



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # 22021-003 P&Z DATE 2/9/21 CC DATE 2/16/21 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☒ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☒ HOA MAP
- ☒ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22021-003

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

## NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6 BLOCK

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.165 LOTS [CURRENT] LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Castro Development LLC

☐ APPLICANT

CONTACT PERSON Jason Castro

CONTACT PERSON

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP

PHONE 214.232.2750

PHONE

E-MAIL jason@castropropertygroup.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

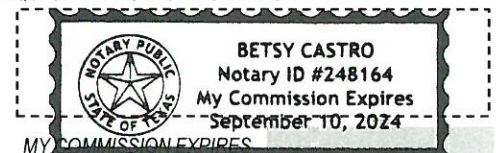
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



# Object & Architecture

Ryan Withrow, Architect  
4815 Terry Street  
Dallas, Texas 75223  
214 240 1995  
[ryan@obj-arc.com](mailto:ryan@obj-arc.com)  
[www.obj-arc.com](http://www.obj-arc.com)

January 15, 2020

**Castro - Clark Duplex**  
511 S. Clark Street  
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,194 sqft of conditioned area with a two car garage. Unit One is 2,023 sqft of conditioned area and Unit Two is 1,171 sqft of conditioned area. The smaller unit will have two bedrooms and two full bathrooms, an open living/kitchen/dining area, and a utility room. The larger unit will have three bedrooms, two full bathrooms, a powder bath, an office/flex space, an open living/kitchen/dining area, and a utility room.

The residence will have a Texas Modern style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect  
Object & Architecture PLLC  
TBAE License #26945



## 511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY,  
an Addition in Rockwall County, Texas, according to the Map or Plat  
recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat  
Records of Rockwall County, Texas.

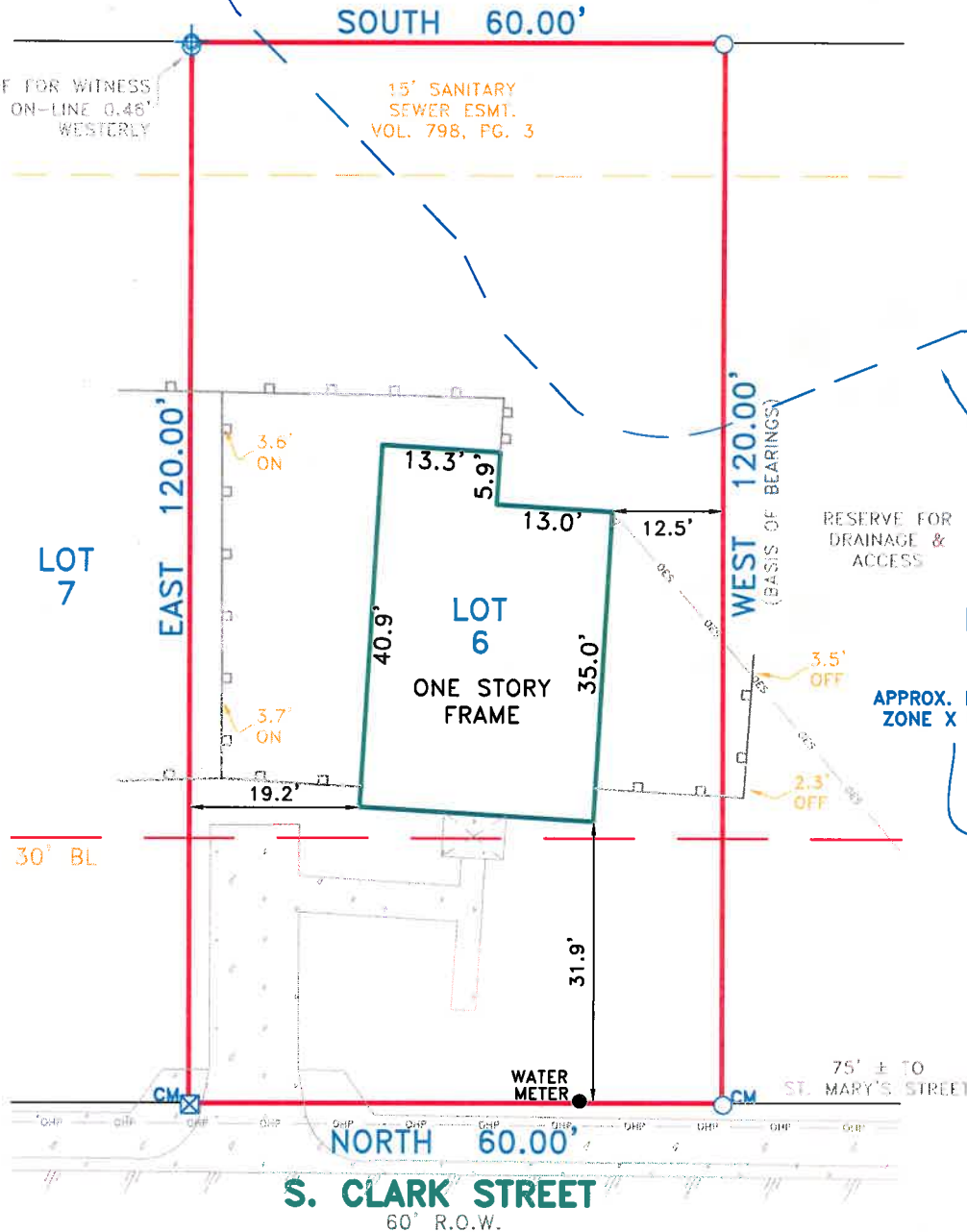
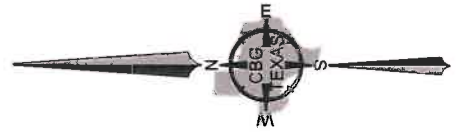


### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- ||— EDGE OF ASPHALT
- ||— EDGE OF GRAVEL
- ||— CONCRETE
- ||— COVERED AREA
- ||— BRICK
- ||— STONE

APPROX. LOCATION  
ZONE A 100YR  
48397C0040L  
DATE 09/26/2008

JO KAY HARRIS GLASS,  
AS HER SOLE AND  
SEPERATE PROPERTY  
INST.# 20160000012322



### EXCEPTIONS:

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ

Scale: 1" = 20'

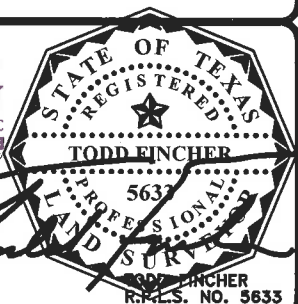
Date: 7-30-2020

GF No.: 20-509065-RL

Job No. 2013905



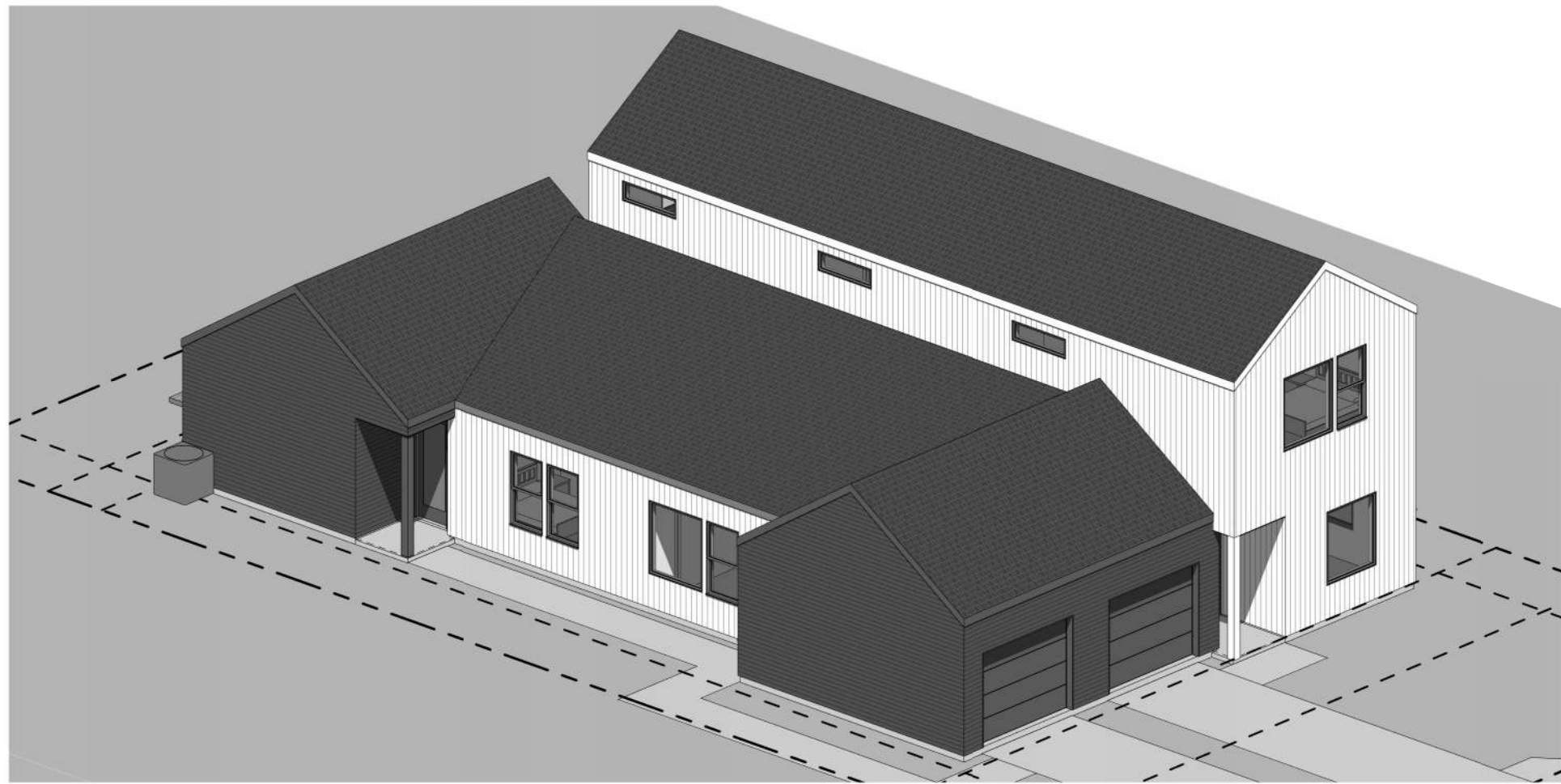
12025 Shiloh Road, Ste. 240  
Dallas, TX 75228  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.cbgtxllc.com



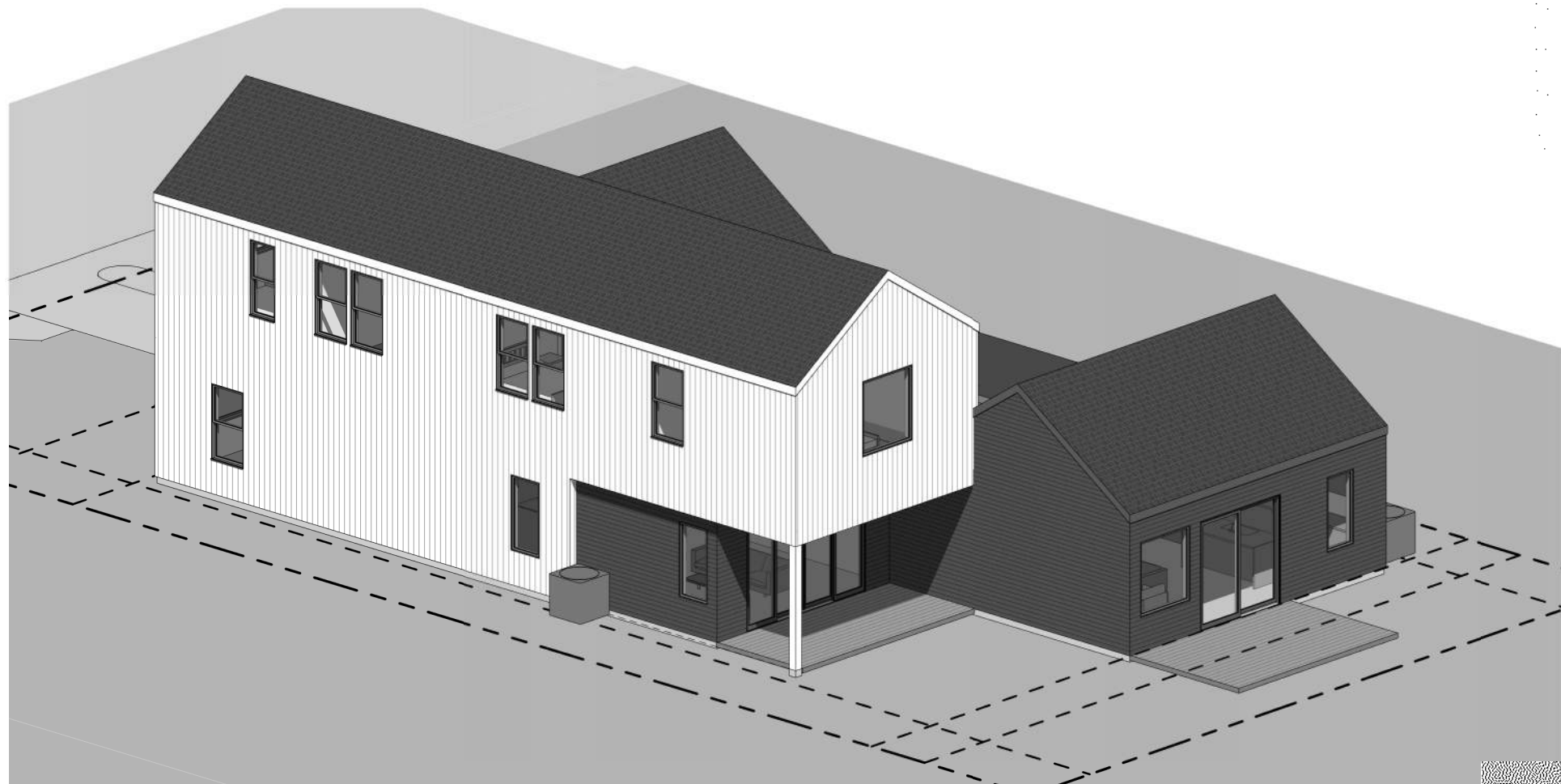
Accepted by: \_\_\_\_\_  
Purchaser

Date: \_\_\_\_\_

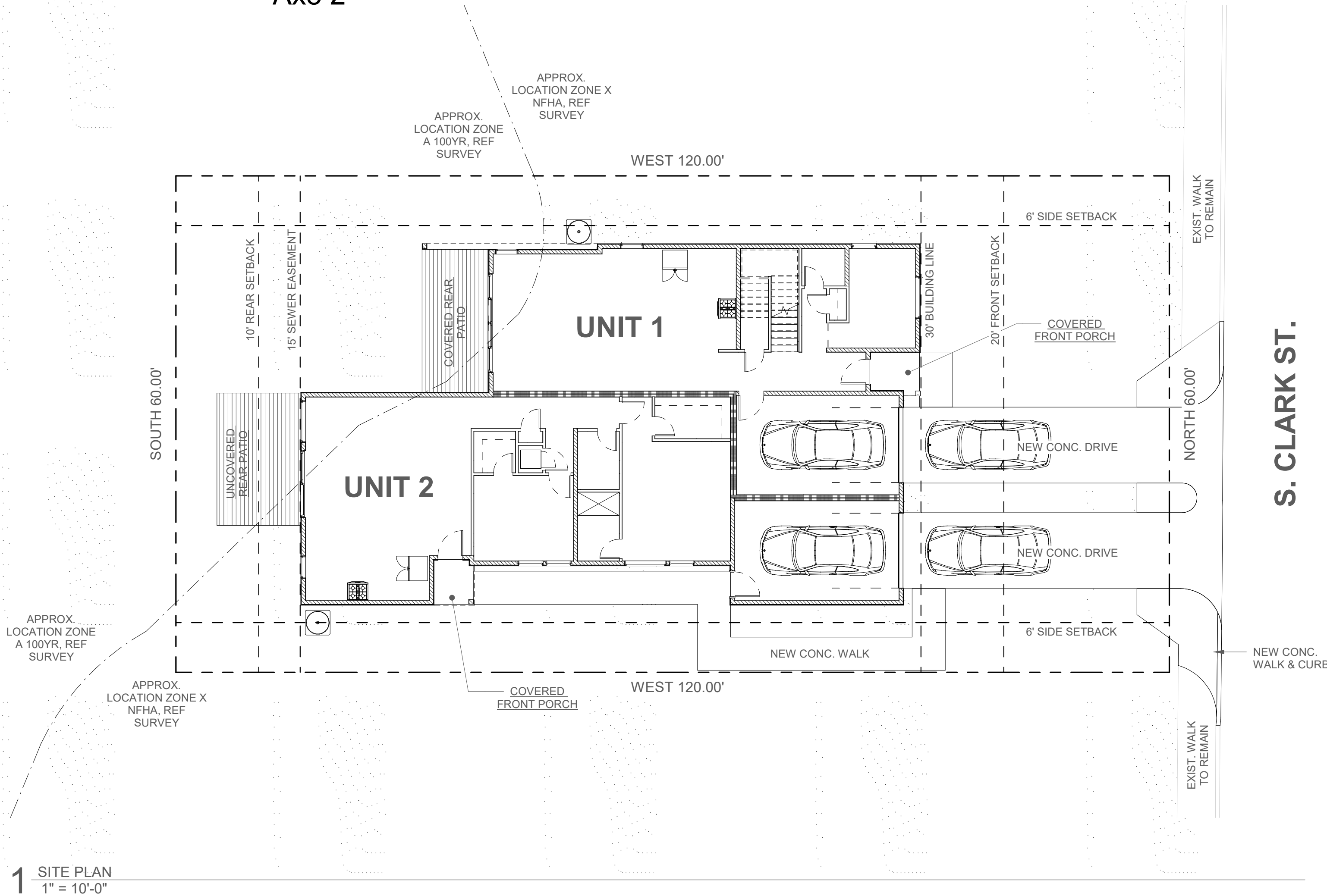
Purchaser



Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRVING BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURERS CUT SHEETS. CONFIRM THERE SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R112 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

- TYPICAL EXISTING WALL
- TYPICAL REMOVED WALL
- TYPICAL 3-1/2" STUD INTERIOR WALL
- INTERIOR WALL WITH SOUND INTERIOR
- TYPICAL 5 1/2" STUD INTERIOR WALL
- TYPICAL SIDING EXTERIOR WALL
- TYPICAL CEMENT PLASTER EXTERIOR WALL
- TYPICAL MASONRY EXTERIOR WALL
- WINDOW TAG
- WALL TYPE
- DOOR TAG
- SECTION CUT TAG
- ELEVATION TAG
- DETAIL TAG

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS  
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

**OWNER**  
CASTRO DEVELOPMENT  
1006 CLERMONT ST.  
DALLAS, TX 75223

**ARCHITECT**  
OBJECT & ARCHITECTURE  
4815 TERRY STREET  
DALLAS, TX 75223

**CONTACT:**  
JASON CASTRO  
214.232.2750  
JASON@CASTROPROPERTYGROUP.COM

**CONTACT:**  
RYAN M. WITHROW  
214.240.1995  
RYAN@OBJ-ARC.COM

PROJECT INFORMATION

**DESCRIPTION:** NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE

**ADDRESS:** 511 S. CLARK STREET  
ROCKWALL, TX 75087

**CITY:** ROCKWALL  
**COUNTY:** ROCKWALL COUNTY

**LOT:** 6  
**BLOCK:** J.E. HARRIS SUBDIVISION

SITE INFORMATION

**ZONING REGULATIONS**  
**ZONE:** TWO-FAMILY (2F)  
**MAIN USE:** TWO FAMILY RESIDENCE (DUPLEX)

**FRONT SETBACK:** 20 FT.  
**SIDE SETBACKS:** 6 FT.  
**REAR SETBACK:** 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES

**UNIT DENSITY:** NO MAXIMUM DWELLING UNIT DENSITY.  
**MAX ALLOWED HT:** 32 FT.  
**LOT COVERAGE:** 45% MAX

**AREA CALCULATIONS**  
**CONDITIONED AREAS:**  
UNIT 1 FIRST FLOOR A/C AREA: 914 SQ.FT.  
UNIT 1 SECOND FLOOR A/C AREA: 1,109 SQ.FT.  
UNIT 1 TOTAL A/C AREA: 2,023 SQ.F.  
UNIT 2 FIRST FLOOR A/C AREA: 1,171 SQ.FT.  
UNIT 2 TOTAL A/C AREA: 1,171 SQ.FT.

**UNCONDITIONED AREAS:**  
UNIT 1 GARAGE AREA: 253 SQ.FT.  
UNIT 2 GARAGE AREA: 268 SQ.FT.  
UNIT 1 FRONT PORCH COVERED AREA: 29 SQ.FT.  
UNIT 1 REAR PATIO COVERED AREA: 152 SQ.FT.  
UNIT 2 FRONT PORCH COVERED AREA: 26 SQ.FT.  
TOTAL COVERED PORCHES: 207 SQ.FT.

