



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST (\$100.00)

NOTES:

IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 823 E. Interstate 30 Rockwall, TX 75032

SUBDIVISION Rockwall Market Center East

LOT 1 BLOCK A

GENERAL LOCATION I-30 & Mims Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial

CURRENT USE

Shopping Center

PROPOSED ZONING Commercial

PROPOSED USE

Office

ACREAGE 0.636

LOTS [CURRENT] 2

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Kohl's Dept Stores

☒ APPLICANT Carroll Architects, Inc.

CONTACT PERSON Eric Borkenhagen

CONTACT PERSON Jeff Carroll

ADDRESS N56 W. 17000 Ridgewood Dr.

ADDRESS 750 E. Interstate 30
Suite 110

CITY, STATE & ZIP Menomonee Falls, WI. 53051

CITY, STATE & ZIP Rockwall, Texas 75087

PHONE 262-703-7000

PHONE 214-632-1762

E-MAIL eric.borkenhagen@kohls.com

E-MAIL jc@carrollarch.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ERIC BORKENHAGEN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF November, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Kohl's Department Stores, Inc

Eric N. Borkenhagen, P.E.
(262) 703-6014
Fax: (262) 703-7105
eric.borkenhagen@kohls.com

November 7, 2022

Bethany Ross
City of Rockwall- Planning & Zoning
385 S Goliad St
Rockwall TX 75087

Re: Kohl's Department Store
Potential Vet Clinic Outparcel

To whom it may concern:

It is Kohl's Department Stores understanding that a variance is needed as it relates to required parking counts at our Rockwall TX store, at 823 E Interstate 30, to allow for a potential veterinary clinic in front of this store. Kohl's understands and agrees that we would be left with 259 parking stalls to serve our store if this development occurred. It is our understanding that the operating documents for the shopping center allow for shared parking between the tenants within the shopping center. We have no issues with the developer of the vet clinic requesting to be on the next Planning & Zoning agenda as part of the approval of their project. Thank you for your time on this matter and we do appreciate being a part of your community.

Sincerely,



Kohl's Department Stores, Inc.
Eric Borkenhagen
Real Estate Manager

Jeff Carroll

From: Jeff Carroll
Sent: Friday, November 4, 2022 4:53 PM
To: bross@rockwall.com
Subject: Kohl's Parking issue

Bethany,

The square footage breakdown

Retail – 76,202 SF / 250 SF = 304.80

Office – 3,531 SF / 300 SF = 11.77

Whse – 13,111 SF / 1000 = 13.11

Total Parking required = 329. 68 (330 Spaces)

Total on site = 259 Spaces

Vet clinic has (19) extra spaces

Total spaces for variance = 52 spaces

Let me know if this is what you think we need to show. If not please mark up and I'll send to them.

Thx,
JC



Jeffrey Carroll, Architect

Carroll Architects, Inc.

750 E. Interstate 30, Ste. 110

Rockwall, Texas 75087

T. 972.732.6085

C. 214.632.1762



An aerial photograph of a parking lot and surrounding area. A large red boundary outlines a specific section of the lot. Within this red boundary, several yellow numbers are placed near groups of cars, indicating counts for different sections. The numbers are: 14, 14, 14, 13, 13, 31, 31, 49, 49, 45, 43, 23, and -92. A dashed yellow line also outlines a smaller section of the lot. To the left of the parking lot is a large white building with a red pin and the word 'Kohl's' on its roof. To the right is a multi-lane highway with a blue '30' shield and a white '67' shield. The text 'E Interstate 30' is visible on the highway. In the bottom right corner, the text 'Road Maintenance' is partially visible.

Total: 351
OPL: 92
Total minus OP = 259



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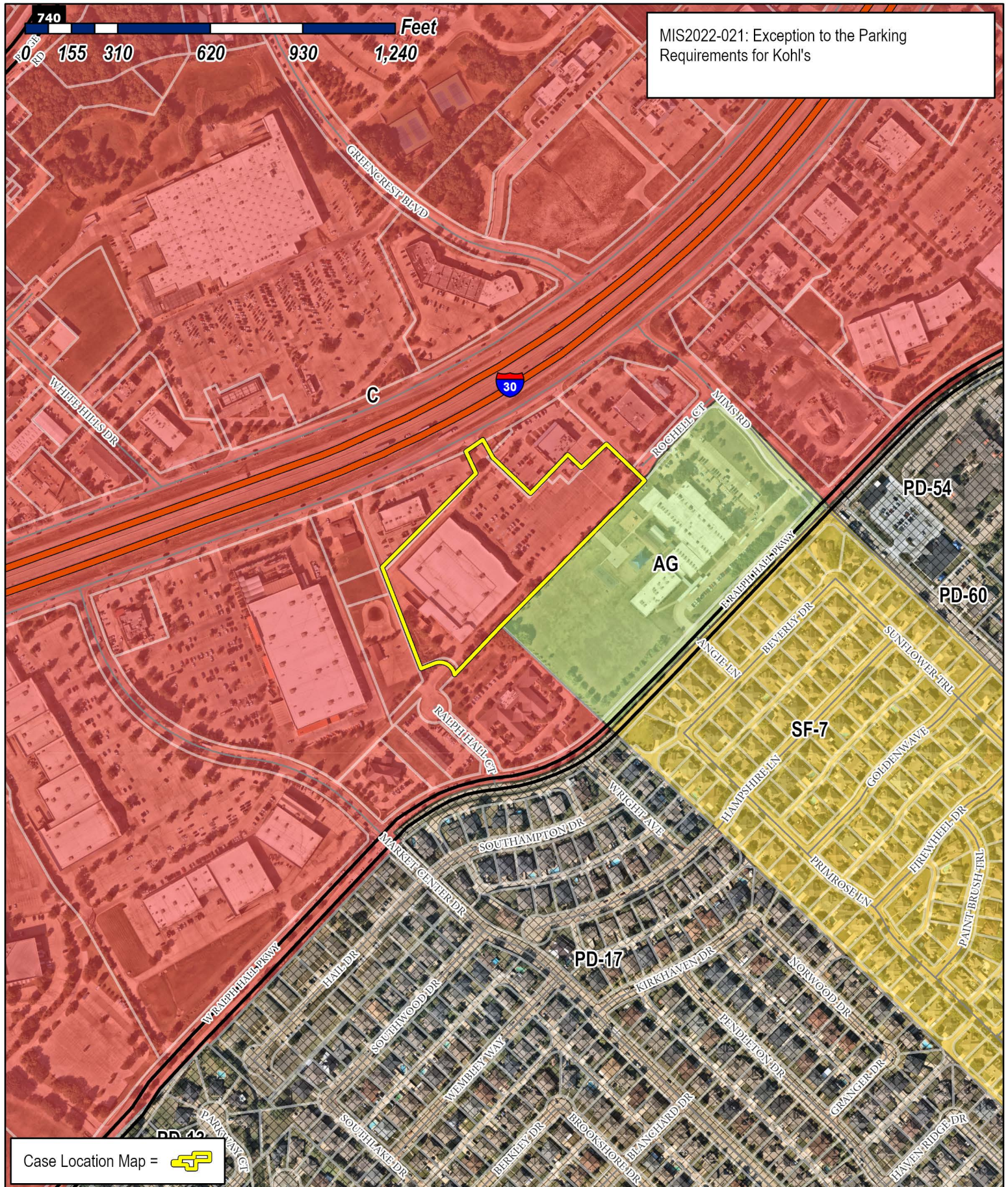
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(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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Total: 351
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IRRIGATION PERFORMANCE NOTES

1. All equipment reference Toro equipment catalog unless otherwise indicated.
2. LAWN SPRAY HEADS ARE 570C-4P installed per detail.
3. SHRUB SPRAY HEADS ARE 570C-12P installed as per detail.
4. ELECTRIC CONTROL VALVES shall be 1000CR installed per detail shown. Size valves as shown on plans. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid and/or valve cover without any earth excavation.
5. QUICK COUPLER VALVES shall be VD75R installed as per detail shown. Swing joints shall be constructed using 3/4" sch. 80 elbows. Contractor shall supply owner with three (3) couplers and three (3) hose swivel els.
6. AUTOMATIC CONTROLLER shall be installed at location shown. Power (120V) shall be located in a junction box within five feet (5') of controller location by other trades.
7. All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof.
8. SLEEVES shall be installed by General Contractor. Sleeve material shall be Sch. 40. Sizes as indicated on plans.
9. Ten days prior to start of construction, contractor shall verify static water pressure. If static pressure is less than 50 PSI, do not start work, until notified to do so by owner.
10. All mainline and lateral piping shall have a minimum of 12" of cover. All piping under paving shall have a minimum of 18" of cover.
11. The irrigation contractor shall coordinate installation of the system with the landscape contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
12. The irrigation contractor shall select proper arc and radius for each nozzle to insure 100% and proper coverage of all lawn and plant material. All nozzles in parking lots and planting beds shall be low angle to minimize overspray on pavement surfaces.

