

# CASE COVER SHEET

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

**PLANNING & ZONING FEE** 

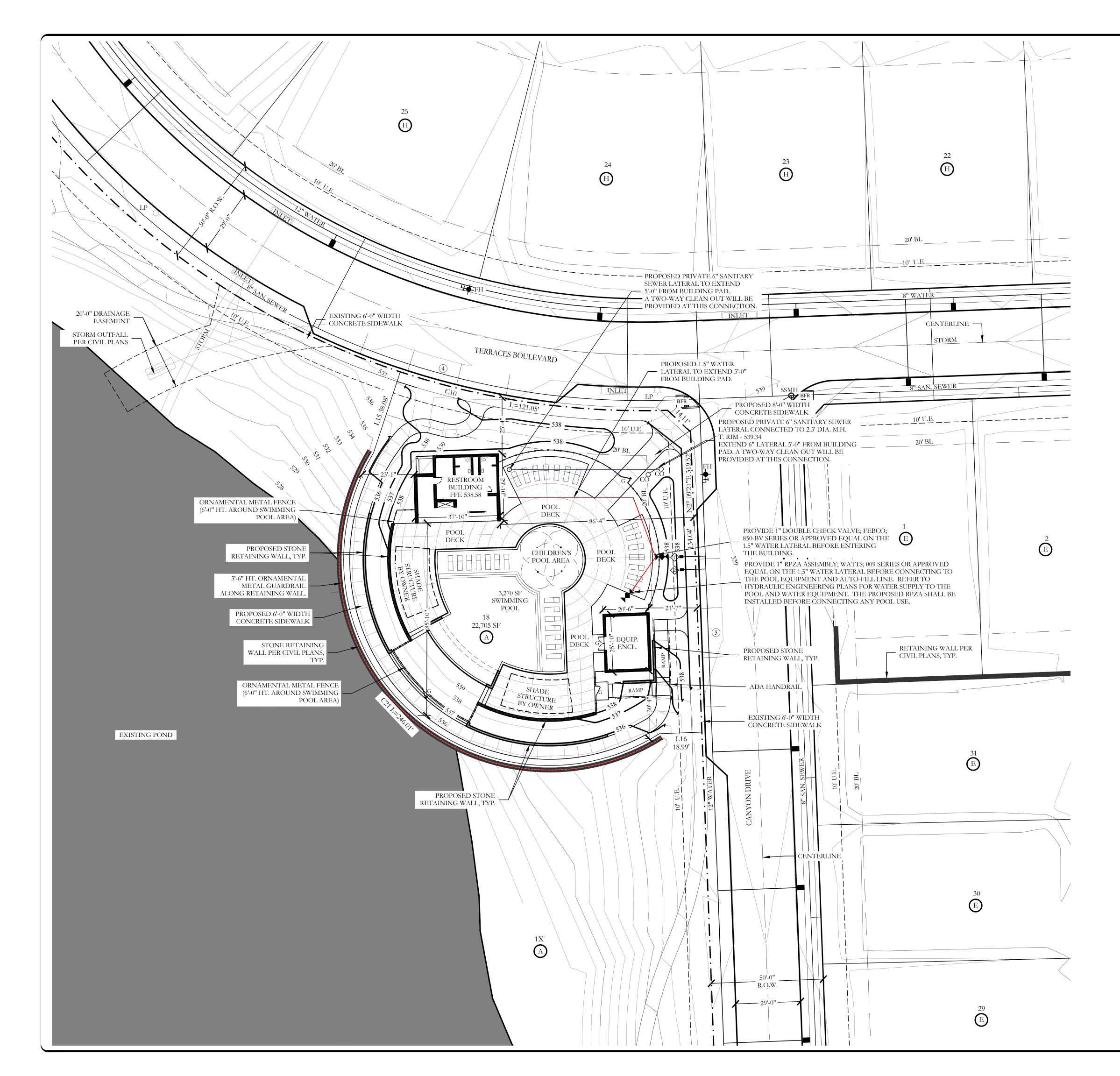
PLATTING APPLICATION MASTER PLAT PRELIMINARY PLAT FINAL PLAT REPLAT AMENDING OR MINOR PLAT PLAT REINSTATEMENT REQUEST SITE PLAN APPLICATION SITE PLAN AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING	ZONING APPLICATION ZONING CHANGE SPECIFIC USE PERMIT PD DEVELOPMENT PLAN OTHER APPLICATION TREE REMOVAL VARIANCE REQUEST/SPECIAL EXCEPTIONS
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## **RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

ARCHITECTURE REVIEW BOARD	CITY COUNCIL READING #2
PLANNING AND ZONING COMMISSION	CONDITIONS OF APPROVAL
CITY COUNCIL READING #1	NOTES

	City of Rockwall	ning Department	ATIO	N PLA <u>NO7</u> CITS SIGI DIRE	NRING & ZONING E: THE APPLICA? (UNTIL THE PLA) NED BELOW. ECTOR OF PLAN (ENGINEER:	TION IS NOT CONSIE NNING DIRECTOR AI	DERED ACCEI ND CITY ENGI	PTED BY THE INEER HAVE		
PLEASE CHECK THE	APPROPRIATE BOX BELOW	TO INDICATE THE TYPE	OF DEVEL	OPMENT RE	QUEST [SELEC	T ONLY ONE BOX	l:			
PLATTING APPLICATION FEES:         MASTER PLAT (\$100.00 + \$15.00 ACRE) 1         PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1         FINAL PLAT (\$300.00 + \$20.00 ACRE) 1         REPLAT (\$300.00 + \$20.00 ACRE) 1         AMENDING OR MINOR PLAT (\$150.00)         PLAT REINSTATEMENT REQUEST (\$100.00)         SITE PLAN (\$250.00 + \$20.00 ACRE) 1         AMENDED SITE PLAN (\$250.00 + \$20.00 ACRE) 1			20	NING APPLI ZONING CH, SPECIFIC US PD DEVELO HER APPLIC TREE REMO VARIANCE F ES: DETERMINING T ACRE AMOUNT. \$1,000.00 FEE \$1,000.00 FEE \$1,000.00 FEE	CATION FEES: ANGE (\$200.00 SE PERMIT (\$20 PMENT PLANS CATION FEES: IVAL (\$75.00) REQUEST/SPEC FOR REQUESTS ON HIL BE ADDED TO WILL BE ADDED TO	+ \$15.00 ACRE) 1 00.00 + \$15.00 ACF (\$200.00 + \$15.00 CIAL EXCEPTIONS SE THE EXACT ACREAGE LESS THAN ONE ACRE, D THE APPLICATION FE R NOT IN COMPLIANCE	RE) 1 & 2 ACRE) 1 (\$100.00) 2 WHEN MULTIP ROUND UP TO C E FOR AND UP TO C	ONE (1) ACRE.		
	ORMATION [PLEASE PRINT									
ADDRES		within Terraces								
SUBDIVISIO					LOT	18	DL O.O.K	A		
GENERAL LOCATION		f Terraces Boule	vard ar	nd Canv		10	BLOCK	A		
				ia cany	on Drive					
CURRENT ZONING	LAN AND PLATTING I									
	enigie i anni y i			RRENT USE	i mate reciculional center					
PROPOSED ZONING		esidential	PROF	POSED USE	Private	Recreation	al Cente	er		
ACREAGE	.52	LOTS [CURRENT	1		LO.	TS [PROPOSED]	1			
NEGAND TO TIS I	<u>) PLATS</u> : BY CHECKING THIS B APPROVAL PROCESS, AND FAIL VENIAL OF YOUR CASE.	OX YOU ACKNOWLEDGE T URE TO ADDRESS ANY OF	HAT DUE T STAFF'S CO	O THE PASS, DMMENTS BY	AGE OF <u>HB3167</u> THE DATE PRO	THE CITY NO LON /IDED ON THE DEVI	GER HAS FLE ELOPMENT C	exibility with Alendar will		
OWNER/APPLIC	ANT/AGENT INFORMA		ECK THE P							
	TM Terraces, LLC				MARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]					
CONTACT PERSON			CONTACT	PERSON	Cody Joh		ing			
ADDRESS	4416 W. Lovers La	ne Suite 200		ADDRESS		ral Parkway	Fast			
					Suite 120		Lasi			
CITY, STATE & ZIP	Dallas, TX 75209		CITY, ST	ATE & ZIP	Plano, TX					
PHONE	(214)577-1431			PHONE	(972) 201	-3100				
E-MAIL				E-MAIL	cody.johr	nson@johns	onvolk.d	com		
NOTARY VERIFIC BEFORE ME, THE UNDER STATED THE INFORMATION	CATION [REQUIRED] ISIGNED AUTHORITY, ON THIS D, ON ON THIS APPLICATION TO BE	AY PERSONALLY APPEAREI TRUE AND CERTIFIED THE		by the	arrell	[OWNER] 1	HE UNDERS	Signed, who		
INFORMATION CONTAINED	HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE DAY OF 20 22 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (N.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE VFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION UBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST OFFICIATION FOR MATION									
	AND SEAL OF OFFICE ON THIS T	HE 10 DAY OF QUAN	low	28-2	#	Notar My Co	Y LEA LUTT y ID #12948 mmission E uly 12, 202	37170 xpires		
NOTARY PUBLIC IN AND I	FOR THE STATE OF TEXAS	Bitsy Lea 1	uttr	eel	MYCOR	MISSION EXPIRES	07.12	2.2025		
DF	VELOPMENT APPLICATION • CI	TY OF POCKIALAL A 295 SOL	UTH COULA	D STOCET - D	ACHINAL SU					

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745



	LEG	END	
4	EXISTING PARKING COUNT	<li>1&gt; =</li>	EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	<u>^</u>	EXISTING 1.5" IRRIGATION
FН <b>- — —</b>	EXISTING FIRE HYDRANT	¥/ <b>-</b>	WATER METER
TI O	EXISTING SANITARY SEWER	<del>000</del> 0	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
Ŭ	MANHOLE	∱ G	1 - 4'-0" WIDTH SELF LATCHING,
<del></del>	EXISTING WATER MAIN W/ VALVE	G	SELF CLOSING METAL GATE
	EXISTING SANITARY SEWER		PROPOSED STONE RETAINING WALL
	EXISTING STORM		RETAINING WALL PER CIVIL PLANS
	EXISTING CURB INLET		TYP.
	RIGHT-OF-WAY		ADA HANDRAIL
р Р	LIGHT POLE		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
- 538	EXISTING CONTOUR INTERVAL		
<b>-</b> 538 <b></b>	PROPOSED CONTOUR INTERVAL		
FE 538.58	FINISHED FLOOR ELEVATION		

# **APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, \_\_\_\_.

SITE 🟲

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

# WATER METER SCHEDULE

METER	WATER	WATER	METER		SAN.
ID NUMBER	SERVICE SIZE	METER SIZE	DOM.	IRR.	SERVICE SIZE
	1.5"	1.5"	Х		6"
	1.5"	1.5"		Х	

# SITE INFORMATION

SINGLE FAMILY RESIDENTIAL PROPOSED USE: PRIVATE RECREATION CENTER LAND AREA: 0.52 ACRES 22,705 SQ. FT.					
BUILDING AREA:	1,124 SQUARE FEET				
BUILDING HEIGHT:	19'-8" (1 STORY)				
POOL EQ. ENCLOSUR	E AREA: 528 SQUARE FEET				
POOL EQ. ENCLOSUR	E HEIGHT: 18'-1" (1 STORY)				
FLOOR TO AREA:	0.0727:1 [1,652/22,705]				
LOT COVERAGE:	7.27%				

TOTAL IMPERVIOUS SURFACE:11,188.80 SFPROPOSED IMPERVIOUS RATIO:0.4927 OR 49.27%INTERIOR LANDSCAPE PROVIDED:11,516.20 SF

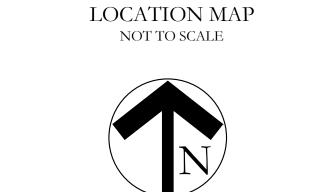
POOL DECK SURFACE: 5,062.43 SF

## SITE PLAN NOTES:

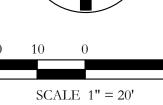
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
  FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD
- CONSTRUCTION DETAILS.ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.





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# SITE PLAN TERRACES LOT 18, BLOCK A ~AMENITY CENTER~

BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO.122

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: TM TERRACES, LLC 4416 W. LOVERS LANE SUITE 200 DALLAS, TEXAS 75209 PH. 214-577-1431 CONTACT: BOBBY HARRELL BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER: JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. 972-201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI CODY.JOHNSON@JOHNSONVOLK.COM

SP1







# 119'-8" top of roof 1 standing seam metal roof, —— color to be selected by Owner 111'-4" top of low beam exposed steel beam, paint typ.,ref. structural exposed steel column, paint typ.,ref. structural cut stone veneer to be selected by Owner 100'-0" finished floor

ELEVATION

- -

3

119'-8" top of roof

exposed steel beam, paint typ., -ref. structural

exposed steel column, paint typ., ref. structural

tile to be selected by Owner

by Owner

100'-0" finished floor

cut stone veneer to be selected

steel mesh cap to be selected by Owner -

ELEVATION

111'-4" top of low beam

# **BUILDING MATERIAL CA**

# **APPROVED:**

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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.		385 S.F.	(	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	<u>18</u> 33	<u>4</u>	2	82	187 S.F.	48.57%	<u>e</u>	2
SECONDARY MATERIALS	122	2	165 S.F.	30.84%		(2)	-	2
TILE AT SHOWER/DRINKING FOUNTAINS	1211	-	165 S.F.	30.84%	(2)	(11)	-	2
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)		2	2	~~	327	(121)		-
STANDING SEAM METAL ROOF	(-1)	-	-	3. <del></del>		(=)	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



# NORTH ELEVATION - RESTROOM BUILDING

SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

		TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033	704 Central Parkway East   Suite 1200   Plano, TX 75074   972.201.3100
TERRACES	AMENITY CENTER	CITY OF ROCKWALL	ROCKWALL COUNTY, TEXAS
AMENITY CENTER FACILITY		<b>EXTERIOR ELEVATIONS - RESTROOM</b>	BUILDING
	One C No	TO PI Inch JVC0	 22

118'-1" top of roof

111'-4" top of low beam

ref. structural

by Owner

4

ref. structural

by Owner

by Owner

2)

100'-0" finished floor

exposed steel beam, paint typ.,

exposed steel column, paint typ., -ref. structural

cut stone veneer to be selected

steel mesh cap to be selected by Owner

ELEVATION

# **BUILDING MATERIAL CALCULATIONS**

Material

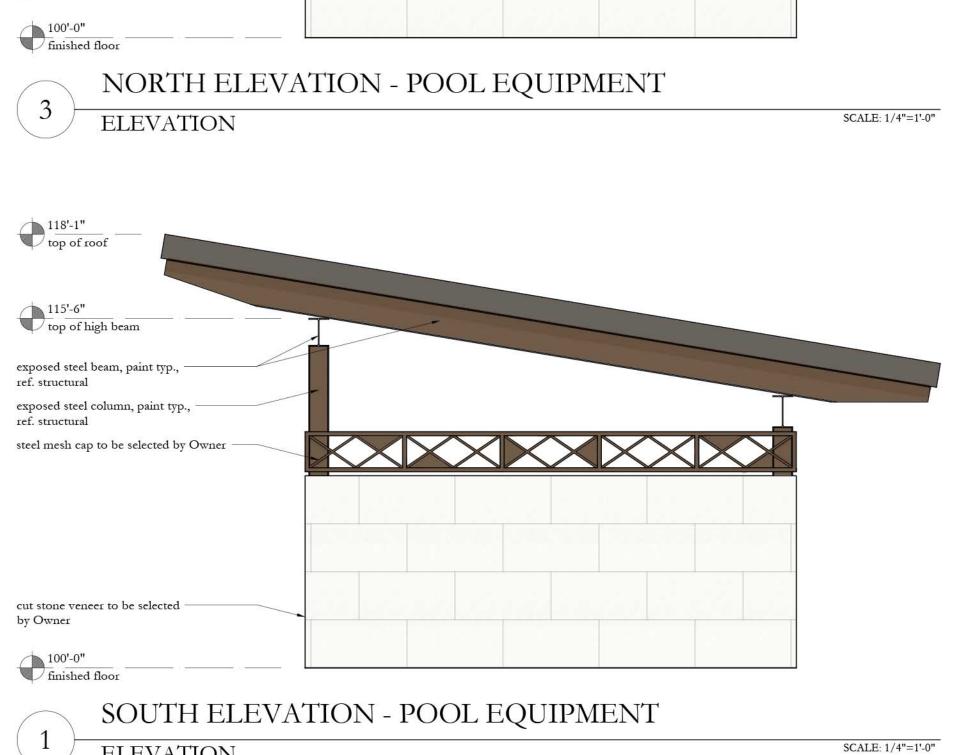
TOTAL SQ FT.

PRIMARY MATERIAL TOTALS CUT STONE VENEER

NICHIHA FIBER CEMENT SIDING

DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT STANDING SEAM METAL ROOF NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS 118'-1" top of roof standing seam metal roof, color to be selected by Owner top of low beam exposed steel beam, paint typ ref. structural exposed steel column, paint typ., ref. structural steel mesh cap to be selected by Owner cut stone veneer to be selected by Owner 100'-0" finished floor EAST ELEVATION - POOL EQUIPMENT 3 ELEVATION SCALE: 1/4"=1'-0"





ELEVATION

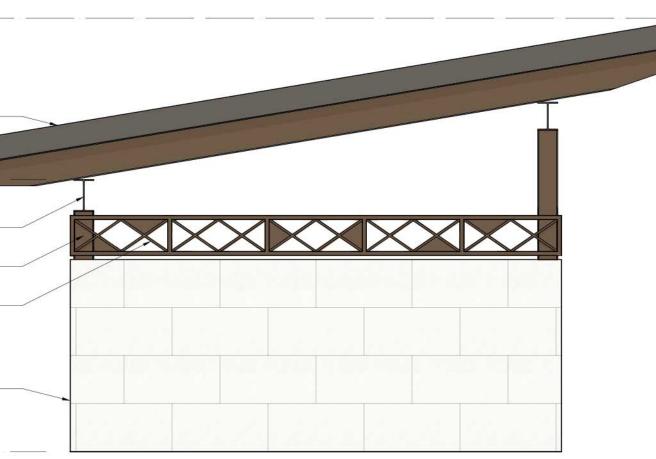
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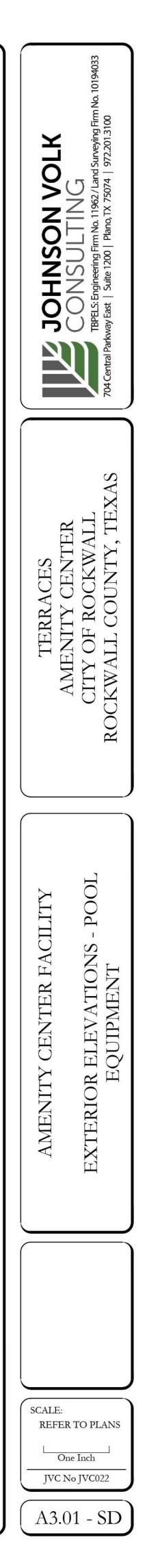
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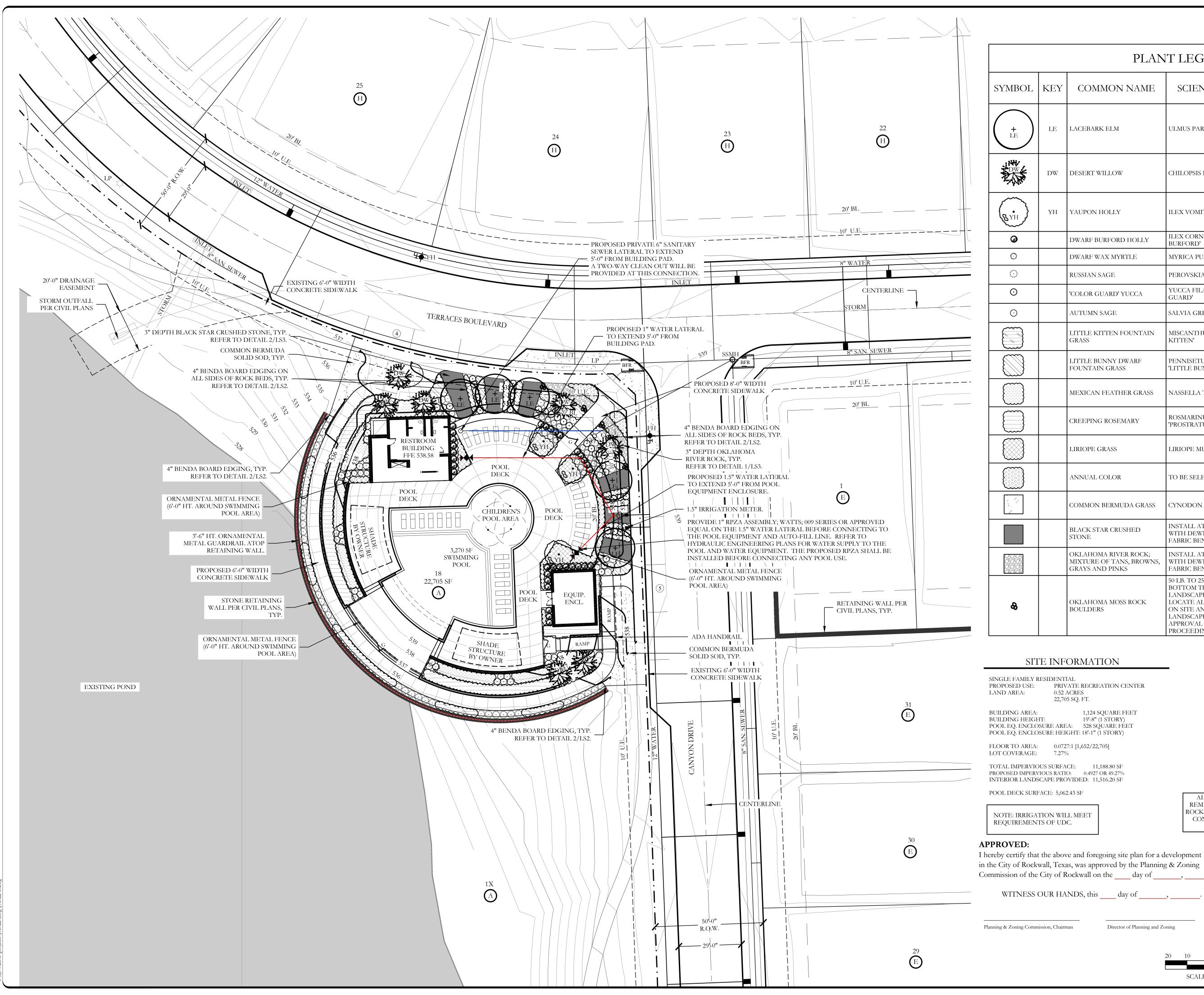
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_

