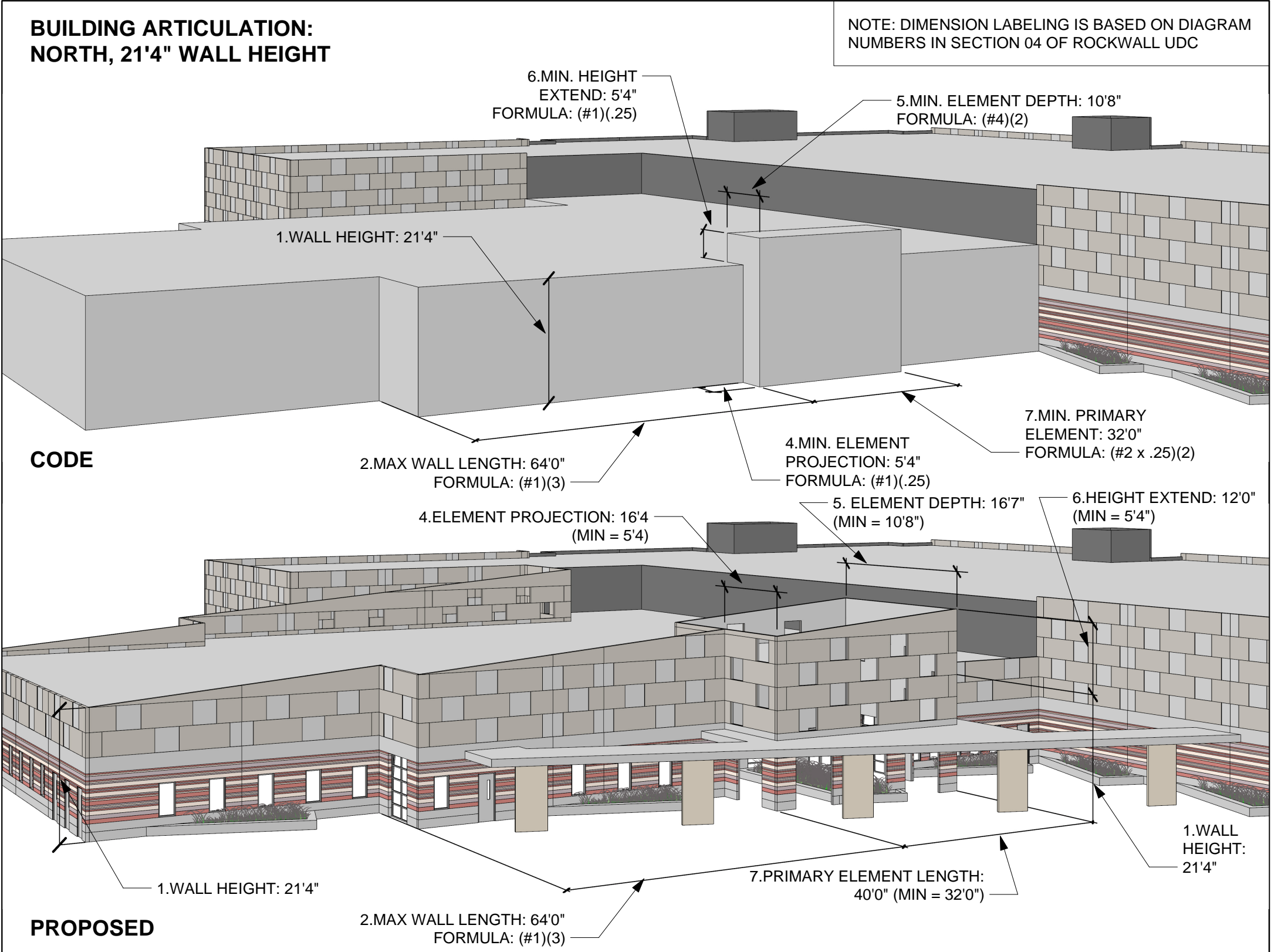
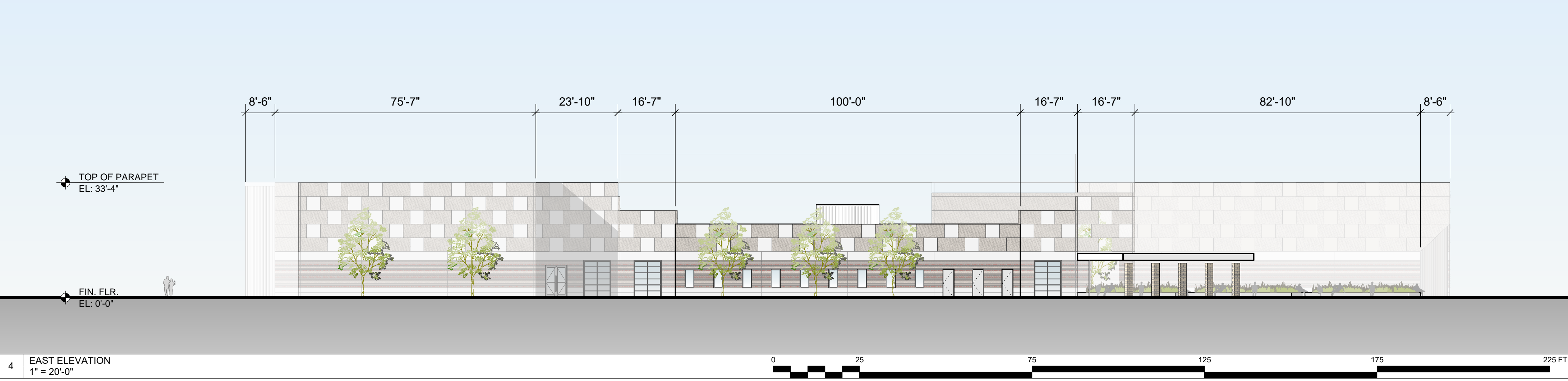
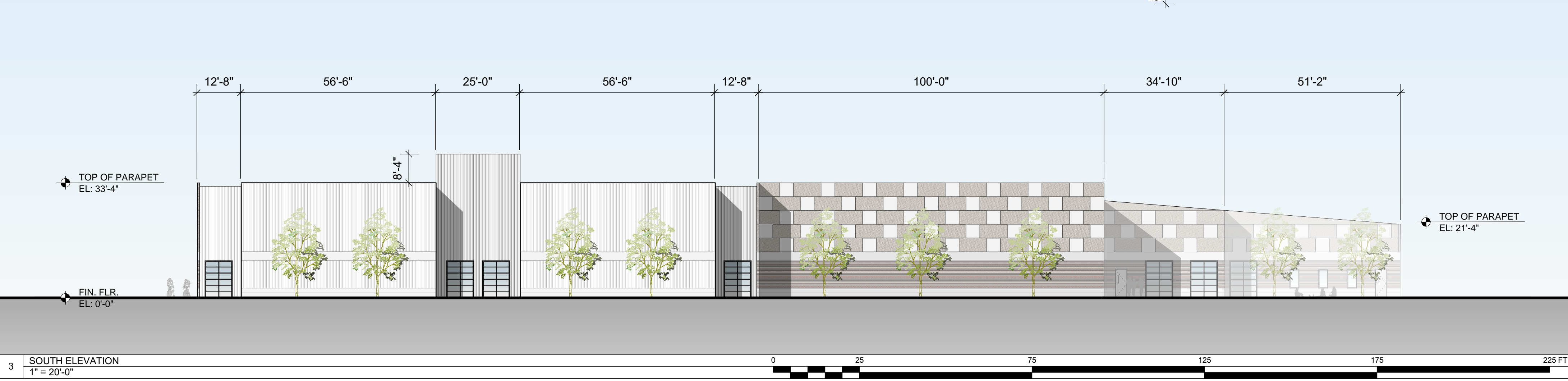
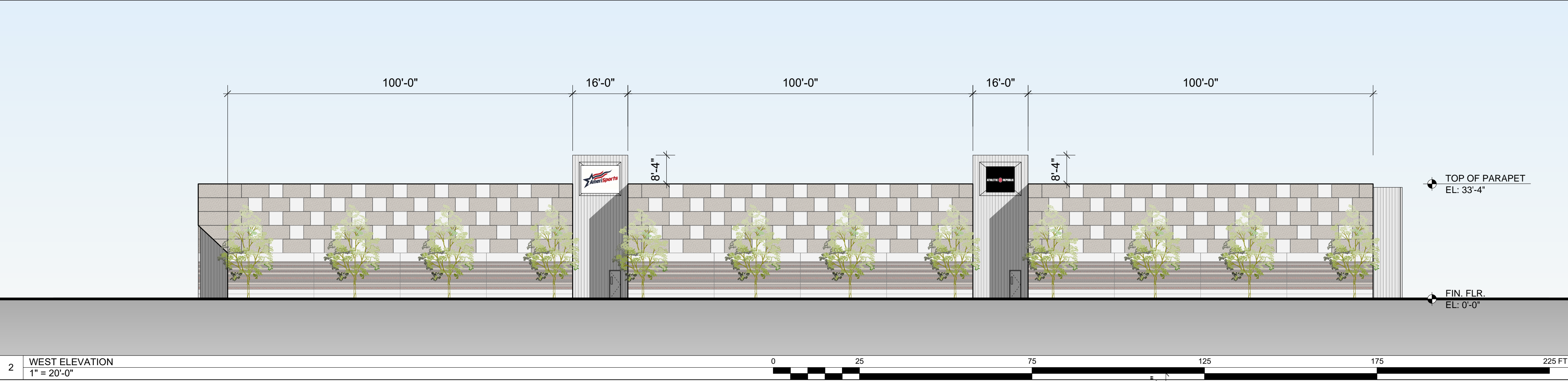
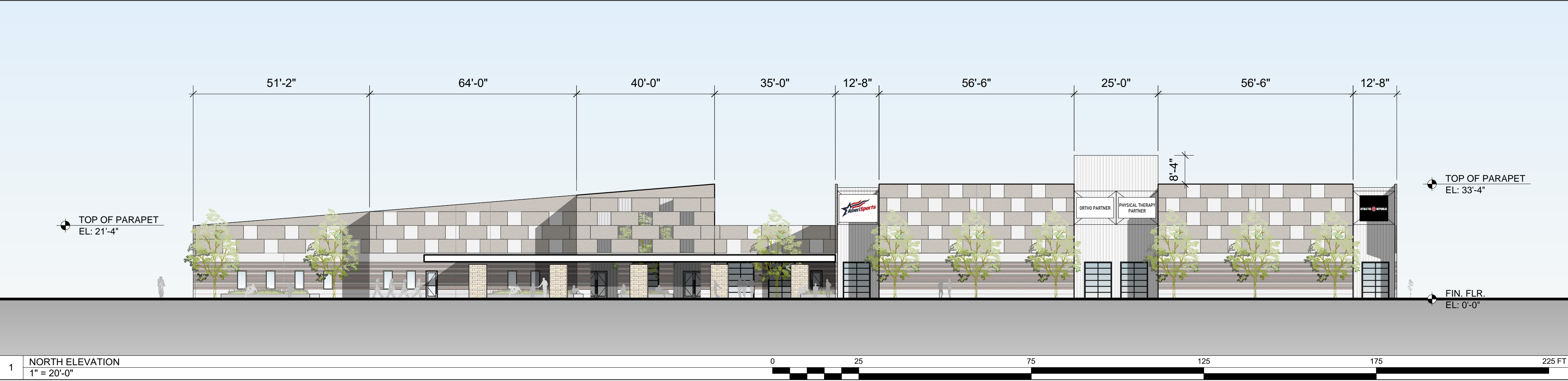
LANDSCAPE BEHIND PERFORATED WALLS

FLUTED CONCRETE WALLS



CONTINUOUS 10' HIGH BRICK BAND

SUBMISSION		SITE PLAN REVIEW: NOT FOR CONSTRUCTION
#	DESCRIPTION	
03/19/2021	SITE PLAN REVIEW	
DRAWING TITLE		DRAWING NO.
MATERIALS BOARD		A-2.1



WDS

wefing design studio

Structured

REAL ESTATE

PROJECT

FITSPORTLIFE
ROCKWALL, TEXAS

CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION

DATE DESCRIPTION

03/19/2021 SITE PLAN REVIEW

DRAWING TITLE

ELEVATIONS

SITE PLAN REVIEW:
NOT FOR
CONSTRUCTION

DRAWING NO.

A-2.0

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/22/2021

PROJECT NUMBER: SP2021-010
PROJECT NAME: Site Plan for FitSports Life
SITE ADDRESS/LOCATIONS:

CASE MANAGER: David Gonzales
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: dgonzales@rockwall.com

CASE CAPTION: Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - The "relocated water meter" can't be on the water line because it doesn't serve the businesses on IH30.

M - Make sure the geometry of the temporary turnaround facilitates the future eyebrow configuration.

M - Min 10' separation for Fire Line to all other utilities.

M - Dumpster Enclosure to have a drain to a Oil/water separator. To drain to storm system.

M - Show paving connection to Corporate Crossing.

M - Show installation of the left turn lane on Corporate Crossing.

M - Show water line and sanitary sewer line behind curb per City standard in street like in site plan.

M - Install 12" water along Corporate Crossing and IH30 along the street frontage.

M - Move Blackland meter to the end of 12" water line.

M - Show and Label NTMWD Easement.

The following items are informational for the engineering design review.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls 18" and over must be rock or stone face. No smooth concrete walls.

I - All power lines will be underground.

I - Must have NTMWD approval to cross the easements.

Drainage Items:

M- Detention is required. No walls allowed in drainage/detention easements.

I - Maximum slope is 4:1 (25%).

- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method and have detention study submitted. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Show and label dumpster areas to drain to oil/water separator and then to the storm lines.
- I - No grate inlets allowed.
- I - Verify that this project is "allowed" to drain to existing detention

Water and Wastewater Items:

- I - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- I - Minimum public sewer is 8". Full panel concrete replacement will be required for repairs.
- I - Must loop a minimum 8" water line on site.
- I - Must upsize the sewer line per the approved infrastructure study.
- I - Sewer pro-rata of \$2773.07/acre.
- M - Dumpster Enclosure to have a drain to a Oil/water separator. To drain to storm system.

Roadway Paving Items:

- I - Parking to be 20'x9' facing the building or nose-to-nose. Parallel parking spaces must be 22'x9'.
- I - No dead-end parking allowed.
- I - Drive isles to be 24' wide min.
- I - Drive thru lanes and bypass lane must be 12' minimum.
- I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- I - Fire lane to be in a platted easement.
- I - Traffic Impact Analysis is required for the roadways.
- I - TXDOT permits required.
- I - Existing street pavement cuts shall be full panel replacement.
- I - Public streets to meet city driveway spacing requirements.
- I - Must dedicate ROW for Data Dr to connect to IH30 per the Master Thoroughfare Plan. (60' ROW, 41B-B paving)
- M- Show paving connection to Corporate Crossing
- M- Show installation of the left turn lane on Corporate Crossing

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No mulch allowed in positive drainage areas that may migrate into storm system or ROW.
- I - No trees or landscaping in NTMWD easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	04/22/2021	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	David Gonzales	04/22/2021	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/22/2021	Approved w/Condition

04/22/2021: efowler03/26/2021 9:26 AM

- Consider ground wash lighting or directional lights in the grass areas on the edges of all parking lots and shrubs to eliminate any shadows or areas that a person might be capable of hiding.
- Consider directional lighting on all sides of the business, industry standard or greater.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide. • Consider lighting in or around dumpsters to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider parabolic mirror(s) and security cameras to provide a light of sight for anyone who may be hiding inside restricted or confined areas.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses.
- Consider all existing and new exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building. • Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for all doors, including South doors of the business to ensure that employees will have a complete and unobstructed view prior to exiting the business. • Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	04/21/2021	Needs Review

04/21/2021: SP2021-010; Subsequent Submittal - Site Plan for Fit Sports Life Complex – FM-549 & IH-30

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2021-010) in the lower right-hand corner of all pages of all revised plan submittals. Remove the MISC-21-#### label. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the Development Standards of Article 05 that are applicable to the subject property.

M.5 All pages of the site plan (i.e. photometric plan, landscape plan, treescape plan, and building elevations) are required to have a signature block affixed to each plan for the Planning and Zoning Commission Chairman and the Director of Planning to sign once approved. (§03.04.A, Art. 11, UDC)

I.6 Please note that the property will require a final plat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.7 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Mechanical Equipment Screening. Are the units on the ground or on the roof? If on roof, dash-in RTU's or indicate on building elevations. If ground mounted, indicate locations on site and provide screening detail - All buildings shall be designed so that no HVAC, satellite dishes, appurtenances and/or any other mechanical equipment visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site? Provide screening detail. (§06.02.C.3, of Art. 05, UDC)

M.9 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Although the plan calls for more than the required percentage of landscaping, please correct the zoning district percentage from 15% to 20% on the landscape plan. (§01.01.B, Art. 05, UDC)

2) The detention pond requires a minimum of one (1) canopy tree and one (1) accent tree per each 750-SF of detention area. Provide the correct number of trees for this area. (§05.03.D, Art. 08, UDC)

M.10 Treescape Plan. Plan is OK as submitted, mitigation satisfied with tree plantings.

M.11 Photometric Plan. Please make the following clarifications and changes to the photometric plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Provide cut sheets for all exterior lighting fixtures. (§03.03, Art. 07,UDC)

M.12 Building Elevations. Requires review by the Architectural Review Board (ARB) and a recommendation from the ARB forwarded to the Planning and Zoning Commission for consideration.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections, and provide any additional

information that is requested by staff. Revisions for this case will be due no later than May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

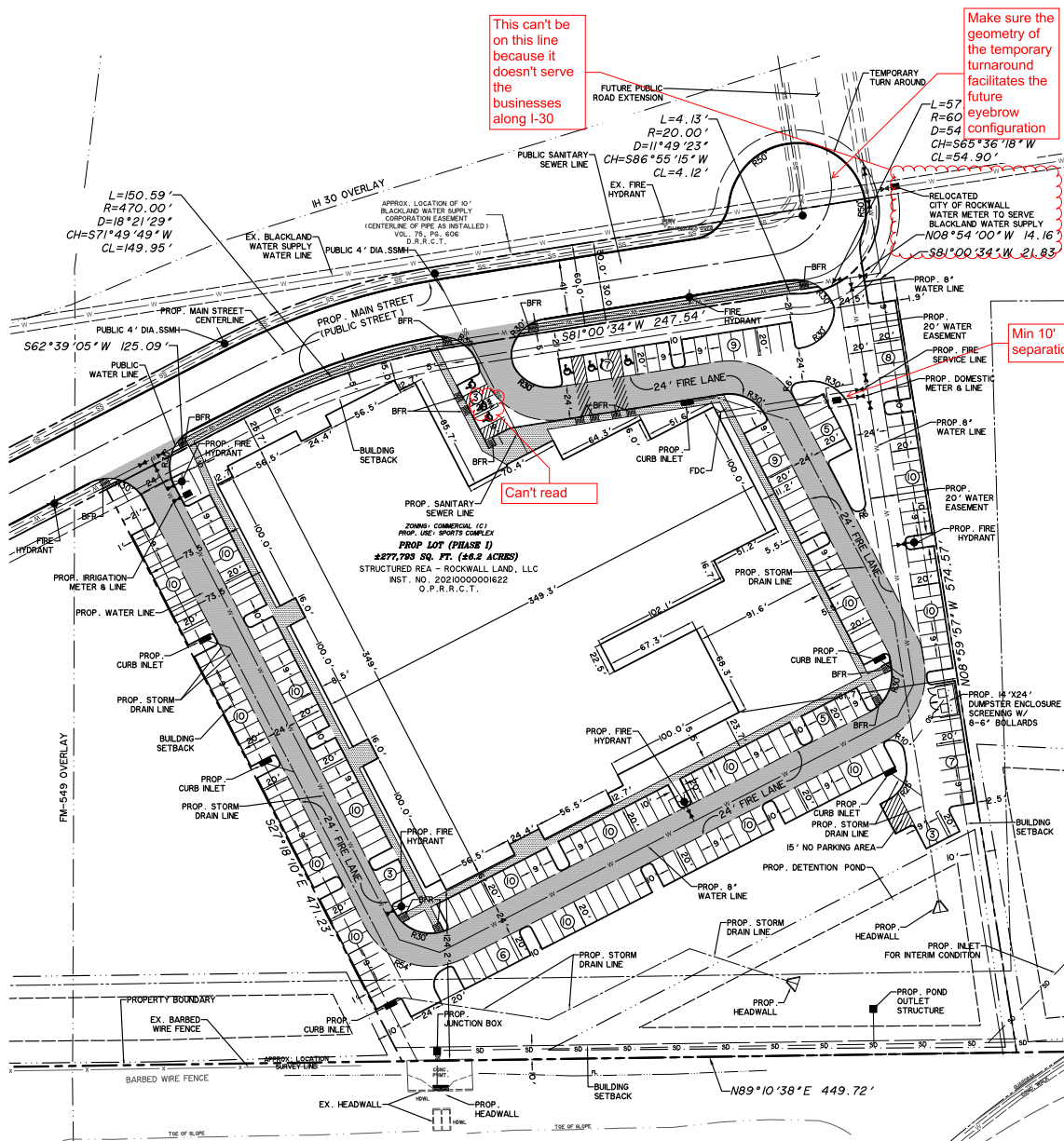
M.15 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.16 The Architectural Review Board (ARB) meeting will be held on April 27, 2021 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.17 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Architectural Review Board (ARB) meeting will be held on April 27, 2021.
- 3) Planning & Zoning regular meeting will be held on May 11, 2021.
- 4) Architectural Review Board (ARB) meeting will be held on May 11, 2021 (if required).

I.18 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City requires that a representative(s) be present for all meetings.



SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL 20.49 ACRES ± (892,663 SQ. FT. ±) TRACT 2 STRUCTURED REA - ROCKWALL 31.44 ACRES ± (1,349,360 SQ. FT. ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LOT PHASE I 6.38 ACRES ± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF ±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB 1/250 SF (14,000 SF) PUBLIC RECREATION CLUB 3/GAME COURT GYM 1/200 SF (7,000 SF) MEDICAL OFFICE 1/200 SF (10,500 SF)
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (19'x20') 21 HANDICAP-ACCESSIBLE 22

NOTE:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADI WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
3. ALL PARKING AREAS AND FIRE LANES SHALL BE CONCRETE.

ONSITE PAVEMENT SHALL BE:
PARKING: 5" CONCRETE PAVE
FIRE LANE: 6" CONCRETE PAVE
DUMPSTER: 7" CONCRETE PAVE

4. BUILDING IS PARALLEL & PERPENDICULAR TO WEST LINE.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
6. ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN, MAP, AND SPECIFICATIONS, WAS APPROVED BY THE COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20__.

WITNESS OUR HANDS, THIS ____ OF ____ 20__.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR _____

General Items:
I - Must meet City Standards of Design and Construction
I - 4% Engineering Inspection Fees
I - Impact Fees (Water, Wastewater & Roadway)
I - Minimum easement width is 20' for new easements. No structures allowed in easements.
I - Retaining walls 3' and over must be engineered.
I - All retaining walls 18" and over must be rock or stone face. No smooth concrete walls.
I - All power lines will be underground.
I - Must have NTMWD approval to cross the easements.

Drainage Items:
M- Detention is required. No walls allowed in drainage/detention easements.
I - Maximum slope is 4:1 (25%).
I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method and have detention study submitted. Review fees apply.
I - Manning's C-value is per zoning type.
I - Show and label dumpster areas to drain to oil/water separator and then to the storm lines.
I - No grate inlets allowed.
I - Verify that this project is "allowed" to drain to existing detention

Water and Wastewater Items:
I - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
I - Minimum public sewer is 8". Full panel concrete replacement will be required for repairs.
I - Must loop a minimum 8" water line on site.
I - Must upslope the sewer line per the approved infrastructure study.
I - Sewer pro-rata of \$2773.07/acre.
M - Dumpster Enclosure to have a drain to a Oil/water separator. To drain to storm system.

Roadway Paving Items:
I - Parking to be 20'x9' facing the building or nose-to-nose. Parallel parking spaces must be 22'x9'.
I - No dead-end parking allowed.
I - Drive isles to be 24' wide min.
I - Drive thru lanes and bypass lane must be 12' minimum.
I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
I - Fire lane to be in a platted easement.
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I - TXDOT permits required.
I - Existing street pavement cuts shall be full panel replacement.
I - Public streets to meet city driveway spacing requirements.
I - Must dedicate ROW for Data Dr to connect to IH30 per the Master Thoroughfare Plan. (60' ROW, 41B-B paving)
M - Show paving connection to Corporate Crossing
M - Show installation of the left turn lane on Corporate Crossing

Landscaping:
I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
I - No mulch allowed in positive drainage areas that may migrate into storm system or ROW.
I - No trees or landscaping in NTMWD easement.

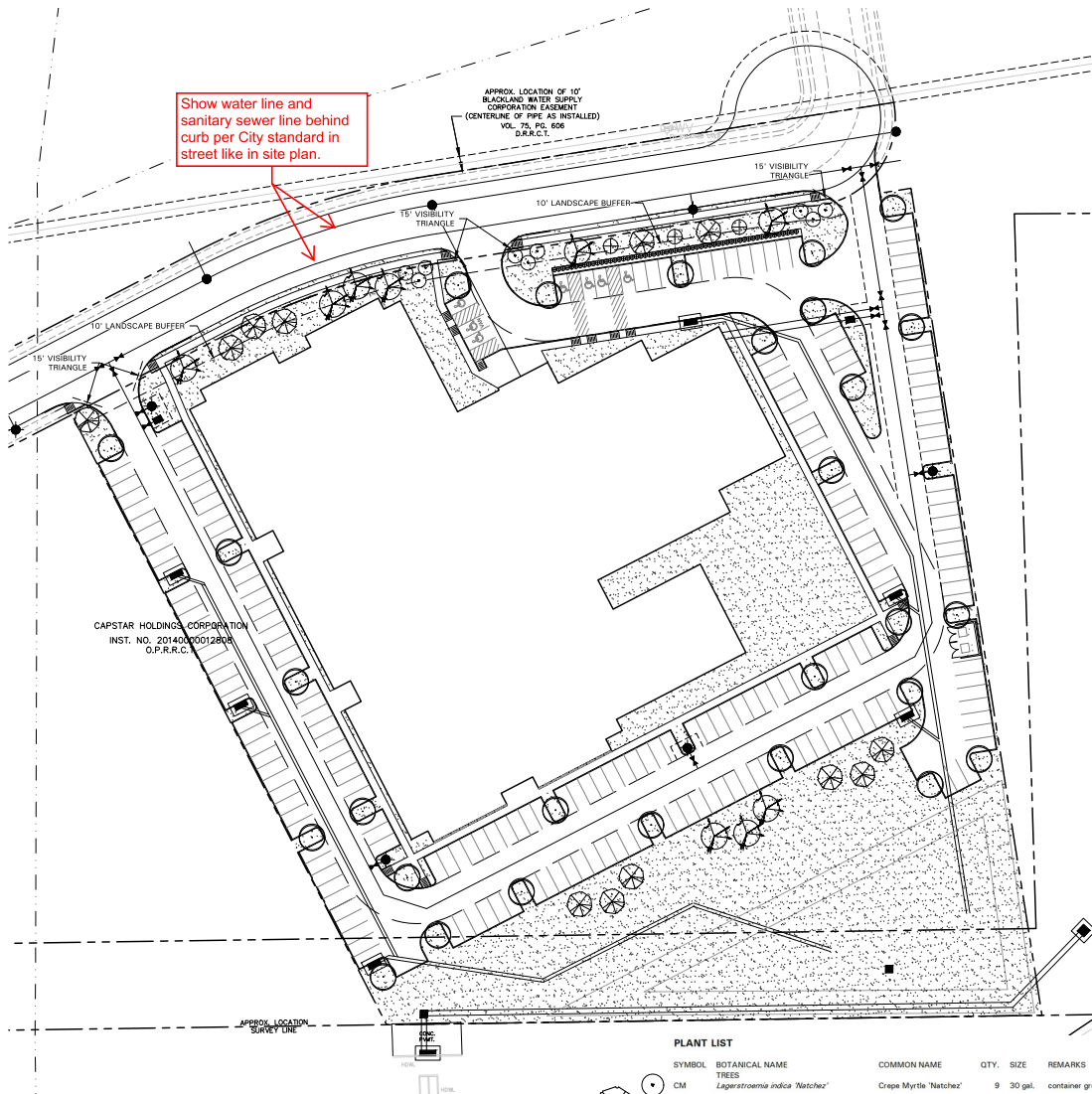
FITS
SE CO
ROBE

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

CASE NO. MISC-21-#### SP-21-####

PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76010-7700
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW NOT FOR CONSTRUCTION. BROUGHT ON FOR REVIEW PURPOSES. Prepared By or Under Direct Supervision of Randy Eardley, P.E. Texas Registration No. 104957 On Date Shown Below



CAPSTAR HOLDINGS CORPORATION
INST. NO. 2014000012804
C.P.R.C.T.

APPROX. LOCATION OF 10'
UNDERGROUND WATER SUPPLY
EASEMENT
(CENTERLINE OF PIPE AS INSTALLED)
VOL. 75, PG. 606
D.R.C.T.

Show water line and
sanitary sewer line behind
curb per City standard in
street like in site plan.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
CM	<i>Lagerstroemia indica 'Natchez'</i>	Crape Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8' Ht., 4' spread, matching
CO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	9	4" cal.	container grown, 15' Ht., 5' spread, 5' branching Ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' Ht., 5' spread, 5' branching Ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	12	4" cal.	container grown, 15' Ht., 5' spread, 5' branching Ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	30 gal.	container grown, 8' Ht., 4' spread, 3 trunk min.
TS	SHRUBS/GROUND COVER <i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	57	5 gal.	container full, 20" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 9" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, TRIMMING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Ten (10) foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) f.o.i.
STREET A: 585 f.o.i.
Required: 112 canopy trees, 4" cal. (12) canopy trees, 4" cal. (12) accent trees, 4" min. ht. (12) accent trees, 4" min. ht. (12) canopy trees (28) canopy trees

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscape.
One (1) canopy tree per 10 parking spaces
Total interior parking lot area: 41,433 s.f.
Total parking spaces: 225 spaces

Required: 2,072 s.f. (5%) (15%)
Provided: 7,238 s.f. (17%)
(23) canopy trees (28) canopy trees

SITE LANDSCAPING

- Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.
Total site: 5.23 AC; 227,793 s.f.