**LOT AREA:** 7,200 SQ.FT. (PER SURVEY)  
**LOT COVERED AREA:** 2,292 SQ.FT.  
**COVERAGE:** 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF DYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

00703-01

CLARK  
DUPLEX

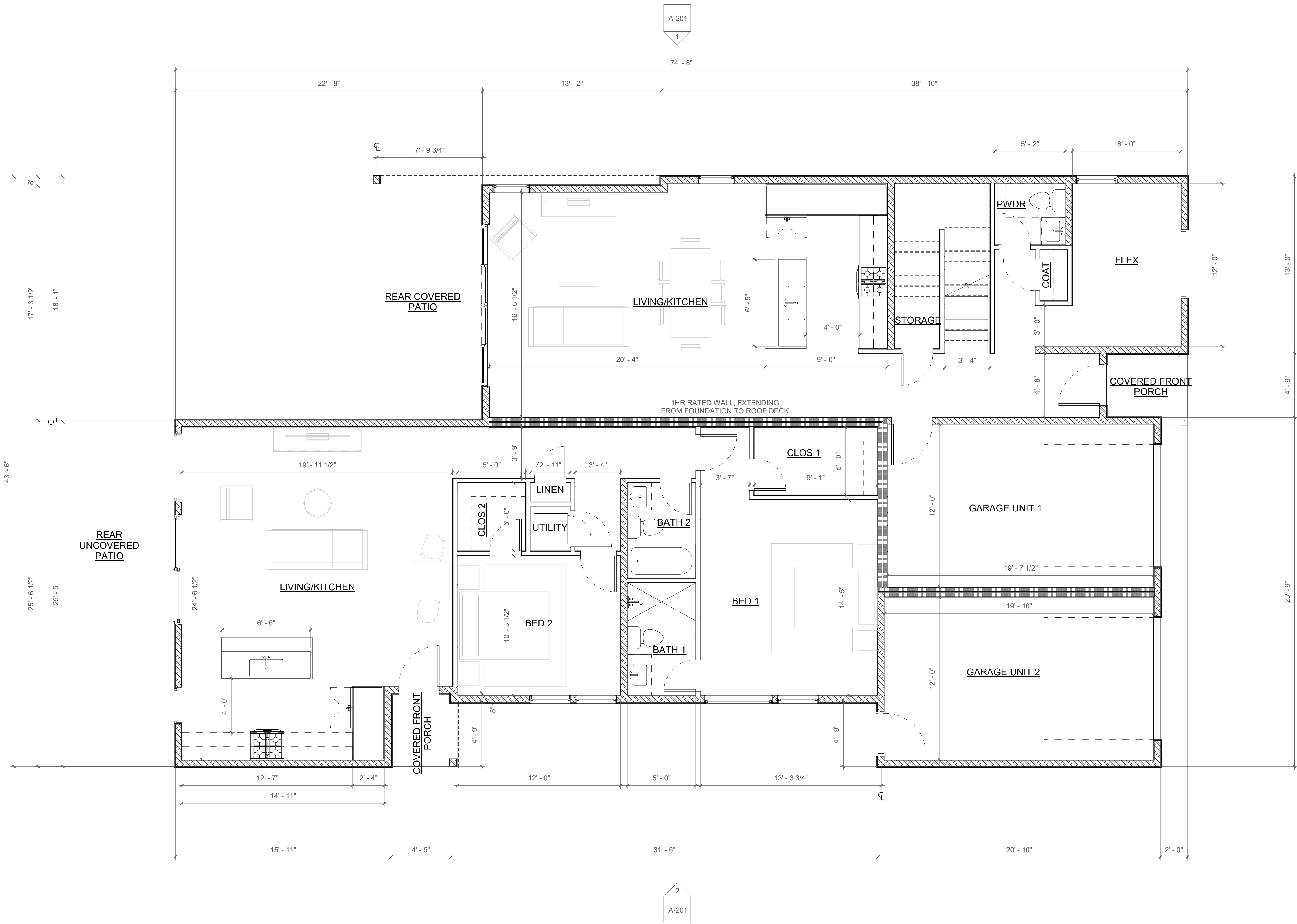
511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &  
SITE PLAN



G-100



#### GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

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4815 Terry Street  
Dallas, Texas 75223  
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00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR  
PLAN



GENERAL FLOOR PLAN NOTES

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5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

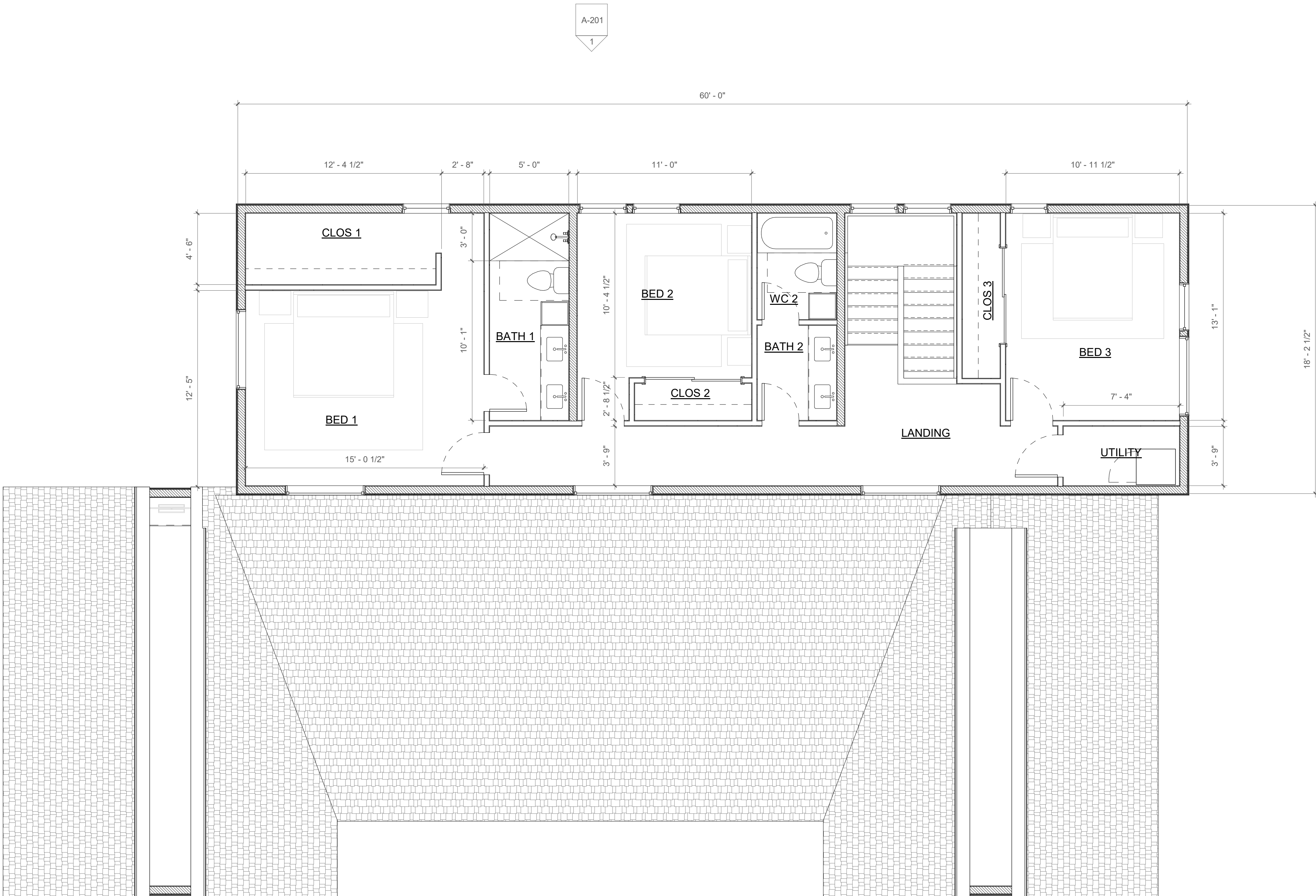
01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com



SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com



1 01-EAST  
1/4" = 1'-0"



2 04-WEST  
1/4" = 1'-0"

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

A-200

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

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00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

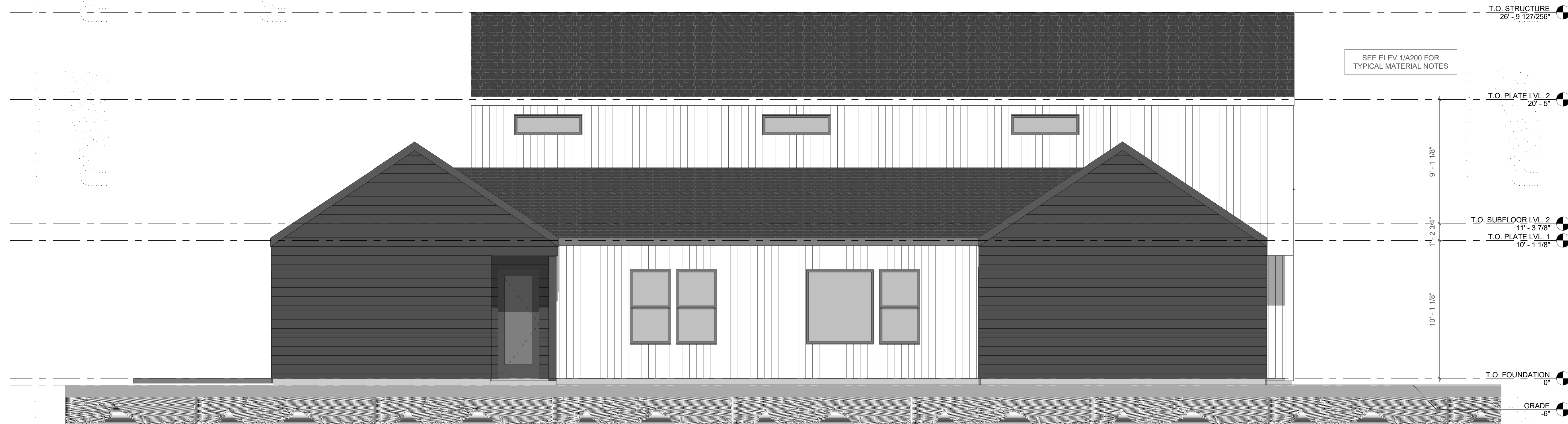
SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

A-201



1 02-NORTH  
1/4" = 1'-0"



2 03-SOUTH  
1/4" = 1'-0"



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # 22021-003 P&Z DATE 2/9/21 CC DATE 2/16/21 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☒ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☒ HOA MAP
- ☒ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22021-003

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

## NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6 BLOCK

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.165 LOTS [CURRENT] LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Castro Development LLC

☐ APPLICANT

CONTACT PERSON Jason Castro

CONTACT PERSON

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP

PHONE 214.232.2750

PHONE

E-MAIL jason@castropropertygroup.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

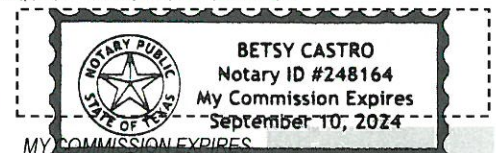
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

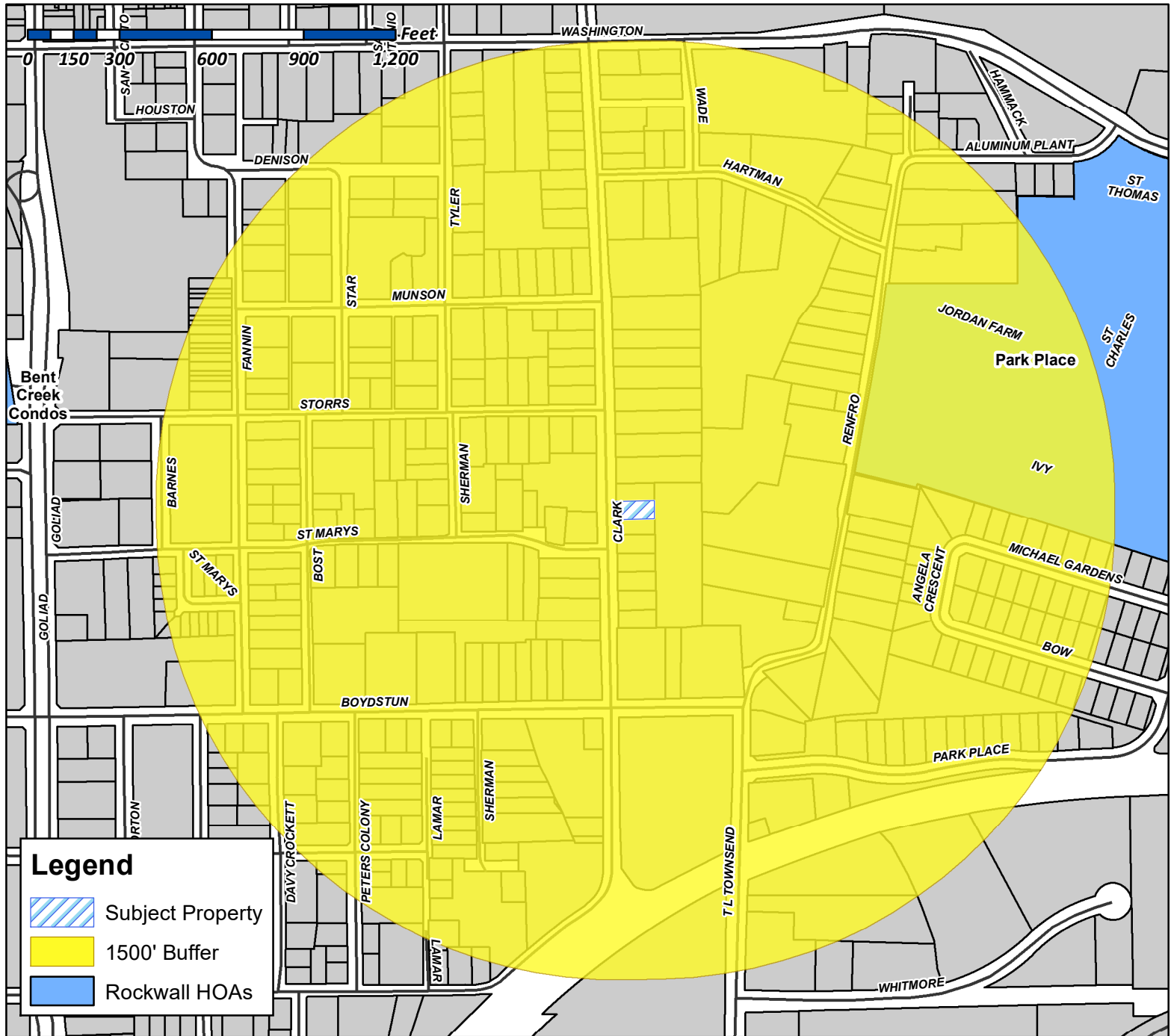







# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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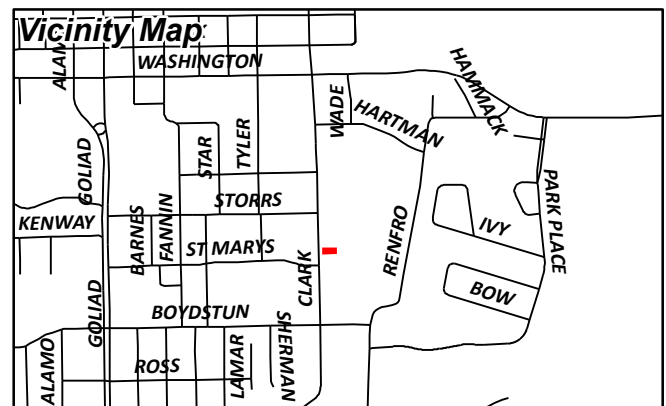
## Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

**Case Number:** Z2021-003  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Two-Family (2F) District  
**Case Address:** 511 S. Clark Street

**Date Created:** 1/19/2021

**For Questions on this Case Call** (972) 771-7745

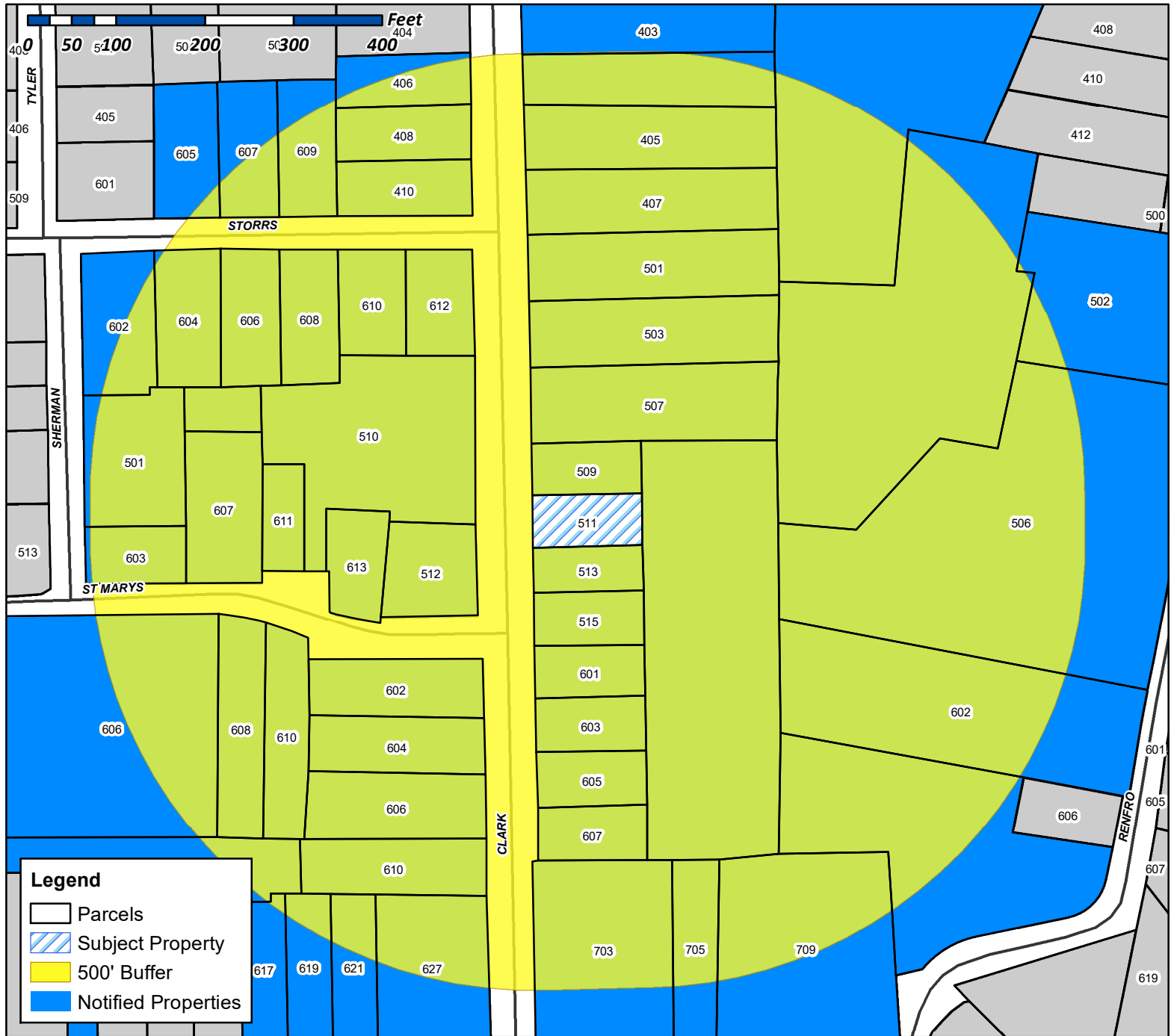




# City of Rockwall

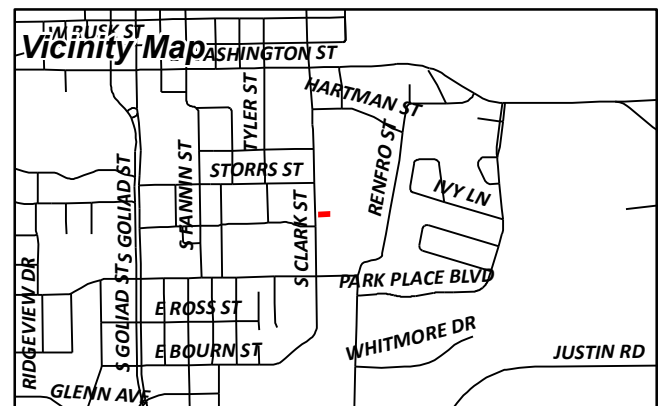
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**For Questions on this Case Call** (972) 771-7745



# Object & Architecture

Ryan Withrow, Architect  
4815 Terry Street  
Dallas, Texas 75223  
214 240 1995  
[ryan@obj-arc.com](mailto:ryan@obj-arc.com)  
[www.obj-arc.com](http://www.obj-arc.com)

January 15, 2020

**Castro - Clark Duplex**  
511 S. Clark Street  
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,194 sqft of conditioned area with a two car garage. Unit One is 2,023 sqft of conditioned area and Unit Two is 1,171 sqft of conditioned area. The smaller unit will have two bedrooms and two full bathrooms, an open living/kitchen/dining area, and a utility room. The larger unit will have three bedrooms, two full bathrooms, a powder bath, an office/flex space, an open living/kitchen/dining area, and a utility room.

The residence will have a Texas Modern style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect  
Object & Architecture PLLC  
TBAE License #26945



## 511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY,  
an Addition in Rockwall County, Texas, according to the Map or Plat  
recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat  
Records of Rockwall County, Texas.

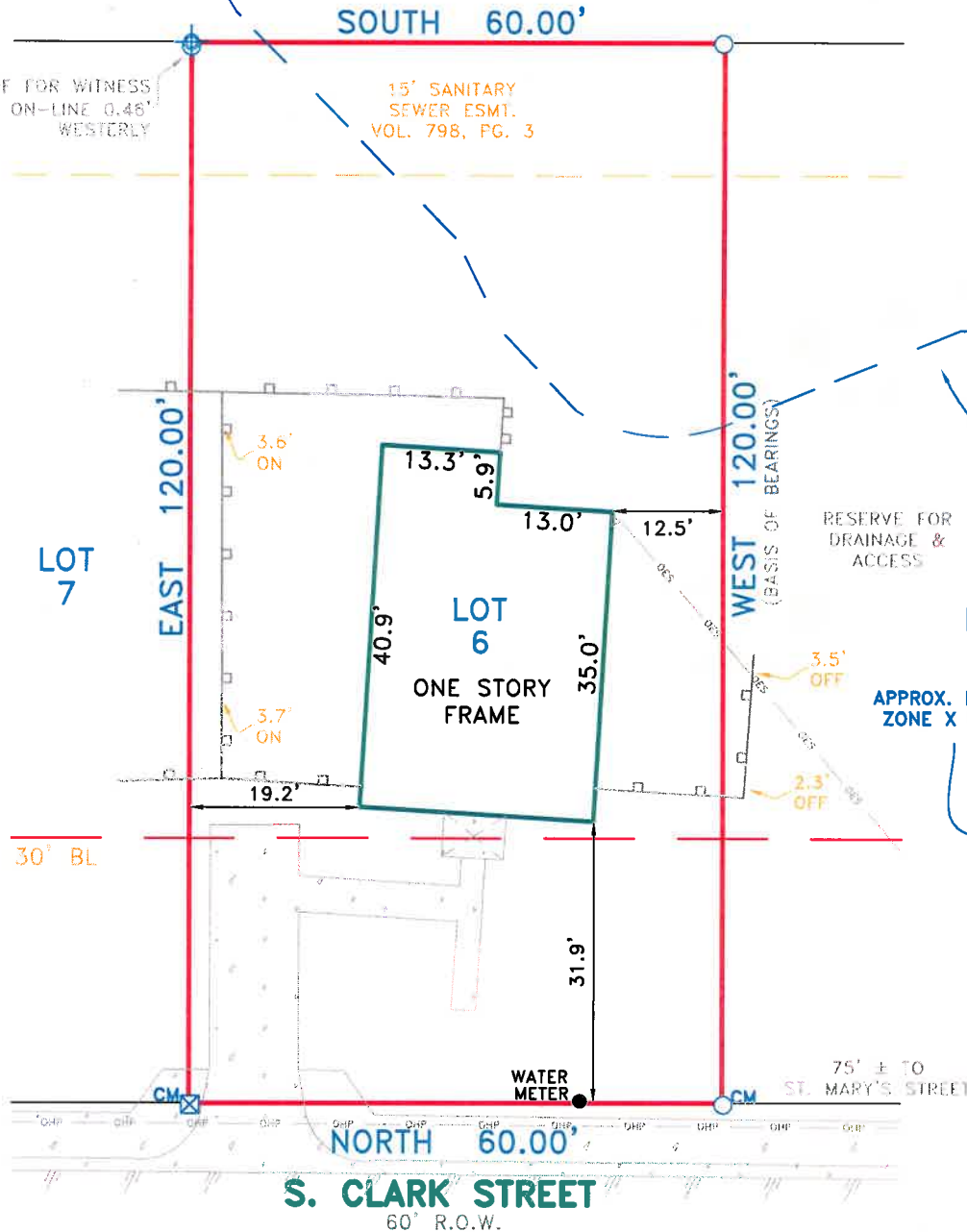
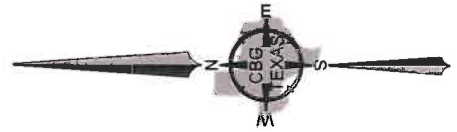


### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- ||— EDGE OF ASPHALT
- ||— EDGE OF GRAVEL
- ||— CONCRETE
- ||— COVERED AREA
- ||— BRICK
- ||— STONE

APPROX. LOCATION  
ZONE A 100YR  
48397C0040L  
DATE 09/26/2008

JO KAY HARRIS GLASS,  
AS HER SOLE AND  
SEPERATE PROPERTY  
INST.# 20160000012322



### EXCEPTIONS:

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ

Scale: 1" = 20'

Date: 7-30-2020

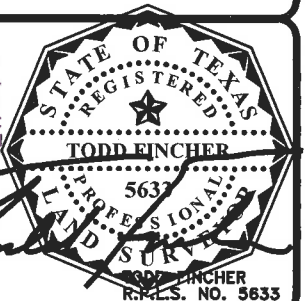
GF No.: 20-509065-RL

Job No. 2013905



**CBG**  
SURVEYING TEXAS LLC  
DALLAS, TEXAS 75228  
DW-Houder-East-Texas-Austin-San-Antonio

12025 Shiloh Road, Ste. 240  
Dallas, TX 75228  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.cbgtxl.com



Accepted by: \_\_\_\_\_  
Purchaser

Date: \_\_\_\_\_

Purchaser



1 THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT.  
2 ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.

3 THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT  
4 COULD AFFECT THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE PROJECT LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.

5 ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.

