



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2022-007 P&Z DATE 03/15/21 CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☒ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION Gideon Grove, Phase 2

LOT

BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ORD. NO. 17-25, PD-84

CURRENT USE VACANT / AGRICULTURAL

PROPOSED ZONING ORD. NO. 17-25, PD-84

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 30.0.60 AC

LOTS [CURRENT] 1

LOTS [PROPOSED] 84

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Qualico Development (US), Inc.

☐ APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 14400 The Lakes Blvd.

ADDRESS 767 Justin Road

CITY, STATE & ZIP Pflugerville, TX 78660

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 469-659-6150

PHONE 512-694-6394

E-MAIL john.vick@qualico.com

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

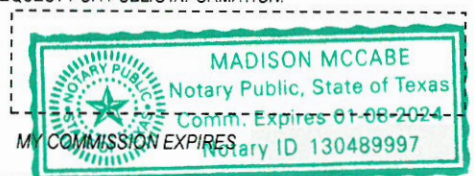
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ February 2022 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

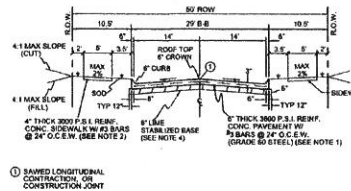
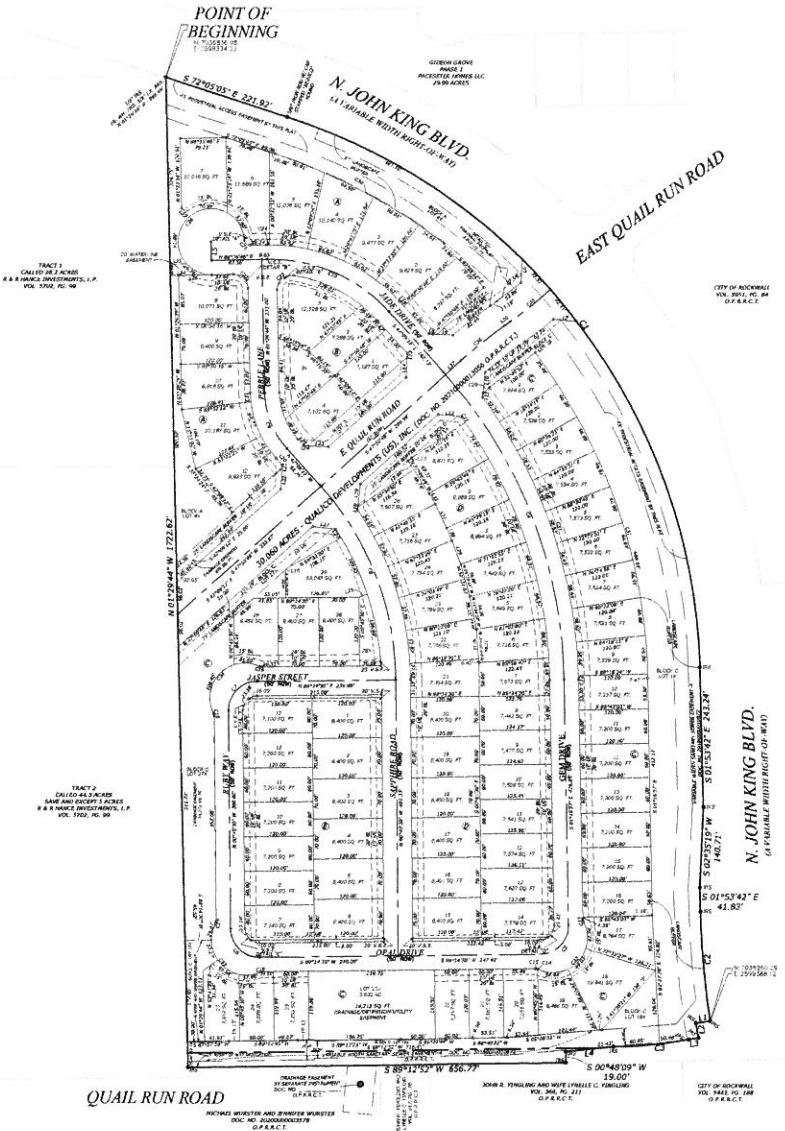
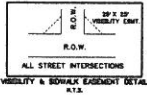
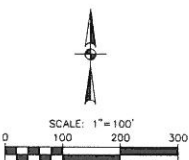
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.

OWNER'S SIGNATURE

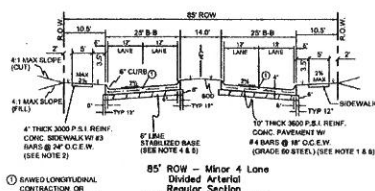
John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

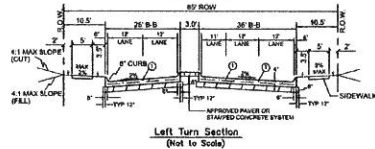




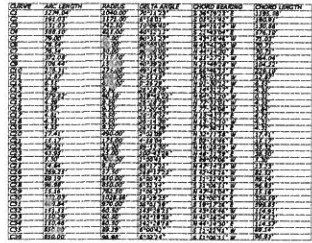
50' R.O.W. Residential Street
(Not to Scale)



85' R.O.W. - Minor 4 Lane
Divided Arterial
Regular Section
(Not to Scale)



Left Turn Section
(Not to Scale)



PD SITE PLAN
FOR
GIDEON GROVE
PHASE 2

OWNER/DEVELOPER
QUILICO DEVELOPERS, LLC
14400 THE LAKES BLVD.
FLLUGERVILLE, TX 78660
PHONE: (505) 558-9150
EMAIL: JOHN.VICK@QUILICO.COM
CONTACT: JOHN VICK

CONTAINING LOTS 1-12, 1X BLK A, LOTS 1-13, 3X
BLK B, LOTS 1-19, 1X, 1X, 1X, 27X BLK C, LOTS 1-25,
1X, 14X BLK D, LOTS 1-13, 1X, 1X BLK E
FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND
11 OPEN SPACE LOTS
BEING 30.06 ACRES OF LAND SITUATED IN THE
S.R. BARNES SURVEY, ABSTRACT 13
LOCATED IN CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS.

PAPE-DAWSON
ENGINEERS
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
8500 WEST FPK, SUITE 700 | FORT WORTH, TX 76116 | 817.870.3888
TELEPHONE BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #472

PIERCE-MURRAY
L.A.D. SOLUTIONS
REGISTERED PROFESSIONAL LAND SURVEYOR
FIRM REGISTRATION #223407

Planning & Zoning Commission, Chairman _____ Date _____

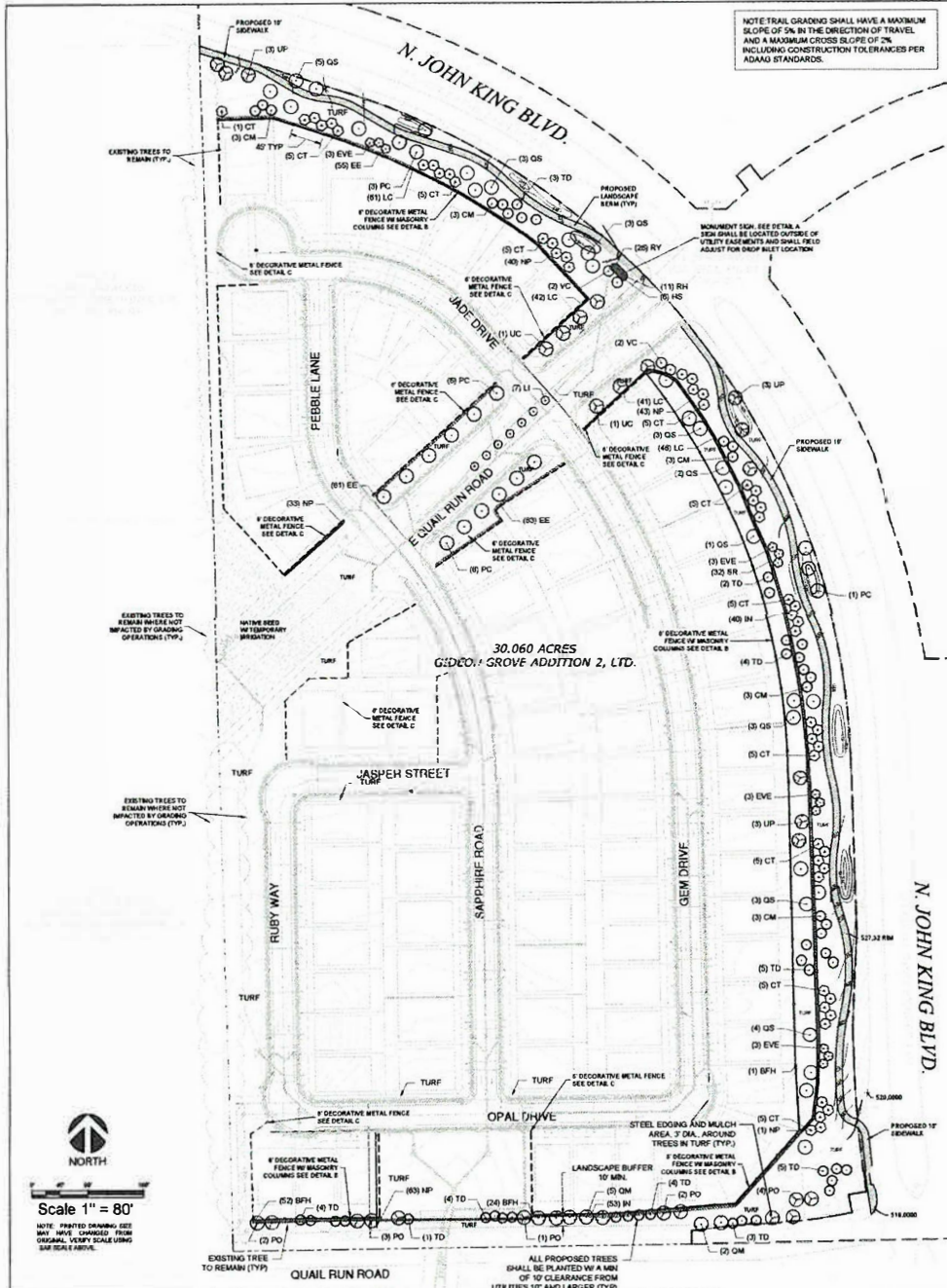
APPROVED: _____

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approval plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____



LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
UNDERSTORY TREES REQUIRED:
UNDERSTORY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

2,028 LF
81 TREES (3 PER 100 LF OF FRONTAGE)
81 TREES
82 TREES (4 PER 100 LF OF FRONTAGE)
82 TREES
SHRUBS REQUIRED: 30'-40' IN HT
PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (NORTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

721 LF
15 TREES (1 PER 50 LF OF FRONTAGE)
18 TREES
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (SOUTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

784 LF
16 TREES (1 PER 50 LF OF FRONTAGE)
17 TREES
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

OLD E. QUAIL RUN ROAD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

958 LF
39 TREES (1 PER 25 LF OF FRONTAGE)
35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PARKING OR CURBS. ROOT BARRIERS SHALL BE "IDENTITY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS FOR HANDICAPPED RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTS. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QS	27	QUERCUS SHUMARER	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UP	9	ULMUS X HOMESTEAD	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6'-8' HT.
	CT	51	CEBIS CHAMADENDS TENENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
	EVE	12	SOPHORA AFFINIS	EVE'S MEDALLION	CONT.	1.5" CAL	6'-8' HT.
	LI	7	LAGERSTROEMIA INDICA WATERMELON RED	CRANE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
	VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BPH	108	ILEX CORNUTA BURFORD	BURFORD HOLLY	5 GAL	42" OC	30" HT. MIN.
	EE	228	ELAEAGNUS X EBENFOLIA	ELAEAGNUS	5 GAL	48" OC	30" HT. MIN.
	HS	8	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT. MIN.
	IN	83	ILEX X MELLIS R. STEVENS	MELLIS R. STEVENS HOLLY	5 GAL	48" OC	30" HT. MIN.
	LC	254	LORAPETALUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	38" OC	30" HT. MIN.
	NP	258	NEROLIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT. MIN.
	RH	11	RAPHANOPHYS INDICA	RED HAWTHORNE	5 GAL	38" OC	18" HT. MIN.
	RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT. MIN.
	SR	73	SPIRAEA CAMTCHENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT. MIN.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
	NATIVE	25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH		
	TURF	263,234 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	500		

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM 6'5" CLEARANCE FROM ANY CITY UTILITY THAT IS 10" IN D.I.E. AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH, NATURAL, UNDYED, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



08/04/2021

Skorburg Company
8214 Westchester Drive
Dallas, TX

Gideon Grove Phase 2
John King Boulevard and E. Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date: 08/04/2021
Drawn By: MNB
Checked By: MB/RM

LP-1

PRELIMINARY PLAT NO. P2020-046

A. MANIFICATIONS OF A LICENSED CONTRACTOR

1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED PERSON.
2. SPECIAL NOTES:
3. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE CITY OF AUSTIN.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A VALID MAILING AND PHONE CREDIT RECORD BY FAX TO THE CITY OF AUSTIN.
5. THE LANDSCAPE CONTRACTOR SHALL BE BOUND BY THE RULES AND REGULATIONS OF THE TEXAS APPLICATION LICENSE BOARD IF BETWEEN THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS NATURALIST PEST CONTROL BOARD.

B. SCOPE OF WORK

1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND INSTALLATION OF ALL MATERIALS, LABOR, SUPPLIES, EQUIPMENT, TOOLS, AND SUPPLIES. THERE ARE NO OTHER ITEMS THAT ARE NECESSARY FOR THE ERECTION, INSTALLATION AND COMPLETION OF ALL WORK. SPECIFIED HEREIN AND/OR SHOWN ON THESE PLANS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, NOTIFICATIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, MANUFACTURE AND INSTALLATION OF ALL MATERIALS AND EQUIPMENT.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (WATER, GAS, POWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

[illegible][illegible][illegible][illegible]

7. **SHRUB, PERENNIAL, AND GRASS/CROPPED PLANTING**
 - A. **PLANTING**
 - 1. **PLANTING DEPTH:** PLANT WITH THE ROOTS LESS DEEP THAN EACH PLANTS ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL ABOVE THE PLANT WITH SOIL MIXED PER 50% PLANTER'S MIX.
 - 2. **WATERING:** WATER PLANTS IMMEDIATELY.
 - 3. **INSTALL THE WEED BARRIER DRAIN COVERS/PLANTING POTS AT THE 1/2" UNDS. INSTALL STEAKS TO KEEP PLANTS FROM MOVING.**
 - 4. **PLANTING SPACING:** PLANT SPACING TO BE DETERMINED BY THE PLANTER. PLANTING SPACING TO BE DETERMINED BY THE PLANTER. PLANTING SPACING TO BE DETERMINED BY THE PLANTER.
8. **SEEDING**
 - A. **SOIL PREP:** TWO INCHES TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - B. **SEEDING:** TWO INCHES TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - C. **SEEDING:** TWO INCHES TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
9. **PLANTING DEPTH:** PLANT WITH THE ROOTS LESS DEEP THAN EACH PLANTS ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL ABOVE THE PLANT WITH SOIL MIXED PER 50% PLANTER'S MIX.
10. **WATERING:** WATER PLANTS IMMEDIATELY.
11. **INSTALL THE WEED BARRIER DRAIN COVERS/PLANTING POTS AT THE 1/2" UNDS. INSTALL STEAKS TO KEEP PLANTS FROM MOVING.**
12. **PLANTING SPACING:** PLANT SPACING TO BE DETERMINED BY THE PLANTER. PLANTING SPACING TO BE DETERMINED BY THE PLANTER. PLANTING SPACING TO BE DETERMINED BY THE PLANTER.

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL ADJACENT CLEAN AND ALL WEED AREAS AS NEARLY ORIGINALLY CONDITIONED.

2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE

1. AT THE COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROMOTE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED, THE LANDSCAPE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.

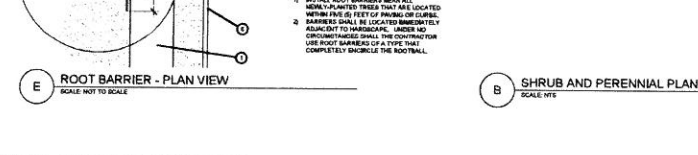
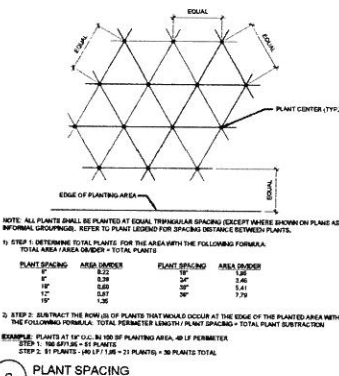
2. WHEN THE INSPECTED PLANTING MATERIALS DO NOT MEET THE MAINTENANCE MANUAL REQUIREMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED ONE(S) TO THE OWNER'S SATISFACTION WITHIN 10 BUSINESS DAYS.

3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORKER HAS BEEN NOTIFIED IN WRITING THAT THE PROJECT IS TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE REQUIRED BY THE OWNER.

[illegible]

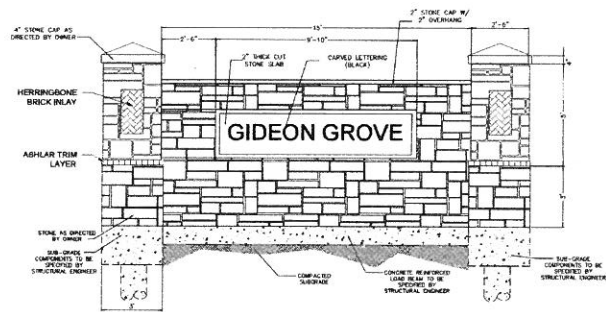
IRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME THE FIRST IRRIGATION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT POTABLE WATER FROM BEING CONTAMINATED.
3. ALL NON-TURF PLANTED AREAS SHALL BE Drip IRRIGATED. SOGGED AND SEEDS AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HOZORHINE CHARACTERISTICS SHALL BE PLACED ON A VALVE DESIGNATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HOZORHINE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: (1) DROPPED SPACERS, (2) DROPPED SPACERS, (3) DROPPED SPACERS, (4) DROPPED SPACERS, (5) DROPPED SPACERS, (6) DROPPED SPACERS, (7) DROPPED SPACERS, (8) DROPPED SPACERS, (9) DROPPED SPACERS, (10) DROPPED SPACERS, (11) DROPPED SPACERS, (12) DROPPED SPACERS, (13) DROPPED SPACERS, (14) DROPPED SPACERS, (15) DROPPED SPACERS, (16) DROPPED SPACERS, (17) DROPPED SPACERS, (18) DROPPED SPACERS, (19) DROPPED SPACERS, (20) DROPPED SPACERS, (21) DROPPED SPACERS, (22) DROPPED SPACERS, (23) DROPPED SPACERS, (24) DROPPED SPACERS, (25) DROPPED SPACERS, (26) DROPPED SPACERS, (27) DROPPED SPACERS, (28) DROPPED SPACERS, (29) DROPPED SPACERS, (30) DROPPED SPACERS, (31) DROPPED SPACERS, (32) DROPPED SPACERS, (33) DROPPED SPACERS, (34) DROPPED SPACERS, (35) DROPPED SPACERS, (36) DROPPED SPACERS, (37) DROPPED SPACERS, (38) DROPPED SPACERS, (39) DROPPED SPACERS, (40) DROPPED SPACERS, (41) DROPPED SPACERS, (42) DROPPED SPACERS, (43) DROPPED SPACERS, (44) DROPPED SPACERS, (45) DROPPED SPACERS, (46) DROPPED SPACERS, (47) DROPPED SPACERS, (48) DROPPED SPACERS, (49) DROPPED SPACERS, (50) DROPPED SPACERS, (51) DROPPED SPACERS, (52) DROPPED SPACERS, (53) DROPPED SPACERS, (54) DROPPED SPACERS, (55) DROPPED SPACERS, (56) DROPPED SPACERS, (57) DROPPED SPACERS, (58) DROPPED SPACERS, (59) DROPPED SPACERS, (60) DROPPED SPACERS, (61) DROPPED SPACERS, (62) DROPPED SPACERS, (63) DROPPED SPACERS, (64) DROPPED SPACERS, (65) DROPPED SPACERS, (66) DROPPED SPACERS, (67) DROPPED SPACERS, (68) DROPPED SPACERS, (69) DROPPED SPACERS, (70) DROPPED SPACERS, (71) DROPPED SPACERS, (72) DROPPED SPACERS, (73) DROPPED SPACERS, (74) DROPPED SPACERS, (75) DROPPED SPACERS, (76) DROPPED SPACERS, (77) DROPPED SPACERS, (78) DROPPED SPACERS, (79) DROPPED SPACERS, (80) DROPPED SPACERS, (81) DROPPED SPACERS, (82) DROPPED SPACERS, (83) DROPPED SPACERS, (84) DROPPED SPACERS, (85) DROPPED SPACERS, (86) DROPPED SPACERS, (87) DROPPED SPACERS, (88) DROPPED SPACERS, (89) DROPPED SPACERS, (90) DROPPED SPACERS, (91) DROPPED SPACERS, (92) DROPPED SPACERS, (93) DROPPED SPACERS, (94) DROPPED SPACERS, (95) DROPPED SPACERS, (96) DROPPED SPACERS, (97) DROPPED SPACERS, (98) DROPPED SPACERS, (99) DROPPED SPACERS, (100) DROPPED SPACERS, (101) DROPPED SPACERS, (102) DROPPED SPACERS, (103) DROPPED SPACERS, (104) DROPPED SPACERS, (105) DROPPED SPACERS, (106) DROPPED SPACERS, (107) DROPPED SPACERS, (108) DROPPED SPACERS, (109) DROPPED SPACERS, (110) DROPPED SPACERS, (111) DROPPED SPACERS, (112) DROPPED SPACERS, (113) DROPPED SPACERS, (114) DROPPED SPACERS, (115) DROPPED SPACERS, (116) DROPPED SPACERS, (117) DROPPED SPACERS, (118) DROPPED SPACERS, (119) DROPPED SPACERS, (120) DROPPED SPACERS, (121) DROPPED SPACERS, (122) DROPPED SPACERS, (123) DROPPED SPACERS, (124) DROPPED SPACERS, (125) DROPPED SPACERS, (126) DROPPED SPACERS, (127) DROPPED SPACERS, (128) DROPPED SPACERS, (129) DROPPED SPACERS, (130) DROPPED SPACERS, (131) DROPPED SPACERS, (132) DROPPED SPACERS, (133) DROPPED SPACERS, (134) DROPPED SPACERS, (135) DROPPED SPACERS, (136) DROPPED SPACERS, (137) DROPPED SPACERS, (138) DROPPED SPACERS, (139) DROPPED SPACERS, (140) DROPPED SPACERS, (141) DROPPED SPACERS, (142) DROPPED SPACERS, (143) DROPPED SPACERS, (144) DROPPED SPACERS, (145) DROPPED SPACERS, (146) DROPPED SPACERS, (147) DROPPED SPACERS, (148) DROPPED SPACERS, (149) DROPPED SPACERS, (150) DROPPED SPACERS, (151) DROPPED SPACERS, (152) DROPPED SPACERS, (153) DROPPED SPACERS, (154) DROPPED SPACERS, (155) DROPPED SPACERS, (156) DROPPED SPACERS, (157) DROPPED SPACERS, (158) DROPPED SPACERS, (159) DROPPED SPACERS, (160) DROPPED SPACERS, (161) DROPPED SPACERS, (162) DROPPED SPACERS, (163) DROPPED SPACERS, (164) DROPPED SPACERS, (165) DROPPED SPACERS, (166) DROPPED SPACERS, (167) DROPPED SPACERS, (168) DROPPED SPACERS, (169) DROPPED SPACERS, (170) DROPPED SPACERS, (171) DROPPED SPACERS, (172) DROPPED SPACERS, (173) DROPPED SPACERS, (174) DROPPED SPACERS, (175) DROPPED SPACERS, (176) DROPPED SPACERS, (177) DROPPED SPACERS, (178) DROPPED SPACERS, (179) DROPPED SPACERS, (180) DROPPED SPACERS, (181) DROPPED SPACERS, (182) DROPPED SPACERS, (183) DROPPED SPACERS, (184) DROPPED SPACERS, (185) DROPPED SPACERS, (186) DROPPED SPACERS, (187) DROPPED SPACERS, (188) DROPPED SPACERS, (189) DROPPED SPACERS, (190) DROPPED SPACERS, (191) DROPPED SPACERS, (192) DROPPED SPACERS, (193) DROPPED SPACERS, (194) DROPPED SPACERS, (195) DROPPED SPACERS, (196) DROPPED SPACERS, (197) DROPPED SPACERS, (198) DROPPED SPACERS, (199) DROPPED SPACERS, (200) DROPPED SPACERS, (201) DROPPED SPACERS, (202) DROPPED SPACERS, (203) DROPPED SPACERS, (204) DROPPED SPACERS, (205) DROPPED SPACERS, (206) DROPPED SPACERS, (207) DROPPED SPACERS, (208) DROPPED SPACERS, (209) DROPPED SPACERS, (210) DROPPED SPACERS, (211) DROPPED SPACERS, (212) DROPPED SPACERS, (213) DROPPED SPACERS, (214) DROPPED SPACERS, (215) DROPPED SPACERS, (216) DROPPED SPACERS, (217) DROPPED SPACERS, (218) DROPPED SPACERS, (219) DROPPED SPACERS, (220) DROPPED SPACERS, (221) DROPPED SPACERS, (222) DROPPED SPACERS, (223) DROPPED SPACERS, (224) DROPPED SPACERS, (225) DROPPED SPACERS, (226) DROPPED SPACERS, (227) DROPPED SPACERS, (228) DROPPED SPACERS, (229) DROPPED SPACERS, (230) DROPPED SPACERS, (231) DROPPED SPACERS, (232) DROPPED SPACERS, (233) DROPPED SPACERS, (234) DROPPED SPACERS, (235) DROPPED SPACERS, (236) DROPPED SPACERS, (237) DROPPED SPACERS, (238) DROPPED SPACERS, (239) DROPPED SPACERS, (240) DROPPED SPACERS, (241) DROPPED SPACERS, (242) DROPPED SPACERS, (243) DROPPED SPACERS, (244) DROPPED SPACERS, (245) DROPPED SPACERS, (246) DROPPED SPACERS, (247) DROPPED SPACERS, (248) DROPPED SPACERS, (249) DROPPED SPACERS, (250) DROPPED SPACERS, (251) DROPPED SPACERS, (252) DROPPED SPACERS, (253) DROPPED SPACERS, (254) DROPPED SPACERS, (255) DROPPED SPACERS, (256) DROPPED SPACERS, (257) DROPPED SPACERS, (258) DROPPED SPACERS, (259) DROPPED SPACERS, (260) DROPPED SPACERS, (261) DROPPED SPACERS, (262) DROPPED SPACERS, (263) DROPPED SPACERS, (264) DROPPED SPACERS, (265) DROPPED SPACERS, (266) DROPPED SPACERS, (267) DROPPED SPACERS, (268) DROPPED SPACERS, (269) DROPPED SPACERS, (270) DROPPED SPACERS, (271) DROPPED SPACERS, (272) DROPPED SPACERS, (273) DROPPED SPACERS, (274) DROPPED SPACERS, (275) DROPPED SPACERS, (276) DROPPED SPACERS, (277) DROPPED SPACERS, (278) DROPPED SPACERS, (279) DROPPED SPACERS, (280) DROPPED SPACERS, (281) DROPPED SPACERS, (282) DROPPED SPACERS, (283) DROPPED SPACERS, (284) DROPPED SPACERS, (285) DROPPED SPACERS, (286) DROPPED SPACERS, (287) DROPPED SPACERS, (288) DROPPED SPACERS, (289) DROPPED SPACERS, (290) DROPPED SPACERS, (291) DROPPED SPACERS, (292) DROPPED SPACERS, (293) DROPPED SPACERS, (294) DROPPED SPACERS, (295) DROPPED SPACERS, (296) DROPPED SPACERS, (297) DROPPED SPACERS, (298) DROPPED SPACERS, (299) DROPPED SPACERS, (300) DROPPED SPACERS, (301) DROPPED SPACERS, (302) DROPPED SPACERS, (303) D