Required: 34,189 s.f. (15%) (15%)
Provided: 95,456 s.f. (42%)
17,084 s.f. (50%) 33,262 s.f.



SCALE: 1" = 40' 0"
0 20 40 80



4245 North Central Exp
Suite 501
Dallas, Texas 75205
214.865.7192



FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions:
No. Date Detail

Sheet Title:

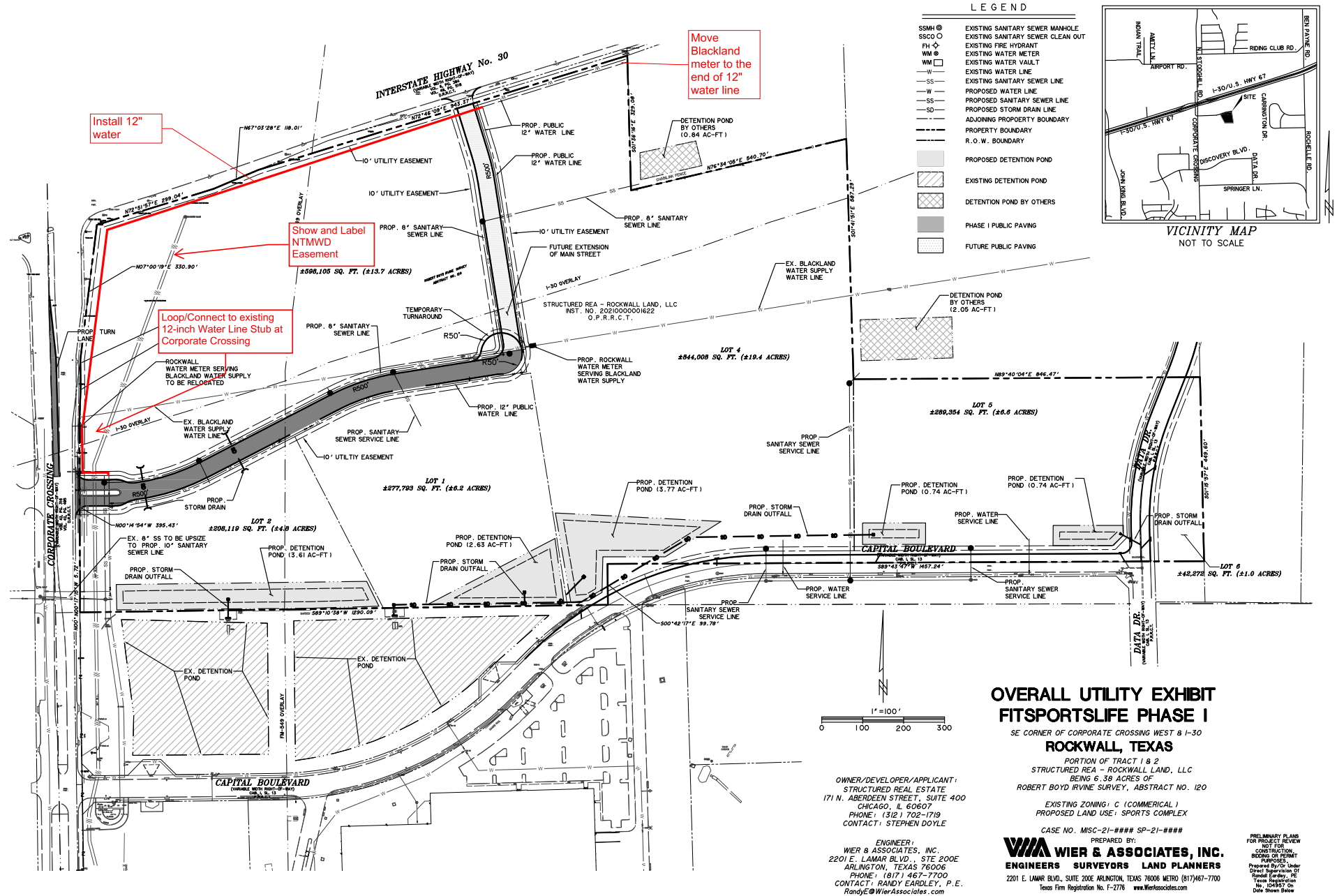
LANDSCAPE
PLAN

Sheet Number:

L2.01

CASE NO: MISC-21-0000 SP-21-0000
ENGINEER:
WISER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76010
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION **Southeast corner of IH 30 and Corporate Crossing**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial C**

CURRENT USE **Vacant**

PROPOSED ZONING **N/A**

PROPOSED USE **Sports Complex**

ACREAGE **6.38**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **1**

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **Structured REA-Rockwall Land, LLC**

☒ APPLICANT **Wier & Associates, Inc.**

CONTACT PERSON **Stephen Doyle**

CONTACT PERSON **Randall Eardley**

ADDRESS **171 N Aberdeen Street, Suite 400**

ADDRESS **2201 E. Lamar Blvd, Ste 200E**

CITY, STATE & ZIP **Chicago, Illinois 60607**

CITY, STATE & ZIP **Arlington, Texas 76006**

PHONE **847-951-8974**

PHONE **817-467-7700**

E-MAIL **SteveD@structuredrea.com**

E-MAIL **RandyE@WierAssociates.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Doyle [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 377.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

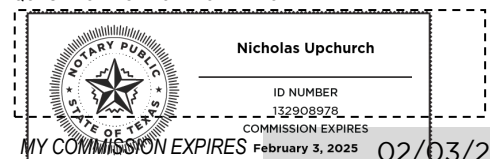
State of Texas, County of Hays
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 20 21

OWNER'S SIGNATURE

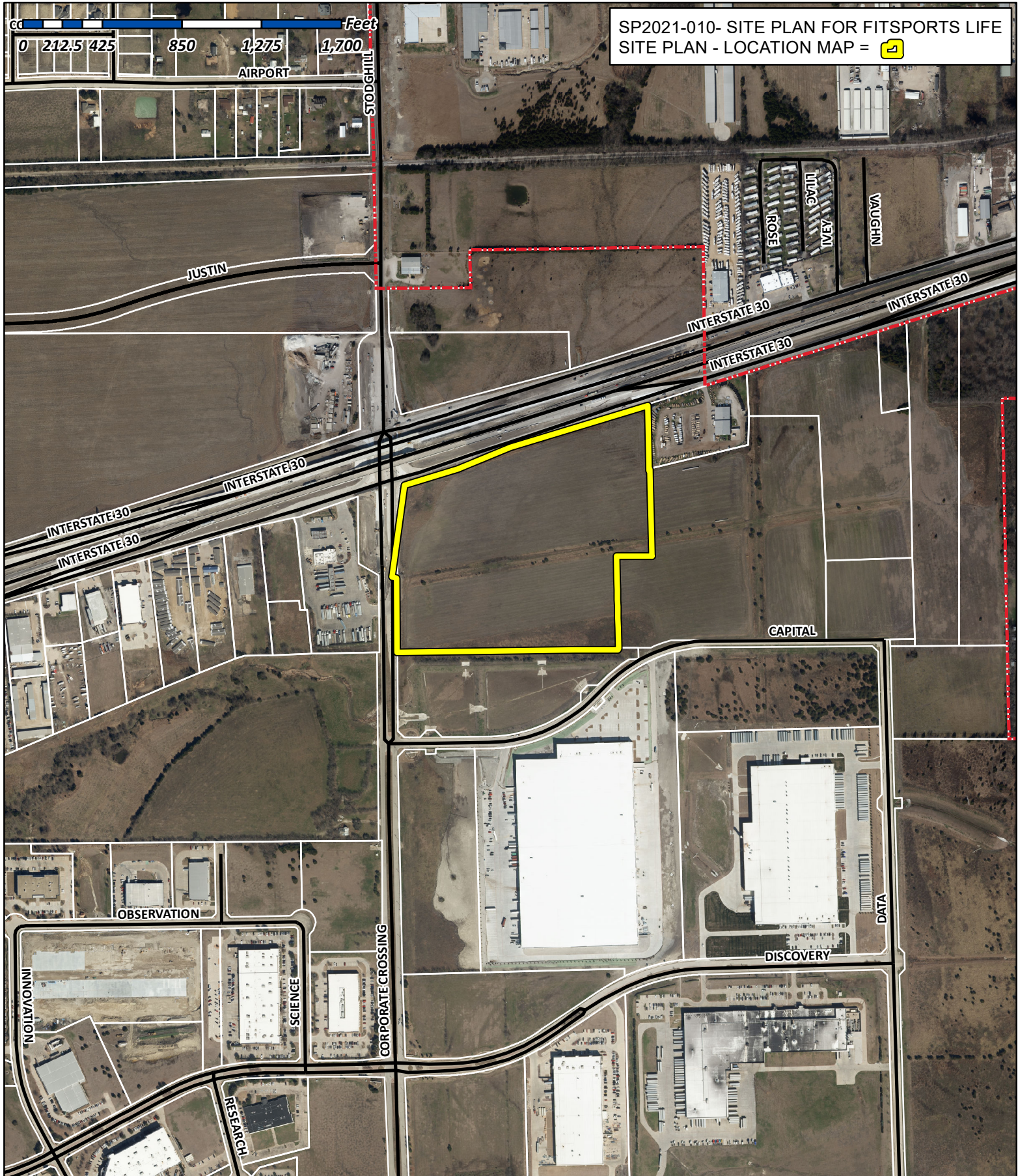
Stephen Doyle

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Nicholas Upchurch



MY COMMISSION EXPIRES February 3, 2025 02/03/2025

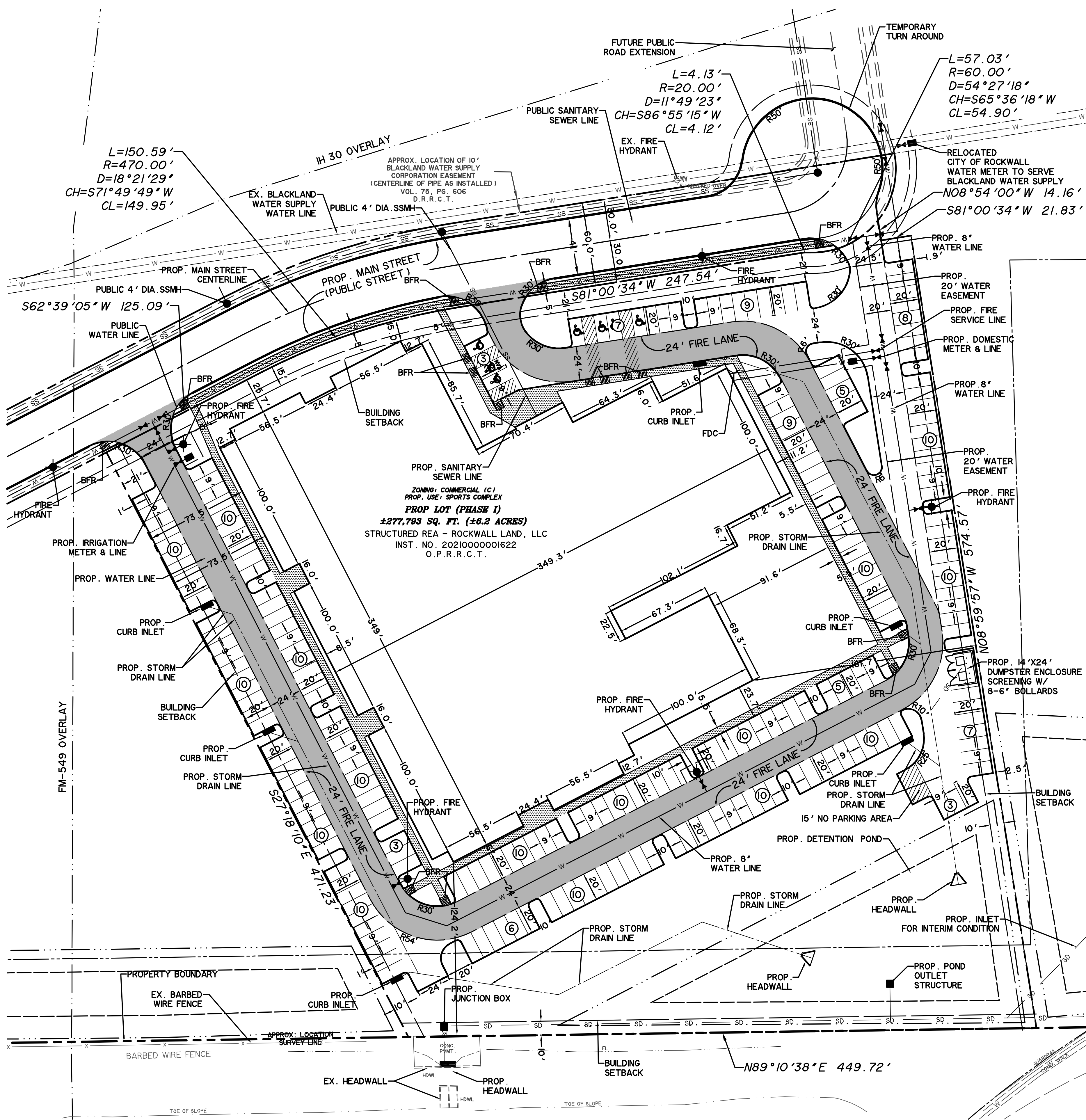


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ. FT. ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ. FT. ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE I: 6.38 ACRES ± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF ±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7 225

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ONSITE PAVEMENT SHALL BE:
- | | |
|------------|----------------------|
| PARKING: | 5" CONCRETE PAVEMENT |
| FIRE LANE: | 6" CONCRETE PAVEMENT |
| DUMPSTER: | 7" CONCRETE PAVEMENT |
- BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

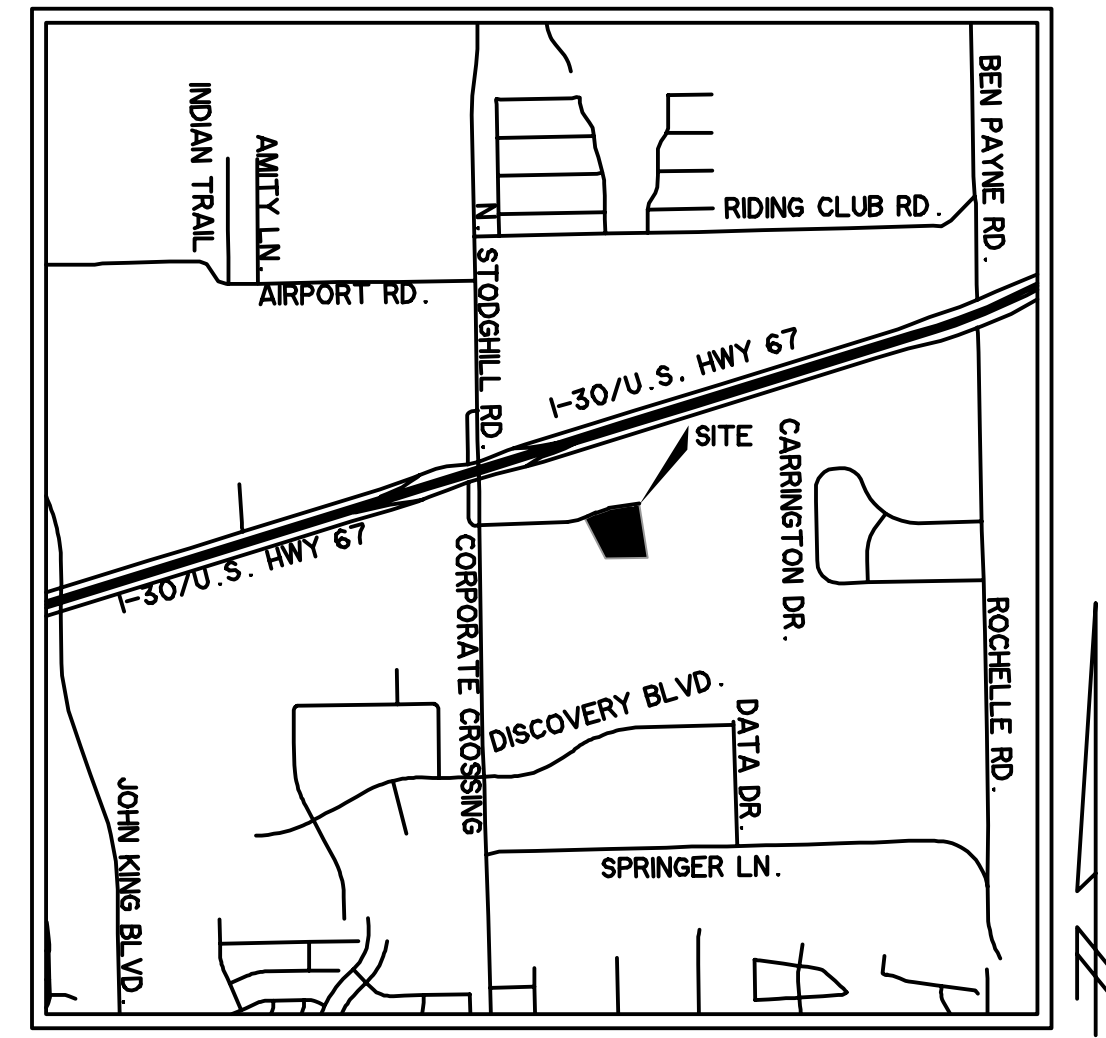
CASE NO. MISC-21-#### SP-21-####

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

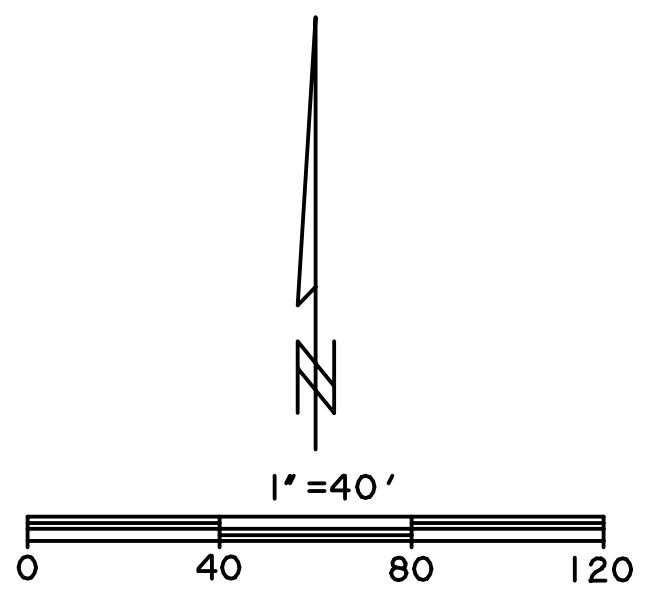
PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/On Under
Direct Supervision Of
Randall Eardley, PE
Texas Registration
No. 104567 On
Date Shown Below.

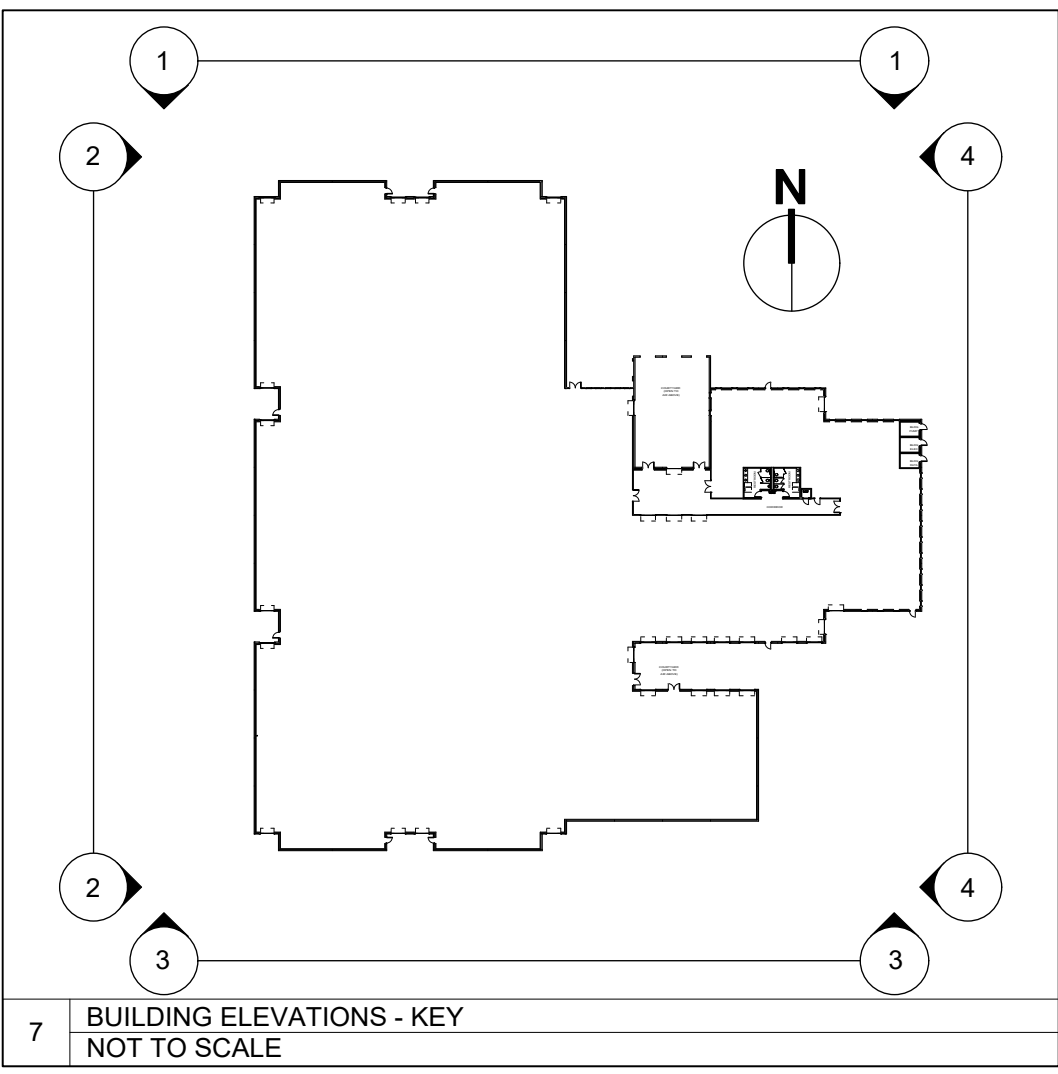
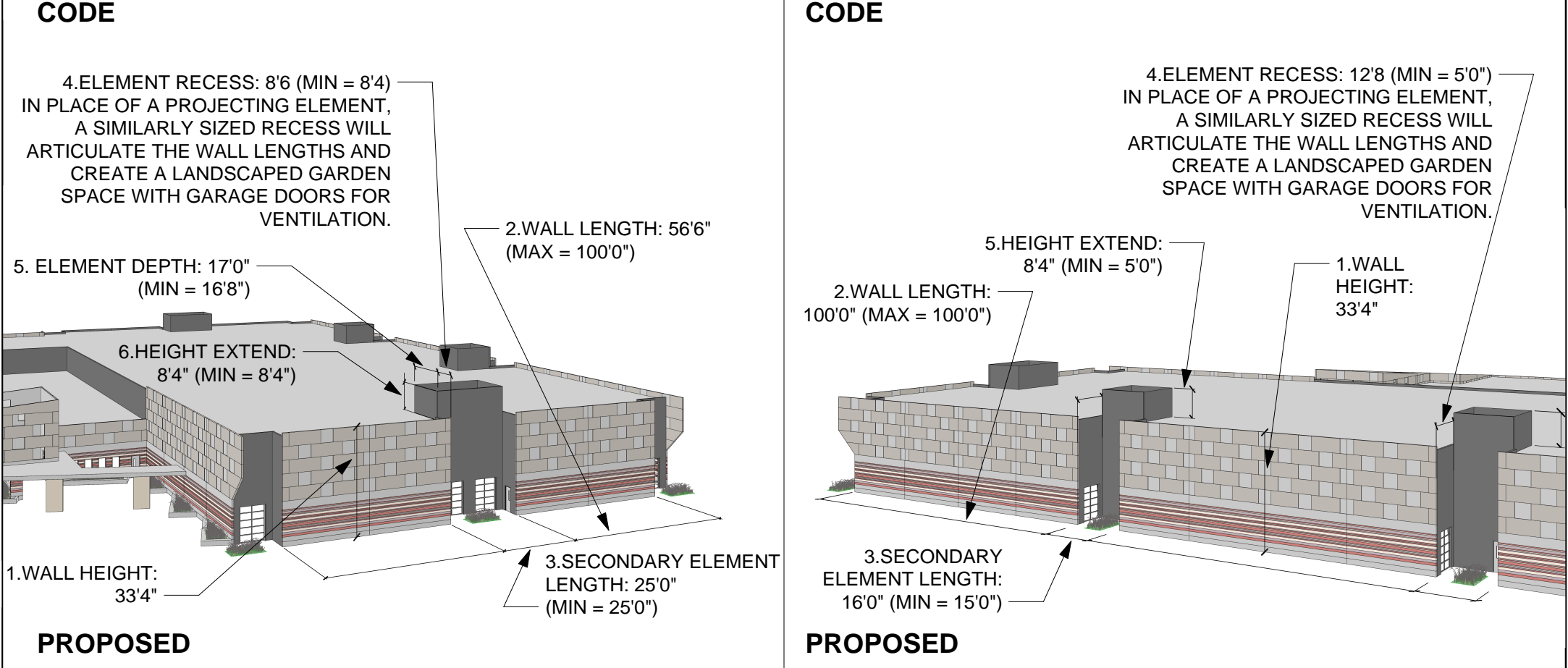
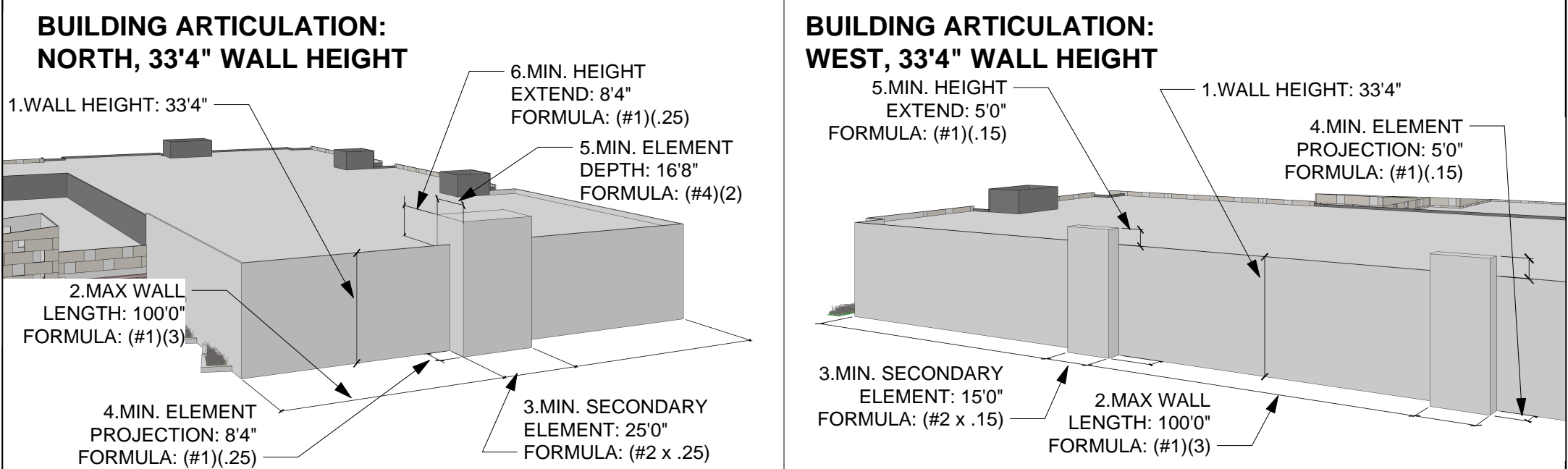
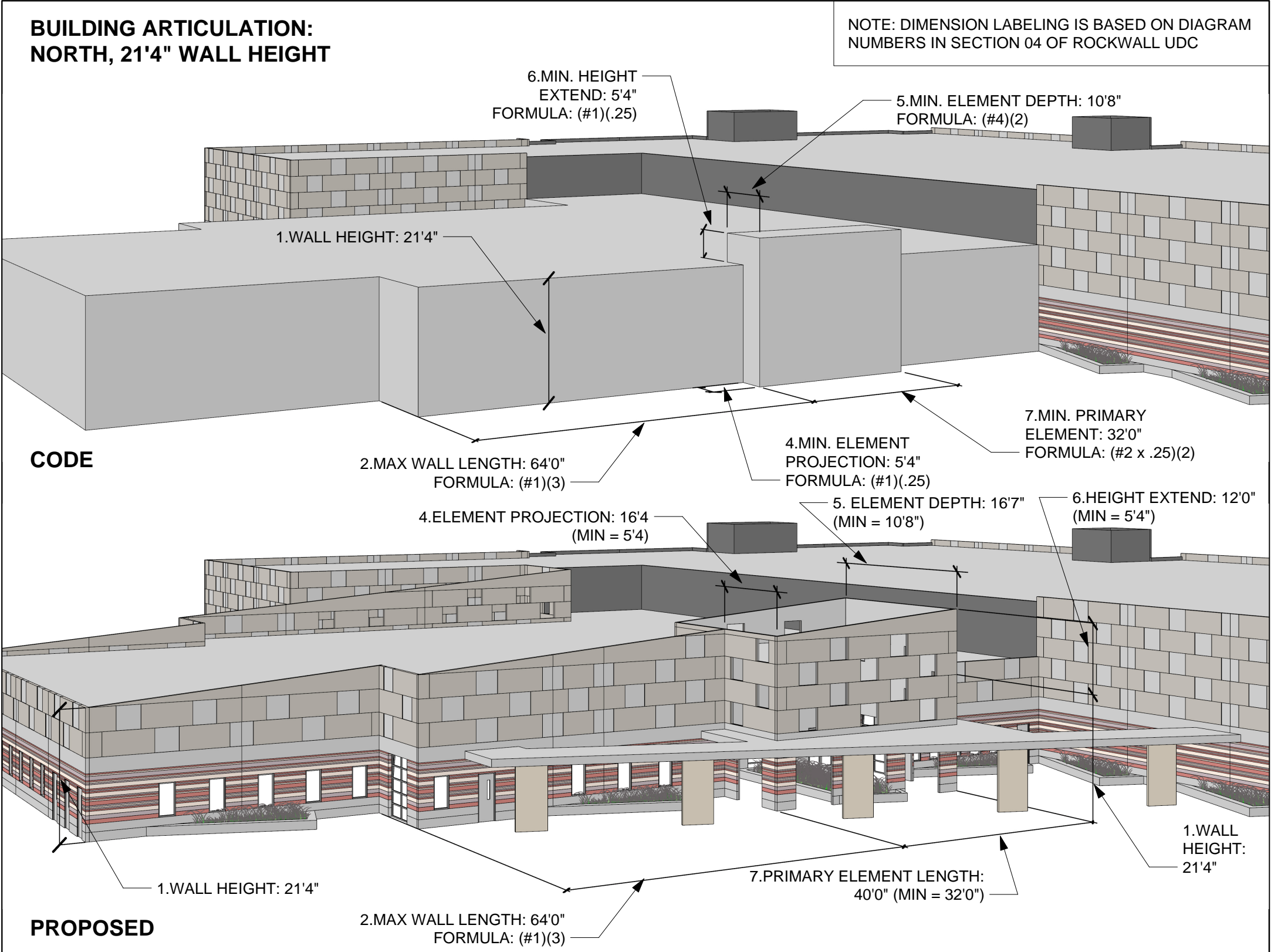
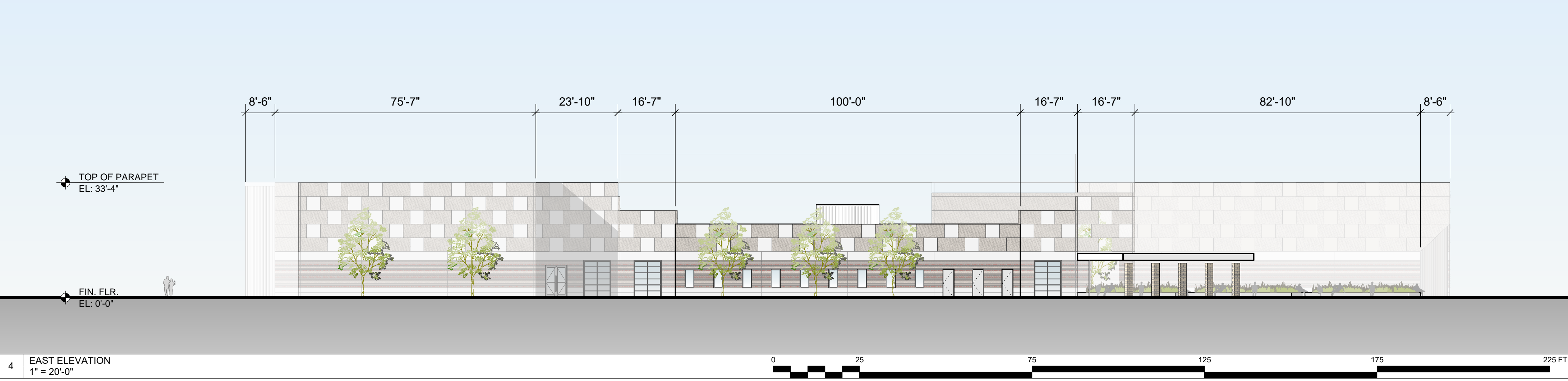
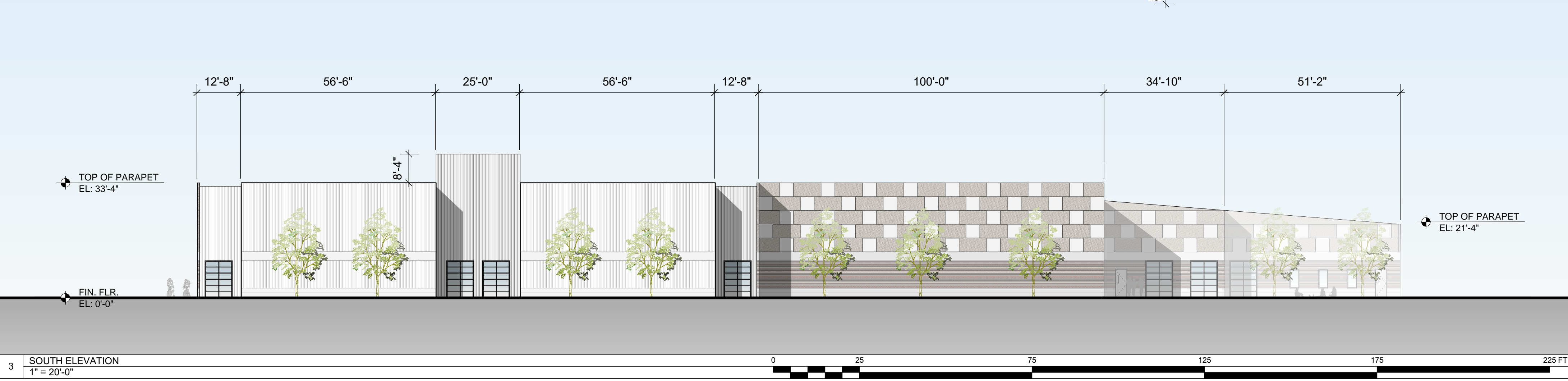
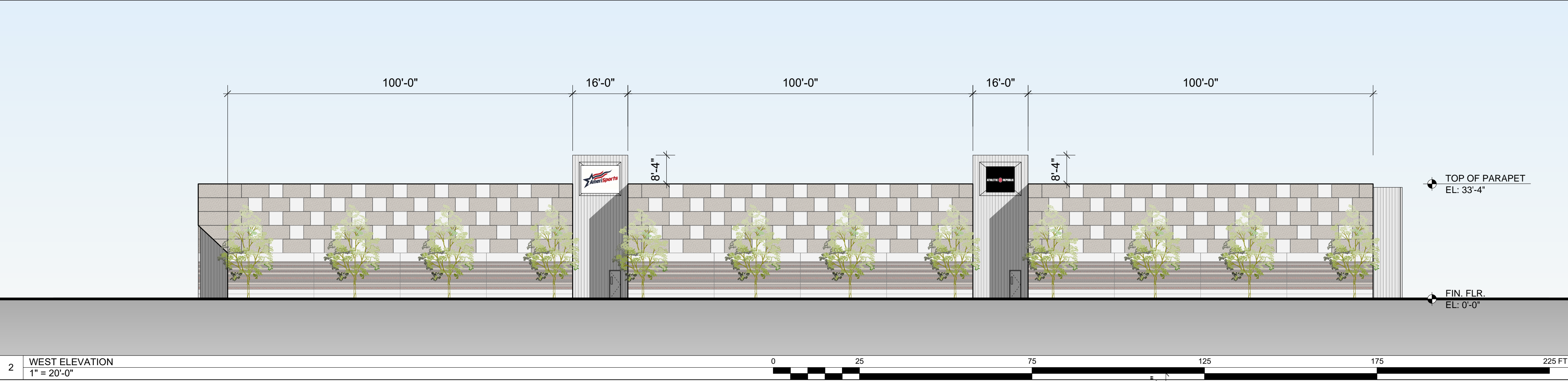
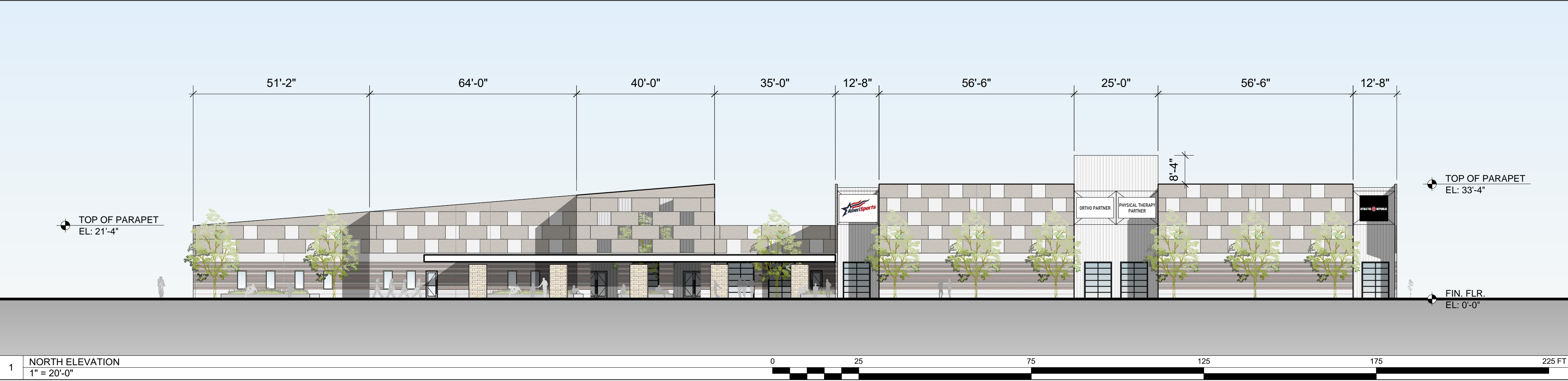