6 THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.

7 THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.

8 DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SEALED.

9 AS REQUIRED BY THE ICD/ALLAS BUILDING CODE, THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED  
10 OPENINGS. THIS INCLUDES ALL FIRE RATED, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR  
11 STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.

12 ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING  
13 PENETRATED. WEATHER, LIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLAATTED FOR BEST  
14 QUALITY APPEARANCE.

15 PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATOIRES, TOILET FIXTURES AND  
16 ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.

17 MOUNTING HEIGHTS WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF  
18 THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE  
19 OWNER FOR FINAL DECISION.

20 CONTRACTOR IS TO REFER TO MEY DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS.  
21 CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.

22 PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM ISSUED BY A RECOGNIZED TESTING  
23 AGENCY PROVIDE A DETAIL AND LISTING NUMBER.

24 PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL  
25 FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS  
26 AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.

27 WINDOWS WITH A SILL MORE THAN 6" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2" ABOVE THE FINISHED FLOOR  
28 OR HAVE HANGAR MEETING THE SECTION 05110 REQUIREMENTS.

29 THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE  
30 MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.

31 ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, CORN. WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON  
32 THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.

33 VERIFY ALL FIRE, FIRE RATED, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE  
34 LOCATIONS NOT INDICATED ON DRAWINGS WITH OTHER MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE  
35 LOCATIONS NOT INDICATED ON DRAWINGS WITH OTHER MECHANICAL AND OWNER.

36 PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR  
37 SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSION.  
38 RISER HEIGHT IS NOT TO EXCEED 7" AND TREAD DEPTH IS NOT TO BE LESS THAN 11".

39 PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE  
40 FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		
	TYPICAL CEMENT PLASTER EXTERIOR WALL		DETAIL TAG
	TYPICAL MASONRY EXTERIOR WALL		

## A map showing the project site location in Storrs, CT. The map includes several streets: Storrs St, S Main St, S Church St, E Boylston Ave, and S Willow St. Key locations marked include MJ Scottworks, H &amp; M Tool &amp; Die, W W Electronics (formerly Apple), Rental Partners, Summit Lawn &amp; Landscape, Little Wen Weddings &amp; Events, and Callie Beth Photo + Design. A black rectangle highlights the project site, which is located between S Church St and S Willow St, north of E Boylston Ave. An arrow points from the text "PROJECT SITE" to this highlighted area.

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

2015 INTERNATIONAL LUMBERING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS  
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

<b>OWNER</b>	<b>ARCHITECT</b>
CASTRO DEVELOPMENT	OBJECT & ARCHITECTURE
1006 CLERMONT ST.	4815 TERRY STREET
DALLAS, TX 75223	DALLAS, TX 75223
<b>CONTACT:</b>	<b>CONTACT:</b>
JASON CASTRO	RYAN M. WITHROW
214.232.2750	214.240.1995
JASON@CASTROPROPERTYGROUP.COM	RYAN@OBJ-ARC.COM

DESCRIPTION:	NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE
ADDRESS:	511 S. CLARK STREET ROCKWALL, TX 75087
CITY:	ROCKWALL
COUNTY:	ROCKWALL COUNTY
LOT:	6
BLOCK:	J.E. HARRIS SUBDIVISION

**ZONING REGULATIONS**

ZONE:	TWO-FAMILY (2F)
MAIN USE:	TWO FAMILY RESIDENCE (DUPLEX)
FRONT SETBACK:	20 FT.
SIDE SETBACK:	6 FT.
REAR SETBACK:	10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY:	NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT:	32 FT.
LOT COVERAGE:	45% MAX

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ. FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ. FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ. F.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ. FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ. FT.
UNCONDITIONED AREAS:	
UNIT 1 GARAGE AREA:	253 SQ. FT.
UNIT 2 GARAGE AREA:	268 SQ. FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ. FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ. FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ. FT.
TOTAL COVERED PORCHES:	207 SQ. FT.

LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,292 SQ.FT.
COVERAGE:	31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF RYAN WITHROW AND  
ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE

01/15/2021



# Object & Architecture

4815 Terry Street  
Dallas, Texas 75223  
[www.obj-arc.com](http://www.obj-arc.com)

00703-01

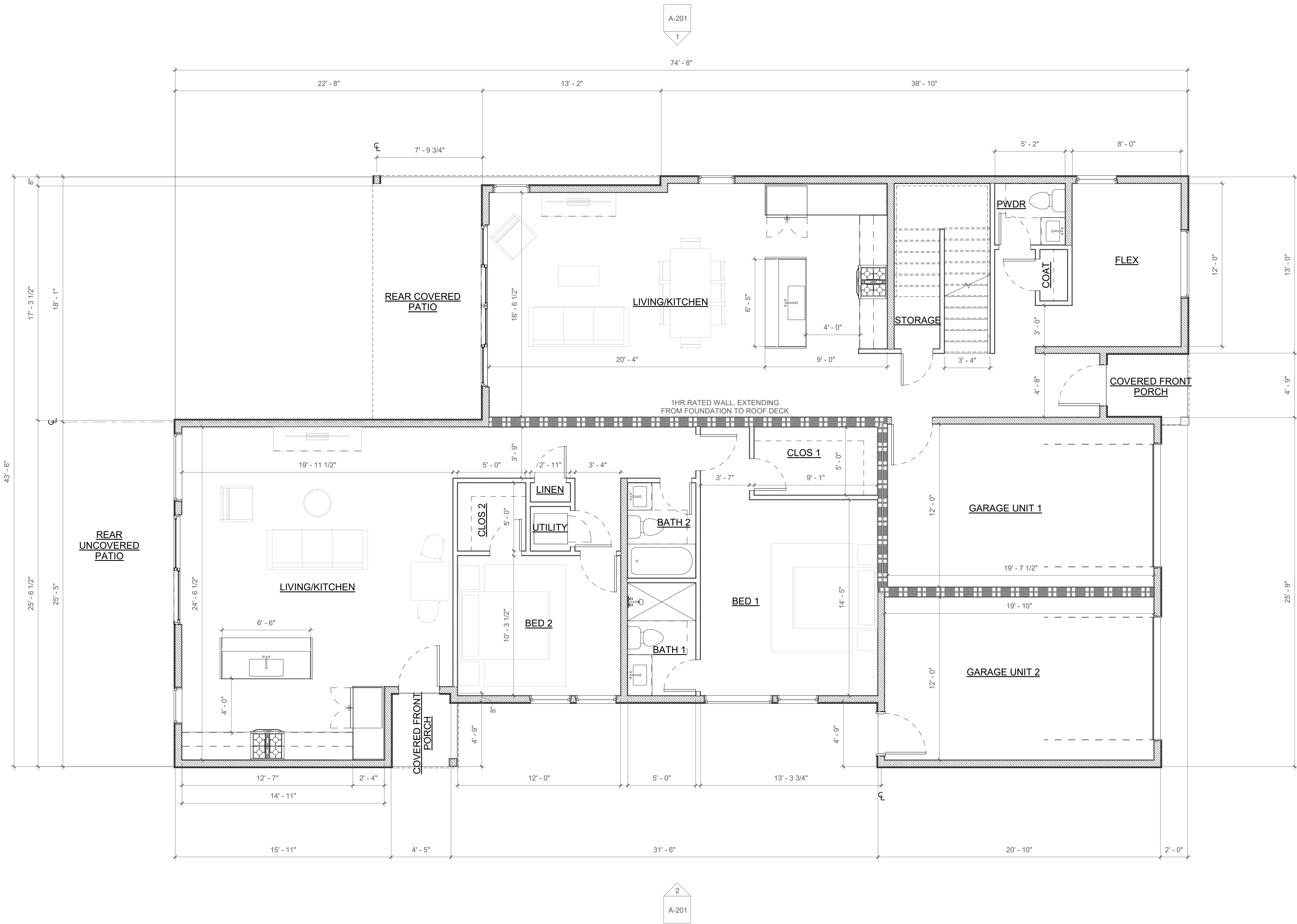
# CLARK DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

## SUP APPROVAL

COVER SHEET &  
SITE PLAN

# G-100



#### GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

01/15/2021



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Object &  
Architecture

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Dallas, Texas 75223  
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00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR  
PLAN



GENERAL FLOOR PLAN NOTES

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SHEET ISSUE DATE:

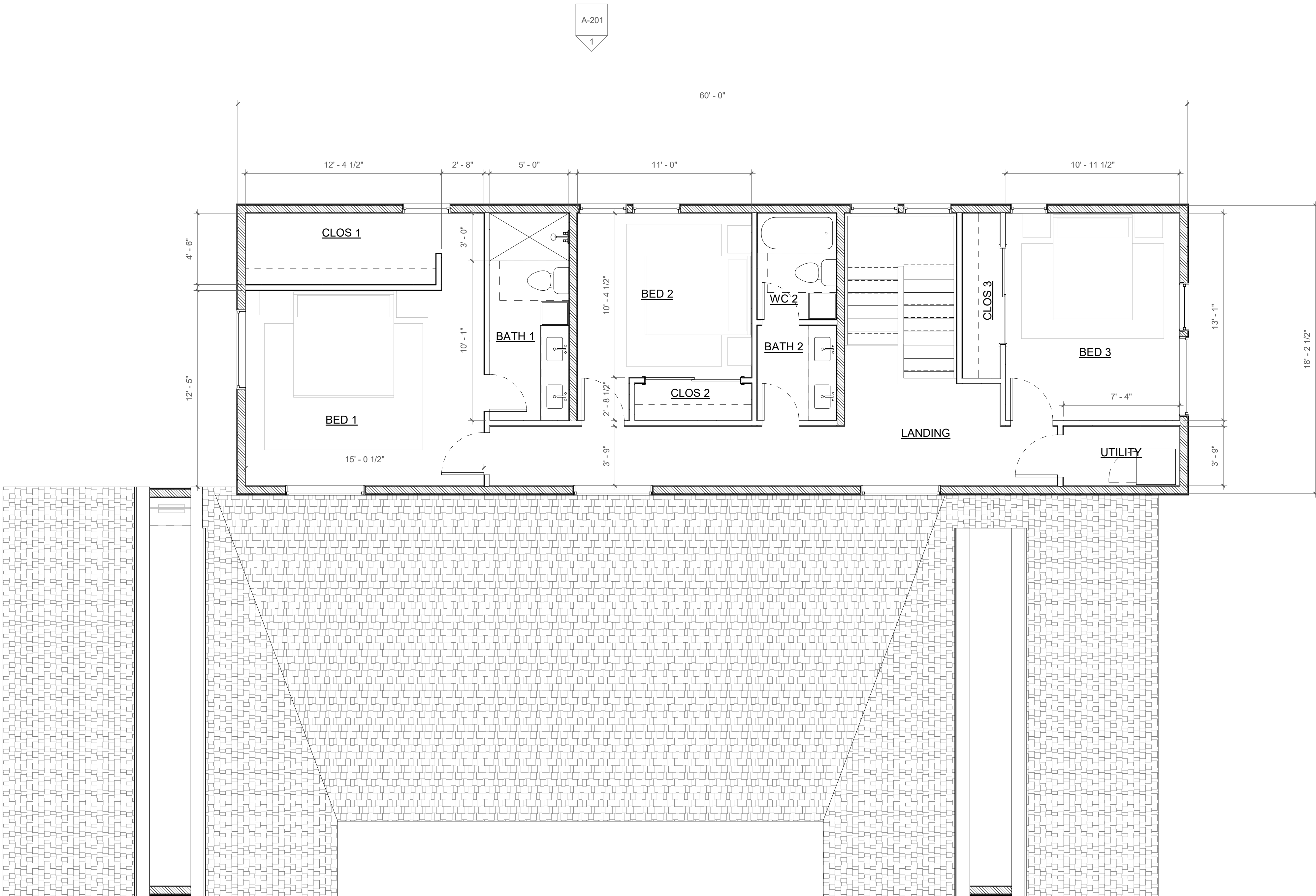
01/15/2021



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UNIT 1



SHEET ISSUE DATE:

01/15/2021



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Dallas, Texas 75223  
www.obj-arc.com



1 01-EAST  
1/4" = 1'-0"



2 04-WEST  
1/4" = 1'-0"

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

A-200

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

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00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

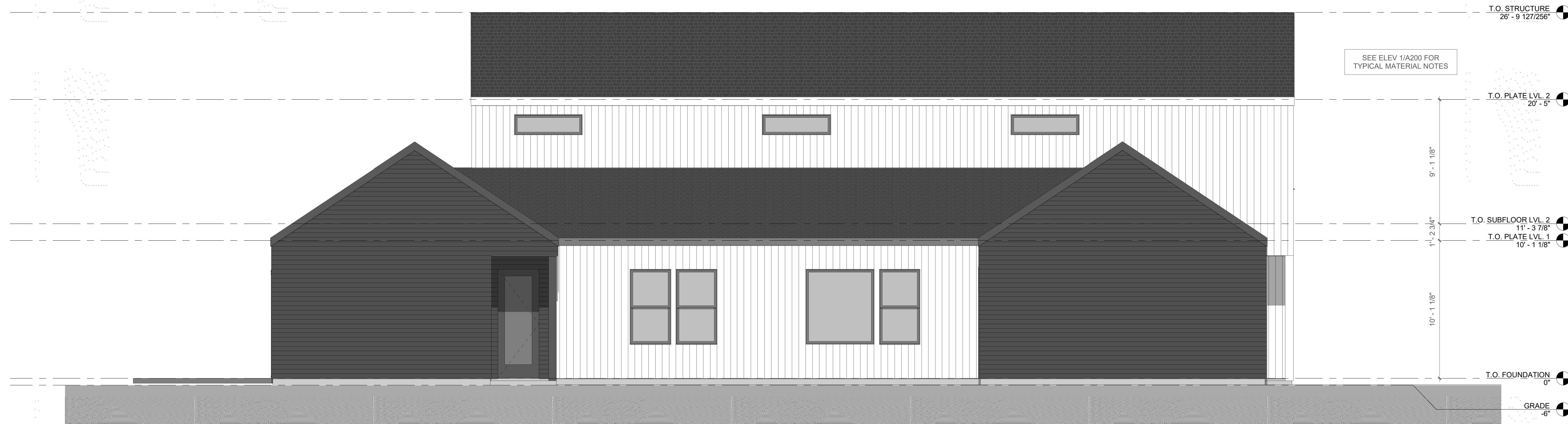
SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

A-201



1 02-NORTH  
1/4" = 1'-0"



2 03-SOUTH  
1/4" = 1'-0"

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 1/22/2021

PROJECT NUMBER: Z2021-003  
PROJECT NAME: SUP for Residential Infill at 511 S. Clark Street  
SITE ADDRESS/LOCATIONS: 511 S CLARK ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	David Gonzales	01/21/2021	Needs Review

01/21/2021: Z2021-003; Specific Use Permit for 511 S. Clark Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the North SH-205 Overlay (N SH-205 OV) District, and the Development Standards of Article 05 that are applicable to the subject property.

(A) Proposed operation conditions of the SUP Ordinance:

The following conditions pertain to the construction of a single-family home on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of this ordinance.
- 2) The construction of a two-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance.
- 3) Once construction of the two-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- 4) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain.

I.4 Please note the scheduled meetings for this case:

- (1) Planning & Zoning work session meeting will be held on January 26, 2021.
- (2) Planning & Zoning Public Hearing will be held on February 9, 2021.
- (3) City Council Public Hearing will be held on February 16, 2021. [1st Reading of Ordinance]
- (4) City Council regular meeting will be held on March 1, 2021. [1st Reading of Ordinance]

I.5 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	01/21/2021	Needs Review

01/21/2021: M - Will need a topographic survey of the lot to verify that the house and all structures will be outside of the floodplain boundary.

M - House finish floor must be at least 2' above the adjacent floodplain elevation.

M - Parking must be at least 1' above the adjacent floodplain elevation.

M - Proposed structure to not be in floodplain and out of erosion hazard setback.

M - Must request variance for driveway spacing.

I- No fencing will be allowed in flood plain

I - Need to replat

I- Will require water and sewer impact fees on all additional or upsized meters.

I- Will be required roadway impact fee on addition house

I- You'll need to bring a water service to the lot which will require paving repairs to City requirements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	01/20/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/20/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	01/21/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/19/2021	Approved

No Comments



**See floodplain comments. No structures will be allowed in the floodplain or erosion hazard setback.**

APPROX. LOCATION ZONE A 100YR, REF SURVEY

APPROX. LOCATION ZONE X NFHA, REF SURVEY

WEST 120.00'

UNIT 1

UNIT 2

COVERED REAR PATIO

UNCOVERED REAR PATIO

COVERED FRONT PORCH

30' BUILDING LINE

20' FRONT SETBACK

6' SIDE SETBACK

EXIST. WALK TO REMAIN

NEW CONC. DRIVE

NEW CONC. WALK

6' SIDE SETBACK

EXIST. WALK TO REMAIN

NEW CONC. WALK & CURB

S. CLARK ST.

1 SITE PLAN  
1" = 10'-0"

Must request variance for driveway spacing

1 THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT.  
2 ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.

3 THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT  
4 COULD AFFECT THE DESIGN OR THE PROJECT. VERIFY THE FINISH LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.

5 ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.

6 THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.

7 THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTON OF ALL UTILITY COMPANY TRENCHES.

8 DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.

9 AS REQUIRED BY THE ICD/ALLS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED  
10 OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR  
11 STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODES.

12 ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING  
13 PENETRATED. IE. WEATHER TIGHT, ACOUSTICAL, NON-WATERED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPPED AND FLANGED FOR BEST  
14 QUALITY APPEARANCE.

15 PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND  
16 ACCESSORIES. GRAB BARS, ELECTRICAL PANELS, ETC.

17 MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTAL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE  
18 OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION IDENTIFY REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE  
19 OWNER FOR FINAL DECISION.

20 CONTRACTOR IS TO REFER TO ME DRAWINGS AND PROJECT MANUAL FOR ANY HIMC ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS.  
21 CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH: DRYWALL, TILE, E.F.S. AND PLASTER WORK.

22 PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING  
23 AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.

24 PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIP. APPLIANCES AND ELECTRICAL  
25 FIXTURES WITH THE MANUFACTURERS CUT SHEETS. CONFIRM THERE SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS  
26 AND THROU AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.

27 WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR  
28 OR HAVE HARDWARE MEETING SECTION R-0.2 REQUIREMENTS.

29 THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE  
30 MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.

- M - Will need a topographic survey of the lot to verify that the house and all structures will be outside of the floodplain boundary.
- M - House finish floor must be at least 2' above the adjacent floodplain elevation.
- M - Parking must be at least 1' above the adjacent floodplain elevation.
- M - Proposed structure to not be in floodplain and out of erosion hazard setback.
- I- No fencing will be allowed in flood plain
- I - Need to replat
- I-Will require water and sewer impact fees on all additional or upsized meters.
- I- Will be required roadway impact fee on addition house
- I- You'll need to bring a water service to the lot which will require paving repairs to City requirements.

FOR WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE OWNER. CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE

SHEET LIST				
SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF RYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE  
01/15/2021



ARCHITECTS

# Object & Architecture

4815 Terry Street  
Dallas, Texas 75223  
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2015 INTERNATIONAL LUMBERING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS  
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

<p><b>OWNER</b>  <b>CASTRO DEVELOPMENT</b>          1006 CLERMONT ST.          DALLAS, TX 75223</p>	<p><b>ARCHITECT</b>  <b>OBJECT &amp; ARCHITECTURE</b>          4815 TERRY STREET          DALLAS, TX 75223</p>
<p><b>CONTACT:</b>  <b>JASON CASTRO</b>          214.232.2750  <a href="mailto:JASON@CASTROPROPERTYGROUP.COM">JASON@CASTROPROPERTYGROUP.COM</a></p>	<p><b>CONTACT:</b>  <b>RYAN M. WITHROW</b>          214.240.1995  <a href="mailto:RYAN@OBJ-ARC.COM">RYAN@OBJ-ARC.COM</a></p>

DESCRIPTION:	NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE
ADDRESS:	511 S. CLARK STREET ROCKWALL, TX 75087
CITY:	ROCKWALL
COUNTY:	ROCKWALL COUNTY
LOT:	6
BLOCK:	J.E. HARRIS SUBDIVISION

**ZONING REGULATIONS**

ZONE:	TWO-FAMILY (2F)
MAIN USE:	TWO FAMILY RESIDENCE (DUPLEX)
FRONT SETBACK:	20 FT.
SIDE SETBACK:	6 FT.
REAR SETBACK:	10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY:	NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT:	32 FT.
LOT COVERAGE:	45% MAX

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ. FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ. FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ. F.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ. FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ. FT.
UNCONDITIONED AREAS:	
UNIT 1 GARAGE AREA:	253 SQ. FT.
UNIT 2 GARAGE AREA:	268 SQ. FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ. FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ. FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ. FT.
TOTAL COVERED PORCHES:	207 SQ. FT.

LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,292 SQ.FT.
COVERAGE:	31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

00703-01

# CLARK DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &  
SITE PLAN

# G-100



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22021-003

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

## NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6 BLOCK

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.165 LOTS [CURRENT] LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Castro Development LLC

☐ APPLICANT

CONTACT PERSON Jason Castro

CONTACT PERSON

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP

PHONE 214.232.2750

PHONE

E-MAIL jason@castropropertygroup.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

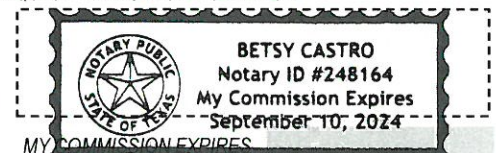
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

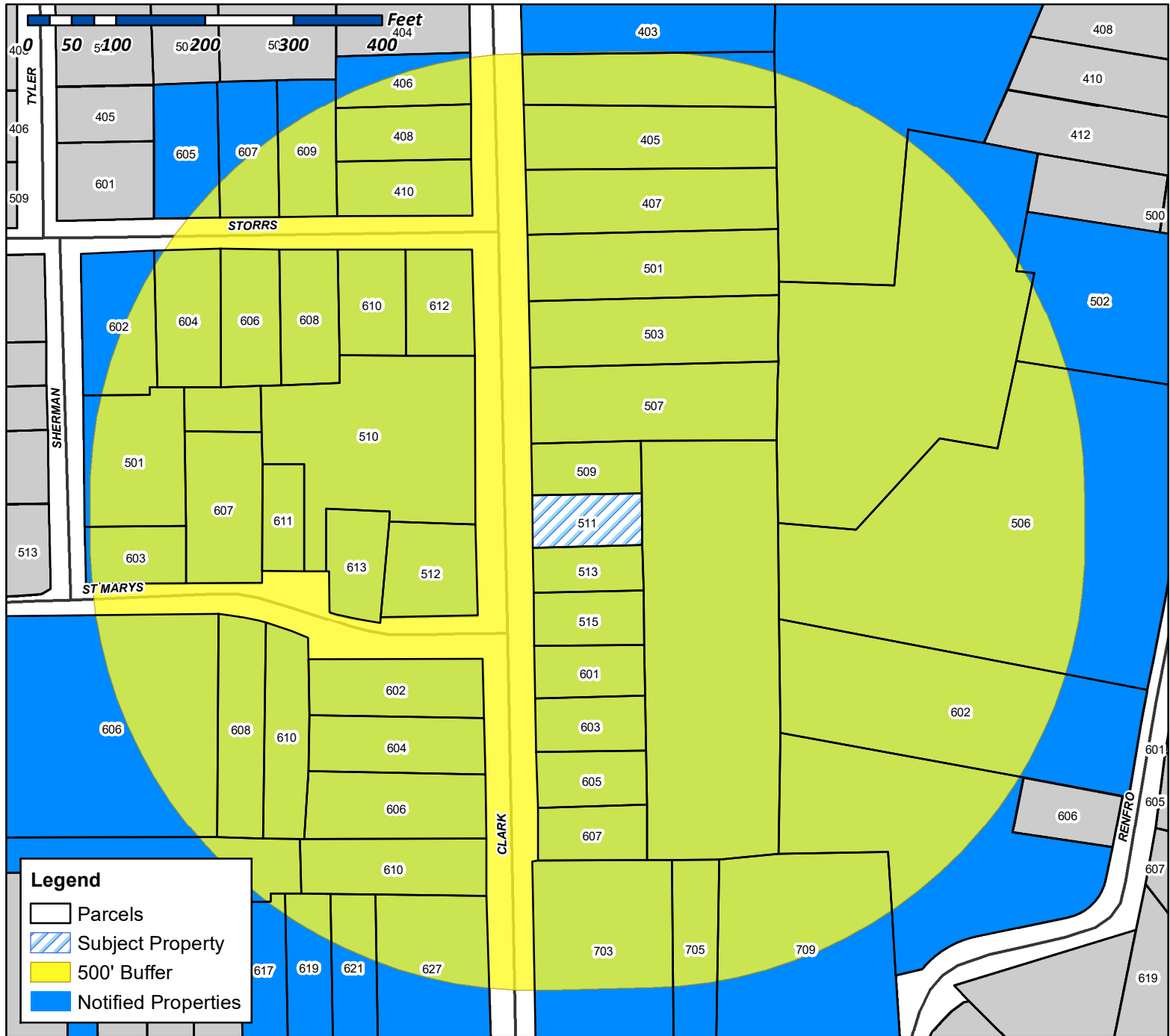




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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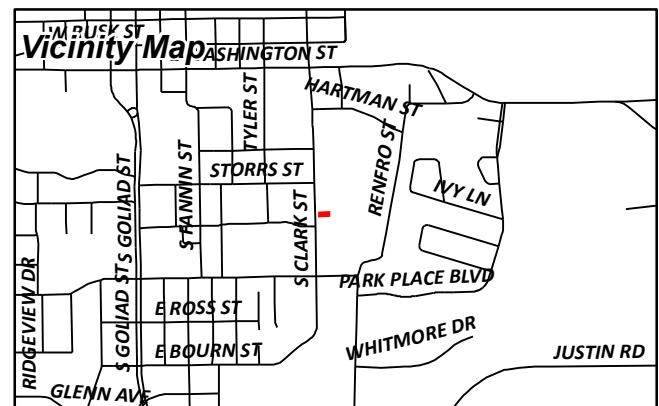
## Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

**Case Number:** Z2021-003  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Two-Family (2F) District  
**Case Address:** 511 S. Clark Street

**Date Created:** 1/19/2021

**For Questions on this Case Call** (972) 771-7745



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Case No. Z2021-003: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

MCCALLUM DARRELL  
1 SOAPBERRY LN  
ROCKWALL, TX 75087

ANGEL NADA  
11014 ITASCA DR  
DALLAS, TX 75228

GADDIS DANNY E  
12922 EPPS FIELD RD  
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES  
602 S CLARK  
143 STONELEIGH DRIVE  
HEATH, TX 75032

HOGUE MIKE AND VICKY  
1498 HUBBARD DR  
FORNEY, TX 75126

LOWREY DAVID D  
2070 PONTCHARTRAIN  
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC  
215 GRIFFIN AVENUE  
FATE, TX 75189

BOWEN CHASE AND  
PERRY BOWEN  
230 MYERS ROAD  
HEATH, TX 75032

GLASS JO KAY HARRIS  
301 MEADOWDALE  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
315 ROLLING MEADOWS CIR  
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE  
3299 ROCHELLE RD  
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE  
401 E KAUFMAN ST  
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS  
401 S CLARK ST  
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS  
403 S CLARK ST  
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE  
405 S CLARK STREET  
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC  
406 S CLARK ST  
ROCKWALL, TX 75087

BOWEN CHASE AND  
PERRY BOWEN  
407 S CLARK ST  
ROCKWALL, TX 75087

BOSS MORRIS E AND  
DEBRA K BOSS  
408 RIDGEVIEW  
ROCKWALL, TX 75087

GADDIS CAMILLE D  
408 SOUTH CLARK STREET  
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA  
410 S CLARK ST  
ROCKWALL, TX 75087

STARK ROBERT CLAYTON  
501 SHERMAN ST  
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE  
501 S CLARK  
ROCKWALL, TX 75087

SAMPLES ELVA NELL  
502 RENFRO ST  
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE  
503 S CLARK  
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C  
506 RENFRO ST  
ROCKWALL, TX 75087

LECOUR DAVID & RENEE  
507 S CLARK ST  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
509 S CLARK ST  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
510 S CLARK  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
511 S CLARK ST  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
512 S CLARK  
ROCKWALL, TX 75087

HOGUE ALLEN  
513 RIDGEVIEW DR  
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND  
NORMA L CRUZ HERNANDEZ  
513 S CLARK ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
515 S CLARK ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
601 S CLARK ST  
ROCKWALL, TX 75087

HOGUE CAROLYN SUE  
602 RENFRO  
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W  
602 STORRS STREET  
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES  
602 S CLARK  
602 S CLARK ST  
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE  
603 ST MARYS ST  
ROCKWALL, TX 75087

RIVERA SARA ELIA  
603 S CLARK ST  
ROCKWALL, TX 75087

JONES PEGGY  
604 STORRS ST  
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC  
604 S CLARK ST  
ROCKWALL, TX 75087

CASTILLO JUAN JAIME  
605 S CLARK ST  
ROCKWALL, TX 75087

DAVIS JIMMY JACK  
605 STORRS ST  
ROCKWALL, TX 75087

WILKERSON CLAUDE JR  
606 SAINT MARY ST  
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D  
606 STORRS STREET  
ROCKWALL, TX 75087

HOGUE MIKE & VICKY  
606 S CLARK ST  
ROCKWALL, TX 75087

STARK ROBERT SCOTT  
607 SAINT MARY ST  
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED  
607 SOUTH CLARK STREET  
ROCKWALL, TX 75087

HALDEMAN MICHAEL  
607 STORRS ST  
ROCKWALL, TX 75087

BOSS MORRIS E AND  
DEBRA K BOSS  
608 ST MARYS ST  
ROCKWALL, TX 75087

LOWREY DAVID D  
608 STORRS ST  
ROCKWALL, TX 75087

GADDIS DANNY E  
609 STORRS ST  
ROCKWALL, TX 75087

FARRELL KIMBERLY A  
610 SAINT MARY ST  
ROCKWALL, TX 75087

JOHNSTON SHERRI A  
610 STORRS ST  
ROCKWALL, TX 75087

HOGUE MIKE & VICKY  
610 S CLARK ST  
ROCKWALL, TX 75087

SMITH CHARLES  
611 E BOYDSTUN  
ROCKWALL, TX 75087

H & M TOOL AND DIE CO  
611 SAINT MARY ST  
ROCKWALL, TX 75087

ANGEL NADA  
612 STORRS ST  
ROCKWALL, TX 75087

MCCALLUM DARRELL  
613 ST MARYS PL  
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN  
615 E BOYDSTUN AVENUE  
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN  
617 E BOYDSTUN AVE  
ROCKWALL, TX 75087

WOODARD JENNIFER  
619 E BOYDSTUN AVE  
ROCKWALL, TX 75087

RANDOLPH JAMES R JR  
621 E. BOYDSTUN AVE  
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND  
VICTORIA NGOC TRAN-KNOWLES  
627 EAST BOYDSTUN AVENUE  
ROCKWALL, TX 75087

HOGUE ALLEN  
703 E BOYSTUN AVE  
ROCKWALL, TX 75087

HOGUE ALLEN  
705 E BOYDSTUN AVE  
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY  
709 E BOYDSTUN AVE  
ROCKWALL, TX 75087

STARK ROBERT CLAYTON  
710 AGAPE ST  
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C  
880 IVY LN  
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC  
904 CAMPTON CT  
ROCKWALL, TX 75032

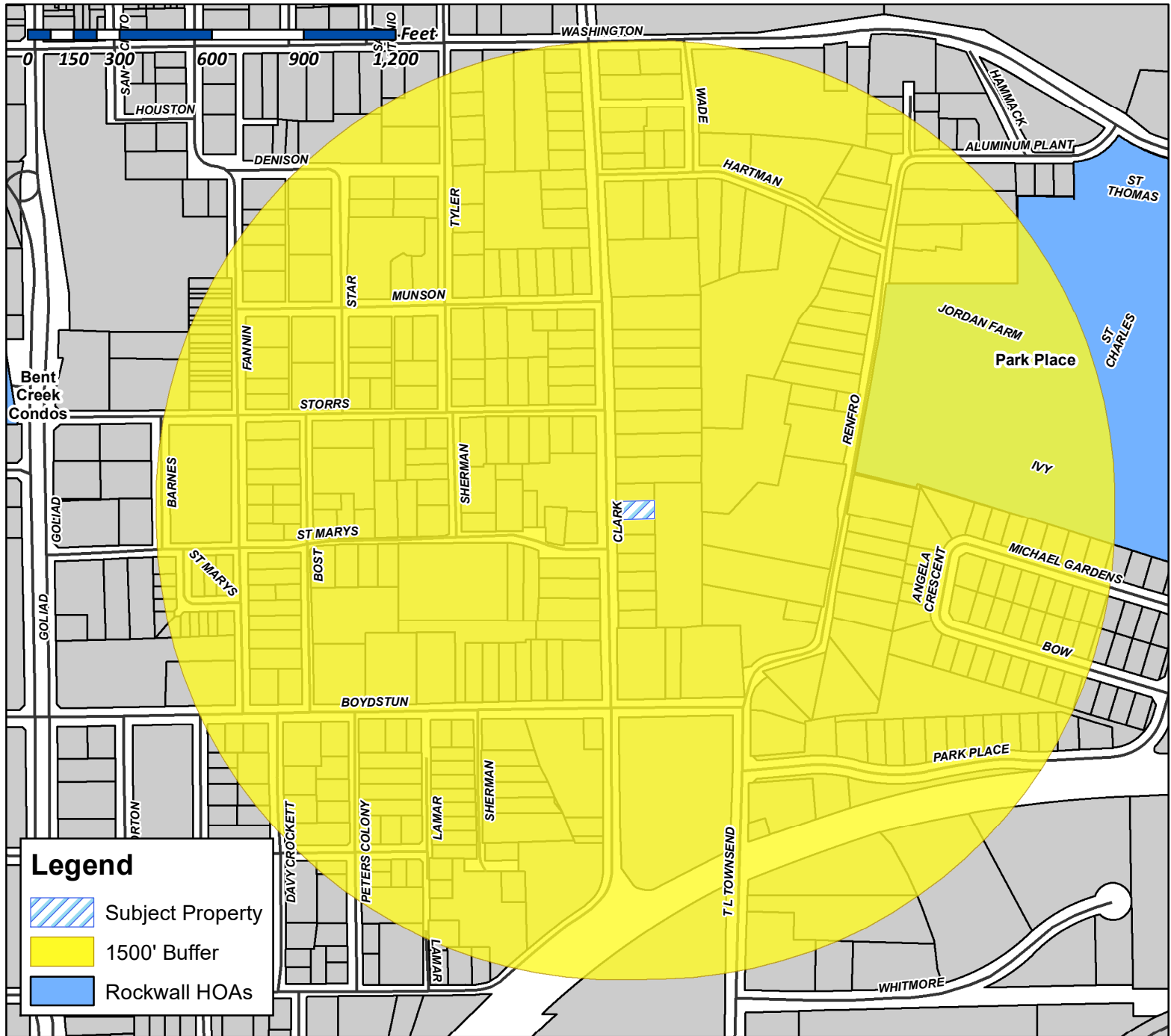
DEL BOSQUE RODOLFO  
PO BOX 2437  
ROCKWALL, TX 75087






# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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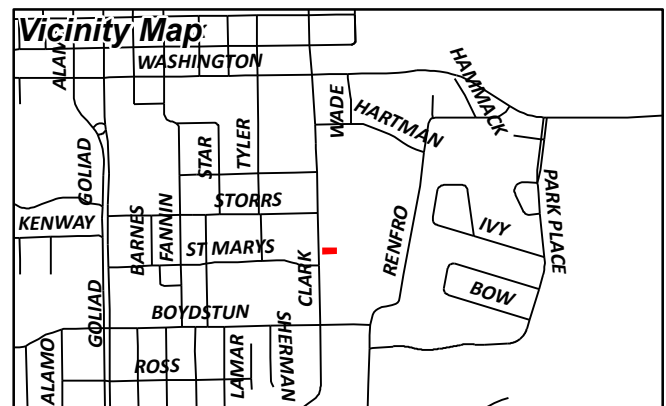
## Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

**Case Number:** Z2021-003  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Two-Family (2F) District  
**Case Address:** 511 S. Clark Street

**Date Created:** 1/19/2021

**For Questions on this Case Call** (972) 771-7745



**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2021-003]  
**Date:** Friday, January 22, 2021 9:00:07 AM  
**Attachments:** [Public Notice \(01.19.2021\).pdf](#)  
[HOA Map Z2021-003.pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on January 29, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-003 SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com



1 01-EAST  
1/4" = 1'-0"



2 04-WEST  
1/4" = 1'-0"

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

A-200

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

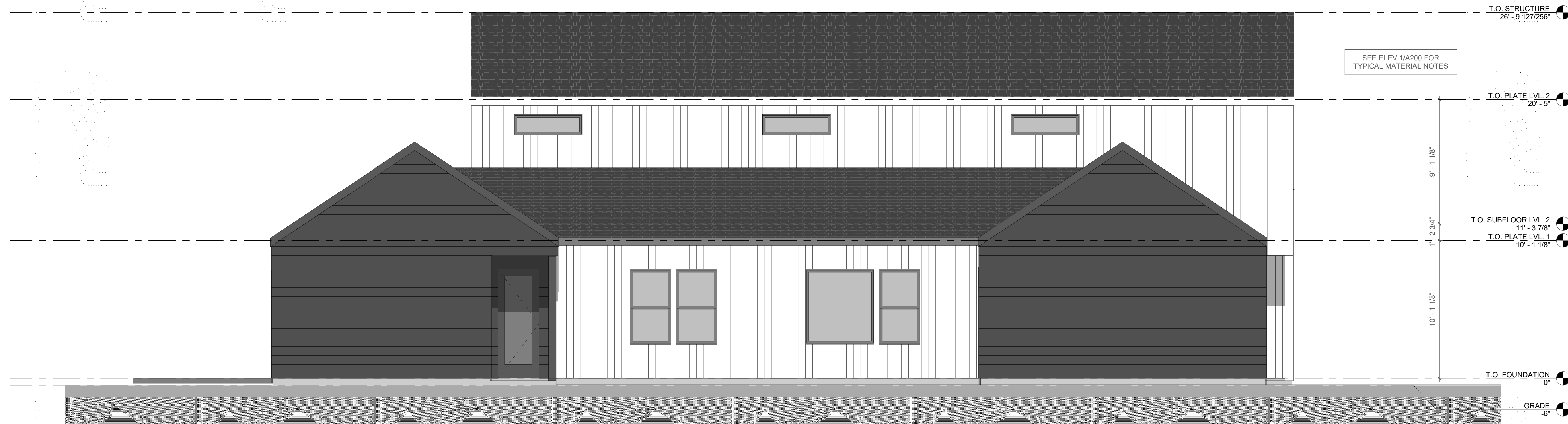
SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

A-201



1 02-NORTH  
1/4" = 1'-0"



2 03-SOUTH  
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

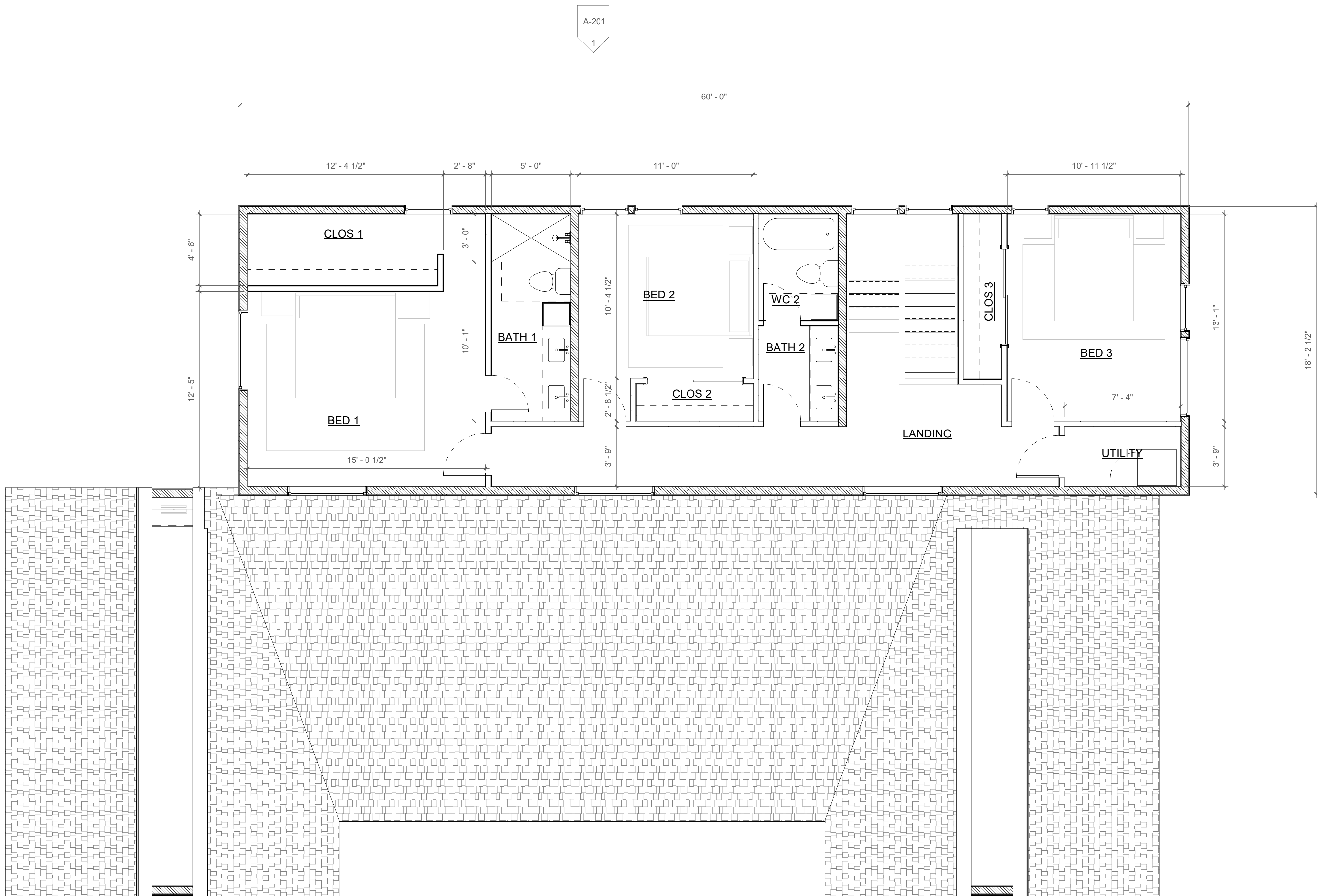
01/15/2021



ARCHITECT

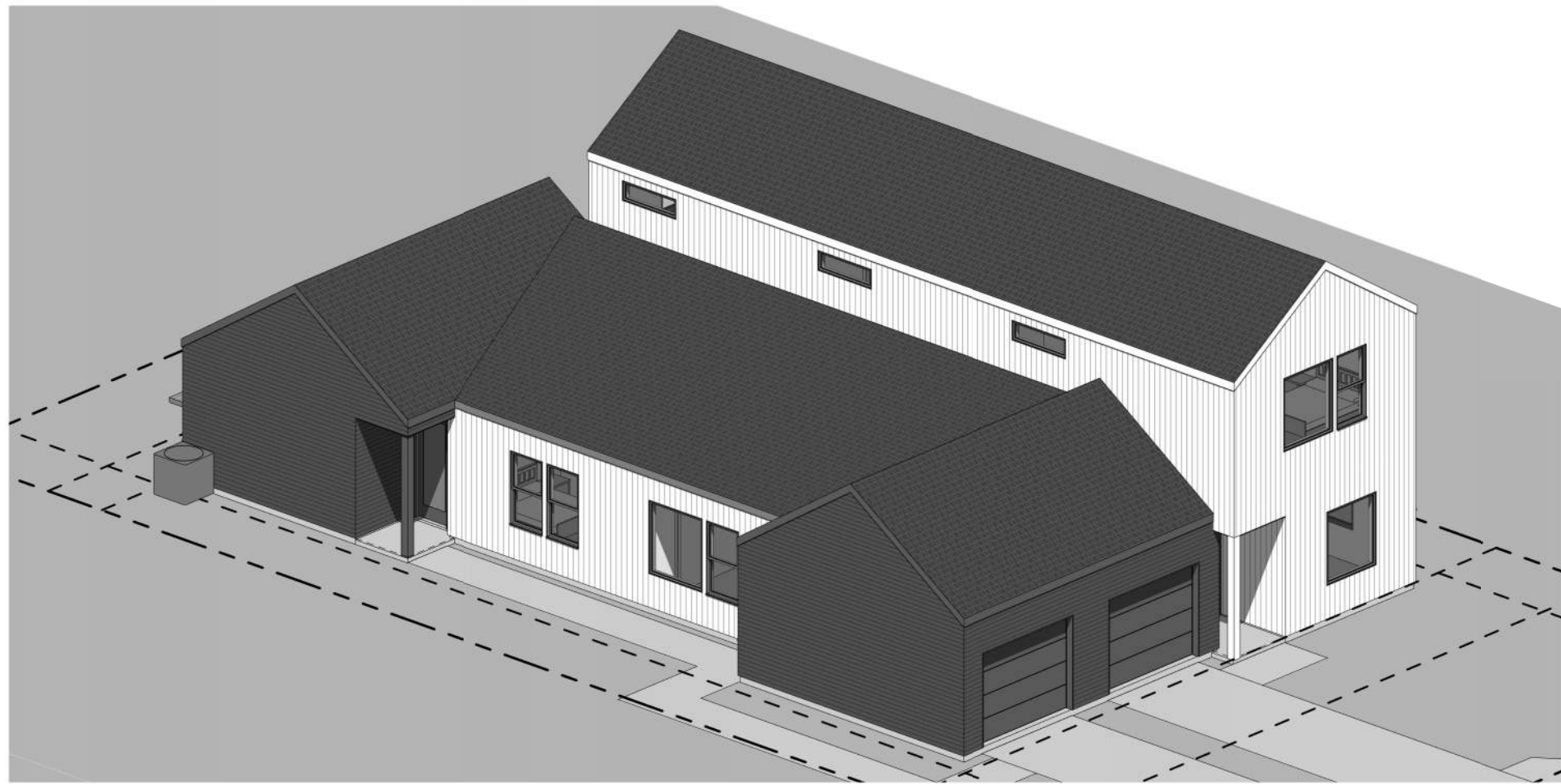
Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