Director of Planning and Zoning Planning & Zoning Commission, Chairman

	North	Percent	South	Percent	East	Percent	West	Percent
	164 S.F.	-	164 S.F.	3-1	206 S.F.	(=))	206 S.F.	-
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
		-	-	-	3 <del>7</del> 3	1711	91 S.F.	56.87%
MATERIALS)	274	-	-	127	1.71	(=)	46 S.F.	-
	274	-	-	127	1.7	(7)	-	-



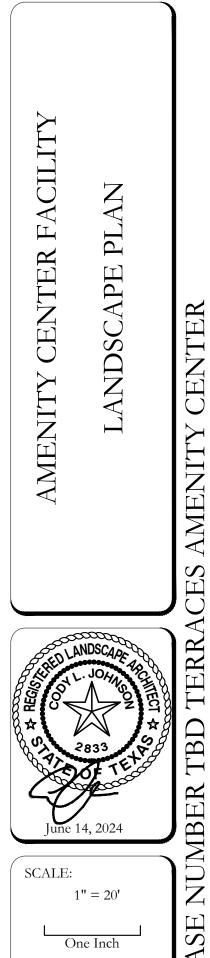




	PLANT LEGEND							
DL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING			
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN			
- 11	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN			
}	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN			
		DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	36" O.C.			
		DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.			
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.			
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.			
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.			
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.			
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISET'UM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.			
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.			
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.			
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.			
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.			
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD			
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	<sup>3</sup> / <sub>4</sub> -1" DIAMETER			
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL Combination OF 1-2" & 2-4"			
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON				

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# SITE INFORMATION

SINGLE FAMILY RESIDENTIAL PROPOSED USE: PRIVATE RECREATION CENTER 0.52 ACRES 22,705 SQ. FT. BUILDING AREA:1,124 SQUARE FEETBUILDING HEIGHT:19'-8" (1 STORY)POOL EQ. ENCLOSURE AREA:528 SQUARE FEET

POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27% INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

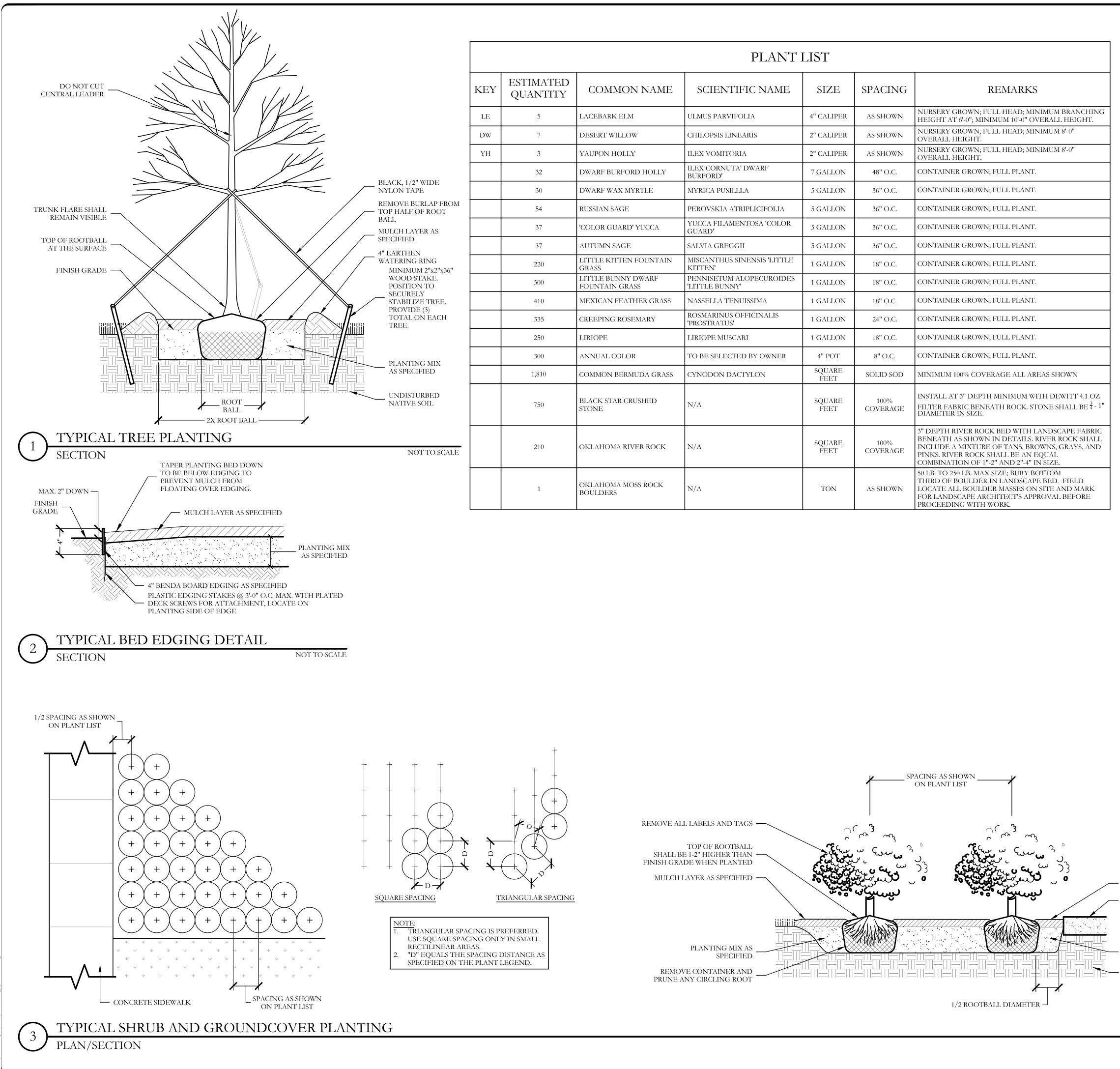
in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SCALE 1" = 20'

June 14, 2024	J
SCALE:	
1" = 20'	
One Inch	
JVC No JVC022	- <b>)</b> (
	h
TC1 - C2	
LS1 of $\underline{3}$	
-	



PLANT LIST								
TIMATED JANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS			
5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.			
7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.			
3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.			
32	DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.			
30	DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
410	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.			
250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.			
1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN			
750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE $\frac{3}{4}$ - 1" DIAMETER IN SIZE.			
210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.			
1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.			

# GENERAL LANDSCAPE NOTES

# **INSPECTIONS:**

- 1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC
- WORKS DEPARTMENT. 2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO
- CALLING FOR ROW INSPECTION AND PERMIT.
- 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

# LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENT'S SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- 3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- 4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN
- PLANT QUALIFICATIONS, GRADES, AND STANDARDS. 6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF
- ARBORICULTURE (ISA) STANDARDS. 7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- 8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED. 9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL
- TILLED AND TURNED TO A DEPTH OF 8" MINIMUM. 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- 11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

## IRRIGATION STANDARDS:

- 1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- 6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- 7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM). IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES;
- SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- 9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

## MAINTENANCE STANDARDS:

- . THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS. 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- 4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

# TREE PROTECTION NOTES:

- 1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- 3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE. 6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE
- DRIP LINE. 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

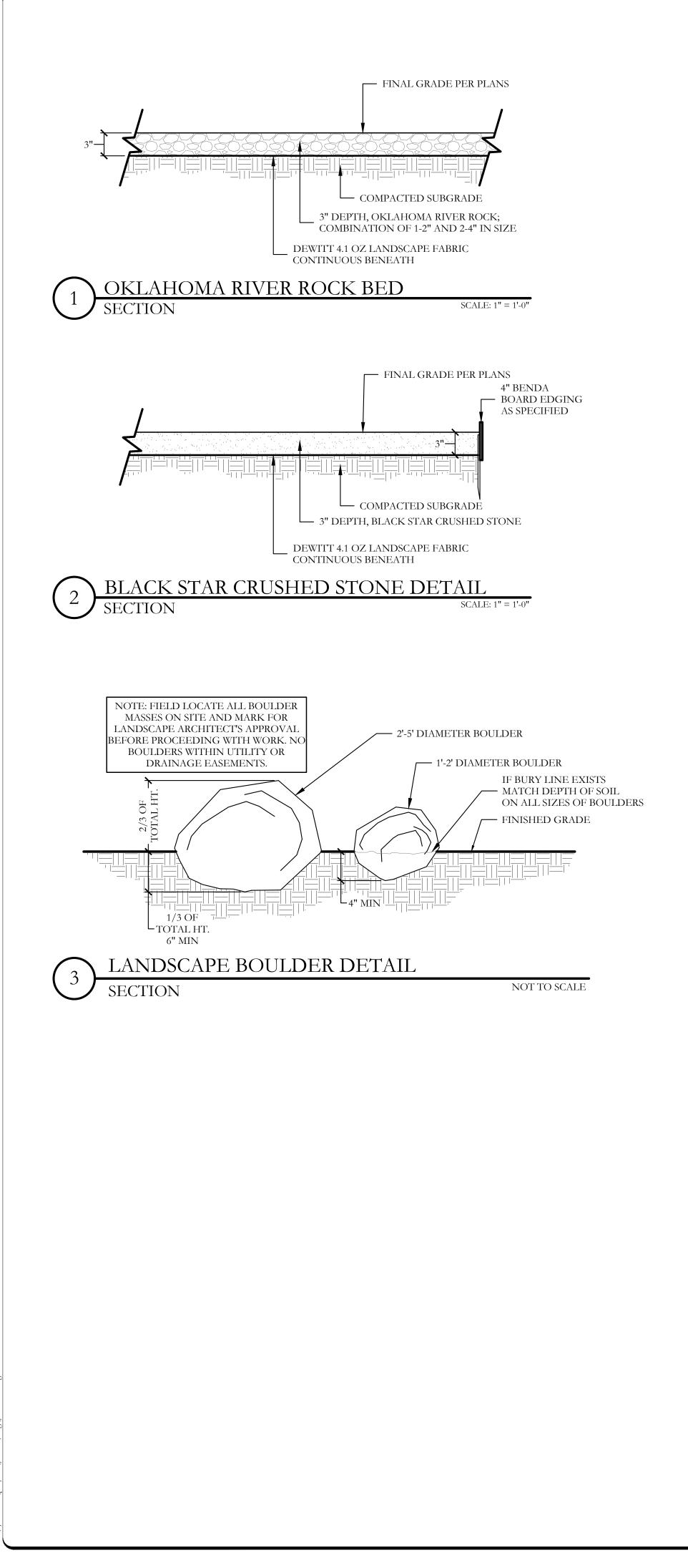
ſOP OF MULCH SHALL BE /2" BELOW SIDEWALK		
CONCRETE SIDEWALK PLANTING MIX AS SPECIFIED UNDISTURBED NATIVE SOIL	<b>APPROVED:</b> I hereby certify that the above and for in the City of Rockwall, Texas, was a Commission of the City of Rockwall WITNESS OUR HANDS, th	pproved by the Planning & Zoning
	Planning & Zoning Commission, Chairman	Director of Planning and Zoning

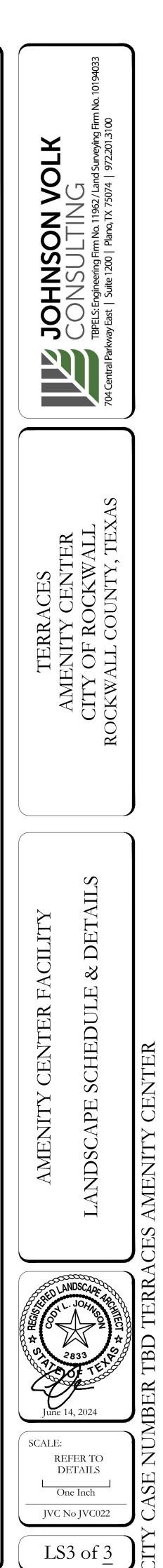
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LANDSCAPE SCHEDULE & DETAILS	CITY OF ROCKWALL	TBPELS: Engineering Firm No. 11962 / Land Surveyin
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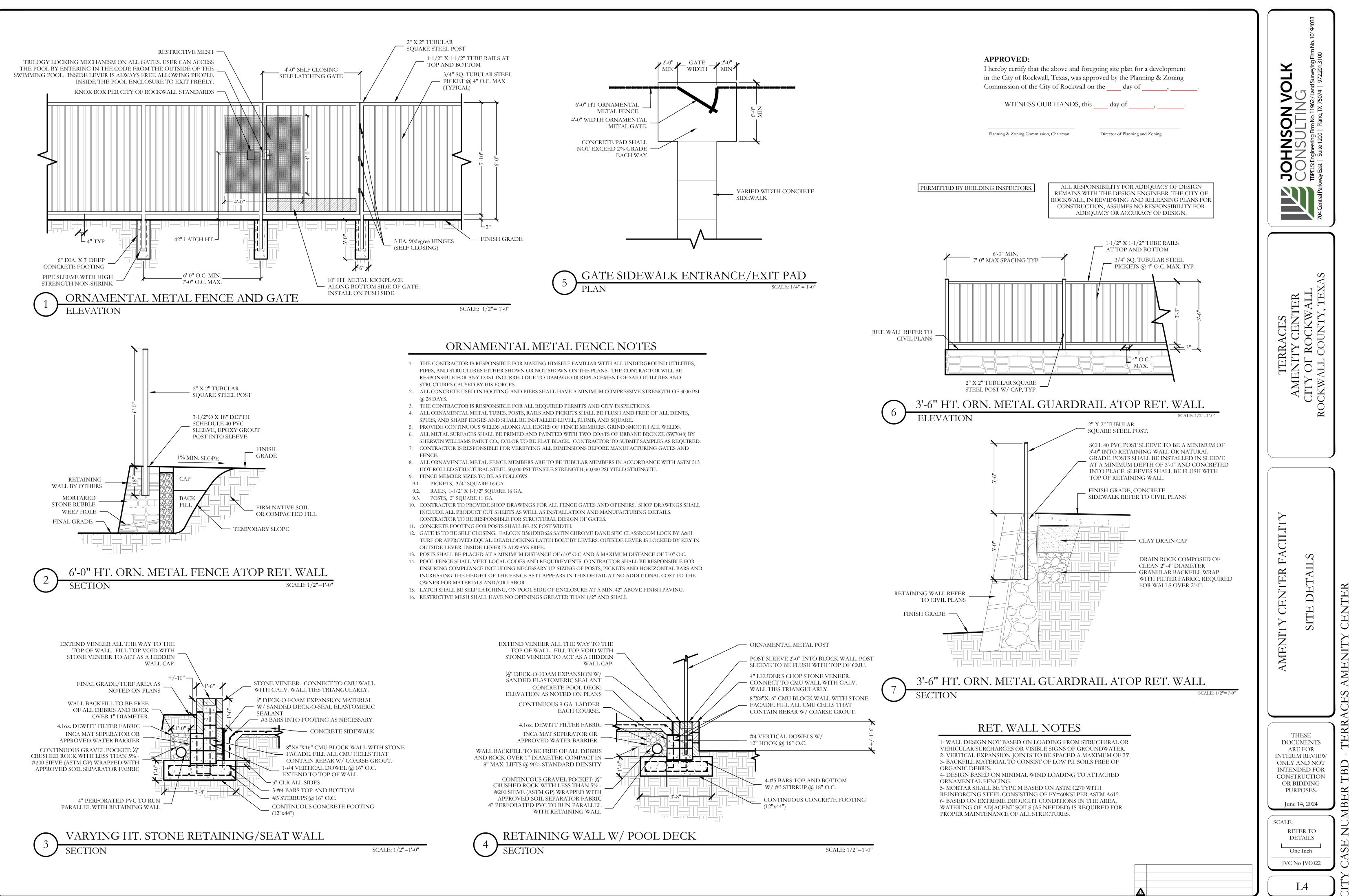
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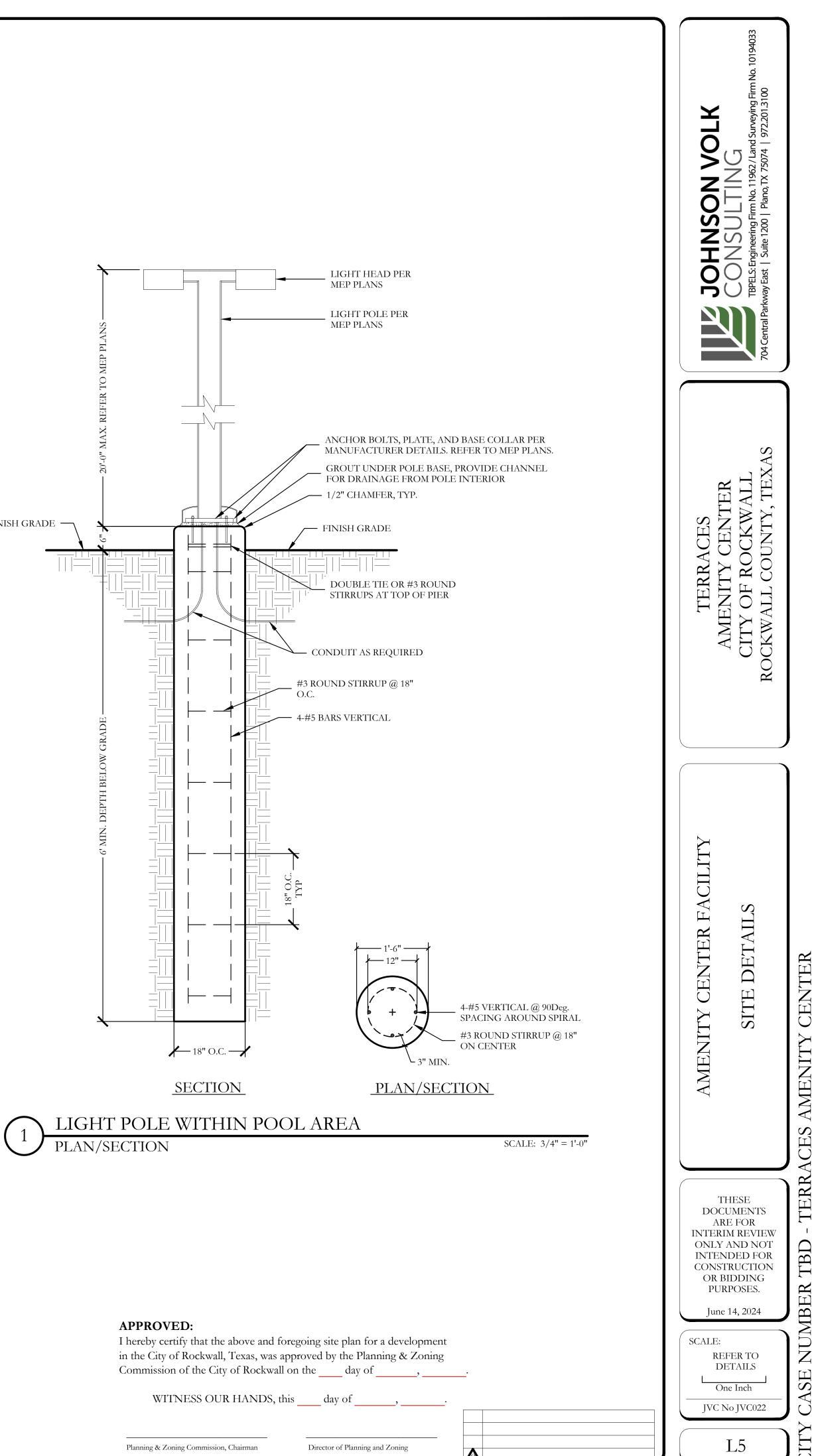


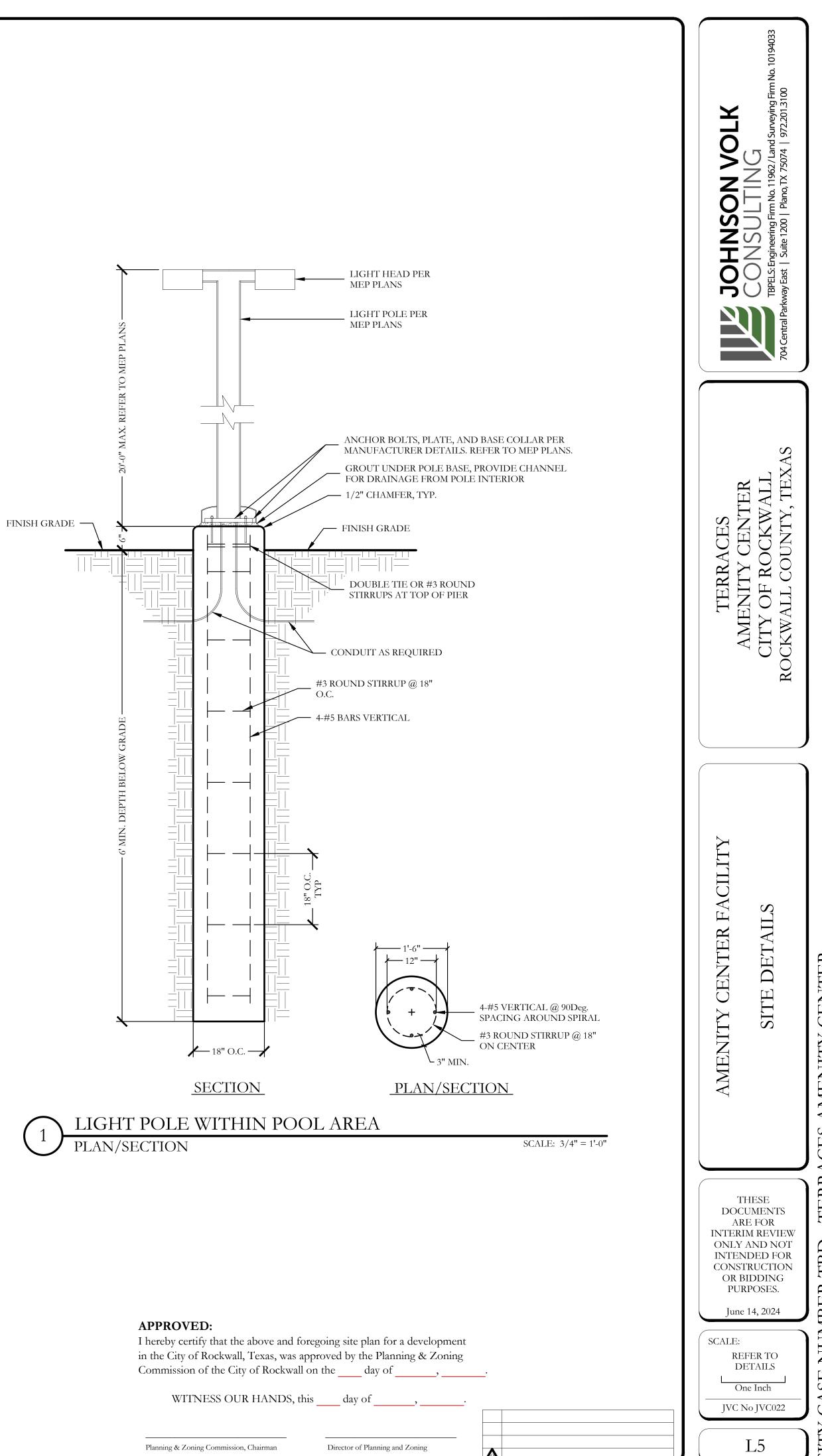


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ROCKWALL, IN	REVIEWING AND RELEASING PLANS FOF ON, ASSUMES NO RESPONSIBILITY FOR
	JACY OR ACCURACY OF DESIGN.

# APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_\_\_. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_\_. Planning & Zoning Commission, Chairman Director of Planning and Zoning

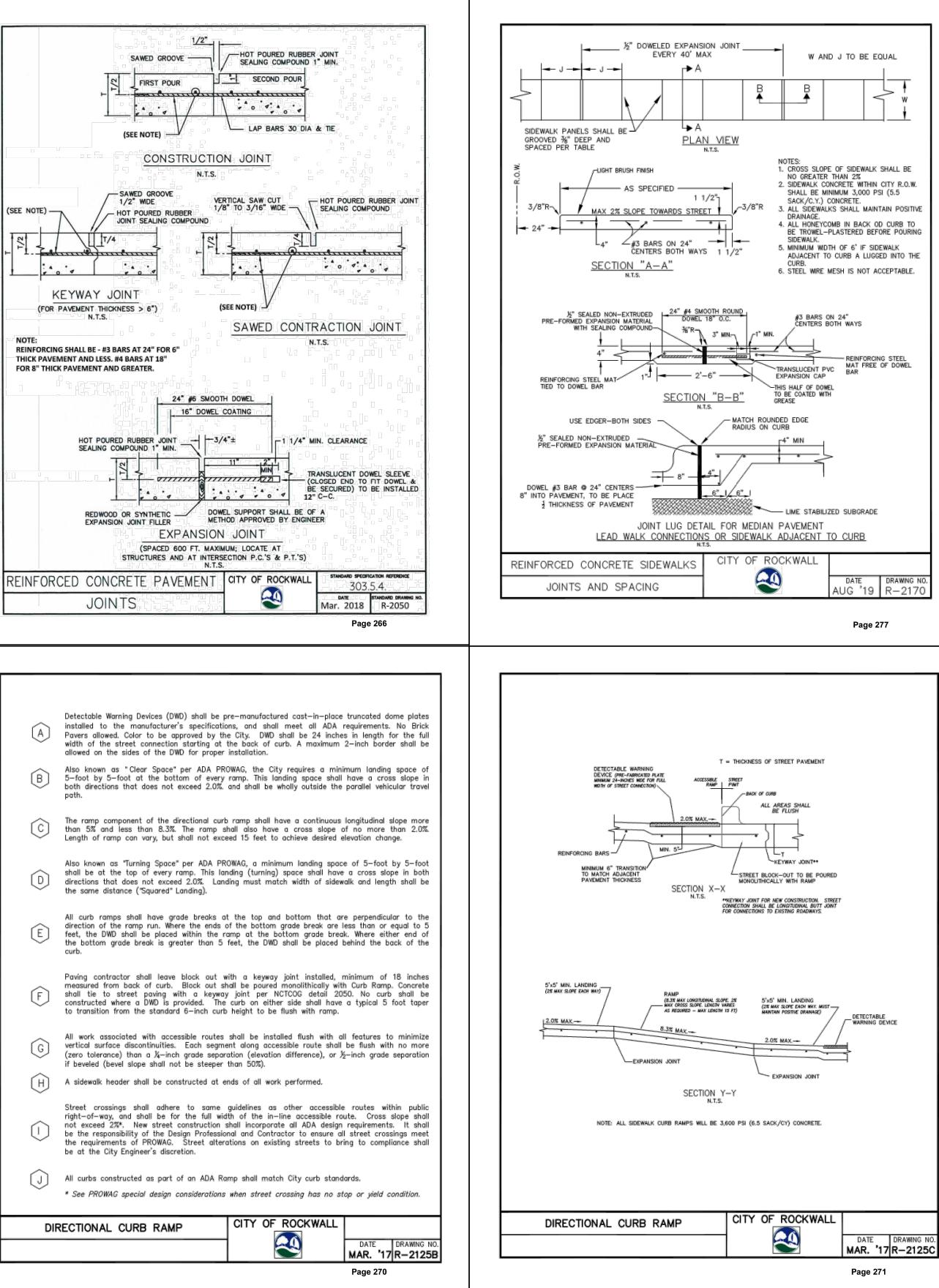






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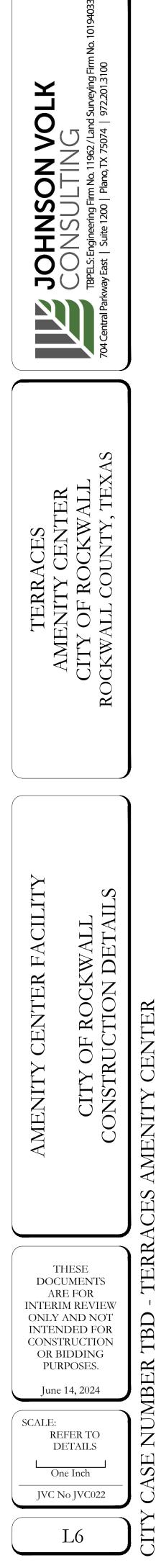


APPROV I hereby ce in the City Commissio

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Planning & Zo

	8"		ADER.	
		CONCRETE, PAVEMENT		
	STREET: HEADER			
		NEW PAVEMENT #4 X 24" DEFORMED DO AT SAME SPACING AS PAVEMENT REINFORCEMEN		
	3/4" DRILLED			
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	BARS EQUAL SIZE OF BARS SPECIFIED IN PAVEMENT REINFORCEMENT	ALL WORK BETWEEN HE BE DONE BY OTHERS OTHERWISE SPECI	UNLESS	
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CO ST TH FE	NCRETE UNDER THE HMAC IS TO BE THE FULL REET THICKNESS. THE NOTCH SHOULD START AT E END OF THE PAVEMETN AND GO TWENTY (20) T UP THE ROAD AWAY FROM THE CROSSING.	REET HEADER AT		
REI	STREET HEADERS		STANDARD SPECIFICATION REFERENCE 12 305.4 50000000000000000000000000000000000	
			Page 268	
	<ul> <li>longitudinal directions</li> <li>Clear space at the bottom of curb within the crosswalk and wholly outs</li> <li>Maximum allowable cross slope on si</li> <li>Additional information on curb ramp be found in the most current editio 68.102. Federal guidelines shall sup</li> <li>Crosswalk dimensions, crosswalk mar in the plans. At intersections whe accessible routes shall align with the</li> <li>Handrails are not required on curb r</li> <li>Provide a flush transition where the</li> <li>Accessible routes are considered "ra (maximum allowable). Sidewalks ur and must follow all applicable guideli</li> <li>DETECTABLE WARNING DEVICE</li> <li>Curb ramps must contain a detect domes complying with Section 705 adjoining surfaces. Furnish and warning surfaces material adjacent the plans.</li> <li>Detectable Warning Materials shall the City. Install products in accordance</li> <li>Detectable warning surfaces shall pedestrian travel, and extend the ful access route enters the street.</li> <li>Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the state of a sk critical. Detectable warning surfaces shall be placed within one or 16. Place traffic signal or illumination facilities and other items so as not space.</li> </ul>	ide the parallel vehicular travel idewalk and curb ramp surface o location, design, light reflect in of the Texas Accessibility S ersede any conflicts. rkings and stop bar locations is re crosswalk markings are no coretical crosswalks unless other tamps. curb ramps connect to the st amps" when longitudinal slopes ander 5% longitudinal slope are ines. table warning surface that ci- of the TAS. The surface the install an approved cast-in- to uncolored concrete, unless be truncated dome plates in with manufacturer's specificat e slip resistant and not allow to be a minimum of 24" in II width of the curb ramp or I the ramp, align the rows of do o run and the street. Where may be curved along the corm rable parts, including pedestric more reach ranges specified in poles, ground boxes, control	path. s is 2%. tive value and texture may tandards (TAS) and 16 TAC shall be as shown elsewhere t required, curb ramps and erwise directed. treet. are between 5% and 8.3% e deemed accessible routes onsists of raised truncated must contrast visually with place dark red detectable specified elsewhere in the the color approved by the ions. water to accumulate. depth in the direction of anding where the pedestrian hearest the curb line is at mes to be perpendicular to detectable warning surfaces int, dome orientation is less ler radius.	
	<ol> <li>Street grades and cross slopes shall</li> <li>Changes in level greater than 1/4 in</li> <li>The least possible grade should be sidewalks and crosswalks within the roadway. Where a continuous grade</li> </ol>	nch are not permitted (1/2 inc e used to maximize accessib public right of way may follo	h with bevel). ility. The running slope of w the grade of the parallel	
	desirable to improve accessibility. He potentially hazardous conditions. If p 20. Handrail extensions shall not protr pedestrian routes.	andrails may also be needed provided, handrails shall comply	to protect pedestrians from with TAS 505.	
	percention reaces.			
	DIRECTIONAL CURB RAMP		(WALL	





Planning and Zoning Department City of Rockwall – Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

June 14, 2024

**Tree Survey Affidavit** Terraces, Amenity Center City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

Sincerely,

Cody Johnson, RLA, ASLA, LI Johnson Volk Consulting 704 Central Parkway East Suite 1200 Plano, Texas 75074

PLASEG CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REDUEST (SELECT ONLY ONE BOX PLATTING APPLICATION FEES: IMAGE FRUNT (SUDDO + 515 ON ACRE) 1 INDICATE THAN APPLICATION (SUDDO + 515 ON ACRE) 1 INDICATE THAN (SUDDO + 515 ON ACRE) 1 INDICATE THA		City of Rockwall	oning Department	ΑΤ		Plan <u>Note</u> City Signi Direc	F USE ONLY NING & ZONING THE APPLICAT UNTIL THE PLAN ED BELOW. CTOR OF PLANN ENGINEER:	TON IS NOT CONSIL INING DIRECTOR AI	DERED ACCEI ND CITY ENGI	PTED BY THE INEER HAVE
PATTING APPLICATION FEES:       DOWNO APPLICATION FEES:         DEVELORMING FUEL (\$100.00 + 315.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1         DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1         DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1         DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1         DEVELOPMENT [AUX00.00 + 500.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE) 1         DEVELOPMENT [AUX00.00 + 500.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE) 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE) 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE] 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE) 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE] 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE] 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE] 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE] 1       DEVELOPMENT [AUX00.00 + 515.00 ACRE] 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE] 1       DEVELOPMENT [AUX00.00 + 500.00 ACRE] 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE] 10       DEVELOPMENT [AUX00.00 + 500.00 ACRE] 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE] 10       DEVELOPMENT [AUX00.00 + 500.00 ACRE] 10         DEVELOPMENT [AUX00.00 + 500.00 ACRE] 10       DEVELOPMENT [AUX00.00 + 500.00 ACRE] 10	PLEASE CHECK THE	APPROPRIATE BOX BELOW	TO INDICATE THE TYPE	OF D	EVELOPMENT	REG	UEST [SELEC	T ONLY ONE BOX	]:	
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DEVELOPMENT APPLICATION . CITY OF ROCKWALL . 385 SOUTH GOUAD STREET . ROCKWALL TX 75087 . 101 (873) 774 7745			Victory Lear 1	u	treel		MYCOM	MISSION EXPIRES	07.12	2.2025

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745

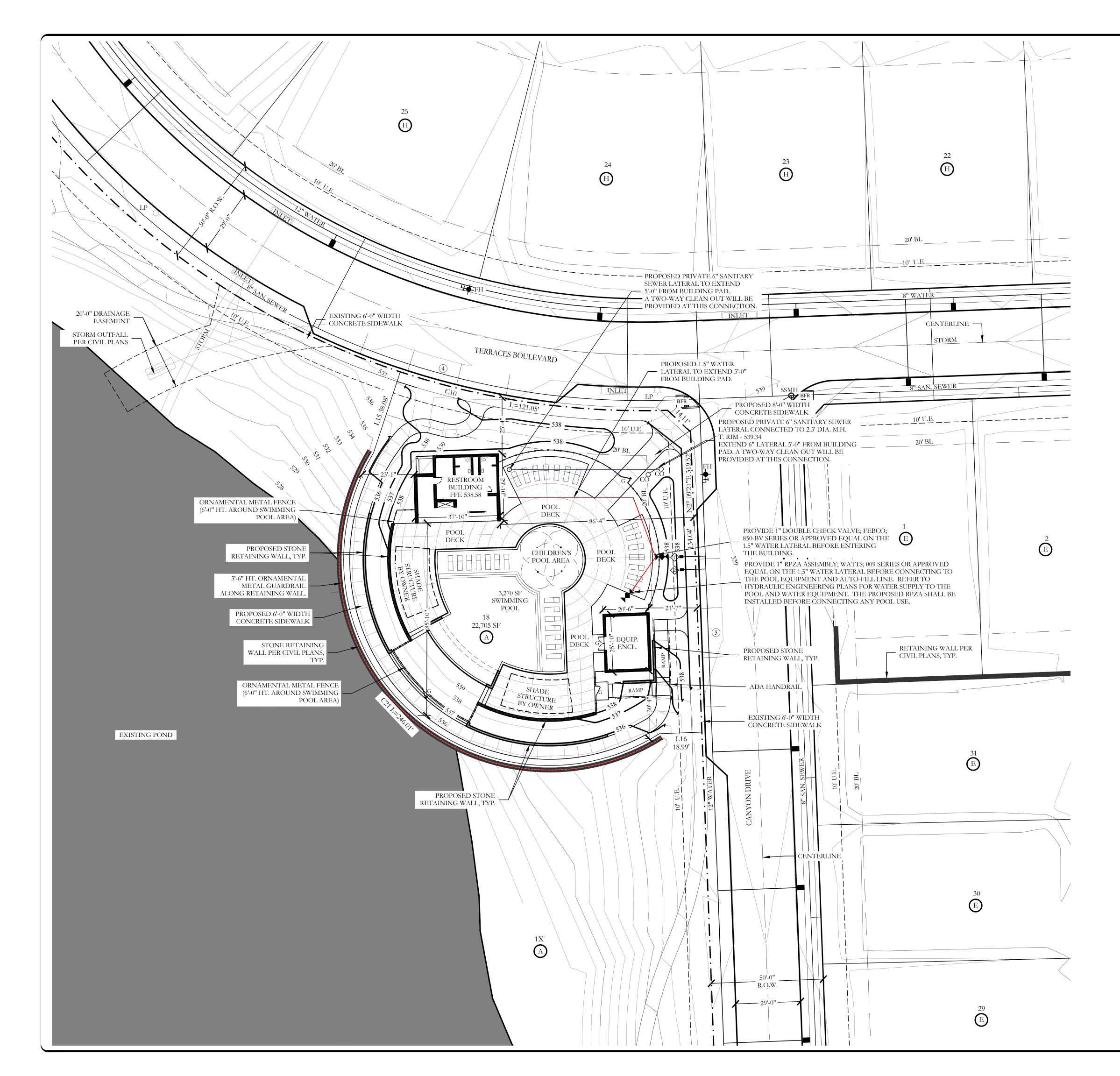




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





	LEG	END	
4	EXISTING PARKING COUNT	<li>1&gt; =</li>	EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	<u>^</u>	EXISTING 1.5" IRRIGATION
FН <b>- — —</b>	EXISTING FIRE HYDRANT	¥/ <b>-</b>	WATER METER
TI O	EXISTING SANITARY SEWER	<del>000</del> 0	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
Ŭ	MANHOLE	∱ G	1 - 4'-0" WIDTH SELF LATCHING,
<del></del>	EXISTING WATER MAIN W/ VALVE	G	SELF CLOSING METAL GATE
	EXISTING SANITARY SEWER		PROPOSED STONE RETAINING WALL
	EXISTING STORM		RETAINING WALL PER CIVIL PLANS
	EXISTING CURB INLET		TYP.
	RIGHT-OF-WAY		ADA HANDRAIL
р Р	LIGHT POLE		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
- 538	EXISTING CONTOUR INTERVAL		
<b>-</b> 538 <b></b>	PROPOSED CONTOUR INTERVAL		
FE 538.58	FINISHED FLOOR ELEVATION		

# **APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

# WATER METER SCHEDULE

METER	WATER	WATER	ME	ETER	SAN.
ID NUMBER	SERVICE SIZE	METER SIZE	DOM.	IRR.	SERVICE SIZE
	1.5"	1.5"	Х		6"
	1.5"	1.5"		Х	

# SITE INFORMATION

SINGLE FAMILY RESII PROPOSED USE: LAND AREA:	DENTIAL PRIVATE RECREATION CENTER 0.52 ACRES 22,705 SQ. FT.
BUILDING AREA:	1,124 SQUARE FEET
BUILDING HEIGHT:	19'-8" (1 STORY)
POOL EQ. ENCLOSUR	E AREA: 528 SQUARE FEET
POOL EQ. ENCLOSUR	E HEIGHT: 18'-1" (1 STORY)
FLOOR TO AREA:	0.0727:1 [1,652/22,705]
LOT COVERAGE:	7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27% INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

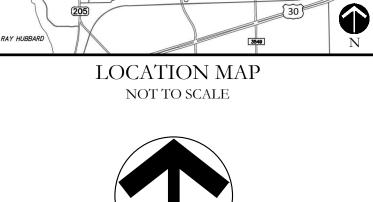
POOL DECK SURFACE: 5,062.43 SF

## SITE PLAN NOTES:

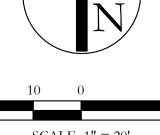
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY. • FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD
- CONSTRUCTION DETAILS. • ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. • ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW





SITE 🟲



SCALE 1" = 20'

# SITE PLAN TERRACES LOT 18, BLOCK A ~AMENITY CENTER~

BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO.122

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **OWNER/DEVELOPER:** 

TM TERRACES, LLC 4416 W. LOVERS LANE SUITE 200 DALLAS, TEXAS 75209 PH. 214-577-1431 **CONTACT: BOBBY HARRELL** BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER: JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. 972-201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI CODY.JOHNSON@JOHNSONVOLK.COM

SP1







# 119'-8" top of roof 1 standing seam metal roof, —— color to be selected by Owner 111'-4" top of low beam exposed steel beam, paint typ.,ref. structural exposed steel column, paint typ.,ref. structural cut stone veneer to be selected by Owner 100'-0" finished floor

ELEVATION

- -

3

119'-8" top of roof

exposed steel beam, paint typ., -ref. structural

exposed steel column, paint typ., ref. structural

tile to be selected by Owner

by Owner

100'-0" finished floor

cut stone veneer to be selected

steel mesh cap to be selected by Owner -

ELEVATION

111'-4" top of low beam

# **BUILDING MATERIAL CA**

# **APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.		385 S.F.	(	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	<u>18</u> 33	<u>4</u>	2	82	187 S.F.	48.57%	<u>e</u>	2
SECONDARY MATERIALS	122	2	165 S.F.	30.84%	121	(2)	-	2
TILE AT SHOWER/DRINKING FOUNTAINS	1211	-	165 S.F.	30.84%	(2)	(11)	-	2
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)		2	2	~~	327	(121)		-
STANDING SEAM METAL ROOF	(-1)	-	-	3. <del></del>		(=)	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



# NORTH ELEVATION - RESTROOM BUILDING

SCALE: 1/4"=1'-0"



JOHNSON VOLK	Tot Central Parkway East   Suite 1200   Plano, TX 75074   972.201.3100
TERRACES AMENITY CENTER	CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS
AMENITY CENTER FACILITY	EXTERIOR ELEVATIONS - RESTROOM BUILDING
	TO PLANS e Inch o JVC022 0 - SD

118'-1" top of roof

111'-4" top of low beam

ref. structural

by Owner

4

100'-0" finished floor

118'-1" top of roof

ref. structural

by Owner

by Owner

2)

exposed steel beam, paint typ.,

exposed steel column, paint typ., -ref. structural

cut stone veneer to be selected

steel mesh cap to be selected by Owner

ELEVATION

# **BUILDING MATERIAL CALCULATIONS**

Material

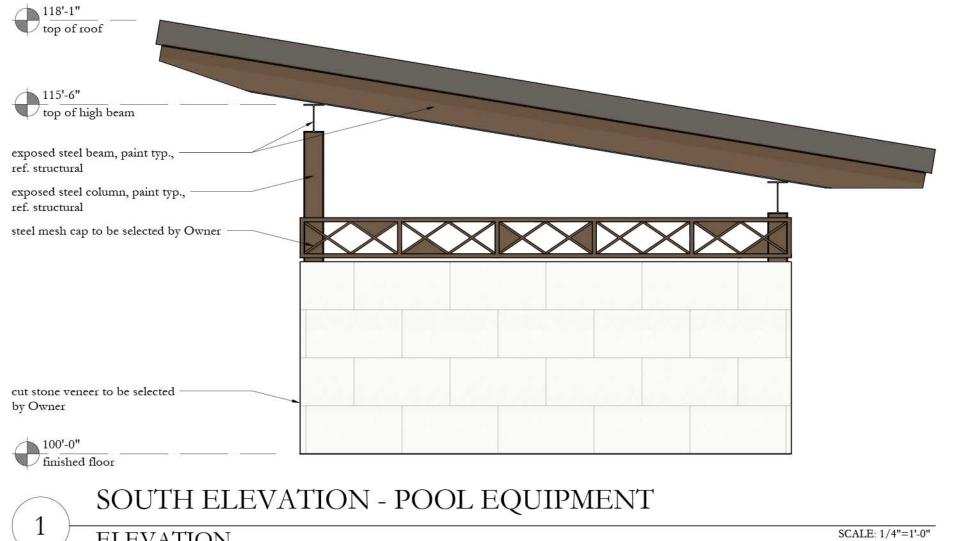
TOTAL SQ FT.