IRRIGATION PERFORMANCE SPECIFICATIONS

1. The contractor shall submit irrigation system head layout and materials list to architect for review and approval prior to installation.
2. Plans shall be drawn to the same scale as this plan.
3. Contractor shall provide accurate record drawings of the completed irrigation system to the owner prior to final payment.
4. Square head spacing of heads shall not be permitted. Contractor shall use triangular head spacing in all cases.
5. The general contractor shall provide the electrical to 120 volt site of the electrical controller. Irrigation contractor to make connections as required.
6. The general contractor shall provide the water connection specified on the plans.
7. The irrigation contractor shall coordinate location and size of meter required.
8. The irrigation contractor shall attach to the meter and begin the work.
9. The irrigation contractor shall select the proper arc and radius for each nozzle to provide 100% coverage of all landscape areas shown on site.
10. The irrigation system shall conform with all local city and county codes and ordinances.
11. Irrigation contractor shall verify and exercise extreme care in excavating and working near existing trees, power lines, above and below ground, existing utilities, and proposed utility areas.
12. Irrigation and landscape contractor to verify all existing utilities services on site prior to beginning work. If any question as to location arises notify architect and owner.
13. The irrigation sleeves required are by the General contractor and are located on this plan and shall be coordinated by the contractor with the Civil Engineering plans.

LANDSCAPE IRRIGATION WARRANTY

1. From time of final acceptance and payment of the completed work.
2. Irrigation system shall be warranted for one year parts and labor.

LEGEND

- Landscape contractor shall warrant all plant material for a period of one year.
- 1-DBH PLANT MATERIAL KEY
PLANT SYMBOL - QUANTITY
- 4" P.V.C. IRRIGATION SLEEVE
SEE DETAIL

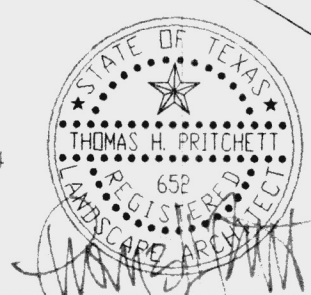
EXISTING 60' ROADWAY EASEMENT

SOIL AMENDMENT NOTES

- Soil Amendment "A" For Shrub and Ground Cover Beds (General)
1. Prior to soil amending, the sub-grade shall be 8" below finish grade to allow for the following amendments and fertilizer. The layer of soil amendments shall be 4" deep with a layer of mulch 2" deep as specified leaving a finish grade 2" below the adjacent paved areas. Excavation and/or fill may be required to achieve these grades.
 2. Application Rates for Soil Amendments:
 - a) Organic Soil Conditioner - 2" layer
 - b) Fertilizer - 10 lbs./1,000 sq. ft. of bed area.
 3. Amendments shall be uniformly spread and thoroughly cultivated to a light and friable consistency, by means of a mechanical rototiller into the top 2" of sub-grade which will make a bed of approximately 6" total depth of amended soil.
- Soil Amendment "C" Prepared back fill for Trees and Large Shrubs (3 gallon and larger)
1. Backfill mix: Prior to back fill provide tree area and gravel.
 - a) Topsoil - 3 parts
 - b) Peat moss - 1 part
 - c) Sharp sand - 1 part
- Soil Amendment "E" Soil Preparation for Lawn and Grass Areas
1. Pre-plant weed control Roundup to be applied uniformly to treat for weeds.
 2. Soil amendments for lawn and grass:
 - a) For hydro-seeding preparation and soil soil operations.
 - b) Prior to soil amending, the sub-grade shall be 2" below finish grade to allow for the following amendments and fertilizer. The layer of soil amendments shall be 4" deep leaving a finish grade 2" below the adjacent paved areas. Excavation and/or fill may be required to achieve these grades.
- Application Rates for Soil Amendments
- a) Topsoil - 12" layer on 100% of cut soil.
 - b) Fertilizer - 10 lbs./1,000 sq. ft. of bed area.
 - c) Amendments shall be uniformly spread and thoroughly cultivated to a light and friable consistency, by means of a mechanical rototiller into the top 2" of sub-grade which will make a bed of approximately 4" depth of amended soil.

T H PRITCHETT / ASSOCIATES

LANDSCAPE ARCHITECTURAL DESIGN AND SITE PLANNING
3017 WESTMINSTER DRIVE FARMERS BRANCH, TEXAS 75234
972-484-7373 FAX 972-484-1230
TOM @ LANDDESIGNPLAN.COM



PSA ENGINEERING
17400 DALLAS PARKWAY, SUITE 110
DALLAS, TEXAS 75287
(972) 248-9651 FAX (972) 248-9681

DESIGN: TOM PRITCHETT
DRAWN: THP
CHECKED: TOM PRITCHETT
PSA PROJECT NO: 9812
SCALE: 1"=60'

HOME DEPOT

(FUTURE)

LANDSCAPE NOTES

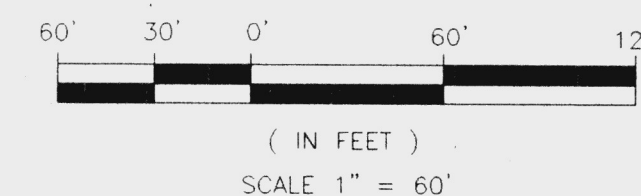
1. Contractor shall be responsible for being familiar with all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
2. Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions, and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Landscape Architect at 1972-484-7373. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
3. Contractor shall be responsible for any coordination with General Contractor and Subcontractors as required to accomplish planting operations.
4. If conflicts arise between size of areas and plans, Contractor is to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate the materials.
5. All plant material shall be approved by the Landscape Architect and Owner prior to installation.
6. Final location of all plant material shall be subject to the approval of the Landscape Architect and Owner.
7. Contractor shall notify Landscape Architect 48 hours prior to commencement of work to coordinate project inspection schedules. See specifications for observation schedule.
8. Contractor is responsible for maintaining all shrub and ground cover areas in a weed-free, debris-free, and bermuda-free condition. All bermuda shall be dug out by the roots and removed from the site.
9. All planting areas shall slope away from buildings towards the area drains at a 2% minimum slope. Finish grade shall be 1" below finish paving surface in adjacent lawn areas and 2" in shrub areas. Some soil elevation may be required to accomplish finish grade. (See soil preparation specifications.)
10. Crown of all plant root systems shall be slightly higher after setting adjacent soil.
11. See details and specifications for staking and guying methods, plant pit dimensions and back fill requirements. Contractor shall be responsible for the tree's stability for the duration of the warranty period.
12. Shrubs, groundcovers, and seasonal color shall be triangularly spaced at spacing shown on plant list and shall receive a 2" layer of bark mulch.
13. All ground covers to be held back 12" from edge of shrub planting areas and 6" from edge of paving.
14. Seasonal color will be selected by the Landscape Architect prior to the installation time.
15. All trees shall be located a minimum of 4 feet from walls, headers, walks, and other trees within the project. If conflicts arise between size of areas and plans, Contractor is to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate the materials.
16. Slope areas shall not have planting installed until all gullies to ruts have filled in with adjacent soil and compacted.
17. Landscape Contractor to receive site graded 1.0 of 1" of finish grade.
18. It is the Contractor's responsibility to furnish plant materials free of pest or plant disease.
19. It is the Contractor's obligation to warranty all plant materials for 365 days from final completion date.