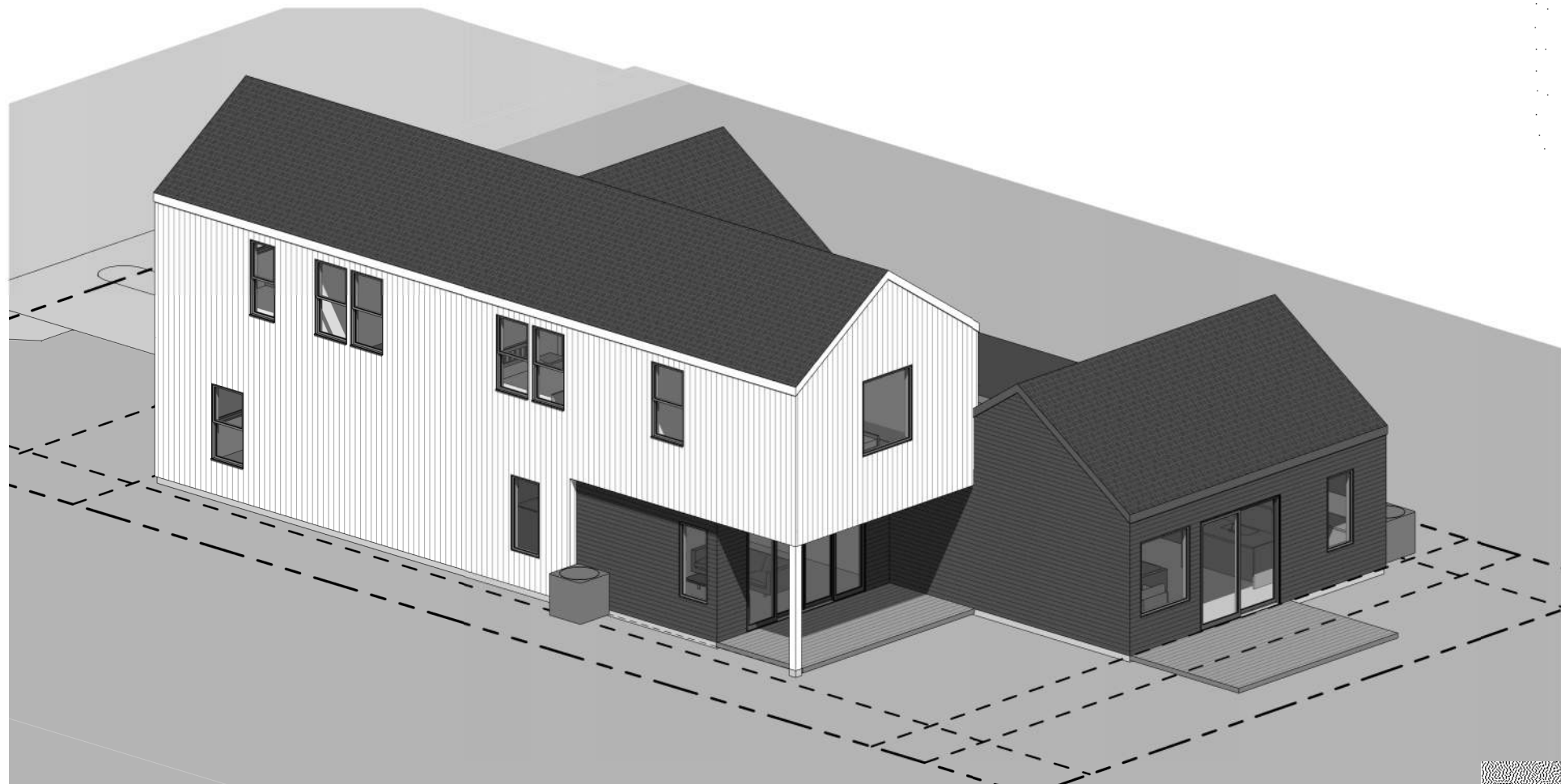


UNIT 1

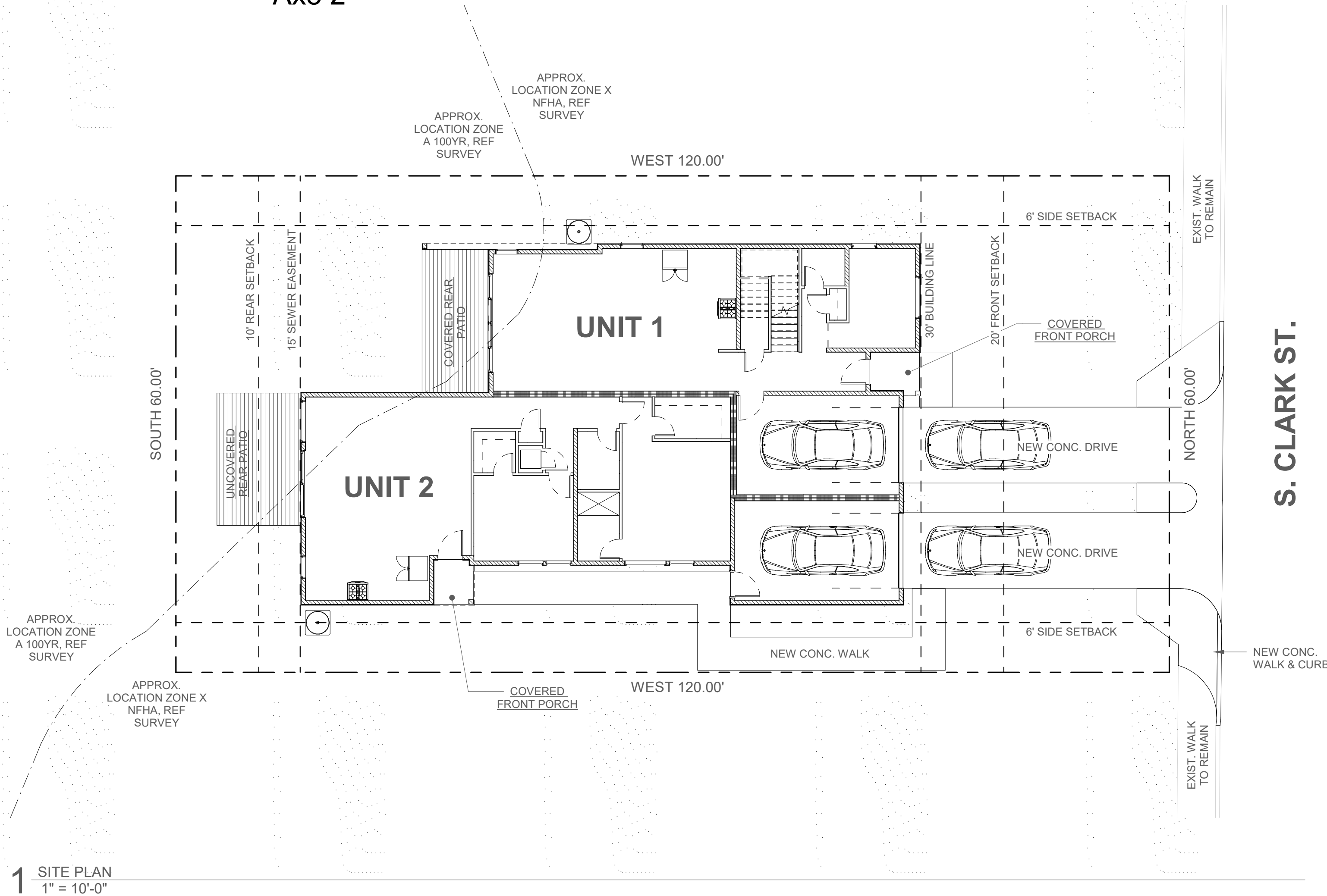




Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRCDALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURERS CUT SHEETS. CONFIRM THERE SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R112 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS  
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

<b>OWNER</b> CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	<b>ARCHITECT</b> OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
<b>CONTACT:</b> JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	<b>CONTACT:</b> RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE

ADDRESS: 511 S. CLARK STREET  
ROCKWALL, TX 75087

CITY: ROCKWALL  
COUNTY: ROCKWALL COUNTY

LOT: 6  
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

**ZONING REGULATIONS**

ZONE: TWO-FAMILY (2F)  
MAIN USE: TWO FAMILY RESIDENCE (DUPLEX)

FRONT SETBACK: 20 FT.  
SIDE SETBACKS: 6 FT.  
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES

UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.  
MAX ALLOWED HT: 32 FT.  
LOT COVERAGE: 45% MAX

**AREA CALCULATIONS**

CONDITIONED AREAS:

UNIT 1 FIRST FLOOR A/C AREA:	914 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ.FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ.F.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ.FT.

UNCONDITIONED AREAS:

UNIT 1 GARAGE AREA:	253 SQ.FT.
UNIT 2 GARAGE AREA:	268 SQ.FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ.FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ.FT.
TOTAL COVERED PORCHES:	207 SQ.FT.

LOT AREA: 7,200 SQ.FT. (PER SURVEY)  
LOT COVERED AREA: 2,292 SQ.FT.  
COVERAGE: 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF DYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

00703-01

CLARK  
DUPLEX

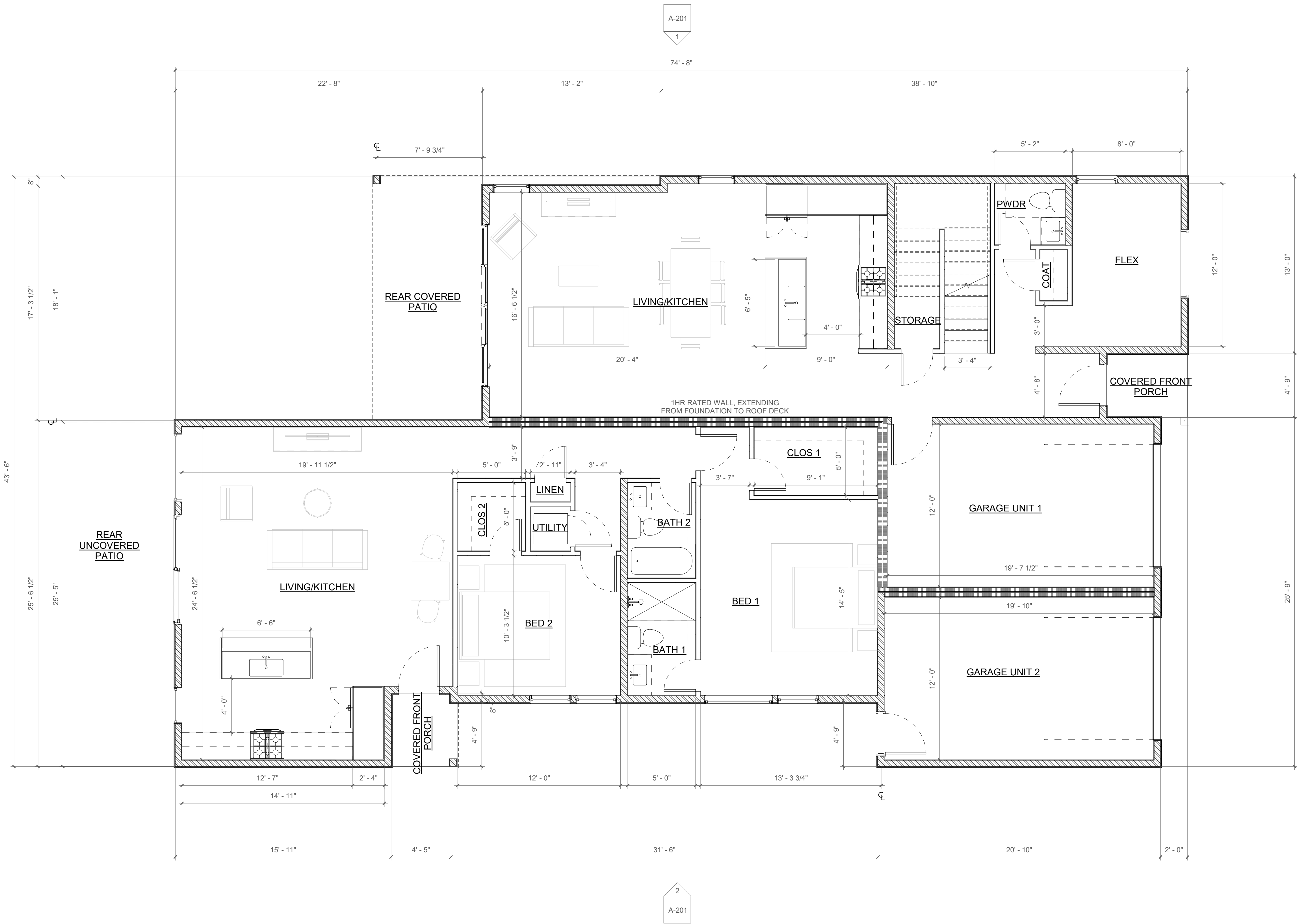
511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &  
SITE PLAN



G-100



#### GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR  
PLAN





## 511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY,  
an Addition in Rockwall County, Texas, according to the Map or Plat  
recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat  
Records of Rockwall County, Texas.

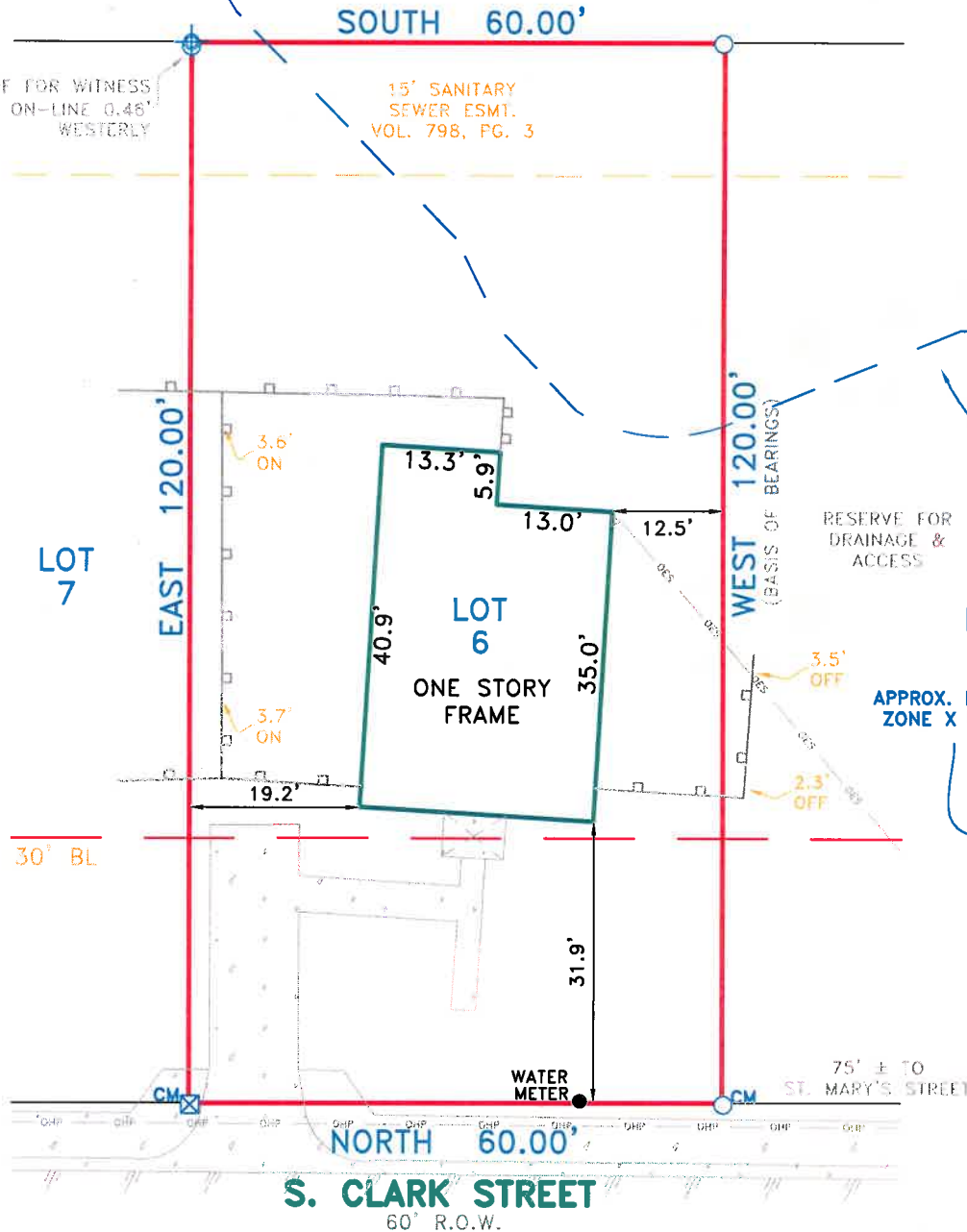
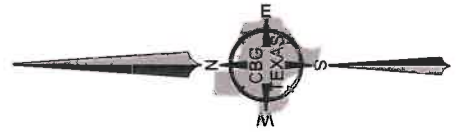


### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- ||— EDGE OF ASPHALT
- ||— EDGE OF GRAVEL
- ||— CONCRETE
- ||— COVERED AREA
- ||— BRICK
- ||— STONE

APPROX. LOCATION  
ZONE A 100YR  
48397C0040L  
DATE 09/26/2008

JO KAY HARRIS GLASS,  
AS HER SOLE AND  
SEPERATE PROPERTY  
INST.# 20160000012322



### EXCEPTIONS:

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ

Scale: 1" = 20'

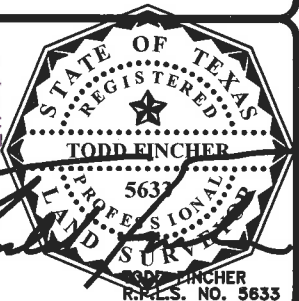
Date: 7-30-2020

GF No.: 20-509065-RL

Job No. 2013905



**CBG**  
SURVEYING TEXAS LLC  
12025 Shiloh Road, Ste. 240  
Dallas, TX 75228  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.cbgtxl.com



Accepted by: \_\_\_\_\_  
Purchaser

Date: \_\_\_\_\_

Purchaser

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a *duplex* in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a two-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the two-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- 4) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF MARCH, 2021.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: February 16, 2021

2<sup>nd</sup> Reading: March 1, 2021

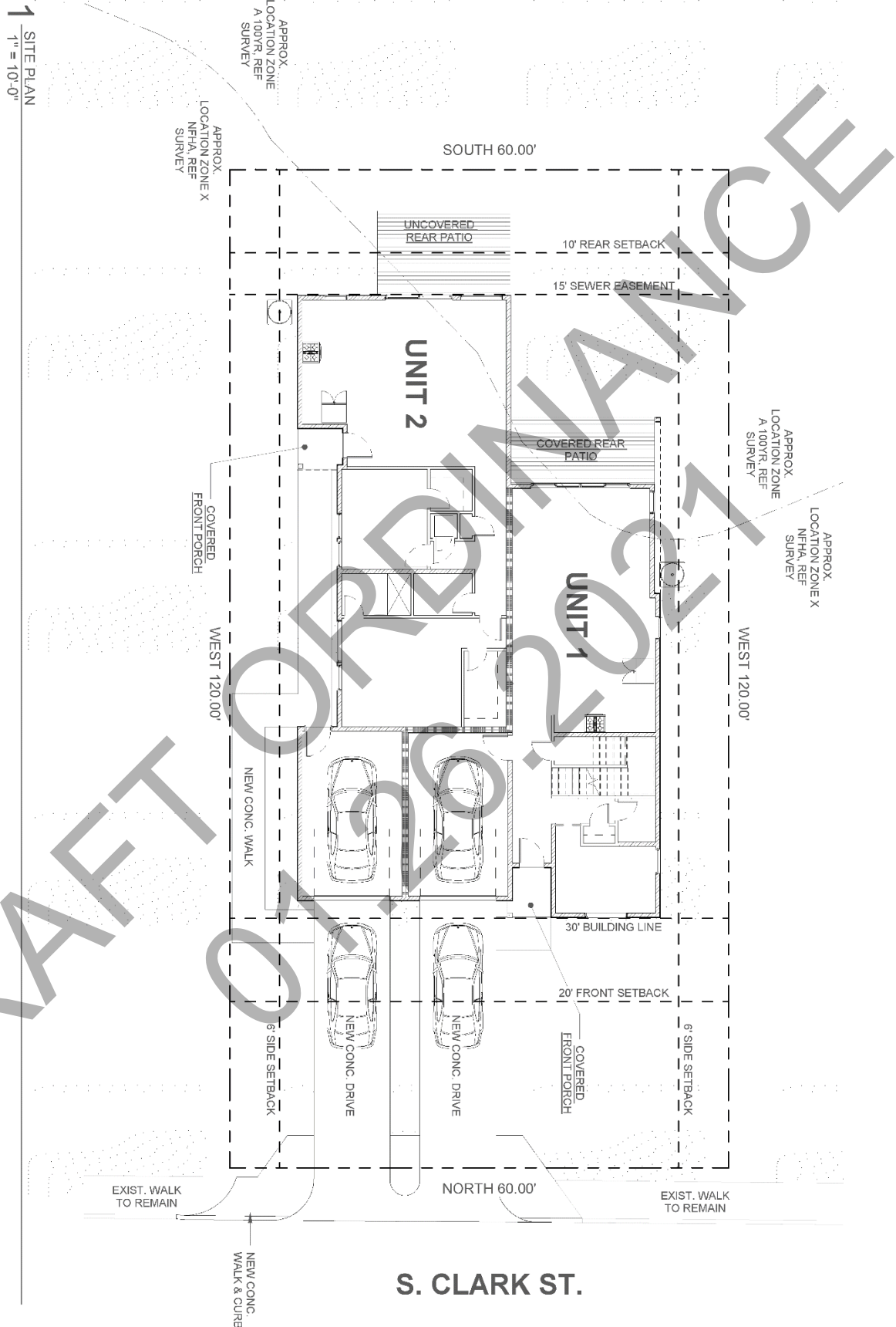
**Exhibit 'A'**  
*Location Map and Survey*

Address: 511 S. Clark Street

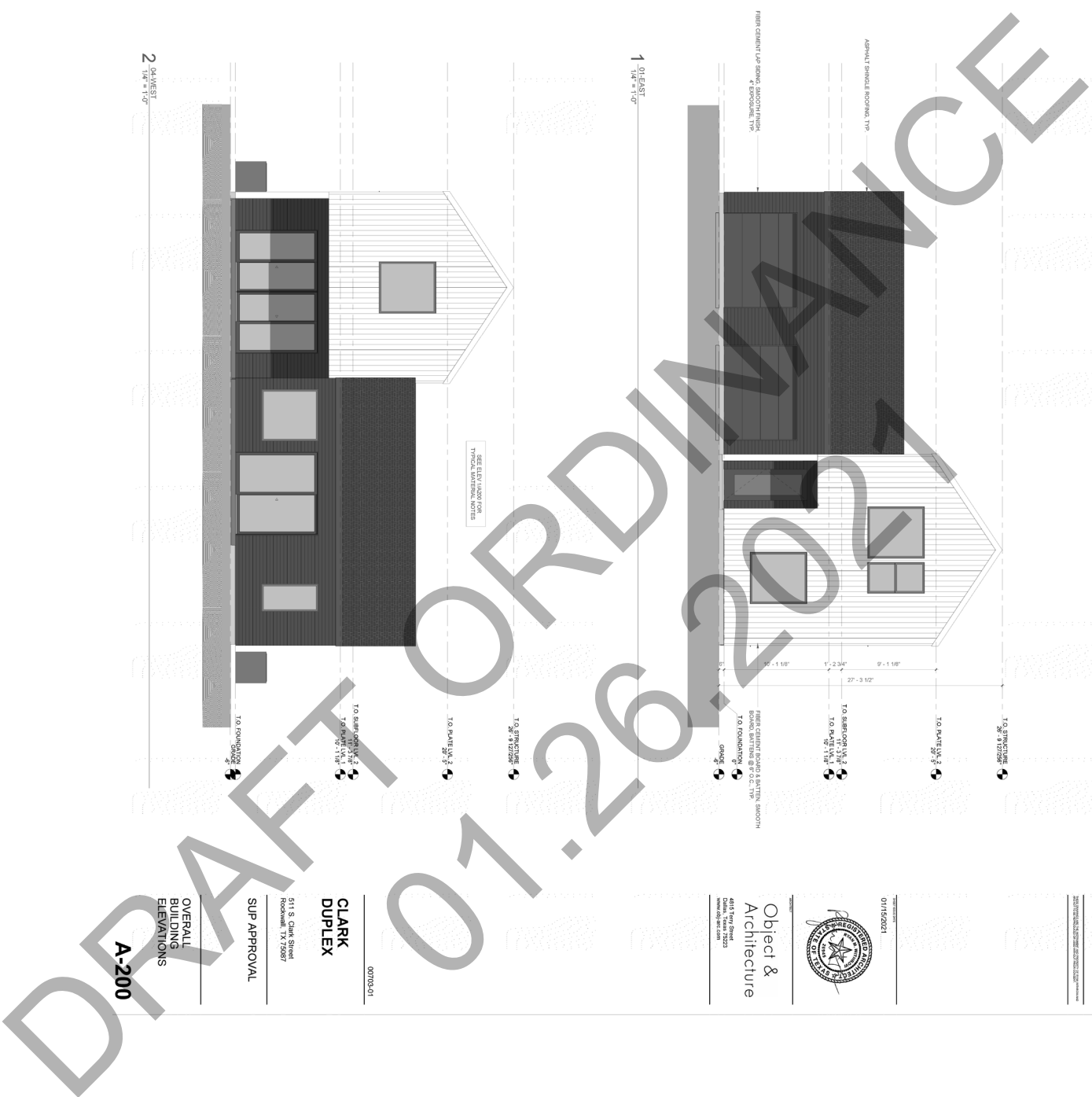
Legal Description: Lot 6, Harris Addition



**Exhibit 'B':  
Residential Plot Plan**









## CITY OF ROCKWALL

### PLANNING AND ZONING COMMISSION MEMORANDUM

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission

**FROM:** David Gonzales, *Planning and Zoning Manager*

**DATE:** March 9, 2021

**SUBJECT:** Z2021-003; *Specific Use Permit (SUP) for Residential Infill at 511 S. Clark Street*

---

On February 9, 2021, the Planning and Zoning Commission granted a request for a 30-day postponement of the public hearing to allow the applicant time to prepare a topographic survey in order to determine the floodplain/erosion hazard setback, which could potentially affect the placement of the proposed duplex. This was requested by the City's Engineering Department; however, the applicant, Jason Castro of Castro Development, LLC, has indicated to staff that the topographic survey is not complete and is requesting to withdraw the case [*i.e. Case No. Z2021-003*] (*see attached email*). The applicant has stated that he intends to resubmit the SUP request once the topographic survey is complete. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means the Planning and Zoning Commission will need to vote on whether or not to accept the applicant's withdraw request. Should the Planning and Zoning Commission have any questions staff will be available at the March 9, 2021 meeting.