VICINITY MAP
NOT TO SCALE

LEGEND

- | | |
|--------|--|
| SSMH @ | EXISTING SANITARY SEWER MANHOLE |
| SSCO @ | EXISTING SANITARY SEWER CLEAN OUT |
| FH @ | EXISTING FIRE HYDRANT |
| WM @ | EXISTING WATER METER |
| WM @ | EXISTING WATER VAULT |
| W | EXISTING WATER LINE |
| SS | EXISTING SANITARY SEWER LINE |
| W | PROPOSED WATER LINE |
| SS | PROPOSED SANITARY SEWER LINE |
| SD | PROPOSED STORM DRAIN LINE |
| --- | PHASE I PARCEL BOUNDARY |
| --- | PROPERTY BOUNDARY |
| --- | PROPOSED WATER EASEMENT |
| --- | PROPOSED FIRE LANE |
| --- | BUILDING SETBACK |
| BFR | BARRIER FREE RAMP |
| --- | PROP. SIDEWALK |
| --- | PROP. PUBLIC ACCESS & UTILITY EASEMENT |





WDS

wefing design studio

Structured

REAL ESTATE

PROJECT

FITSPORTLIFE
ROCKWALL, TEXAS

CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION

DATE DESCRIPTION

03/19/2021 SITE PLAN REVIEW

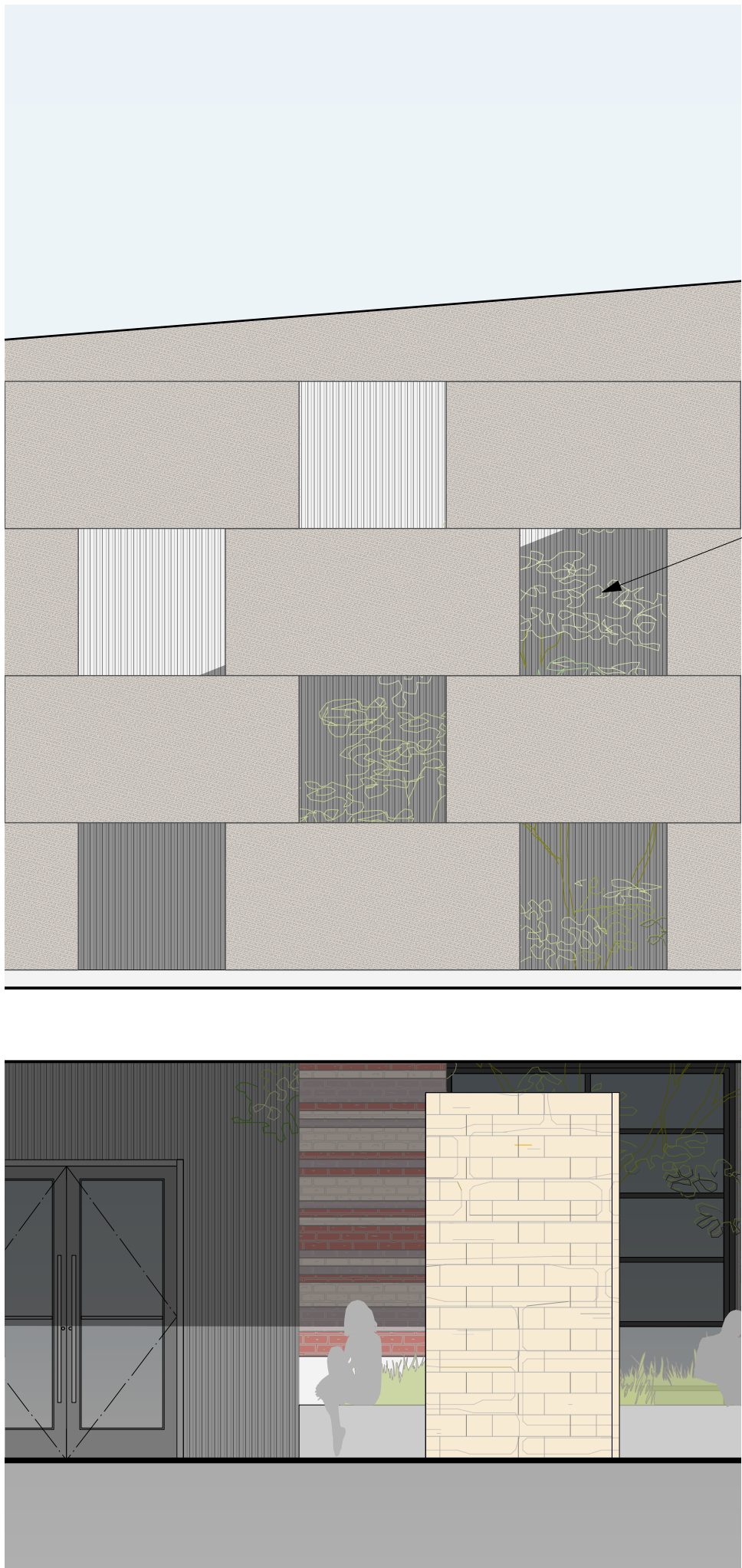
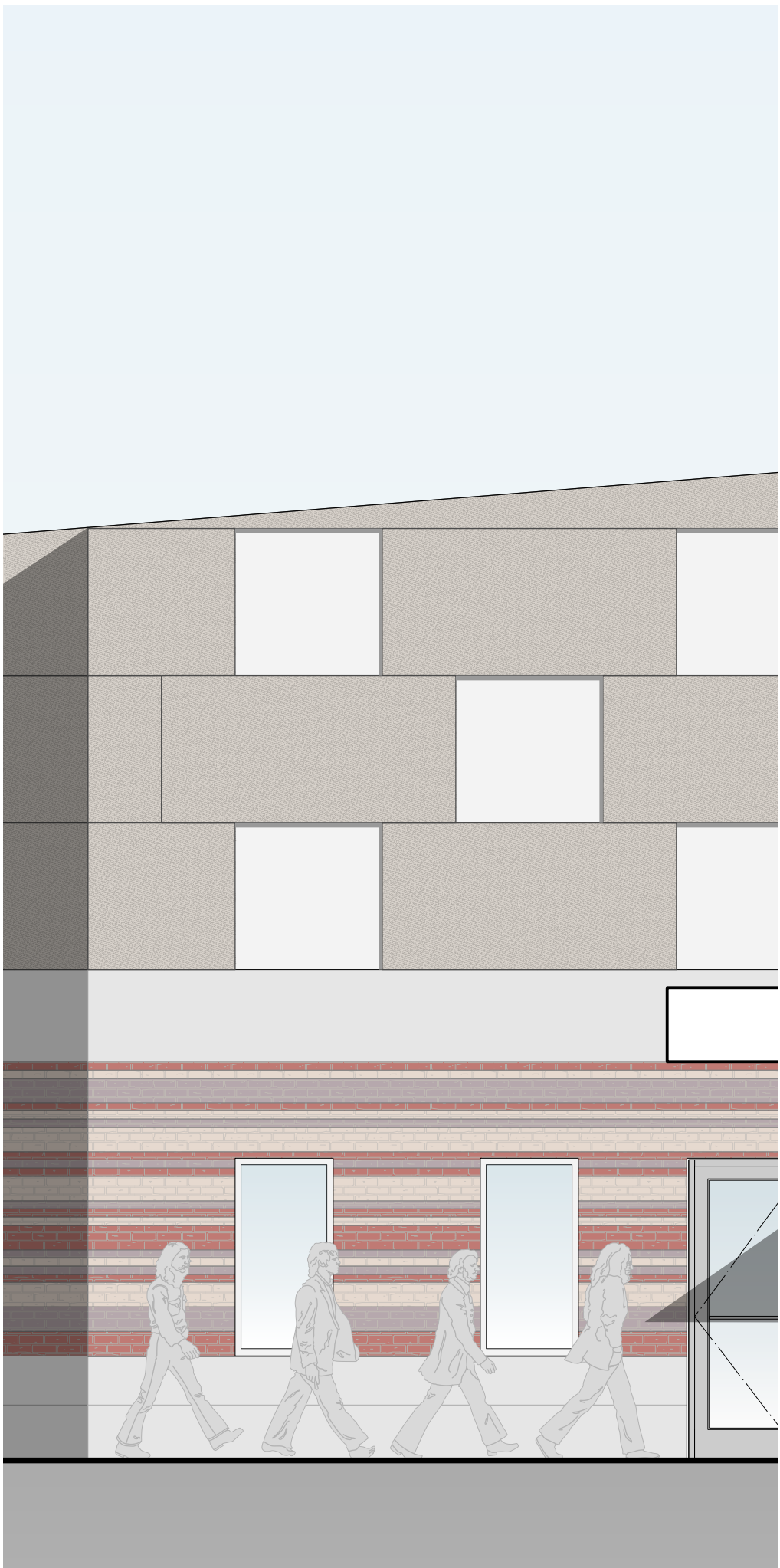
DRAWING TITLE

ELEVATIONS

SITE PLAN REVIEW:
NOT FOR
CONSTRUCTION

DRAWING NO.

A-2.0



- PERFORATED WALLS AT COURTYARD
- 6' x 10' SIGNAGE PER CODE
- SMOOTH CONCRETE FINISH
- TEXTURED CONCRETE FINISH
- FLUTED CONCRETE WALLS, PAINTED
- CONTINUOUS BRICK BAND
- TEXAS STONE
- PLANTINGS ADJACENT TO ALL ENTRANCES AND EGRESS FOR INTEGRATION OF NATURAL ELEMENTS WITH INSIDE ENVIRONMENT

PLANTINGS AT ALL ENTRANCES



SMOOTH CONCRETE

TEXTURED CONCRETE

TEXAS STONE

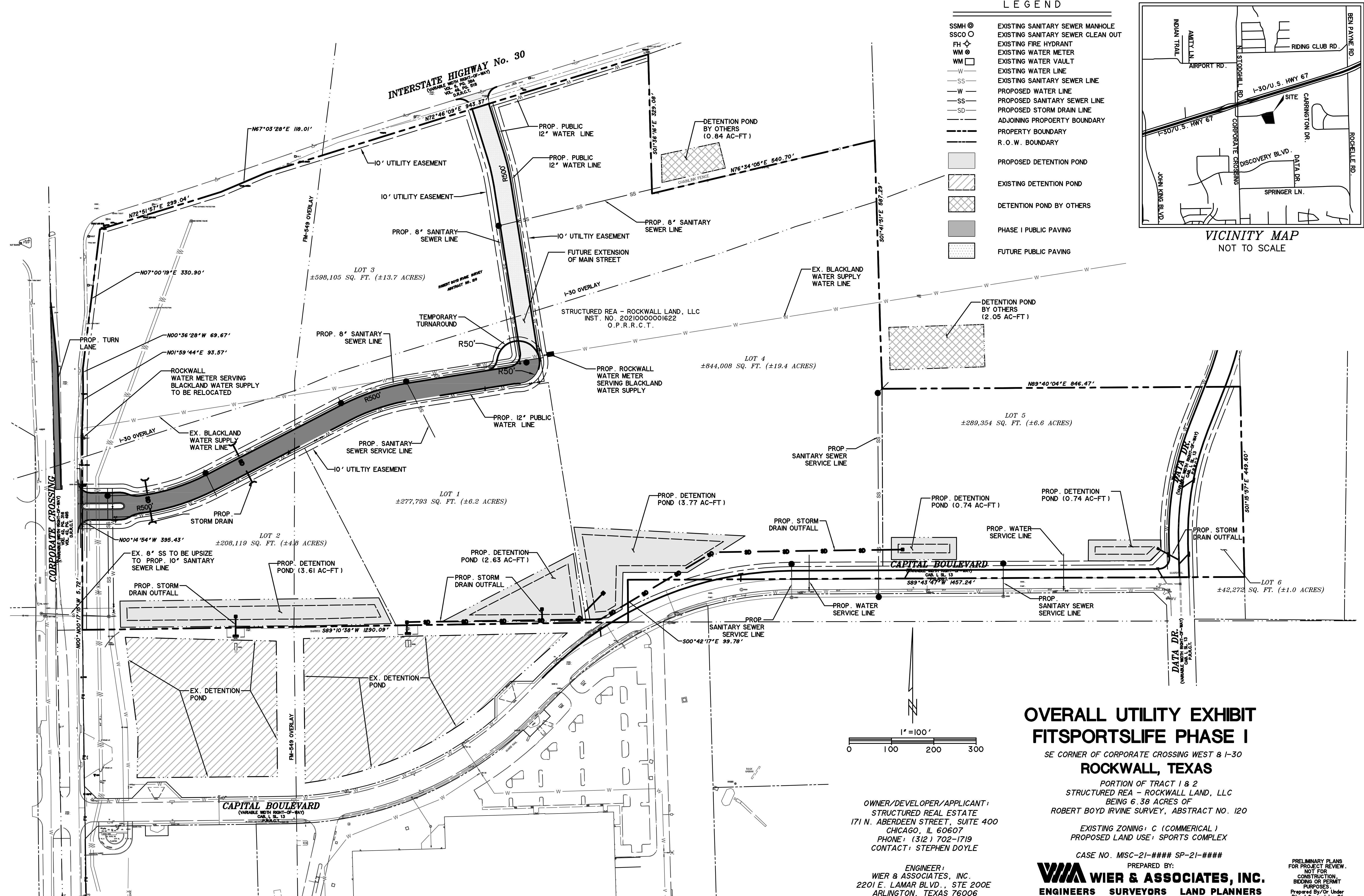
LANDSCAPE BEHIND PERFORATED WALLS

FLUTED CONCRETE WALLS



CONTINUOUS 10' HIGH BRICK BAND

SUBMISSION		SITE PLAN REVIEW: NOT FOR CONSTRUCTION
#	DESCRIPTION	
03/19/2021	SITE PLAN REVIEW	
DRAWING TITLE		DRAWING NO.
MATERIALS BOARD		A-2.1



OVERALL UTILITY EXHIBIT
FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERICAL)
PROPOSED LAND USE: SPORTS COMPLEX

CASE NO. MSC-21-#### SP-21-####

PREPARED BY:

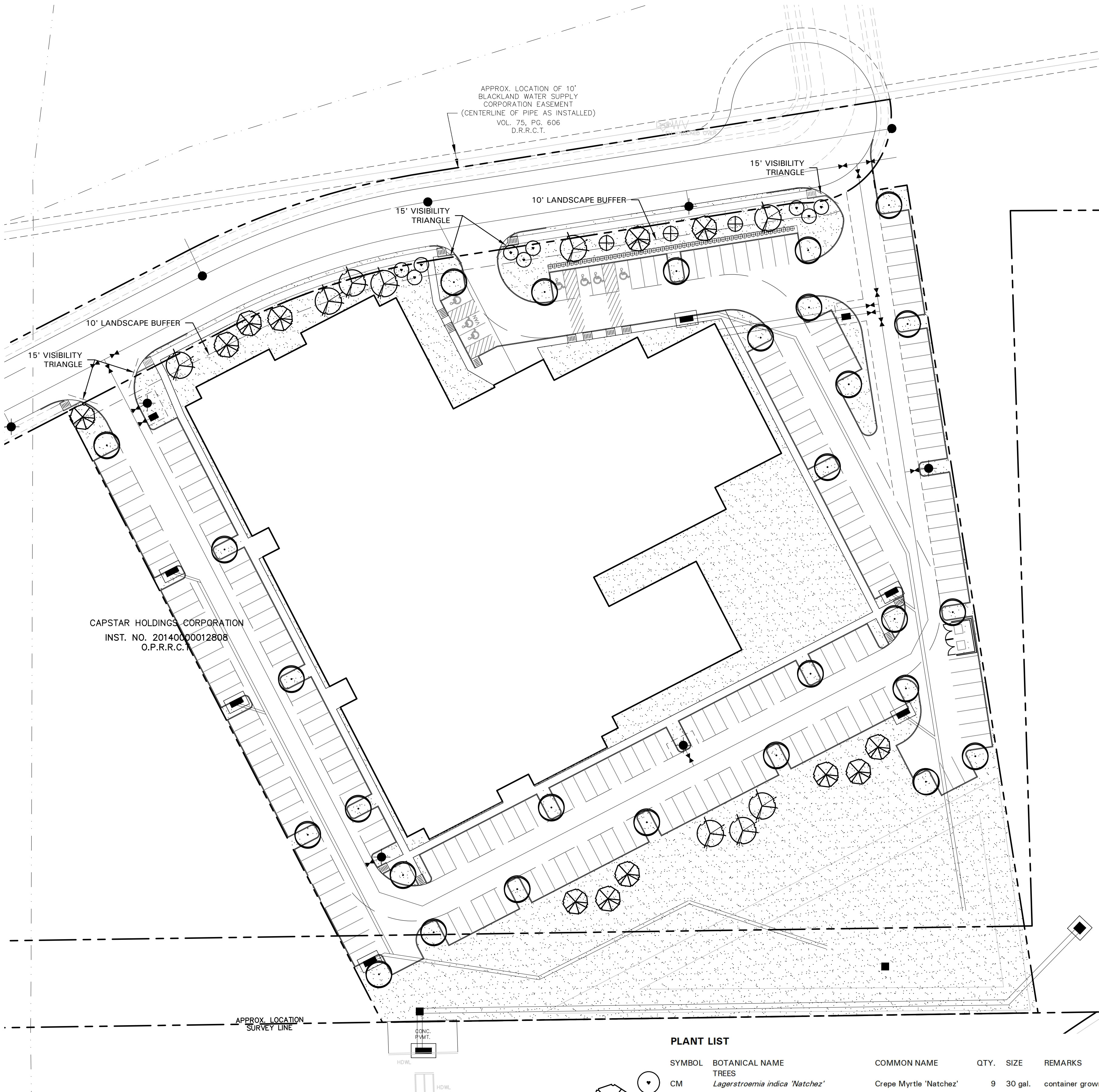
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 104567 On
Date Shown Below.



CAPSTAR HOLDINGS CORPORATION
INST. NO. 20140000012808
O.P.R.R.C.T.

APPROX. LOCATION OF 10'
BLACKLAND WATER SUPPLY
CORPORATION EASEMENT
(CENTERLINE OF PIPE AS INSTALLED)
VOL. 75, PG. 606
D.R.R.C.T.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muehlenbergii</i>	Chinkapin Oak	9	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	12	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	30 gal.	container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUND COVER					
TS	<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	57	5 gal.	container full, 20" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE: MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Ten (10') foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) l.f.

STREET A: 585 l.f.

Required	Provided
(12) canopy trees, 4" cal.	(12) canopy trees, 4" cal.
(12) accent trees, 4' min. ht.	(12) accent trees, 4' min. ht.

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscape.
- One (1) canopy tree per 10 parking spaces

Total interior parking lot area: 41,433 s.f.
Total parking spaces: 225 spaces

Required	Provided
2,072 s.f. (5%)	7,238 s.f. (17%)
(23) canopy trees	(28) canopy trees

SITE LANDSCAPING

- Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
- Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.

Required	Provided
34,169 s.f. (15%)	95,456 s.f. (42%)
17,084 s.f. (50%)	33,262 s.f.