PLANT LIST

TREE TYPES	SYMBOL	PLANT NAME	BOTANICAL NAME	SIZE	HEIGHT	SPREAD
LD-30 Live Oak		Quercus virginiana	3" cal.	10-12 ft.	4-5 ft.	
RD-30 Red Oak		Quercus shumardii	3" cal.	10-12 ft.	4-5 ft.	
BC-30 Bald Cypress		Taxodium distichum	3" cal.	10-12 ft.	4-5 ft.	
LC-30 Leland Cypress		Cupressocyparis leylandii	3" cal.	10-12 ft.	4-5 ft.	
CE-30 Cedar Elm		Ulmus crassifolia	3" cal.	10-12 ft.	4-5 ft.	
YH-30 Youpon Holly		Ilex vomitoria	3" cal.	8-10 ft.	4-5 ft.	
CM-30 Crepe myrtle		Lagerströmia indica, red	3" cal.	8-10 ft.	4-5 ft.	
SHRUB TYPES						
SAV Savanna Holly		Ilex savanna	2 1/2" cal.	6 ft.	4 ft.	
CAR Cherry Laurel		Prunus caroliniana	2 1/2" cal.	6 ft.	4 ft.	
DBH Dwarf Burford Holly		Ilex cornuta/burfordiana	5 gal.	18"	18"	
NBW Dwarf Nandina		Nandina domestica 'nana'	1 gal.	12"	12"	
JUN Fritzer Juniper		Juniperus chinensis	5 gal.	18"	18"	
DYH Dwarf Youpon Holly		Ilex vomitoria 'nana'	3 gal.	18"	18"	
IND Indian Hawthorne		Raphanophora indica	5 gal.	18"	18"	
GROUNDCOVER TYPES						
MG Monkey Grass		Phloxipogon japonicus	4" pots	12"		as shown
AJ Asian Jasmine		Trachelospermum asiaticum	4" pots	12"		as shown
LS Liriope Speciosa		Liriope speciosa	4" pots	12"		as shown
LM Liriope		Liriope muscaris 'gigantica'	4" pots	12"		as shown
SCA Seasonal Color		Selected for season by LA	4" pots	12"		as shown
DAY Daylily		Heimericallis spp. Red	4" pots	12"		as shown
GRASS TYPES						
SDD Bermuda Grass		Solid Sod. bermuda grass				

LANDSCAPE GENERAL NOTES CITY OF ROCKWALL, TEXAS

- SECTION 20-26 MANDATORY PROVISIONS
- (A) LANDSCAPE BUFFER STRIP
The site is not adjacent to a residential zoning district. There is an Elementary School to the south provided is a living screen.
 - (B) SCREENING OF OFF STREET LOADING DOCKS
The off street loading area is screened with a fence.
 - (C) ACCEPTABLE LANDSCAPE MATERIALS
All large trees used to meet this ordinance are 3" caliper and greater.
 - (D) PROTECTION OF LANDSCAPE AREAS
All landscape areas are protected by concrete curbs.
 - (E) IRRIGATION REQUIREMENTS
All landscape on site is irrigated by an automatic under ground irrigation system. See performance specifications.
 - (F) SCREENING FROM RESIDENTIAL USES
There are no adjacent residential uses.
 - (G) STREET LANDSCAPING
The site is adjacent to I.H. 30 and the 10 foot buffer strip is not required. The other road edges have a 10 foot buffer strip.
 - (H) Right of way Landscape Requirements
The landscape area between the I.H. 30 curb and site property line is landscaped with sod. The grading and irrigation of this area is to be completed in the plans as shown.
 - (I) THE CITY OF ROCKWALL
The irrigation plans shall be provided to the City by the selected contractor for approval and double check inspection.
 - (J) PARKING LOT LANDSCAPING
The parking lot is landscaped with over 10,615 sq. ft. or over 5% landscape as shown.
 - (K) SCREENING TRASH DUMPSTERS
The dumpsters are screened and behind wooden gates.
 - (L) DIMENSIONS OF LANDSCAPE
The landscape areas are as shown. No planting areas is less than five feet wide.
 - (M) REQUIRED LANDSCAPE
The minimum landscape area for this site is illustrated at 10%. The reduction from 15% is below the site is 192,657 square feet and over 44,264 square feet are provided. The plan shows over 11 % landscape.
 - (N) THE MINIMUM LANDSCAPE AREA FOR COMMERCIAL USES IS 10% INCLUDING CREDITS
The site has 515 total parking spaces. @ 1 per 20 the required trees on site are 26. There are over 26 trees shown on site.
 - (O) SIDEWALKS
The sidewalks are concrete around the building area.
 - (P) SECTION 20-27 Credits towards Landscaping to reduce area by (Five) 5%
(B) Credit for Surface Parking Screening
The parking lot is shown to be screened from all public streets.
 - (Q) Credit for R.O.W. Landscaping as shown on I.H. 30 and Market
The landscape area in the R.O.W. on all roads is landscaped and irrigated.



PLAN PREPARED FOR PRELIMINARY
CITY OF ROCKWALL REVIEW 1/19/99

99-10

JERMARC ROCKWALL LTD

5949 SHERRY LANE, SUITE 700
DALLAS, TEXAS 75225
(214) 265-1414

LANDSCAPE & IRRIGATION

PLAN

ROCKWALL MARKET CENTER EAST
ROCKWALL, TEXAS

SHEET

LA.IRR.1

JAN.16,1999

Kohl's Department Stores, Inc.
N56 W17000 Ridgewood Drive
Menomonee Falls, Wisconsin 53051

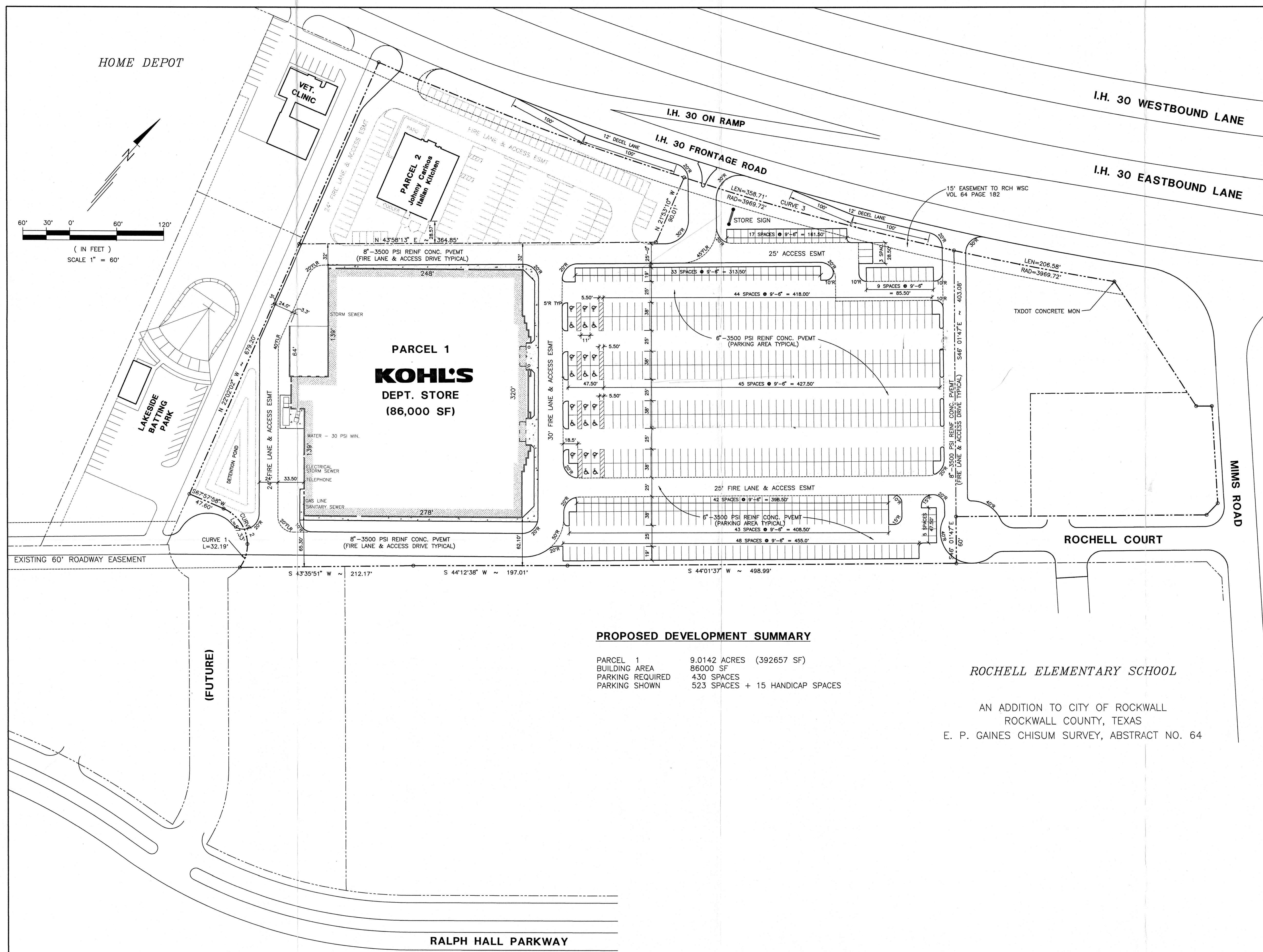
17400 DALLAS PARKWAY, SUITE 110
DALLAS, TEXAS 75287
(972) 248-9651 FAX (972) 248-9681