**From:** [Jason Castro](#)  
**To:** [Gonzales, David](#)  
**Cc:** [Ryan Withrow](#)  
**Subject:** Re: P&Z Meeting Next Week  
**Date:** Wednesday, March 3, 2021 12:30:53 PM  
**Attachments:** [image003.png](#)  
[image004.png](#)  
[Outlook-23z24utu.png](#)

---

Good morning David,

Per our conversation this morning, we would like to request our application for 511 South Clark Street be withdrawn until the Topographical Survey has been performed.

Thank you for your consideration and assistance getting this withdrawn.

Sincerely,

*Texas law requires all license holders to provide the following Information About Brokerage Services form to prospective clients.*



**Jason Castro**

c. 214-232-2750  
e. [Jason@CastroPropertyGroup.com](mailto:Jason@CastroPropertyGroup.com)

Like me [Facebook!](#)  
Follow me on [Twitter & Instagram](#)

**During your representation by Coldwell Banker, you will NEVER be asked, via email, to wire or send funds to anyone, not even a title company. DO NOT COMPLY WITH EMAIL INSTRUCTIONS TO WIRE FUNDS!**

---

**From:** Gonzales, David <[DGonzales@rockwall.com](mailto:DGonzales@rockwall.com)>  
**Sent:** Tuesday, March 2, 2021 3:40 PM  
**To:** Jason Castro <[jason@castropropertygroup.com](mailto:jason@castropropertygroup.com)>  
**Cc:** Ryan Withrow <[ryan@obj-arc.com](mailto:ryan@obj-arc.com)>  
**Subject:** RE: P&Z Meeting Next Week



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 9, 2021  
**APPLICANT:** Jason Castro  
**CASE NUMBER:** Z2021-003; *Specific Use Permit (SUP) for a Residential Infill for 511 S. Clark Street*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 5, 1972 and remained a commercially zoned property until at least December 6, 1993. Based on the December 7, 1993 historic zoning map, the subject property had been changed to Heavy Commercial (HC) District. On April 5, 2005, the historic zoning map indicates a change in zoning from Heavy Commercial (HC) District to Two-Family (2F) District. This is the current zoning designation of the subject property. On April 13, 1960, the subject property was platted to Lot 6 of the Harris Addition.

### **PURPOSE**

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a duplex on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 511 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 509 S. Clark Street (*i.e. Lot 7 of the Harris Addition*), which is zoned Two-Family (2F) District. This property has an existing single-family home. Adjacent to 509 S. Clark Street are several parcels of land that contain single-family homes and are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several existing single-family homes sites (*i.e. Lot 1-6A of the Harris Addition*), which are zoned Two-Family (2F) District. Adjacent to the Harris Addition is 703 S. Clark Street (*i.e. Lot 1, Block 1, Allen Hogue Subdivision*), which is zoned Planned Development District 52 (PD-52) for Two-Family (2F) district land uses. Beyond this is E. Boydston Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.50-acre vacant tract of land (i.e. Block 108 of the B F Boydston Addition) zoned Two-Family (2F) District. Continuing east are two (2) tracts of land: [1] a 1.792-acre parcel of land (i.e. Tract 44-01 of the R. Ballard Survey, Abstract No. 29) and [2] a 2.6-acre parcel of land (i.e. Tract 65 of the R. Ballard Survey, Abstract No. 29). Both of these tracts are zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) properties that contain legal non-conforming land uses and that are zoned Commercial (C) District. These properties are located within the Mill Co. Subdivision. Adjacent to these non-conforming land uses, and also located within the Mill Co. Subdivision, are eight (8) single-family homes zoned Two-Family (2F) District. Beyond this is Tyler Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

## **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Harris Addition and within 500-feet of the Mill Co. and Integrity Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being zoned Two-Family (2F) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Housing
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	Unit #1, 2,023 SF & Unit #2, 1,171 SF (A/C Area)
Building Architecture	Single Family Homes	Duplex – Not Comparable to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Brick and Siding	Fiber Cement: Lap Siding and Board & Batten
Paint and Color	Red, White, Grey, Green, Blue and Brown	Unknown
Roofs	Composite and Asphalt Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	The garage will be attached to Unit #2, and located approximately (two) 2-feet behind the front façade of

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing a flat front-entry garage (*i.e. one [1] single-car garage for each dwelling unit*) that is attached to Unit #2 and sets back approximately two (2) feet from the front façade of Unit #1, and if approved the Planning and Zoning Commission and City Council will be waiving the required garage orientation requirements. Staff should note that this garage orientation is not uncharacteristic of the neighborhood. Some of the single-family homes in the neighborhood have a garage that is in front of, flush or behind the front façade of the single-family home. In some cases, there is not a garage, but a front entry driveway. With the exception of the garage orientation, the proposed duplex meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

### **NOTIFICATIONS**

On January 22, 2021, staff mailed 71 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Four (4) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) One (1) email from a property owner within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (3) One (1) property owner notification from a property owner within the notification area (*i.e. within the 500-foot buffer*) that is in favor of the applicant's request.
- (4) One (1) property owner notification from property owner that is *not within* the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a duplex on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the duplex has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
  - (d) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain/erosion hazard setback.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING &amp; ZONING CASE NO.

22021-003

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>  
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDING OR MINOR PLAT (\$150.00)  
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>  
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- ☐ TREE REMOVAL (\$75.00)  
☐ VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6 BLOCK

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.165 LOTS [CURRENT] LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**☒ OWNER Castro Development LLC☐ APPLICANT

CONTACT PERSON Jason Castro

CONTACT PERSON

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS

CITY, STATE &amp; ZIP DALLAS, TX 75248

CITY, STATE &amp; ZIP

PHONE 214.232.2750

PHONE

E-MAIL jason@castropropertygroup.com

E-MAIL

**NOTARY VERIFICATION [REQUIRED]**

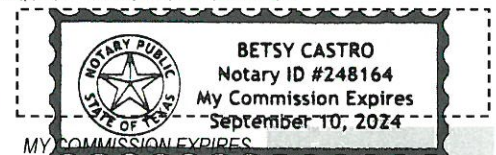
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15<sup>th</sup> DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

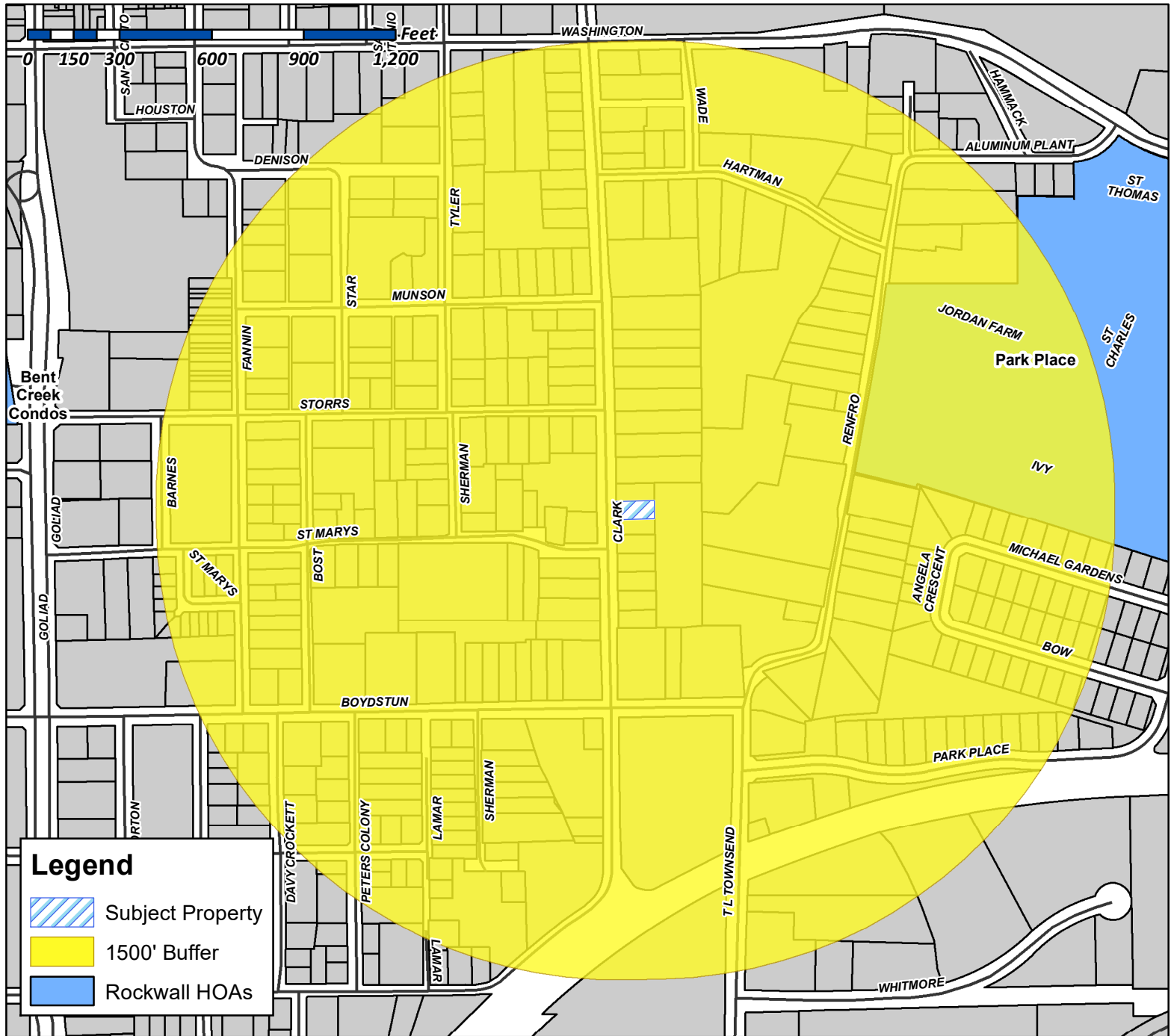
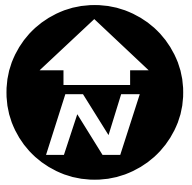







# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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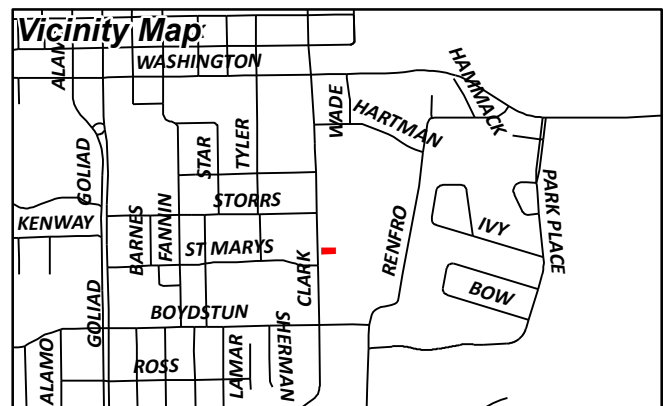
## Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

**Case Number:** Z2021-003  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Two-Family (2F) District  
**Case Address:** 511 S. Clark Street

**Date Created:** 1/19/2021

**For Questions on this Case Call** (972) 771-7745



**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2021-003]  
**Date:** Friday, January 22, 2021 9:00:07 AM  
**Attachments:** [Public Notice \(01.19.2021\).pdf](#)  
[HOA Map Z2021-003.pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on January 29, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-003 SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

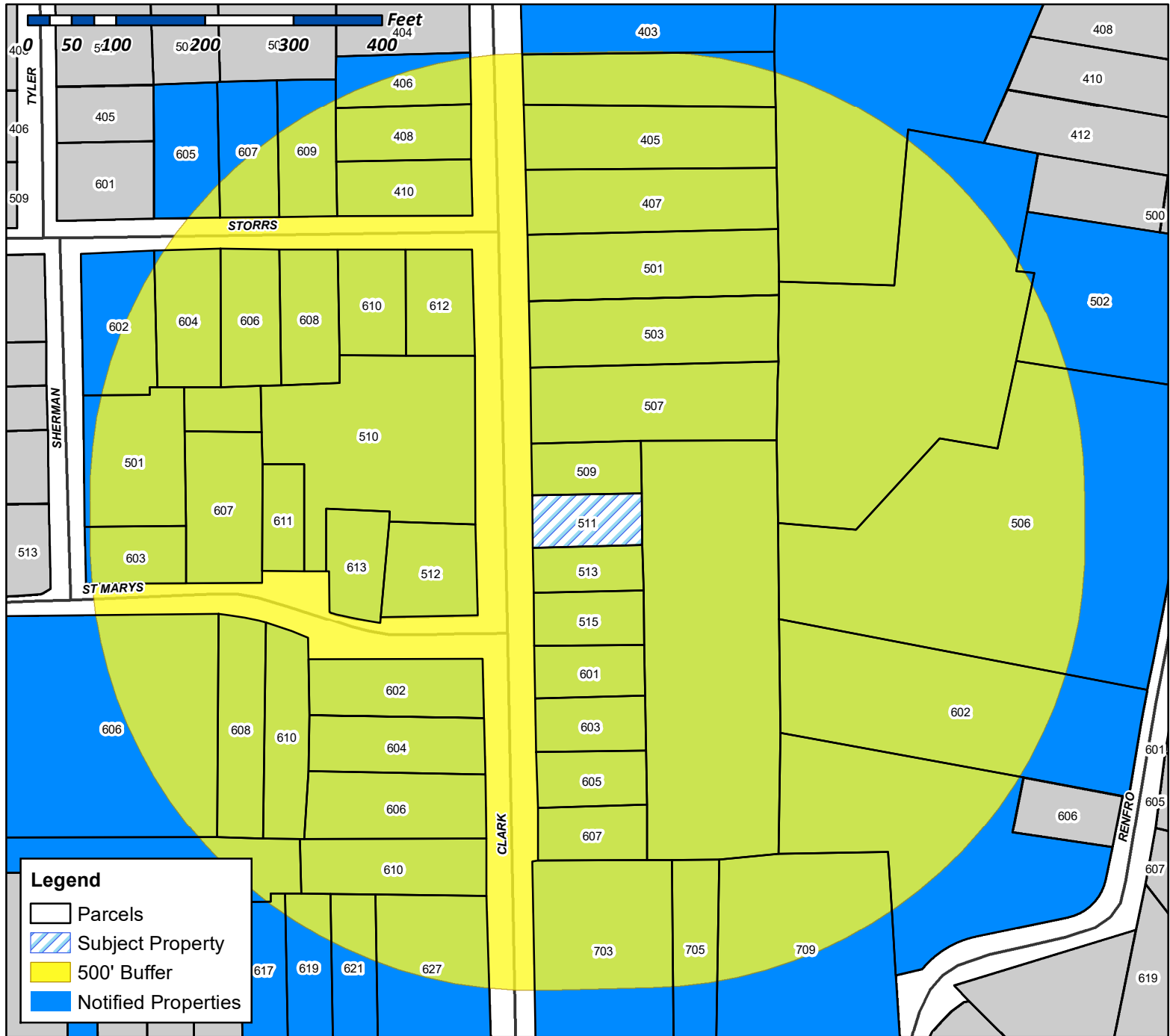
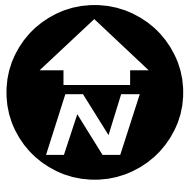
<http://www.rockwall.com/planning/>



# City of Rockwall

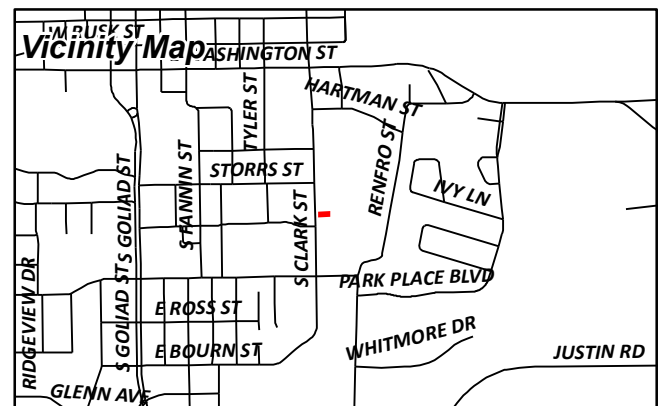
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**Case Number:** Z2021-003  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Two-Family (2F) District  
**Case Address:** 511 S. Clark Street

**Date Created:** 1/19/2021  
**For Questions on this Case Call** (972) 771-7745



 = RESPONSE RECEIVED

MCCALLUM DARRELL  
1 SOAPBERRY LN  
ROCKWALL, TX 75087

ANGEL NADA  
11014 ITASCA DR  
DALLAS, TX 75228

GADDIS DANNY E  
12922 EPPS FIELD RD  
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES  
602 S CLARK  
143 STONELEIGH DRIVE  
HEATH, TX 75032

HOGUE MIKE AND VICKY  
1498 HUBBARD DR  
FORNEY, TX 75126

LOWREY DAVID D  
2070 PONTCHARTRAIN  
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC  
215 GRIFFIN AVENUE  
FATE, TX 75189

BOWEN CHASE AND  
PERRY BOWEN  
230 MYERS ROAD  
HEATH, TX 75032

GLASS JO KAY HARRIS  
301 MEADOWDALE  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
315 ROLLING MEADOWS CIR  
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE  
3299 ROCHELLE RD  
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE  
401 E KAUFMAN ST  
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS  
401 S CLARK ST  
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS  
403 S CLARK ST  
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE  
405 S CLARK STREET  
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC  
406 S CLARK ST  
ROCKWALL, TX 75087

BOWEN CHASE AND  
PERRY BOWEN  
407 S CLARK ST  
ROCKWALL, TX 75087

BOSS MORRIS E AND  
DEBRA K BOSS  
408 RIDGEVIEW  
ROCKWALL, TX 75087

GADDIS CAMILLE D  
408 SOUTH CLARK STREET  
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA  
410 S CLARK ST  
ROCKWALL, TX 75087

STARK ROBERT CLAYTON  
501 SHERMAN ST  
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE  
501 S CLARK  
ROCKWALL, TX 75087

SAMPLES ELVA NELL  
502 RENFRO ST  
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE  
503 S CLARK  
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C  
506 RENFRO ST  
ROCKWALL, TX 75087

LECOUR DAVID & RENEE  
507 S CLARK ST  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
509 S CLARK ST  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
510 S CLARK  
ROCKWALL, TX 75087

HAMANN KRISTIE M  
511 S CLARK ST  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
512 S CLARK  
ROCKWALL, TX 75087

HOGUE ALLEN  
513 RIDGEVIEW DR  
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND  
NORMA L CRUZ HERNANDEZ  
513 S CLARK ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
515 S CLARK ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
601 S CLARK ST  
ROCKWALL, TX 75087

HOGUE CAROLYN SUE  
602 RENFRO  
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W  
602 STORRS STREET  
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES  
602 S CLARK  
602 S CLARK ST  
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE  
603 ST MARYS ST  
ROCKWALL, TX 75087

RIVERA SARA ELIA  
603 S CLARK ST  
ROCKWALL, TX 75087

JONES PEGGY  
604 STORRS ST  
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC  
604 S CLARK ST  
ROCKWALL, TX 75087

CASTILLO JUAN JAIME  
605 S CLARK ST  
ROCKWALL, TX 75087

DAVIS JIMMY JACK  
605 STORRS ST  
ROCKWALL, TX 75087

WILKERSON CLAUDE JR  
606 SAINT MARY ST  
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D  
606 STORRS STREET  
ROCKWALL, TX 75087

HOGUE MIKE & VICKY  
606 S CLARK ST  
ROCKWALL, TX 75087

STARK ROBERT SCOTT  
607 SAINT MARY ST  
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED  
607 SOUTH CLARK STREET  
ROCKWALL, TX 75087

HALDEMAN MICHAEL  
607 STORRS ST  
ROCKWALL, TX 75087

BOSS MORRIS E AND  
DEBRA K BOSS  
608 ST MARYS ST  
ROCKWALL, TX 75087

LOWREY DAVID D  
608 STORRS ST  
ROCKWALL, TX 75087

GADDIS DANNY E  
609 STORRS ST  
ROCKWALL, TX 75087

FARRELL KIMBERLY A  
610 SAINT MARY ST  
ROCKWALL, TX 75087

JOHNSTON SHERRI A  
610 STORRS ST  
ROCKWALL, TX 75087

HOGUE MIKE & VICKY  
610 S CLARK ST  
ROCKWALL, TX 75087

SMITH CHARLES  
611 E BOYDSTUN  
ROCKWALL, TX 75087

H & M TOOL AND DIE CO  
611 SAINT MARY ST  
ROCKWALL, TX 75087

ANGEL NADA  
612 STORRS ST  
ROCKWALL, TX 75087

MCCALLUM DARRELL  
613 ST MARYS PL  
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN  
615 E BOYDSTUN AVENUE  
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN  
617 E BOYDSTUN AVE  
ROCKWALL, TX 75087

WOODARD JENNIFER  
619 E BOYDSTUN AVE  
ROCKWALL, TX 75087

RANDOLPH JAMES R JR  
621 E. BOYDSTUN AVE  
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND  
VICTORIA NGOC TRAN-KNOWLES  
627 EAST BOYDSTUN AVENUE  
ROCKWALL, TX 75087

HOGUE ALLEN  
703 E BOYSTUN AVE  
ROCKWALL, TX 75087

HOGUE ALLEN  
705 E BOYDSTUN AVE  
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY  
709 E BOYDSTUN AVE  
ROCKWALL, TX 75087

STARK ROBERT CLAYTON  
710 AGAPE ST  
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C  
880 IVY LN  
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC  
904 CAMPTON CT  
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO  
PO BOX 2437  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Case No. Z2021-003: Specific Use Permit for Residential Infill

*Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**Ryan Miller, AICP**  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



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PLEASE RETURN THE BELOW FORM

**Case No. Z2021-003: Specific Use Permit for Residential Infill**

**Please place a check mark on the appropriate line below:**

- ☐ I am in favor of the request for the reasons listed below.
- ☒ I am opposed to the request for the reasons listed below.

~~North American had significant with the newly developed & improved times on the east coast & the surrounding areas. The project continued to increase in value, but I do not believe the~~

~~\*\*~~ See attached ~~\*\*~~

Name: Amy Davis  
Address: 6006 Storrs St Rockwall TX 75087

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

February 3, 2021

Planning Department

Case No. Z2021-003; Specific Use Permit for Residential Infill

Our neighborhood has improved with the newly developed and renovated homes on Clark Street and the surrounding area. Our property values continue to increase, but I do not believe that will continue if the city allows two-family duplexes to be built on Clark. I do not believe it is in the best interest of any of the surrounding homeowners in the area. Unfortunately, there are duplexes on Storrs Street that are not well maintained and appear very run down. I am opposed to the request for the Special Use Permit.