CASE NO: MISC-21-#### SP-21-####

ENGINEER:

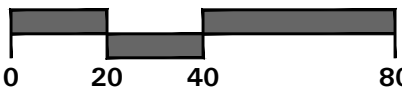
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

OWNER/DEVELOPER/ APPLICANT:

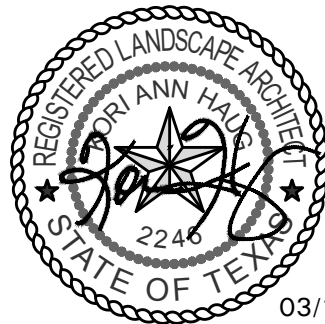
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



SCALE: 1" = 40'-0"



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

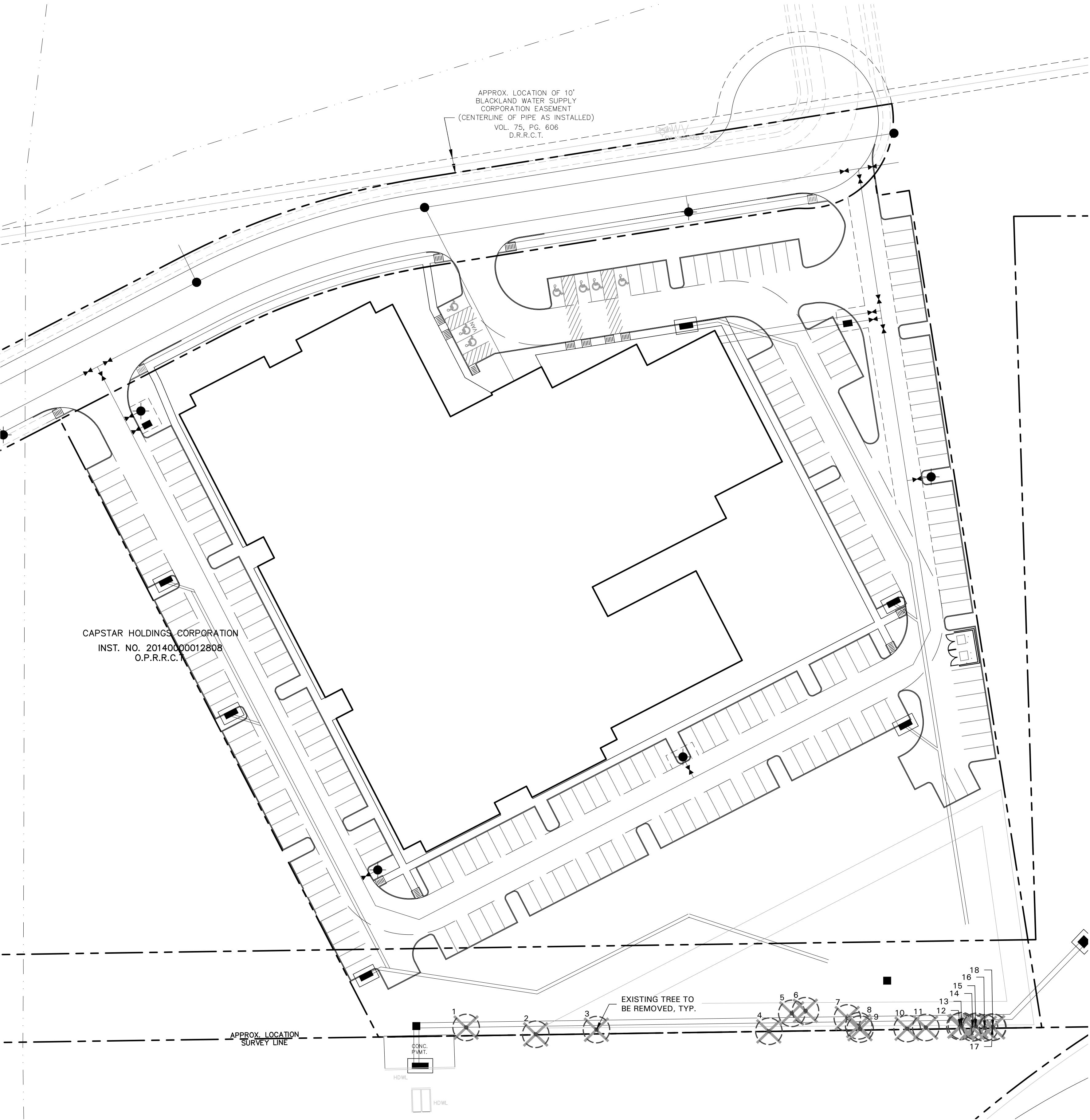
Revisions
No. Date: Detail:

Sheet Title:

LANDSCAPE
PLAN

Sheet Number:

L2.01

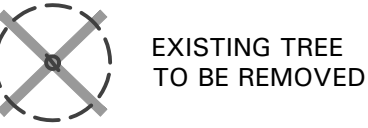


TREE SURVEY FIELD DATA				
No.	Dia.	Species	Status	Remarks
	(inches)	(common name)		
1	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
2	12	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
3	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
4	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
5	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
6	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
7	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
8	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
9	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
10	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
11	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
12	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
13	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
14	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
15	13	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
16	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
17	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
18	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
Total Caliper Inches on Site				163
Total Caliper Inches Removed				163
Total Mitigation Inches Required				31.5
Total Mitigation Inches Provided				32

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

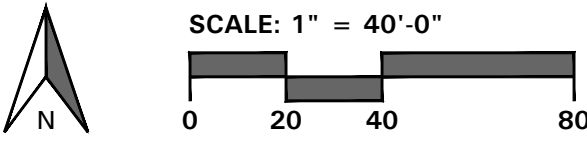
EXISTING TREE LEGEND



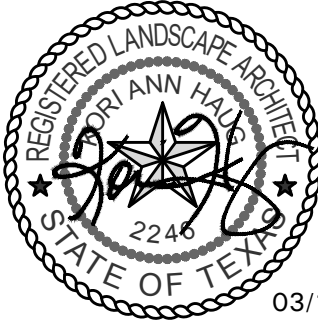
EXISTING TREE
TO BE REMOVED

CASE NO: MISC-21-#### SP-21-####
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

OWNER/DEVELOPER/ APPLICANT:
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FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
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Drawn By: DJD
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Revisions
No. Date: Detail:

Sheet Title:
TREE
PRESERVATION
PLAN
Sheet Number:

L1.01

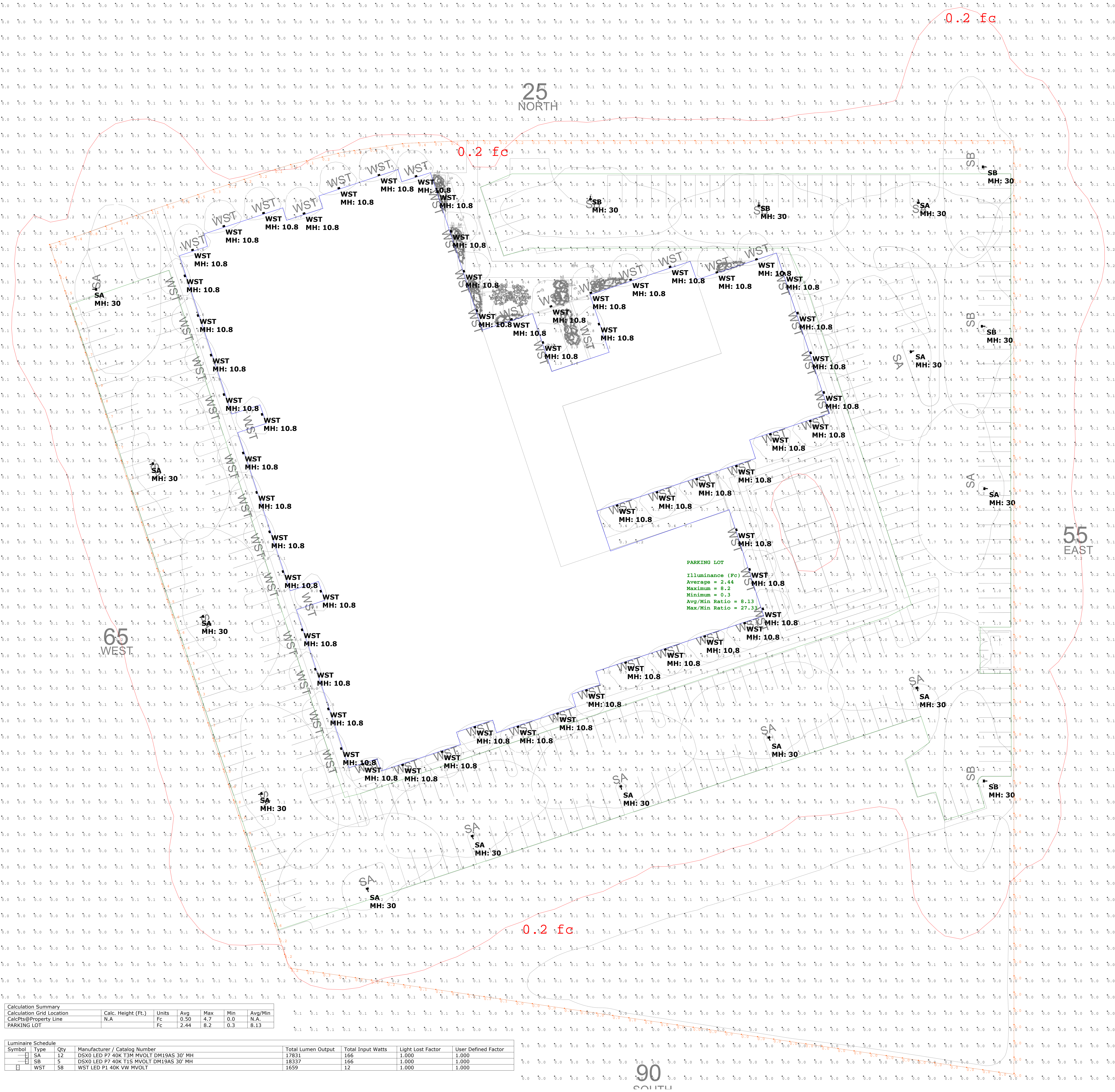
- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
- C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 7-6-2010)

- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



Calculation Summary						
Calculation Grid Location		Calc. Height (Ft.)	Units	Avg	Max	Min
CalcPnts@Property Line		N.A.	Fc	0.50	4.7	0.0
PARKING LOT			Fc	2.44	8.2	0.3

Luminaire Schedule				Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
SA	12	DSX0 LED P7 40K T3M MVOLT DM19AS 30' MH		17831	166	1.000	1.000
SB	5	DSX0 LED P7 40K T1S MVOLT DM19AS 30' MH		18337	166	1.000	1.000
WST	38	WST LED P7 40K VW MVOLT		1659	12	1.000	1.000

Notes:
1. Surface reflectance: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH".
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Shows lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



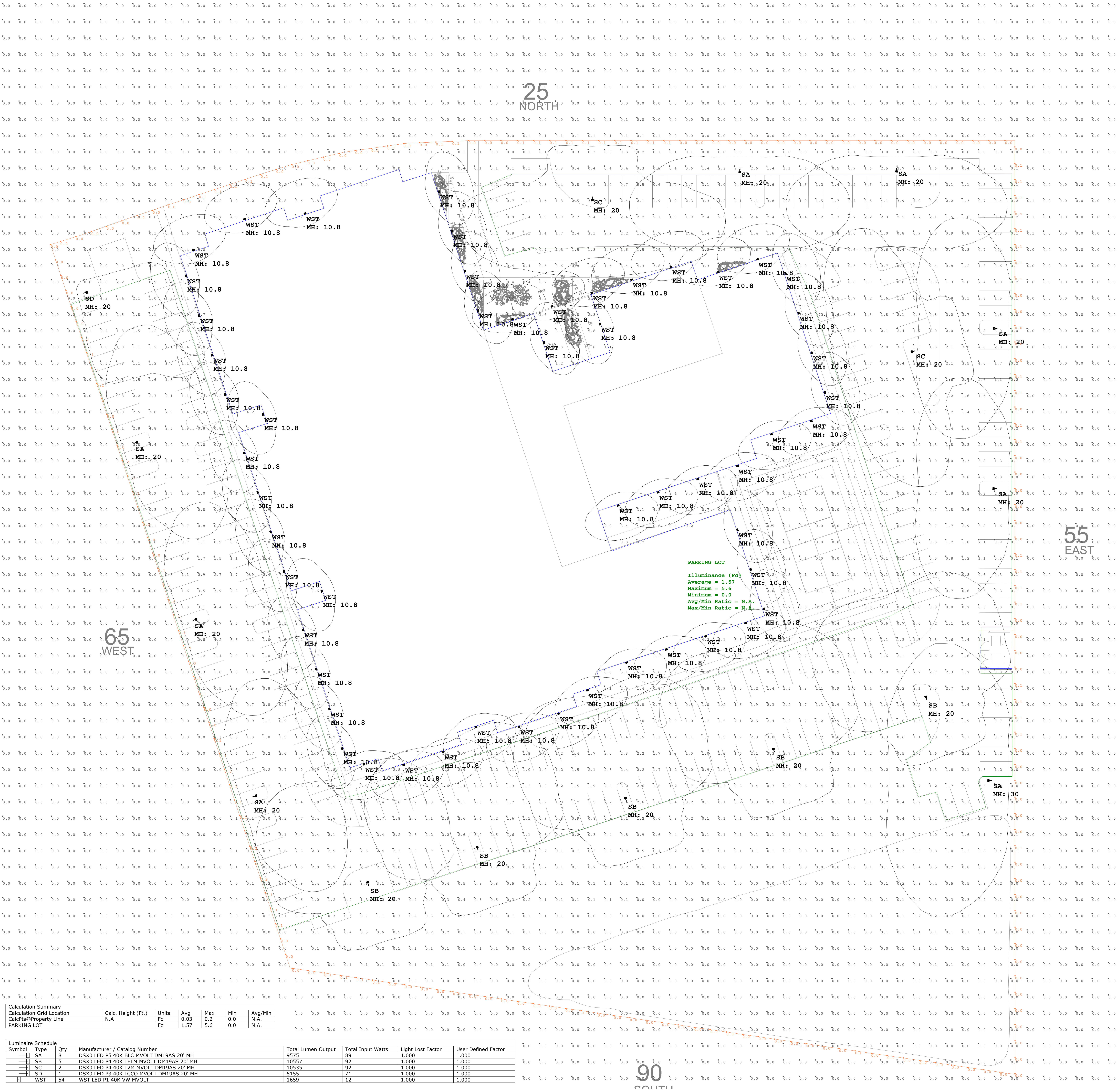
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Notes:
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3. Mounting heights are designated on drawing with "TM".
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7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Randy Eardley; *Weir & Associates, Inc.*
CASE NUMBER: SP2021-010; *Site Plan for a Sports and Recreation Facility*

SUMMARY

Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. Based on the City's historical zoning maps, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District at a time between annexation and April 5, 2005. The subject property has remained vacant since its annexation into the City of Rockwall.

PURPOSE

On April 16, 2021, the applicant -- *Randall Eardley* -- submitted an application requesting approval of a site plan for the purpose of developing a ~87,155 SF sports and recreation facility on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southwest corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is the remainder of the 31.65-acre tract of land, which the subject property is being subdivided out of. Beyond this is the IH-30 Frontage Road followed by IH-30. Continuing north are two (2) vacant tracts of land (*i.e. Tract 10-3 [8.23-acres] and Tract 10 [14.8-acres] of the R. Irvine Survey, Abstract No. 120*) that are zoned Commercial (C) District. Beyond this is the corporate limits for the City of Rockwall.

South: Directly south of the subject property is a vacant tract of land identified as Lot 1, Block B, Rockwall Technology Park, Phase IV Addition. This land is zoned Light Industrial (LI) District, is owned by the Rockwall Economic Development Corporation (REDC), and currently serves as regional detention for Phase 2 of the Rockwall Technology Park. Continuing south and adjacent to this tract of land is Capital Boulevard, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) large industrial facilities (*i.e. Pratt Industries and Lollicup*), which are zoned Light Industrial (LI) District. Beyond this is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

- East:** Directly east of the subject property is a 20.51-acre tract of land (*i.e. Tract 22, of the R. Irvine Survey*) zoned for Commercial (C) District. North of this tract of land is a 4.317-acre tract of land (*i.e. Tract 22-01 of the R. Irvine Survey*), which is occupied by Big Tex Trailers and zoned Light Industrial (LI) District.
- West:** Directly west of the subject property is Corporate Crossing [FM-3549], which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.1917-acre parcel of land (*i.e. Love's Country Store*) followed by two (2) vacant tracts of land (*i.e. Tract 9-9 [1.898-acres] and Tract 9-11 [1.30-acres of the J Lockhart Survey, Abstract No. 134]*), and a 3.0654-acre parcel of land identified as Lot 1, Block 1, Ya-Hoo Subdivision (*i.e. Photo Technologies*). All of these properties are zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Sports and Recreation Facility* is a permitted *by-right* land use in a Commercial (C) District. The subject property proposes two (2) points of ingress and egress (*i.e. the main entrance will be accessed via Corporate Crossing, with the exception of Lot 5, Block A, which will be accessed via Capital Boulevard. The main entrance will connect with IH-30 Frontage Road in the future*). The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	x>6.38-acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	x> 1,300-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	x>3,000-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	x>300-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	0-Feet w/FRW	x>1,200-feet; In Conformance
<i>Minimum Side Yard Setback</i>	0-Feet w/FRW	x=515-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	x>49'10"; In Conformance
<i>Max Building/Lot Coverage</i>	60%	x<51%; In Conformance
<i>Minimum Masonry Requirement</i>	N/A	Not Required
<i>Minimum Number of Parking Spaces</i>	1/250 SF of Recreation, 3/Game Court, 1/200 SF Gym & Medical Office (187 Required)	x=225; In Conformance
<i>Minimum Stone Requirement</i>	N/A	Not Required
<i>Minimum Landscaping Percentage</i>	20%	x=42.7%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	x<90%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 163-caliper inches of tree are to be removed from the site, of which all are hackberry trees. The applicant is providing approximately 40, four (4) inch caliper canopy trees on site, which will satisfy the required tree mitigation for this development.

CONFORMANCE WITH THE CITY'S CODES

Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), indicates that the Commercial (C) District is intended to provide most types of commercial development (*e.g. larger shopping centers at major intersections, commercial strips along arterial roadways, etc.*) and includes most types of office and retail activity. Properties zoned Commercial (C) District are generally located on or close to an arterial or major collector that is capable of carrying the additional traffic generated by these types of land uses. Since the Commercial (C) District is general in nature, the development standards are less stringent and do not require as high of standards of development as the Residential-Office (RO), Neighborhood Services (NS) and General Retail (GR) Districts. In this case, the applicant's

development appears to adhere to all applicable requirements and the intent of the Commercial (C) District stipulated by the Unified Development Code (UDC).

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the IH-30 Corridor District which is...“the primary retail corridor for the City of Rockwall...and acts as the western gateway for both the City and County of Rockwall,” which includes medical uses, retail, and industry. The IH-30 corridor is “vital to maintain a high per capita sales tax for the City of Rockwall.” The applicant’s site plan appears to meet the intent of Comprehensive Plan for a recreation and sport complex located within the IH-30 Corridor District.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 27, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval of the applicant’s request by a vote of 3-0, with Board Members Meyrat, Miller, Neill, and Avenetti absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for a sports complex on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION **Southeast corner of IH 30 and Corporate Crossing**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial C**

CURRENT USE **Vacant**

PROPOSED ZONING **N/A**

PROPOSED USE **Sports Complex**

ACREAGE **6.38**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **1**

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **Structured REA-Rockwall Land, LLC**

☒ APPLICANT **Wier & Associates, Inc.**

CONTACT PERSON **Stephen Doyle**

CONTACT PERSON **Randall Eardley**

ADDRESS **171 N Aberdeen Street, Suite 400**

ADDRESS **2201 E. Lamar Blvd, Ste 200E**

CITY, STATE & ZIP **Chicago, Illinois 60607**

CITY, STATE & ZIP **Arlington, Texas 76006**

PHONE **847-951-8974**

PHONE **817-467-7700**

E-MAIL **SteveD@structuredrea.com**

E-MAIL **RandyE@WierAssociates.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Doyle [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 377.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

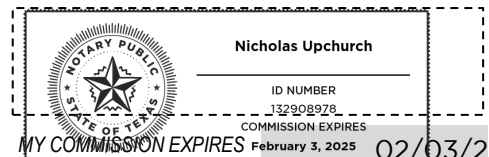
State of Texas, County of Hays
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 20 21

OWNER'S SIGNATURE

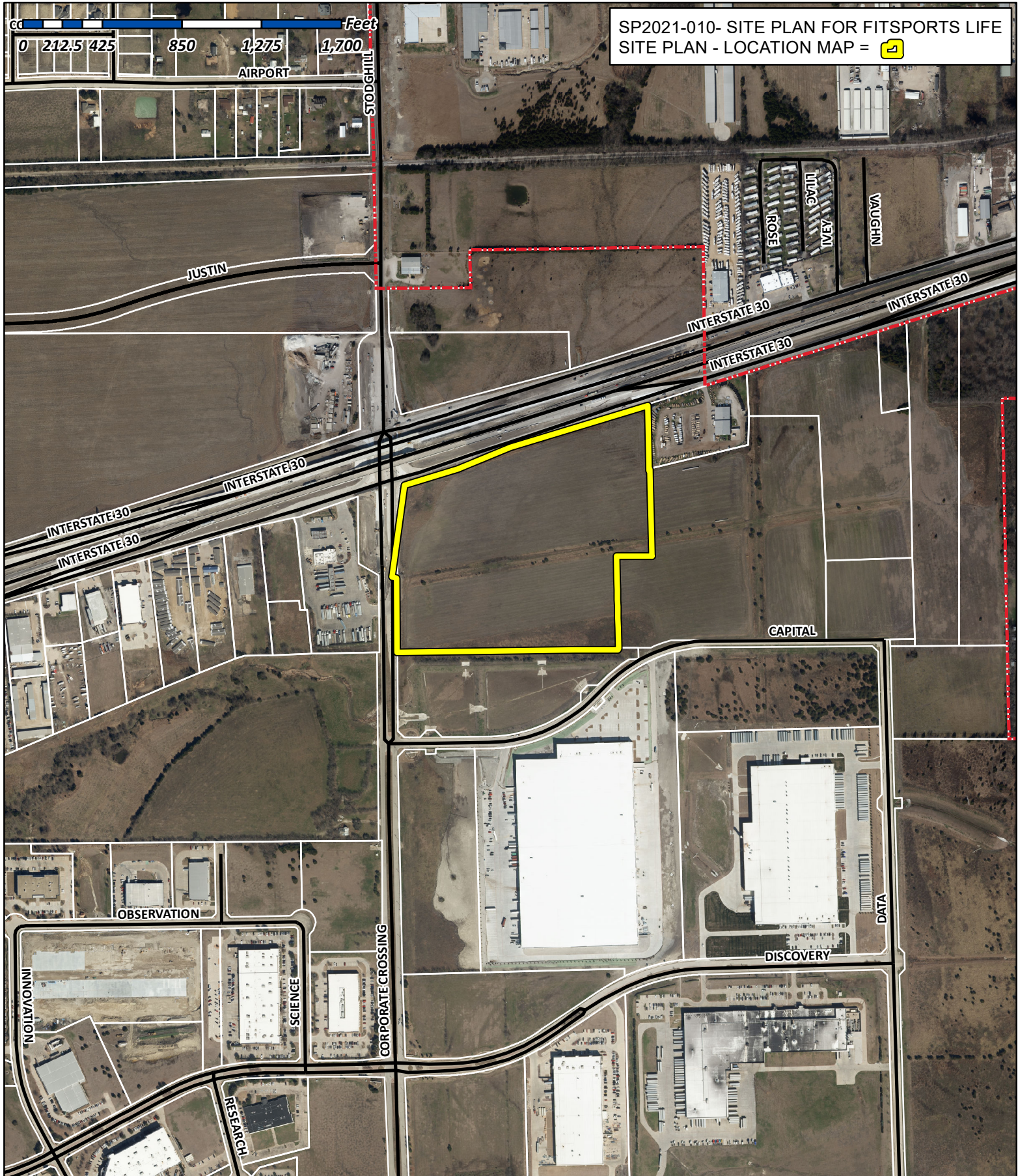
Stephen Doyle

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Nicholas Upchurch



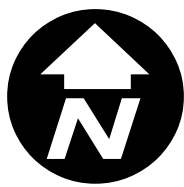
MY COMMISSION EXPIRES February 3, 2025 02/03/2025

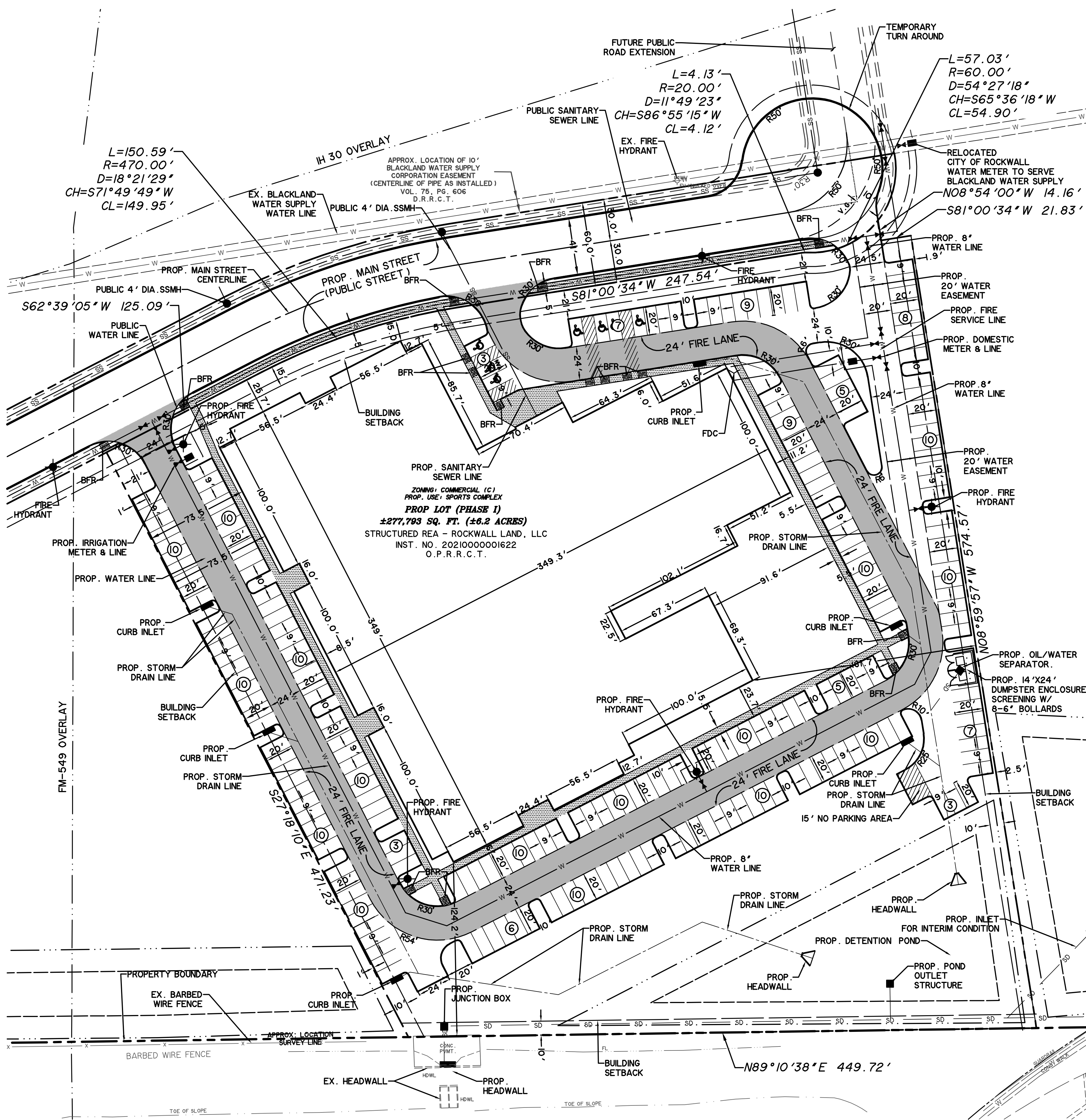


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ FT ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ FT ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE I: 6.38 ACRES± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7 225

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.