PRIMARY MATERIAL TOTALS CUT STONE VENEER

NICHIHA FIBER CEMENT SIDING

DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT STANDING SEAM METAL ROOF NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS 118'-1" top of roof standing seam metal roof, color to be selected by Owner top of low beam exposed steel beam, paint typ. ref. structural exposed steel column, paint typ., ref. structural steel mesh cap to be selected by Owner cut stone veneer to be selected by Owner 100'-0" finished floor EAST ELEVATION - POOL EQUIPMENT NORTH ELEVATION - POOL EQUIPMENT 3 ELEVATION SCALE: 1/4"=1'-0"





ELEVATION

ELEVATION

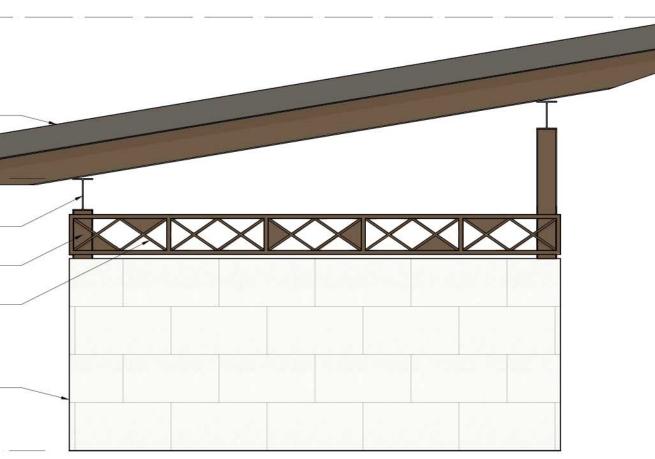
# **APPROVED:**

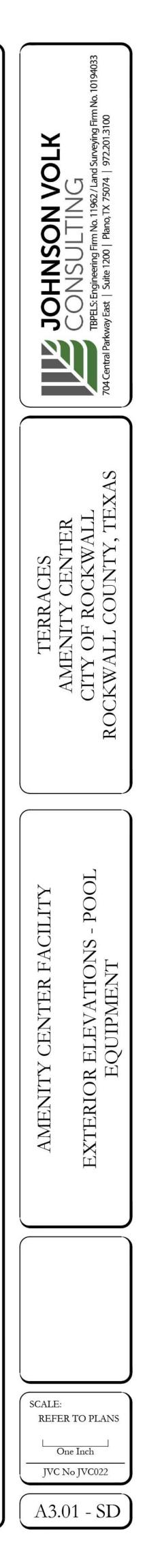
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ \_\_\_\_,\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_

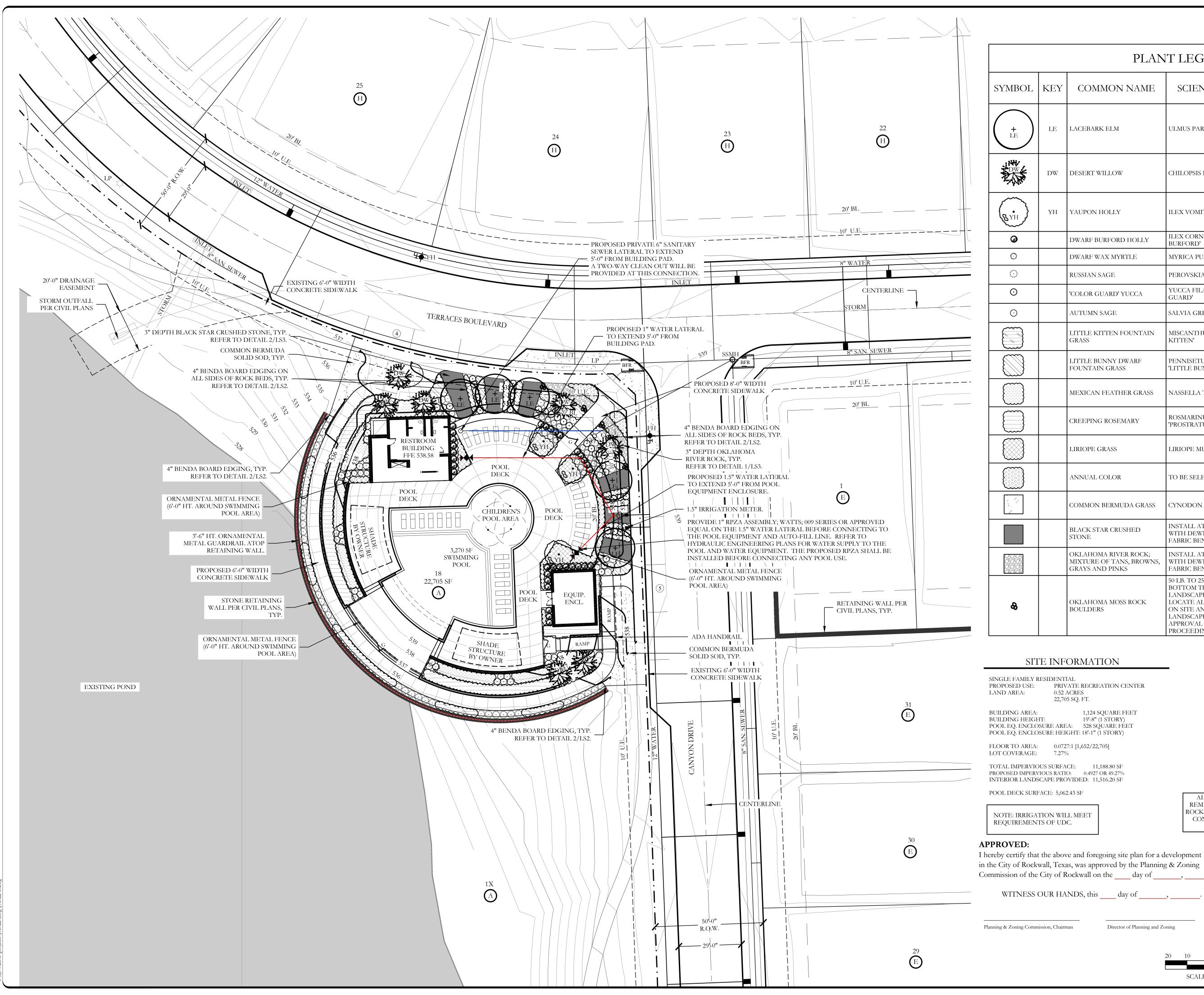
Director of Planning and Zoning Planning & Zoning Commission, Chairman

	North	Percent	South	Percent	East	Percent	West	Percent
	164 S.F.	-	164 S.F.	-	206 S.F.	(	206 S.F.	-
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
		-	-	6 <del>,1</del> 0	175	1 <del></del>	91 S.F.	56.87%
MATERIALS)	174	-		-		(77)	46 S.F.	
	17.9	-		127		(77)	-	-





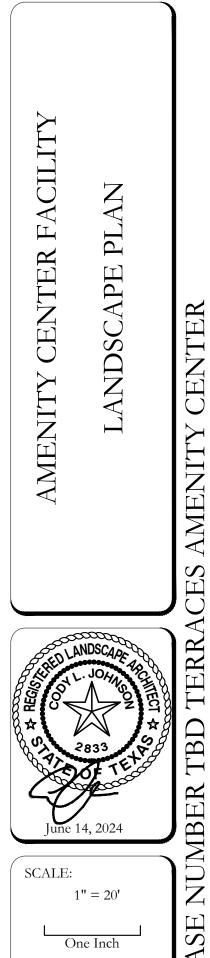
SCALE: 1/4"=1'-0"



	PLANT LEGEND								
DL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING				
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN				
- 11	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN				
}	YH       YAUPON HOLLY       ILEX VOMITORIA         DWARF BURFORD HOLLY       ILEX CORNUTA' DWARF BURFORD'		ILEX VOMITORIA	2" CALIPER	AS SHOWN				
				7 GALLON	36" O.C.				
		DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.				
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.				
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.				
	AUTUMN SAGE		SALVIA GREGGII	5 GALLON	36" O.C.				
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.				
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISET'UM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.				
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.				
	CREEPING ROSEMARY     ROSMARINUS OFFICINALIS 'PROSTRATUS'     1 GALLO		1 GALLON	24" O.C.					
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.				
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.				
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD				
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	<sup>3</sup> / <sub>4</sub> -1" DIAMETER				
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL Combination OF 1-2" & 2-4"				
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON					

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# SITE INFORMATION

SINGLE FAMILY RESIDENTIAL PROPOSED USE: PRIVATE RECREATION CENTER 0.52 ACRES 22,705 SQ. FT. BUILDING AREA:1,124 SQUARE FEETBUILDING HEIGHT:19'-8" (1 STORY)POOL EQ. ENCLOSURE AREA:528 SQUARE FEET

POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27% INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

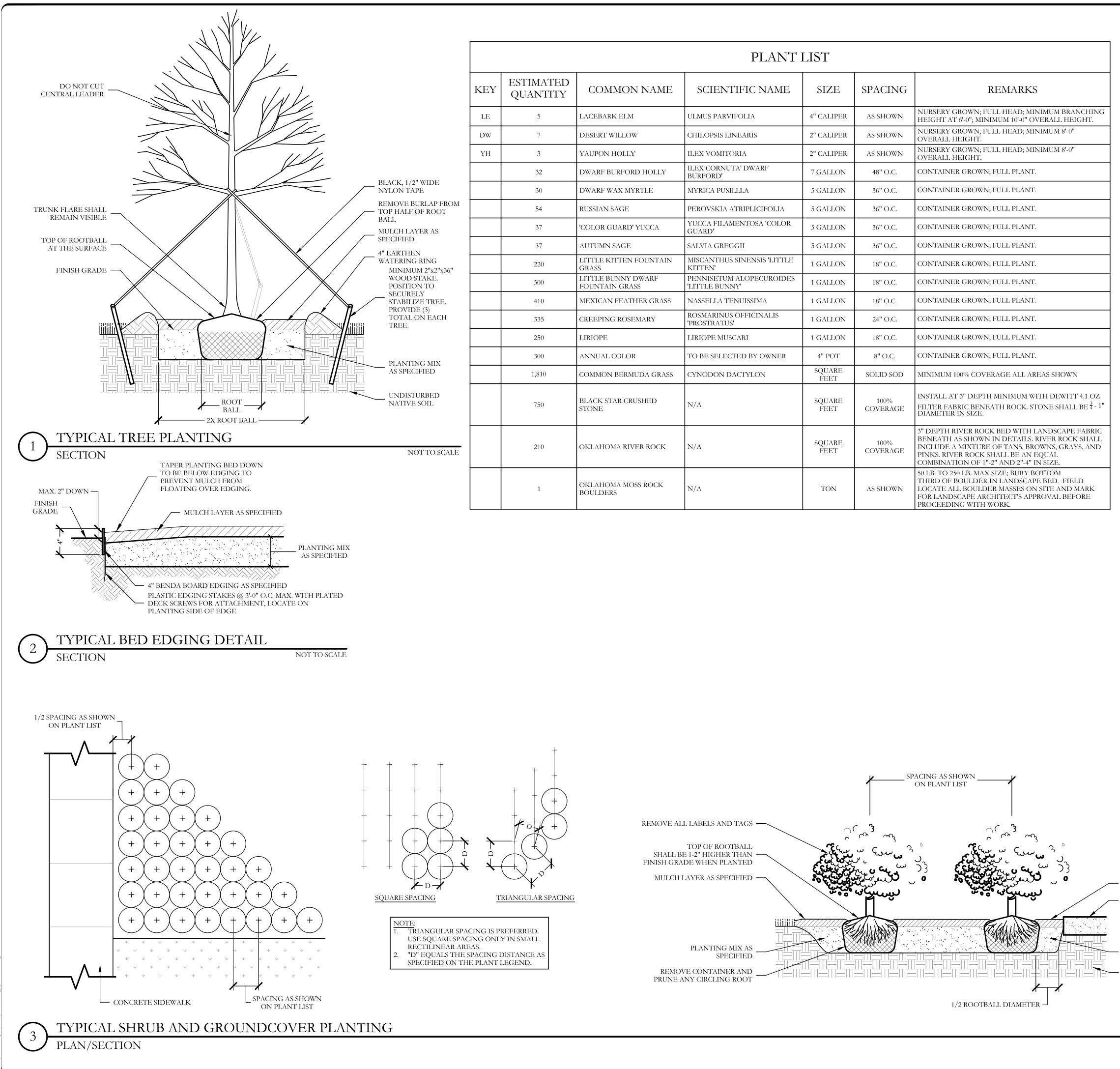
in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SCALE 1" = 20'

June 14, 2024	J
SCALE:	
1" = 20'	
One Inch	
JVC No JVC022	- <b>)</b> (
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TC1 - C2	
LS1 of $\underline{3}$	
-	



PLANT LIST								
TIMATED JANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS			
5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.			
7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.			
3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.			
32	DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.			
30	DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.			
220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
410	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.			
250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.			
300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.			
1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN			
750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE $\frac{3}{4}$ - 1" DIAMETER IN SIZE.			
210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.			
1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.			

# GENERAL LANDSCAPE NOTES

# **INSPECTIONS:**

- 1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC
- WORKS DEPARTMENT. 2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO
- CALLING FOR ROW INSPECTION AND PERMIT.
- 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

# LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENT'S SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- 3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- 4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN
- PLANT QUALIFICATIONS, GRADES, AND STANDARDS. 6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF
- ARBORICULTURE (ISA) STANDARDS. 7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- 8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED. 9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL
- TILLED AND TURNED TO A DEPTH OF 8" MINIMUM. 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- 11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

## IRRIGATION STANDARDS:

- 1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- 6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- 7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM). IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES;
- SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- 9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

## MAINTENANCE STANDARDS:

- . THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS. 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- 4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

# TREE PROTECTION NOTES:

- 1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- 3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE. 6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE
- DRIP LINE. 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

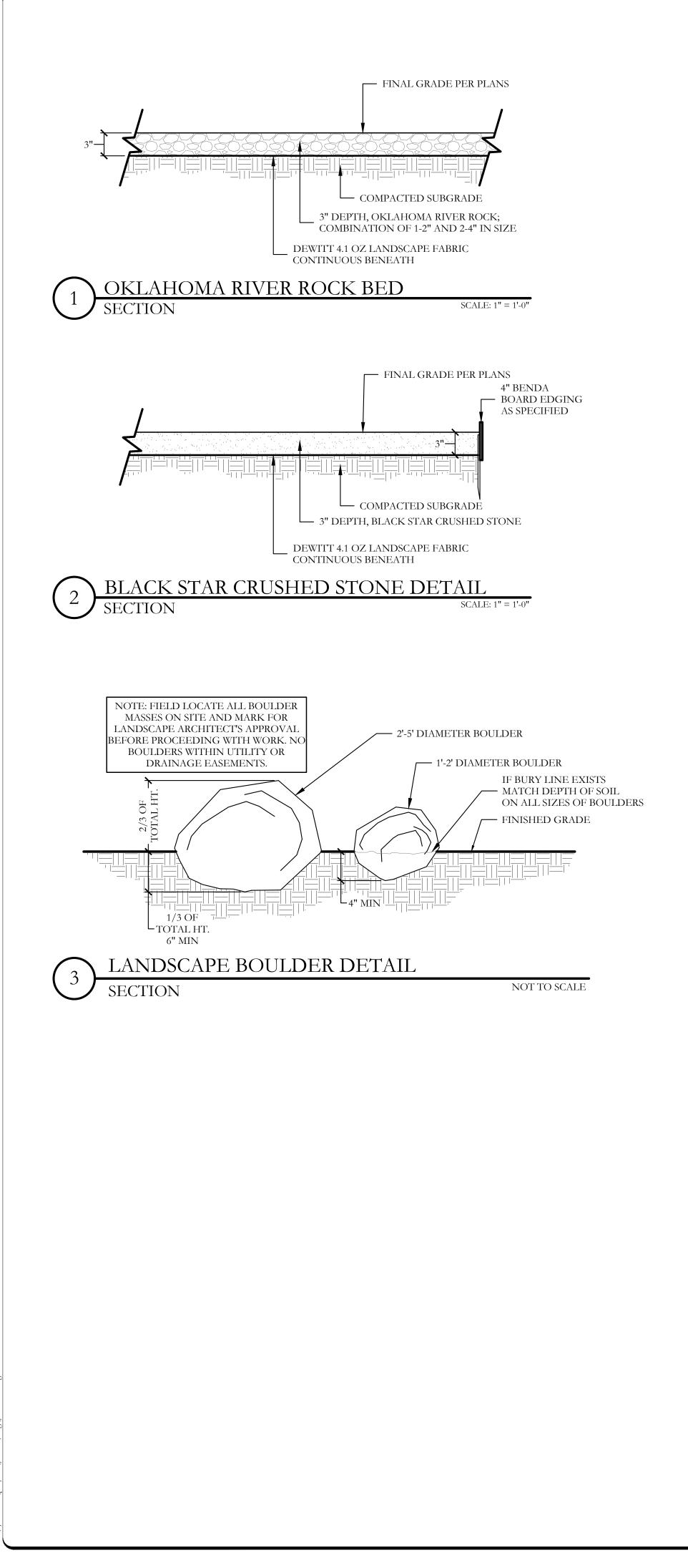
ſOP OF MULCH SHALL BE /2" BELOW SIDEWALK		
CONCRETE SIDEWALK PLANTING MIX AS SPECIFIED UNDISTURBED NATIVE SOIL	<b>APPROVED:</b> I hereby certify that the above and for in the City of Rockwall, Texas, was a Commission of the City of Rockwall WITNESS OUR HANDS, th	pproved by the Planning & Zoning
	Planning & Zoning Commission, Chairman	Director of Planning and Zoning

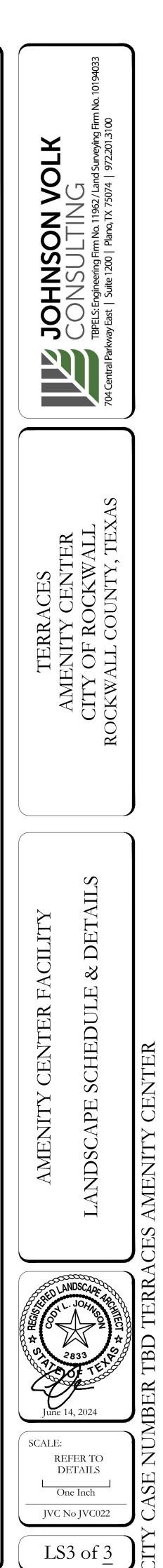
AMENITY CENTER FACILITY	TERRACES	
	AMENITY CENTER	
LANDSCAPE SCHEDULE & DETAILS	CITY OF ROCKWALL	TBPELS: Engineering Firm No. 11962 / Land Surveyin
	ROCKWALL COUNTY, TEXAS	704 Central Parkway East   Suite 1200   Plano, TX 75074   972.201.
ACES AMENITY CENTER		