300 First Avenue North
Minneapolis, MN 55401
612/339-4200
FAX 342-9267

AN ADDITION TO CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
E. P. GAINES CHISUM SURVEY, ABSTRACT NO. 64

Project	PSA 9823.KOL	Sheet
Date	01-20-99	
Drawn by	MIR	
Checked by	PSS	

Copyright © 1997 by KKE Architects



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HP DesignJet 650C C:\ACAD12\DRV\HPGL2\TERRELL6.CFG ! HP-GL/2 ADI 4.2 Ver 2.0 - by Hewlett-Packard



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Bethany Ross, *Planner*

DATE: November 29, 2022

SUBJECT: MIS2022-021; *Exception to the Parking Requirements for Kohl's*

On October 14, 2022, the applicant -- *Jeff Carroll of Carroll Architects* -- submitted a development application requesting the approval of a site plan [SP2022-056] for an *Animal Clinic* and an *Office Building* on a portion of the existing parking lot of the Kohl's Department Store. Through the site plan process, staff determined that the proposed development would create a parking deficiency for the Kohl's Department Store. On November 11, 2022, the applicant submitted a letter to staff requesting to postpone the approval for Case No. SP2022-056 and indicating that he would be submitting a development application requesting an exception to the off-street parking requirements for the Kohl's Department Store. The development application for the exception was submitted on November 14, 2022. The subject property is situated within the Rockwall Market Center East Addition, is addressed as 823 E. IH-30, zoned Commercial (C) District, and is situated within the IH-30 Overlay (IH-30 OV) District. According to the Rockwall Central Appraisal District (RCAD), there is an 86,484 SF commercial/retail building situated on the subject property that was constructed in 1999. According to the Kohl's site plan [Case No. SP1999-010], the department store was originally constructed with 538 parking spaces. In 2018, the Planning and Zoning Commission approved a site plan [Case No. SP2018-028] for a Cracker Barrel, which reduced the parking for the Kohl's Department Store by 187 parking spaces (*i.e. this left 351 parking spaces of the original 538 parking spaces*). Staff has provided a copy of both of the previous site plans [Case No. PZ1999-010-01 & Case No. SP2018-028] in the attached packet for the Planning and Zoning Commission's review. According to Table 5: *Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the required parking for the Kohl's Department Store is 346 parking spaces (*i.e. 1 Parking Space/250 SF of Building Area or 86,484 SF/250 SF = 345.936 Parking Space*). If the proposed *Site Plan* [Case No. SP2022-056] for the *Animal Clinic* and *Office Building* were to be approved, the Kohl's off-street parking would be reduced to 259 parking spaces. Given this, the applicant is requesting an exception of 87 parking spaces for the Kohl's Department Stores parking lot, which would allow the *Site Plan* for the *Animal Clinic* and *Office Building* to be approved. According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(u)unless otherwise specified by the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." According to Subsection 09.03, *Criteria for Granting a Variance or Exception*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)n reviewing exceptions to the *General Standards*, the Planning and Zoning Commission is asked to review the request to determine the following:

- (A) If the proposed compensatory measures sufficiently offset the requested exception.
- (B) If such a request will substantially or permanently injure the appropriate use of adjacent property.
- (C) If such a request will adversely affect the health, safety, and/or general welfare of the public.
- (D) If such a request will be contrary to the public interest.
- (E) If such a request will authorize the operation of a use other than those uses specifically authorized for the district in which the subject property is located.
- (F) If such a request will be in harmony with the spirit and intent of the Unified Development Code (UDC), Comprehensive Plan, and/or other City policies.
- (G) If such a request will alter the essential character of the district in which the subject property is located.
- (H) If such a request will substantially weaken the general purpose of the zoning requirements established for the district in which the subject property is located."

In this case, the applicant's request does not appear to be unreasonable nor does it appear to create a negative or adverse effect on any of the adjacent properties; however, the approval of an exception is a discretionary decision for the Planning and Zoning Commission. Staff should point out that there have not been any issues with the off-street parking for Kohl's Department Store in the past. Staff has provided aerial images of the Kohl's Department Store showing the parking lot during different years and dates to provide context to the Planning and Zoning Commission concerning the applicant's request. In addition, staff has also included a copy of the applicant's letter, the parking analysis by land use, and a concept plan in the attached packet. Should the Planning and Zoning Commission have any questions, staff will be available at the November 29, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST (\$100.00)

NOTES:

IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 823 E. Interstate 30 Rockwall, TX 75032

SUBDIVISION Rockwall Market Center East

LOT 1 BLOCK A

GENERAL LOCATION I-30 & Mims Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial

CURRENT USE

Shopping Center

PROPOSED ZONING Commercial

PROPOSED USE

Office

ACREAGE 0.636

LOTS [CURRENT] 2

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Kohl's Dept Stores

☒ APPLICANT Carroll Architects, Inc.

CONTACT PERSON Eric Borkenhagen

CONTACT PERSON Jeff Carroll

ADDRESS N56 W. 17000 Ridgewood Dr.

ADDRESS 750 E. Interstate 30
Suite 110

CITY, STATE & ZIP Menomonee Falls, WI. 53051

CITY, STATE & ZIP Rockwall, Texas 75087

PHONE 262-703-7000

PHONE 214-632-1762

E-MAIL eric.borkenhagen@kohls.com

E-MAIL jc@carrollarch.com

NOTARY VERIFICATION [REQUIRED]

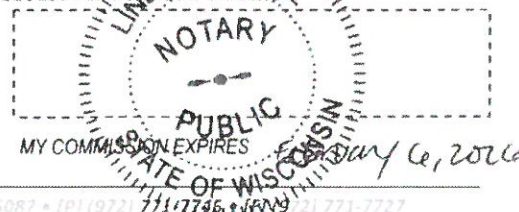
BEFORE ME THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ERIC BORKENHAGEN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

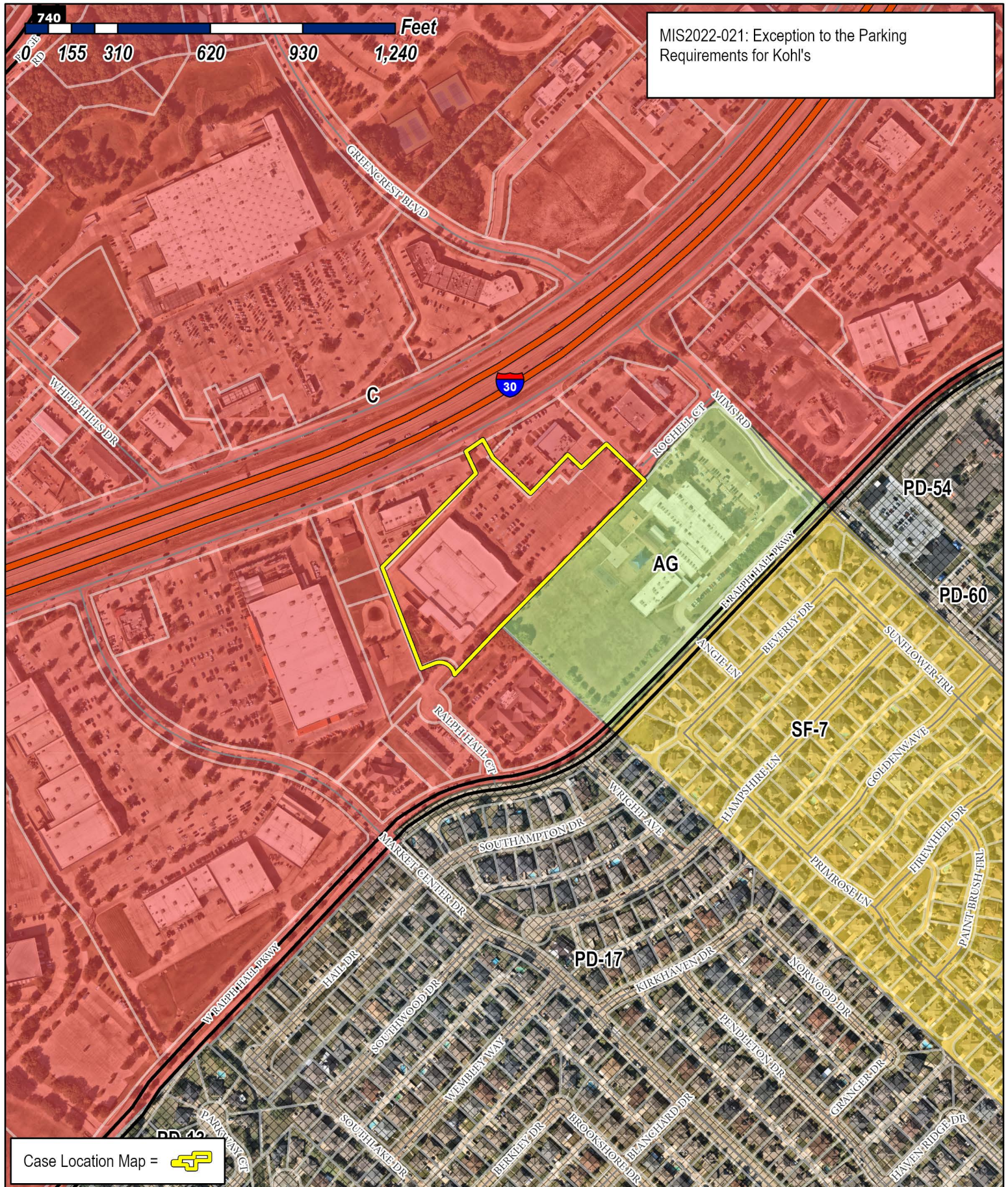
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____. BY SIGNING THIS APPLICATION I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF November, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Kohl's Department Stores, Inc