Regards,



Amy Davis  
606 Storrs Street  
Rockwall, TX 75087

# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
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Ryan Miller, AICP  
Director of Planning & Zoning

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MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

- 1) Building in the flood plane could negatively affect my property.
- 2) NOT enough parking on street for cars. Current design only has 1 space for each unit.
- 3) GARAGES ARE pulling STRAIGHT in. NO T-Swing?

Name: Corky Randolph  
Address: 621 E. Boydston Ave

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Case No. Z2021-003: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



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PLEASE RETURN THE BELOW FORM

## Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

The downtown or "Old" town area of Rockwall is a unique neighborhood with beautiful older single family homes. We want it to stay that way, so it will continue with the charm of a small town feel. Duplexes do NOT represent our neighborhood.

Name:

Address:

Michael & Sarah Haldeman: 607 Storrs St. Rockwall Tx. 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.  
☒ I am opposed to the request for the reasons listed below.

LOT IS NOT BIG ENOUGH FOR A DUPLEX. THERE ARE NO OTHER DUPLEXES ON CLARK. TOO MANY DUPLEXES IN THIS AREA ALREADY.

Name: MICHAEL JAMGOCHIAN

Address: 602 STORRS STREET

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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## Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.  
☒ I am opposed to the request for the reasons listed below.

I would prefer we keep the character of the neighborhood to Single Family Homes vs Mixing in potential Rental type property.  
Vote NO

Name:

Michael Rasmussen

Address:

507 Park Place Blvd Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2021-003: Specific Use Permit for Residential Infill**

**Please place a check mark on the appropriate line below:**

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Always nice to have a new house on the street



Name:

Sherri Johnston

Address:

610 Storrs St.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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**From:** [Renee LeCour](#)  
**To:** [Gonzales, David](#)  
**Subject:** Case No. Z2021-003 : Specific Use Permit for Residential Infill  
**Date:** Tuesday, February 9, 2021 9:31:28 AM

---


Mr. Gonzales,

We are opposed to the rezoning to build a duplex on Clark Street. All of the homes are single family homes. We don't want to see this changed .

We feel like having another rental property that is a duplex would increase the congestion of traffic on Clark St and also the possibility of increased crime.

Mr. Castro already has a rental property next door to our home. We aren't opposed to him building a single family home. We want to see our neighborhood remain single family homes. Thank you for your consideration of this matter.

Sincerely,

David & Renee' LeCour  
507 S. Clark St.  
Rockwall, Tx 75087  


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SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com



1 01-EAST  
1/4" = 1'-0"



2 04-WEST  
1/4" = 1'-0"

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

A-200

SHEET ISSUE DATE:

01/15/2021



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Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

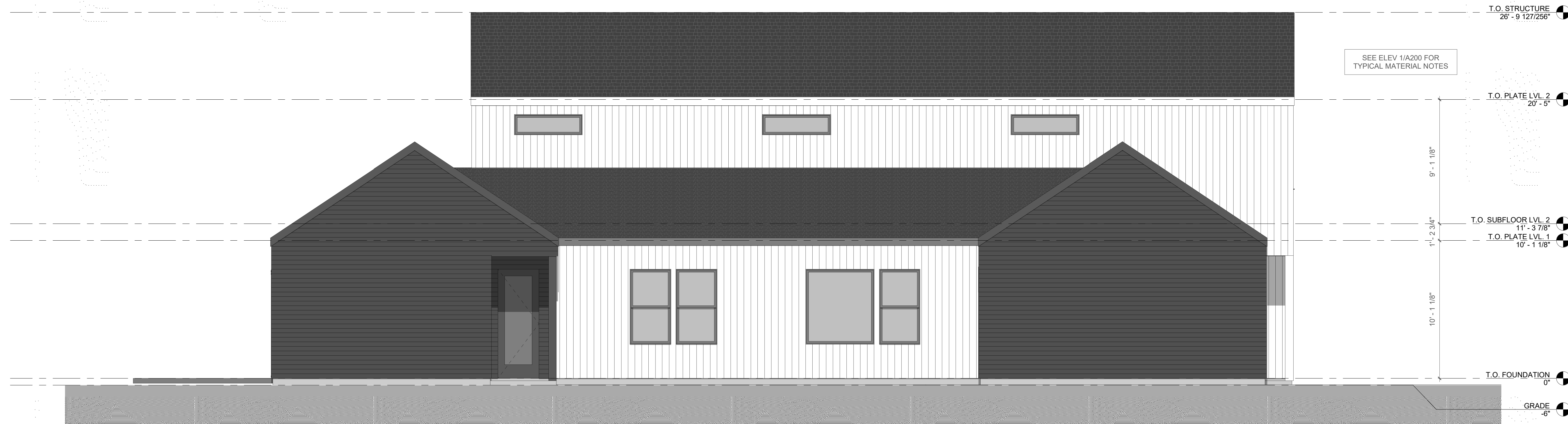
SUP APPROVAL

OVERALL  
BUILDING  
ELEVATIONS

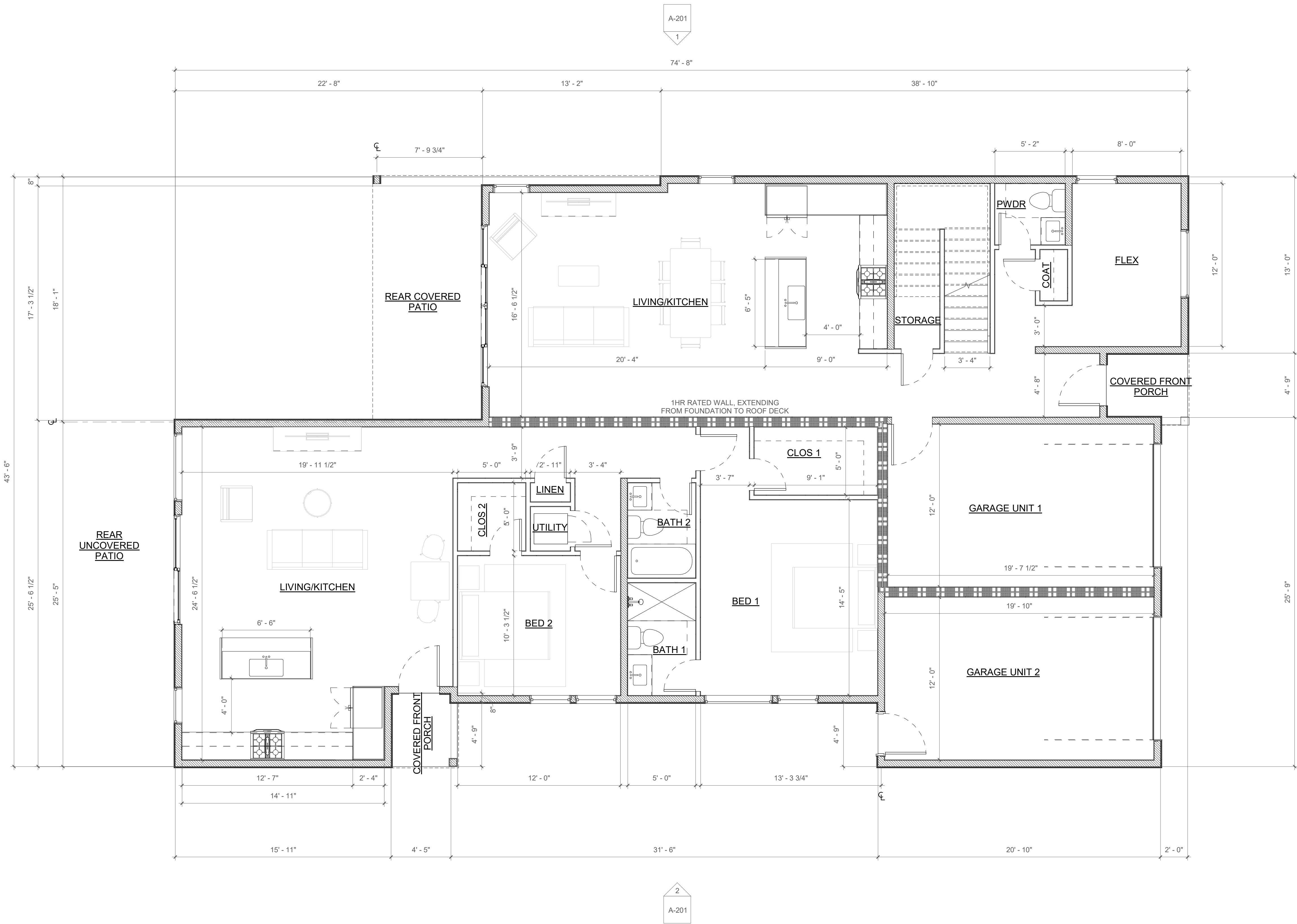
A-201



1 02-NORTH  
1/4\"/>



2 03-SOUTH  
1/4\"/>



#### GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR  
PLAN



A-100

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SHEET ISSUE DATE:

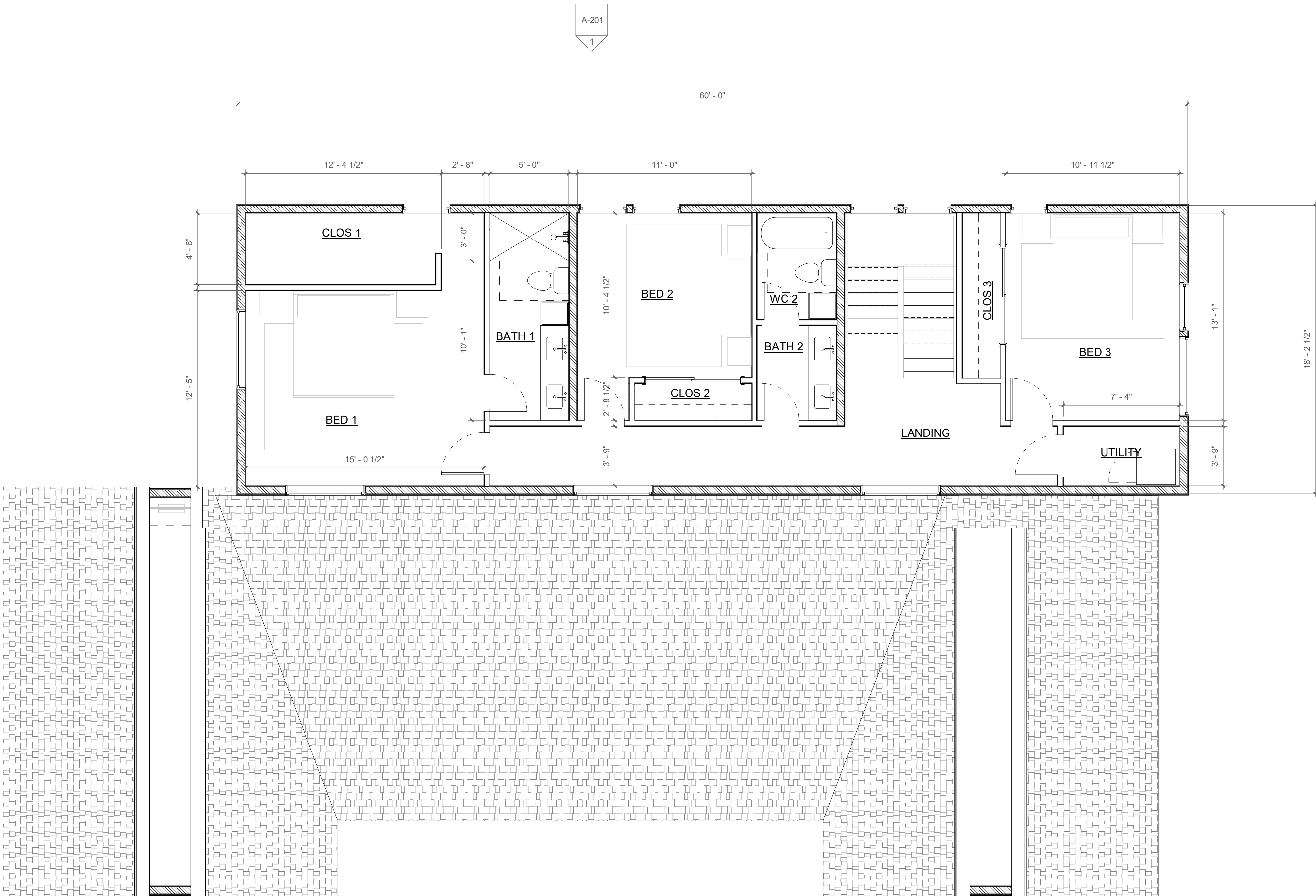
01/15/2021



ARCHITECT

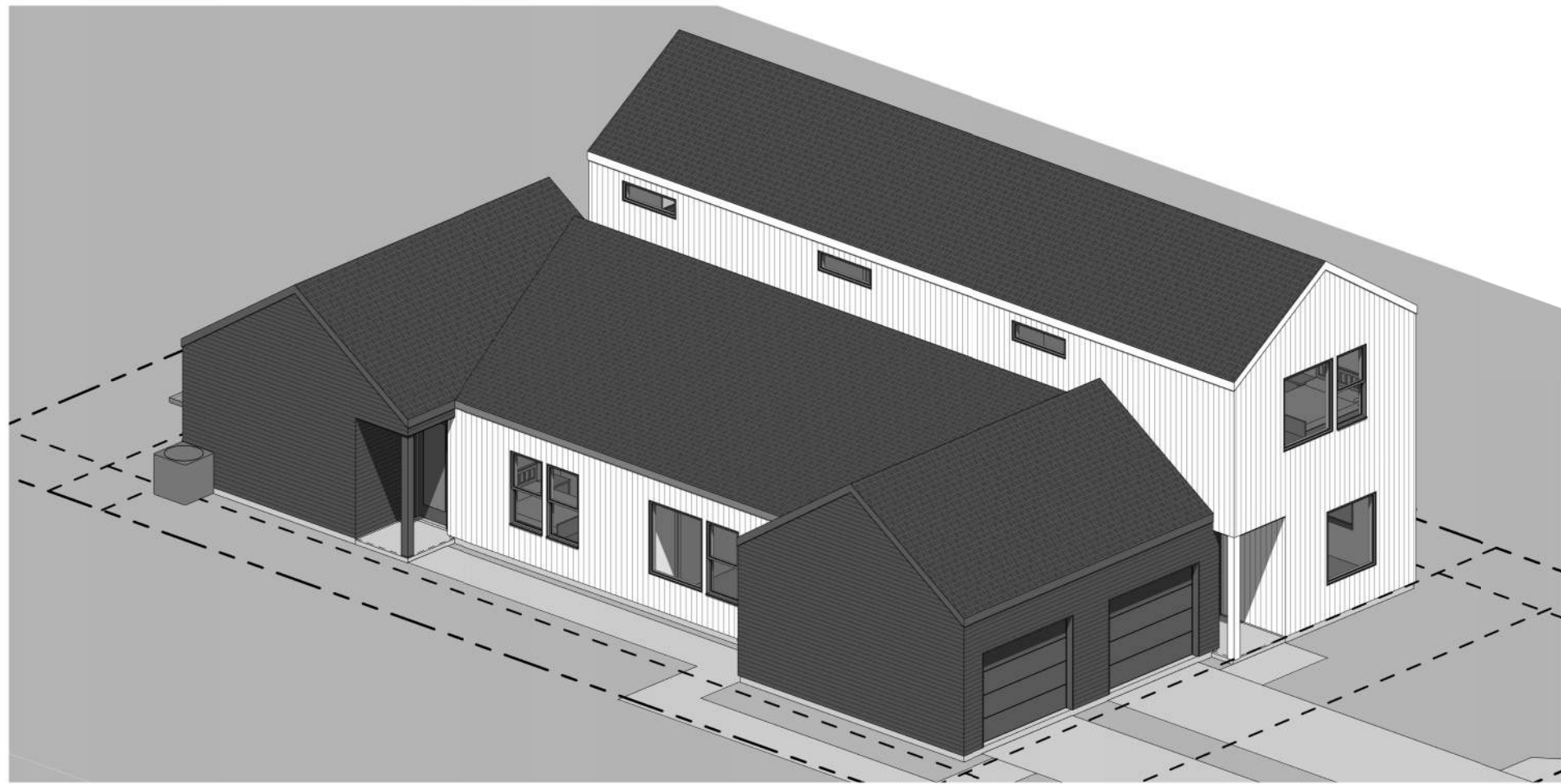
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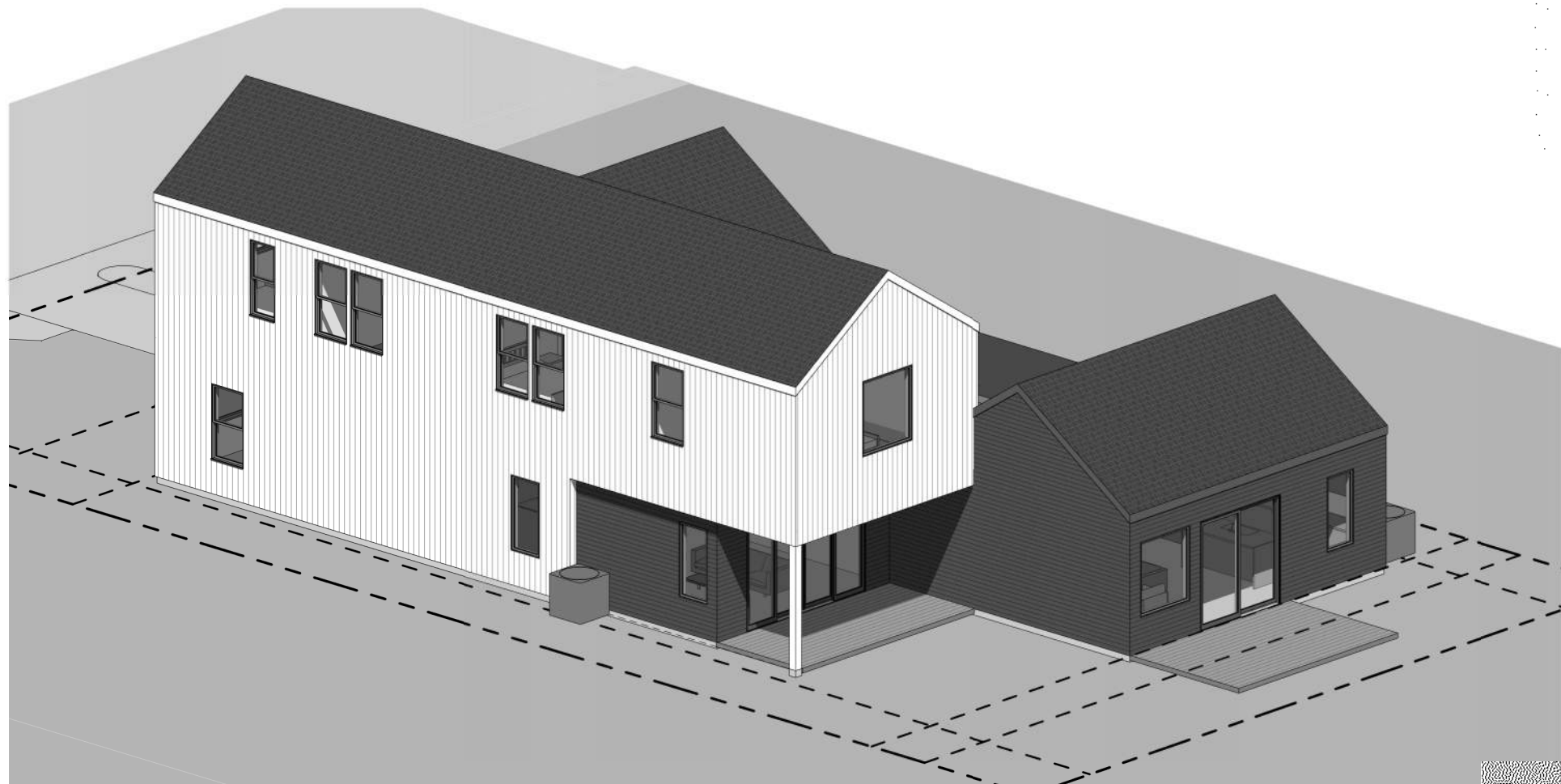


UNIT 1

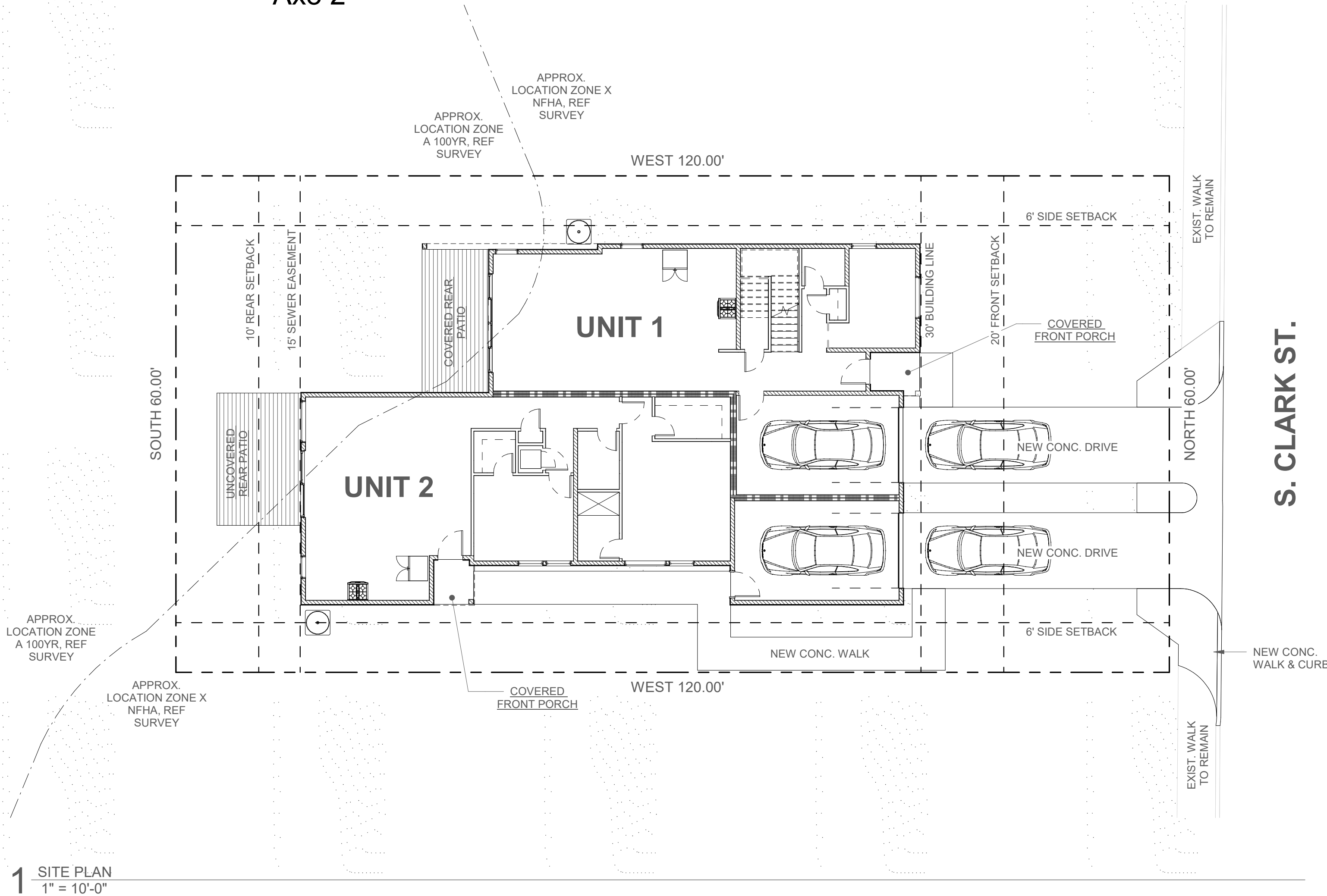




Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRVING BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R112 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

- TYPICAL EXISTING WALL
- TYPICAL REMOVED WALL
- TYPICAL 3-1/2" STUD INTERIOR WALL
- INTERIOR WALL WITH SOUND INTERIOR
- TYPICAL 5 1/2" STUD INTERIOR WALL
- TYPICAL SIDING EXTERIOR WALL
- TYPICAL CEMENT PLASTER EXTERIOR WALL
- TYPICAL MASONRY EXTERIOR WALL
- WINDOW TAG
- WALL TYPE
- DOOR TAG
- SECTION CUT TAG
- ELEVATION TAG
- DETAIL TAG

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS  
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS  
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

**OWNER**  
CASTRO DEVELOPMENT  
1006 CLERMONT ST.  
DALLAS, TX 75223

**ARCHITECT**  
OBJECT & ARCHITECTURE  
4815 TERRY STREET  
DALLAS, TX 75223

**CONTACT:**  
JASON CASTRO  
214.232.2750  
JASON@CASTROPROPERTYGROUP.COM

**CONTACT:**  
RYAN M. WITHROW  
214.240.1995  
RYAN@OBJ-ARC.COM

PROJECT INFORMATION

**DESCRIPTION:** NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE

**ADDRESS:** 511 S. CLARK STREET  
ROCKWALL, TX 75087

**CITY:** ROCKWALL  
**COUNTY:** ROCKWALL COUNTY

**LOT:** 6  
**BLOCK:** J.E. HARRIS SUBDIVISION

SITE INFORMATION

**ZONING REGULATIONS**  
**ZONE:** TWO-FAMILY (2F)  
**MAIN USE:** TWO FAMILY RESIDENCE (DUPLEX)

**FRONT SETBACK:** 20 FT.  
**SIDE SETBACKS:** 6 FT.  
**REAR SETBACK:** 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES

**UNIT DENSITY:** NO MAXIMUM DWELLING UNIT DENSITY.  
**MAX ALLOWED HT:** 32 FT.  
**LOT COVERAGE:** 45% MAX

**AREA CALCULATIONS**  
**CONDITIONED AREAS:**  
UNIT 1 FIRST FLOOR A/C AREA: 914 SQ.FT.  
UNIT 1 SECOND FLOOR A/C AREA: 1,109 SQ.FT.  
UNIT 1 TOTAL A/C AREA: 2,023 SQ.F.  
UNIT 2 FIRST FLOOR A/C AREA: 1,171 SQ.FT.  
UNIT 2 TOTAL A/C AREA: 1,171 SQ.FT.