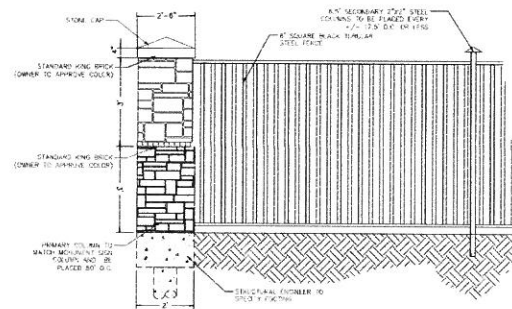
[illegible]

SCALE: NTS

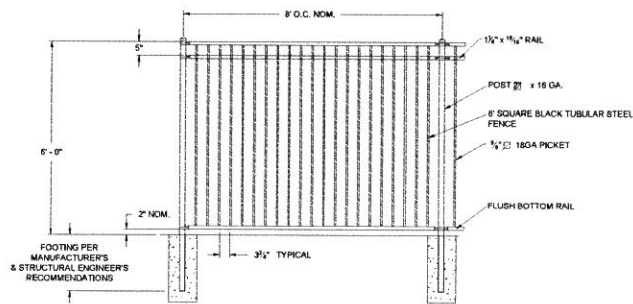
LP-2



A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



C 6' DECORATIVE METAL FENCE
NOT TO SCALE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION Gideon Grove, Phase 2

LOT

BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ORD. NO. 17-25, PD-84

CURRENT USE VACANT / AGRICULTURAL

PROPOSED ZONING ORD. NO. 17-25, PD-84

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 30.0.60 AC

LOTS [CURRENT] 1

LOTS [PROPOSED] 84

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Qualico Development (US), Inc.

☐ APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 14400 The Lakes Blvd.

ADDRESS 767 Justin Road

CITY, STATE & ZIP Pflugerville, TX 78660

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 469-659-6150

PHONE 512-694-6394

E-MAIL john.vick@qualico.com

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

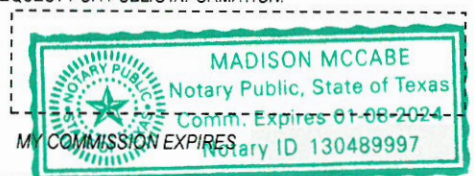
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ February 2022 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

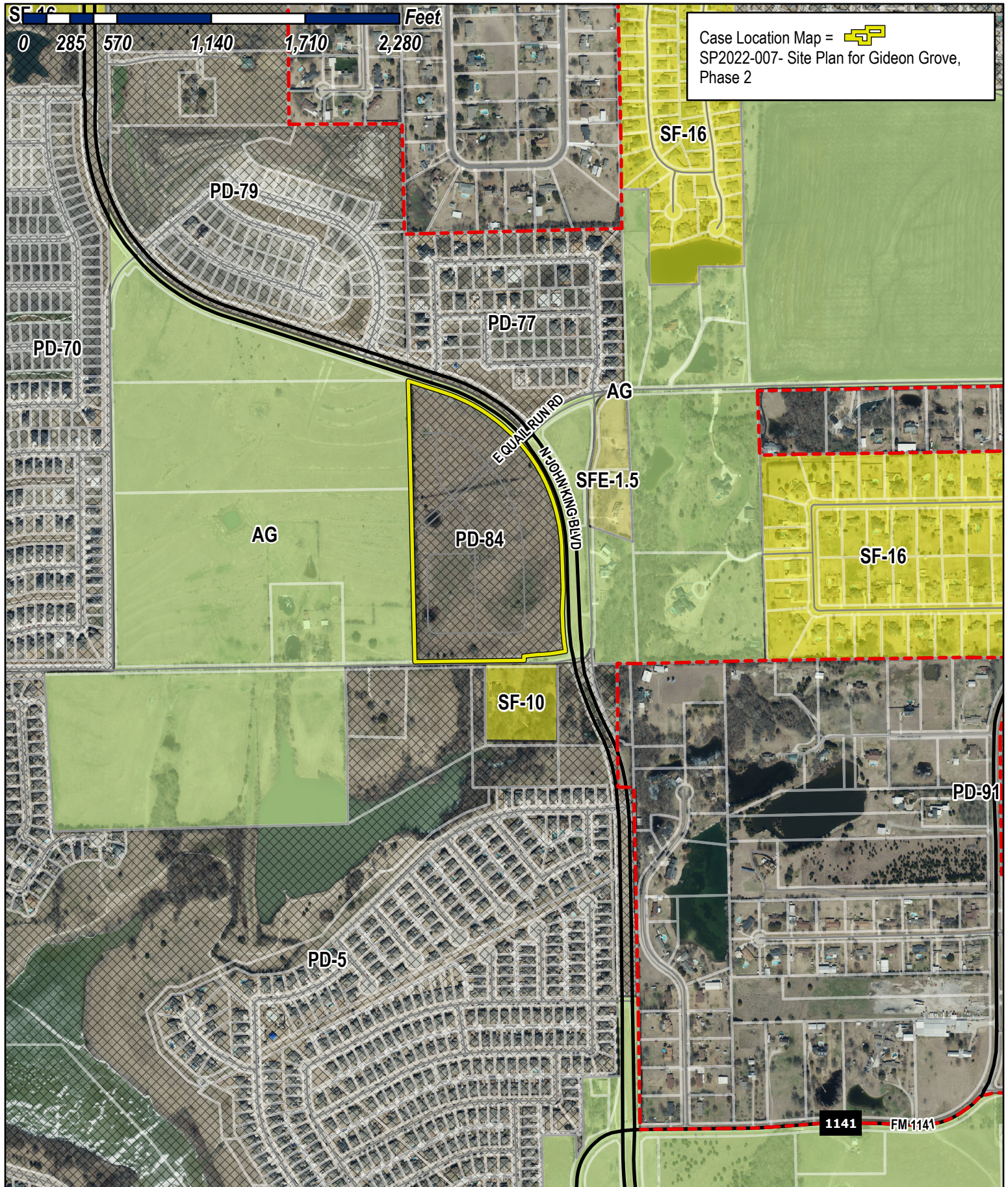
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.


OWNER'S SIGNATURE

John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 
 SP2022-007- Site Plan for Gideon Grove,
 Phase 2

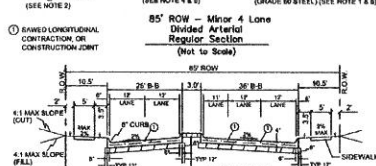
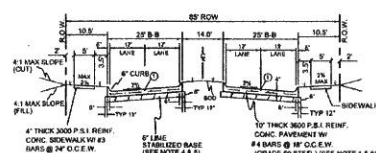
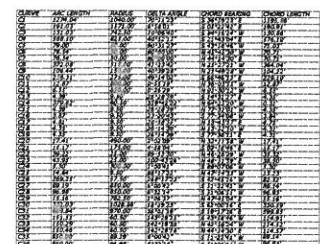
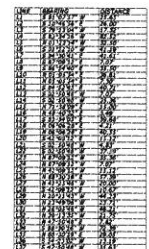
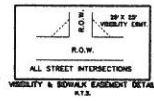
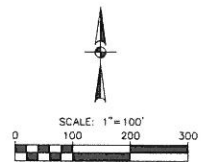


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





① SAWED LONGITUDINAL CONTRACTION OF

(Not to Scale)

6/7 ROW

Left Turn Section
(Not to Scale)

GIDEON GROVE
PHASE 2

CONTAINING PLOTS 1-12, 1X BLK A; LOTS 1-4, 1X, 3X
BLK B; LOTS 1-29, 1X, 18X, 25X, 27X BLK C; LOTS 1-25,
1X, 14X BLK D; LOTS 1-13, 1X, 8X BLK E
FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND
11 OPEN SPACE LOTS

BEING 30.050 ACRES OF LAND SITUATED IN THE
S.R. BARNES SURVEY, ABSTRACT 13
LOCATED IN CITY OF ROCKWALL

OWNER/DEVELOPER
QUALICO DEVELOPERS (US), INC.
14400 THE LAKES BLVD.
PFLUGERVILLE, TX 78660
PHONE: (459) 659-5150
EMAIL: JOHN.VICK@QUALICO.COM
CONTACT: JOHN VICK

BEING 30.066 ACRES OF LAND SITUATED IN THE
S.R. BARNES SURVEY, ABSTRACT 13
LOCATED IN CITY OF ROCKWALL

SP2022-0YY

PIERCE-MURRAY
LAND SOLUTIONS

FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FWY, STE 790 | FORT WORTH, TX 76116 | 817.670.3666
TEXAS BOARD OF PROFESSIONAL ENGINEERING, FIRM REGISTRATION #421

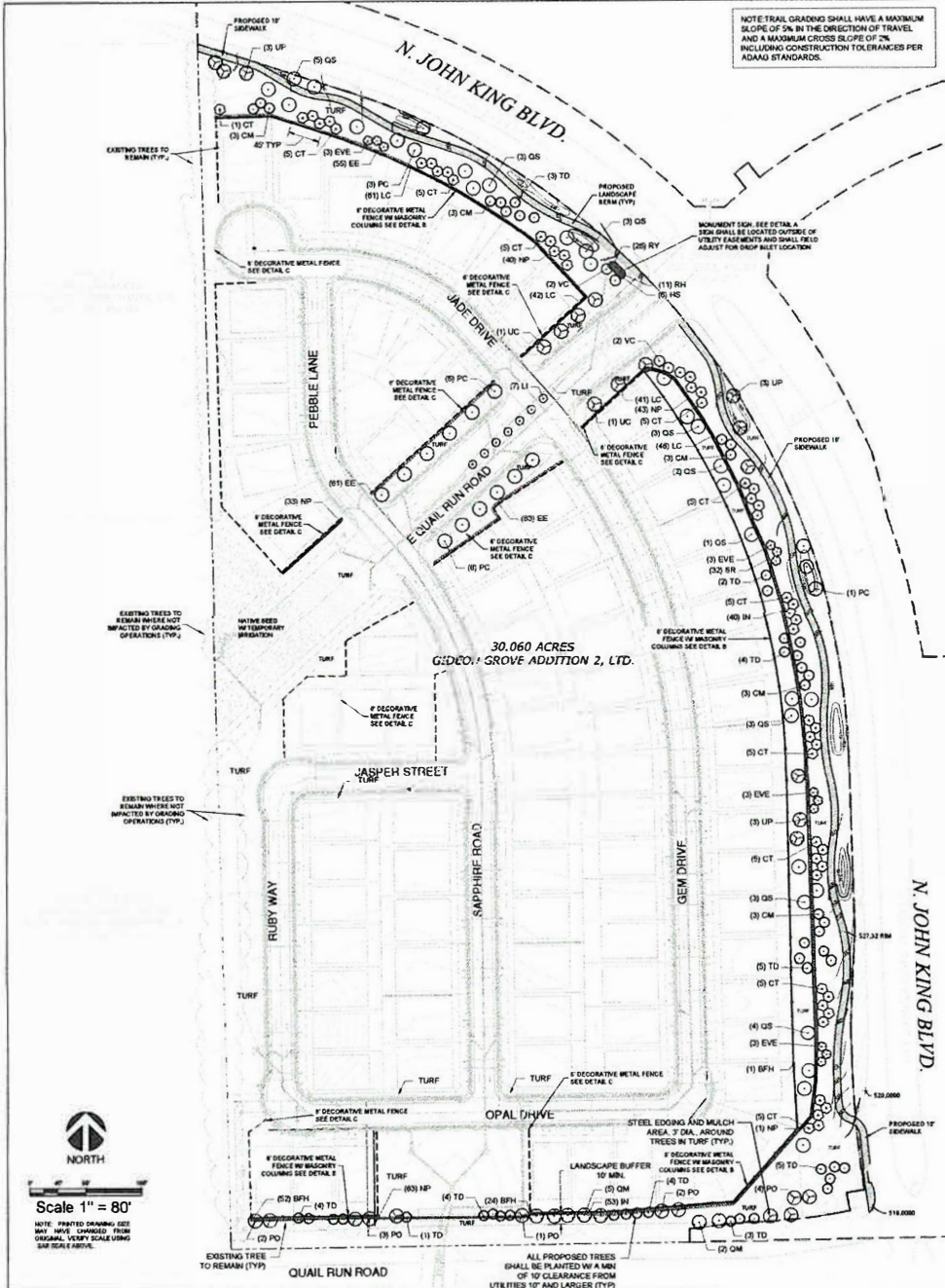
**PIERCE-MURRAY
LAND SOLUTIONS**
Engineering • Surveying
800 TALKING CIRCLE
TULSA, OK 74105
(918) 436-5446
(918) 436-2396
WWW.PMFSURVEYING.NET, 10554427

Heather B. Jorring County Commission, Chairman Date _____

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwell, Texas, was approved by the City Council of the City of Rockwell on the _____ day of _____, 2021.

This approval shall be invalid unless the approved plat for each addition is recorded in the office of the County Clerk of Rockwell, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.



LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
UNDERSTORY TREES REQUIRED:
UNDERSTORY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

2,028 LF
81 TREES (3 PER 100 LF OF FRONTAGE)
81 TREES
82 TREES (4 PER 100 LF OF FRONTAGE)
82 TREES
SHRUBS REQUIRED: 30'-40' IN HT
PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (NORTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

721 LF
15 TREES (1 PER 50 LF OF FRONTAGE)
18 TREES
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (SOUTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

784 LF
16 TREES (1 PER 50 LF OF FRONTAGE)
17 TREES
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

OLD E. QUAIL RUN ROAD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

958 LF
39 TREES (1 PER 25 LF OF FRONTAGE)
35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PARKING OR CURBS. ROOT BARRIERS SHALL BE "IDENTITY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS FOR HANDICAPPED RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTS. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QS	27	QUERCUS SHUMARER	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UP	9	ULMUS X HOMESTEAD	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6'-8' HT.
	CT	51	CELOSIA CHAMADENDS TENENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
	EVE	12	EPHEDRA AFFINIS	EVE'S MEDICINE	CONT.	1.5" CAL	6'-8' HT.
	LI	7	LAGERSTROEMIA INDICA WATERMELON RED	CRABE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
	VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BPH	108	ILEX CORNUTA BURFORD	BURFORD HOLLY	5 GAL	42" OC	30" HT. MIN.
	EE	228	ELAEAGNUS X EBENFOLIA	ELAEAGNUS	5 GAL	48" OC	30" HT. MIN.
	HS	8	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT. MIN.
	IN	83	ILEX X MELLIS R. STEVENS	MELLIS R. STEVENS HOLLY	5 GAL	48" OC	30" HT. MIN.
	LC	254	LORAPETALUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	38" OC	30" HT. MIN.
	NP	258	NEROLIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT. MIN.
	RH	11	RAPHANOPHYS INDICA	RED HAWTHORNE	5 GAL	38" OC	18" HT. MIN.
	RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT. MIN.
	SR	73	SPREA GAMBROENSIS	BRIDAL VEIL SPREA	5 GAL	48" OC	30" HT. MIN.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
	NATIVE	25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH		
	TURF	285,234 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	500		

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM 6'5" CLEARANCE FROM ANY CITY UTILITY THAT IS 10" IN SIZE AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH, NATURAL, UNDYED, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



08/04/2021

Skorburg Company
8214 Westchester Drive
Dallas, TX

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date:	08/04/2021
Drawn By:	MNB
Checked By:	MB/RM

LP-1

PRELIMINARY PLAT NO. P2020-046

A. UNIFICATION OF THE LANDSCAPE CONTRACTOR

1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE CONSTRUCTION.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE DISTRICT ENGINEER.
3. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A VALID MARRIAGE AND FLUENT CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE AND MEAT INSPECTION.
4. THE LANDSCAPE CONTRACTOR SHALL BE BOUND BY THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS DEPARTMENT OF NATURAL RESOURCES CONTROL RULES.

B. SCOPE OF WORK

1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND INSTALLATION OF ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, SUPPLIES, TRAVEL AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE ERECTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE PLANS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS AND/OR LANDSCAPE ARCHITECTURE PRACTICE STANDARDS AND REQUIREMENTS, METHODS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AGENCIES IN SUPPLY, MAINTENANCE AND OPERATION OF THE PROJECT.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (WATER, GAS, POWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

[illegible][illegible][illegible][illegible]

2. **REMOVE PERENNIAL AND GRASSROOTS PLANTING**
a. REMOVE PERENNIALS AND GRASSROOTS PLANTS LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. SACRIFICE AROUND THE PLANT WITH SOIL AMENDED PER TEST. REPEAT RESTRUCTIONS.
3. **INSTALL THE NEED BARBERS COIL: OVERLAPPLAIT AT 10 INCHES. UTILITY STEEL STAKES TO KEEP THE PLANTS FROM COLLAPSE.**
4. **REMOVE PLANTING IS COMPLETE. REMOVE PLANT MAT TYPE AND DEPTH PER PLANTS OVER ALL PLANTING SITES. COVERING THE ENTIRE PLANTING AREA.**

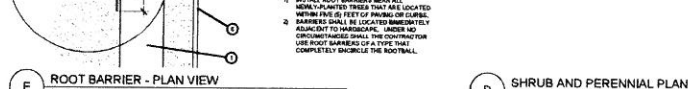
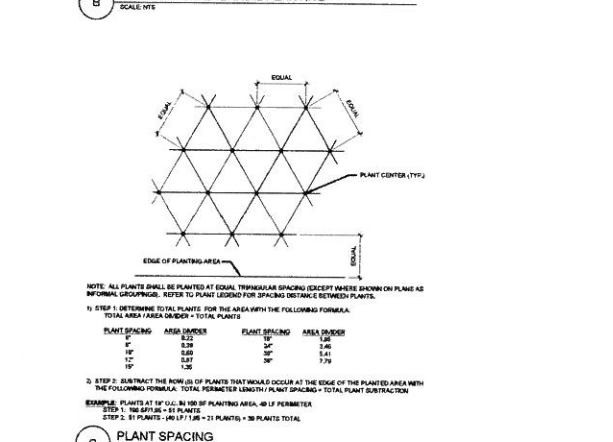
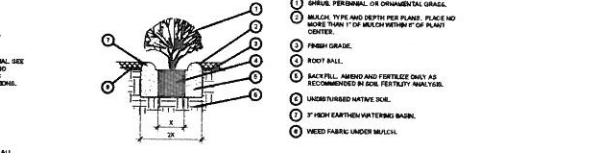
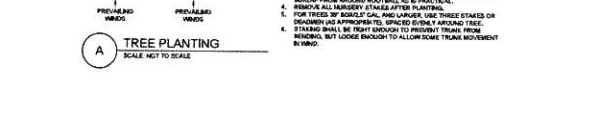
F. SCODING



1. **SOIL VIBRITY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.**
2. **DO NOT VIBRATE IN AROUND THE PLANTS. TIME OF VIBRATING. DO NOT VIBR IF THE GROUND IS FROZEN.**
3. **DO NOT VIBRATE TO FORM A SOIL MOUND WITH TWENTY FIFTY JOINTS. BUILT AROUND AND SIDES OF SOIL STOPS. DO NOT OVERLAP. STAGGER STOPS TO OBTAIN JOINTS IN ADJACENT COURSES.**
4. **DO NOT VIBRATE TO ENLARGE HOLES. DO NOT VIBRATE TO ENLARGE HOLES.**
5. **MAINTAIN A MINIMUM OF 10 INCHES OF PENETRATION INTO THE SOIL, BELOW THE SOIL.**

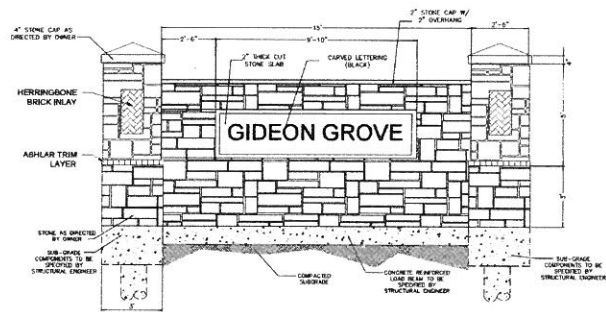
G. WEEDING

[illegible][illegible]

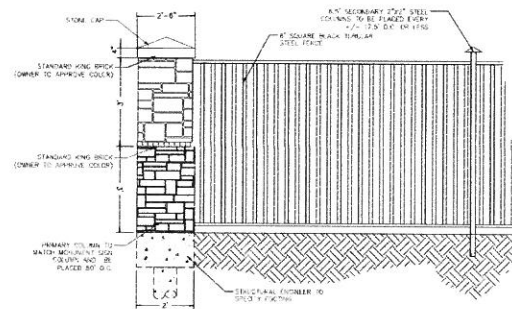
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE A BACKFLOW PREVENTER. BACKFLOW PREVENTER SERVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHOWING SIMILAR HORIZONE CHARACTERISTICS SHALL BE PLACED IN A VALVE DESIGATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HORIZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND BY PROVIDING THE NECESSARY IRRIGATION RATE TECHNIQUES. SPRINKLER AND SPRAY HEADS IRRIGATION CONTROLLERS, RAIN SENSORS, AND MULTI-PROGRAM COMPUTERS WITH IRRIGATION POSSIBILITIES FEATURING SENSORY INPUT CAPABILITIES.

[illegible]

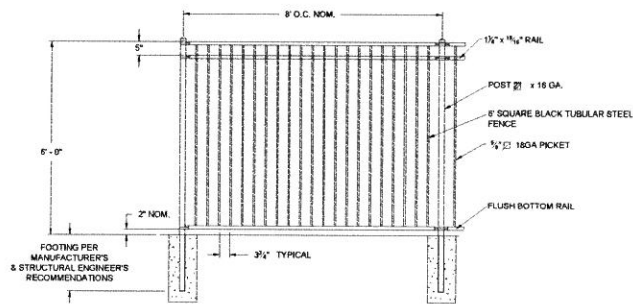
 EVERGREEN DESIGN GROUP (800) 468-4633 15415 Dallas Pkwy. Ste. 200 Dallas, TX 75244 www.ellingsongardengroup.com																	
 03/19/2021																	
Owner	Skorburg Company 8214 Westchester Drive Dallas, TX																
Project Name	Gideon Grove Phase 2 John King Boulevard and E Quail Run Road Rockwall, TX																
LANDSCAPE DETAILS & SPECIFICATIONS																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;">Date</th> <th style="width: 60%;">Comment</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	Date	Comment															Project Number Date 03/18/2021 Drawn by MNB Checked by MBRM
Date	Comment																
<div style="font-size: 2em; font-weight: bold; letter-spacing: 0.5em;">LP-2</div>																	



A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



C 6' DECORATIVE METAL FENCE
NOT TO SCALE

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-007
PROJECT NAME: Site Plan for Gideon Grove Phase 2
SITE ADDRESS/LOCATIONS:

CASE CAPTION:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for Phase 2 of the Gideon Grove Subdivision being a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2022-007) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 84 (PD-84).
- M.5 Provide the standard signature block with signature space for the Planning & Zoning Chairman and Planning Director on the Treescape Plan and all sheets of the Screening/Buffering Plans. (Subsection 03.04.A, of Article 11)
- M.6 Within the Hardscape Plan provide an exhibit for a Board-On-Board Wood Fence, that demonstrates they will have a decorative top rail or cap.
- M.7 Provide staff with an exhibit showing fence locations, where fence types shall be color coded and each residential lots side and rear yard allowed fence type should be indicated.
- M.8 Both sides of E. Quail Run Road and Old Quail Run Road are deficient in the trees indicated on the landscape plan. The calculations on the trees needed are correct; there just are not that many shown on the plans.
- M.9 Show all the required lot trees on the landscape plan, per the zoning ordinance 17-25.
- M.10 The berm along John King Boulevard should be generally continuous. What is shown currently does not meet the landscape buffer requirements of Planned Development District 84 (PD-84). It should match what is shown on the grading plan on the Civils.
- M.11 Currently E. Quail Run Road terminates on the property, however since the Right-of-Way is already dedicate, the landscaping and berm must continue down the north and south side of the future E. Quail Run Road.
- M.12 There is a sewer line that will run parallel to Old E. Quail Run Road along the south property line; the trees are currently too close to this sewer line and must be moved and remain in the landscape buffer. This may require that landscaping buffer to be increased in size.
- M.13 Engineering indicates that the trees on the west property line will need to be removed per the Civil Plans. If this is true an updated Treescape Plan will need to be provided.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on February 28, 2022.