ON-SITE PAVEMENT SHALL BE:

PARKING:	5" CONCRETE PAVEMENT
FIRE LANE:	6" CONCRETE PAVEMENT
DUMPSTER:	7" CONCRETE PAVEMENT

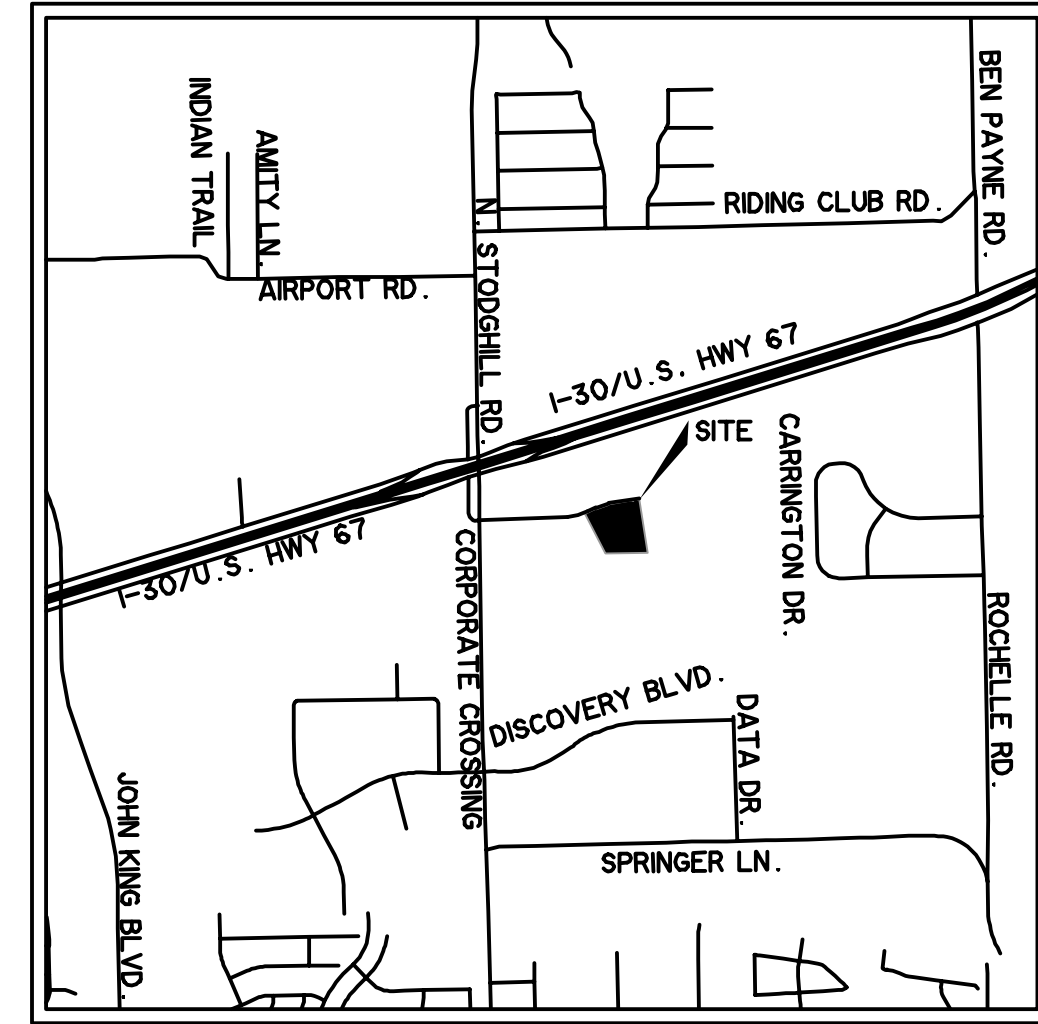
- BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED AS PER UDC.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN

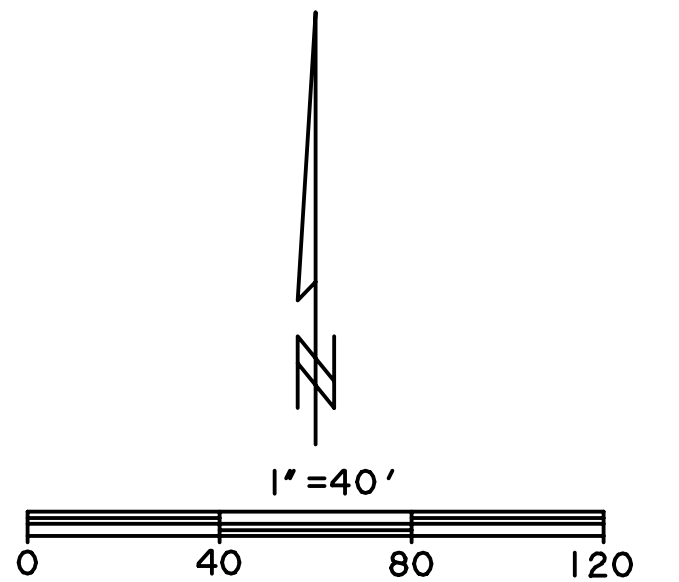
DIRECTOR OF PLANNING AND ZONING



VICINITY MAP
NOT TO SCALE

LEGEND

SSMH @	EXISTING SANITARY SEWER MANHOLE
SSCO @	EXISTING SANITARY SEWER CLEAN OUT
FH @	EXISTING FIRE HYDRANT
WM @	EXISTING WATER METER
WM @	EXISTING WATER VAULT
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER LINE
SD	PROPOSED STORM DRAIN LINE
---	PHASE I PARCEL BOUNDARY
---	PROPERTY BOUNDARY
---	PROPOSED WATER EASEMENT
---	PROPOSED FIRE LANE
---	BUILDING SETBACK
BFR	BARRIER FREE RAMP
---	PROP. SIDEWALK
---	PROP. PUBLIC ACCESS & UTILITY EASEMENT



SITE PLAN
FITSPORTSLIFE PHASE I
SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

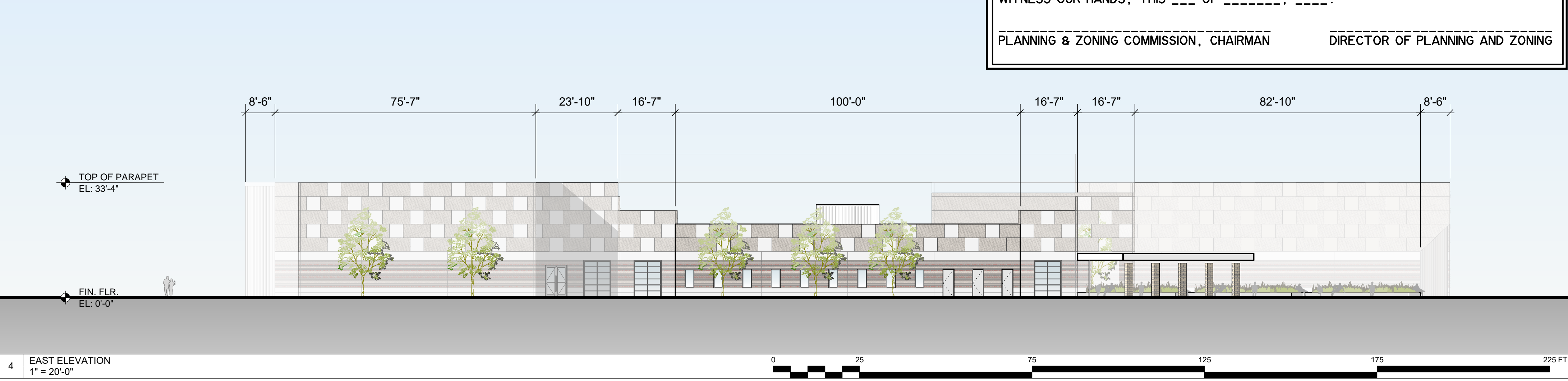
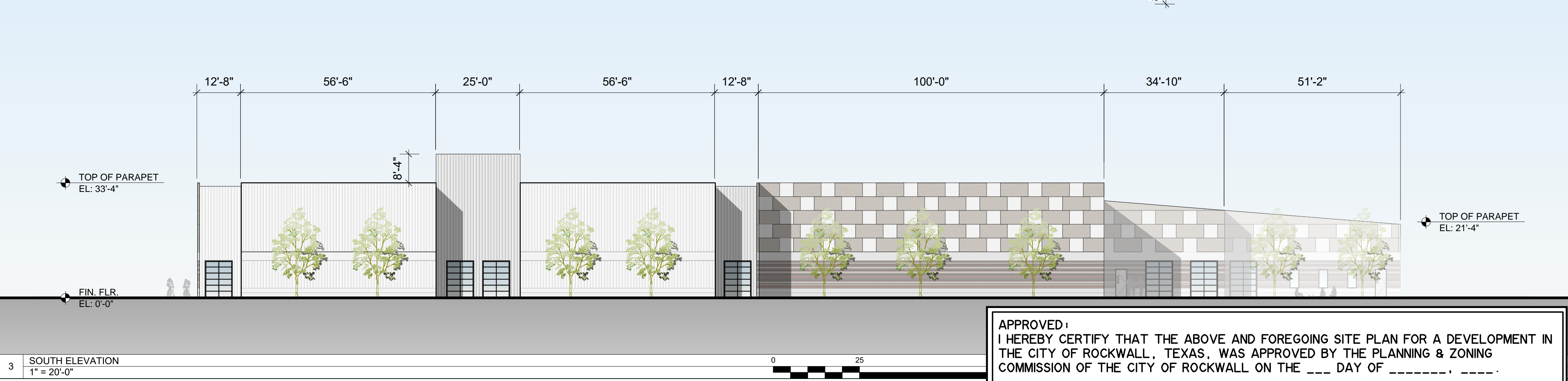
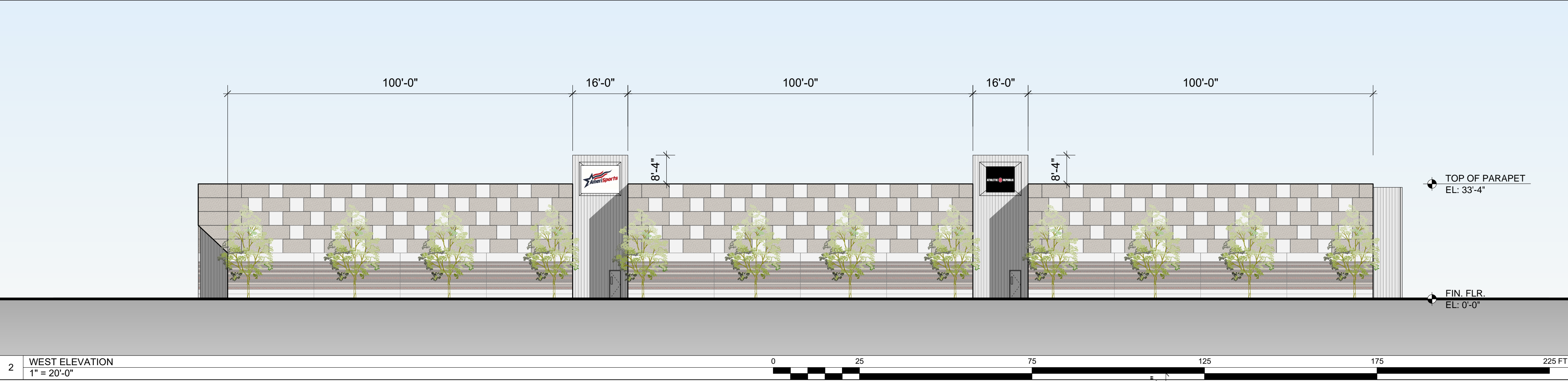
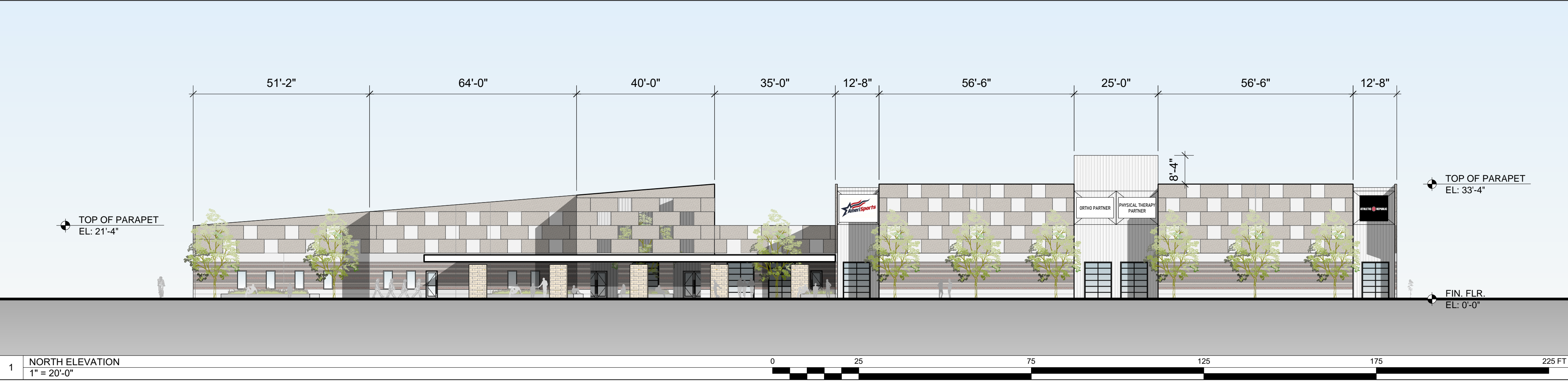
PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randall Eardley, PE
Texas Registration
No. 104567 On
Date Shown Below.

SP2021-010

SHEET 1 OF 2

DATE: 5/4/2021
W.A. No. 19144

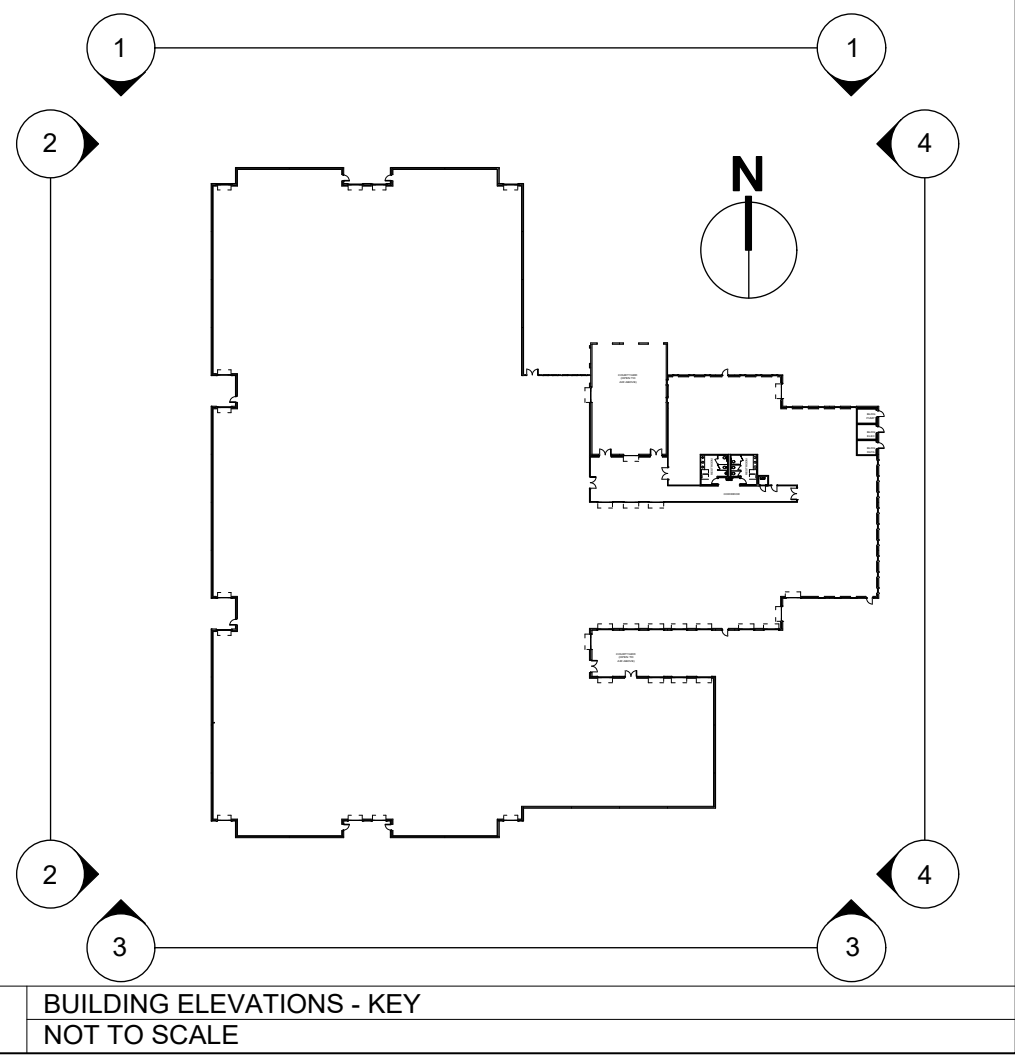
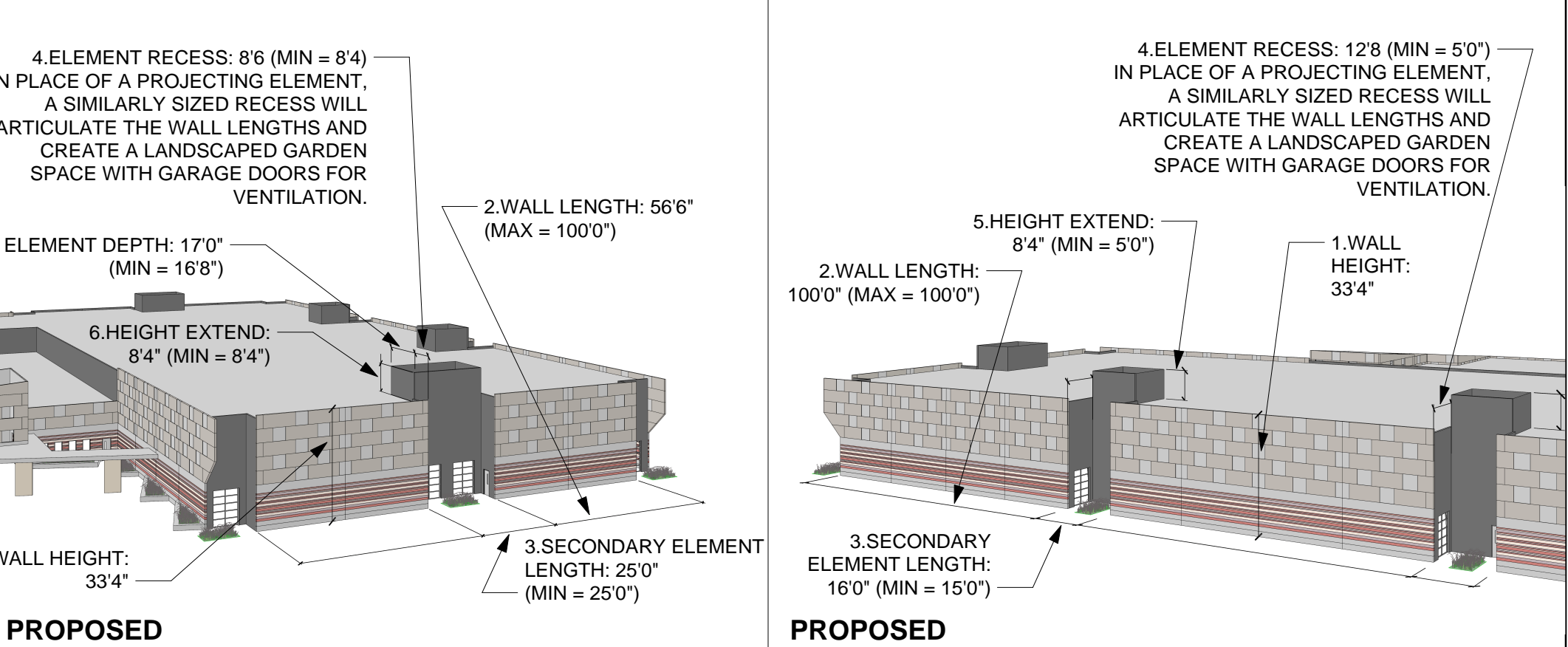
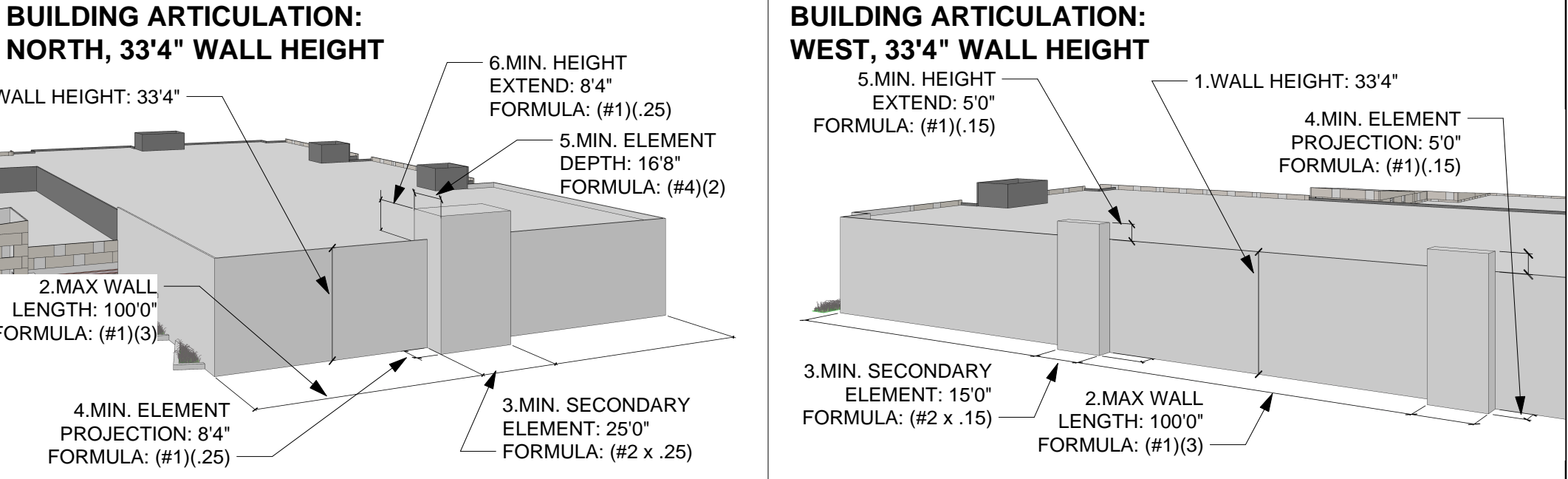
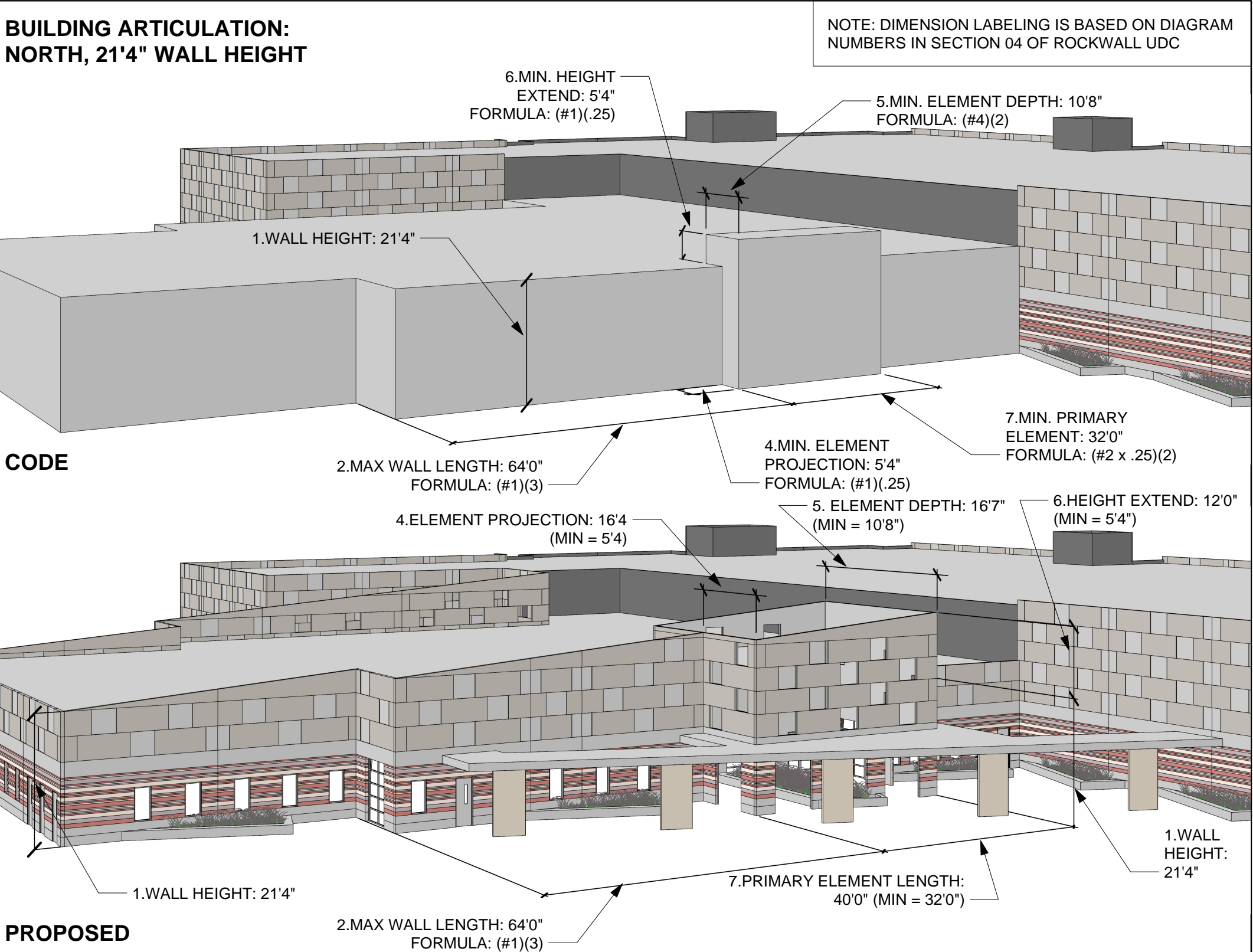


APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



WDS

Structured

wefing design studio

REAL ESTATE

PROJECT

FITSPORTLIFE
ROCKWALL, TEXAS

CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION

DATE DESCRIPTION

03/19/2021 SITE PLAN REVIEW

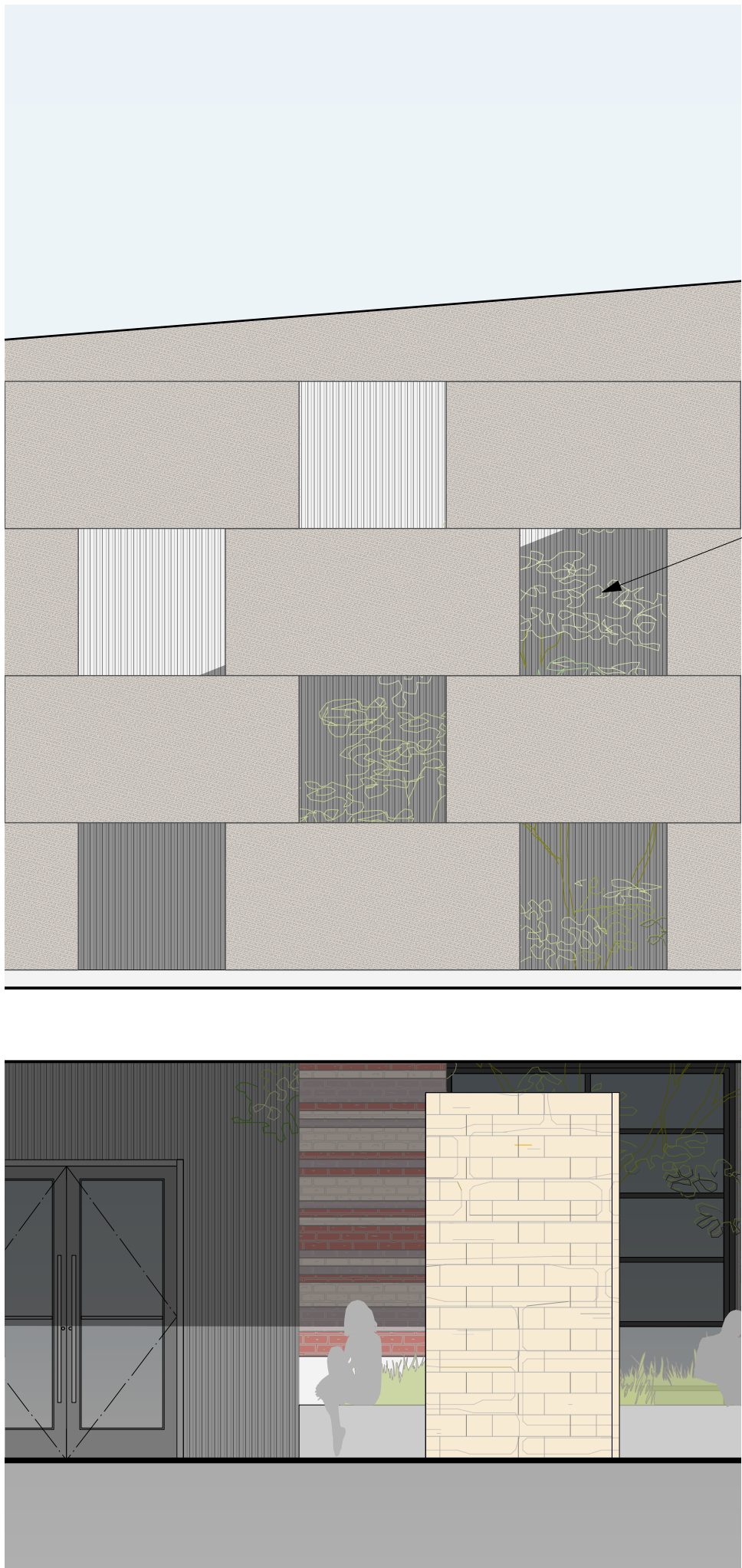
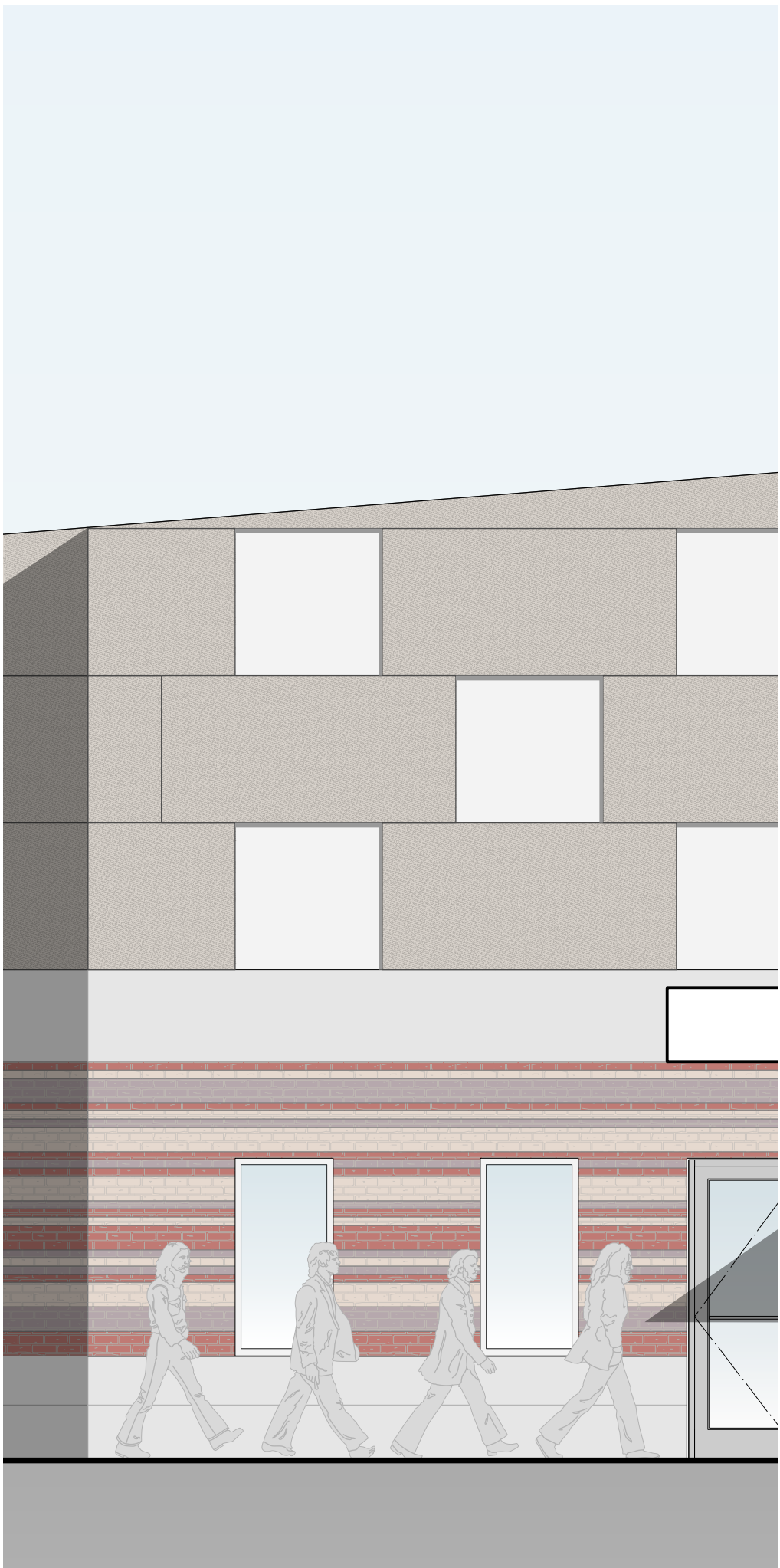
DRAWING TITLE

ELEVATIONS
SP2021-010

DRAWING NO.