Eric N. Borkenhagen, P.E.
(262) 703-6014
Fax: (262) 703-7105
eric.borkenhagen@kohls.com

November 7, 2022

Bethany Ross
City of Rockwall- Planning & Zoning
385 S Goliad St
Rockwall TX 75087

Re: Kohl's Department Store
Potential Vet Clinic Outparcel

To whom it may concern:

It is Kohl's Department Stores understanding that a variance is needed as it relates to required parking counts at our Rockwall TX store, at 823 E Interstate 30, to allow for a potential veterinary clinic in front of this store. Kohl's understands and agrees that we would be left with 259 parking stalls to serve our store if this development occurred. It is our understanding that the operating documents for the shopping center allow for shared parking between the tenants within the shopping center. We have no issues with the developer of the vet clinic requesting to be on the next Planning & Zoning agenda as part of the approval of their project. Thank you for your time on this matter and we do appreciate being a part of your community.

Sincerely,



Kohl's Department Stores, Inc.
Eric Borkenhagen
Real Estate Manager

Jeff Carroll

From: Jeff Carroll
Sent: Friday, November 4, 2022 4:53 PM
To: bross@rockwall.com
Subject: Kohl's Parking issue

Bethany,

The square footage breakdown

Retail – 76,202 SF / 250 SF = 304.80

Office – 3,531 SF / 300 SF = 11.77

Whse – 13,111 SF / 1000 = 13.11

Total Parking required = 329. 68 (330 Spaces)

Total on site = 259 Spaces

Vet clinic has (19) extra spaces

Total spaces for variance = 52 spaces

Let me know if this is what you think we need to show. If not please mark up and I'll send to them.

Thx,
JC



Jeffrey Carroll, Architect

Carroll Architects, Inc.

750 E. Interstate 30, Ste. 110

Rockwall, Texas 75087

T. 972.732.6085

C. 214.632.1762



An aerial photograph of a parking lot and surrounding area. A large red boundary outlines a specific section of the lot. Within this red boundary, several yellow numbers are placed near groups of cars, indicating counts for different sections. The numbers are: 14, 14, 14, 13, 13, 31, 31, 49, 49, 45, 43, and 23. To the right of the red boundary, a yellow dashed line outlines another section labeled '-92'. Further down, another yellow dashed line outlines a section labeled '14'. In the top left, a large white building is labeled 'Kohl's' with a red pin icon. To the right of the parking lot, a multi-lane highway is visible, labeled 'Interstate 30' and '67'. Other buildings and trees are visible in the background.

Total: 351
OPL: 92
Total minus OP = 259

IRRIGATION PERFORMANCE NOTES

1. All equipment reference Toro equipment catalog unless otherwise indicated.
2. LAWN SPRAY HEADS ARE 570C-4P installed per detail.
3. SHRUB SPRAY HEADS ARE 570C-12P installed as per detail.
4. ELECTRIC CONTROL VALVES shall be 1000CR installed per detail shown. Size valves as shown on plans. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid and/or valve cover without any earth excavation.
5. QUICK COUPLER VALVES shall be VD75R installed as per detail shown. Swing joints shall be constructed using 3/4" sch. 80 elbows. Contractor shall supply owner with three (3) couplers and three (3) hose swivel els.
6. AUTOMATIC CONTROLLER shall be installed at location shown. Power (120V) shall be located in a junction box within five feet (5') of controller location by other trades.
7. All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof.
8. SLEEVES shall be installed by General Contractor. Sleeve material shall be Sch. 40. Sizes as indicated on plans.
9. Ten days prior to start of construction, contractor shall verify static water pressure. If static pressure is less than 50 PSI, do not start work, until notified to do so by owner.
10. All mainline and lateral piping shall have a minimum of 12" of cover. All piping under paving shall have a minimum of 18" of cover.
11. The irrigation contractor shall coordinate installation of the system with the landscape contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
12. The irrigation contractor shall select proper arc and radius for each nozzle to insure 100% and proper coverage of all lawn and plant material. All nozzles in parking lots and planting beds shall be low angle to minimize overspray on pavement surfaces.

IRRIGATION PERFORMANCE SPECIFICATIONS

1. The contractor shall submit irrigation system head layout and materials list to architect for review and approval prior to installation.
2. Plans shall be drawn to the same scale as this plan.
3. Contractor shall provide accurate record drawings of the completed irrigation system to the owner prior to final payment.
4. Square head spacing of heads shall not be permitted. Contractor shall use triangular head spacing in all cases.
5. The general contractor shall provide the electrical to 120 volt site of the electrical controller. Irrigation contractor to make connections as required.
6. The general contractor shall provide the water connection specified on the plans. The irrigation contractor shall coordinate location and size of meter required.
7. The irrigation contractor shall attach to the meter and begin the work.
8. The irrigation contractor shall select the proper arc and radius for each nozzle to provide 100% coverage of all landscape areas shown on site.
9. The irrigation system shall conform with all local city and county codes and ordinances.
10. Irrigation contractor shall verify and exercise extreme care in excavating and working near existing trees, power lines, above and below ground, existing utilities, and proposed utility areas.
11. Irrigation and landscape contractor to verify all existing utilities services on site prior to beginning work. If any question as to location arises notify architect and owner.
12. The irrigation sleeves required are by the General contractor and are located on this plan and shall be coordinated by the contractor with the Civil Engineering plans.

LANDSCAPE IRRIGATION WARRANTY

1. From time of final acceptance and payment of the completed work.
2. Irrigation system shall be warranted for one year parts and labor.

LEGEND

- Landscape contractor shall warrant all plant material for a period of one year.
- 1-DBH PLANT MATERIAL KEY
PLANT SYMBOL - QUANTITY
- 4" P.V.C. IRRIGATION SLEEVE
SEE DETAIL

EXISTING 60' ROADWAY EASEMENT

SOIL AMENDMENT NOTES

- Soil Amendment "A" For Shrub and Ground Cover Beds (General)
1. Prior to soil amending, the sub-grade shall be 8" below finish grade to allow for the following amendments and fertilizer. The layer of soil amendments shall be 4" deep with a layer of mulch 2" deep as specified leaving a finish grade 2" below the adjacent paved areas. Excavation and/or fill may be required to achieve these grades.
 2. Application Rates for Soil Amendments:
 - a) Organic Soil Conditioner - 2" layer
 - b) Fertilizer - 10 lbs./1,000 sq. ft. of bed area.
 3. Amendments shall be uniformly spread and thoroughly cultivated to a light and friable consistency, by means of a mechanical rototiller into the top 2" of sub-grade which will make a bed of approximately 6" total depth of amended soil.
- Soil Amendment "C" Prepared back fill for Trees and Large Shrubs (3 gallon and larger)
1. Backfill material prior to back fill provide tree area and gravel.
 - a) Topsoil - 3 parts
 - b) Peat moss - 1 part
 - c) Sharp sand - 1 part

Soil Amendment "E" Soil Preparation for Lawn and Grass Areas

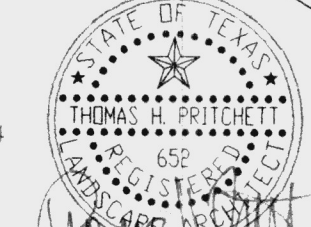
1. Pre-plant weed control Roundup to be applied uniformly to treat for weeds.
2. Soil amendments for lawn and grass areas:
 - a) For hydro-seeding preparation and soil soil operations.
 - b) Prior to soil amending, the sub-grade shall be 2" below finish grade to allow for the following amendments and fertilizer. The layer of soil amendments shall be 4" deep leaving a finish grade 2" below the adjacent paved areas. Excavation and/or fill may be required to achieve these grades.

Application Rates for Soil Amendments

- a) Topsoil - 12" layer on 100% of cut area.
- b) Fertilizer - 10 lbs./1,000 sq. ft. of bed area.
- c) Amendments shall be uniformly spread and thoroughly cultivated to a light and friable consistency, by means of a mechanical rototiller into the top 2" of sub-grade which will make a bed of approximately 4" depth of amended soil.