2) Planning & Zoning meeting/public hearing meeting will be held on March 15, 2022.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Keep trees 10' away from the 12" water line in John King.

- No signage/structures in easements. Show sewer and drainage easements near sign.

- Berm to be located per the approved grading plan and not on top of sewer line.

- Show the paving ending per the engineering plans an E Quail Run.

- All of these trees will be removed during grading. Please make revisions to tree mitigation and resubmit to P&Z for approval.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

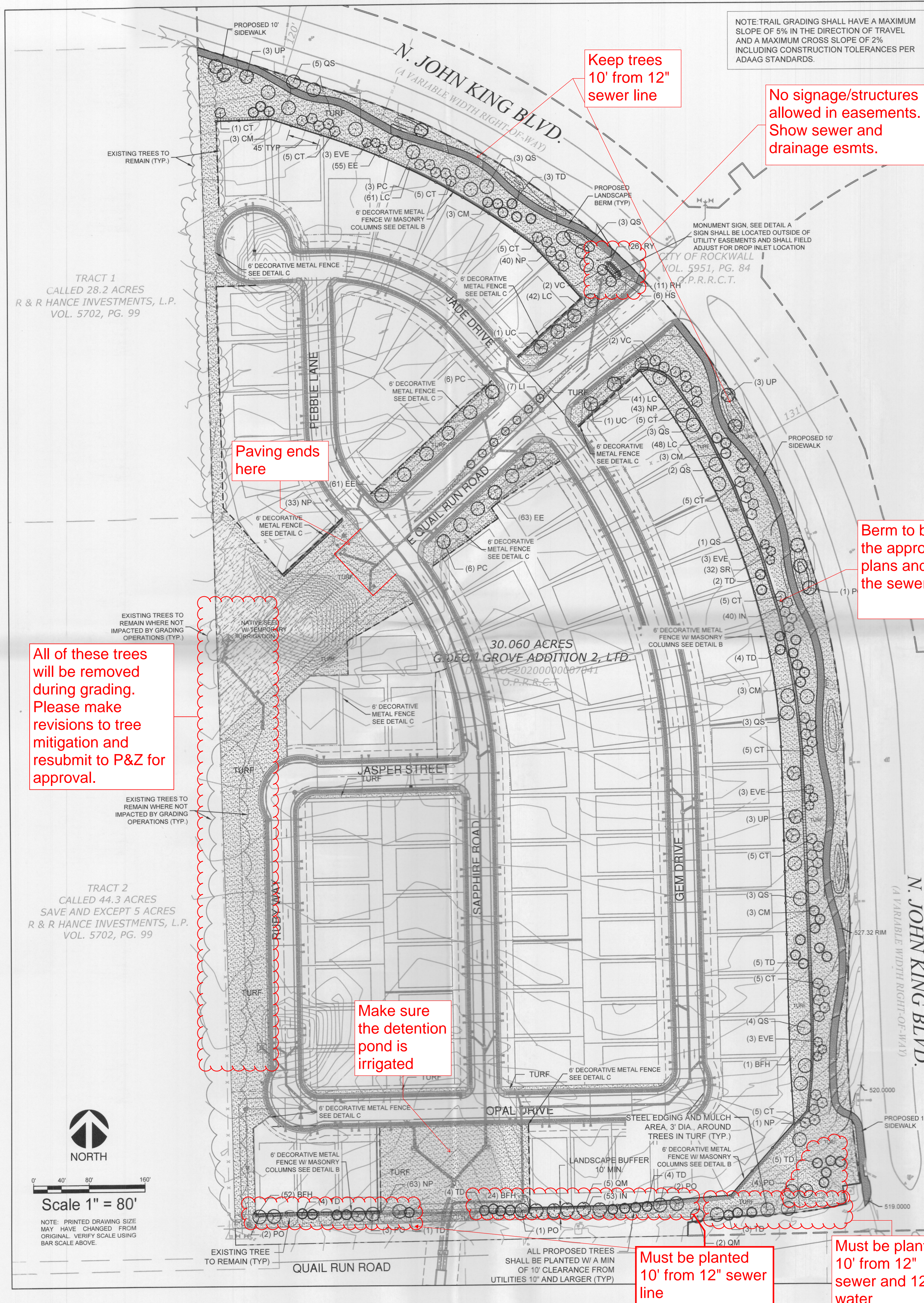
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: If the area on the south end is a detention pond, the area must have 1 canopy tree and 1 accent trees planted around the perimeter for every 750 sqft of detention.



LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
UNDERSTORY TREES REQUIRED:
UNDERSTORY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

2,028 LF
61 TREES (3 PER 100 LF OF FRONTAGE)
61 TREES
82 TREES (4 PER 100 LF OF FRONTAGE)
82 TREES
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

E QUAIL RUN ROAD (NORTH SIDE)

FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

721 LF
15 TREES (1 PER 50 LF OF FRONTAGE)
16 TREES
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

E QUAIL RUN ROAD (SOUTH SIDE)

FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

794 LF
16 TREES (1 PER 50 LF OF FRONTAGE)
17 TREES
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

OLD E QUAIL RUN ROAD

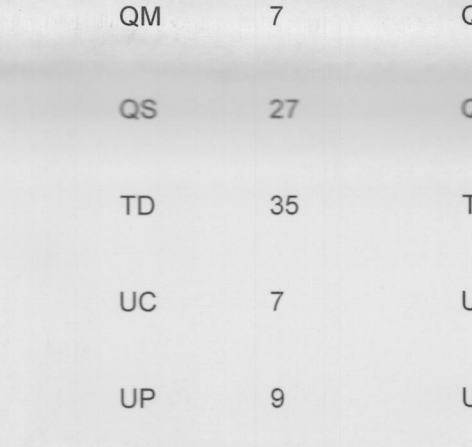
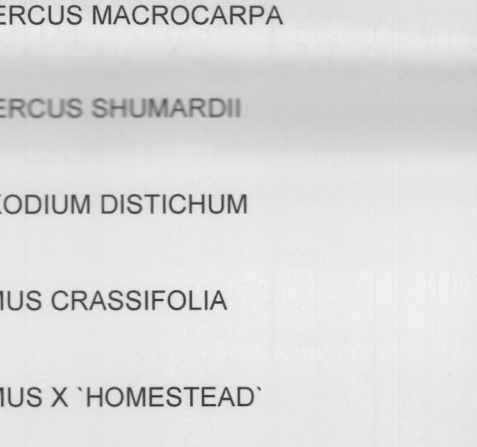
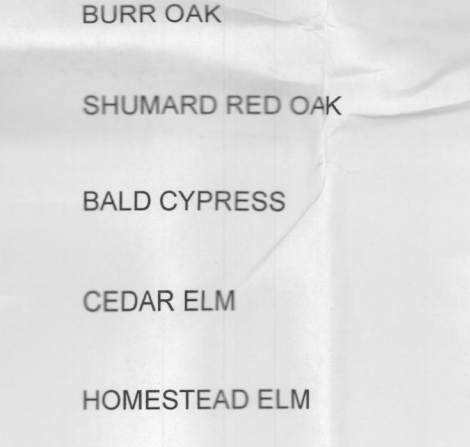
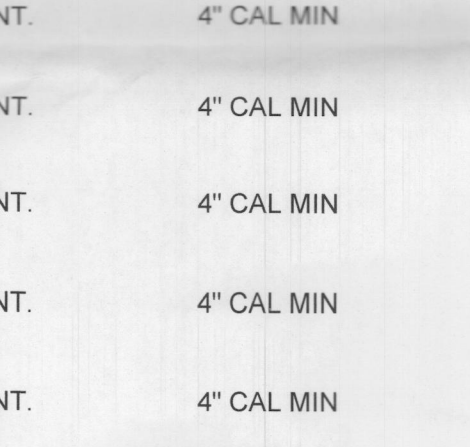
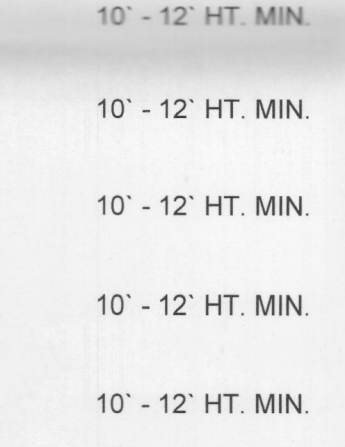

FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

958 LF
39 TREES (1 PER 25 LF OF FRONTAGE)
35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

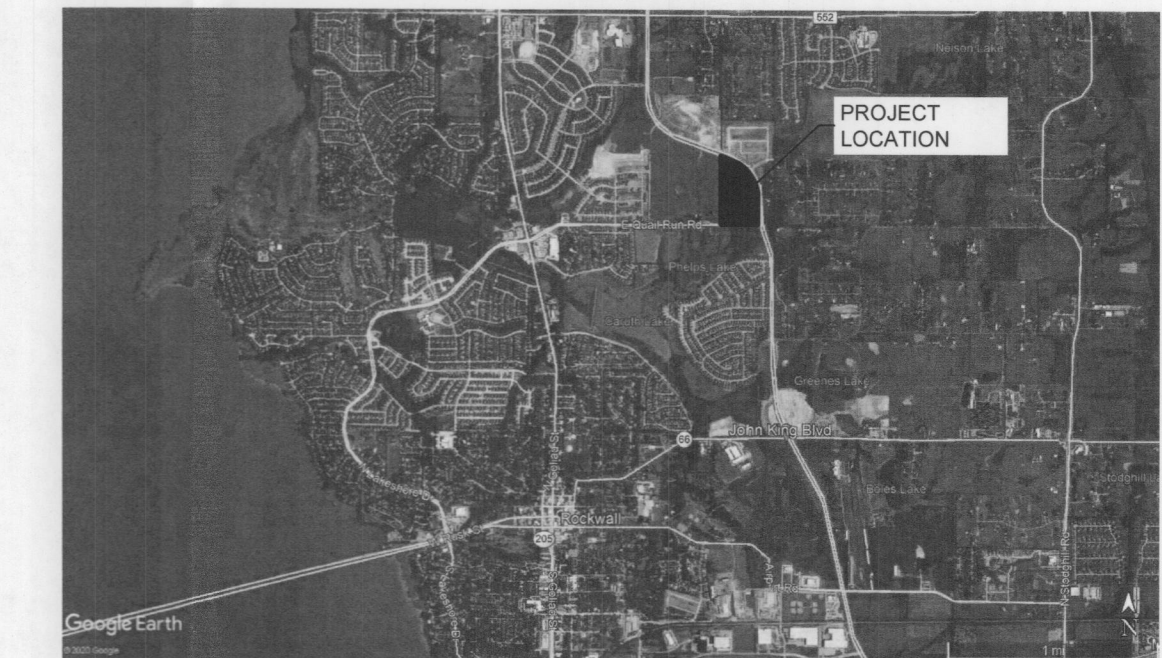
ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

PLANT SCHEDULE

<p>ated per grading on top of</p> 	TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL	SIZE
		PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
		PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
		QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
		QS	27	QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
		TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
		UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
		UP	9	ULMUS X 'HOMESTEAD'	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
<p>lead to show and label ex. 12" sewer and 12" water along Quail Run and John King</p> 	UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL	SIZE
		CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6'-8' HT
		CT	51	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT MIN
		EVE	12	SOPHORA AFFINIS	EVE'S NECKLACE	CONT.	1.5" CAL	6'-8' HT.
		LI	7	LAGERSTROEMIA INDICA 'WATERMELON RED'	CRAPE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT MIN
		VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT MIN
	SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
		BFH	108	ILEX CORNUTA 'BUFORDII'	BURFURD HOLLY	5 GAL	42" OC	30" HT MIN
		EE	220	ELAEAGNUS X EBBINGEI	ELAEGANUS	5 GAL	48" OC	30" HT MIN
		HS	6	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT MIN
		IN	93	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5 GAL	48" OC	30" HT MIN
		LC	234	LORAPETULUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	36" OC	30" HT MIN
		NP	258	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT MIN
		RH	11	RAPHIOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	36" OC	18" HT MIN
		RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT MIN
		SR	73	SPIRAEA CANTONIENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT MIN
	GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
		NATIVE	25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH		
		TURF	285,234 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	SOD		

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL MAINTAIN A GREEN LOG, TO BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



EVERGREEN
DESIGN GROUP

(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com



08/04/2021

Skorburg Company
8214 Westchester Drive
Dallas, TX

Gideon Grove Phase 2

John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE
PLAN

Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

P-1

PRELIMINARY PLAT NO.: P2020-046



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION Gideon Grove, Phase 2

LOT

BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ORD. NO. 17-25, PD-84

CURRENT USE VACANT / AGRICULTURAL

PROPOSED ZONING ORD. NO. 17-25, PD-84

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 30.0.60 AC

LOTS [CURRENT] 1

LOTS [PROPOSED] 84

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Qualico Development (US), Inc.

☐ APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 14400 The Lakes Blvd.

ADDRESS 767 Justin Road

CITY, STATE & ZIP Pflugerville, TX 78660

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 469-659-6150

PHONE 512-694-6394

E-MAIL john.vick@qualico.com

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

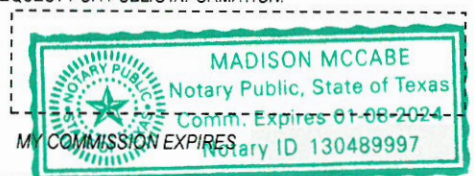
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 164 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

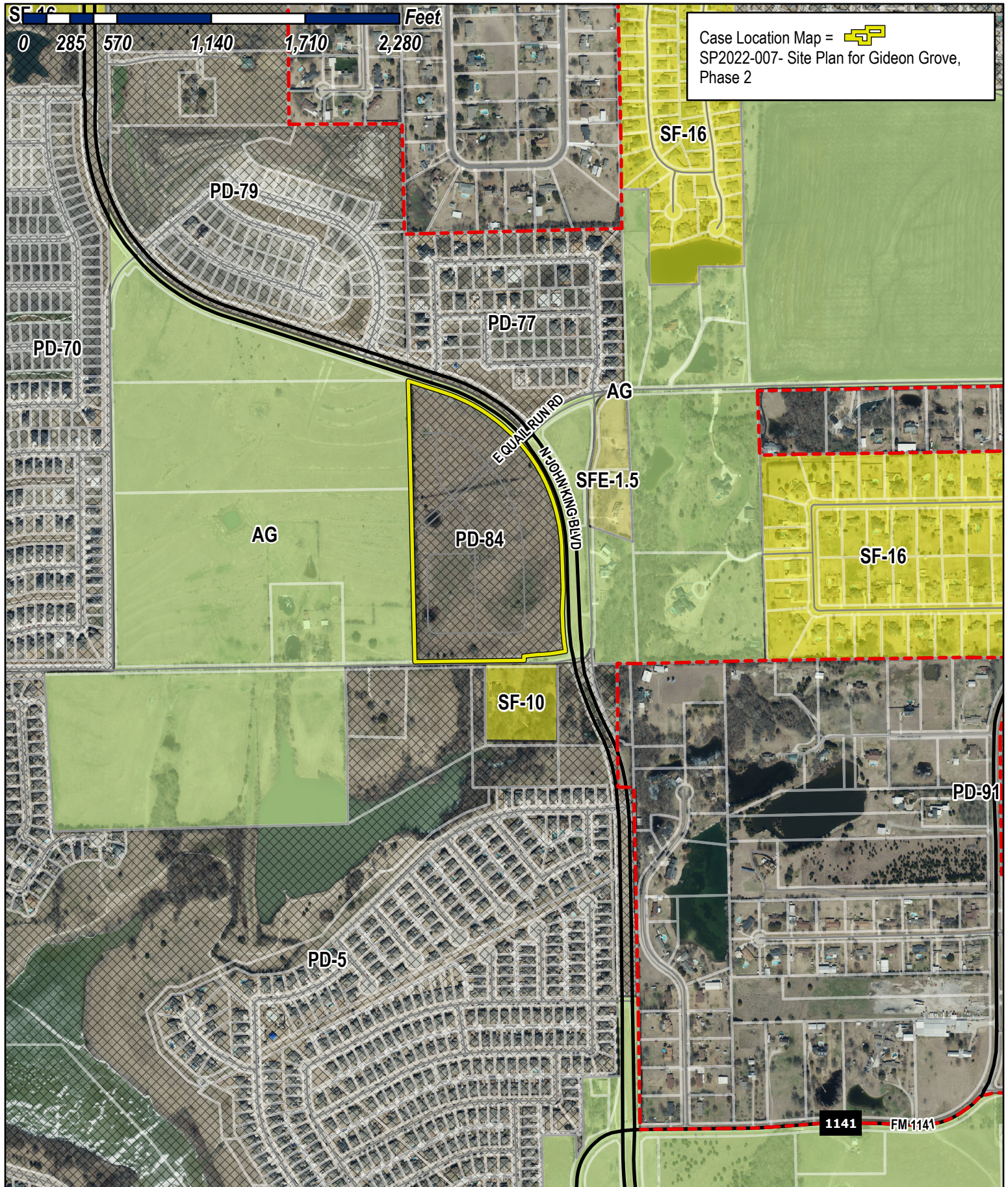
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.


OWNER'S SIGNATURE

John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 
SP2022-007- Site Plan for Gideon Grove,
Phase 2

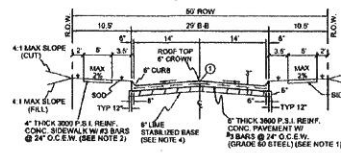
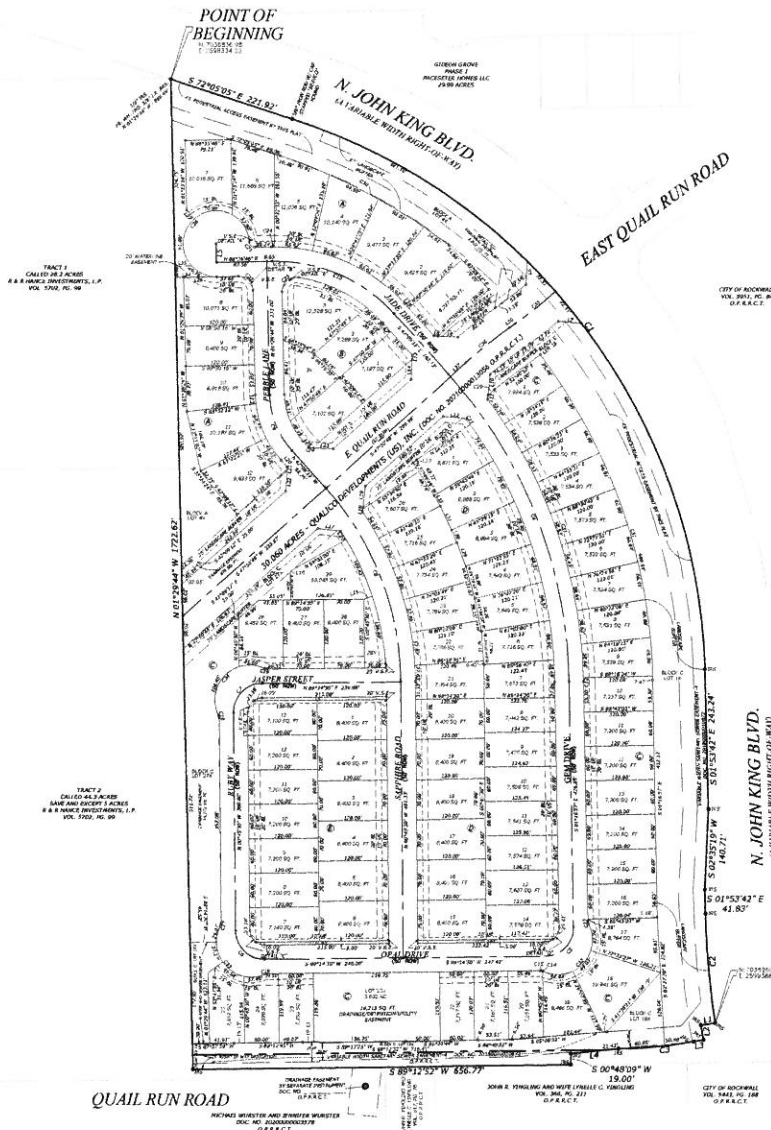
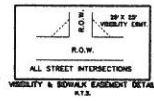
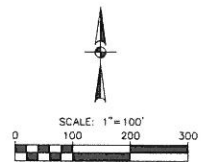


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

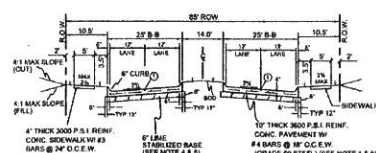
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



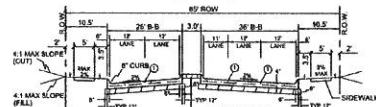


① SAWED LONGITUDINAL
CONTRACTION, OR
CONSTRUCTION JOINT

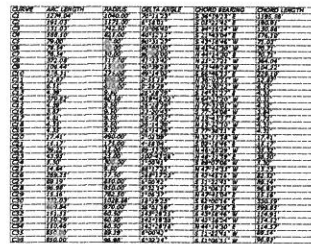
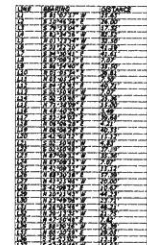
50' R.O.W. Residential Street
(Not to Scale)



① SAWED LONGITUDINAL
CONTRACTION, OR
CONSTRUCTION JOINT



Left Turn Section
(Not to Scale)



PD SITE PLAN
FOR
DEON GROVE
PHASE 2

OWNER/DEVELOPER
QUALICO DEVELOPERS (US), INC.
14400 THE LAKES BLVD.
PFLUGERVILLE, TX 78660
PHONE: (459) 659-5150
EMAIL: JOHN.VICK@QUALICO.COM
CONTACT: JOHN VICK

CONTAINING LOTS 1-12, 1X BLK A, LOTS 1-4, 1X, 3X
BLK B; LOTS 1-20, 1X, 18X, 25X, 27X BLK C, LOTS 1-25,
1X, 14X BLK D, LOTS 1-13, 1X, 8X BLK E
FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND
11 OPEN SPACE LOTS

BEING 30,066 ACRES OF LAND SITUATED IN THE
S.R. BARNES SURVEY, ABSTRACT 13
LOCATED IN CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS.



**PAPE-DAWSON
ENGINEERS**

PIERCE-MURRAY
LAND SOLUTIONS

Planning & Zoning Commission, Chairman _____ *Date* _____

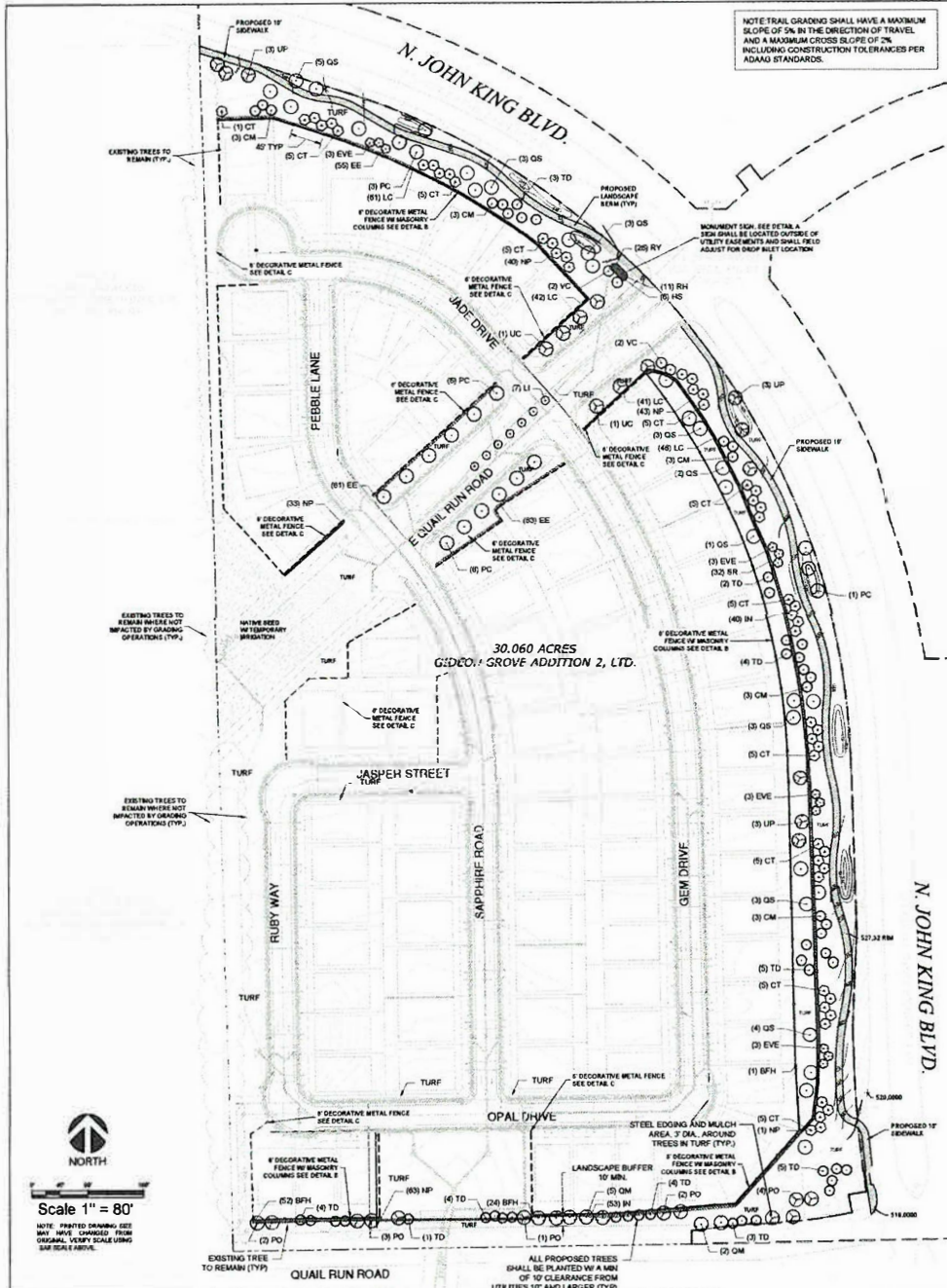
APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2021.