**UNCONDITIONED AREAS:**  
UNIT 1 GARAGE AREA: 253 SQ.FT.  
UNIT 2 GARAGE AREA: 268 SQ.FT.  
UNIT 1 FRONT PORCH COVERED AREA: 29 SQ.FT.  
UNIT 1 REAR PATIO COVERED AREA: 152 SQ.FT.  
UNIT 2 FRONT PORCH COVERED AREA: 26 SQ.FT.  
TOTAL COVERED PORCHES: 207 SQ.FT.

**LOT AREA:** 7,200 SQ.FT. (PER SURVEY)  
**LOT COVERED AREA:** 2,292 SQ.FT.  
**COVERAGE:** 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF DYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:

01/15/2021



ARCHITECT

Object &  
Architecture

4815 Terry Street  
Dallas, Texas 75223  
www.obj-arc.com

00703-01

CLARK  
DUPLEX

511 S. Clark Street  
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &  
SITE PLAN



G-100



## 511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY,  
an Addition in Rockwall County, Texas, according to the Map or Plat  
recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat  
Records of Rockwall County, Texas.

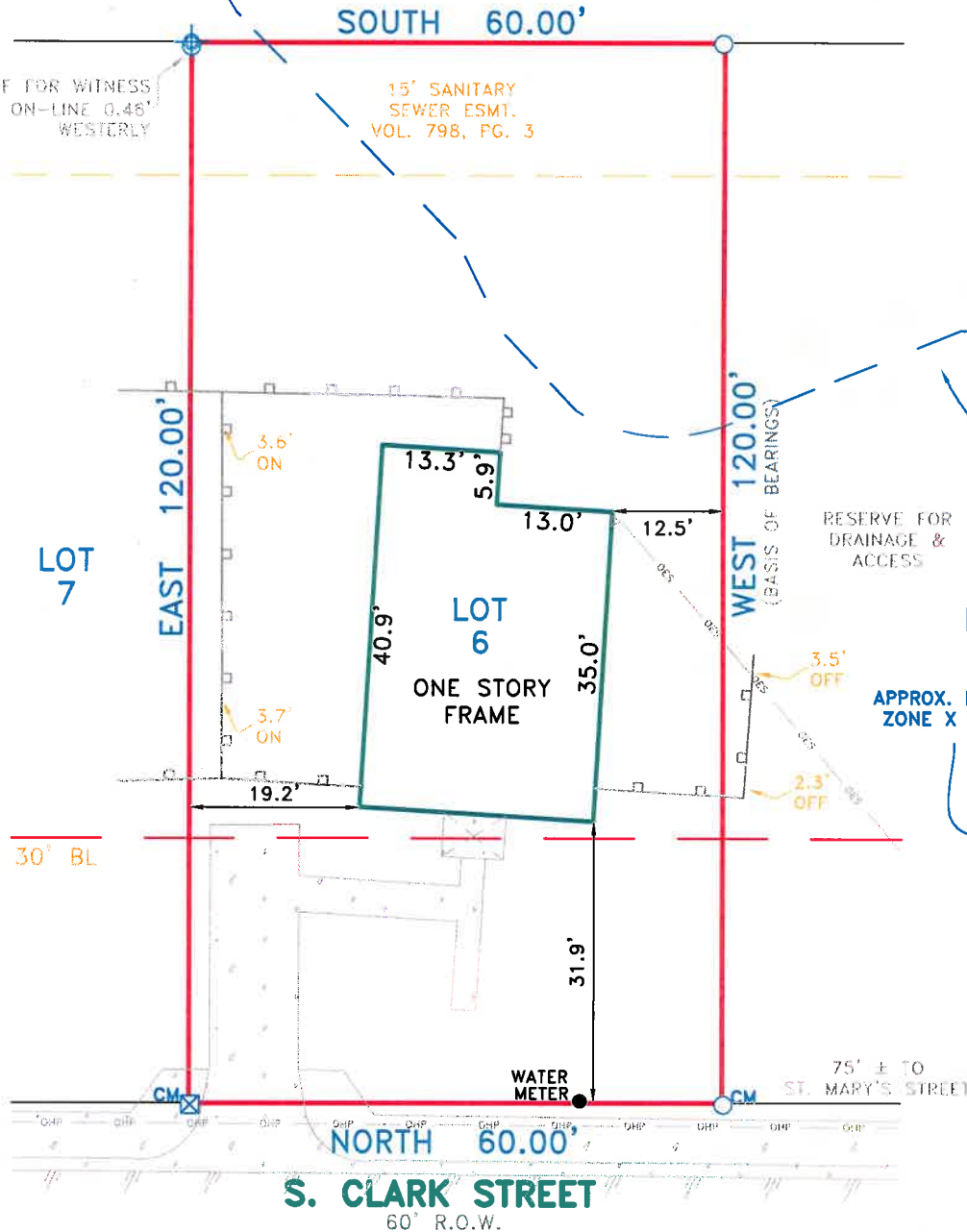
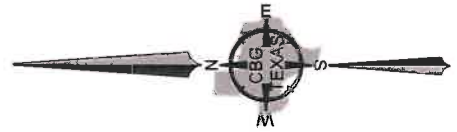


### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- ||— EDGE OF ASPHALT
- ||— EDGE OF GRAVEL
- ||— CONCRETE
- ||— COVERED AREA
- ||— BRICK
- ||— STONE

APPROX. LOCATION  
ZONE A 100YR  
48397C0040L  
DATE 09/26/2008

JO KAY HARRIS GLASS,  
AS HER SOLE AND  
SEPERATE PROPERTY  
INST.# 20160000012322



### EXCEPTIONS:

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ

Scale: 1" = 20'

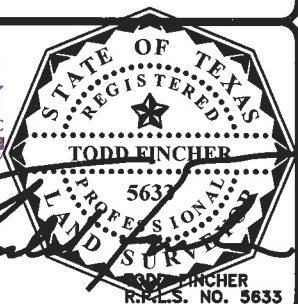
Date: 7-30-2020

GF No.: 20-509065-RL

Job No. 2013905



12025 Shiloh Road, Ste. 240  
Dallas, TX 75228  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.cbgtxllc.com



Accepted by: \_\_\_\_\_  
Purchaser

Date: \_\_\_\_\_

Purchaser

## Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home				
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970		N/A	Metal
511 S Clark Street	Vacant		Subject Property		
512 S Clark Street	Other	1960		N/A	Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
402 & 404 Storrs Street	Duplex	N/A	N/A	N/A	Brick
406, 500, & 502 Storrs Street	Tri-Plex	N/A	N/A	N/A	Brick
504-A & 504-B Storrs Street	Duplex	1999	1,260	N/A	Brick
518 & 520 Storrs Street	Duplex	1999	1,260	N/A	Brick
514 & 516 Storrs Street	Duplex	1989	1,270	N/A	Brick
510 & 512 Storrs Street	Duplex	1985	1,218	N/A	Brick
602 Storrs Street	Single-Family Home	1890	3,222	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1978	1,233		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



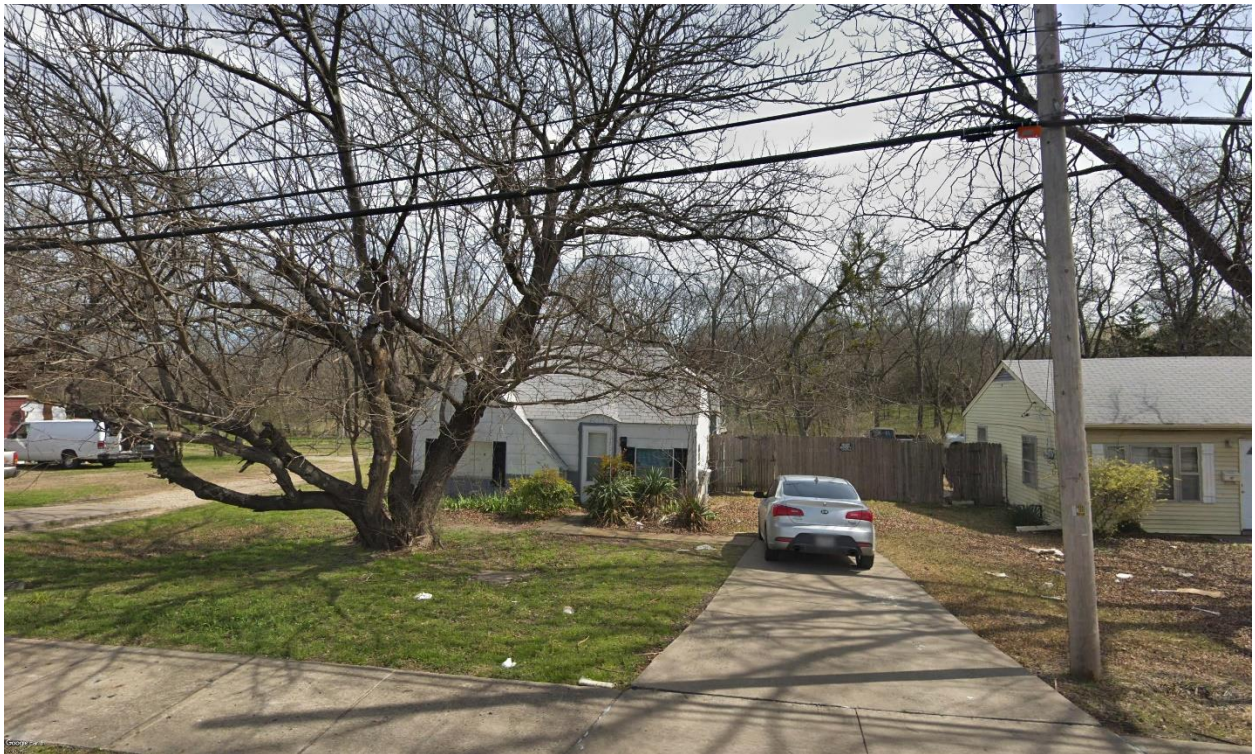
511 S Clark Street



512 S Clark Street



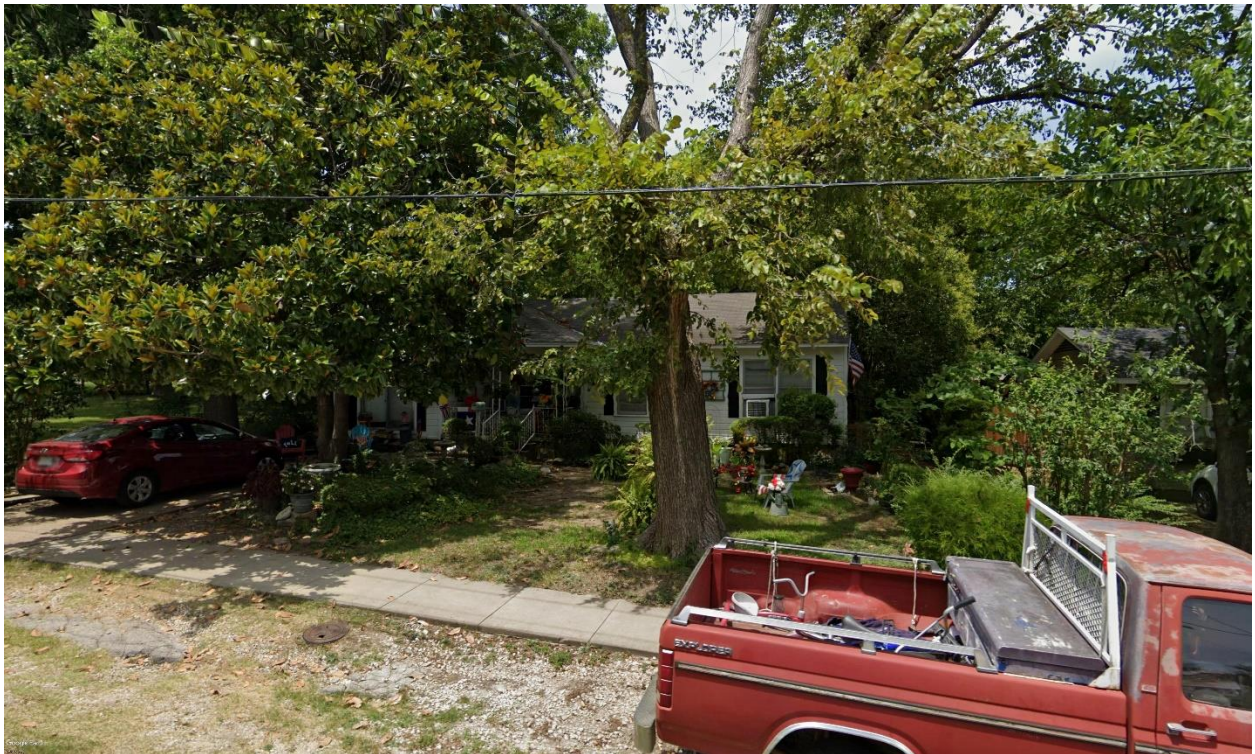
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

402 & 404 Storrs Street

Write a description for your map.

Legend



406, 500, & 502 Storrs Street

Write a description for your map.

Legend



504-A & 504-B Storrs Street

Legend



510 & 512 Storrs Street

Legend



Google Earth

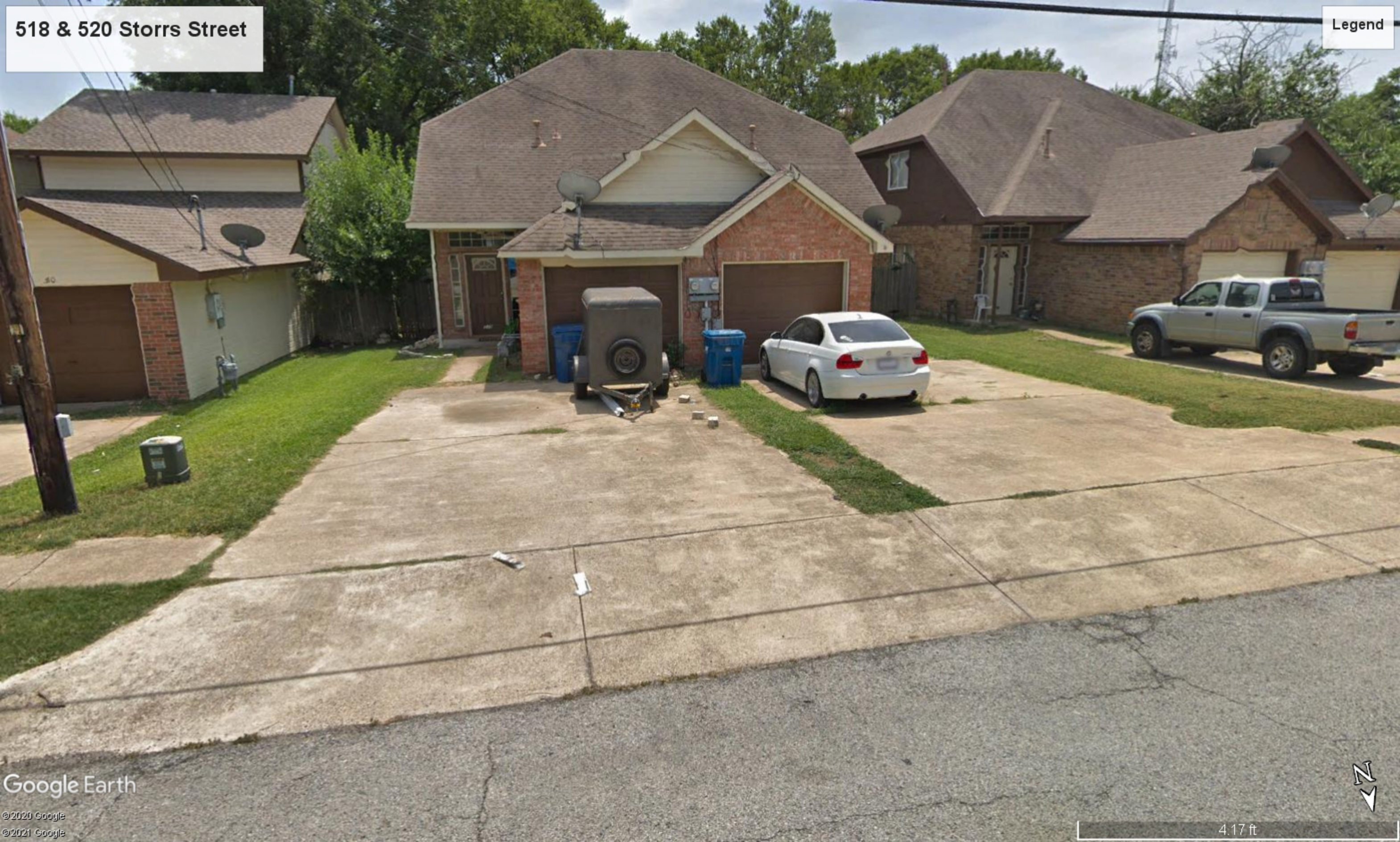
©2020 Google  
©2021 Google

5.46 ft



518 & 520 Storrs Street

Legend



Google Earth

©2020 Google  
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4.17 ft



514 & 516 Storrs Street

Legend



Google Earth

©2020 Google  
©2021 Google

4.13 ft



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a *duplex* in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a two-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the two-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- 4) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF MARCH, 2021.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: February 16, 2021

2<sup>nd</sup> Reading: March 1, 2021

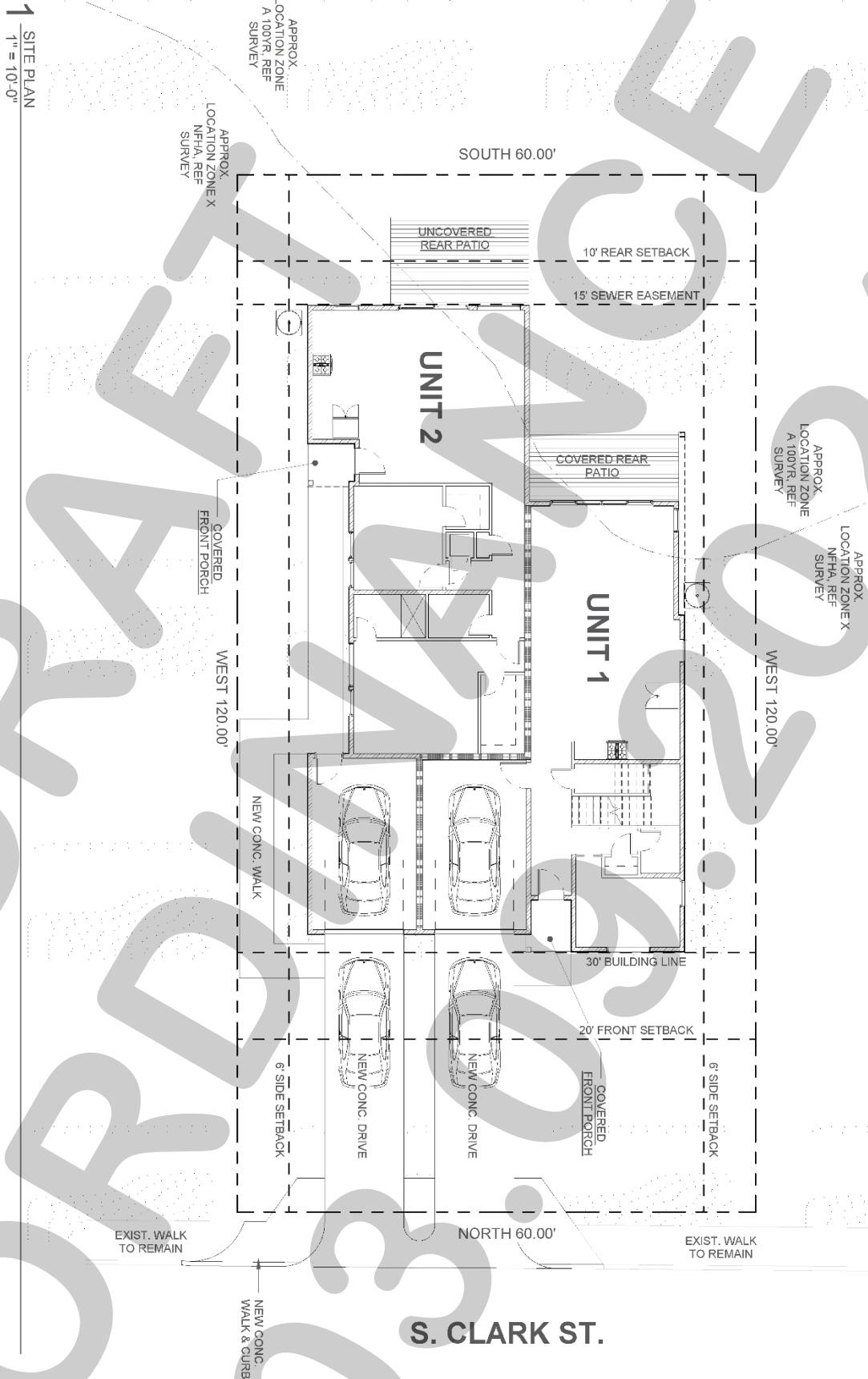
**Exhibit 'A'**  
*Location Map and Survey*

Address: 511 S. Clark Street

Legal Description: Lot 6, Harris Addition



**Exhibit 'B':  
Residential Plot Plan**



Architectural drawings of the Clark Duplex, including a front elevation and a side elevation. The front elevation shows a two-story building with a gabled roof, multiple windows, and a central entrance. The side elevation shows the building's profile with a flat roof and a small dormer. Both drawings include dimensions and notes.

Exhibit 'C':  
Building Elevations