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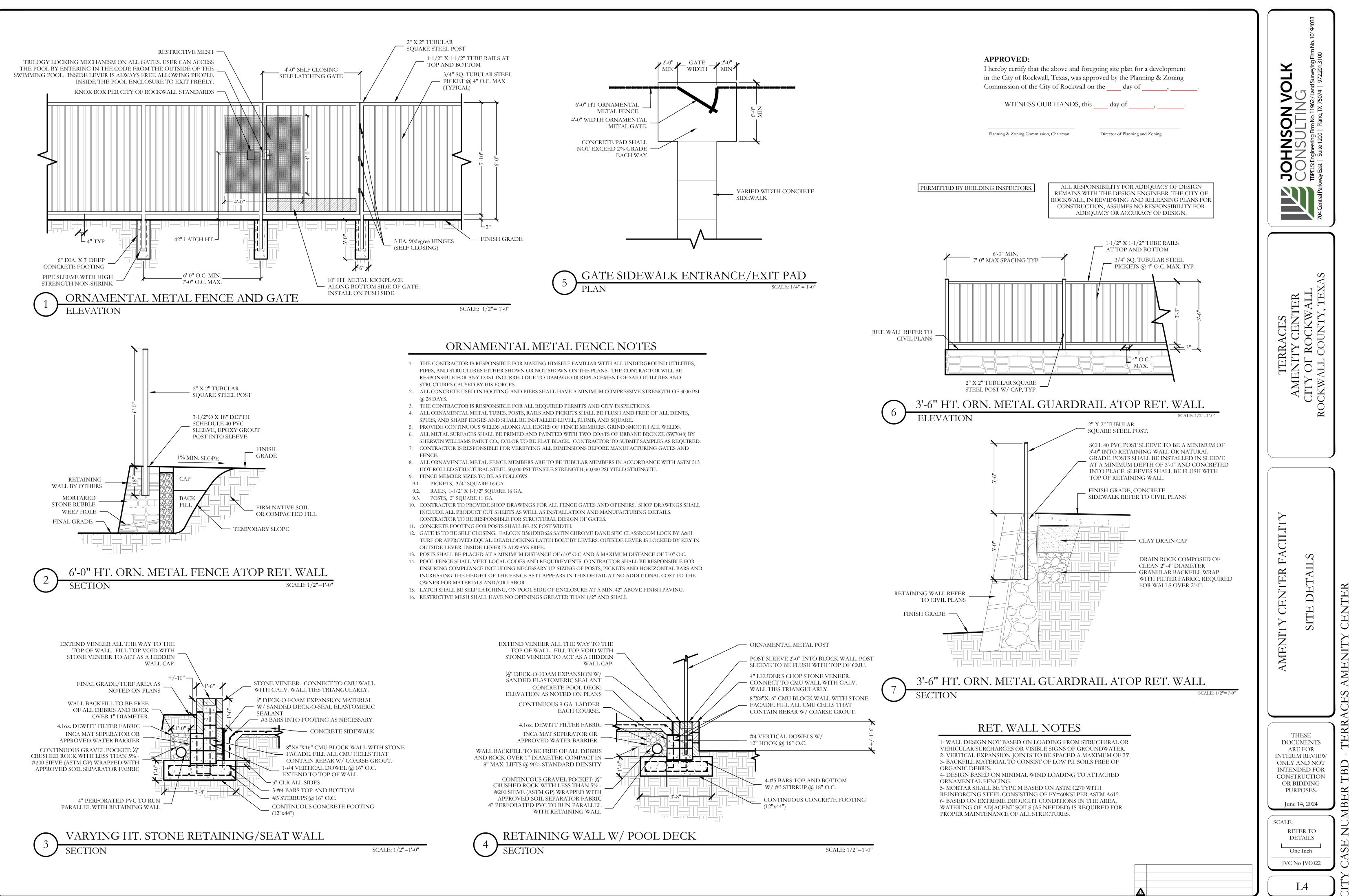
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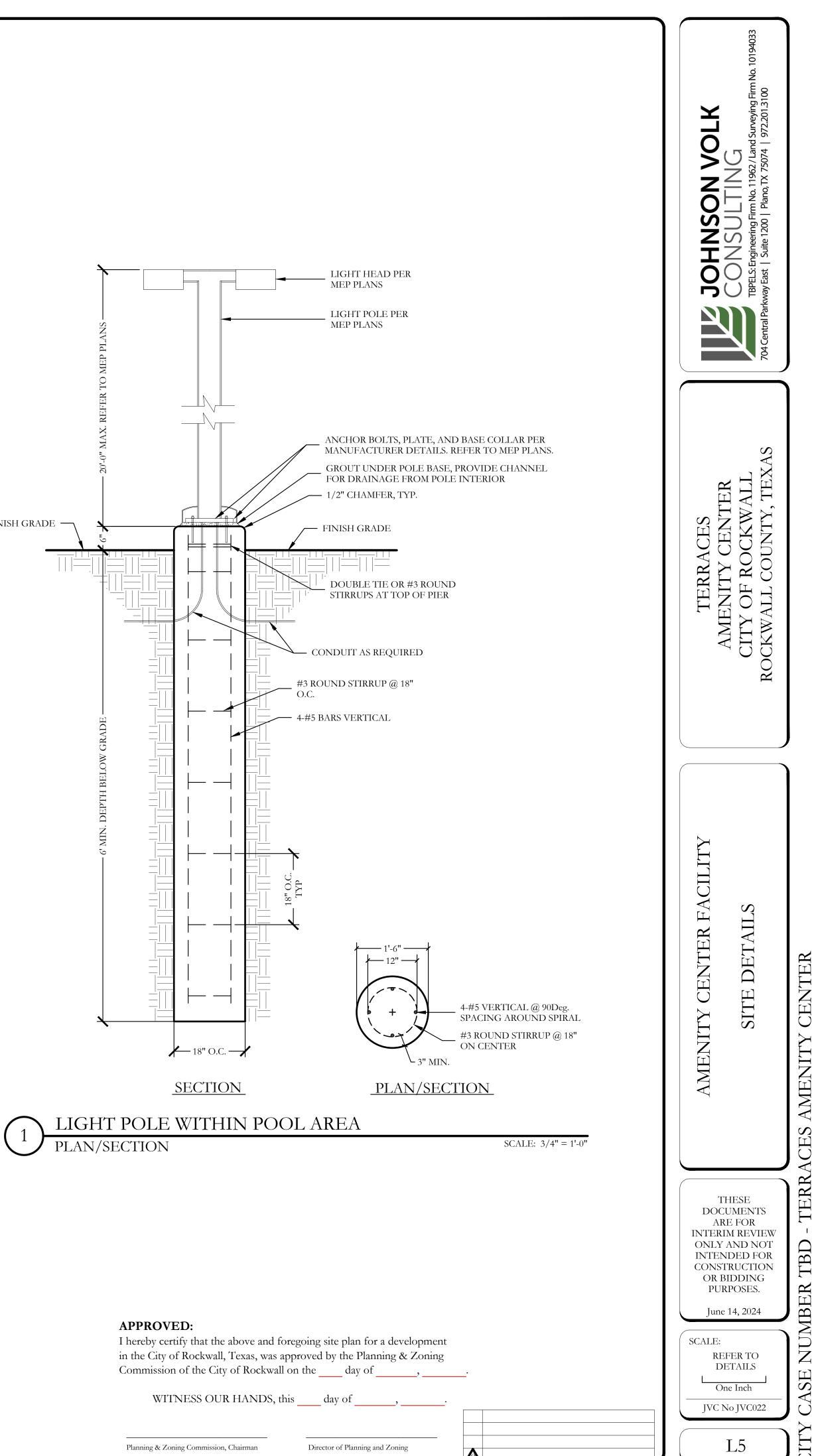


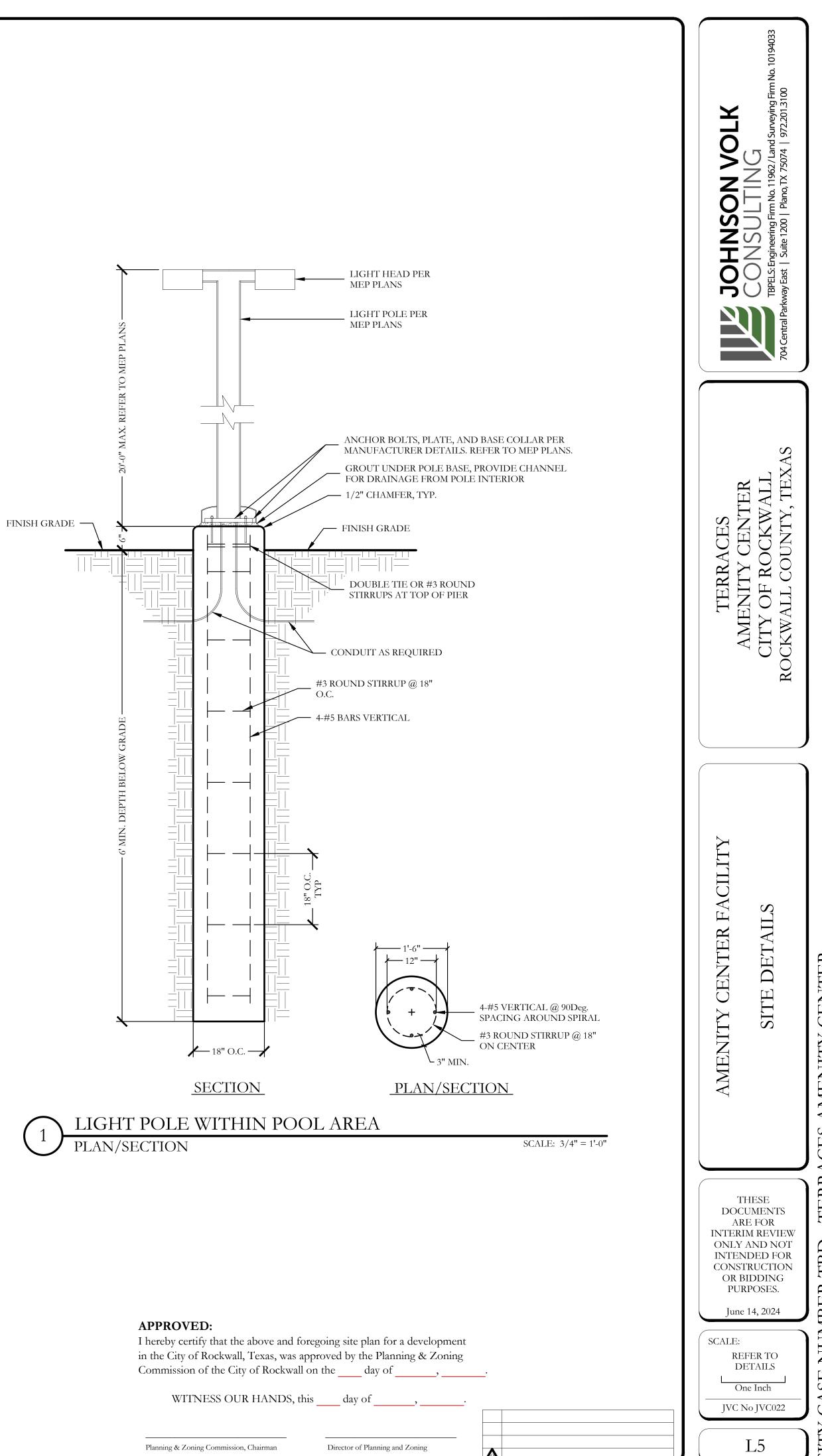


ALL RESPON REMAINS WITH	ISIBILITY FOR ADEQUACY OF DESIGN I THE DESIGN ENGINEER. THE CITY OF
ROCKWALL, IN	REVIEWING AND RELEASING PLANS FOF ON, ASSUMES NO RESPONSIBILITY FOR
	JACY OR ACCURACY OF DESIGN.

# APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_\_\_. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_\_. Planning & Zoning Commission, Chairman Director of Planning and Zoning

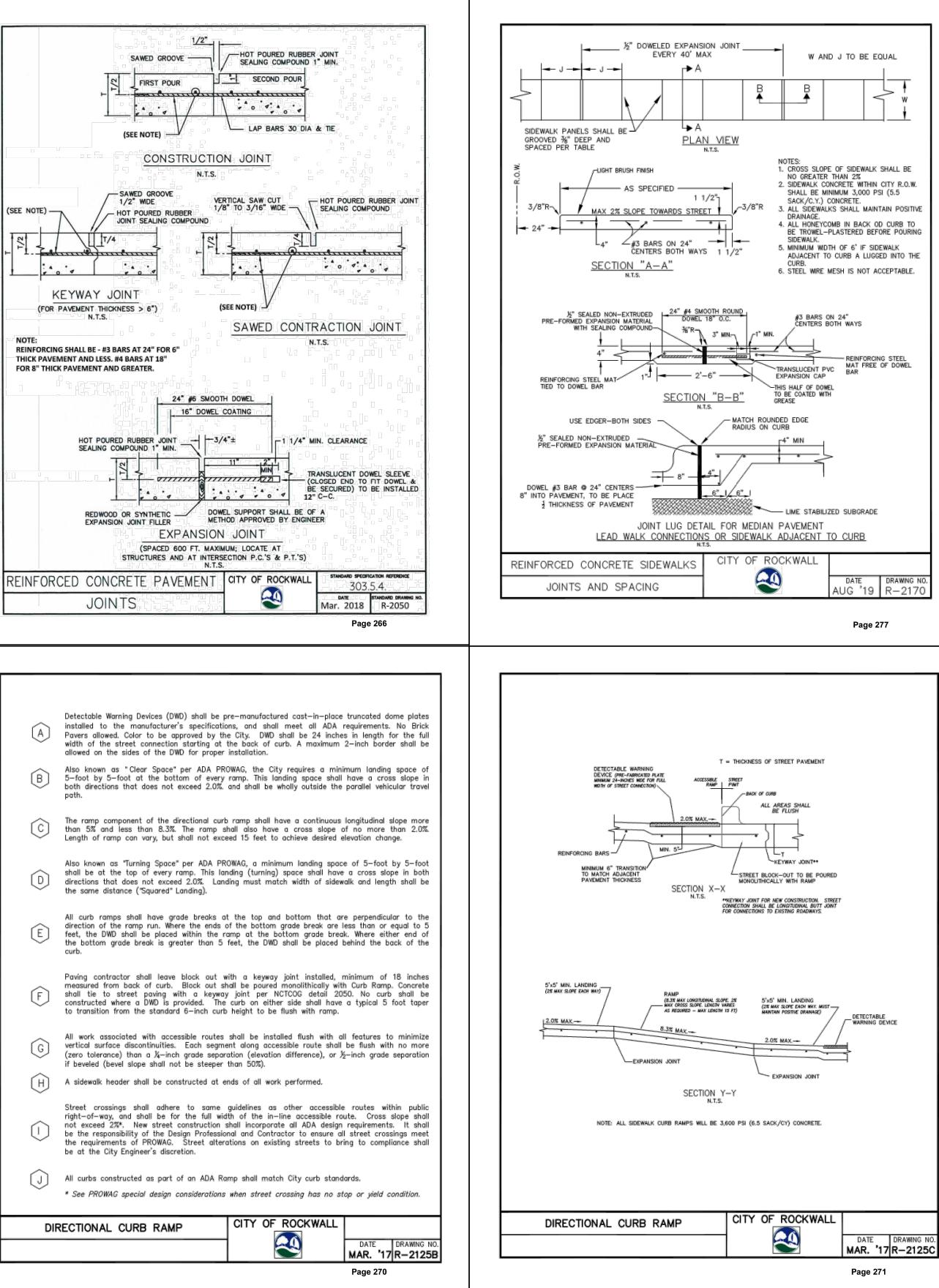






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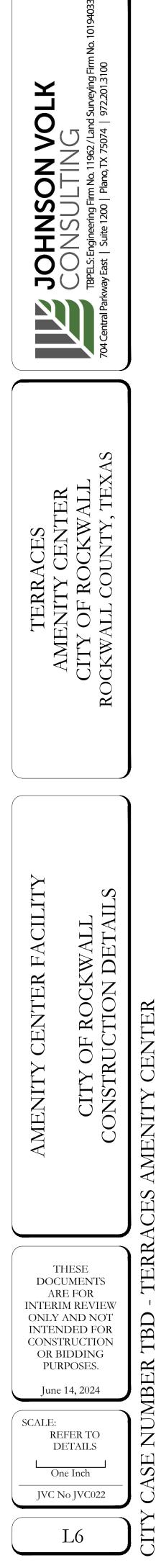


APPROV I hereby ce in the City Commissio

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Planning & Zo

	8"		ADER.	
		CONCRETE, PAVEMENT		
	STREET: HEADER			
		NEW PAVEMENT #4 X 24" DEFORMED DO AT SAME SPACING AS PAVEMENT REINFORCEMEN		
	3/4" DRILLED			
	HOLES BLOWN CLEAN & DOWELS COATED WITH EPOXY RESIN	BARS EQUA SPECIFIED I REINFORCEN	IENT BAR	
	BARS EQUAL SIZE OF BARS SPECIFIED IN PAVEMENT REINFORCEMENT REINF. CONC. PVMT.	ALL WORK BETWEEN HE BE DONE BY OTHERS OTHERWISE SPECI	UNLESS	
			RAD. SYMETRICAL ABOUT CENTER LINE	
NC	PAVEMENT BAR LROAD HEADER IS TO HAVE A TWO (2) INCH TCH INTO THE CONCRETE PAVEMENT FOR THE TALLATION OF A HMAC OVERLAY. THE			
CO ST TH FE	NCRETE UNDER THE HMAC IS TO BE THE FULL REET THICKNESS. THE NOTCH SHOULD START AT E END OF THE PAVEMETN AND GO TWENTY (20) T UP THE ROAD AWAY FROM THE CROSSING.	REET HEADER AT		
REI	STREET HEADERS		STANDARD SPECIFICATION REFERENCE 12 305.4 50000000000000000000000000000000000	
			Page 268	
	<ul> <li>longitudinal directions</li> <li>Clear space at the bottom of curb within the crosswalk and wholly outs</li> <li>Maximum allowable cross slope on si</li> <li>Additional information on curb ramp be found in the most current editio 68.102. Federal guidelines shall sup</li> <li>Crosswalk dimensions, crosswalk mar in the plans. At intersections whe accessible routes shall align with the</li> <li>Handrails are not required on curb r</li> <li>Provide a flush transition where the</li> <li>Accessible routes are considered "ra (maximum allowable). Sidewalks ur and must follow all applicable guideli</li> <li>DETECTABLE WARNING DEVICE</li> <li>Curb ramps must contain a detect domes complying with Section 705 adjoining surfaces. Furnish and warning surfaces material adjacent the plans.</li> <li>Detectable Warning Materials shall the City. Install products in accordance</li> <li>Detectable warning surfaces shall pedestrian travel, and extend the ful access route enters the street.</li> <li>Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the back of curb. When placed on the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the grade break between the ramp are provided on a surface with a sk critical. Detectable warning surfaces shall be the state of a sk critical. Detectable warning surfaces shall be placed within one or 16. Place traffic signal or illumination facilities and other items so as not space.</li> </ul>	ide the parallel vehicular travel idewalk and curb ramp surface o location, design, light reflect in of the Texas Accessibility S ersede any conflicts. rkings and stop bar locations is re crosswalk markings are no coretical crosswalks unless other tamps. curb ramps connect to the st amps" when longitudinal slopes ander 5% longitudinal slope are ines. table warning surface that ci- of the TAS. The surface the install an approved cast-in- to uncolored concrete, unless be truncated dome plates in with manufacturer's specificat e slip resistant and not allow to be a minimum of 24" in II width of the curb ramp or I the ramp, align the rows of do o run and the street. Where may be curved along the corm rable parts, including pedestric more reach ranges specified in poles, ground boxes, control	path. s is 2%. tive value and texture may tandards (TAS) and 16 TAC shall be as shown elsewhere t required, curb ramps and erwise directed. treet. are between 5% and 8.3% e deemed accessible routes onsists of raised truncated must contrast visually with place dark red detectable specified elsewhere in the the color approved by the ions. water to accumulate. depth in the direction of anding where the pedestrian hearest the curb line is at mes to be perpendicular to detectable warning surfaces int, dome orientation is less ler radius.	
	<ol> <li>Street grades and cross slopes shall</li> <li>Changes in level greater than 1/4 in</li> <li>The least possible grade should be sidewalks and crosswalks within the roadway. Where a continuous grade</li> </ol>	nch are not permitted (1/2 inc e used to maximize accessib public right of way may follo	h with bevel). ility. The running slope of w the grade of the parallel	
	desirable to improve accessibility. He potentially hazardous conditions. If p 20. Handrail extensions shall not protr pedestrian routes.	andrails may also be needed provided, handrails shall comply	to protect pedestrians from with TAS 505.	
	percention reaces.			
	DIRECTIONAL CURB RAMP		(WALL	





Planning and Zoning Department City of Rockwall – Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

June 14, 2024

**Tree Survey Affidavit** Terraces, Amenity Center City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

Sincerely,

Cody Johnson, RLA, ASLA, LI Johnson Volk Consulting 704 Central Parkway East Suite 1200 Plano, Texas 75074

### SP2024-033; PD Site Plan for the Terraces Amenity Center

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a <u>Site Plan</u> for an amenity center on a 0.52-acre parcel of land identified as Lot 18, Block A, Terraces, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, addressed as 1845 Terraces Boulevard.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email <u>hlee@rockwall.com</u>.
- M.3 For reference, include the case number (*SP2024-033*) in the lower right-hand corner of all pages of all revised plan submittals. (*Subsection 01.02(D), Article 11, UDC*).
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 93 (PD-93).
- M.5 <u>Photometric Plan</u>:
  - (1) Please provide a Photometric Plan that meets the requirements outlined within the Unified Development Code (UDC). (Article 07, UDC)
  - (2) Please provide cutsheets for all of the proposed light fixtures. Per Article 07, of the UDC, all light fixtures should be shielded to prevent glare, and there shall be no uplighting. (Article 07, UDC)
- M.6 Building Elevations:
  - (1) Please provide a detail of the proposed canopies. (Ordinance No. 22-47; PD-93)
  - (2) All of the building materials and colors need to be finalized for approval. The building elevations indicate in multiple areas "to be selected by owner;" however, the Material Sample Board provides specific examples. Please indicate if the Material Sample Board is the final finishes. If not, please finalize the materials. (Ordinance No. 22-47; PD-93)
- I.7 Please note that failure to address all comments provided by staff by 3:00 PM on <u>July 2, 2024</u> will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- 1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on <u>July 2, 2024</u>; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the <u>July 9, 2024</u> Planning & Zoning Meeting.
- I.9 Please note the scheduled meetings for this case:
  - 1) Planning & Zoning Work Session meeting will be held on June 25, 2024.
  - 2) Planning & Zoning meeting/public hearing meeting will be held on <u>July 9, 2024</u>.
- I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

## **ENGINEERING COMMENTS:**

1. Label this wall as an existing retaining wall since this has already been built with Phase 1. General Items:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.

- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- All utilities must be underground.
- Additional comments may be provided at time of Engineering Plan Review.

Landscaping:

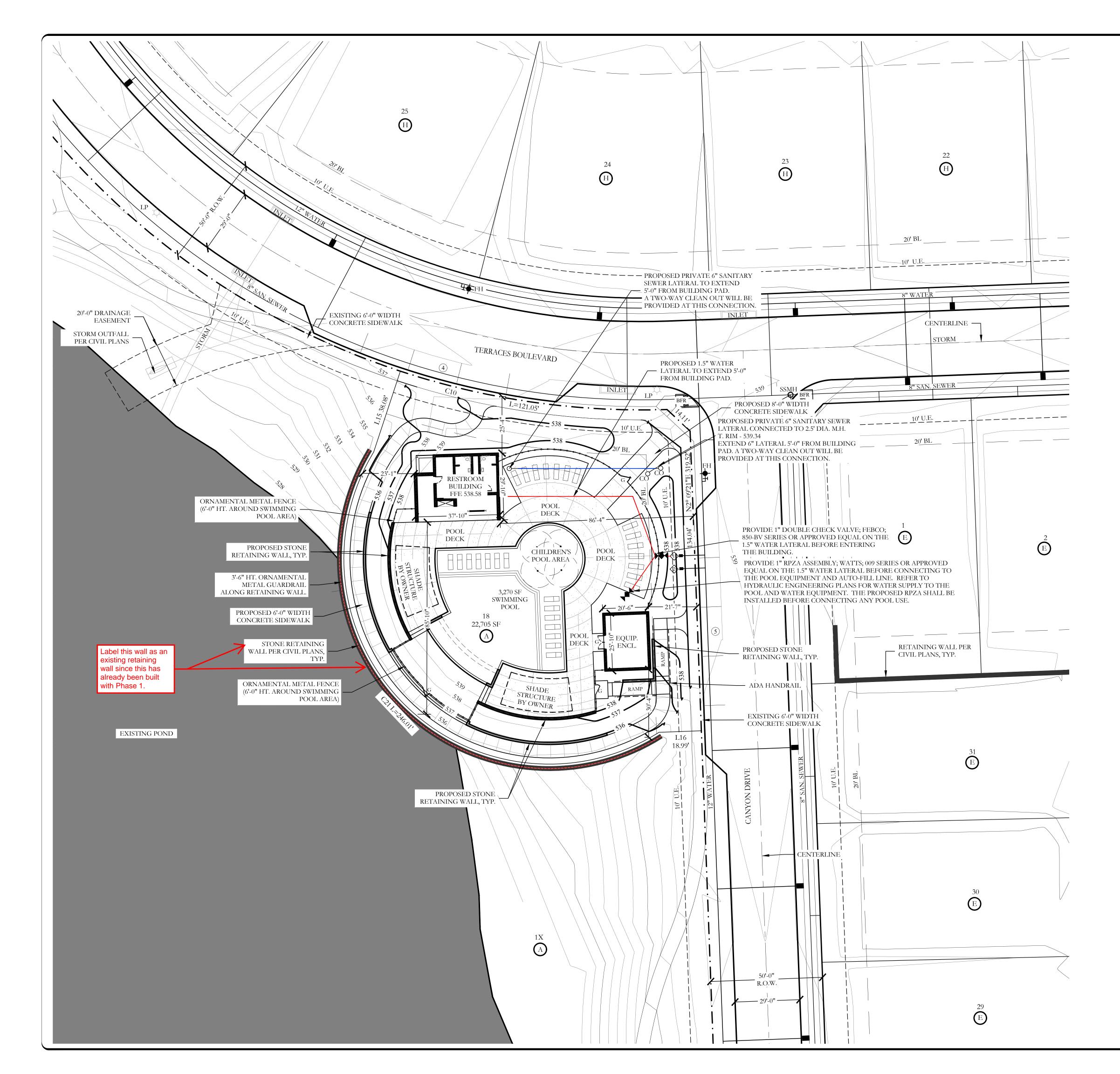
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10"

### **BUILDING INSPECTIONS COMMENTS:**

Pool and Pool Barrier will be required to comply with the 2021 International Swimming Pool & Spa Code and Texas Health & Safety Codes. Separate permits required for pool and structures.

### PARKS COMMENTS:

recommendation to utilize Tif Tuf, Tahoma 31 or Latitude 36 Bermudagrass varieties that are more wear, cold and shade tolerant and do not require as much water in the summer months..



		General Items:
4	EXISTING PARKING COUNT	- Must meet City's 2023 Standards of Design and
BFR	BARRIER FREE RAMP	Construction - 4% Engineering Inspection Fees
FH -	EXISTING FIRE HYDRANT	- Impact Fees (Water, Wastewater & Roadway)
0	EXISTING SANITARY SEWEI MANHOLE	structures including walls allowed in easements.
— <del>—</del> —	EXISTING WATER MAIN W/	<ul> <li>Retaining walls 3' and over must be engineered.</li> <li>All retaining walls (18" or taller) must be rock, stone, or</li> </ul>
	EXISTING SANITARY SEWER	stone face. No smooth concrete walls.
	EXISTING STORM	- All utilities must be underground.
	EXISTING CURB INLET	- Additional comments may be provided at time of
<u> </u>	RIGHT-OF-WAY	Engineering Plan Review.
LP	LIGHT POLE	Landscaping:
— - 538 — —	EXISTING CONTOUR INTER	
<b>—</b> 538 <b>—</b>	PROPOSED CONTOUR INTE	Ŭ l
FFE 538.58	FINISHED FLOOR ELEVATIO	- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

# **APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

# WATER METER SCHEDULE

ſ	METER	WATER	WATER	ME	ETER	SAN.
	ID NUMBER	SERVICE SIZE	METER SIZE DOM. IRR.		IRR.	SERVICE SIZE
ſ						
ſ		1.5"	1.5"	Х		6"
	$\langle 2 \rangle$	1.5"	1.5"		Х	

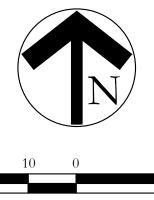
# SITE INFORMATION

SINGLE FAMILY RESI PROPOSED USE: LAND AREA:	DENTIAL PRIVATE RECREATION CENTER 0.52 ACRES 22,705 SQ. FT.
BUILDING AREA:	1,124 SQUARE FEET
BUILDING HEIGHT:	19'-8" (1 STORY)
POOL EQ. ENCLOSUR	E AREA: 528 SQUARE FEET
POOL EQ. ENCLOSUR	E HEIGHT: 18'-1" (1 STORY)
FLOOR TO AREA:	0.0727:1 [1,652/22,705]
LOT COVERAGE:	7.27%

TOTAL IMPERVIOUS SURFACE:11,188.80 SFPROPOSED IMPERVIOUS RATIO:0.4927 OR 49.27%INTERIOR LANDSCAPE PROVIDED:11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

CIEM RD CIEM RD CONVEXING BLVD CIEM RD CIEM RD CONNELIUS RD CIEM R



NOT TO SCALE

SCALE 1" = 20'

# SITE PLAN TERRACES LOT 18, BLOCK A ~AMENITY CENTER~

BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO.122

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: TM TERRACES, LLC 4416 W. LOVERS LANE SUITE 200 DALLAS, TEXAS 75209 PH. 214-577-1431 CONTACT: BOBBY HARRELL BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER: JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. 972-201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI CODY.JOHNSON@JOHNSONVOLK.COM

SP1



- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
   FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
  ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON
- THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW



	City of Rockwall	ning Department	ATIO	N PLA <u>NO7</u> CITS SIGI DIRE	NRING & ZONING E: THE APPLICA? (UNTIL THE PLA) NED BELOW. ECTOR OF PLAN (ENGINEER:	TION IS NOT CONSIE NNING DIRECTOR AI	DERED ACCEI ND CITY ENGI	PTED BY THE INEER HAVE
PLEASE CHECK THE	APPROPRIATE BOX BELOW	TO INDICATE THE TYPE	OF DEVEL	OPMENT RE	QUEST [SELEC	T ONLY ONE BOX	l:	
PLATTING APPLI MASTER PLAT PRELIMINARY FINAL PLAT (\$2 REPLAT (\$300.) AMENDING OR PLAT REINSTA SITE PLAN APPLI SITE PLAN (\$25 AMENDED SITE	20 □ □ 07 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	ZONING APPLICATION FEES:     ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1     SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1     PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1     OTHER APPLICATION FEES:     TREE REMOVAL (\$75.00)     VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 <u>NOTES:</u> ': N DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE     PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.     ': A <u>\$1,000.00</u> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT     INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING     PERMIT.						
	ORMATION [PLEASE PRINT							
ADDRES		within Terraces						
SUBDIVISIO					LOT	18	DL O.O.K	A
GENERAL LOCATION		f Terraces Boule	vard ar	nd Canv		10	BLOCK	A
				ia cany	on Drive			
CURRENT ZONING	LAN AND PLATTING I				-			
	enigie i anni y i			RRENT USE	i mato i	Recreationa	Center	
PROPOSED ZONING		esidential	PROF	POSED USE	Private	Recreation	al Cente	er
ACREAGE	.52	LOTS [CURRENT	1		LO.	TS [PROPOSED]	1	
NEGAND TO TIS I	<u>) PLATS</u> : BY CHECKING THIS B APPROVAL PROCESS, AND FAIL VENIAL OF YOUR CASE.	OX YOU ACKNOWLEDGE T URE TO ADDRESS ANY OF	HAT DUE T STAFF'S CO	O THE PASS, DMMENTS BY	AGE OF <u>HB3167</u> THE DATE PRO	THE CITY NO LON /IDED ON THE DEVI	GER HAS FLE ELOPMENT C	exibility with Alendar will
OWNER/APPLIC	ANT/AGENT INFORMA		ECK THE P					
	TM Terraces, LLC					olk Consult		
CONTACT PERSON			CONTACT	PERSON	Cody Joh		ing	
ADDRESS	4416 W. Lovers La	ne Suite 200		ADDRESS		ral Parkway	Fast	
					Suite 120		Lasi	
CITY, STATE & ZIP	Dallas, TX 75209		CITY, ST	ATE & ZIP	Plano, TX			
PHONE	(214)577-1431			PHONE	(972) 201	-3100		
E-MAIL				E-MAIL				com
NOTARY VERIFIC BEFORE ME, THE UNDER STATED THE INFORMATION	CATION [REQUIRED] ISIGNED AUTHORITY, ON THIS D, ON ON THIS APPLICATION TO BE	AY PERSONALLY APPEAREI TRUE AND CERTIFIED THE		by the	arrell	[OWNER] 1	HE UNDERS	Signed, who
INFORMATION CONTAINED	AM THE OWNER FOR THE PURPC TO COVER THE CO. 20 22 BY SIGNIN WITHIN THIS APPLICATION TO ON WITH THIS APPLICATION, IF SU	G THIS APPLICATION, I AGRE	E THAT THE	CITY OF ROU	OF ROCKWALL OF CKWALL (I.E. "CITI	N THIS THE (") IS AUTHORIZED A REPRODUCE ANY C	ND PERMITTE OPYRIGHTED	DAY OF D TO PROVIDE INFORMATION
	AND SEAL OF OFFICE ON THIS T	HE 10 DAY OF QUAN	low	28-2	#	Notar My Co	Y LEA LUTT y ID #12948 mmission E uly 12, 202	37170 xpires
NOTARY PUBLIC IN AND I	FOR THE STATE OF TEXAS	Bitsy Lea 1	uttr	eel	MYCOR	MISSION EXPIRES	07.12	2.2025
DF	VELOPMENT APPLICATION • CI	TY OF POCKIALAL A 295 SOL	UTH COULA	D STOCET - D	ACHINALL SUR			

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745

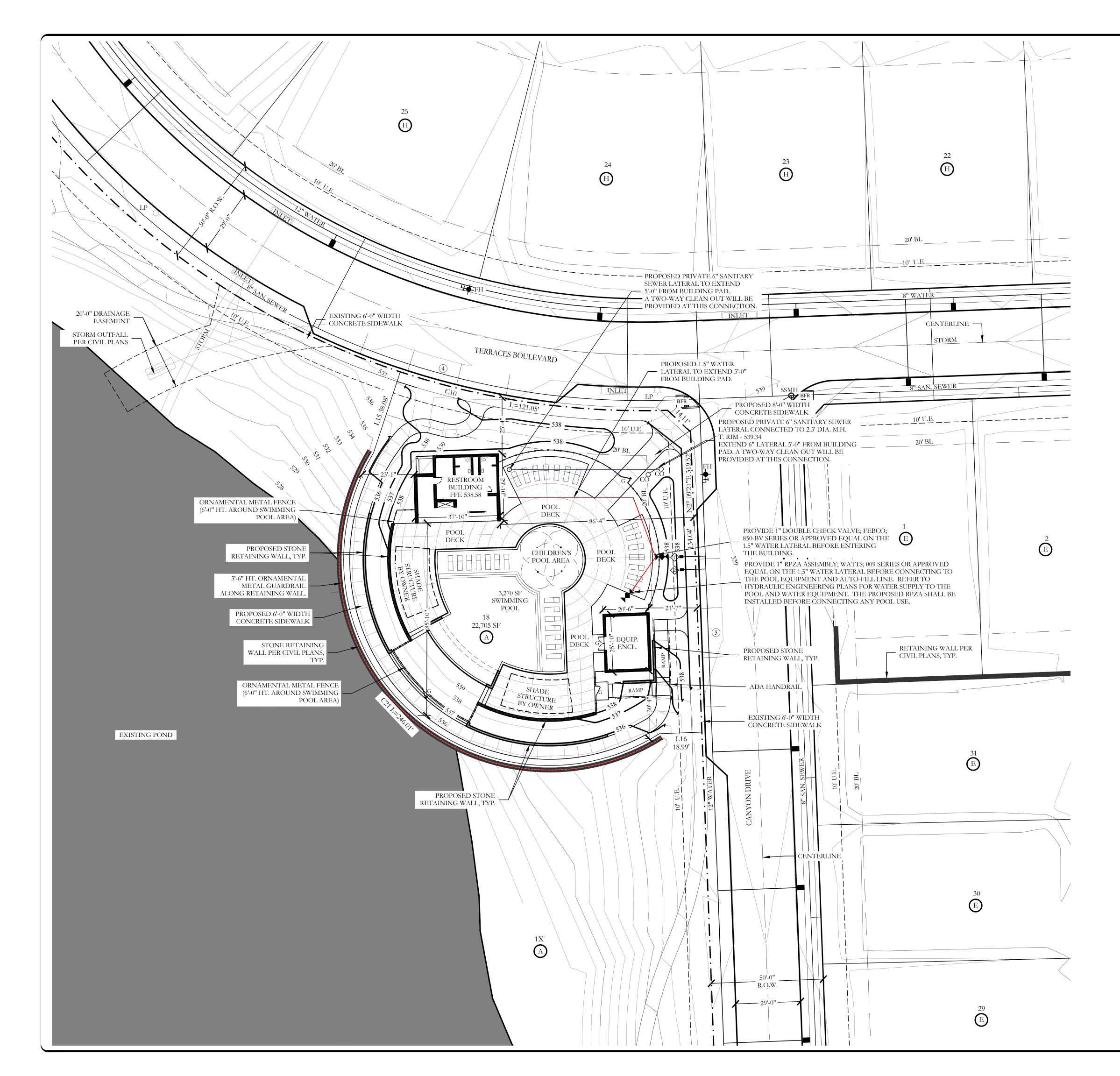




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





	LEG	END	
4	EXISTING PARKING COUNT	<li>1&gt; =</li>	EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	<u>_</u>	EXISTING 1.5" IRRIGATION
FH <b>-</b>	EXISTING FIRE HYDRANT	¥/ <b>-</b>	WATER METER
T O	EXISTING SANITARY SEWER	<del></del>	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
·	MANHOLE	∱∽ G	1 - 4'-0" WIDTH SELF LATCHING,
<del></del>	EXISTING WATER MAIN W/ VALVE	G	SELF CLOSING METAL GATE
	EXISTING SANITARY SEWER		PROPOSED STONE RETAINING WALL
	EXISTING STORM		RETAINING WALL PER CIVIL PLANS
	EXISTING CURB INLET		TYP.
	RIGHT-OF-WAY		ADA HANDRAIL
p	LIGHT POLE		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
- 538	EXISTING CONTOUR INTERVAL		
<b>-</b> 538 <b></b>	PROPOSED CONTOUR INTERVAL		
FE 538.58	FINISHED FLOOR ELEVATION		

# **APPROVED:**

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SITE 🟲

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

# WATER METER SCHEDULE

METER	WATER	WATER	ME	ETER	SAN.
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	1.5"	1.5"		Х	

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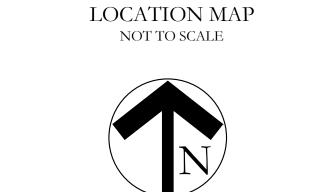
POOL DECK SURFACE: 5,062.43 SF

## SITE PLAN NOTES:

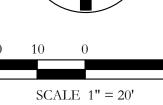
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 $\mathbf{\hat{\Phi}}$ 



# SITE PLAN TERRACES LOT 18, BLOCK A ~AMENITY CENTER~

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CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: TM TERRACES, LLC 4416 W. LOVERS LANE SUITE 200 DALLAS, TEXAS 75209 PH. 214-577-1431 CONTACT: BOBBY HARRELL BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER: JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. 972-201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI CODY.JOHNSON@JOHNSONVOLK.COM

SP1







# 119'-8" top of roof 1 standing seam metal roof, —— color to be selected by Owner 111'-4" top of low beam exposed steel beam, paint typ.,ref. structural exposed steel column, paint typ.,ref. structural cut stone veneer to be selected by Owner 100'-0" finished floor

ELEVATION

- -

3

119'-8" top of roof

exposed steel beam, paint typ., -ref. structural

exposed steel column, paint typ., ref. structural

tile to be selected by Owner

by Owner

100'-0" finished floor

cut stone veneer to be selected

steel mesh cap to be selected by Owner -

ELEVATION

111'-4" top of low beam

# **BUILDING MATERIAL CA**

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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.		385 S.F.	(	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	<u>18</u> 33	<u>4</u>	2	82	187 S.F.	48.57%	<u>e</u>	2
SECONDARY MATERIALS	122	2	165 S.F.	30.84%		(2)	-	2
TILE AT SHOWER/DRINKING FOUNTAINS	1211	-	165 S.F.	30.84%	(2)	(11)	-	2
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)		2	2	~~	327	(121)		-
STANDING SEAM METAL ROOF	(-1)	-	-	3. <del></del>		(=))	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



# NORTH ELEVATION - RESTROOM BUILDING

SCALE: 1/4"=1'-0"



JOHNSON VOLK	Tot Central Parkway East   Suite 1200   Plano, TX 75074   972.201.3100
TERRACES AMENITY CENTER	CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS
AMENITY CENTER FACILITY	EXTERIOR ELEVATIONS - RESTROOM BUILDING
	TO PLANS e Inch o JVC022 0 - SD

118'-1" top of roof

111'-4" top of low beam

ref. structural

by Owner

4

100'-0" finished floor

118'-1" top of roof

ref. structural

by Owner

by Owner

2)

exposed steel beam, paint typ.,

exposed steel column, paint typ., -ref. structural

cut stone veneer to be selected

steel mesh cap to be selected by Owner

ELEVATION

# **BUILDING MATERIAL CALCULATIONS**

Material

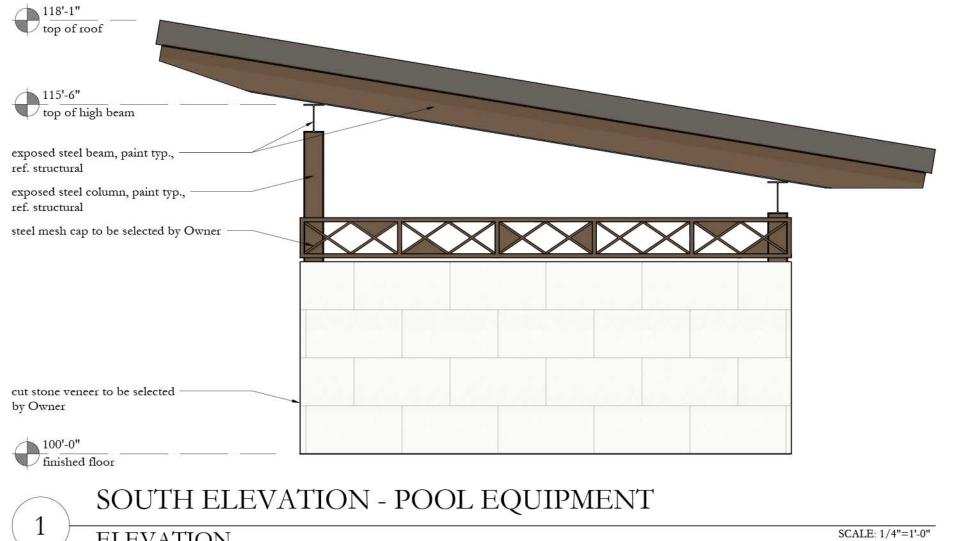
TOTAL SQ FT.