A-2.0

SITE PLAN REVIEW:
NOT FOR
CONSTRUCTION



PERFORATED WALLS AT
COURTYARD

6' x 10' SIGNAGE PER
CODE

SMOOTH CONCRETE
FINISH

TEXTURED CONCRETE
FINISH

FLUTED CONCRETE
WALLS, PAINTED

CONTINUOUS BRICK
BAND

TEXAS STONE

PLANTINGS ADJACENT TO ALL ENTRANCES
AND EGRESS FOR INTEGRATION OF NATURAL
ELEMENTS WITH INSIDE ENVIRONMENT

PLANTINGS AT ALL
ENTRANCES

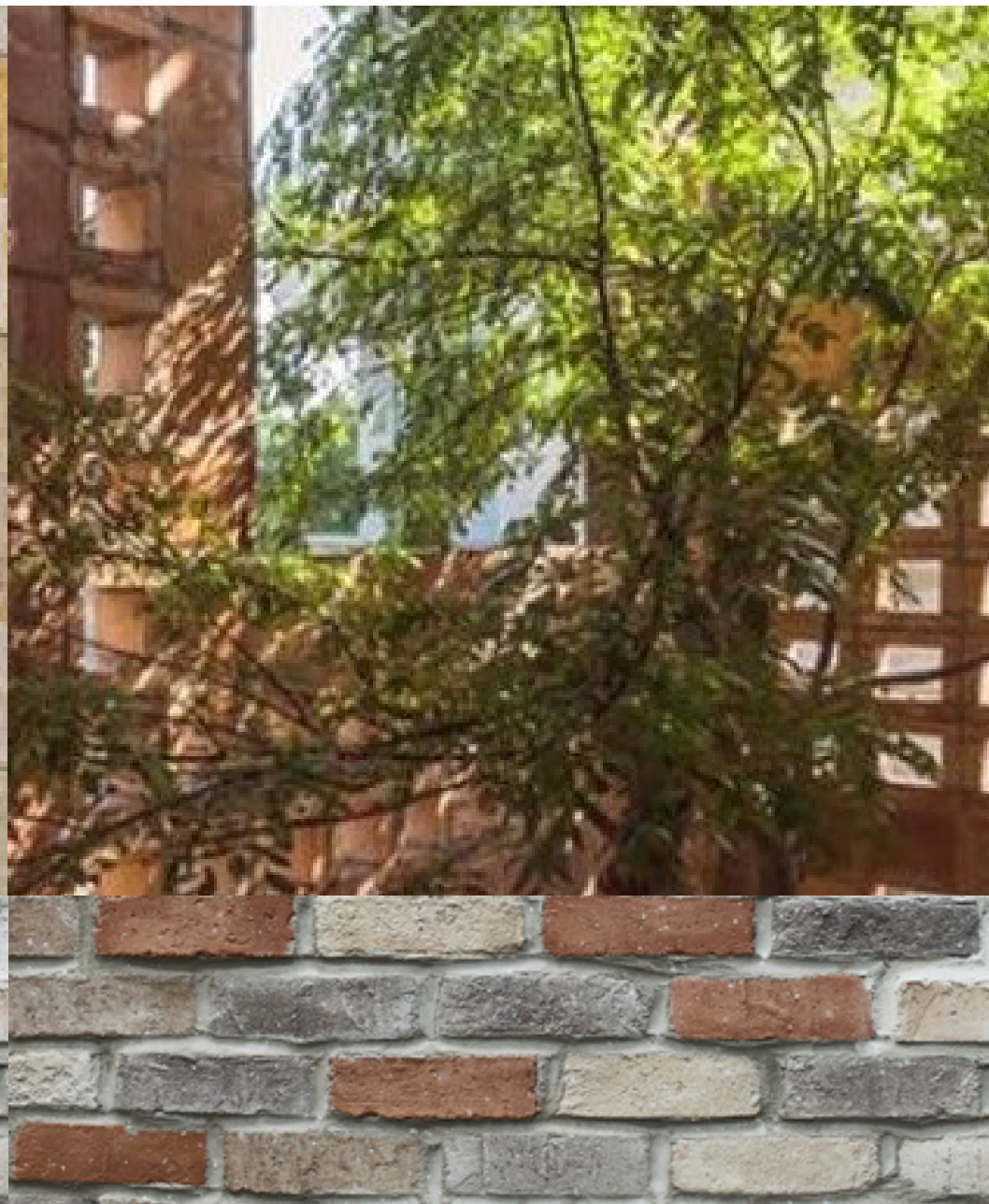
SMOOTH CONCRETE

TEXTURED CONCRETE

TEXAS STONE

LANDSCAPE BEHIND
PERFORATED WALLS

FLUTED CONCRETE
WALLS



CONTINUOUS 10' HIGH BRICK BAND

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN
THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.
WITNESS OUR HANDS, THIS ____ OF _____, _____.

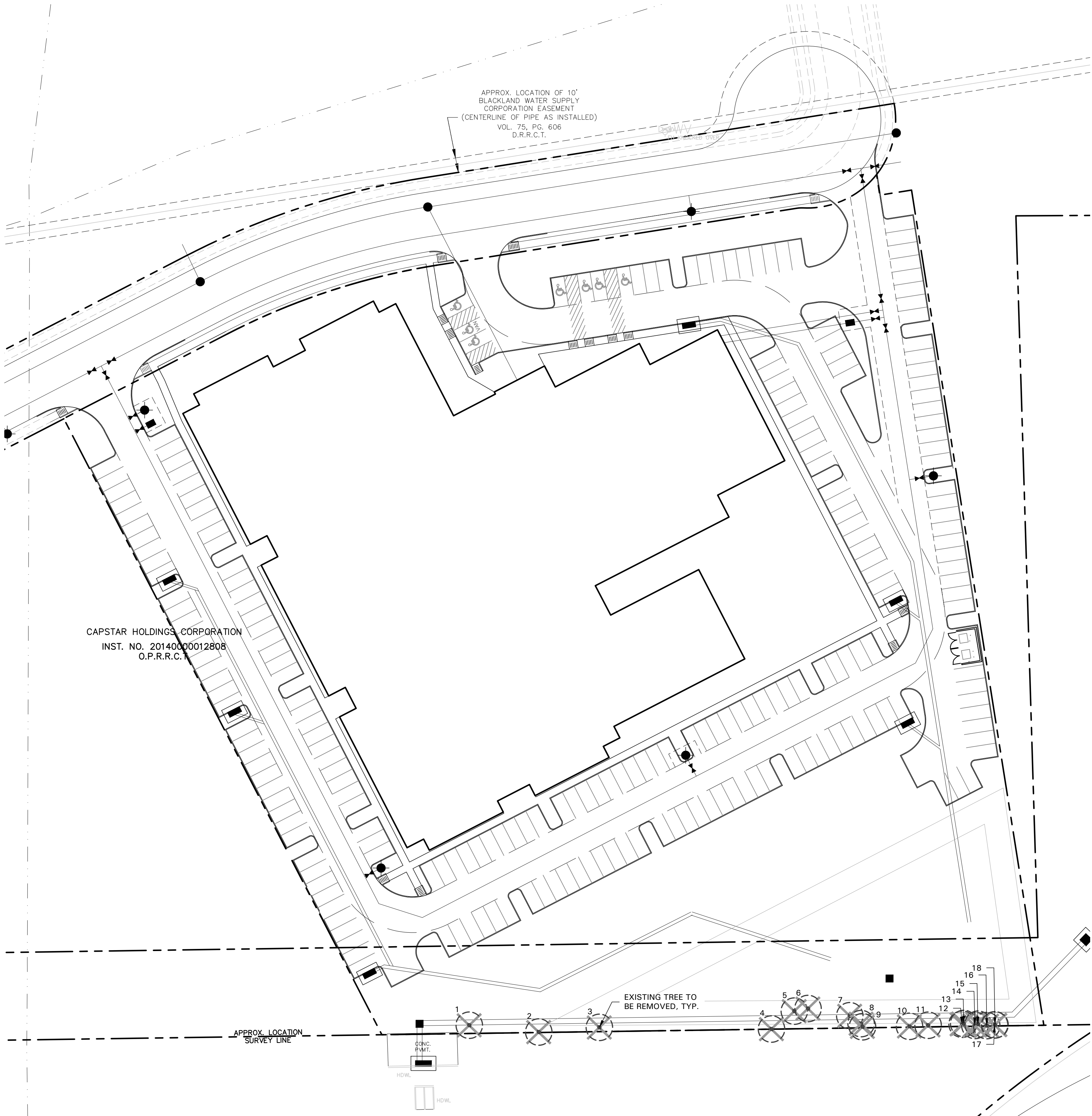
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

WDS *Structured*
wefing design studio REAL ESTATE

PROJECT **FITSPORTLIFE
ROCKWALL, TEXAS**
CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION		SITE PLAN REVIEW: NOT FOR CONSTRUCTION
#	DATE	
	03/19/2021	

DRAWING TITLE **MATERIALS BOARD
SP2021-010** DRAWING NO. **A-2.1**

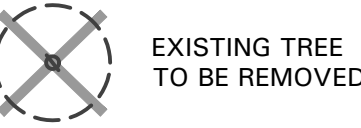


TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
2	12	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
3	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
4	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
5	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
6	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
7	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
8	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
9	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
10	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
11	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
12	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
13	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
14	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
15	13	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
16	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
17	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
18	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
Total Caliper Inches on Site				163
Total Caliper Inches Removed				163
Total Mitigation Inches Required				31.5
Total Mitigation Inches Provided				32

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



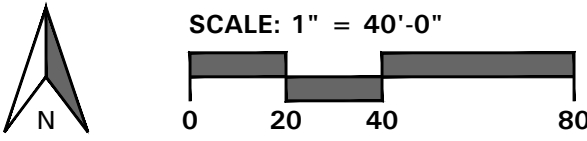
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WITNESS OUR HANDS, THIS ___ OF _____.

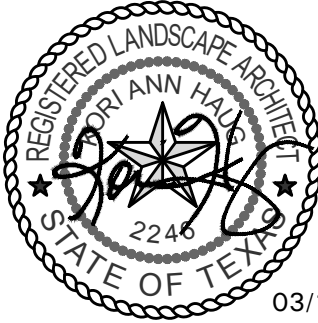
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

CASE NO: MISC-21-#### SP-21-####
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
OWNER/DEVELOPER/ APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



FitSportsLife
Phase 1
Rockwall, Texas

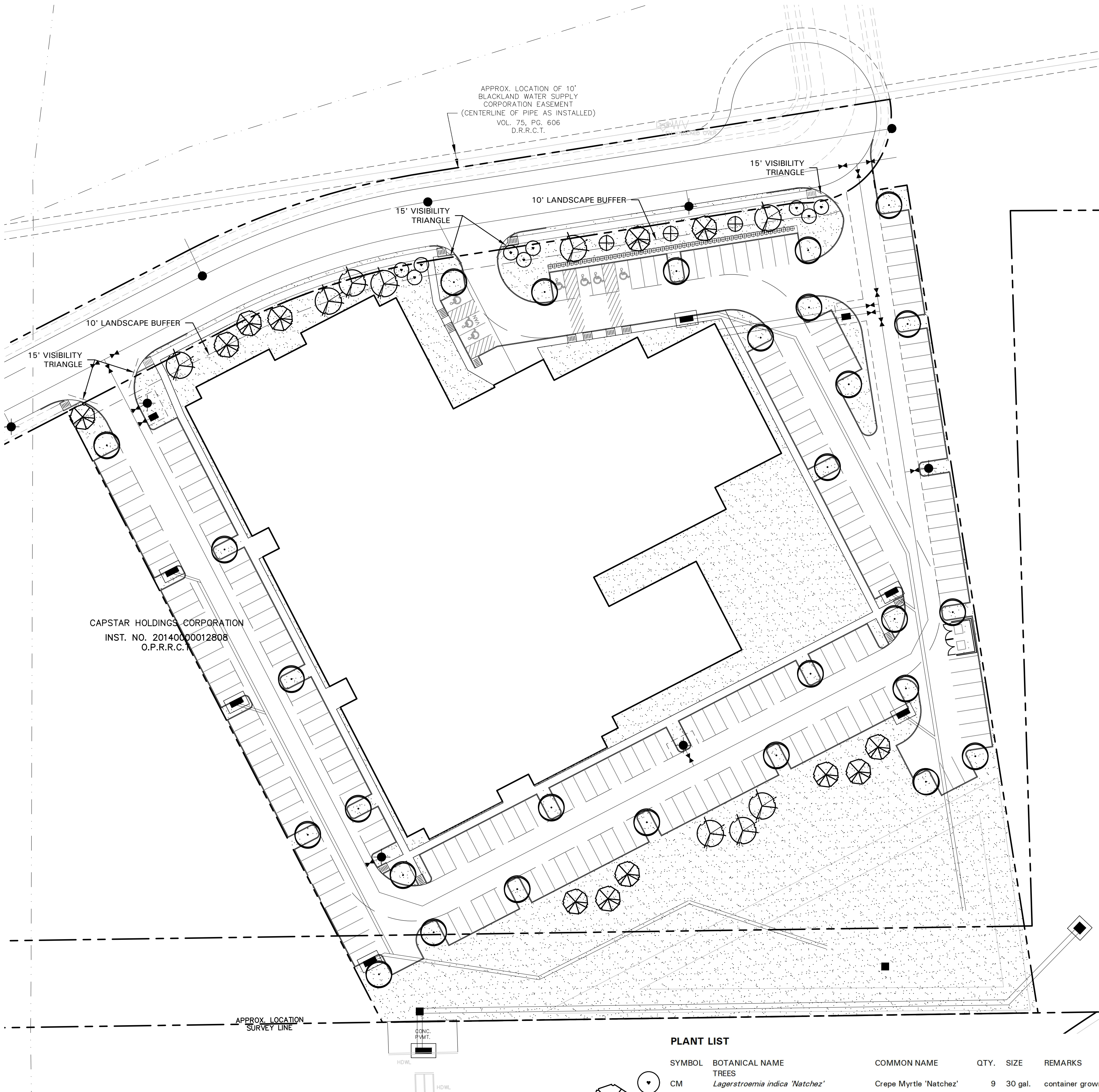
Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date: Detail:

Sheet Title:
TREE
PRESERVATION
PLAN
Sheet Number:

L1.01
SP2021-010





CAPSTAR HOLDINGS CORPORATION
INST. NO. 20140000012808
O.P.R.R.C.T.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muehlenbergii</i>	Chinkapin Oak	9	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	12	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	30 gal.	container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUND COVER					
TS	<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	57	5 gal.	container full, 20" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE: MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____.

WITNESS OUR HANDS, THIS ___ OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Ten (10') foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) l.f.

STREET A: 585 l.f.	
Required	Provided
(12) canopy trees, 4" cal.	(12) canopy trees, 4" cal.
(12) accent trees, 4' min. ht.	(12) accent trees, 4' min. ht.

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscape.
- One (1) canopy tree per 10 parking spaces

Total interior parking lot area: 41,433 s.f.
Total parking spaces: 225 spaces

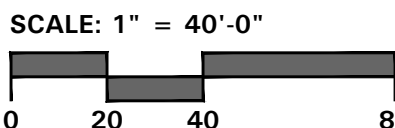
Required	Provided
2,072 s.f. (5%)	7,238 s.f. (17%)
(23) canopy trees	(28) canopy trees

SITE LANDSCAPING

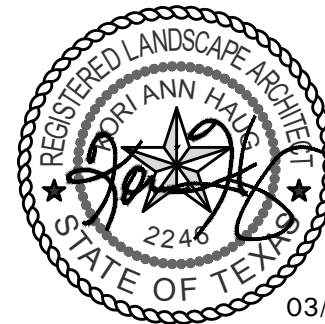
- Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
- Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.

Required	Provided
34,169 s.f. (15%)	95,456 s.f. (42%)
17,084 s.f. (50%)	33,262 s.f.



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date: Detail:

Sheet Title:

LANDSCAPE
PLAN

Sheet Number:

L2.01
SP2021-010

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions, if the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.

- Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- Remove rejected plant material immediately from job site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and branch requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
- Organic matter shall be 3%-10% of total dry weight.
- If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UP) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURADEGE Heavy Duty Steel.
- Staking Material for Shade Trees: refer to details.
- Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- All planting areas shall receive a two (2") inch layer of specified mulch.
- Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.
- Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- Do not wrap trees.
- Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- Pruning shall be done with clean, sharp tools.
- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

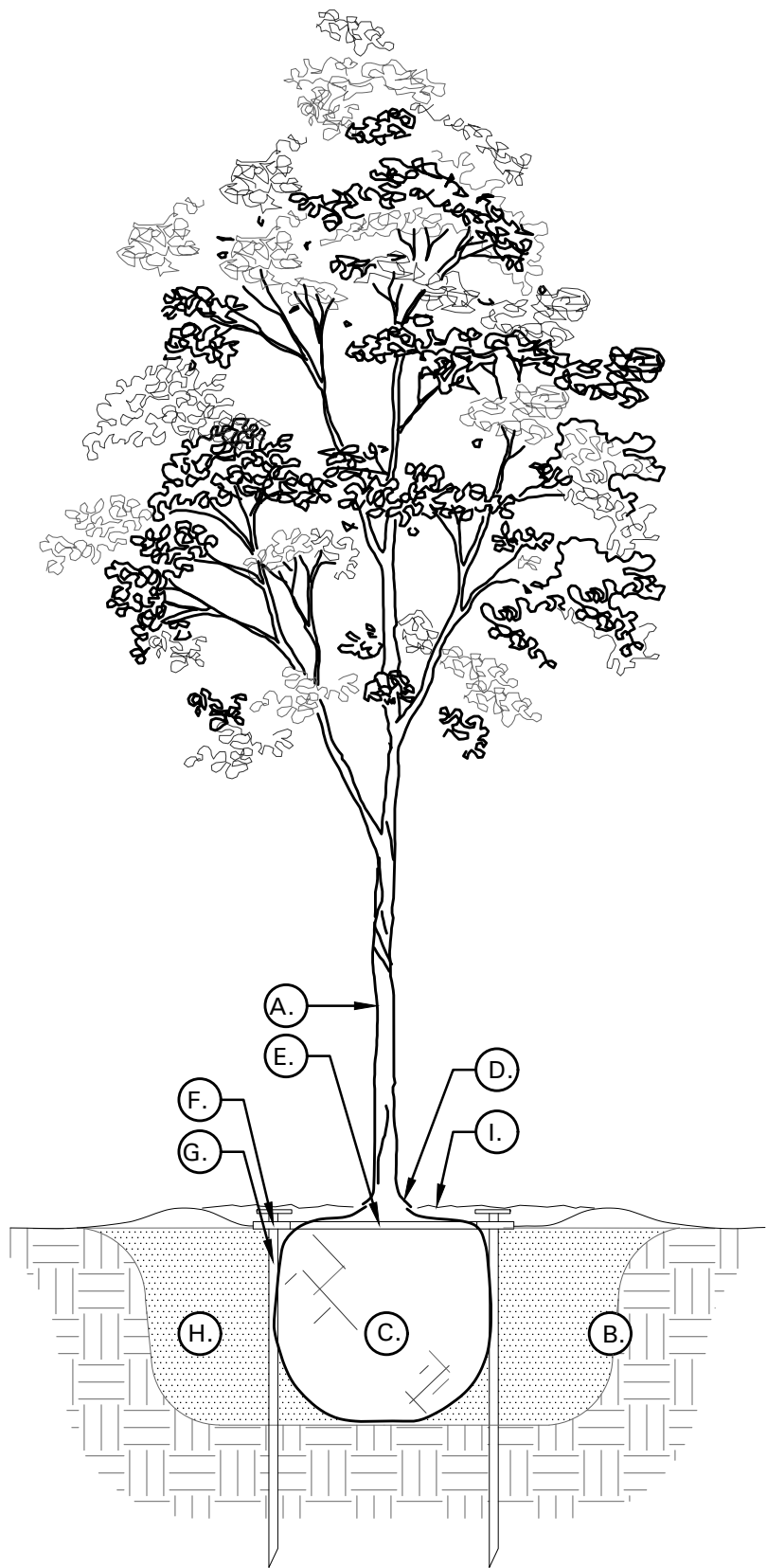
Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- All steel curbing shall be free of kinks and abrupt bends.
- Top of curbing shall be ½" maximum height above final finished grade.
- Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- Do not install steel edging along sidewalks or curbs.
- Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



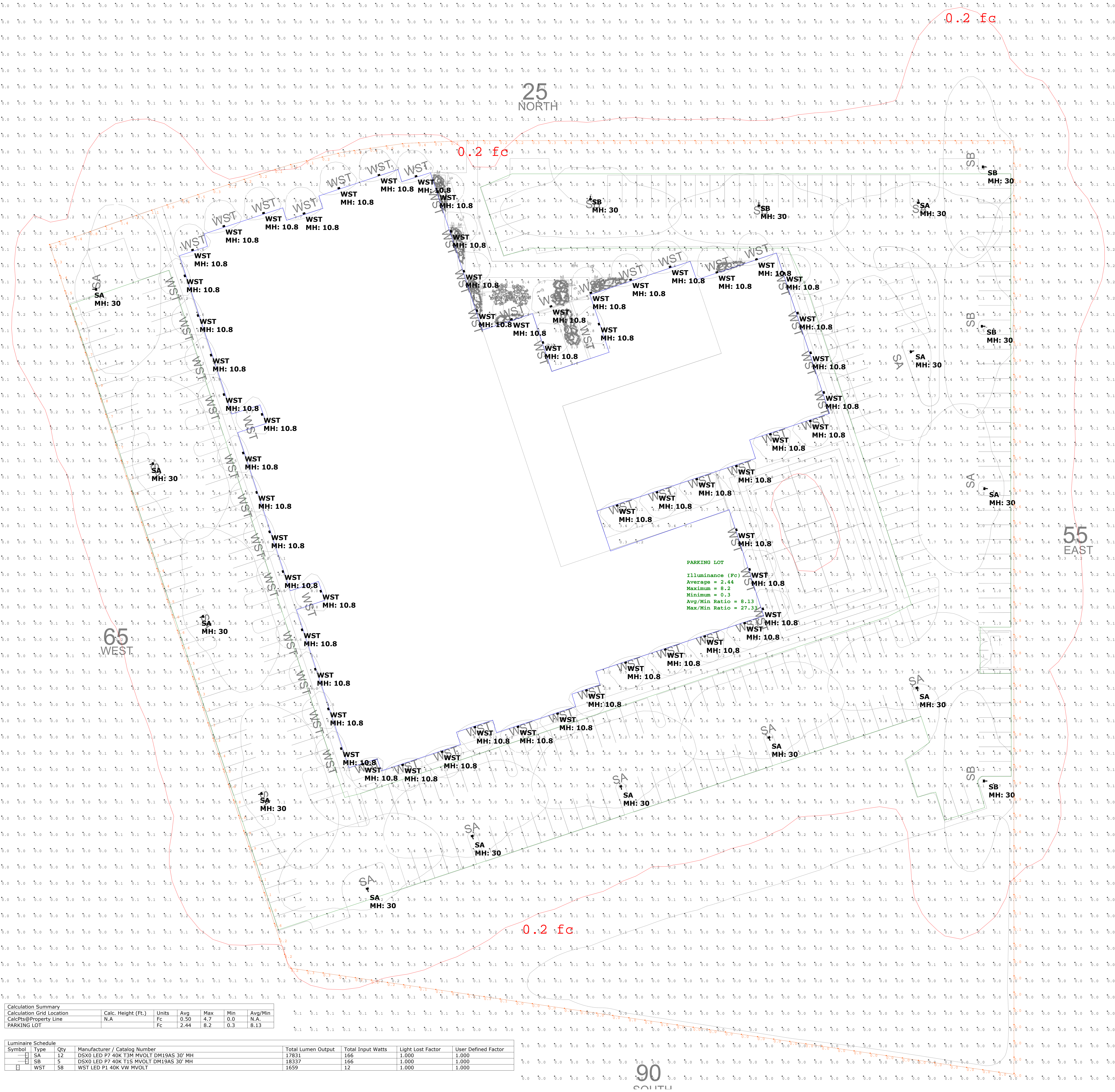
- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
- C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 7-6-2010)

- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____ DAY.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

Notes:
1. Surface reflectance: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH".
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Shows lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



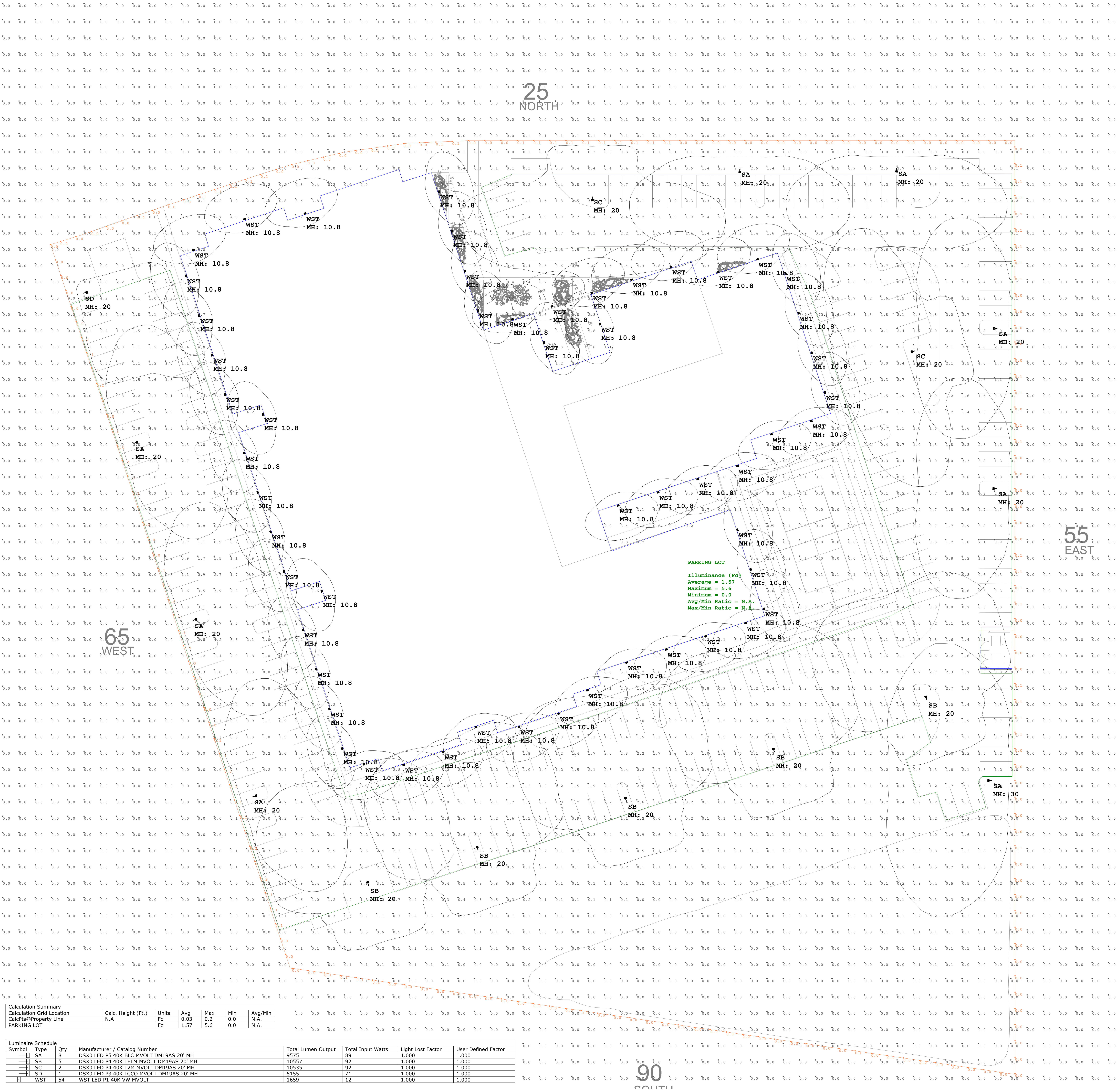
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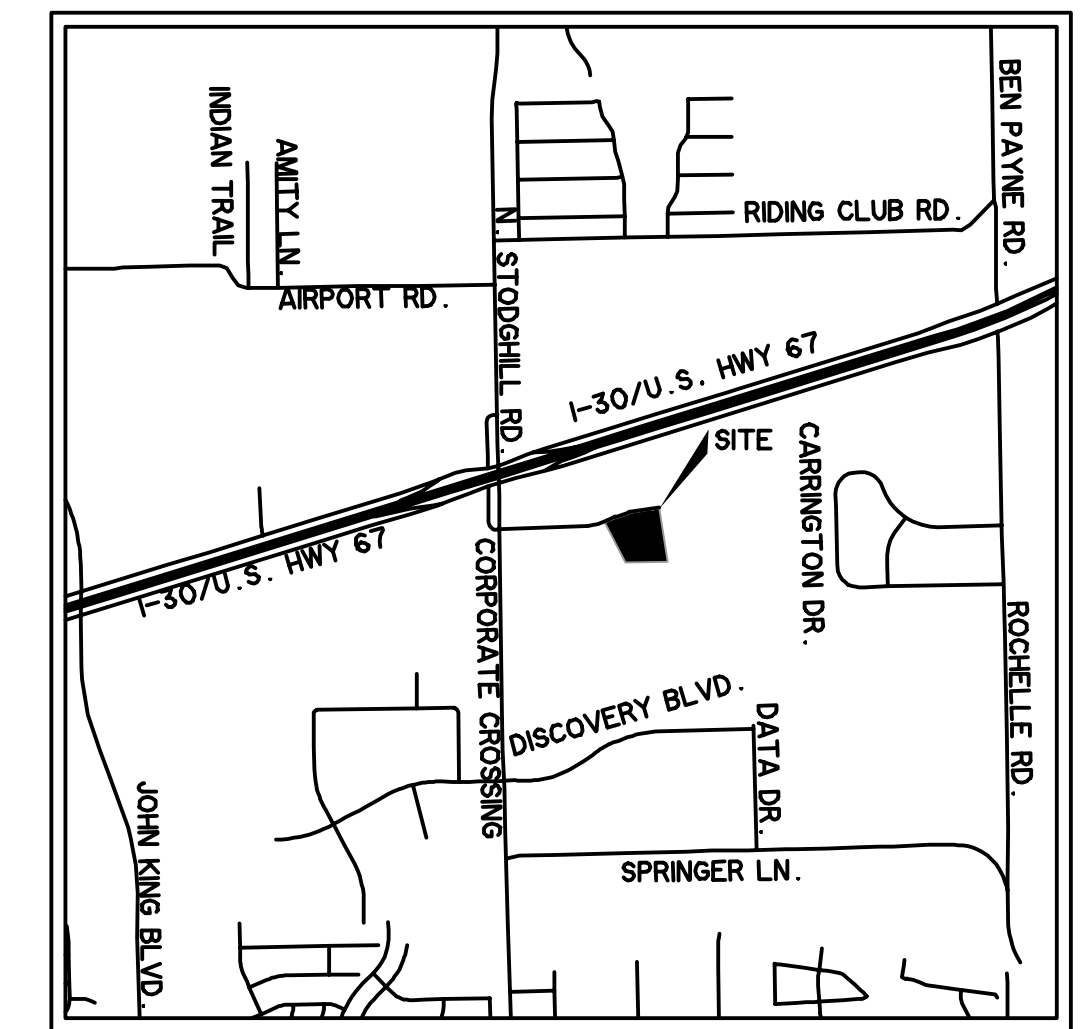
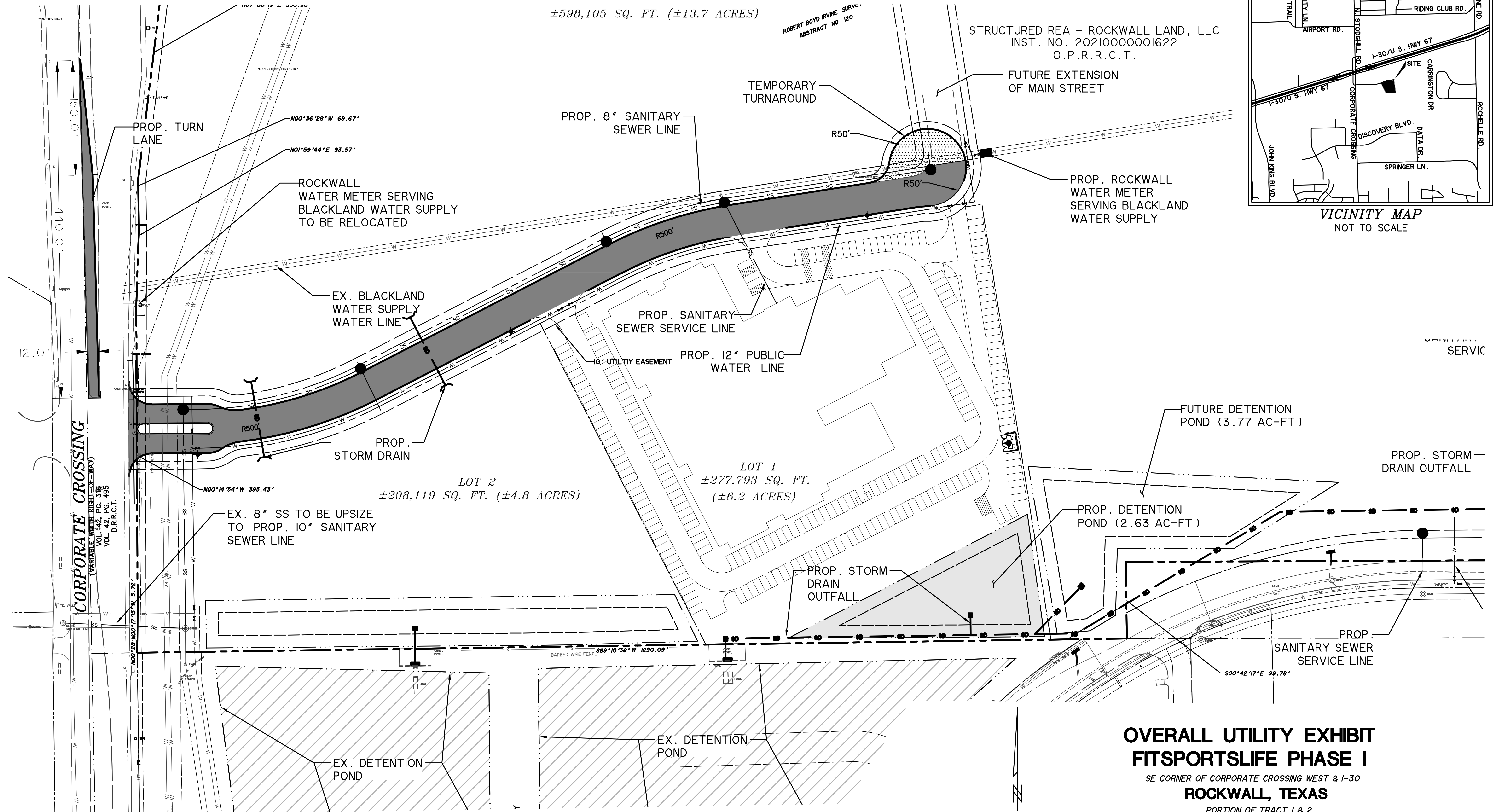
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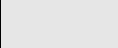