T. H. PRITCHETT / ASSOCIATES

LANDSCAPE ARCHITECTURAL DESIGN AND SITE PLANNING
3017 WESTMINSTER DRIVE FARMERS BRANCH, TEXAS 75234
972-484-7373 FAX 972-484-1230
TOM @ LANDDESIGNPLAN.COM



PSA ENGINEERING
17400 DALLAS PARKWAY, SUITE 110
DALLAS, TEXAS 75287
(972) 248-9651 FAX (972) 248-9681

DESIGN: TOM PRITCHETT
DRAWN: THP
CHECKED: TOM PRITCHETT
PSA PROJECT NO: 9812
SCALE: 1"=60'

HOME DEPOT

(FUTURE)

LANDSCAPE NOTES

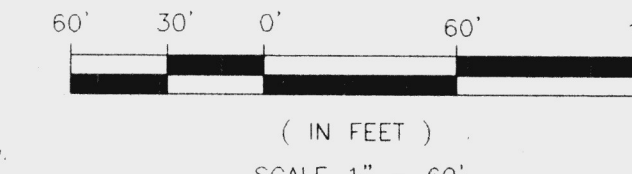
1. Contractor shall be responsible for being familiar with all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
2. Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions, and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Landscape Architect at 1922 484-7373. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
3. Contractor shall be responsible for any coordination with General Contractor and Subcontractors as required to accomplish planting operations.
4. If conflicts arise between size of areas and plans, Contractor is to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate the materials.
5. All plant material shall be approved by the Landscape Architect and Owner prior to installation.
6. Final location of all plant material shall be subject to the approval of the Landscape Architect and Owner.
7. Contractor shall notify Landscape Architect 48 hours prior to commencement of work to coordinate project inspection schedules. See specifications for observation schedule.
8. Contractor is responsible for maintaining all shrub and ground cover areas in a weed-free, debris-free, and bermuda-free condition. All bermuda shall be dug out by the roots and removed from the site.
9. All planting areas shall slope away from buildings towards the area drains at a 2% minimum slope. Finish grade shall be 1" below finish paving surface in adjacent lawn areas and 2" in shrub areas. Some soil elevation may be required to accomplish finish grade. (See soil preparation specifications.)
10. Crown of all plant root systems shall be slightly higher after setting adjacent soil.
11. See details and specifications for staking and guying methods, plant pit dimensions and back fill requirements. Contractor shall be responsible for the tree's stability for the duration of the warranty period.
12. Shrubs, groundcovers, and seasonal color shall be triangularly spaced at spacing shown on plant list and shall receive a 2" layer of bark mulch.
13. All ground covers to be held back 12" from edge of shrub planting areas and 6" from edge of paving.
14. Seasonal color will be selected by the Landscape Architect prior to the installation time.
15. All trees shall be located a minimum of 4 feet from walls, headers, walks, and other trees within the project. If conflicts arise between size of areas and plans, Contractor is to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate the materials.
16. Slope areas shall not have planting installed until all gullies to ruts have filled in with adjacent soil and compacted.
17. Landscape Contractor to receive site graded 1.0 of 1" of finish grade.
18. It is the Contractor's responsibility to furnish plant materials free of pest or plant disease.
19. It is the Contractor's obligation to warranty all plant materials for 365 days from final completion date.

PLANT LIST

TREE TYPES	SYMBOL	PLANT NAME	BOTANICAL NAME	SIZE	HEIGHT	SPREAD
LD-30 Live Oak		Quercus virginiana	3" cal.	10-12 ft.	4-5 ft.	
RD-30 Red Oak		Quercus shumardii	3" cal.	10-12 ft.	4-5 ft.	
BC-30 Bald Cypress		Taxodium distichum	3" cal.	10-12 ft.	4-5 ft.	
LC-30 Leland Cypress		Cupressocyparis leylandii	3" cal.	10-12 ft.	4-5 ft.	
CE-30 Cedar Elm		Ulmus crassifolia	3" cal.	10-12 ft.	4-5 ft.	
YH-30 Youpon Holly		Ilex vomitoria	3" cal.	8-10 ft.	4-5 ft.	
CM-30 Crepe myrtle		Lagerströmia indica, red	3" cal.	8-10 ft.	4-5 ft.	
SHRUB TYPES						
SAV Savanna Holly		Ilex savanna	2 1/2" cal.	6 ft.	4 ft.	
CAR Cherry Laurel		Prunus caroliniana	2 1/2" cal.	6 ft.	4 ft.	
DBH Dwarf Burford Holly		Ilex cornuta/burfordiana	5 gal.	18"	18"	
NBW Dwarf Nandina		Nandina domestica 'nana'	1 gal.	12"	12"	
JUN Fritzer Juniper		Juniperus chinensis	5 gal.	18"	18"	
DYH Dwarf Youpon Holly		Ilex vomitoria 'nana'	3 gal.	18"	18"	
IND Indian Hawthorne		Raphaëlis indica	5 gal.	18"	18"	
GROUNDCOVER TYPES						
MG Monkey Grass		Phloxipogon japonicus	4" pots	12"		as shown
AJ Asian Jasmine		Trachelospermum asiaticum	4" pots	12"		as shown
LS Liriope Speciosa		Liriope speciosa	4" pots	12"		as shown
LM Liriope		Liriope muscaris 'gigantica'	4" pots	12"		as shown
SCA Seasonal Color		Selected for season by LA	4" pots	12"		as shown
DAY Daylily		Heimericallis spp. Red	4" pots	12"		as shown
GRASS TYPES						
SDD Bermuda Grass		Solid Sod. bermuda grass				

LANDSCAPE GENERAL NOTES CITY OF ROCKWALL, TEXAS

- SECTION 20-26 MANDATORY PROVISIONS
- (A) LANDSCAPE BUFFER STRIP
The site is not adjacent to a residential zoning district. There is an Elementary School to the south provided is a living screen.
- (B) SCREENING OF OFF STREET LOADING DOCKS
The off street loading area is screened with a fence.
- (C) ACCEPTABLE LANDSCAPE MATERIALS
All large trees used to meet this ordinance are 3" caliper and greater.
- (D) PROTECTION OF LANDSCAPE AREAS
All landscape areas are protected by concrete curbs.
- (E) IRRIGATION REQUIREMENTS
All landscape on site is irrigated by an automatic under ground irrigation system. See performance specifications.
- (F) SCREENING FROM RESIDENTIAL USES
There are no adjacent residential uses.
- (G) STREET LANDSCAPING
The site is adjacent to I.H. 30 and the 10 foot buffer strip is not required. The other road edges have a 10 foot buffer strip.
- (H) Right of way Landscape Requirements
The landscape area between the I.H. 30 curb and site property line is landscaped with sod. The grading and irrigation of this area is to be completed in the plans as shown.
- (I) PARKING LOT LANDSCAPING
The parking lot is landscaped with over 10,615 sq. ft. or over 5% landscape as shown.
- (J) SCREENING TRASH DUMPSTERS
The dumpsters are screened and behind wooden gates.
- (K) DIMENSIONS OF LANDSCAPE
The landscape areas are as shown. No planting areas is less than five feet wide.
- (L) REQUIRED LANDSCAPE
The minimum landscape area for this site is illustrated at 10%. The reduction from 15% is below the site is 192,657 square feet and over 44,264 square feet are provided. The plan shows over 11 % landscape.
- (M) The minimum landscape area for commercial uses is 10% including credits. There are 515 total parking spaces. @ 1 per 20 the required trees on site are 26. There are over 26 trees shown on site. The sidewalks are concrete around the building area.
- SECTION 20-27 Credits towards Landscaping to reduce area by (Five) 5%.
- (B) Credit for Surface Parking Screening
The parking lot is shown to be screened from all public streets.
- (D) Credit for R.O.W. Landscaping as shown on I.H. 30 and Market
The landscape area in the R.O.W. on all roads is landscaped and irrigated.



PLAN PREPARED FOR PRELIMINARY
CITY OF ROCKWALL REVIEW 1/19/99

99-10

JERMARC ROCKWALL LTD

5949 SHERRY LANE, SUITE 700
DALLAS, TEXAS 75225
(214) 265-1414

LANDSCAPE & IRRIGATION

PLAN

ROCKWALL MARKET CENTER EAST
ROCKWALL, TEXAS

SHEET

LA.IRR.1

JAN.16,1999

86,000 S.F. Prototype
Brick Veneer

Kohl's Department Stores, Inc.
N56 W17000 Ridgewood Drive
Menomonee Falls, Wisconsin 53051

17400 DALLAS PARKWAY, SUITE 11
DALLAS, TEXAS 7528
(972) 248-9651 FAX (972) 248-968

Korsunsky Krank Erickson
Architects, Inc.