PRIMARY MATERIAL TOTALS CUT STONE VENEER

NICHIHA FIBER CEMENT SIDING

DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT STANDING SEAM METAL ROOF NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS 118'-1" top of roof standing seam metal roof, color to be selected by Owner top of low beam exposed steel beam, paint typ. ref. structural exposed steel column, paint typ., ref. structural steel mesh cap to be selected by Owner cut stone veneer to be selected by Owner 100'-0" finished floor EAST ELEVATION - POOL EQUIPMENT NORTH ELEVATION - POOL EQUIPMENT 3 ELEVATION SCALE: 1/4"=1'-0"





ELEVATION

ELEVATION

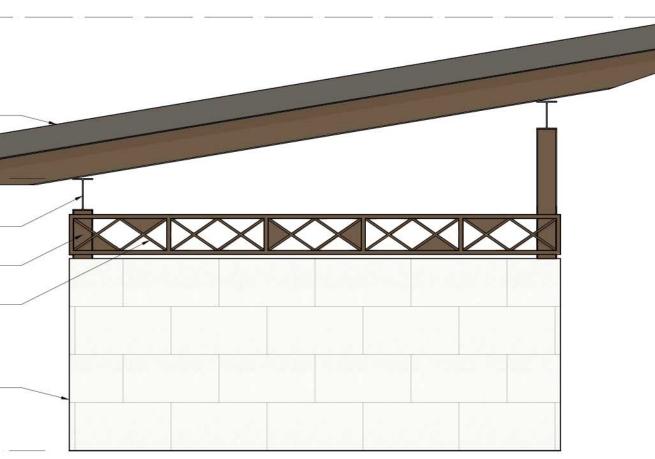
# **APPROVED:**

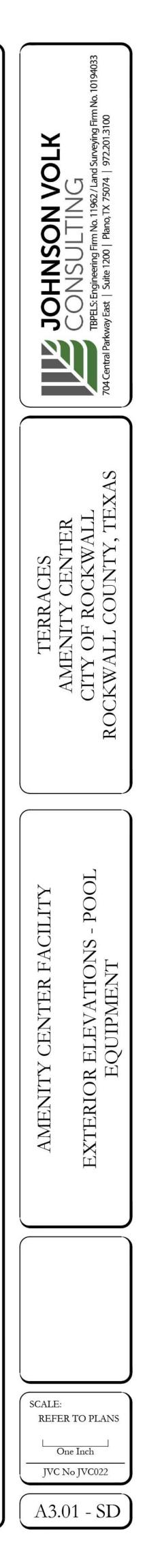
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ \_\_\_\_,\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_

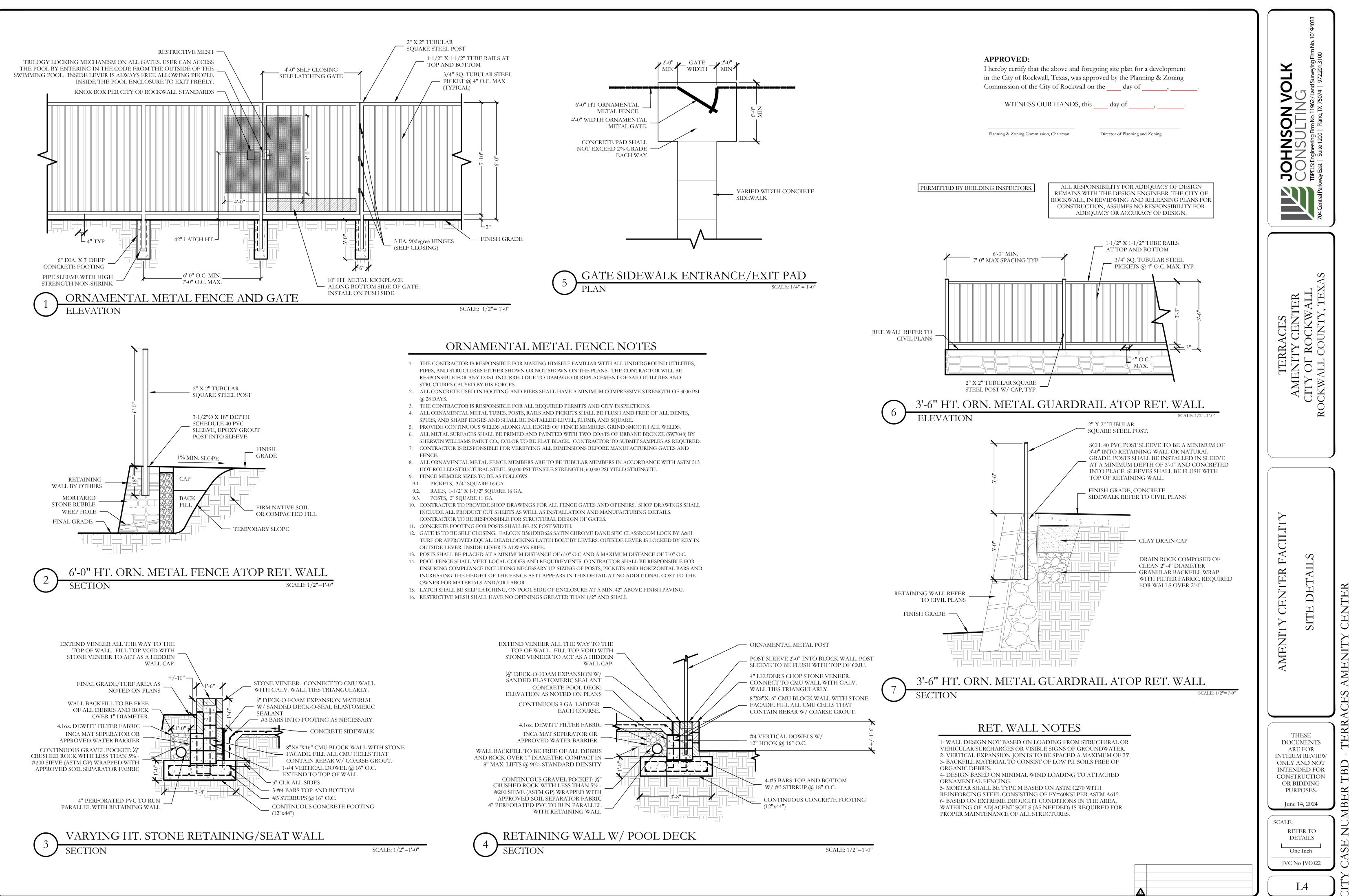
Director of Planning and Zoning Planning & Zoning Commission, Chairman

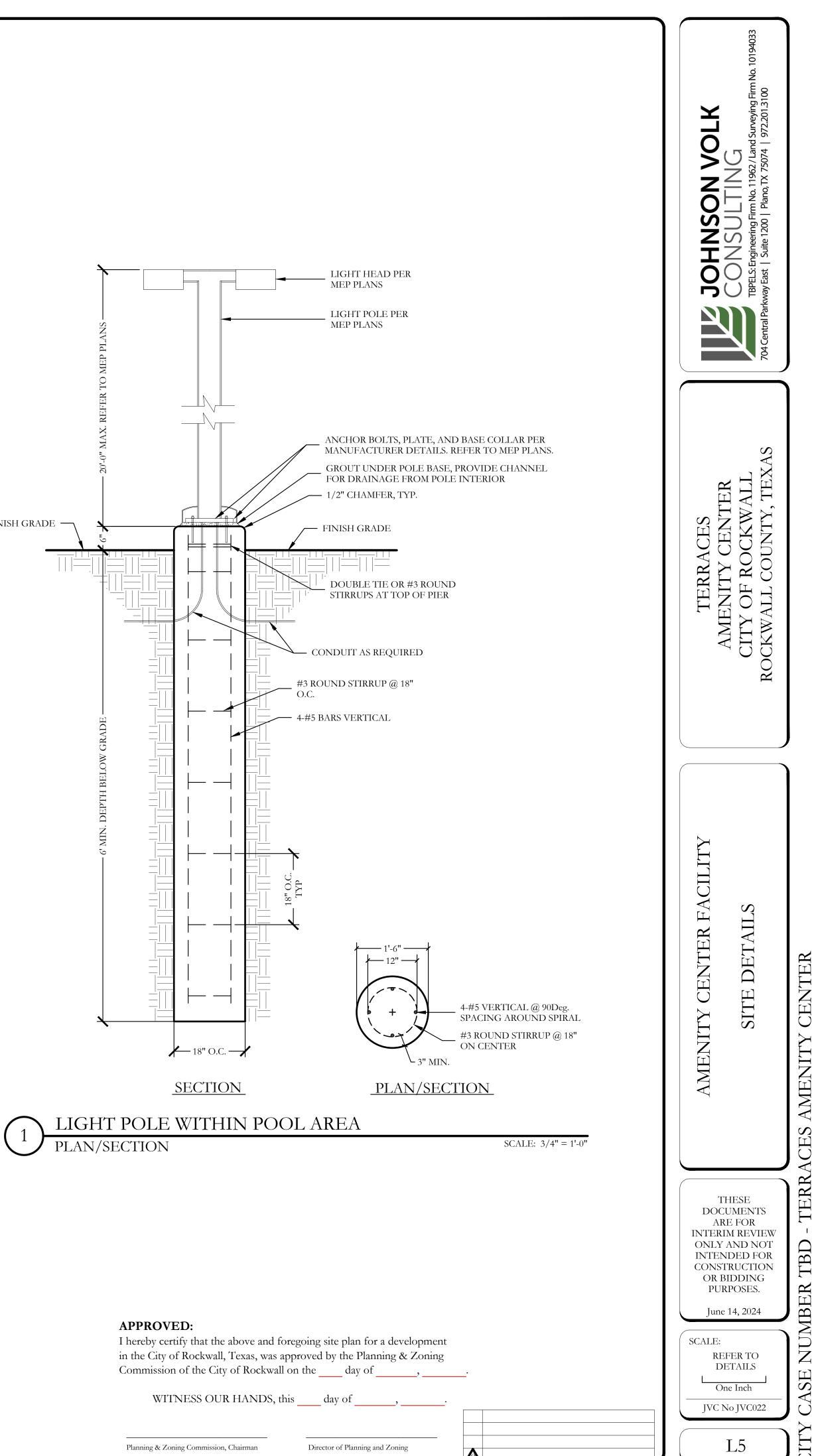
	North	Percent	South	Percent	East	Percent	West	Percent
	164 S.F.	-	164 S.F.	-	206 S.F.	(	206 S.F.	-
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
		-	-	6 <del>,1</del> 0	175	1 <del></del>	91 S.F.	56.87%
MATERIALS)	174	-		-		(77)	46 S.F.	
	17.9	-		127		(77)	-	-

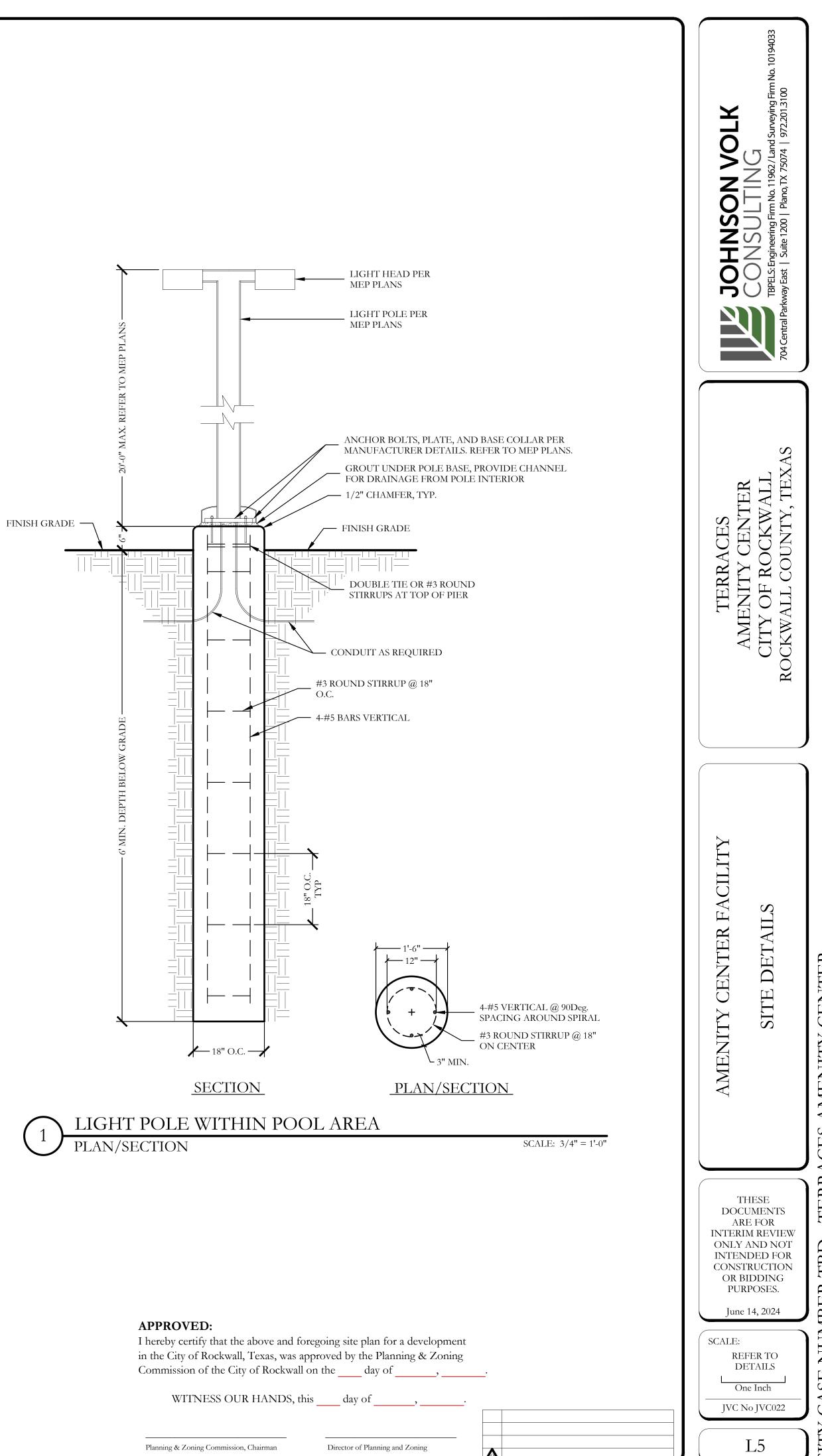




SCALE: 1/4"=1'-0"

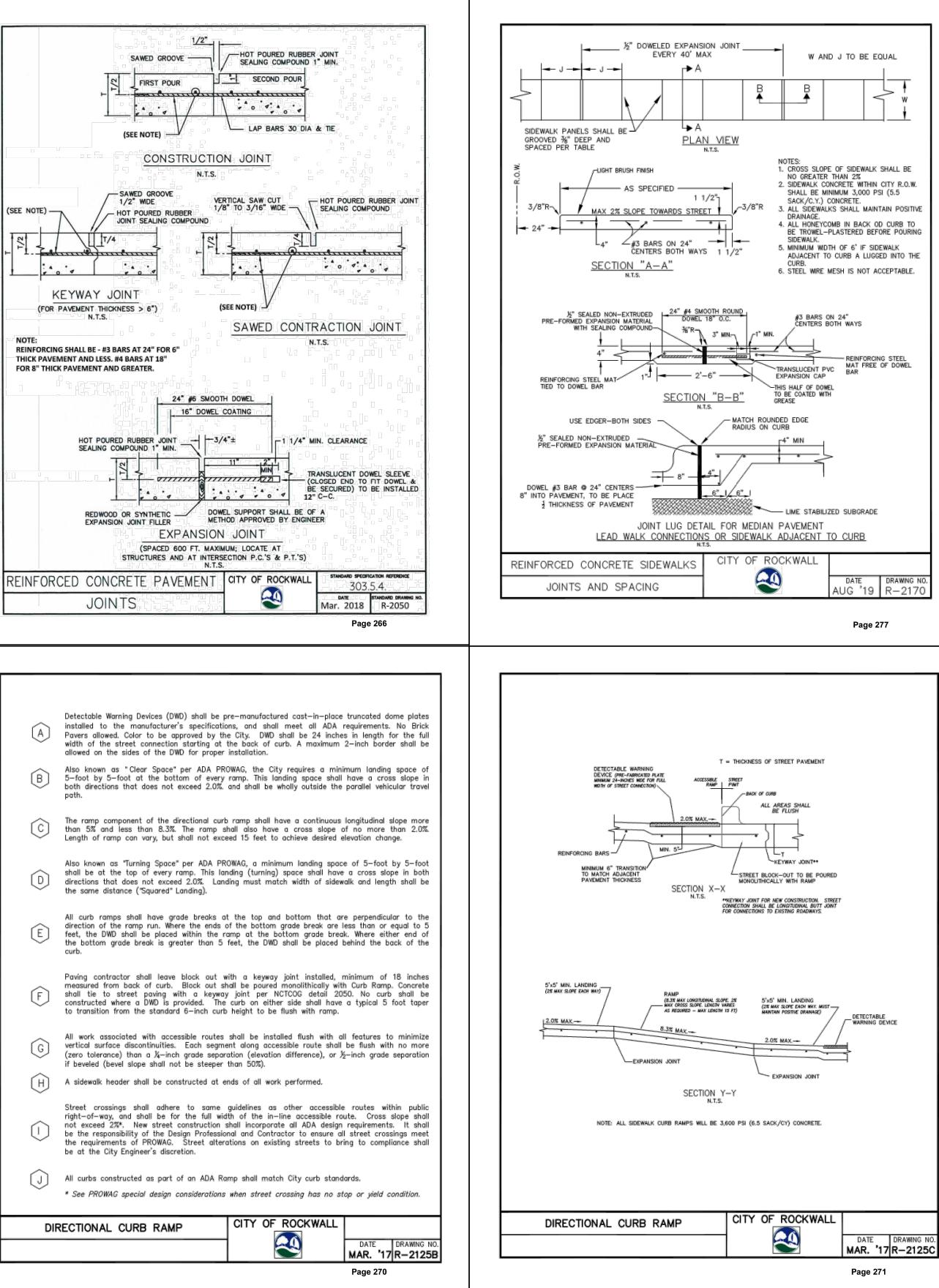






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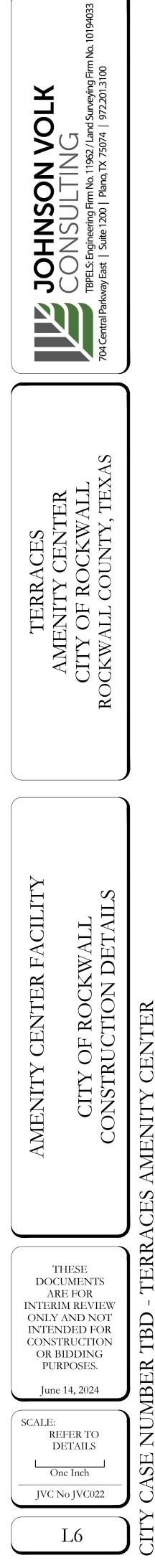


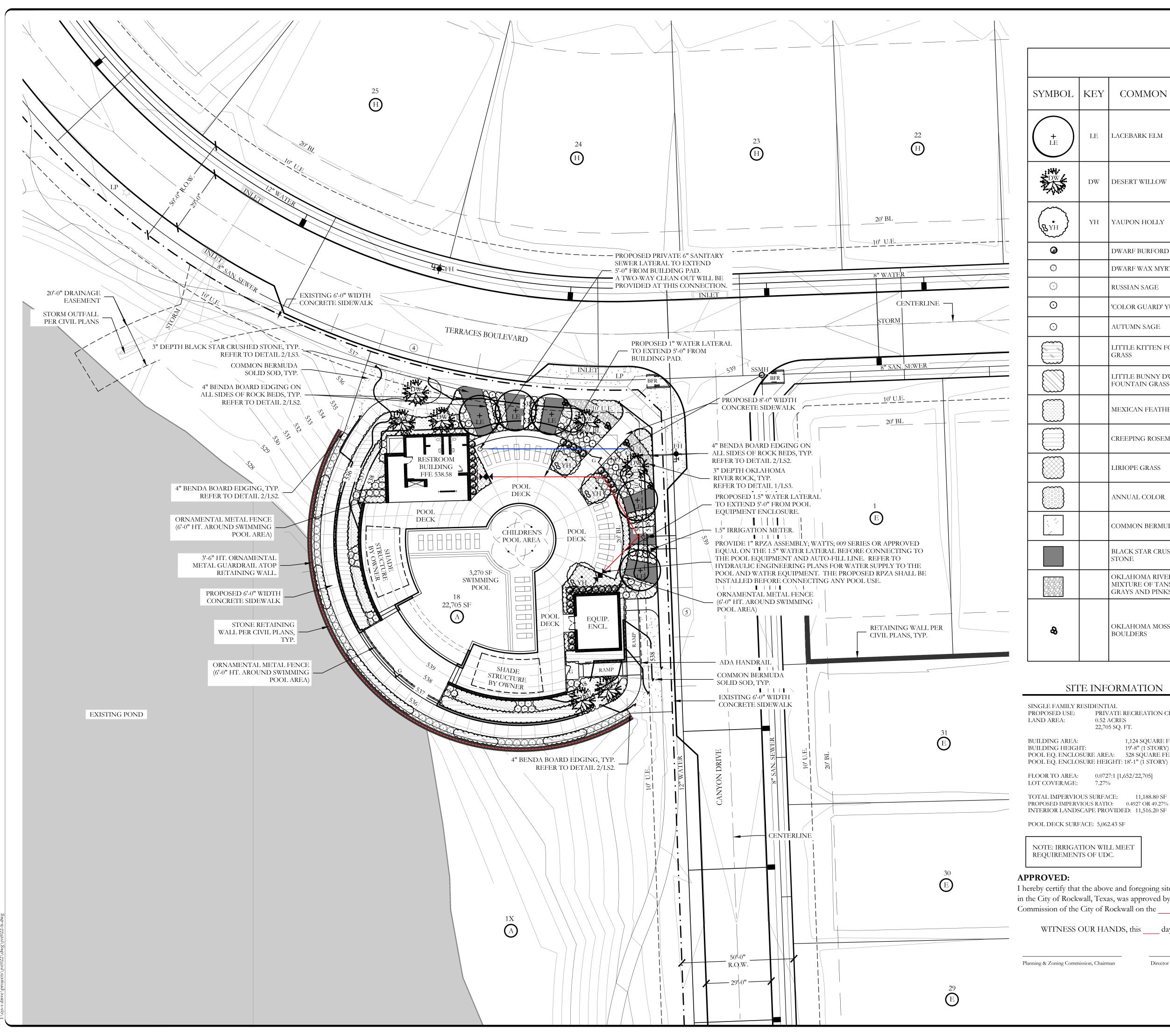
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Planning & Zo