APPROVED: _____
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____





LEGEND			
SSMH ⊗	EXISTING SANITARY SEWER MANHOLE	----	R.O.W. BOUNDARY
SSCO ○	EXISTING SANITARY SEWER CLEAN OUT		
FH ⊕	EXISTING FIRE HYDRANT		PROPOSED DETENTION POND
WM ⊕	EXISTING WATER METER		
WM □	EXISTING WATER VAULT		EXISTING DETENTION POND
—W—	EXISTING WATER LINE		
—SS—	EXISTING SANITARY SEWER LINE		DETENTION POND BY OTHERS
—W—	PROPOSED WATER LINE		
—SS—	PROPOSED SANITARY SEWER LINE		
—SD—	PROPOSED STORM DRAIN LINE		PHASE I PUBLIC PAVING
— -- —	ADJOINING PROPERTY BOUNDARY		
— — — —	PROPERTY BOUNDARY		PHASE I TEMPORARY TURN AROUND

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WITNESS OUR HANDS, THIS ____ OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

1"=60'

0 60 120 180

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

OVERALL UTILITY EXHIBIT
FITSPORTSLIFE PHASE I
SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS
PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
EXISTING ZONING: C (COMMERICAL)
PROPOSED LAND USE: SPORTS COMPLEX

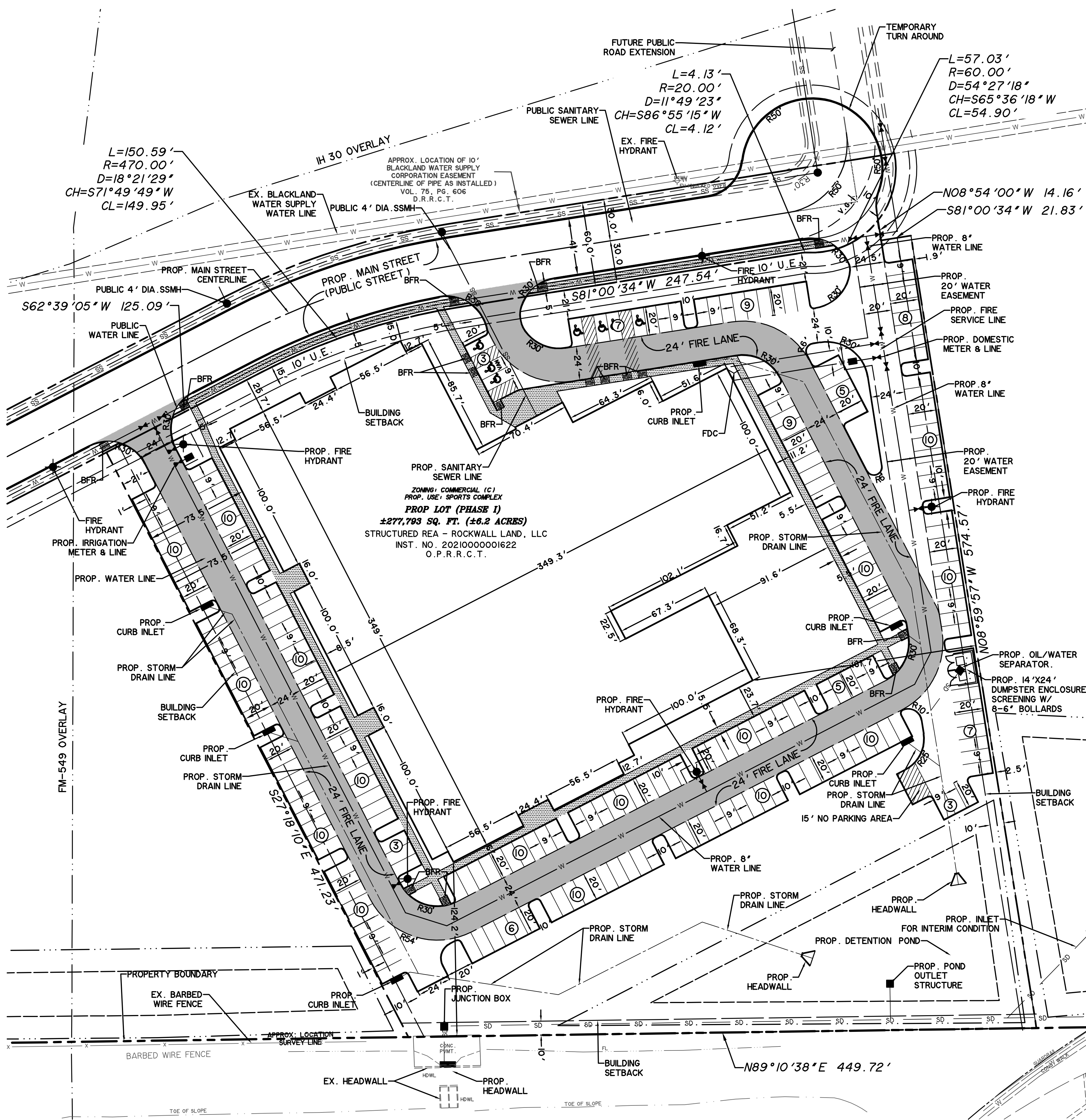
PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

SP2021-010

SHEET 2 OF 2

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/For Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 1041567 On
Date Shown Below.

DATE: 5/4/2021
W.A. No. 19144



SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ. FT. ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ. FT. ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE I: 6.38 ACRES ± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7 225

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.

ON-SITE PAVEMENT SHALL BE:

PARKING:	5" CONCRETE PAVEMENT
FIRE LANE:	6" CONCRETE PAVEMENT
DUMPSTER:	7" CONCRETE PAVEMENT

- BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED AS PER UDC.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

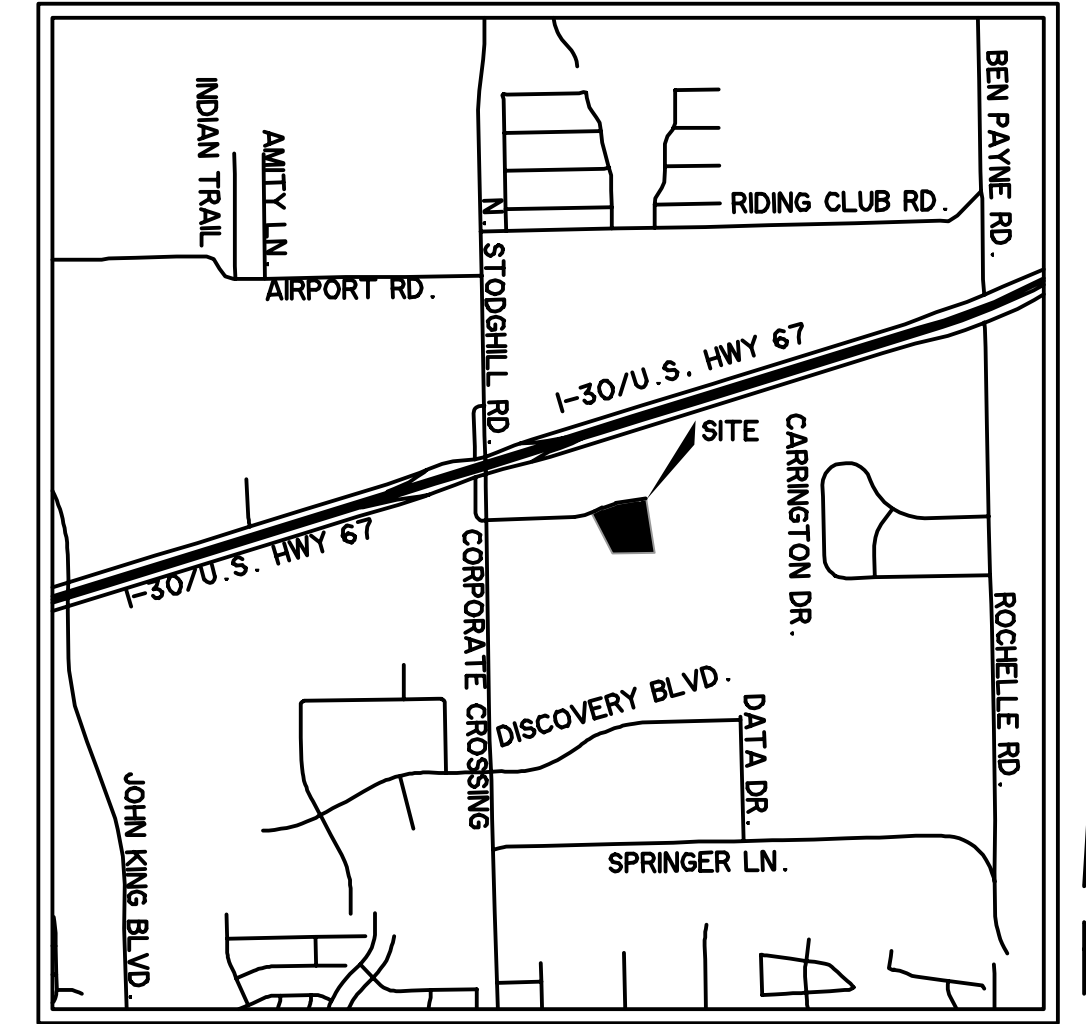
PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, P.E.
Texas Registration
No. 104567 On
Date Shown Below.

SP2021-010

SHEET 1 OF 2

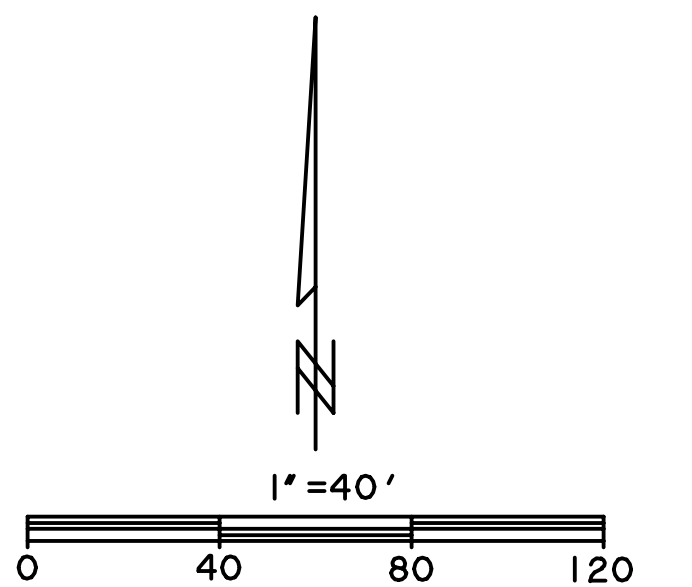
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W.A. No. 19144

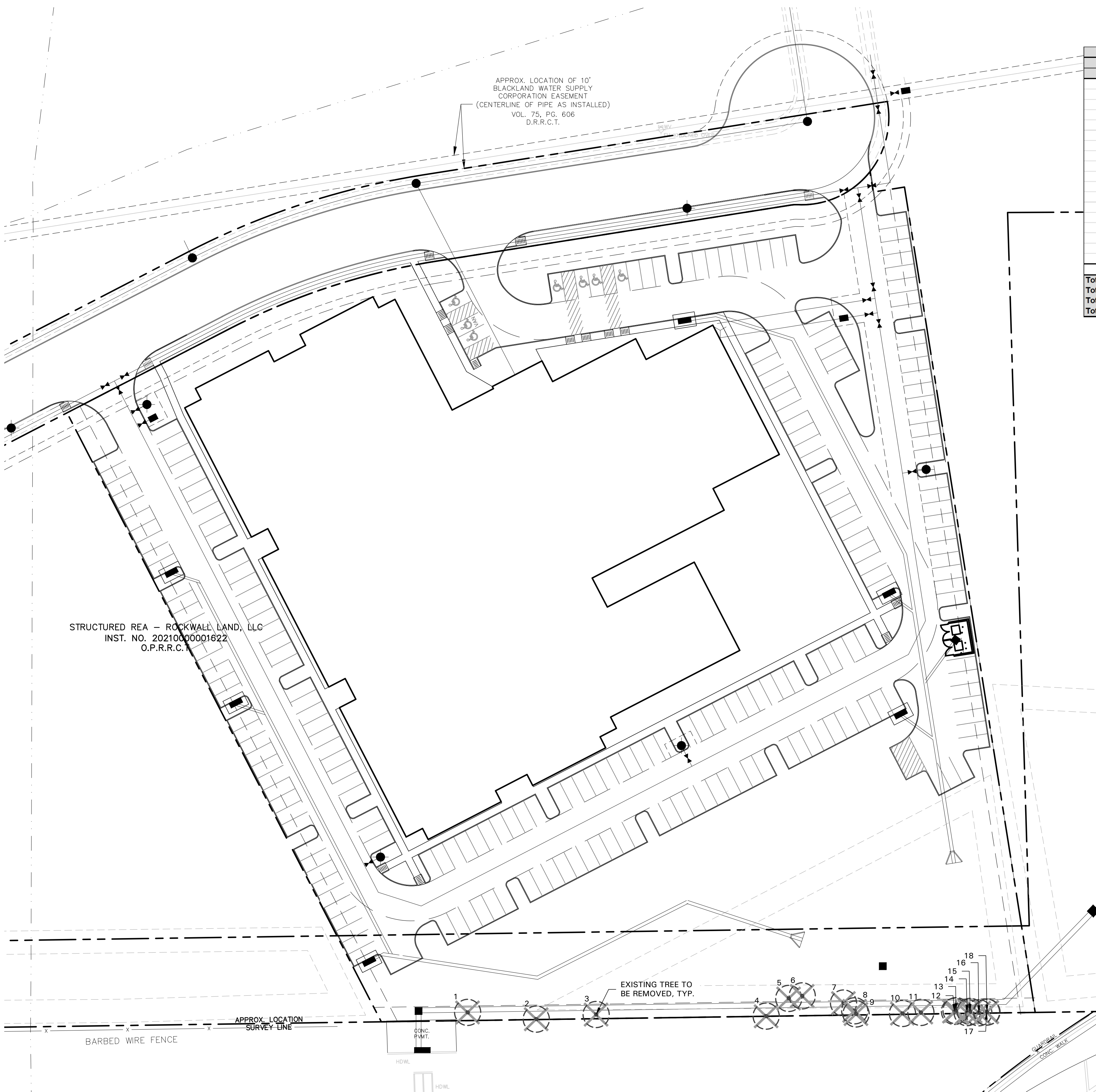


VICINITY MAP
NOT TO SCALE

LEGEND

SSMH @	EXISTING SANITARY SEWER MANHOLE
SSCO @	EXISTING SANITARY SEWER CLEAN OUT
FH @	EXISTING FIRE HYDRANT
WM @	EXISTING WATER METER
WM @	EXISTING WATER VAULT
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER LINE
SD	PROPOSED STORM DRAIN LINE
---	PHASE I PARCEL BOUNDARY
---	PROPERTY BOUNDARY
---	PROPOSED WATER EASEMENT
---	PROPOSED FIRE LANE
---	BUILDING SETBACK
BFR	BARRIER FREE RAMP
---	PROP. SIDEWALK
---	PROP. PUBLIC ACCESS & UTILITY EASEMENT



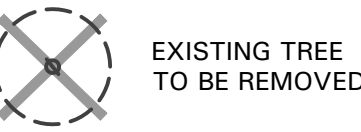


TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
2	12	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
3	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
4	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
5	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
6	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
7	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
8	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
9	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
10	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
11	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
12	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
13	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
14	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
15	13	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
16	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
17	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
18	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
Total Caliper Inches on Site				163
Total Caliper Inches Removed				163
Total Mitigation Inches Required				31.5
Total Mitigation Inches Provided				32

TREE PRESERVATION NOTES

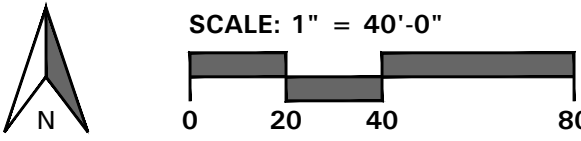
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND

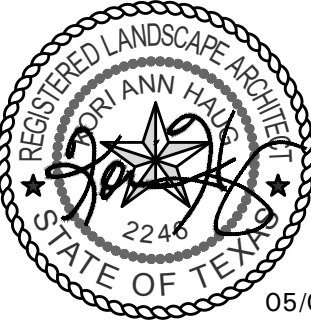


APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.
WITNESS OUR HANDS, THIS ___ OF ___, ___.
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CASE NO: SP-2021-010
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
OWNER/DEVELOPER/ APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



FitSportsLife
Phase 1
Rockwall, Texas

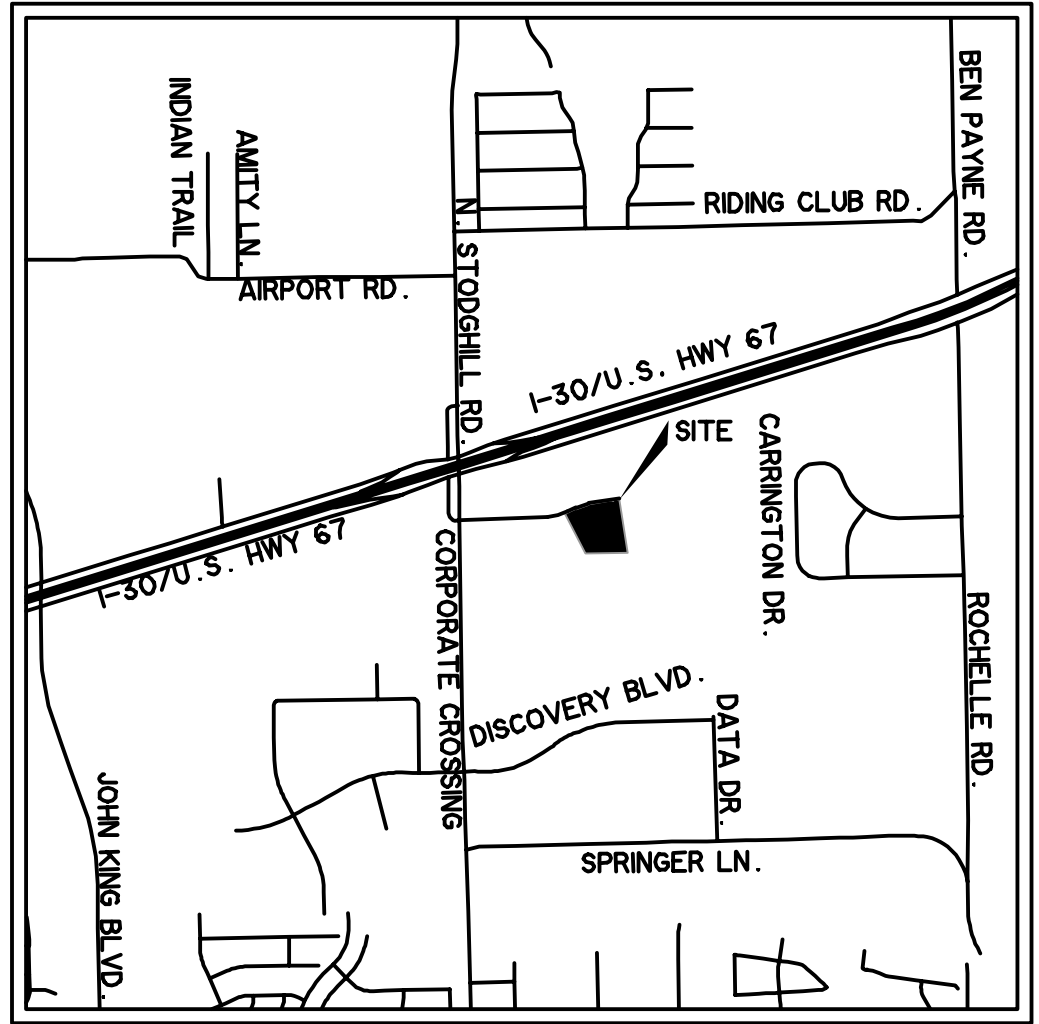
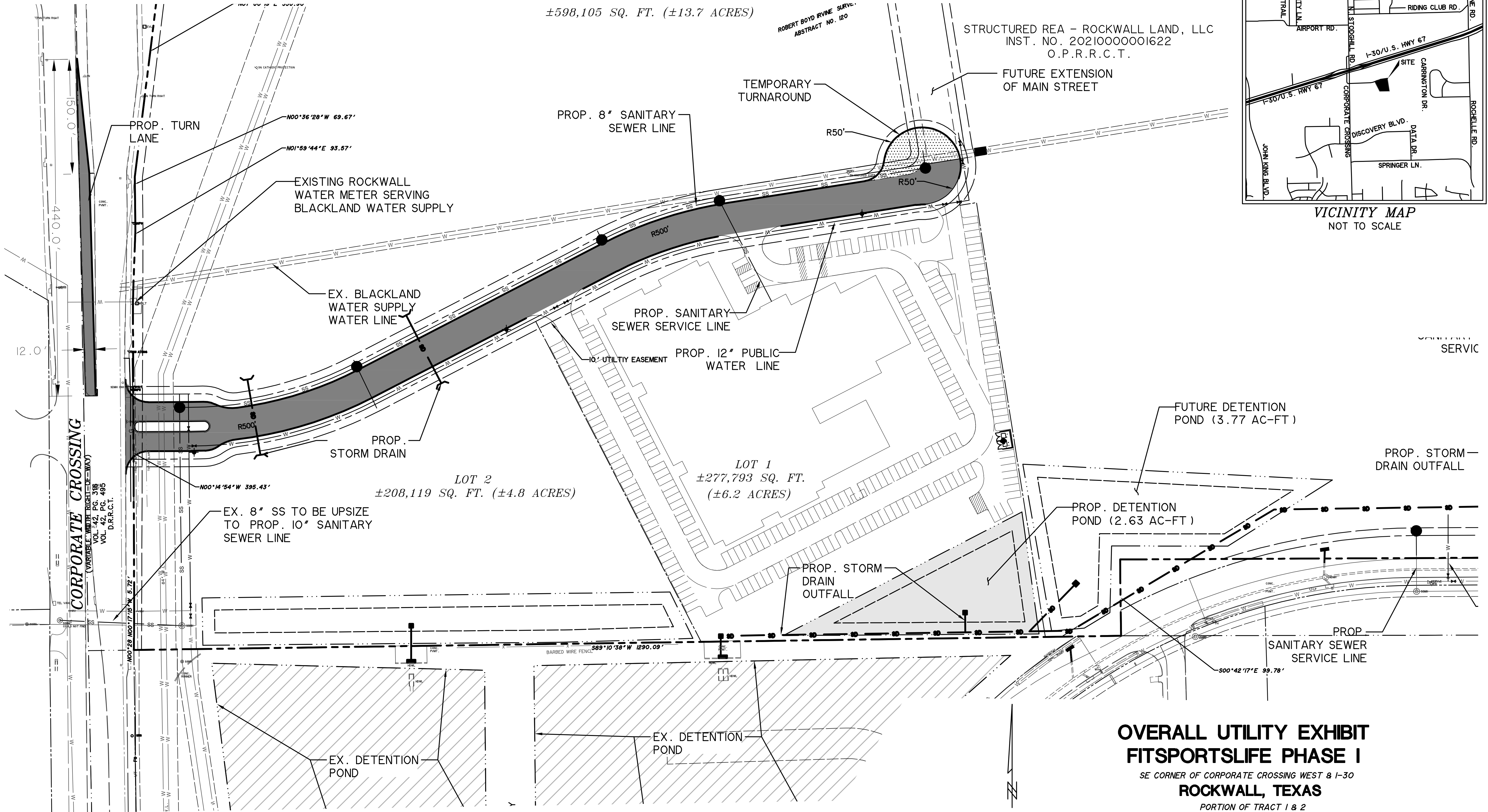
Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date: Detail:
1 05.07.21 City Comments

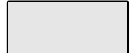



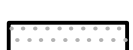
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TREE
PRESERVATION
PLAN
Sheet Number:

L1.01





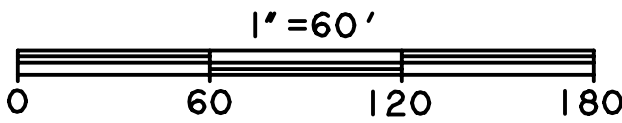
VICINITY MAP
NOT TO SCALE

LEGEND			
SSMH ⊙	EXISTING SANITARY SEWER MANHOLE	---	R.O.W. BOUNDARY
SSCO ○	EXISTING SANITARY SEWER CLEAN OUT		PROPOSED DETENTION POND
FH ⊕	EXISTING FIRE HYDRANT		EXISTING DETENTION POND
WM ⊕	EXISTING WATER METER		DETENTION POND BY OTHERS
WM □	EXISTING WATER VAULT		PHASE I PUBLIC PAVING
—W—	EXISTING WATER LINE		PHASE I TEMPORARY TURN AROUND
—SS—	EXISTING SANITARY SEWER LINE		
—W—	PROPOSED WATER LINE		
—SS—	PROPOSED SANITARY SEWER LINE		
—SD—	PROPOSED STORM DRAIN LINE		
---	ADJOINING PROPERTY BOUNDARY		
---	PROPERTY BOUNDARY		

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

OVERALL UTILITY EXHIBIT
FITSPORTSLIFE PHASE I
SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

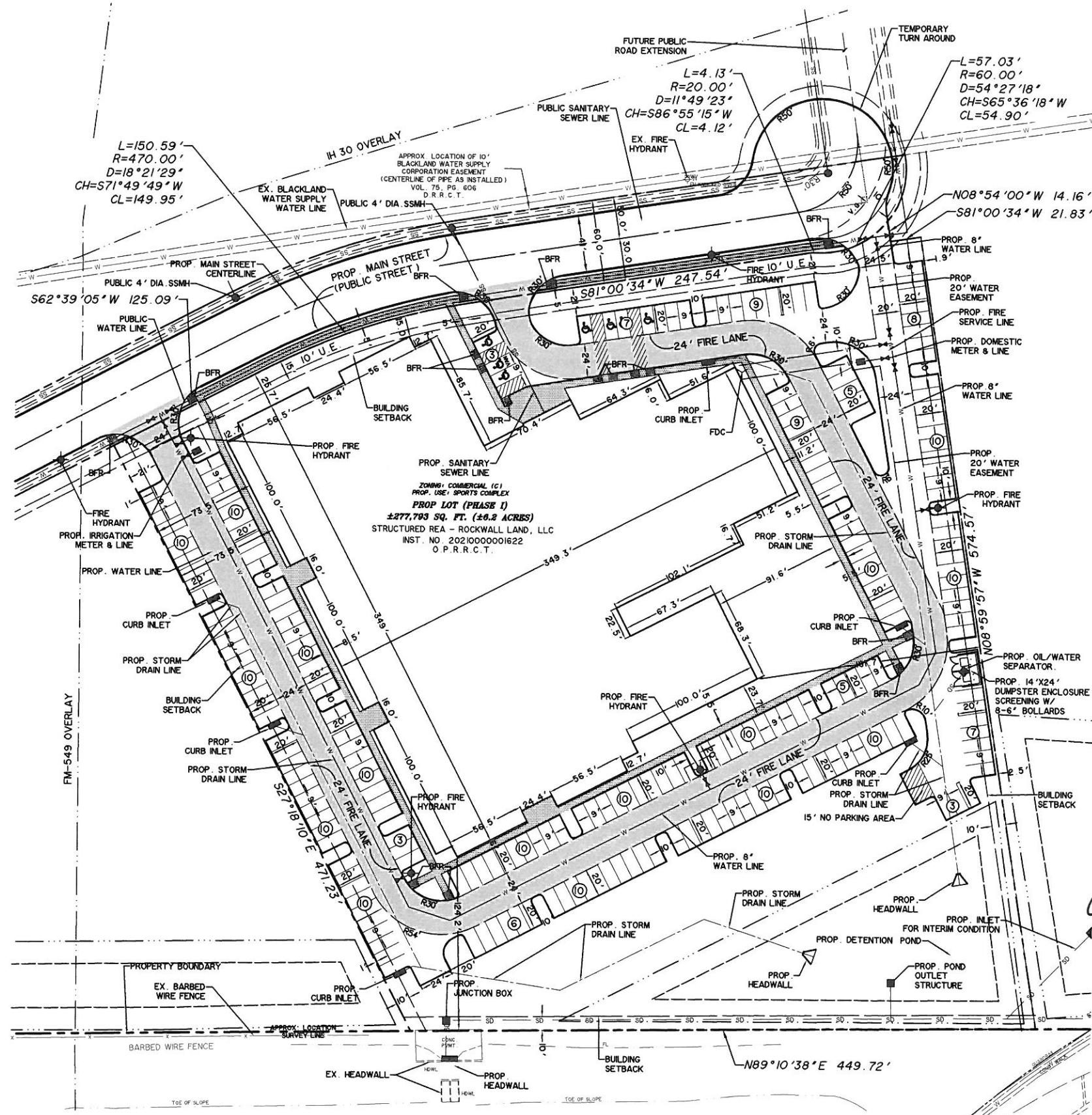
EXISTING ZONING: C (COMMERICAL)
PROPOSED LAND USE: SPORTS COMPLEX

PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

SP2021-010 SHEET 2 OF 2

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 1041857 On
Date Shown Below.