300 First Avenue North
Minneapolis, MN 55401
612/339-4200
FAX 342-9267

PARCEL 1	9.0142 ACRES (392657 SF)
BUILDING AREA	86000 SF
PARKING REQUIRED	430 SPACES
PARKING SHOWN	523 SPACES + 15 HANDICAP SPACES

AN ADDITION TO CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
E. P. GAINES CHISUM SURVEY, ABSTRACT NO. 64

No.	Date	Revision	Description
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Project	PSA 9823.KOL	Sheet
Date	01-20-99	
Drawn by	MIR	
Checked by	PSS	

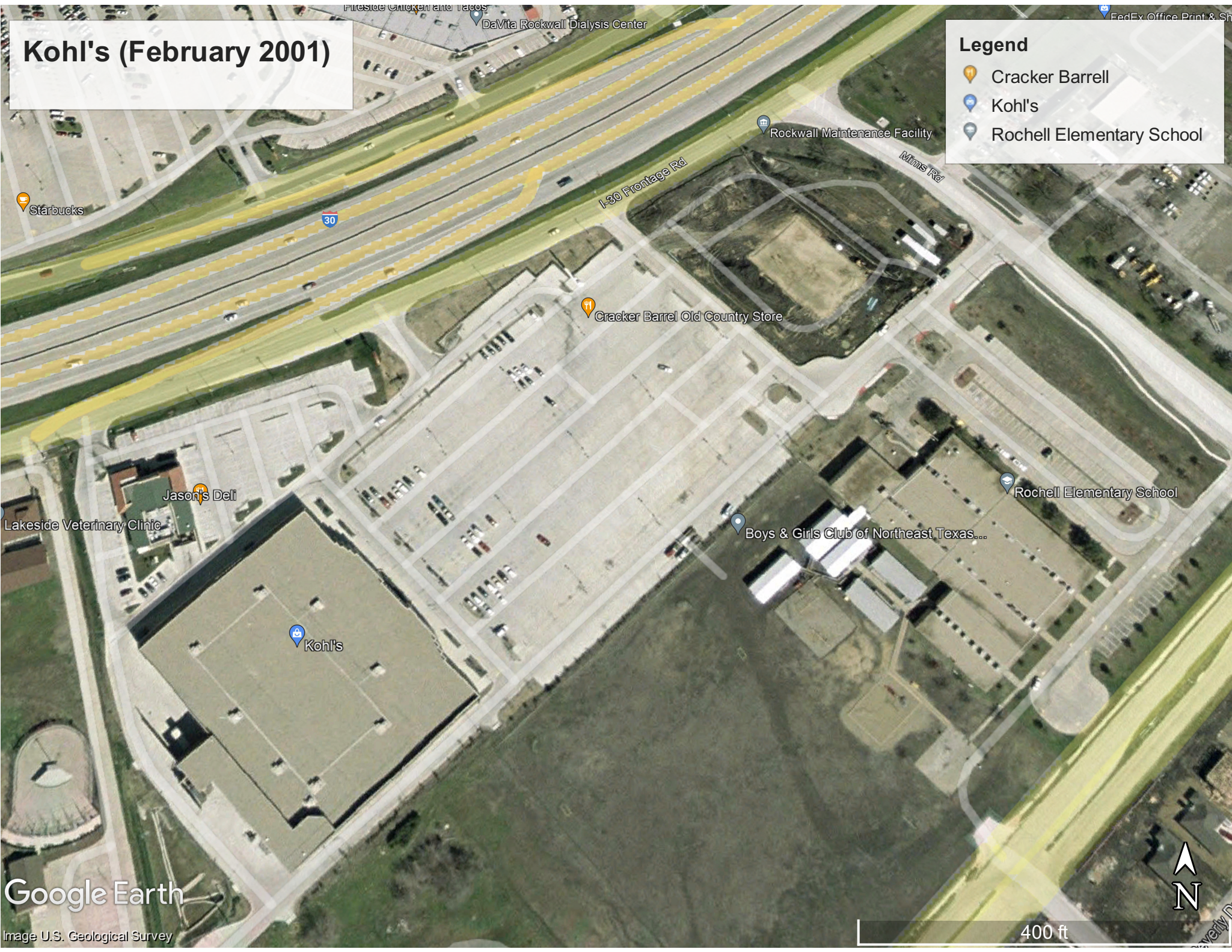
Copyright © 1997 by KKE Architects

C:\ADD\9823KOL\C-2 Wed Jan 20 14:11:47 1999 PLOTTED BY MTR ALI
HP DesignJet 650C C:\ACAD12\DRV\HPGL2\TERPELL6.CFG : HP-GL/2 ADI 4.2 Ver 2.0 - by Hewlett-Packard

Kohl's (February 2001)

Legend

- Cracker Barrel
- Kohl's
- Rochell Elementary School




Google Earth


Image U.S. Geological Survey


400 ft

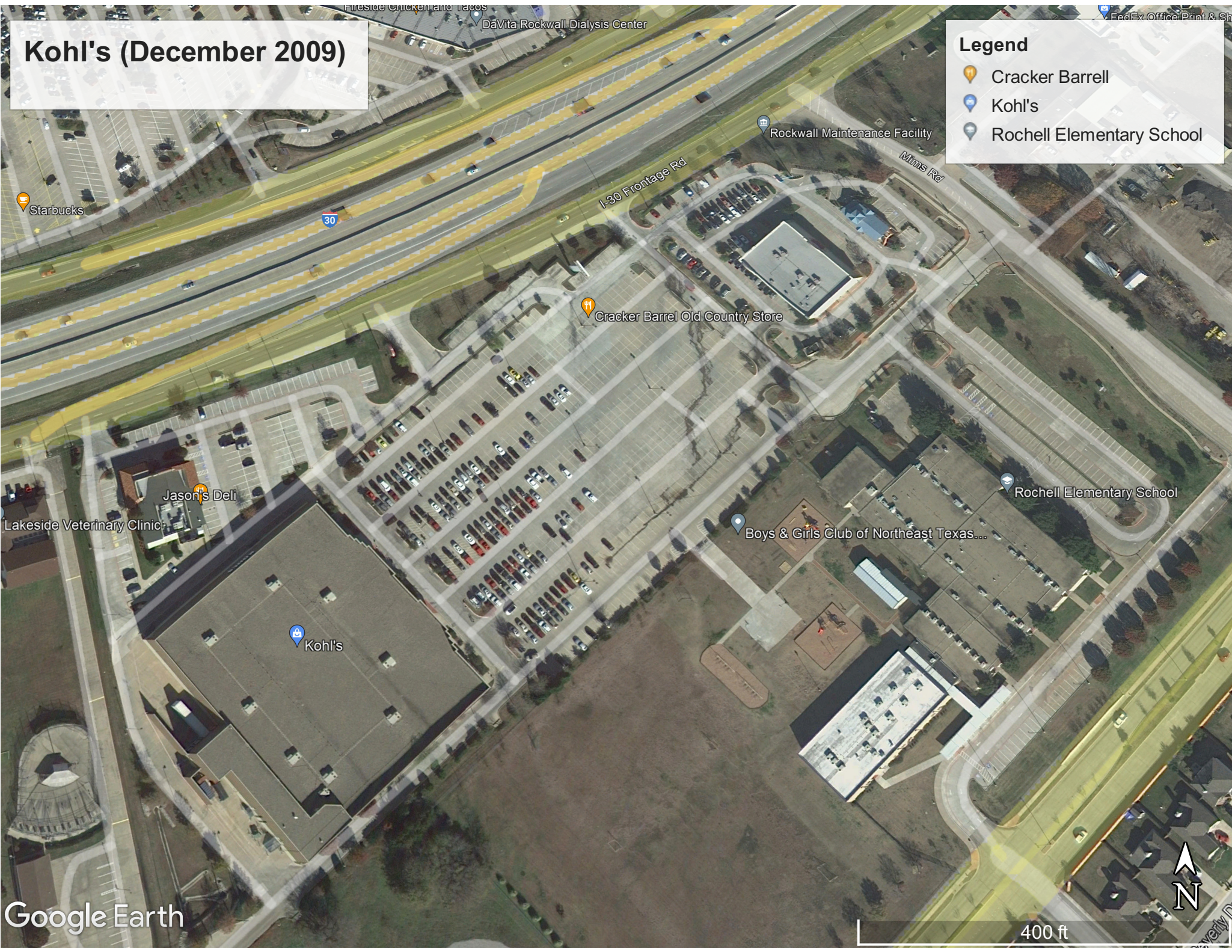
Kohl's (December 2009)