This approval shall be *void* unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred ninety (180) days from date and date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022

JAYMAY, CITY OF ROCKWALL CITY SECRETARY CITY ENGINEER

SP2022-0XX



LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
UNDERSTORY TREES REQUIRED:
UNDERSTORY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

2,028 LF
81 TREES (3 PER 100 LF OF FRONTAGE)
81 TREES
82 TREES (4 PER 100 LF OF FRONTAGE)
82 TREES
SHRUBS REQUIRED: 30'-40' IN HT
PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (NORTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

721 LF
15 TREES (1 PER 50 LF OF FRONTAGE)
18 TREES
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (SOUTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

784 LF
16 TREES (1 PER 50 LF OF FRONTAGE)
17 TREES
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

OLD E. QUAIL RUN ROAD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

958 LF
39 TREES (1 PER 25 LF OF FRONTAGE)
35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
CONTINUOUS HEDGE, 30'-40' IN HT
PROVIDED AS REQUIRED

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PARKING OR CURBS. ROOT BARRIERS SHALL BE "IDENTITY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS FOR HANDICAPPED RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTS. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QS	27	QUERCUS SHUMARER	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UP	9	ULMUS X HOMESTEAD	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6'-8' HT.
	CT	51	CEBIS CHAMADENDS TENENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
	EVE	12	SOPHORA AFFINIS	EVE'S MEDALLION	CONT.	1.5" CAL	8'-8' HT.
	LI	7	LAGERSTROEMIA INDICA WATERMELON RED	CRABE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
	VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BFH	108	ILEX CORNUTA BURFORD	BURFORD HOLLY	5 GAL	42" OC	30" HT. MIN.
	EE	228	ELAEAGNUS X EBENFOLIA	ELAEAGNUS	5 GAL	48" OC	30" HT. MIN.
	HS	8	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT. MIN.
	IN	83	ILEX X MELLIS R. STEVENS	MELLIS R. STEVENS HOLLY	5 GAL	48" OC	30" HT. MIN.
	LC	254	LORAPETALUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	38" OC	30" HT. MIN.
	NP	258	NEROLIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT. MIN.
	RH	11	RAPHANOPHYS INDICA	RED HAWTHORNE	5 GAL	38" OC	18" HT. MIN.
	RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT. MIN.
	SR	73	SPIRAEA CAMTCHENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT. MIN.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
	NATIVE	25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH		
	TURF	285,234 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	500		

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM 6'5" CLEARANCE FROM ANY CITY UTILITY THAT IS 10" IN D.I.E. AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH, NATURAL, UNDYED, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



08/04/2021

Skorburg Company
8214 Westchester Drive
Dallas, TX

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE
PLAN

Date: 08/04/2021
By: MNB
Checked by: MB/RM

LP-1

PRELIMINARY PLAT NO. P2020-046

A. MANIPULATIONS OF THE LICENSEE CONTRACTOR

1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED PERSON.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
3. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE CITY ENGINEER.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A VALID MARRIAGE AND FLUORIDATION CERTIFICATE ISSUED BY HIS COUNTY OF RESIDENCE TO THE CITY ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

B. SCOPE OF WORK

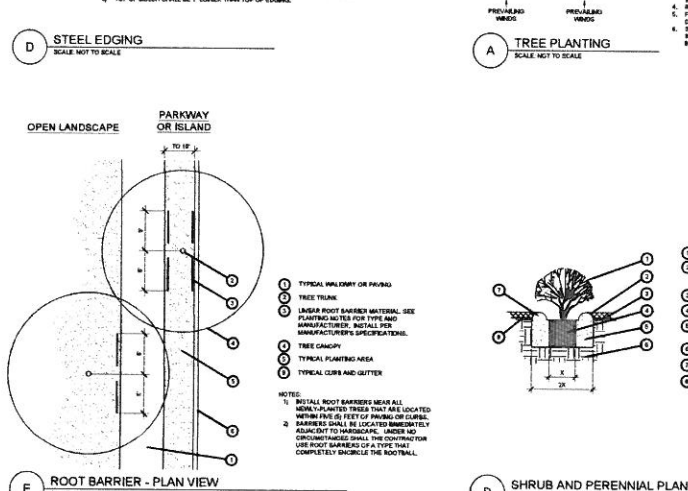
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND INSTALLATION OF ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, AND SUPPLIES. THERE ARE NO OTHER ITEMS THAT ARE NECESSARY FOR THE ERECTION, INSTALLATION AND COMPLETION OF ALL WORK. SPECIFIED HEREIN AND/OR SHOWN ON THE PLANS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, INSTALLATION AND MAINTENANCE OF THE PROJECT.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY WORK. (WATER, GAS, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

[illegible][illegible][illegible][illegible]

2. **REMOVE PERENNIAL AND GRASSROOTS PLANTING**
a. REMOVE PERENNIALS AND GRASSROOTS FROM THE LEASE DEED AS EACH PLANT'S ROOTBALL, INSTALL THE PLANT IN THE HOLE, SACRIFICE AROUND THE PLANT WITH SOIL AMENDED PER TEST RECOMMENDATIONS.
3. **INSTALL THE NEED BARBERS COIL, OVERLAPPLAIT IT AT THE END, UTILITY STEEL STAKES TO KEEP THE PLANTING IN PLACE.**
4. **REMOVE PLANTING IS COMPLETE, COVER PLANT MAT TYPE AND DEPTH PER PLANS- OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.**
5. **SCOOING**
a. SOIL WHIRLITY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
b. SOIL WHIRLITY IN AROUND THE PLANTING, TIME OF STRIPING, DO NOT SAY IF THE GROUND IS FROZEN, SAY THE SOIL TO FORM A SOIL MADE WITH TWENTY FIFTY JOINTS, BOLD AND SLOES OF GOOD STRIPS, DO NOT OVERLAP, STAGGER STRIPS TO OBTAIN JOINTS IN ADJACENT COURSES.
c. STRIPS DO NOT TO ENLARGE HOLES, BUT TO COVER THE HOLES.
d. MAINTAINANCE.
e. MAINTAIN THE PLANTING WITHIN A FINE SPREAD APPROPRIATE AFTER PLANTING TO OBTAIN AT LEAST 2 INCHES OF PENETRATION INTO THE SOIL, BELOW THE SOIL.
6. **WEEDING**

[illegible][illegible]

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE ALL NECESSARY PERMITS AND SERVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-ROAD COVERAGE.
4. ALL PLANTS SHOWING SIMILAR HORIZONE CHARACTERISTICS SHALL BE PLACED IN A VALVE DESIGNED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HORIZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND BY PROVIDING THE NECESSARY RATE TUNING:
 - a. VARIABLE RATE IRRIGATION
 - b. PULSED IRRIGATION
 - c. WIND-SENSITIVE SPRAY HEADS
 - d. VARIABLE FLOW CONTROLLERS
 - e. RAIN SENSORS
 - f. MULTI-PROGRAM COMPUTERS FOR IRRIGATION SCHEDULING
 - g. FEATURED SENSORY INPUT CAPABILITIES.

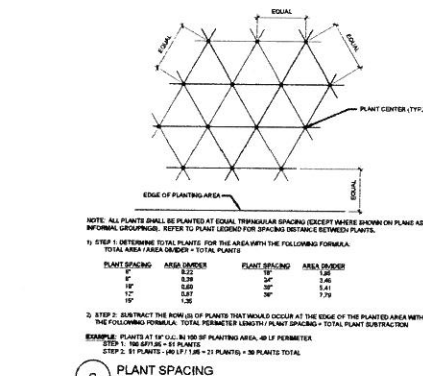


BY SUBMITTING A PROPOSAL, THE LANDSCAPE PLANNING SERVICE OF AGENCIES, THE CONTRACTOR CERTIFIES THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL EXISTING VEGETATION (EXCEPT THOSE NOTED TO REMAIN).

THE NOTES TO THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISHED GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AND NOT TO THE FINISHED GRADE OF THE CONSTRUCTION.

FOR STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL AREAS TO BE PLANTED ARE ACCURATE AND THAT THE PLANTING MATERIALS ARE AVAILABLE FOR THE PLANTING ACTION ON TURF AREA AND PLANTED BED PREPARATION.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND EXISTING GRADING PLANS, AND CONTRACT AND MATERIALS SPECIFICATIONS AS RECOMMENDED BY THE GEOTECHNICAL REPORTING. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM FOUNDATION STRUCTURES. SPECIFICATIONS IN THE REPORT AND ON THE GRADING PLANS AND AREAS OF POTENTIAL POISSONS SHALL BE RECORDED TO AVOID ANY FUTURE PROBLEMS.



SCALE: NTS



Project Name **Gideon Grove Phase 2**
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE
DETAILS

Project Number	
Date	07/30/20
Drawn By	MM
Checked By	MB/R

LP-3



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Planner*

DATE: March 15, 2022

SUBJECT: SP2022-007; *Site Plan for Gideon Grove Phase 2 Subdivision*

The applicant, Meredith Joyce of Michael Joyce Properties, is requesting the approval of a site plan for Phase 2 of the Gideon Grove Subdivision. The subject property is a 30.36-acre tract of land (*i.e. being a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13*) generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard. Currently, Phase 2 of the Gideon Grove Subdivision has been approved for a *Preliminary Plat* [Case No. P2020-046] and *Final Plat* [Case No. P2021-019], and -- *in accordance with the submittal schedule contained in the Planned Development District* -- the applicant has submitted an application for a *Site Plan*. As part of this site plan application the applicant has submitted a site plan, landscape plan, and hardscape plan.

The site plan indicates that 84 single-family lots and eleven (11) open space lots will be provided in accordance with the requirements of Planned Development District 84 (PD-84). The landscape plan shows that three (3) canopy and four (4) accent trees will be provided per 100 linear feet of frontage along John King Boulevard, one (1) canopy tree will be provided per 50 linear feet of frontage along E. Quail Run Road, and one (1) canopy tree will be provided per 25 linear feet of frontage along Old E. Quail Run Road. Staff should note that the tree mitigation balance identified in the approved treescape plan [Case No. P2020-046] has been accounted for in the landscape plan, and the mitigation balance has been satisfied. The hardscape plan details the entry monumentation signage and the fence type for each lot (*i.e. wrought iron fence, wood fence, and a wrought iron fence with masonry columns*) as required throughout the subdivision by the Planned Development District. The submitted site plan conforms to all the applicable technical requirements of Planned Development District 84 (PD-84) and the Unified Development Code (UDC), and based on this the case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the March 15, 2021 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION Gideon Grove, Phase 2

LOT

BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ORD. NO. 17-25, PD-84

CURRENT USE VACANT / AGRICULTURAL

PROPOSED ZONING ORD. NO. 17-25, PD-84

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 30.0.60 AC

LOTS [CURRENT] 1

LOTS [PROPOSED] 84

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Qualico Development (US), Inc.

☐ APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 14400 The Lakes Blvd.

ADDRESS 767 Justin Road

CITY, STATE & ZIP Pflugerville, TX 78660

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 469-659-6150

PHONE 512-694-6394

E-MAIL john.vick@qualico.com

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

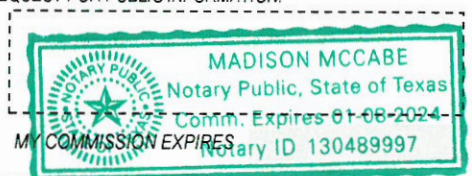
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ February 2022 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

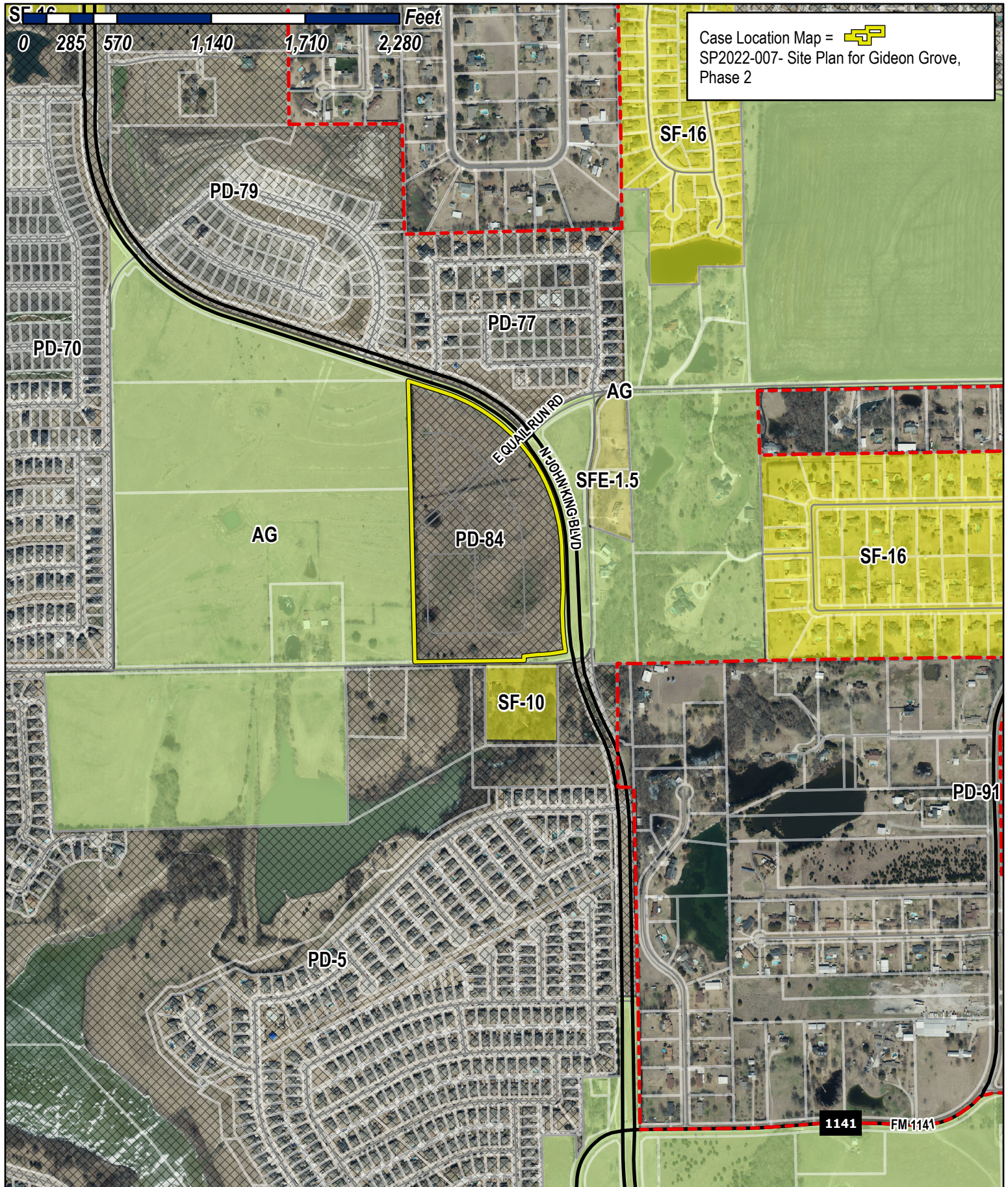
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.

OWNER'S SIGNATURE

John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



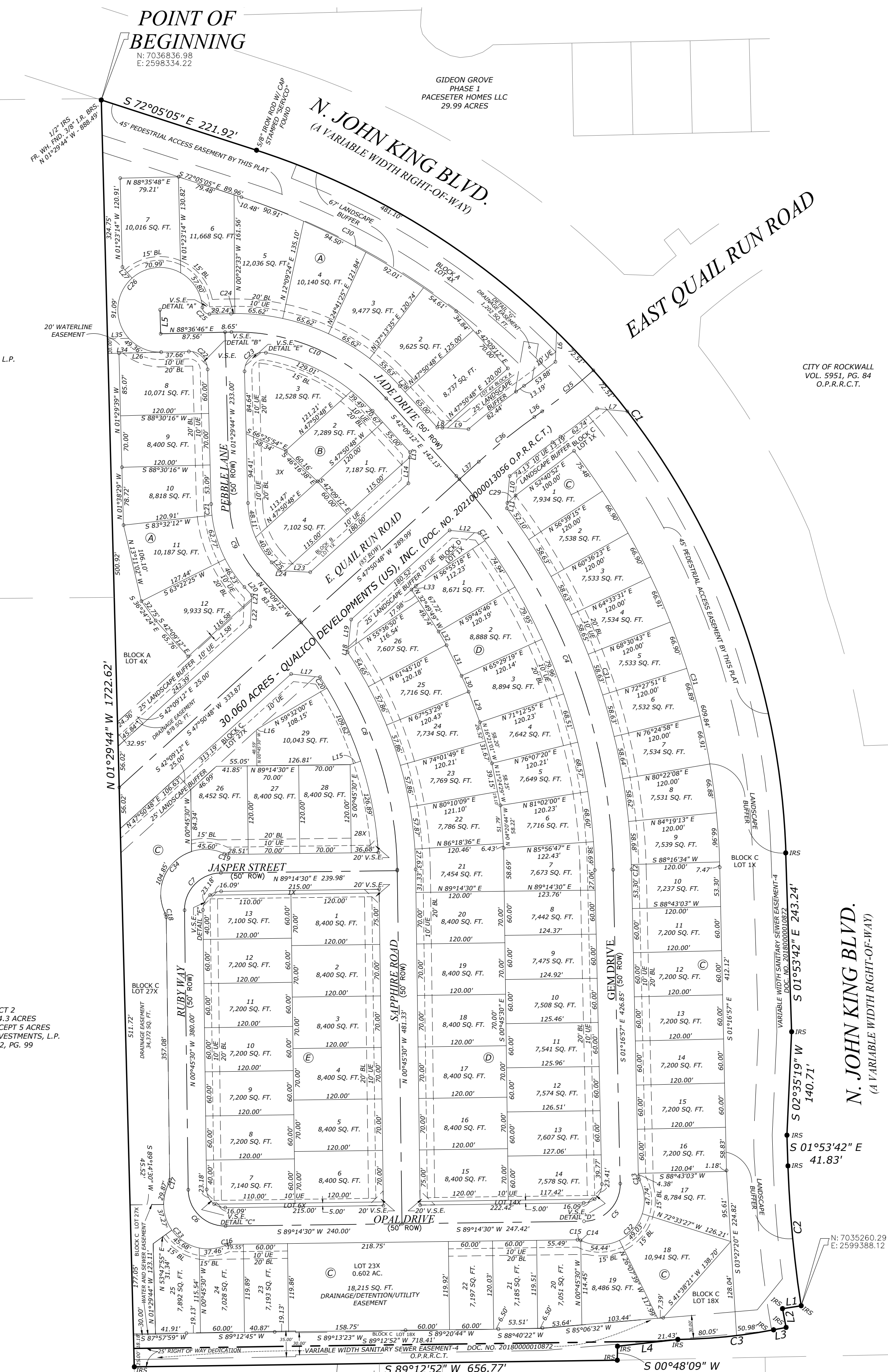
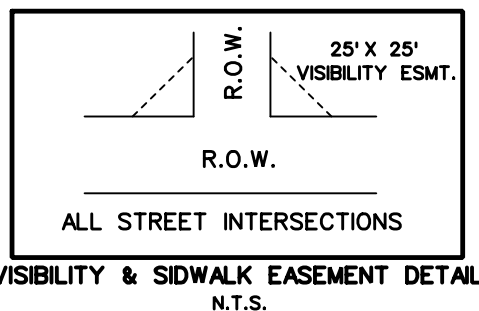
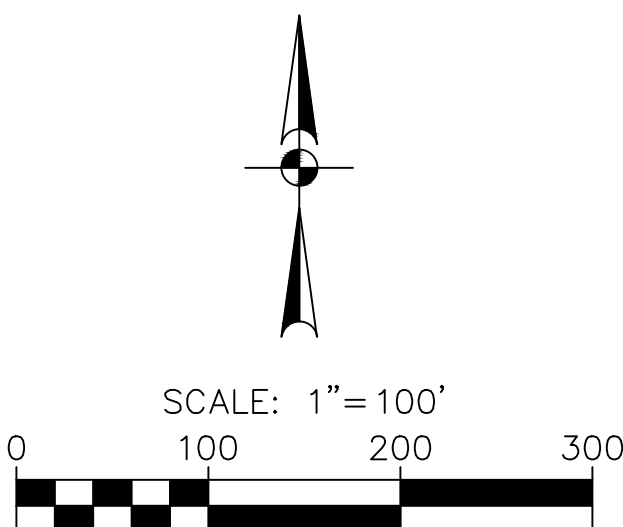
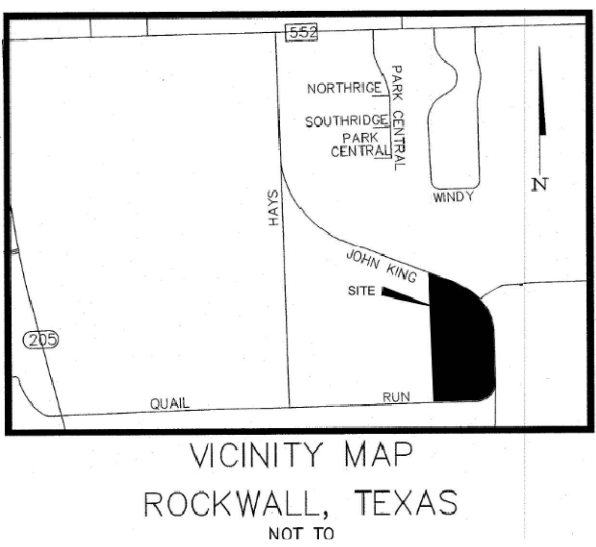


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





QUAIL RUN ROAD

MICHAEL WURSTER AND JENNIFER WURSTER
DOC. NO. 2020000003578
O.P.R.R.C.T.

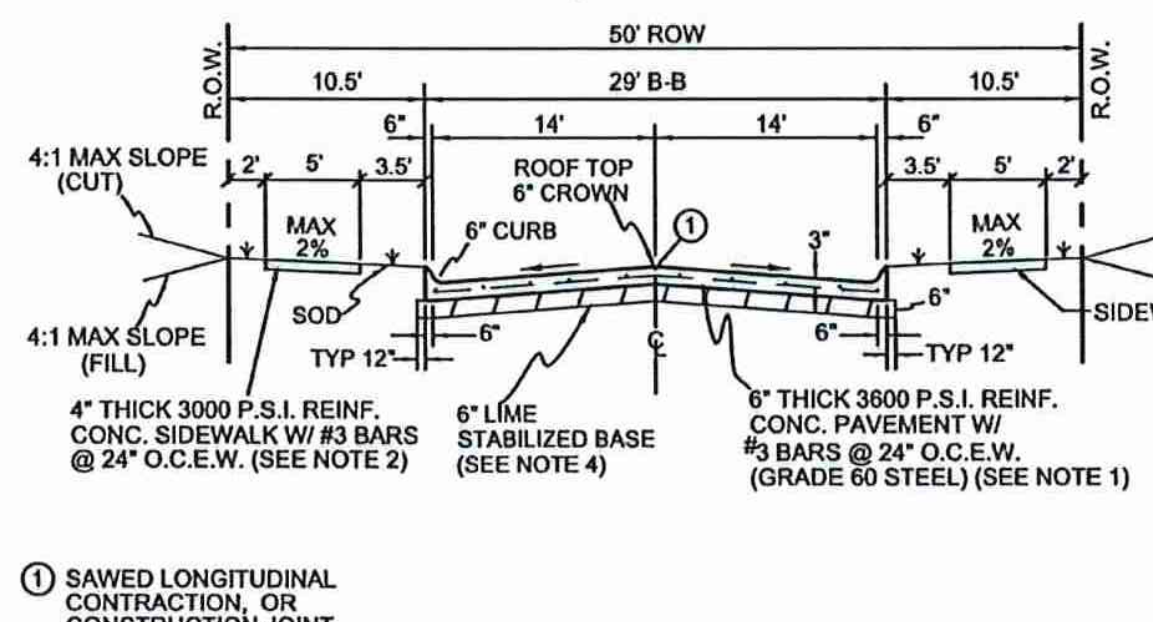
JOHN R. YINGLING AND WIFE LYNELLE C. YINGLING
VOL. 366, PG. 211
O.P.R.R.C.T.