DATE: 5/4/2021
W.A. No. 19144



SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	<p><u>EXISTING TRACTS:</u> TRACT 1 STRUCTURED REA - ROCKWALL LAND, LL 20.49 ACRES ± (892, 663 SQ FT ±)</p> <p>TRACT 2 STRUCTURED REA - ROCKWALL LAND, LL 31.44 ACRES ± (1,369,360 SQ FT ±)</p>
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LL LOT PHASE 1: 6.38 ACRES± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE 1	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (19'x20') 218 <u>HANDICAP-ACCESSIBLE 7</u> 225

NOTE:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
3. ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.

ON-SITE PAVEMENT SHALL BE:

PARKING:	5' CONCRETE PAVEMENT
FIRE LANE:	6' CONCRETE PAVEMENT
DUMPSTER:	7' CONCRETE PAVEMENT

4. BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
6. ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB
7. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED AS PER UDC.

APPROVED: _____
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN
THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL ON THE 17 DAY OF May 2021
WITNESS OUR HANDS, THIS 17 OF May 2021 PL14

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN

FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 1

EXISTING ZONING: C (COMMERICAL)
PROPOSED LAND USE: SPORTS COMPLEX

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
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PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
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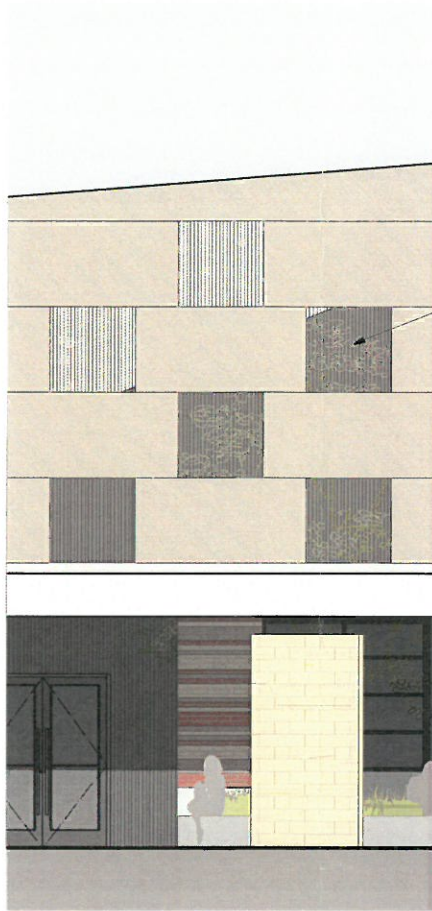
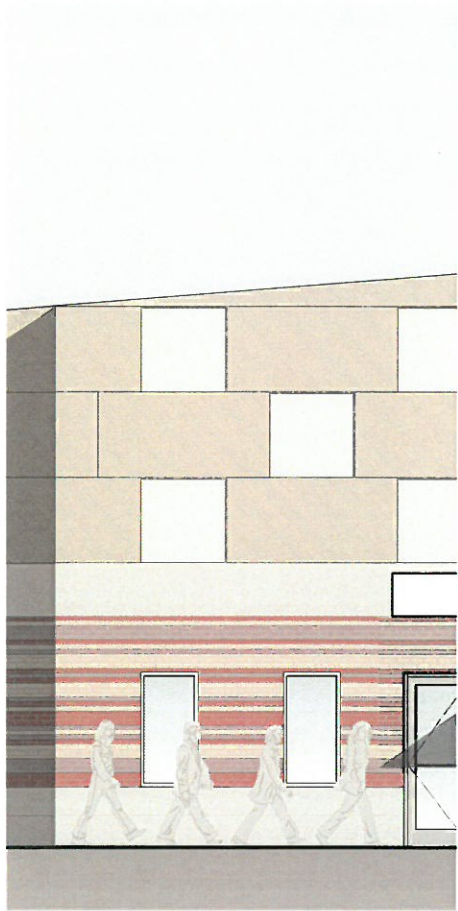
WIA PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.wierassociates.com

SP2021-010

SHEET 1 OF 2

**PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.**
Prepared By/Or Under
Direct Supervision Of
Randall Carday, PE
Texas Registration
No. 104957 On
Date Shown Below.

DATE: 5/10/2021
W.A. N- 10114



- PERFORATED WALLS AT COURTYARD
- 6' x 10' SIGNAGE PER CODE
- SMOOTH CONCRETE FINISH
- TEXTURED CONCRETE FINISH
- FLUTED CONCRETE WALLS, PAINTED
- CONTINUOUS BRICK BAND
- TEXAS STONE
- PLANTINGS ADJACENT TO ALL ENTRANCES AND EGRESS FOR INTEGRATION OF NATURAL ELEMENTS WITH INSIDE ENVIRONMENT

PLANTINGS AT ALL ENTRANCES



SMOOTH CONCRETE

TEXTURED CONCRETE

TEXAS STONE

LANDSCAPE BEHIND PERFORATED WALLS

FLUTED CONCRETE WALLS



CONTINUOUS 10' HIGH BRICK BAND

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 11 DAY OF May, 2024

WITNESS OUR HANDS, THIS 14 OF May, 2024

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

WDS Structured

weefing design studio

REAL ESTATE

PROJECT

FITSPORTLIFE
ROCKWALL, TEXAS
CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION	
#	DATE
	03/19/2021

SITE PLAN REVIEW
NOT FOR
CONSTRUCTION

DRAWING TITLE

MATERIALS BOARD
SP2021-010

DRAWING NO.

A-2.1

Latest version

- (Ord. No. 10-14, § 51, 7-6-2010)

D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



Luminaire Section	Manufacturer / Catalog Number	Qty	Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor
Symbol	DSXO LED P7 40K T15 MVOLT DM19AS 30' MH	12	17831	166	1.000	1.000
SA	DSXO LED P7 40K T15 MVOLT DM19AS 30' MH	58	18337	166	1.000	1.000
SB	DSXO LED P7 40K T15 MVOLT DM19AS 30' MH	58	18337	166	1.000	1.000
WST	WST LED P1 40K VW MVOLT	12	1659	12	1.000	1.000

Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
17831	166	1.000	1.000
18337	166	1.000	1.000
1659	12	1.000	1.000

WITNESS OUR HANDS, THIS 14 OF May, 2021.

PLANNING & ZONING COMMISSION, CHAIRMAN

§ 3.3. Minimum requirements.

Latest version.

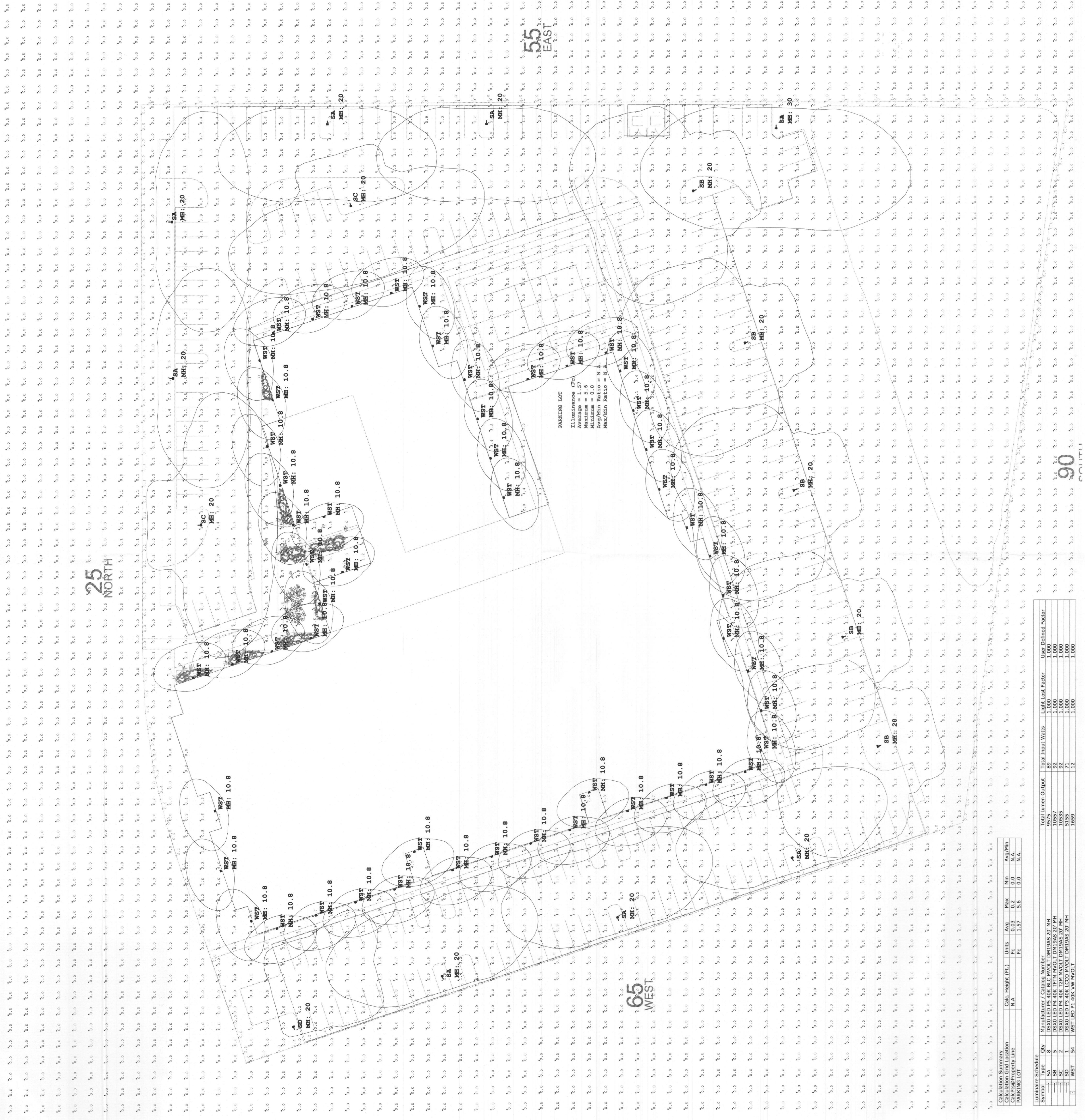
- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
- C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 7-4-2010)

D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

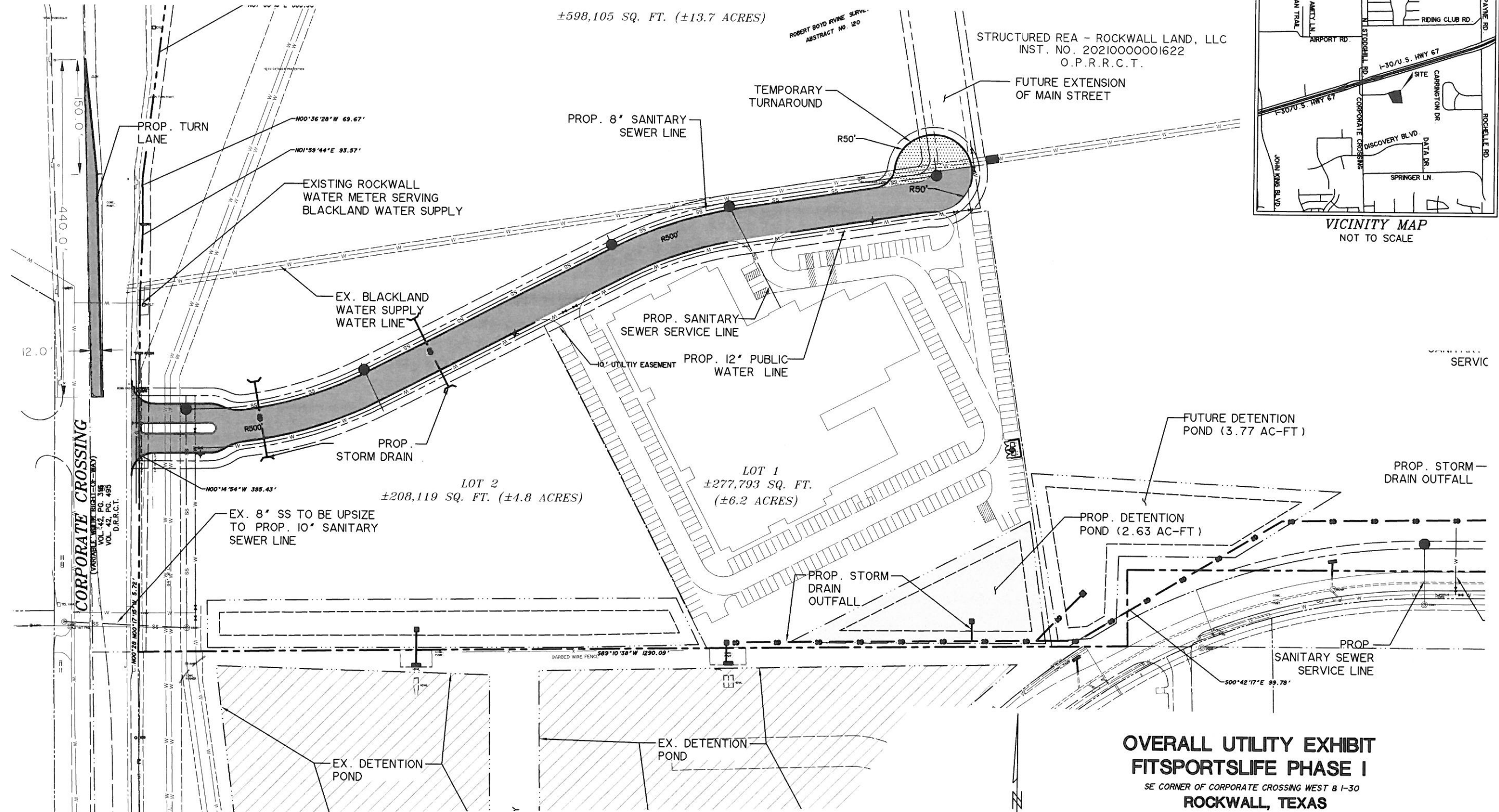
E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



APPROVED:
THE CITY ENGINEER
COMMISSION OF THE CITY OF ROCKWALL ON THE DAY OF MAY 2021

WITNESS OUR HANDS, THIS 14th DAY OF MAY 2021.
PLANNING & ZONING COMMISSION, CHAIRMAN

SP2021-010



LEGEND

SSMH	EXISTING SANITARY SEWER MANHOLE	---	R.O.W. BOUNDARY
SSCO	EXISTING SANITARY SEWER CLEAN OUT	---	PROPOSED DETENTION POND
FH	EXISTING FIRE HYDRANT	---	EXISTING DETENTION POND
WM	EXISTING WATER METER	---	DETENTION POND BY OTHERS
WM	EXISTING WATER VAULT	---	PHASE I PUBLIC PAVING
---	EXISTING WATER LINE	---	PHASE I TEMPORARY TURN AROUND
---	EXISTING SANITARY SEWER LINE	---	
---	PROPOSED WATER LINE	---	
---	PROPOSED SANITARY SEWER LINE	---	
---	PROPOSED STORM DRAIN LINE	---	
---	ADJOINING PROPERTY BOUNDARY	---	
---	PROPERTY BOUNDARY	---	

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 11 DAY OF May 2021.

WITNESS OUR HANDS, THIS 14 OF May 2021

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

OVERALL UTILITY EXHIBIT FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS
PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

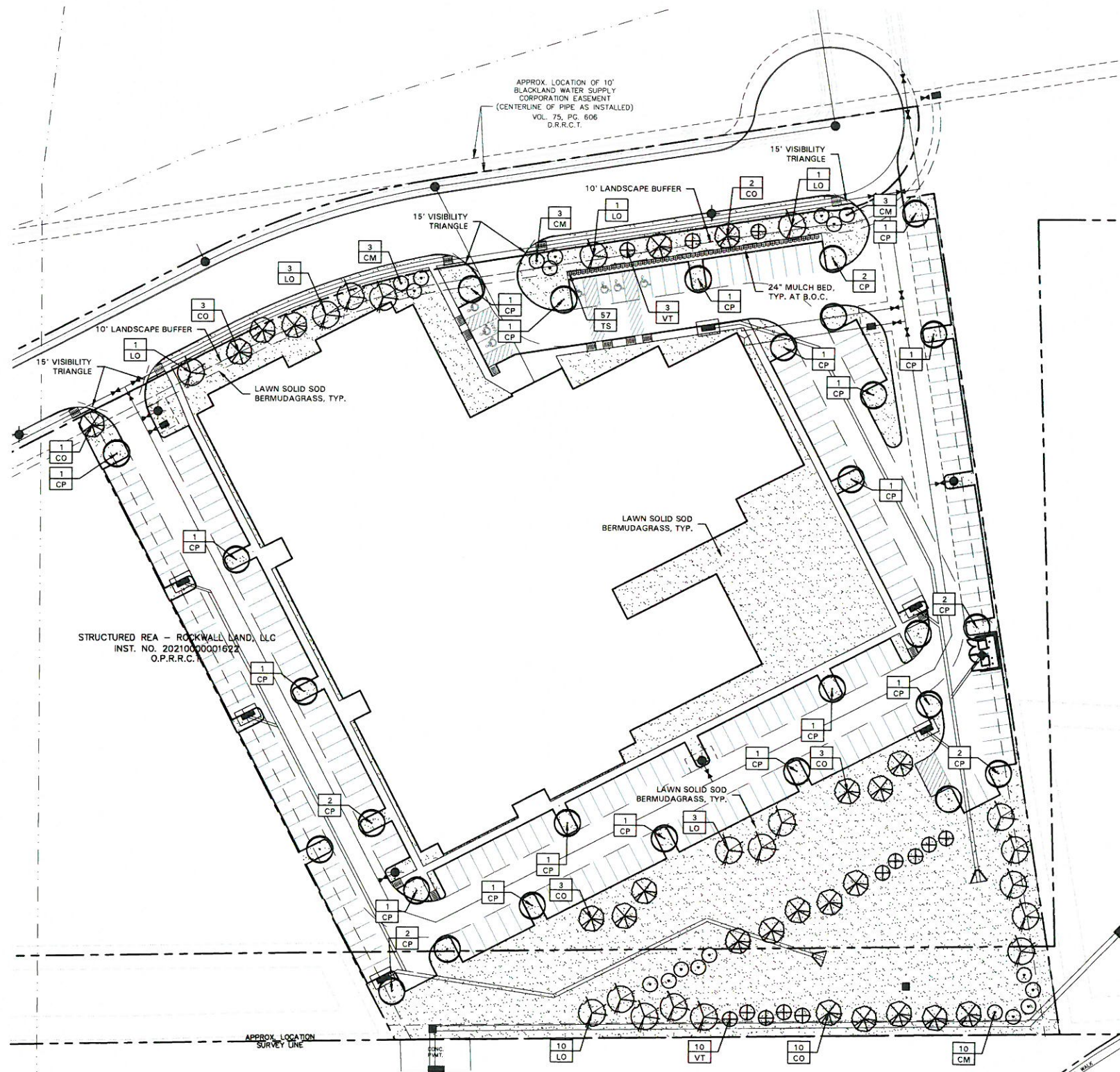
PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

SP2021-010

SHEET 2 OF 2

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.
Prepared By/For Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 104557 On
Date Shown Below.

DATE: 5/4/2021
W.A. No. 19144



STRUCTURED REA - ROCKWALL LAND, LLC
INST. NO. 2021000001622
O.P.R.R.C.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crape Myrtle 'Natchez'	19	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	22	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	19	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	13	30 gal.	container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUND COVER					
TS	<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	57	5 gal.	container full, 20" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

1. Ten (10') foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) l.f.

STREET A: 585 l.f.
Required: (12) canopy trees, 4" cal. (12) canopy trees, 4" cal.
Provided: (12) accent trees, 4" min. ht. (12) accent trees, 4" min. ht.

PARKING LOT LANDSCAPING

1. Five (5%) percent of the interior parking lot shall be landscaped.
2. One (1) canopy tree per 10 parking spaces

Total interior parking lot area: 41,433 s.f.
Total parking spaces: 225 spaces

Required: 2,072 s.f. (5%) (23) canopy trees
Provided: 7,238 s.f. (17%) (28) canopy trees

SITE LANDSCAPING

1. Twenty (20%) percent of the total site shall be landscaped for COMMERCIAL.
2. Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.

Required: 45,557 s.f. (15%) 22,779 s.f. (50%)
Provided: 95,458 s.f. (42%) 33,262 s.f.

DETENTION POND LANDSCAPING

1. One (1) canopy tree and one (1) accent tree per 750 s.f. of detention pond area.

Detention Pond Area: 14,844 s.f.

Required: (20) canopy trees (20) accent trees
Provided: (20) canopy trees (20) accent trees

CASE NO: SP-2021-010

ENGINEER:

WER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76005
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

OWNER/DEVELOPER/APPLICANT:

STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



SCALE: 1" = 40'-0"
0 20 40 80



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

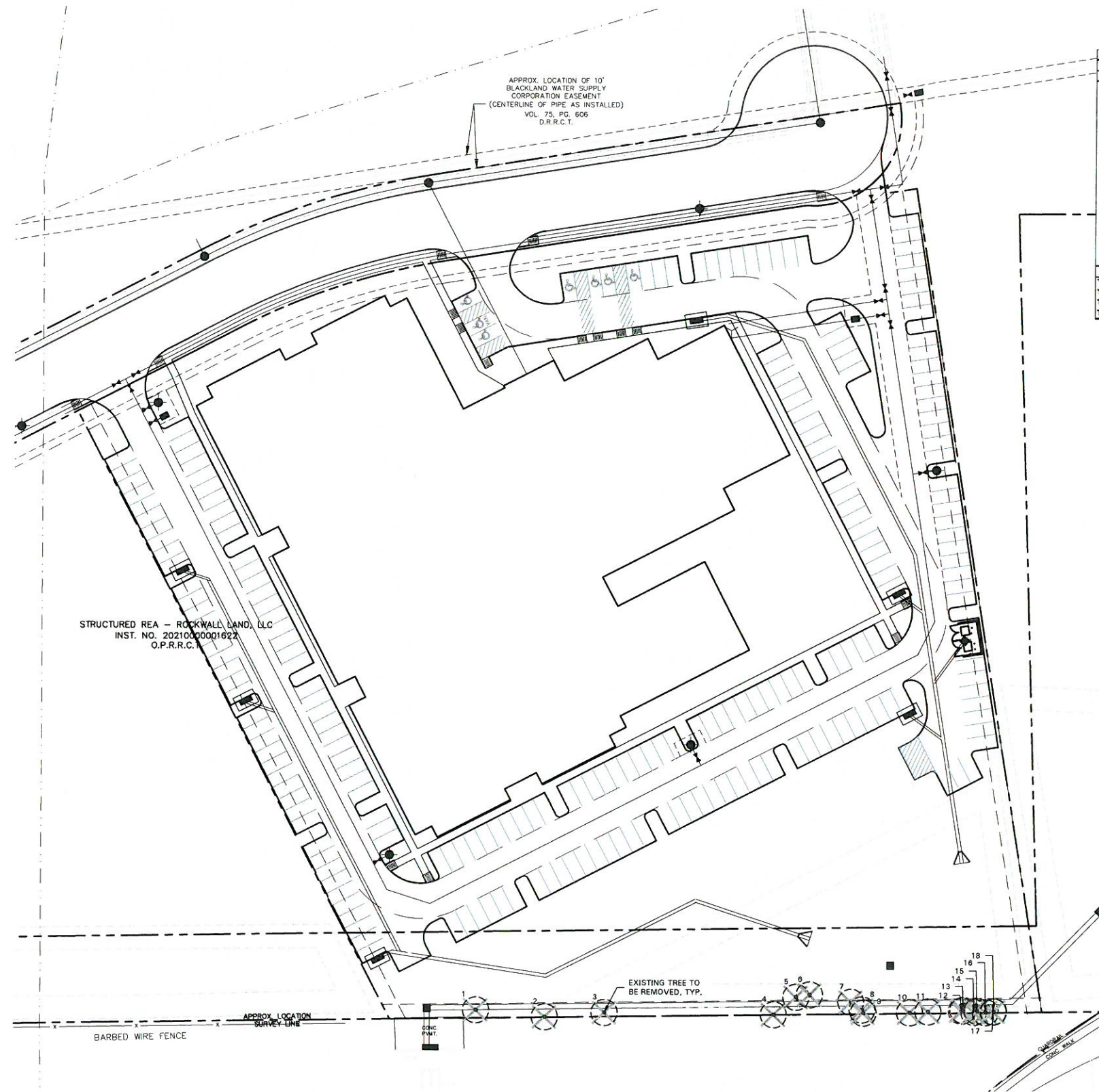
Revisions
No. Date: Detail:
1 05.07.21 City Comments

Sheet Title:

LANDSCAPE
PLAN

Sheet Number:

L2.01



TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
2	12	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
3	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
4	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
5	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
6	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
7	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
8	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
9	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
10	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
11	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
12	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
13	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
14	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
15	13	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
16	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
17	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
18	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
Total Caliper Inches on Site				163
Total Caliper Inches Removed				163
Total Mitigation Inches Required				31.5
Total Mitigation Inches Provided				32

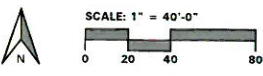
- TREE PRESERVATION NOTES**
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
 - IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
 - NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
 - ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
 - NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
 - NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
 - NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 - NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
 - BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
 - IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
 - ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
 - ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
 - WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 17 DAY OF May 2021.
WITNESS OUR HANDS, THIS 16th day of May 2021
PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

CASE NO.: SP-2021-010
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76005
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date Detail
1 05.07.21 City Comments

Sheet Title:
TREE PRESERVATION PLAN
Sheet Number:
L1.01



May 14, 2021

TO: Randy Eardley
Wier & Associates, Inc.
2201 E. Lamar Blvd, Suite 200E
Arlington, Texas 76006

COPY: Stephen Doyle
Structured REA-Rockwall Land, LLC
171 N. Aberdeen Street, Suite 400
Chicago, Illinois 60607

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2021-010; *Site Plan for a Sports and Recreation Facility*

Mr. Eardley:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on May 11, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On May 11, 2021, the Planning and Zoning Commission approved a motion to approve the site plan with the conditions of approval by a vote of 5-0, with Commissioners Moeller and Conway absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP
Planning and Zoning Manager