Legend

 Cracker Barrel

 Kohl's

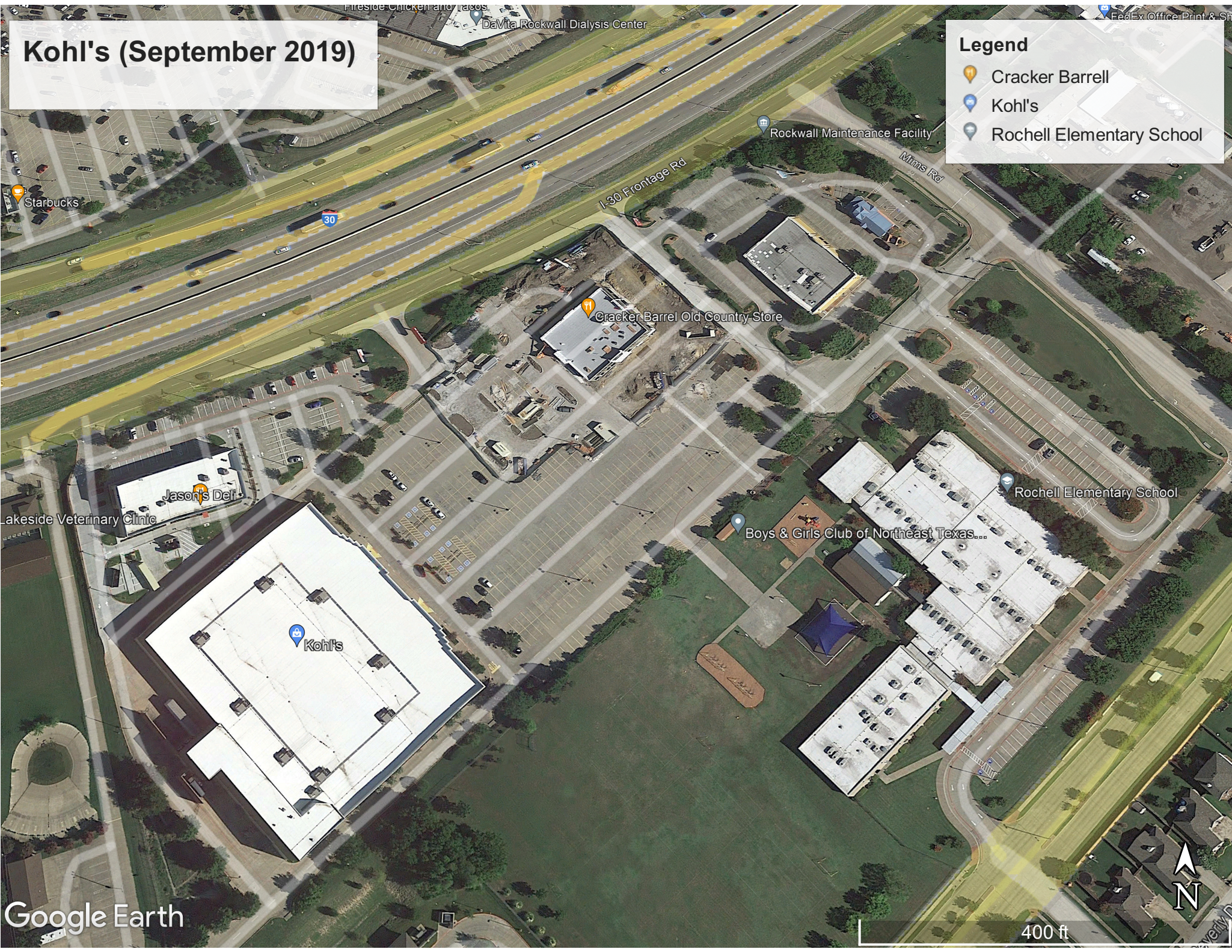
 Rochell Elementary School



Kohl's (September 2019)

Legend

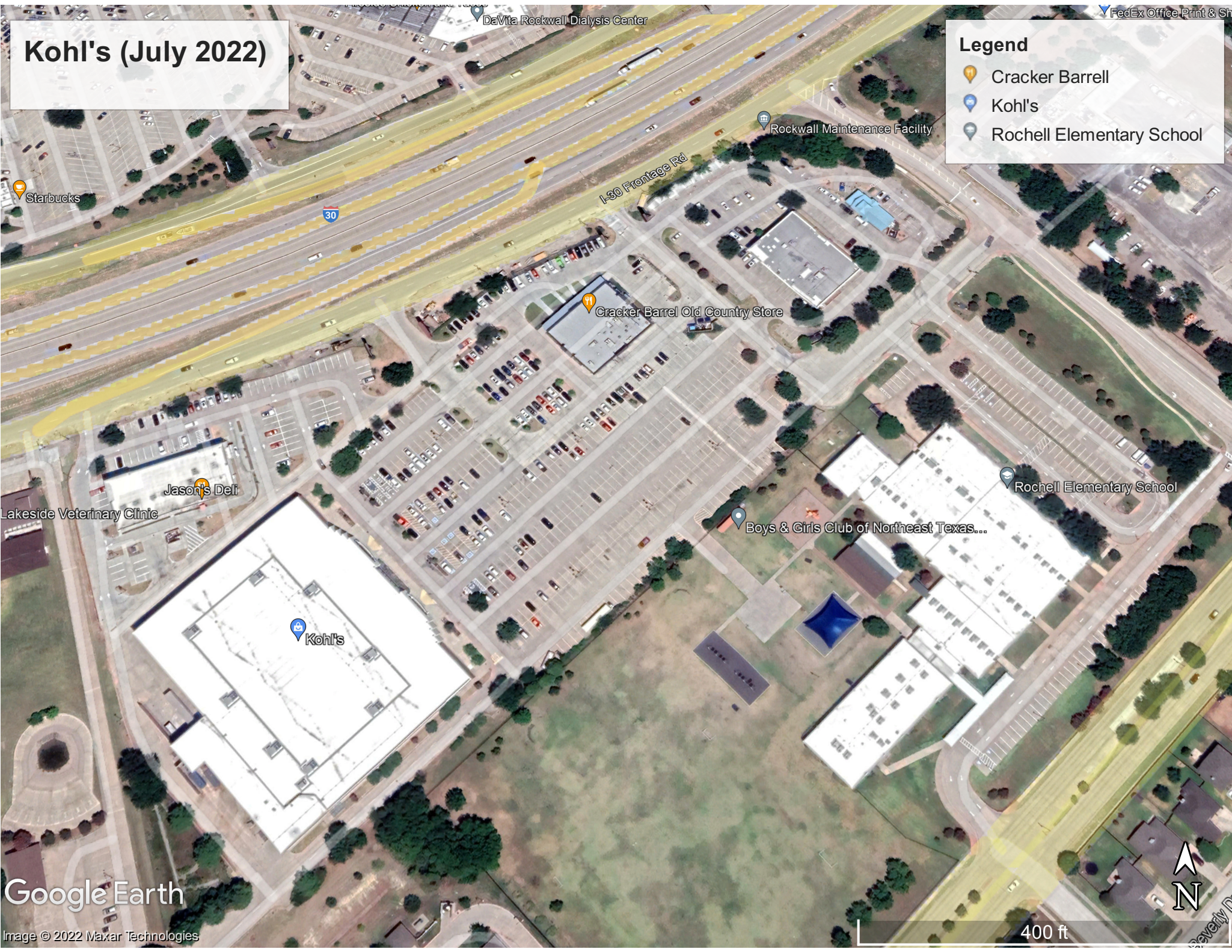
- Cracker Barrel
- Kohl's
- Rochell Elementary School



Kohl's (July 2022)

Legend

- Cracker Barrel
- Kohl's
- Rochell Elementary School





November 30, 2022

TO: Jeff Carroll
Carroll Architects, Inc.
750 E. Interstate 30
Suite 110
Rockwall, Texas 75087

CC: Eric Borkenhagen
Kohl's Department
N56 W. 17000 Ridgewood Drive
Menomonee Falls, WI. 53051

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: MIS2022-021; *Exceptions to the Parking Requirements for Kohl's*

Jeff:

This letter serves to notify you that the above referenced case (*i.e. Miscellaneous Case*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on November 29, 2022. The following is a record of all voting records:

Planning and Zoning Commission

On November 29, 2022, the Planning and Zoning Commission approved a motion to approve the miscellaneous case by a vote of 5-1, with Commissioner Womble dissenting and Commissioner Hustings absent.

Should you have any questions or concerns regarding your case, please feel free to contact me a (972) 772-6488.

Sincerely,

Bethany Ross, *Planner*
City of Rockwall Planning and Zoning Department