CITY OF ROCKWALL
VOL. 5443, PG. 188
O.P.R.R.C.T.

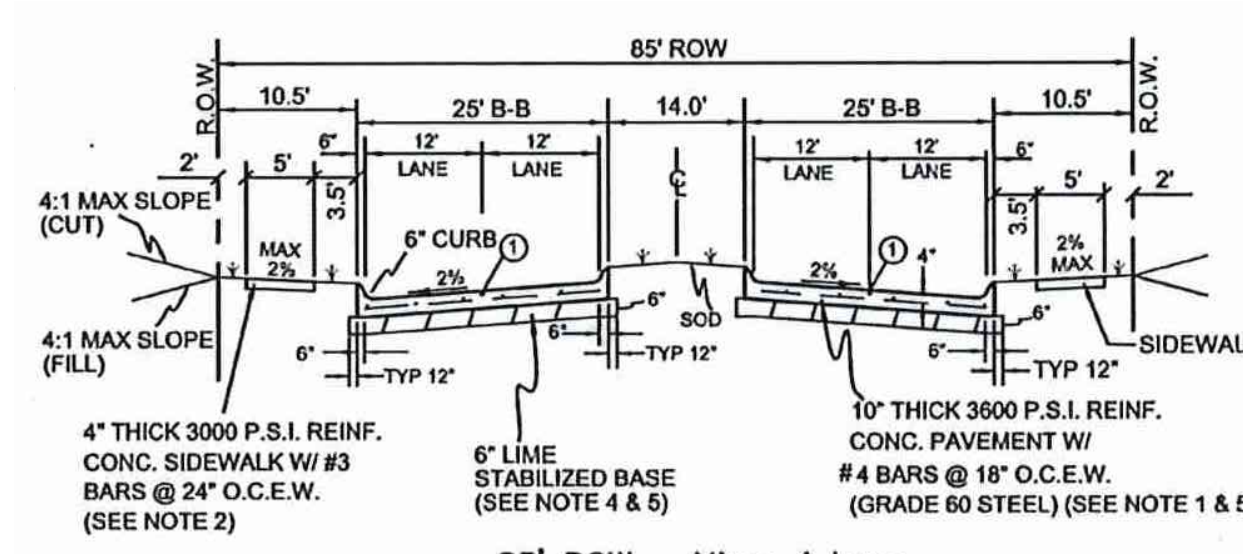
N. JOHN KING BLVD.
(4 VARIABLE WIDTH RIGHT-OF-WAY)

LOT 1, BLOCK A
D.R. TAYLOR ADDITION
O.P.R.R.C.T.

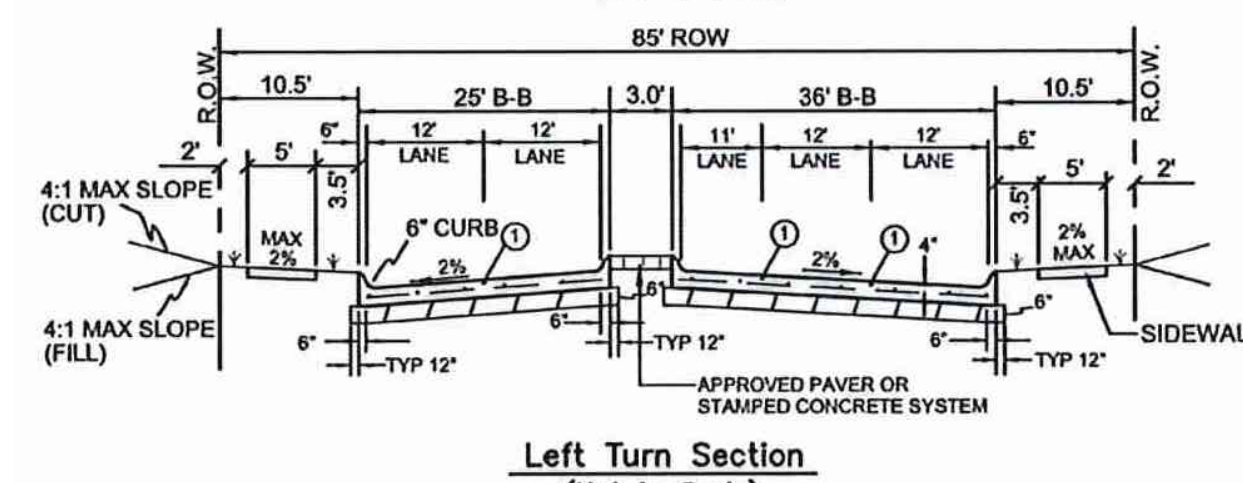
LINE	BEARING	DISTANCE
L1	S 81°07'57" W	25.65'
L2	S 10°46'55" E	25.00'
L3	S 79°13'04" W	17.32'
L4	S 83°34'16" W	82.52'
L5	S 70°15'14" W	32.50'
L6	S 01°12'10" W	41.19'
L7	S 84°30'41" E	41.61'
L8	S 87°09'12" E	7.07'
L9	N 05°05'54" E	35.01'
L10	N 05°05'54" E	35.01'
L11	N 05°05'54" E	7.30'
L12	S 84°55'43" E	40.71'
L13	S 02°40'48" W	7.07'
L14	S 02°40'48" W	35.36'
L15	N 71°38'09" E	15.00'
L16	N 48°40'32" E	4.83'
L17	S 84°34'03" E	39.68'
L18	N 06°06'28" E	4.21'
L19	N 06°06'28" E	40.55'
L20	S 42°09'12" E	15.12'
L21	S 02°40'48" W	4.83'
L22	N 87°09'12" W	37.59'
L23	N 87°09'12" W	35.36'
L24	N 87°09'12" W	17.07'
L25	N 42°09'12" W	15.12'
L26	S 02°40'48" W	4.83'
L27	N 41°35'46" W	20.00'
L28	S 42°09'12" E	10.67'
L29	N 20°21'43" W	44.23'
L30	N 23°49'06" E	23.71'
L31	N 26°03'46" W	46.21'
L32	N 30°13'35" W	21.75'
L33	N 47°50'48" E	2.62'
L34	S 88°30'15" W	22.39'
L35	N 88°30'15" E	29.05'
L36	S 54°52'10" W	13.19'
L37	S 47°50'48" W	35.63'



50' R.O.W. Residential Street
(Not to Scale)



85' ROW - Minor 4 Lane
Divided Arterial
Regular Section
(Not to Scale)



Left Turn Section
(Not to Scale)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1254.04'	1040.00'	70°11'23"	S 30°59'23" E	1195.86'
C2	191.03'	1571.00'	6°58'01"	S 05°22'42" E	190.91'
C3	131.03'	742.50'	10°06'40"	S 21°43'04" E	576.10'
C4	588.50'	825.00'	40°52'15"	S 21°43'04" E	576.10'
C5	79.00'	50.00'	90°00'00"	S 43°58'46" W	70.71'
C6	78.54'	50.00'	90°00'00"	N 44°14'30" E	70.71'
C7	78.54'	50.00'	90°00'00"	N 44°14'30" E	70.71'
C8	372.08'	515.00'	41°53'42"	N 21°27'21" W	364.04'
C9	106.44'	150.00'	40°39'28"	N 21°49'28" W	104.22'
C10	236.31'	275.00'	49°14'03"	N 68°46'13" E	229.10'
C11	12.87'	800.00'	0°55'18"	N 36°03'55" W	12.87'
C12	6.55'	850.00'	0°26'29"	N 01°30'12" W	6.55'
C13	4.39'	9.50'	26°58'59"	S 14°51'07" E	4.35'
C14	379.82'	60.50'	359°42'22"	N 64°25'20" W	0.31'
C15	4.39'	9.50'	26°58'59"	S 14°51'07" E	4.35'
C16	3.82'	9.50'	23°20'43"	S 77°34'08" W	3.84'
C17	4.81'	9.50'	28°58'55"	N 13°43'57" E	4.75'
C18	4.35'	8.50'	28°14'59"	N 13°43'57" E	4.31'
C19	4.35'	9.50'	26°14'39"	S 77°38'11" E	4.31'
C20	17.41'	490.00'	0°00'00"	N 30°11'58" W	17.41'
C21	15.12'	175.00'	4°58'04"	S 01°58'46" E	15.13'
C22	39.52'	25.00'	69°53'10"	N 13°43'57" E	4.75'
C23	43.95'	25.00'	100°43'26"	N 48°51'59" E	38.50'
C24	5.30'	300.00'	1°00'41"	S 89°07'06" W	5.30'
C25	14.64'	588.1253'	88°17'23"	N 44°14'30" E	13.31'
C26	269.25'	57.50'	268°17'23"	S 42°45'26" W	82.52'
C27	89.19'	850.00'	6°00'42"	S 51°22'41" W	13.19'
C28	96.98'	850.00'	6°32'14"	S 51°06'55" W	96.93'
C29	15.16'	782.50'	1°06'37"	N 47°45'04" E	15.16'
C30	132.03'	1028.88'	18°29'23"	S 62°00'16" E	330.59'
C31	609.84'	970.00'	36°01'19"	S 19°17'36" E	599.85'
C32	151.51'	60.50'	143°29'25"	S 43°58'46" W	114.91'
C33	150.29'	60.50'	142°19'38"	N 42°56'24" W	114.52'
C34	150.46'	60.50'	142°19'18"	N 44°14'30" E	114.57'
C35	850.00'	96.98'	6°32'14"	S 51°22'41" W	89.19'
C36	850.00'	96.98'	6°32'14"	S 51°06'55" W	96.93'

PD SITE PLAN
FOR

GIDEON GROVE PHASE 2

CONTAINING LOTS 1-12, 4X BLK A; LOTS 1-4, 1X, 3X
BLK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X BLK C; LOTS
1-26, 1X, 14X BLK D; LOTS 1-13, 1X, 6X BLK E
FOR A TOTAL OF 64 SINGLE FAMILY LOTS AND
12 OPEN SPACE LOTS

BEING 30.060 ACRES OF LAND SITUATED IN THE
S.R. BARNES SURVEY, ABSTRACT 13
LOCATED IN CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS.

**PAPE-DAWSON
ENGINEERS**

FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FAY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

**PIERCE-MURRAY
LAND SOLUTIONS**
Engineering & Surveying
800 TALLYHO CIRCLE
FLOU, TEXAS 75003
(817) 239-5646
(903) 530-2256
TBLPS FIRM REGISTRATION NO. 10194437

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the
Planning and Zoning Commission of the City of Rockwall on the ____ day of ____, 2022.

WITNESS OUR HANDS, this ____ day of ____, 2022

Planning & Zoning ommission, **chairman** _____ **Director of Planning and Zoning** _____

SP2022-007



NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
UNDERSTORY TREES REQUIRED:
UNDERSTORY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

2,028 LF
61 TREES (3 PER 100 LF OF FRONTAGE)
61 TREES
82 TREES (4 PER 100 LF OF FRONTAGE)
82 TREES
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

E QUAIL RUN ROAD (NORTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

721 LF
15 TREES (1 PER 50 LF OF FRONTAGE)
16 TREES
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

E QUAIL RUN ROAD (SOUTH SIDE)
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

794 LF
16 TREES (1 PER 50 LF OF FRONTAGE)
17 TREES
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

OLD E QUAIL RUN ROAD
FRONTAGE LENGTH:
CANOPY TREES REQUIRED:
CANOPY TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

958 LF
39 TREES (1 PER 25 LF OF FRONTAGE)
35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
CONTINUOUS HEDGE, 30"-48" IN HT
PROVIDED AS REQUIRED

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QS	27	QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	TD	60	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UC	21	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UP	9	ULMUS X 'HOMESTEAD'	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	3" CAL MIN	6'-8' HT
	CT	51	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 3" OVERALL	6'-8' HT MIN
	EVE	12	SOPHORA AFFINIS	EVE'S NECKLACE	CONT.	3" CAL MIN	6-8' HT.
	LI	7	LAGERSTROEMIA INDICA 'WATERMELON RED'	CRAPE MYRTLE	CONT.	3-5 CANES, 3" OVERALL	6'-8' HT MIN
	MP	25	PRUNUS MEXICANA	MEXICAN PLUM	CONT.	3" CAL MIN	MIN. 8' HT.
	VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 3" OVERALL	6'-8' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	BFH	108	ILEX CORNUTA 'BUFORDII'	BURFURD HOLLY	5 GAL	42" OC	30" HT MIN
	EE	220	ELAEAGNUS X EBBINGEI	ELAEAGANUS	5 GAL	48" OC	30" HT MIN
	HS	6	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT MIN
	IN	93	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5 GAL	48" OC	30" HT MIN
	LC	234	LORAPETALUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	36" OC	30" HT MIN
	NP	383	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT MIN
	RH	11	RAPHIOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	36" OC	18" HT MIN
	RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT MIN
	SR	73	SPIRAEA CANTONIENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT MIN

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	NATIVE	25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH
	TURF	292,616 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	SOD

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.



Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

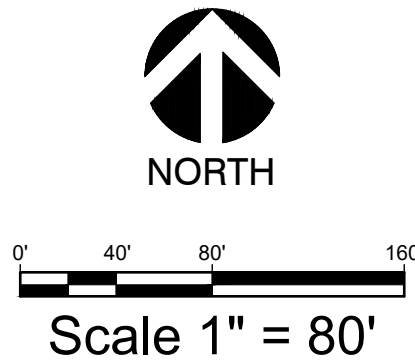
Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-1



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.
WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALU NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHAPES, AND BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE FINAL AUTHORITY AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
 - TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
 - COMPOST: WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECIGRAMS; NOT EXCEEDING 0.5 PERCENT NITRIT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
 - FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
 - MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
 - TREE STAKING AND GUYING
 - STAKES: 1/2" LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
 - STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUIVALENT.
 - PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BODEN REAKTION INDEX (BRI).
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PROVIDED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS. PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
 - THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

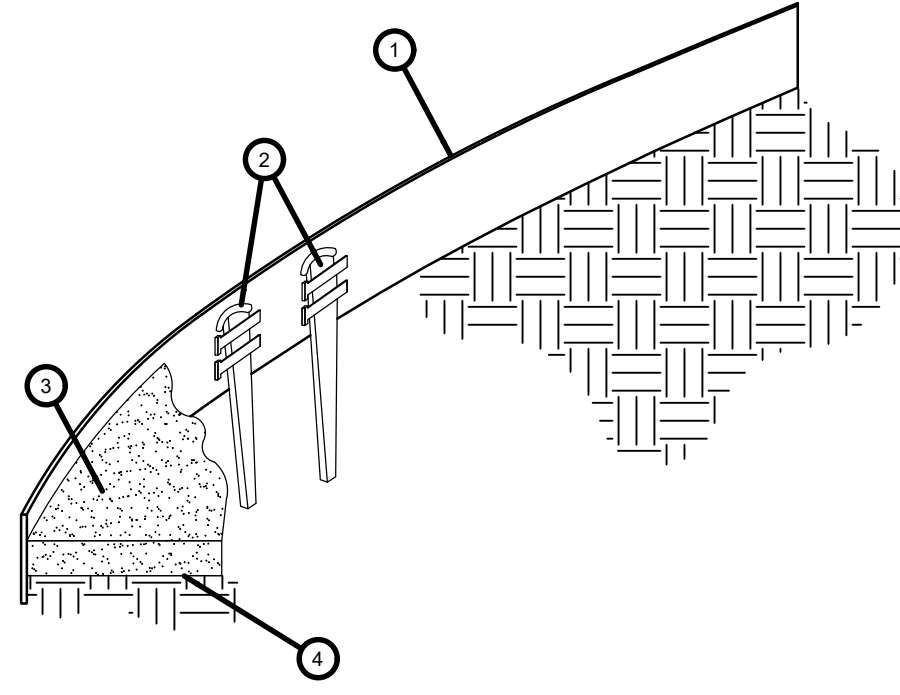
SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STOCK FOR SCALE, PHOTOS OR SAMPLES OF ALL TESTED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES, SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIE WIRING, AND LANDSCAPE FABRICS (IF ANY).
 - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TRUNKS:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHOULDER EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST-HEIGHT (4'5" ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. UNBAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND B&B TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOT OR OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE PLANTING HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1-2" TREES: TWO STAKES PER TREE
 - 2-1/2" - 4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- DIG THE PLANTING HOLES DEEPER AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS OF THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. MULCH
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEED PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN 10' X 10' SHALL BE RESEEDS (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
 - PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDS AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DESIGNED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



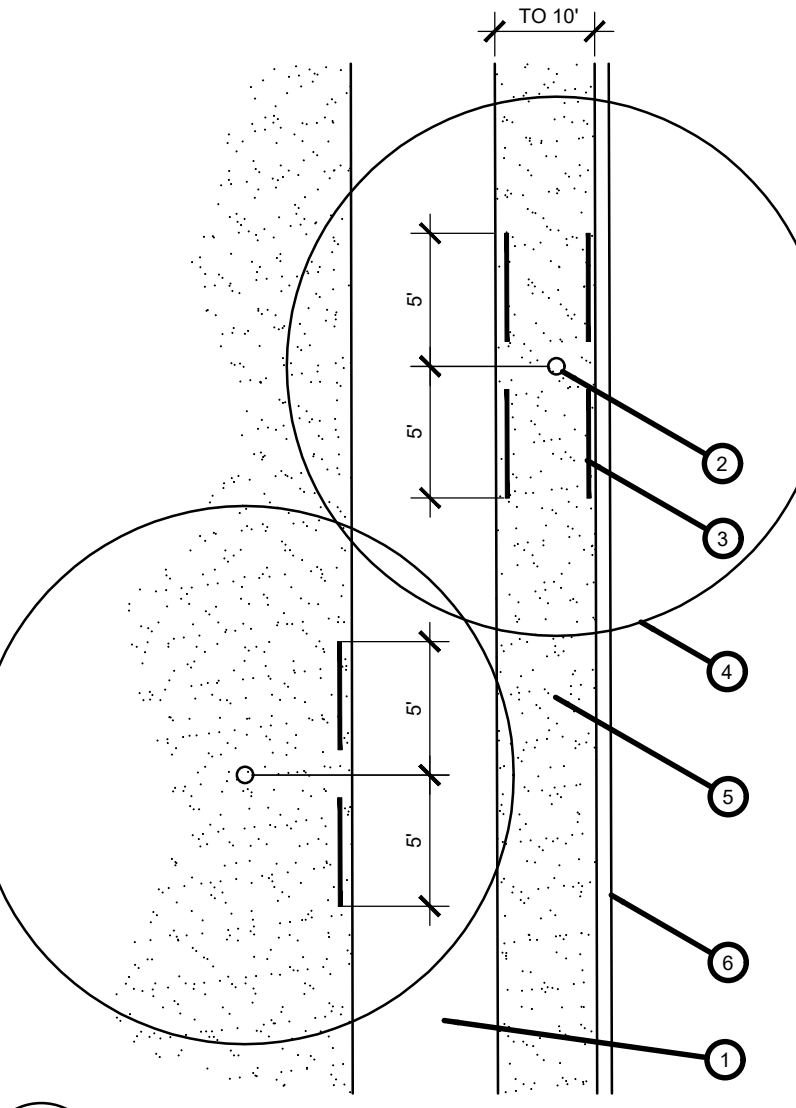
- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

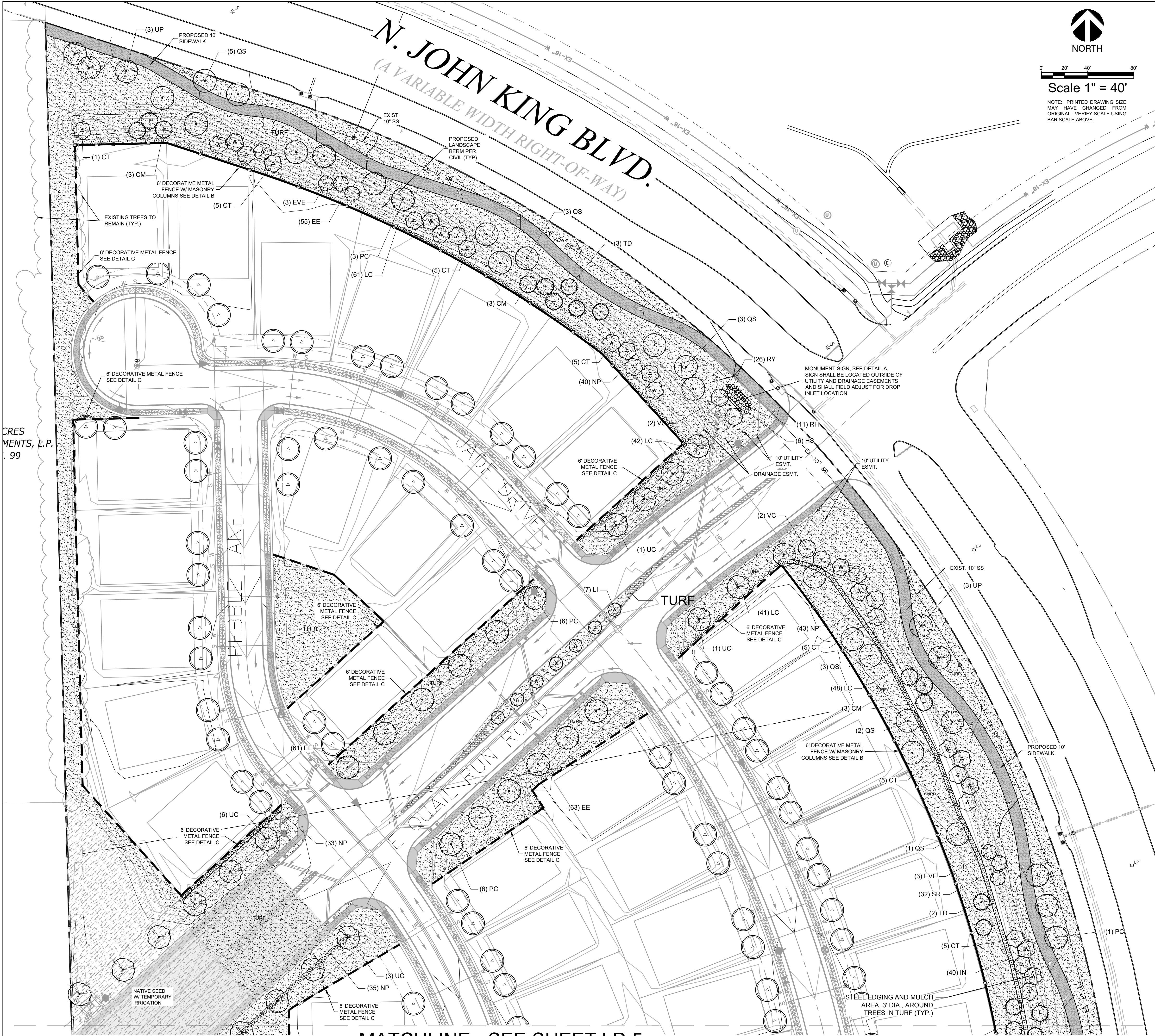
- NOTES:
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING

SCALE: NOT TO SCALE

OPEN LANDSCAPE

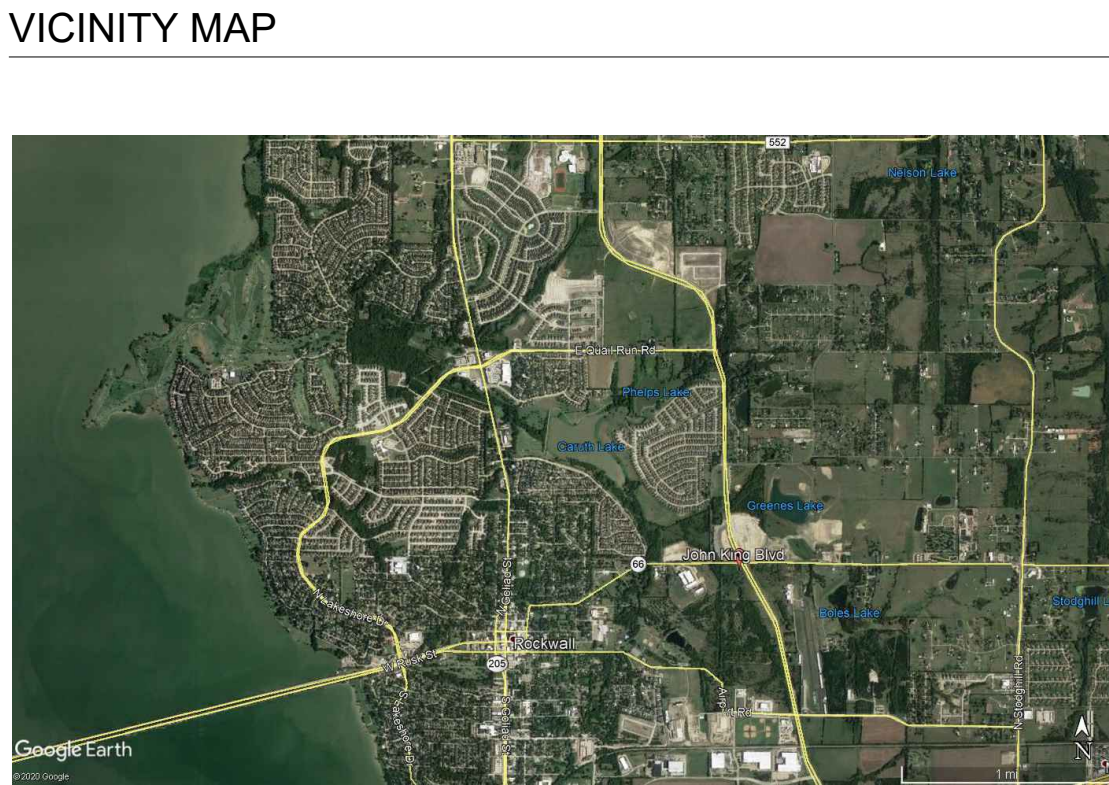




NORTH

Scale 1" = 40'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10' IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREE SCHEDULE

LOT TREES	184
TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).	
TREES MUST BE SELECTED FROM THE FOLLOWING LIST: BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW	

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED: I hereby certify that the above and foregoing plat for an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

03/04/2022

Owner

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Project Name

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number

Date **08/04/2021**

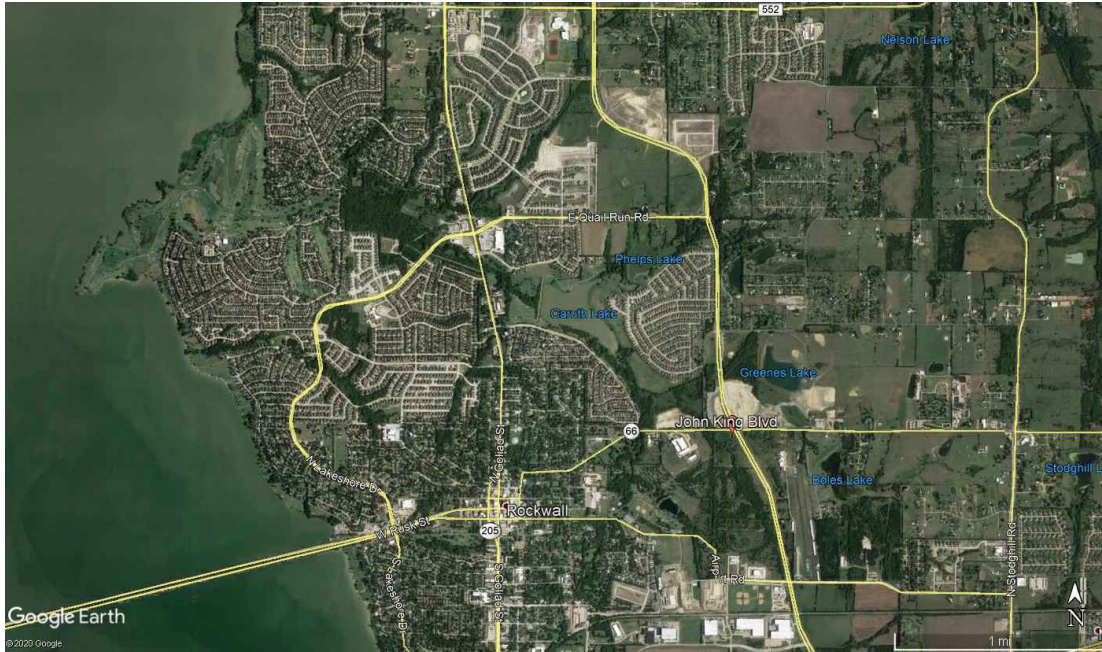
Drawn By **MNB**

Checked By **MB/RM**

LP-4

MATCHLINE - SEE SHEET LP-4

VICINITY MAP



EVERGREEN
DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy, Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com



03/04/2022

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

LANDSCAPE
PLAN

Date Comment

Project Number
Date 08/04/2021
Drawn By MNB
Checked By MB/RM

LP-5

UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREE SCHEDULE

LOT TREES
TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

TREES MUST BE SELECTED FROM THE FOLLOWING LIST:
BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE



Scale 1" = 40'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

Planning & Zoning Commission, Chairman

Date

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER

CASE NO.: SP2022-007

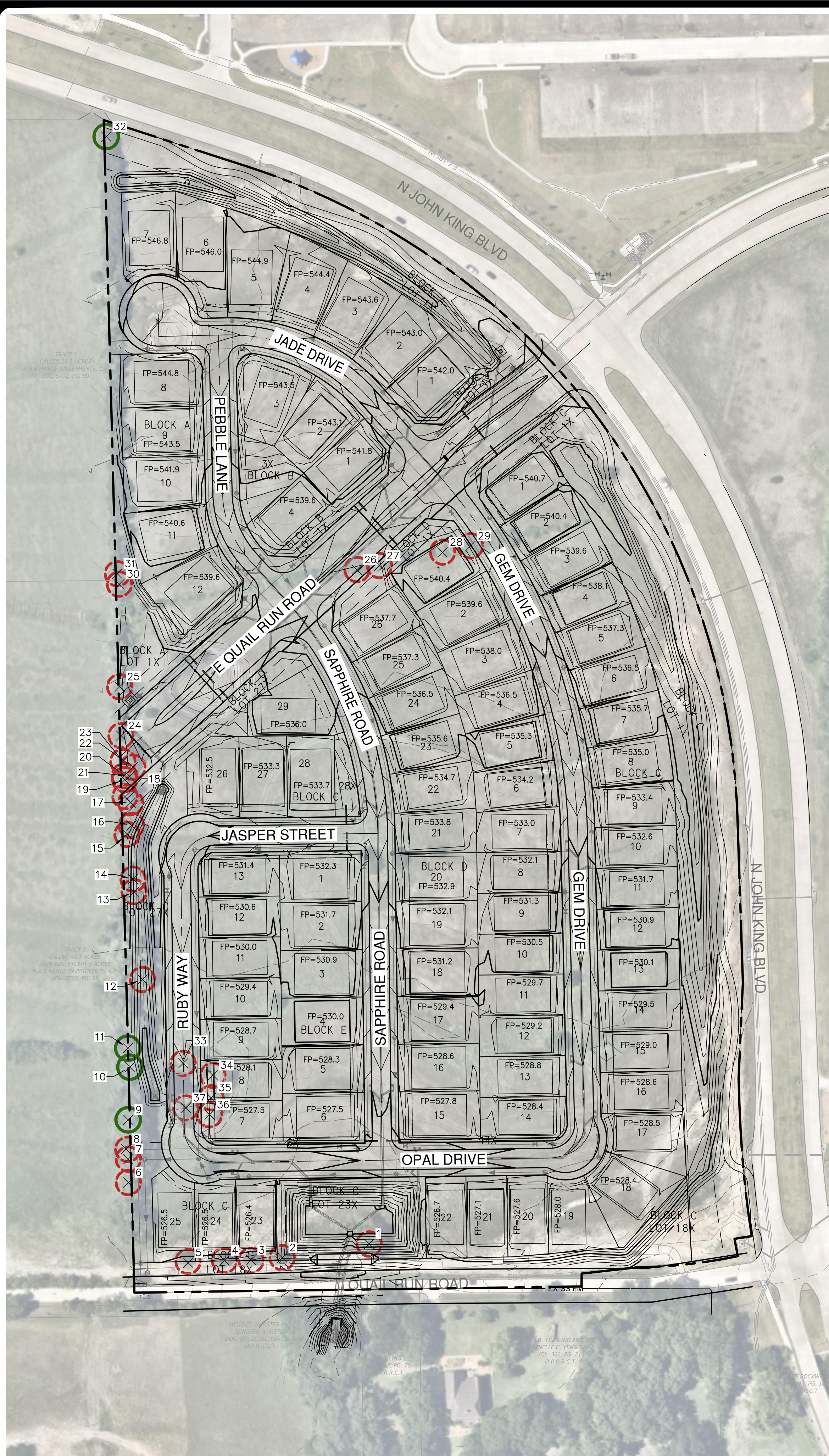
PRELIMINARY PLAT NO.: P2020-046

ALL PROPOSED TREES SHALL BE PLANTED W/ A MIN OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER (TYP)

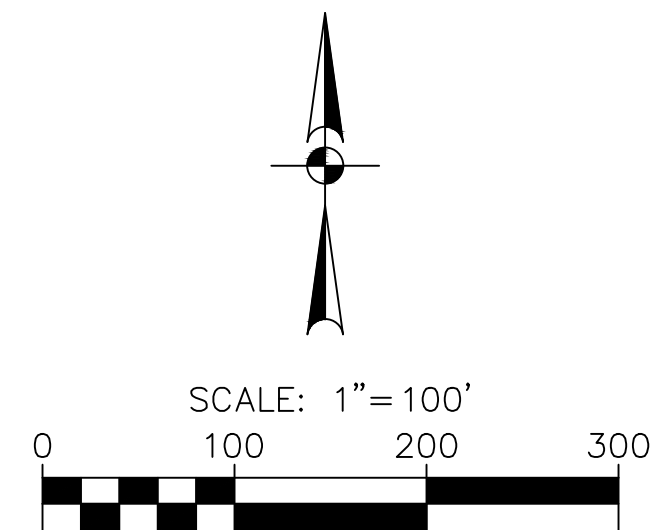
10' OFFSET LINE FROM EXIST. UTILITIES

QUAIL RUN ROAD

RES
ACRES
ENTS, L.P.
99



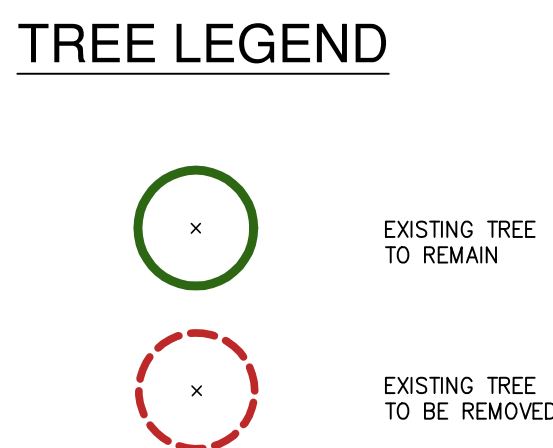
EXISTING TREE INFORMATION						
TREE #	CALIPER (IN)	TREE SPECIES	REMARKS	EXEMPTIONS	REQ. MITIGATION	MITIGATION INCHES
001	10	CEDAR ELM	TO BE REMOVED	SECONDARY PROTECTED	1": 1"	10
002	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
003	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
004	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
005	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
006	14	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	7
007	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	8
008	45	ASH	TO BE REMOVED	FEATURED PROTECTED	1": 2"	90
009	44	HACKBERRY	TO BE PRESERVED	FEATURED PROTECTED	NO CREDIT DUE TO SPECIES	0
010	12	CEDAR ELM	TO BE PRESERVED	SECONDARY PROTECTED	NO CREDIT DUE TO SIZE	0
011	24	HACKBERRY	TO BE PRESERVED	SECONDARY PROTECTED	NO CREDIT DUE TO SPECIES	0
012	8	WILLOW	TO BE PRESERVED	NOT PROTECTED	0	0
013	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1" +0.5"	8
014	4	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
015	8	CEDAR ELM	TO BE REMOVED	NOT PROTECTED	0	0
016	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
017	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
018	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
019	4	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
020	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
021	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
022	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
023	20	PECAN	TO BE REMOVED	FEATURED PROTECTED	1": 1"	20
024	6	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
025	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
026	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
027	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
028	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
029	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
030	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
031	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
032	6	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
033	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
034	20	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
035	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
036	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
037	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
TOTAL EXISTING INCHES						426
MITIGATION INCHES						173
PRESERVED INCHES						0
TOTAL REPLACEMENT INCHES						173
TOTAL INCHES PLANTED PER LOT REQUIREMENTS						516 (343 EXCEEDED)



BENCHMARKS

BM NO. 1	BM NO. 2
X-CUT SET IN CONCRETE LOCATED IN THE SOUTHWESTLY CURB LINE OF NORTH 435' SOUTHWEST OF THE NORTHWEST CORNER OF THE SUBJECT TRACT AND 1/2 S35' NORTHWEST OF THE INTERSECTION OF JOHN KING BOULEVARD AND EAST QUAIL RUN ROAD.	X-CUT SET IN CONCRETE LOCATED IN THE CENTER OF A CURB INLET IN THE WEST CURB LINE OF NORTH JOHN KING BOULEVARD AND 723' - 662' NORTH OF THE INTERSECTION OF JOHN KING BOULEVARD AND WEST QUAIL RUN ROAD AND 723' - 732' SOUTHEAST OF THE INTERSECTION OF JOHN KING BOULEVARD AND EAST QUAIL RUN ROAD.
ELEV. 546.16'	ELEV. 530.38'

THIS DOCUMENT IS
RELEASED FOR
"REVIEW PURPOSES
UNDER THE
AUTHORIZATION OF
ADAM S. REEVES,
P.E. #98410
APRIL 15, 2021.
IT IS NOT FOR
CONSTRUCTION OR
PERMIT PURPOSES.



TREE REQUIREMENT NOTE

REQUIRED TREE PLANTING:
INTERIOR LOT - 82; 2@3"/EA; 492"
CORNER LOT - 2; 4@3"/EA; 24"
TOTAL LOT REPLACEMENT = 516"

UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF THE UTILITIES LOCATING THE PLANS. THE CONTRACTOR SHALL CONTACT THE UTILITY INFORMATION SERVICE 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND OF ALL EXISTING UTILITIES AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

RESPONSIBILITY NOTE

ALL RESPONSIBILITY FOR THE ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN.

**PAPE-DAWSON
ENGINEERS**

FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 W FWY, STE 700 | FT. WORTH, TX 76102 | 817.870.3668
WWW.PAPE-DAWSON.COM

GIDEON GROVE - PHASE 2 TREESCAPE PLAN
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B;
LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26,
1X, 14X, BLOCK D; LOTS 1-12, 1X, 5X, BLOCK E

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

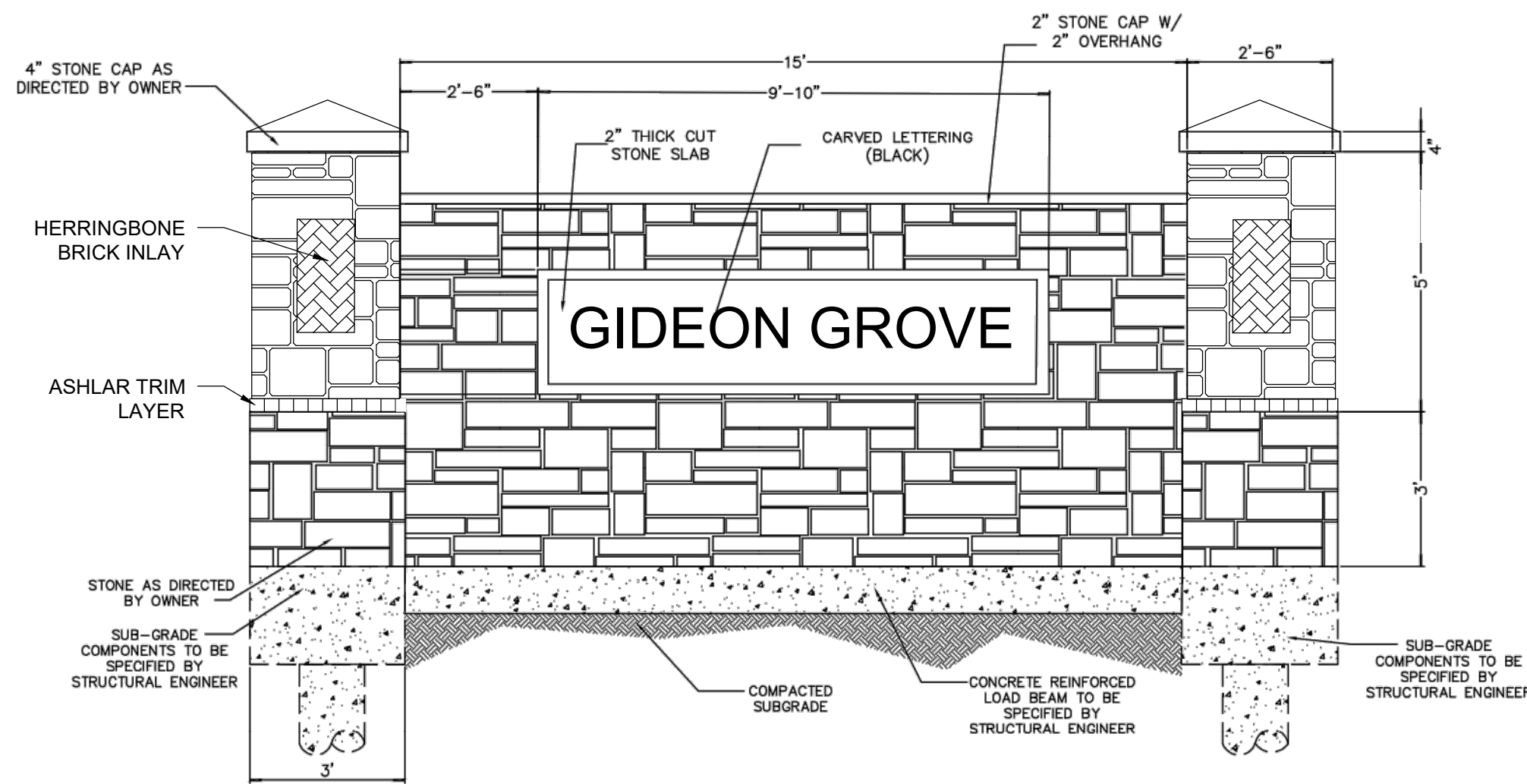
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

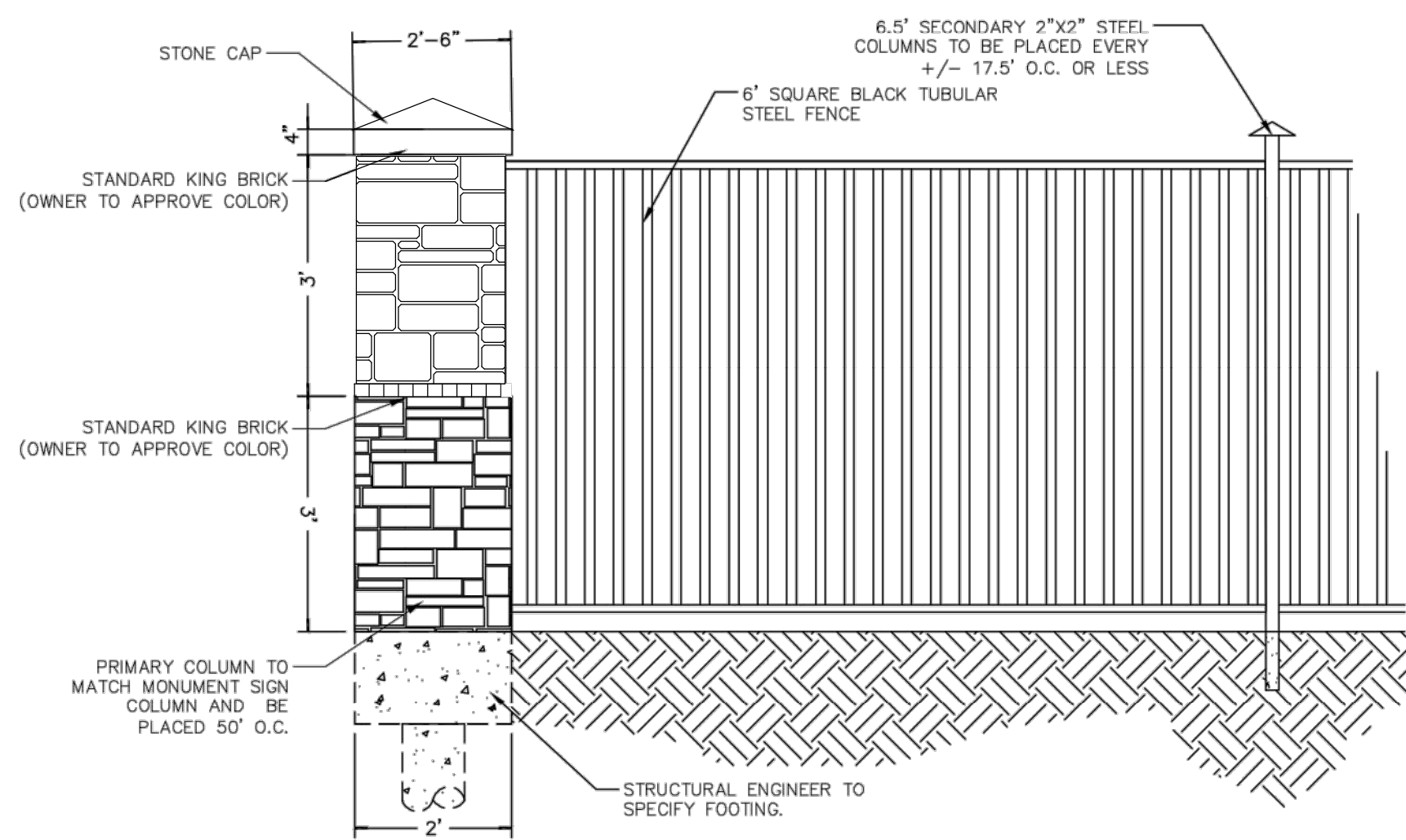
PLAT NO. _____ # _____
JOB NO. _____ 6126300
DATE _____ April 21
DESIGNER _____ JZ
CHECKED _____ ASR DRAWN _____
SHEET _____ 01

SP2022-007



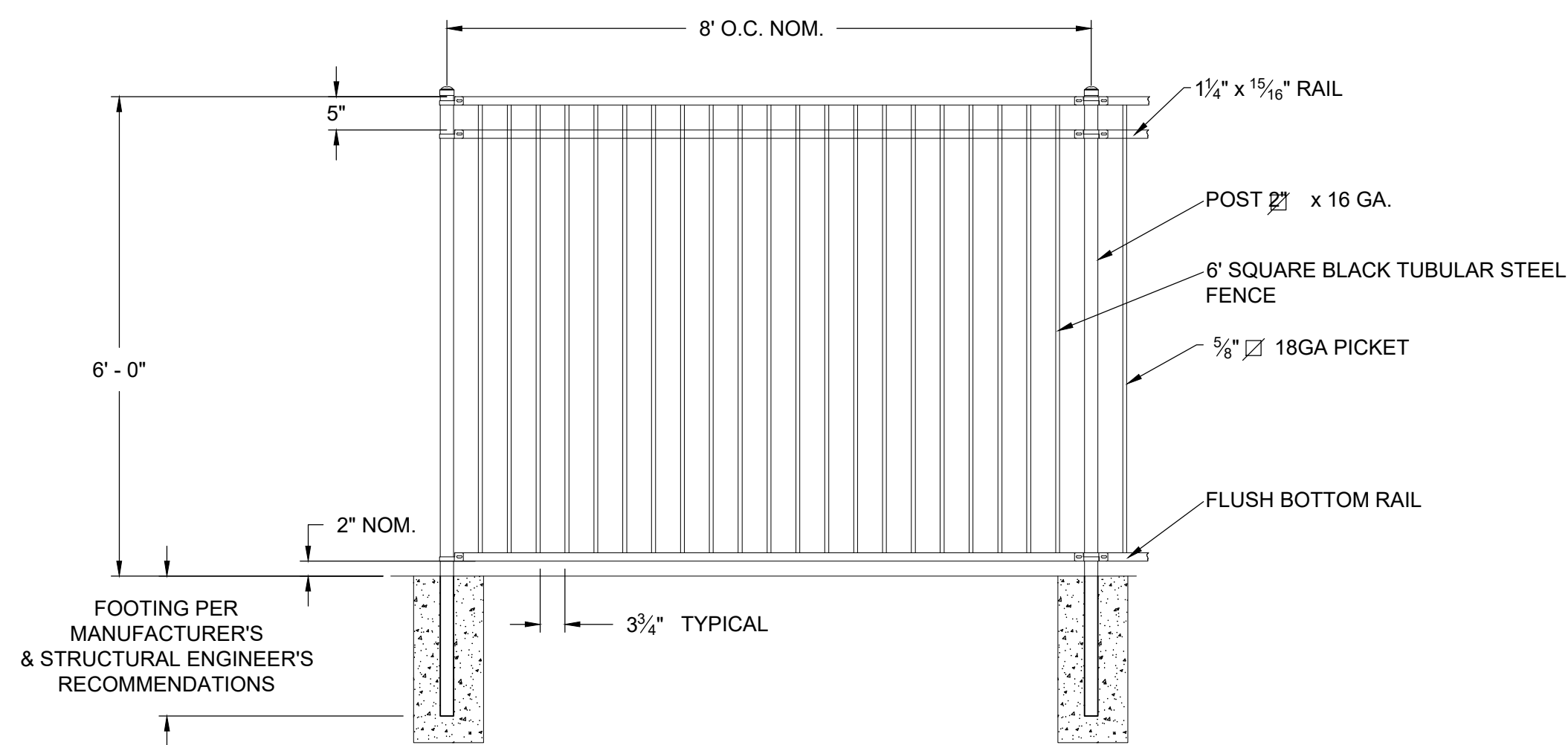
A MONUMENT SIGN DETAIL

NOT TO SCALE



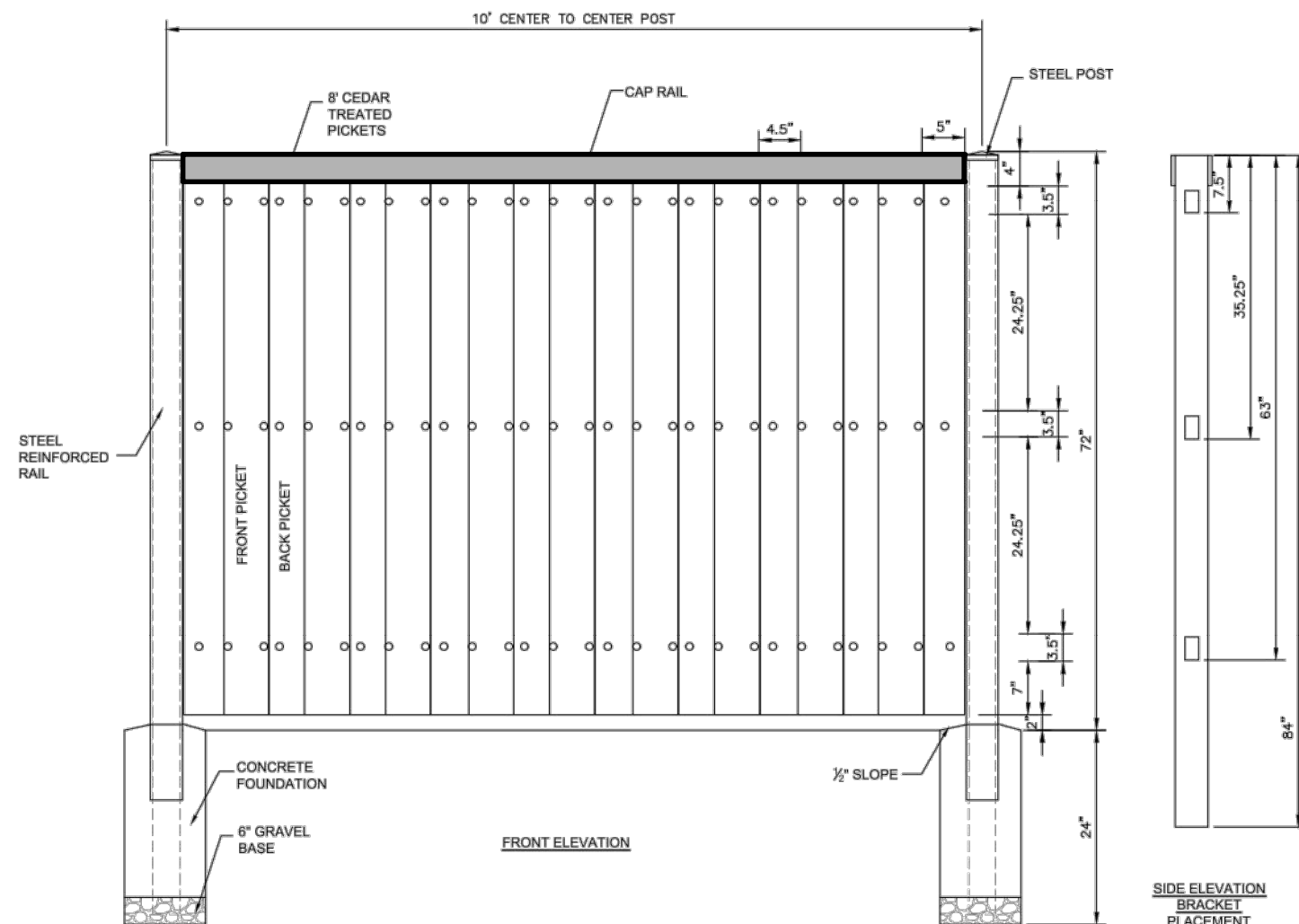
B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN

NOT TO SCALE



C 6' DECORATIVE METAL FENCE

NOT TO SCALE



D 6' WOOD FENCE DETAIL

NOT TO SCALE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

03/04/2022

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

LANDSCAPE
DETAILS

Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

LP-3

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREES:
TWO (2), THREE (3) INCH TREES
THAT ARE 10 FEET OR MORE FROM THE
ROOT BALL SHALL BE PLACED IN THE
FRONT YARD OF EACH LOT. CORNER
LOTS SHALL PROVIDE AN
ADDITIONAL TWO (2) TREES IN THE SIDE
YARD FACING THE STREET. TREES
MUST BE PLACED PRIOR TO THE
ISSUANCE OF A CERTIFICATE OF
OCCUPANCY (CO).

TREES MUST BE SELECTED FROM THE
FOLLOWING LIST:

BALD CYPRESS, CEDAR ELM, TEXAS RED
HONEYLOC, LILAC, LILACBARK ELM, ALLETT
SHINER, HORNED LILAC, SHADYBARK
DOGWOOD, SLIPPER ELM, STARGAZER
NORWAY SPRUCE, PLUM DOWNY,
HAMMONGRE, CRANE WRIGHT, TEXAS
MOUNTAIN LAUREL, VITEK, AND DESERT
WILLOW.

21

I hereby certify that the above and foregoing plat of an addition to the City of Rockwell, Texas, was approved by the Council of the City of Rockwell on the _____ day of _____, 2012.

This approval shall be limited unless the approved plat for said addition is recorded in the office of the County Clerk of Rockwell, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2012.

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-04

LP-4

Date	Comment

LANDSCAPE
PLAN

MATCHLINE - SEE SHEET LP-4



ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH, NATURAL, (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TIER AND SEEDBED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED. (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE GENERAL BRIDGING AND PLANTING NOTES AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 2" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

SLOPE OF 5% IN THE DIRECTION OF TRAVEL
AND A MAXIMUM CROSS SLOPE OF 2%
INCLUDING CONSTRUCTION TOLERANCES PER
ADAAG STANDARDS.

LOT TREE SCHEDULE

184

LOT TREES
TWO (2) TREES (3) INCH TREES
MEASURED (6) INCHES ABOVE THE
ROOT BALL SHALL BE PLACED IN THE
CORNER OF LOT. LOT CORNER
LOTS SHALL PROVIDE AN
ADDITIONAL (2) TREES IN THE SIDE
YARD FACING THE STREET. TREES
MUST BE PLACED PRIOR TO THE
ISSUANCE OF A CERTIFICATE OF
OCCUPANCY (COI).

TREES MUST BE SELECTED FROM THE
FOLLOWING LIST:
BALD CYPRRESS, CEDAR ELM, TEXAS RED OAK,
HONESTY DULCIS, LAGERHED ELIM, ALBEE ELIM,
SILVER CHERRY, SLIP OAK, TEXAS REDBUD, EWE
NECKLACE, CANYON PLUM, DOWNY
HAWTHORNE, CHAPEL WATTLE, TEXAS
MOUNTAIN LAUREL, VITEX, AND DESERT

194

TREES MUST BE SELECTED FROM THE FOLLOWING LIST:

BALD CYPRRESS, CEDAR ELM, TEXAS RED OAK, HOMESIDE ELM, LAQBERG ELM, ALLEE ELM, CHINESE PLSTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE NECTAR, MEXICAN PLUM, DOWNY HAMTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEK, AND DESERT WILLOW

LANDSCAPE
PLAN[illegible]

Project Number	
Date	08/04/2021



EVERGREEN
DESIGN GROUP

(800) 650-6670
15455 Dallas Pkwy., Ste 600
Addicks, TX 75001
www.EvergreenDesignGroup.com



03/04/2022

Owner

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Gideon Grove Phase 2

John King Boulevard and E Quail Run Road
Rockwall, TX

LP-5

Lee, Henry

From: Lee, Henry
Sent: Friday, February 25, 2022 2:59 PM
To: 'meredith@michaeljoyceproperties.com'
Subject: Project Comments SP2022-007
Attachments: Project Comments (02.25.2022).pdf; Engineering Mark-Ups (02.25.2022).pdf

Good Afternoon,

Attached are the project comments and engineering markups for Case No. SP2022-007. Please address these comments and have revisions returned to staff by March 7, 2022. The schedule for this case is as follows:

Planning and Zoning Commission Meeting Work Session Meeting: February 28, 2022
Planning and Zoning Commission Meeting: March 15, 2022

All meetings will be held at 6:00 PM in the City Council Chambers of City Hall at 385 S. Goliad Street. Please note that a representative will need to be present at all meetings for this case to be approved. If you have any additional questions please let me know.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Lee, Henry
Sent: Monday, March 7, 2022 11:28 AM
To: 'meredith@michaeljoyceproperties.com'
Subject: SP2022-007 Revision Reminder
Attachments: Project Comments (02.25.2022).pdf; Engineering Mark-Ups (02.25.2022).pdf

Good Morning,

This email serves as a reminder that I need revisions for your site plan case, SP2022-007. I have attached the project comments again for ease of access. The deadline for revised plans is today, however if I can get an update of where you are with revisions I can extend the deadline to tomorrow. Let me know if you have any questions.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VICIOUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRINGING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS L-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO NOT BE ACCEPTED, THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DISCLOSURE; NOT EXCEEDING 0.5 PERCENT NERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN, ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

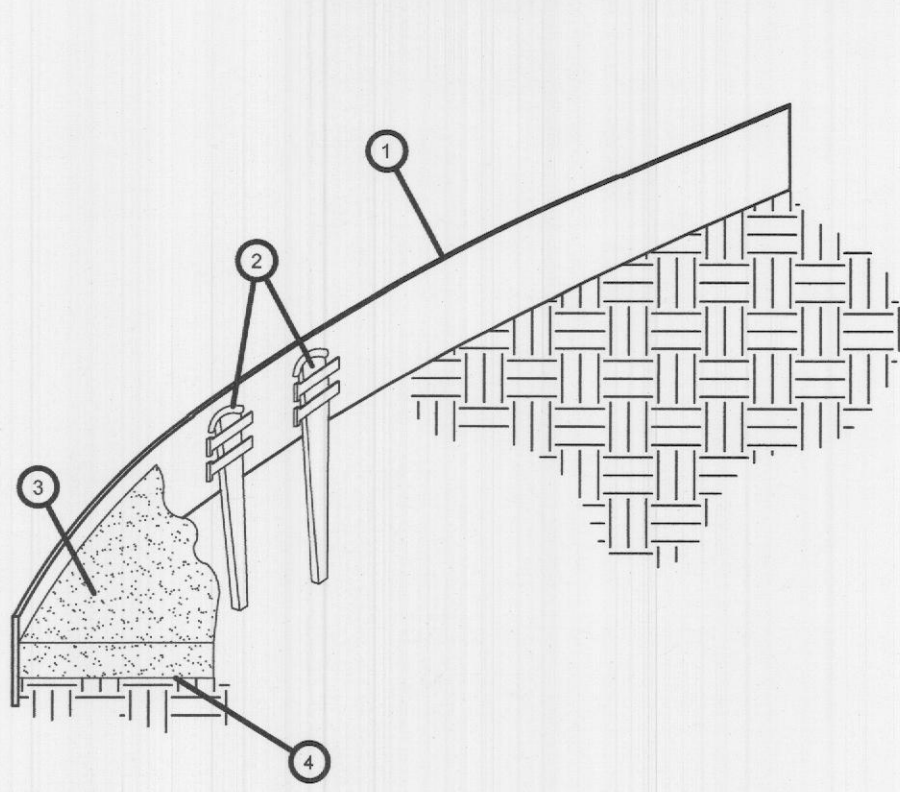
- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECTS LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - b. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADDED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPE THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPE THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
- a. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - b. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - c. TRENCING NEAR EXISTING TREES:
 - i. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ii. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - iii. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - iv. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PATCHES.

- D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
 2. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 3. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1" - 2" TREES: TWO STAKES PER TREE
 - b. 2-1/2" - 4" TREES: THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER: GUY AS NEEDED
 - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - e. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANTS ROOTBALL. INSTALL THE PLANT IN THE HOLES. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS TOGETHER. JOINTS OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED, THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTION WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS AFTER FINAL ACCEPTANCE OF ALL WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOISTENING AND AERATION OF LAWNS, WEEDING, TREES, AND SHRUBS FOR INSECT DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS.
 2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE WITH THE ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 3. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 4. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY); ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS SHALL BE RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, NOTES, AND SPECIFICATIONS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

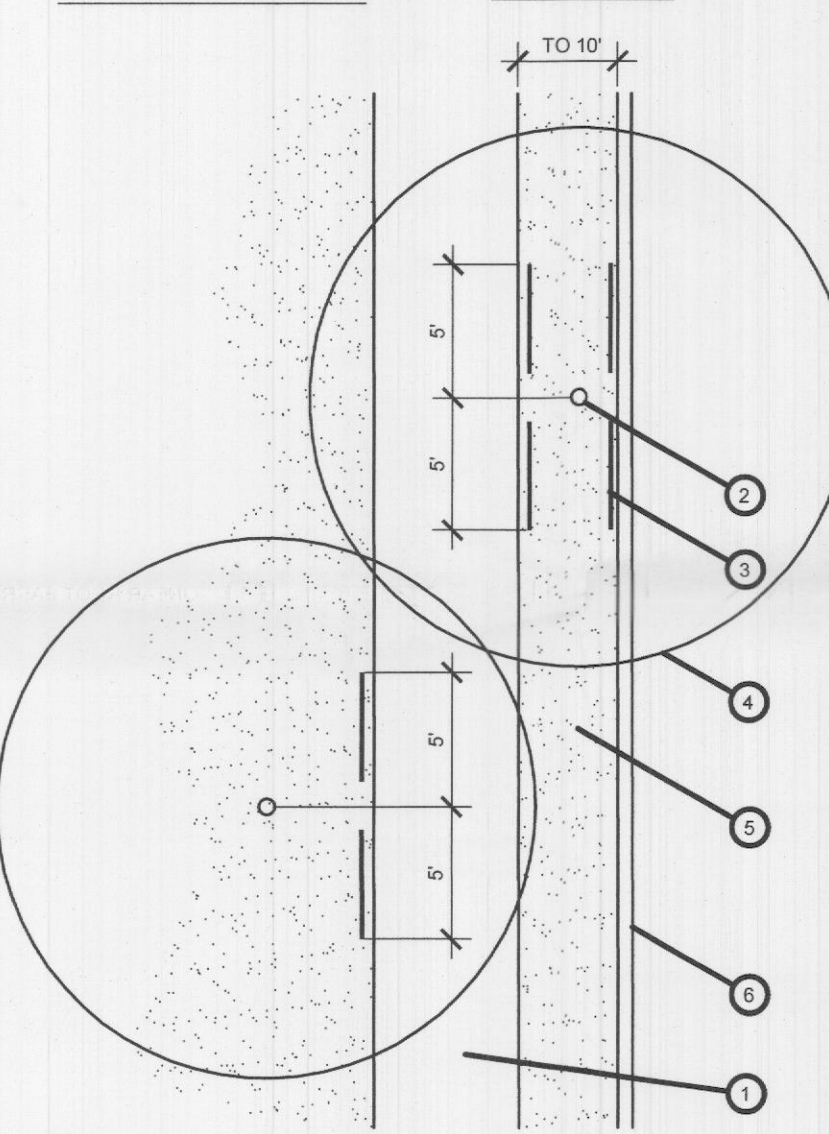
- NOTES:
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING

SCALE: NOT TO SCALE

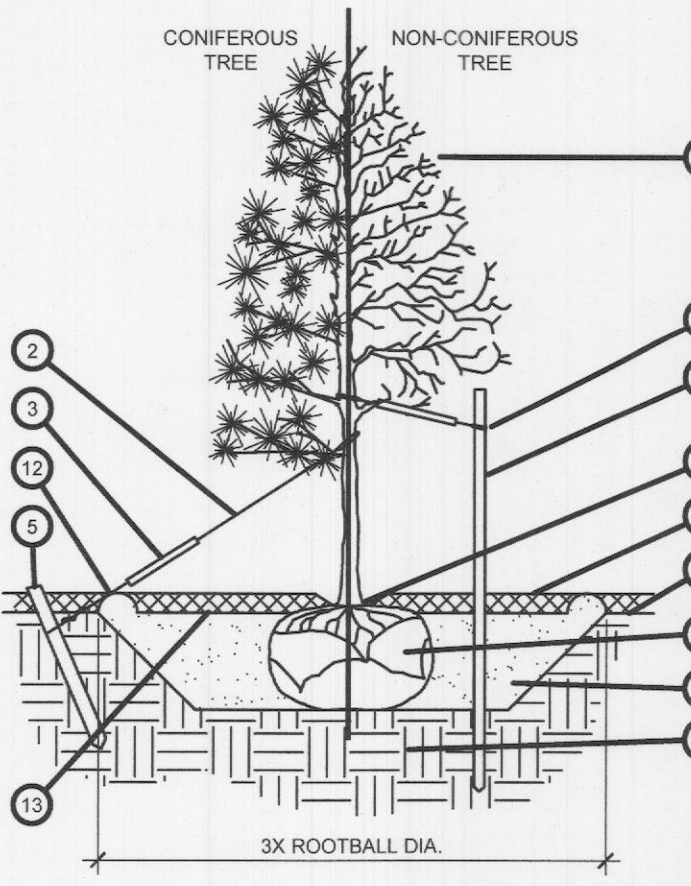
OPEN LANDSCAPE

PARKWAY OR ISLAND

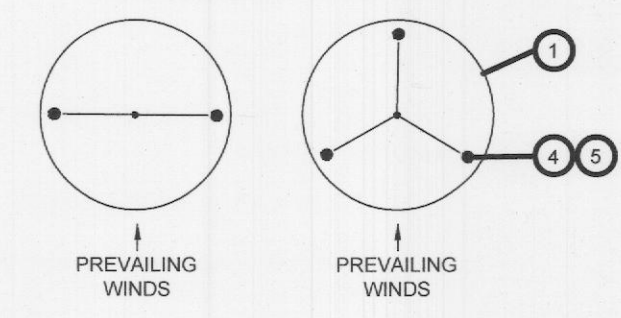


E ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE

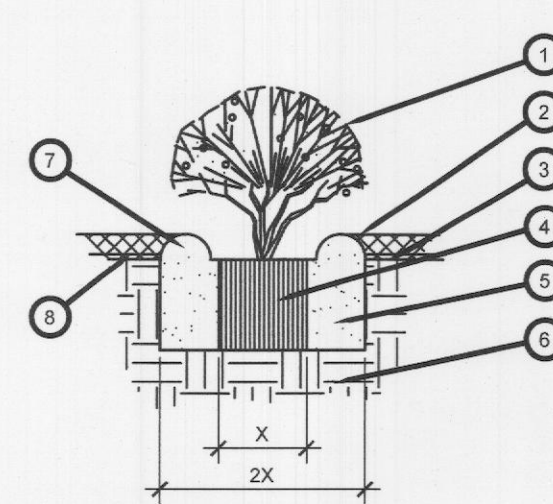


STAKING EXAMPLES (PLAN VIEW)



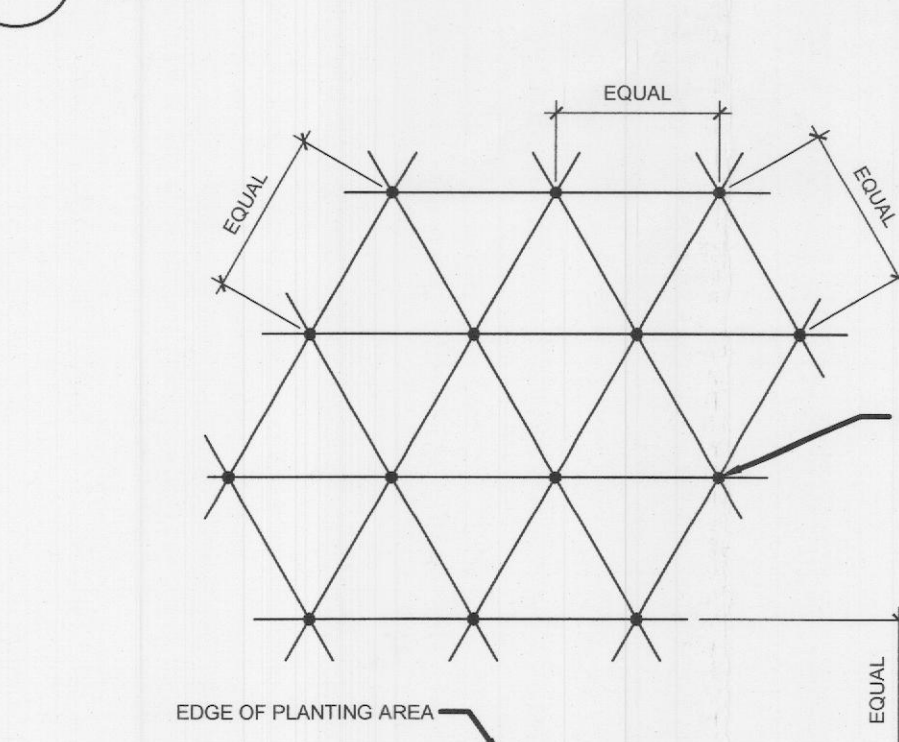
A TREE PLANTING

SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING

SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

- 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

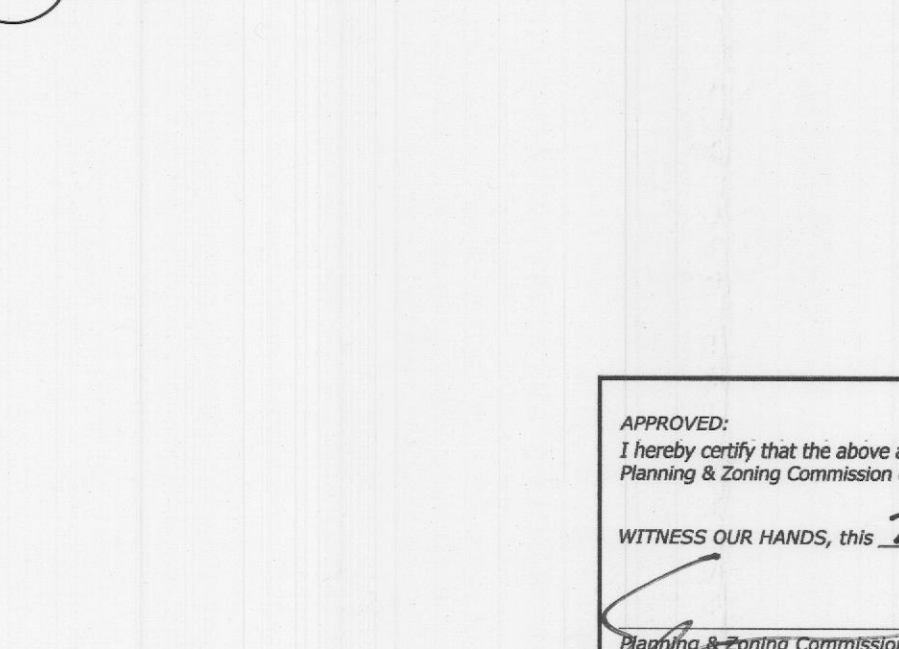
PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.59	30"	4.41
12"	0.87	36"	7.79
15"	1.35		

- 2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

C PLANT SPACING

SCALE: NTS



1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TIE STRAPS AT TREE AND STAKE (38" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. IN UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADDED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPE THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPE THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUPCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNERS REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

APPROVED:
I hereby certify that the above and foregoing site plan for the development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, this 23 day of March, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046



03/04/2022

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

LANDSCAPE DETAILS & SPECIFICATIONS

Date Comment

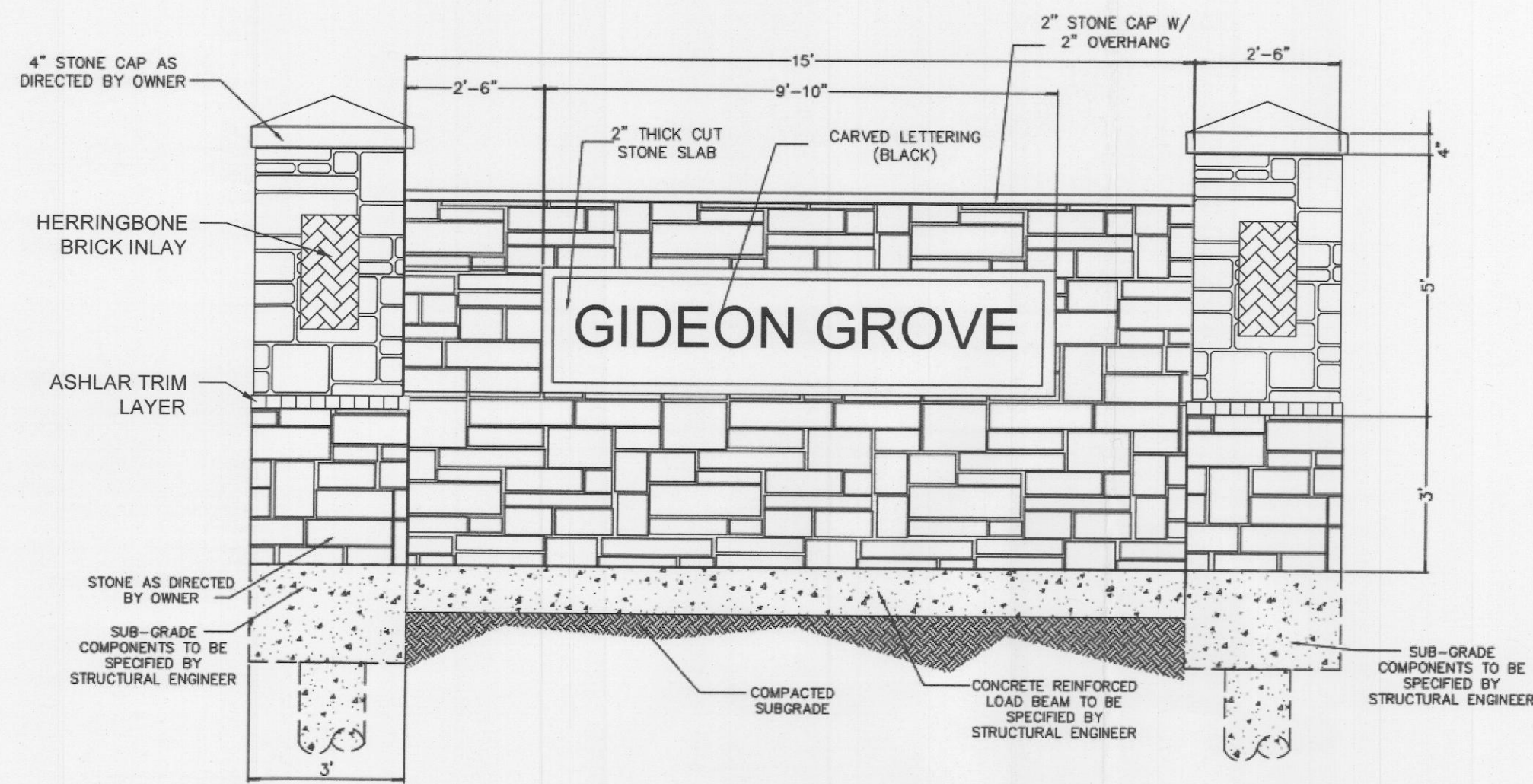
Project Number

Date 08/04/2021

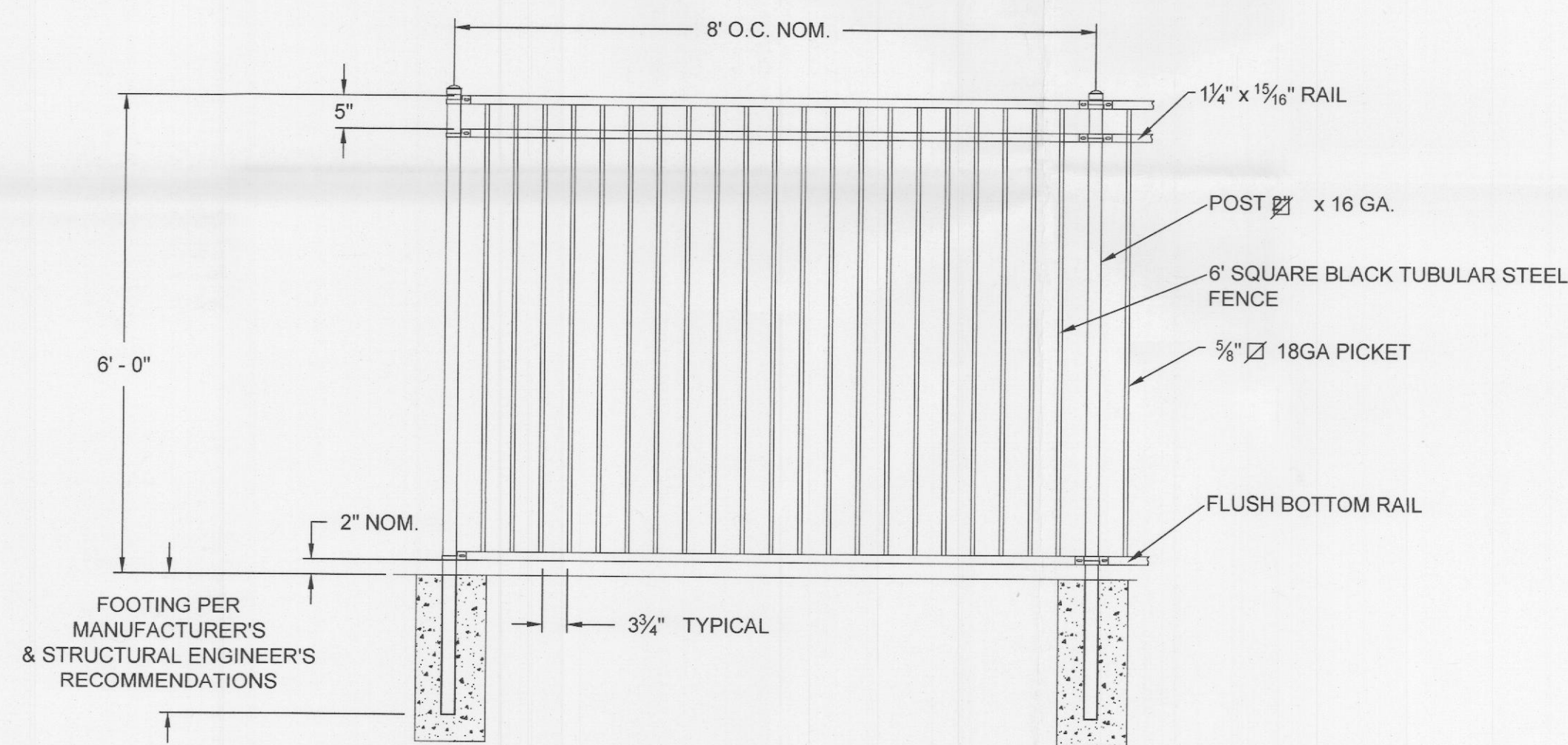
Drawn By MNB

Checked By MB/RM

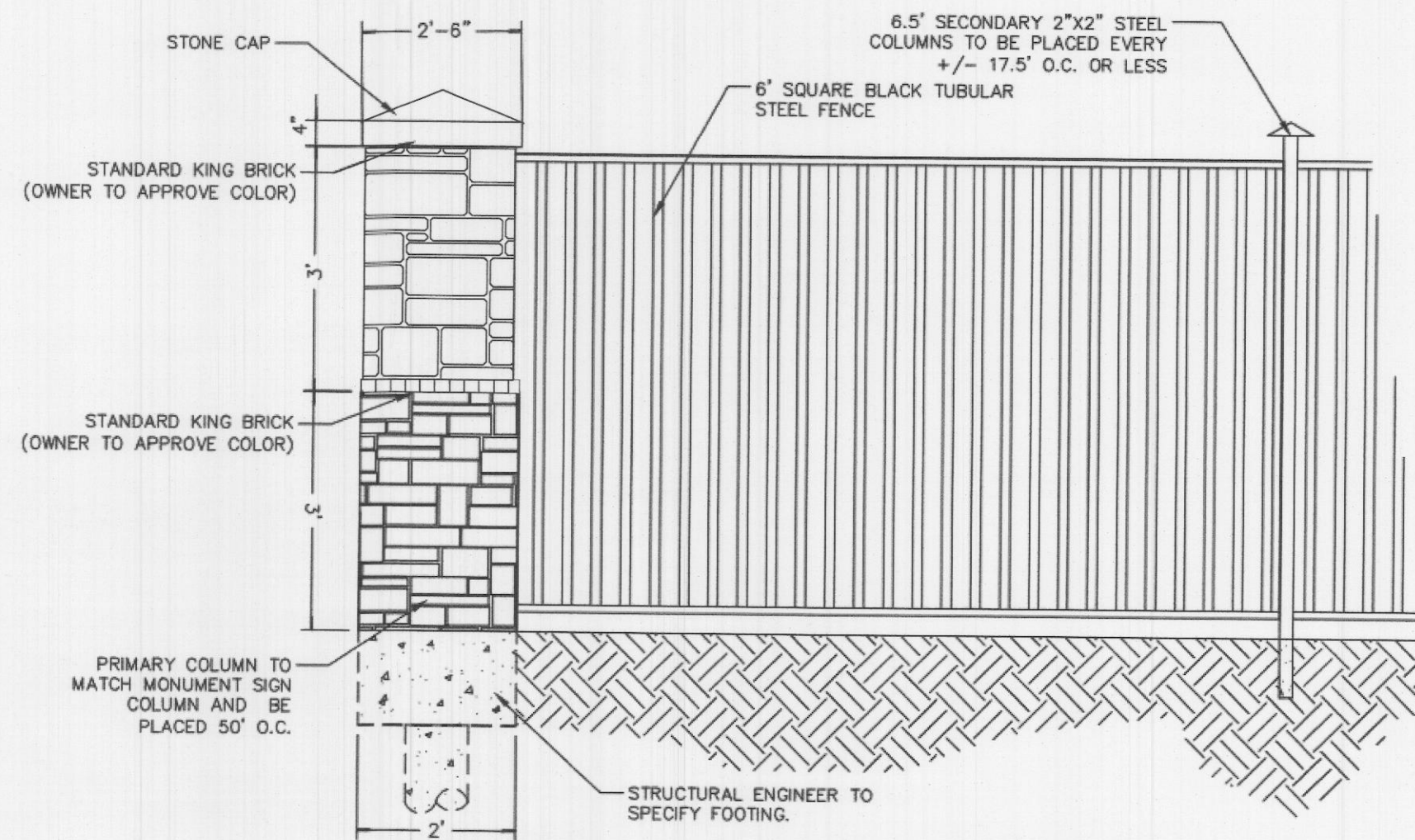
LP-2



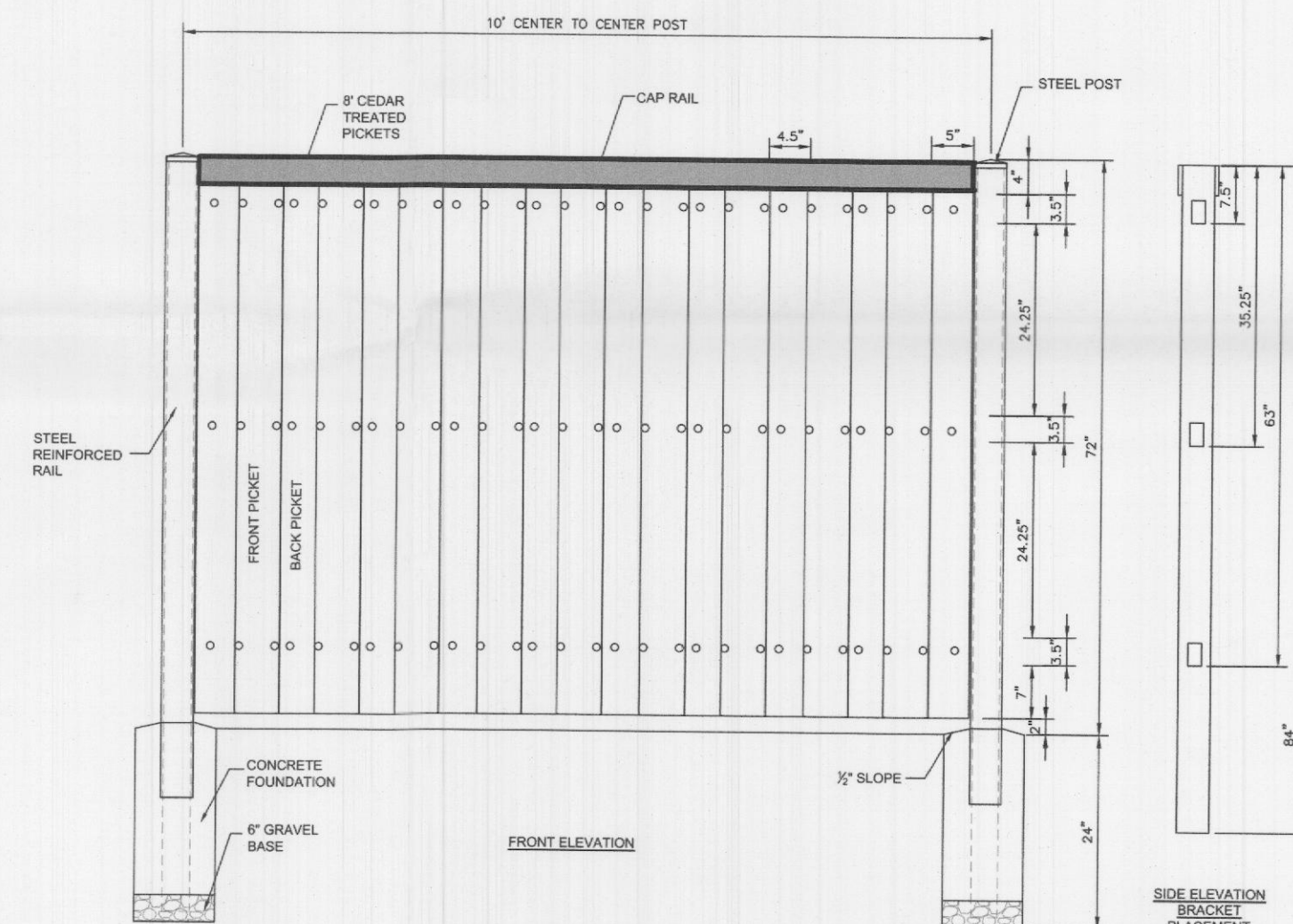
A MONUMENT SIGN DETAIL
NOT TO SCALE



C 6' DECORATIVE METAL FENCE
NOT TO SCALE



B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



D 6' WOOD FENCE DETAIL
NOT TO SCALE

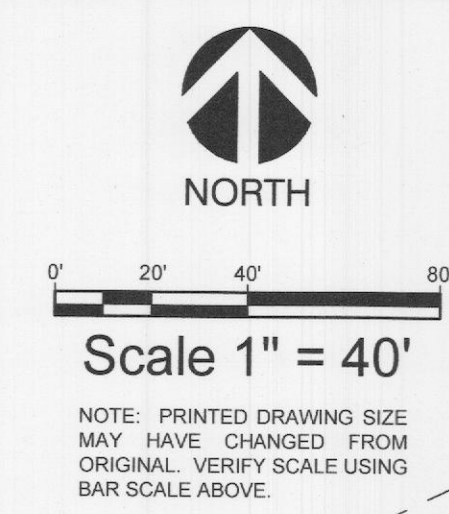
Date	Comment

Project Number	
Date	08/04/2021
Drawn By	MNB
Checked By	MB/RM

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.
WITNESS OUR HANDS, this 23 day of March, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVEMENT OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREES
TWO (2), THREE (3) INCH TREES
MEASURED (6) INCHES ABOVE THE
ROOT BALL SHALL BE PLACED IN THE
FRONT YARD OF EACH LOT. CORNER
LOTS SHALL PROVIDE AN
ADDITIONAL (2) TREES IN THE SIDE
YARD FACING THE STREET. TREES
MUST BE PLACED PRIOR TO THE
ISSUANCE OF A CERTIFICATE OF
OCCUPANCY (CO).
-
TREES MUST BE SELECTED FROM THE
FOLLOWING LIST:
BALD CYPRESS, CEDAR ELM, TEXAS RED OAK,
HOMESTEAD ELM, LACEBARK ELM, ALLEE EL,
CHINESE PISTACHE, SHUMARD OAK,
SYCAMORE, BURR OAK, TEXAS REDBUD, EVEL
NECKLACE, MEXICAN PLUM, DOWNY
HAWTHORNE, CRAPE MYRTLE, TEXAS
MOUNTAIN LAUREL, VITEX, AND DESERT
WILLOW.

SEE SHEET LP-1 FOR FULL
LANDSCAPE SCHEDULE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, this 23 day of March, 2022.

Planning & Zoning Commission, Chairman

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046



03/04/2022

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

11

Gideon Grove Phase 2

Project Name

LANDSCAPE
PLAN

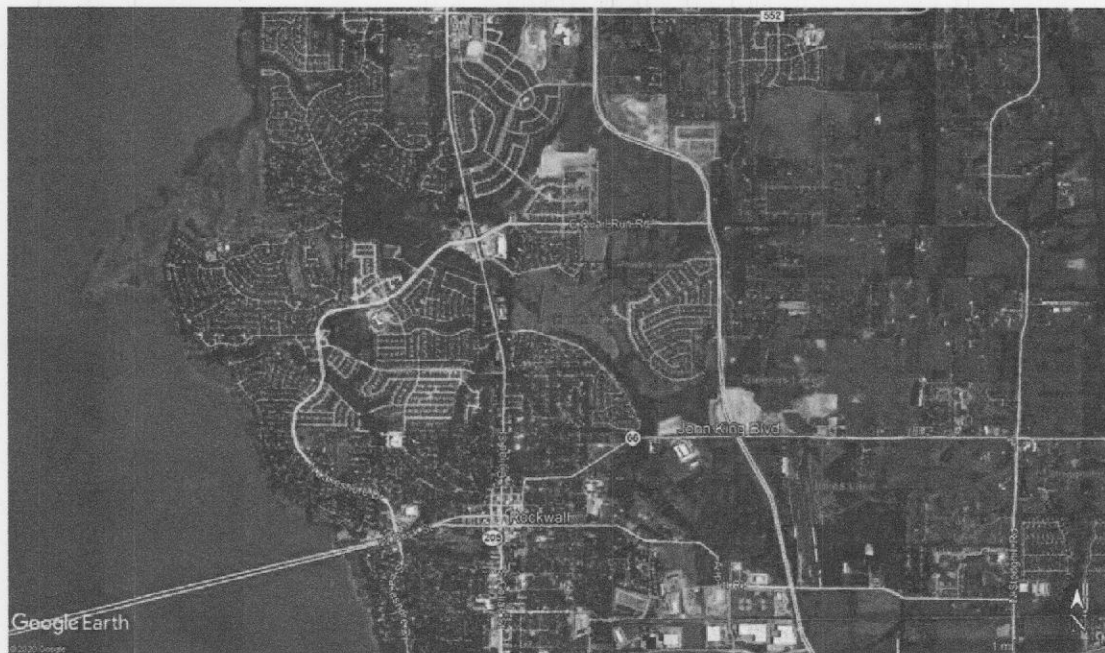
Date		Comment

Project Number	
Date	08/04/2021
Drawn By	MNE
Checked By	MB/RM

LP-4

MATCHLINE - SEE SHEET LP-4

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREE SCHEDULE

LOT TREES 184
TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
TREES MUST BE SELECTED FROM THE FOLLOWING LIST:
BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE



Scale 1" = 40'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, this 23 day of March, 2022.

Planning & Zoning Commission, Chairman

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046



03/04/2022

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

LANDSCAPE PLAN

Date Comment

Project Number

Date 08/04/2021

Drawn By MNB

Checked By MB/RM

LP-5

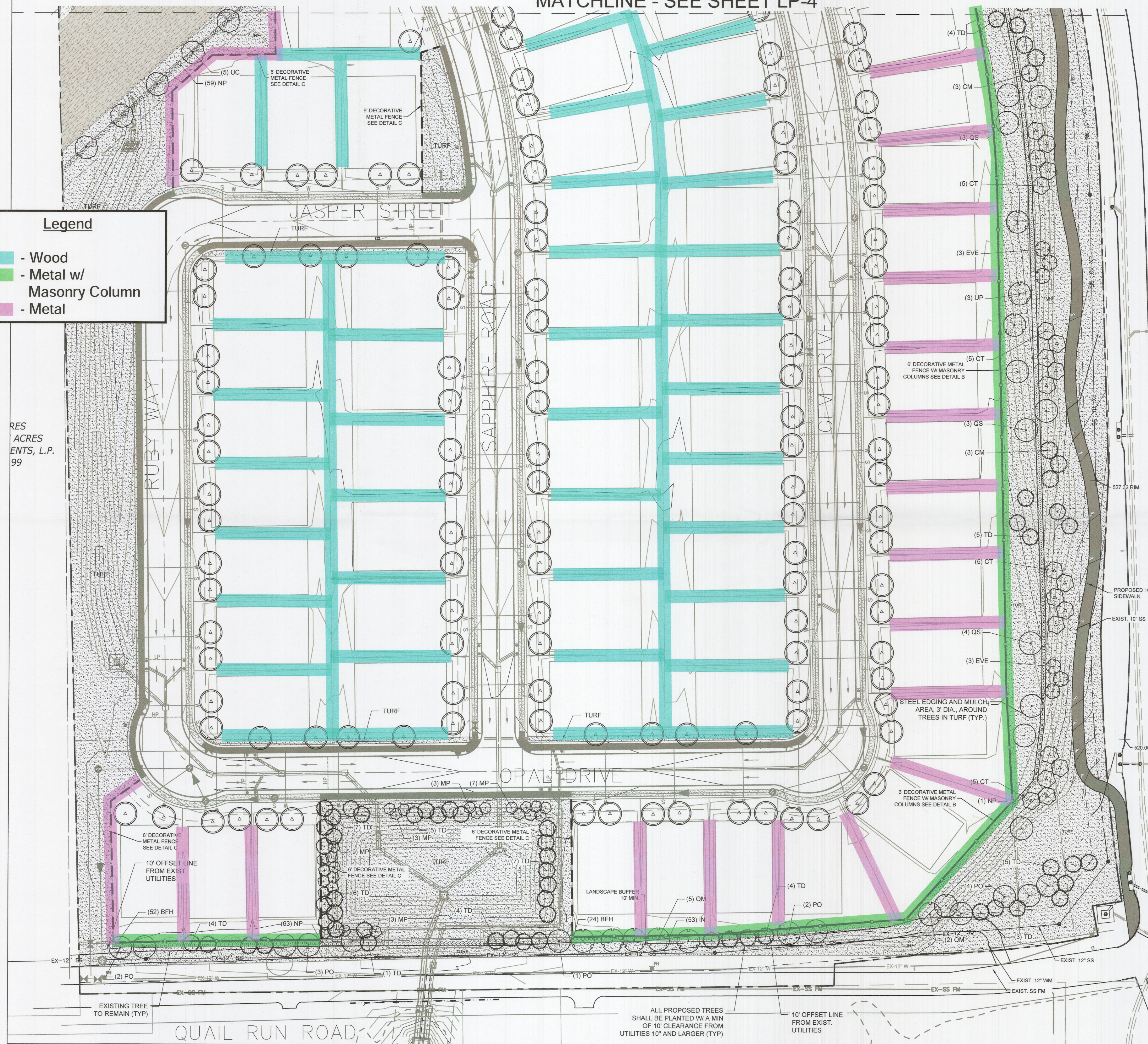
LP-4

MATCHLINE - SEE SHEET LP-4

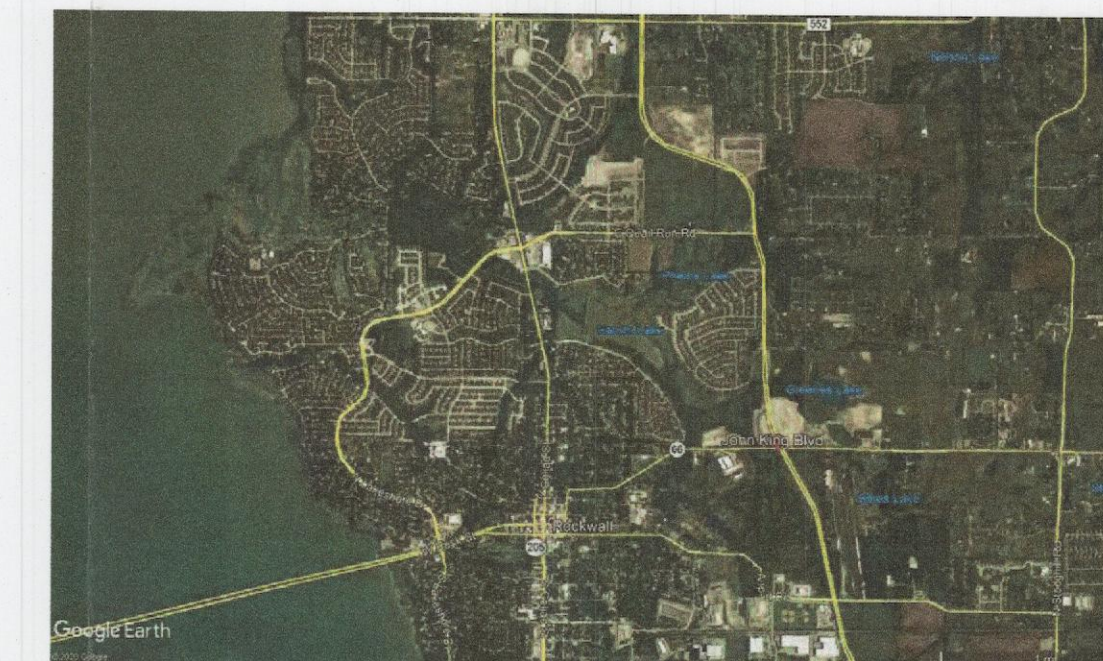
Legend

- Wood
- Metal w/
Masonry Column
- Metal

RES
ACRES
ENTS, L.P.
99



VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10' IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10' AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10' IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10' AND LARGER.

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREE SCHEDULE

LOT TREES 184
TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
TREES MUST BE SELECTED FROM THE FOLLOWING LIST:
BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE

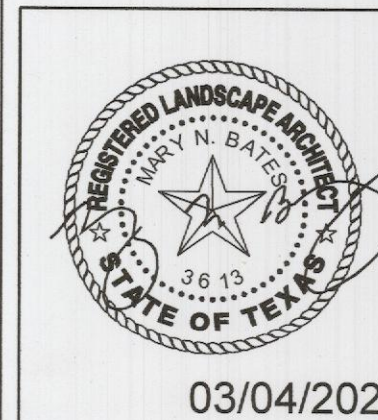


Scale 1" = 40'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.
WITNESS OUR HANDS, this 23 day of March, 2022.
[Signature] Chairman
[Signature] Director of Planning and Zoning

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046



QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

LANDSCAPE PLAN

Date	Comment

Project Number
Date 08/04/2021
Drawn By MNB
Checked By MB/RM

LP-5



March 18, 2022

TO: Meredith Joyce
Michael Joyce Properties
767 Justin Road
Rockwall, TX 75087

FROM: Henry Lee
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2022-007; *Site Plan for Gideon Grove Phase 2*

Meredith Joyce:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on March 15, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 15, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the site plan by a vote of 4-0, with the condition of providing staff a photometric plan, and with Commissioners Chodun, Thomas, and Conway absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

Henry Lee, Planner
City of Rockwall Planning and Zoning Department