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	BARS EQUAL SIZE OF BA SPECIFIED IN PAVEMENT	149 F 213 N.T.S. - [] [] [] - 1 ] [] NRS	ALL WORK BET BE DONE BY	WEEN HEADERS OTHERS UNLESS E SPECIFIED.	
				TO 1/4" RAD.	
	PAVEMENT				
INSTA CONC	ROAD HEADER IS TO HAVE A TWO (2) INCH HINTO THE CONCRETE PAVEMENT FOR TO ALLATION OF A HMAC OVERLAY. THE CRETE UNDER THE HMAC IS TO BE THE FUL ET THICKNESS. THE NOTCH SHOULD STAR		HEADER		
THE E FEET	FORCED CONCRETE PA	20) <u> </u>	ITY OF ROC	.s. <u> </u>	
	STREET HEADERS		2		0415 STANDARD DRAWING NO. 2018 R-2070 Page 268
<b> </b>					rage zoo
	PEDESTRIAN ACCESSIBILITY (WITHI				
	PEDESTRIAN ACCESSIBILITY (WITHI All newly constructed sidewalks, a rights-of-way shall be considere current Guidelines for Public Righ	curb ramps and d d a pedestrian a	crosswalks ins ccess route a	nd shall conform	to the most
	CURB RAMPS 1. All slopes shown are <u>MAXIMI</u> be used. Adjust curb ramp 2. Landings sholl be 5'x 5'	length or grade	of approach	sidewalks as dire	ected.
	longitudinal directions 3. Clear space at the bottom within the crosswalk and wh	of curb ramps	shall be a n	ninimum of 5'x	
	<ol> <li>Maximum allowable cross slo 5. Additional information on cr be found in the most curre</li> </ol>	urb ramp locatio nt edition of the	n, design, ligh Texas Acces	nt reflective valu	e and texture may
	<ol> <li>68.102. Federal guidelines s</li> <li>6. Crosswalk dimensions, crosswalk dimensions, crosswalk dimensions, crosswalk dimensional contestation accessible routes shall align</li> </ol>	walk markings an ions where cross	d stop bar lo walk markings	are not require	ed, curb ramps and
	<ol> <li>Handrails are not required o</li> <li>Provide a flush transition wh</li> <li>Accessible routes are considered</li> </ol>	n curb ramps. here the curb rar	nps connect t	o the street.	
	(maximum allowable). Side and must follow all applicab	walks under 5%			·····
	DETECTABLE WARNING DEVICE 10. Curb ramps must contain domes complying with Sect	tion 705 of the	TAŚ. The s	surface must co	ontrast visually with
	adjoining surfaces. Furnis warning surface material ad plans. 11. Detectable Warning Material:	djacent to uncol	ored concrete	, unless specifie	d elsewhere in the
	City. Install products in acc 12. Detectable warning surfaces 13. Detectable warning surface	cordance with ma must be slip res	nufacturer's s sistant and no	pecifications. t allow water to	accumulate.
	<ol> <li>Detectable warning surrace pedestrian travel, and exten access route enters the stra 14. Detectable warning surfaces</li> </ol>	d the full width e eet.	of the curb ro	imp or landing v	where the pedestrian
	the back of curb. When plac the grade break between t are provided on a surface v	ced on the ramp he ramp run an with a slope that	, align the row d the street. is less than	ws of domes to Where detectab 5 percent, dom	be perpendicular to le warning surfaces e orientation is less
	critical. Detectable warning s SIDEWALKS 15. Provide clear ground space parts shall be placed within	at operable par	ts, including	pedestrian push	buttons. Operable
	<ol> <li>Place traffic signal or illur facilities and other items so space.</li> <li>Street grades and cross slop</li> </ol>	mination poles, o as not to obst	ground boxes ruct the pede	, controller box strian access ro	es, signs, drainage
	18. Changes in level greater tha 19. The least possible grade s sidewalks and crosswalks wi	n 1/4 inch are r should be used thin the public r	not permitted to maximize ight of way n	(1/2 inch with I accessibility. Th nay follow the g	e running slope of rade of the parallel
I I	roadway. Where a continuou desirable to improve access potentially hazardous conditi	us grade greater ibility. Handrails ions. If provided,	r <sup>°</sup> than 5% m may also be handrails shal	ust be provided needed to prote I comply with T/	, handrails may be ct pedestrians from NS 505.
	20.Handrail extensions shall n pedestrian routes.	not protrude inte	o the usable	landing area	or into intersecting
	DIRECTIONAL CURB RA	MP	CITY OF	ROCKWALL	
	DIRECTIONAL CURB RA	MP	CITY OF		DATE DRAWING NO. MAR. '17 R-2125D
	<ol> <li>Place traffic signal or illur facilities and other items so space.</li> <li>Street grades and cross slop 18. Changes in level greater tha 19. The least possible grade s sidewalks and crosswalks wi roadway. Where a continuou desirable to improve access potentially hazardous conditi 20. Handrail extensions shall m</li> </ol>	mination poles, pas not to obst pes shall be as s in 1/4 inch are r should be used thin the public r us grade greater ibility. Handrails ions. If provided,	ground boxes ruct the pede not permitted to maximize ight of way n r than 5% m may also be handrails shal	, controller box strian access ro re in the plans. (1/2 inch with 1 accessibility. Th nay follow the g ust be provided needed to prote I comply with T/	es, signs, drainage ute or clear ground pevel). e running slope of rade of the parallel , handrails may be ct pedestrians from \S 505.
	DIRECTIONAL CURB RA	MP	CITY OF	ROCKWALL	
	DIRECTIONAL CURB RA	MP	CITY OF		DATE DRAWING NO.
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					DATE DRAWING NO. MAR. '17 R-2125D
that the abov ockwall, Texa	ve and foregoing site plan fo as, was approved by the Pla	or a develop nning & Zo	ment		DATE DRAWING NO. MAR. '17 R-2125D
ockwall, Texa the City of F	ve and foregoing site plan fo as, was approved by the Pla Rockwall on the day o	or a develop nning & Zo f,	ment ning	ROCKWALL	DATE DRAWING NO. MAR. '17 R-2125D
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PLANT LEGEND							
DL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING		
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN		
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN		
}	ҮН	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN		
		DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	36" O.C.		
		DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.		
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.		
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.		
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.		
1		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.		
}		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISET'UM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.		
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.		
}		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.		
}		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.		
}		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.		
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD		
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	$\frac{3}{4}$ -1" DIAMETER		
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"		
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON			



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# SITE INFORMATION

SINGLE FAMILY RESIDENTIAL PROPOSED USE: PRIVATE RECREATION CENTER 0.52 ACRES 22,705 SQ. FT. BUILDING AREA:1,124 SQUARE FEETBUILDING HEIGHT:19'-8" (1 STORY)POOL EQ. ENCLOSURE AREA:528 SQUARE FEET

FLOOR TO AREA:0.0727:1 [1,652/22,705]LOT COVERAGE:7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%

INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

NOTE: IRRIGATION WILL MEET

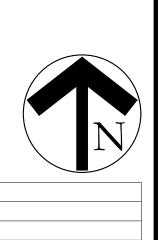
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_

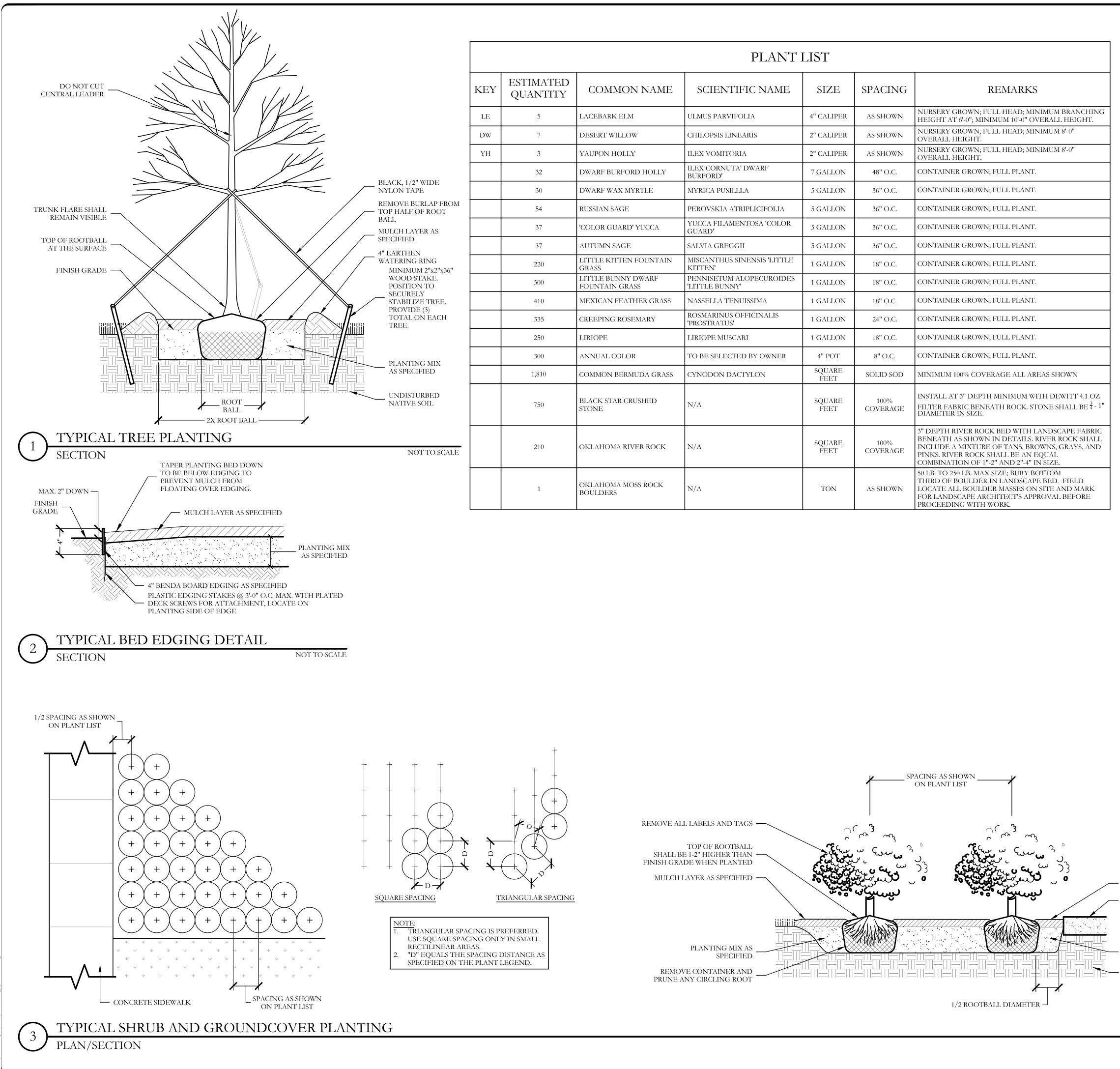
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SCALE 1" = 20'



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June 1	NDSC4AF JOHNSO 2833 07 TE 2833 14, 2024	BER TBD TERRACES
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LS	1 of <u>3</u>	



PLANT LIST						
TIMATED JANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS	
5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.	
7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.	
3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.	
32	DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.	
30	DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.	
54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.	
37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.	
37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.	
220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.	
300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.	
410	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.	
335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.	
250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.	
300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.	
1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN	
750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE $\frac{3}{4}$ - 1" DIAMETER IN SIZE.	
210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.	
1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	

# GENERAL LANDSCAPE NOTES

# **INSPECTIONS:**

- 1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC
- WORKS DEPARTMENT. 2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO
- CALLING FOR ROW INSPECTION AND PERMIT.
- 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

# LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENT'S SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- 3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- 4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN
- PLANT QUALIFICATIONS, GRADES, AND STANDARDS. 6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF
- ARBORICULTURE (ISA) STANDARDS. 7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- 8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED. 9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL
- TILLED AND TURNED TO A DEPTH OF 8" MINIMUM. 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- 11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

## IRRIGATION STANDARDS:

- 1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- 6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- 7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM). IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES;
- SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- 9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

## MAINTENANCE STANDARDS:

- . THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS. 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- 4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

## TREE PROTECTION NOTES:

- 1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- 3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE. 6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE
- DRIP LINE. 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

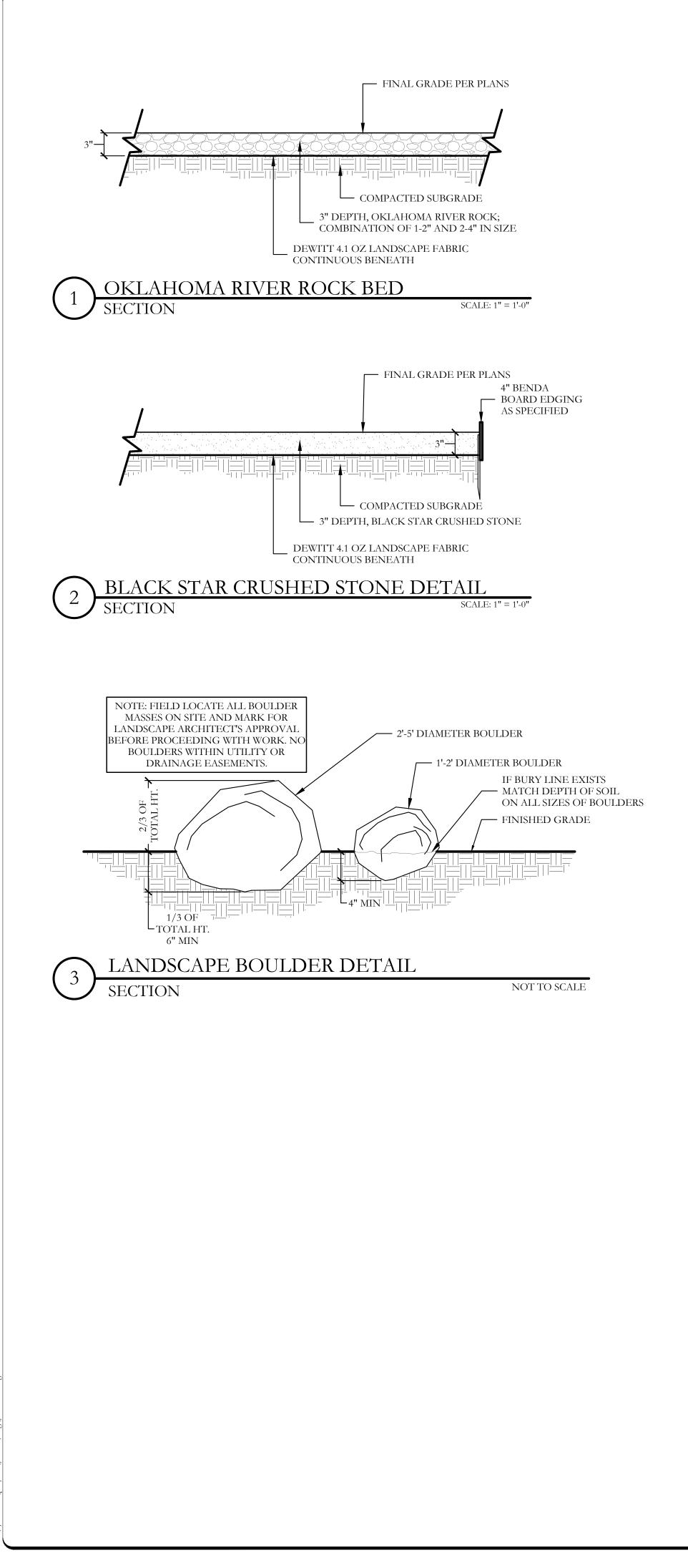
ſOP OF MULCH SHALL BE /2" BELOW SIDEWALK		
CONCRETE SIDEWALK PLANTING MIX AS SPECIFIED UNDISTURBED NATIVE SOIL	<b>APPROVED:</b> I hereby certify that the above and for in the City of Rockwall, Texas, was a Commission of the City of Rockwall WITNESS OUR HANDS, th	pproved by the Planning & Zoning
	Planning & Zoning Commission, Chairman	Director of Planning and Zoning

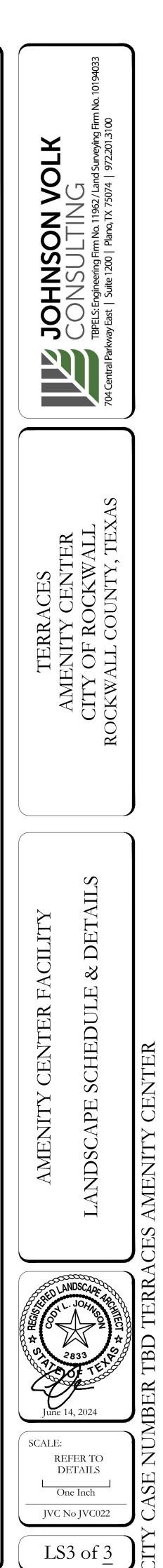
AMENITY CENTER FACILITY	TERRACES	
	AMENITY CENTER	
LANDSCAPE SCHEDULE & DETAILS	CITY OF ROCKWALL	TBPELS: Engineering Firm No. 11962 / Land Surveyin
	ROCKWALL COUNTY, TEXAS	704 Central Parkway East   Suite 1200   Plano, TX 75074   972.201.
ACES AMENITY CENTER		

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ROCKWALL, IN	REVIEWING AND RELEASING PLANS FOF ON, ASSUMES NO RESPONSIBILITY FOR
	JACY OR ACCURACY OF DESIGN.

# APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_\_\_. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_\_. Planning & Zoning Commission, Chairman Director of Planning and Zoning



# CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Henry Lee, Senior Planner
DATE:	July 9, 2024
SUBJECT:	SP2024-033; PD Site Plan for the Terraces Subdivision Amenity Center

The applicant, Cody Johnson of Johnson Volk Consulting, is requesting the approval of a site plan for the amenity center within the Terraces Subdivision. The Terraces Subdivision is situated on a 115.80-acre tract of land (*i.e. Tracts 10-02, 10-03, 13, 25, 25-01, & 26 of the W. Dalton Survey, Abstract No. 72; Tracts 4 & 4-01, of the M. B. Jones Survey, Abstract No. 122*) that is generally located east of N. John King Boulevard between FM-1141 and E. SH-66. Phase 1 and Phase 2 of the Terraces Subdivision was approved for a *Final Plat* [*Case No. P2023-007 & P2024-011*] and a *PD Site Plan* [*Case No. SP2023-012 & SP2024-016*] in accordance with the submittal schedule contained in the Planned Development District ordinance. As part of this site plan application, the applicant has submitted a site plan, landscape plan, hardscape plan, and building elevations for the proposed amenity center.

The site plan submitted by the applicant indicates a restroom building, equipment building, two (2) shade structures, swimming pool, and parking lot will be constructed on the subject property. The landscape plan shows that all of the required landscaping as stipulated by the Planned Development District ordinance will be provided, and that the pool equipment will be screened in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). The hardscape plan details the location of all sidewalks and trails, the pool, and each fence types associated with the development. The submitted site plan, landscape plan, hardscape plan, and building elevations all conform to the applicable technical requirements contained in Planned Development District 93 (PD-93) and the Unified Development Code (UDC). Since the proposed site plan conforms to the technical requirements, this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the *July 9, 2024* Planning and Zoning Commission meeting.

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CITY, STATE & ZIP       Dallas, TX 75209       CITY, STATE & ZIP       Plano, TX 75074         PHONE       (214)577-1431       PHONE       (972) 201-3100         E-MAIL       E-MAIL       cody.johnson@johnsonvolk.com         NOTARY VERIFICATION (REQUIRED)         BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED       Bobby Horrell       [OWNER] THE UNDERSIGNED, WHO         NOTARY VERIFICATION (REQUIRED)         BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED       Bobby Horrell       [OWNER] THE UNDERSIGNED, WHO         NTORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:         INFORMATION CONTAINED WITHIN THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:         NFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY OF ROCKWALL ON THIS THE       D       DAY OF         OUVER THE COST OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF         OUVER THE COVER THE COST OF THIS APPLICATION; ALL INFORMATION SUBMITTED TO REPRODUCE AND CORRECT; AND THE APPLICATION TO THE PUBLIC. THE CITY OF ROCKWALL ON THIS THE         OUVER SUGMING THIS APPLICATION, IAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE         OUVER SUGMING THIS APPLICATION TO THE PUBLIC. THE CITY OF ROCKWALL ON THIS THE OF REPODUCE AND PERMITTED TO REPRODUCE AND PERMITTED TO REPRODUCE AND PERMITTED TO REPRODUCE AND PE	ADDRESS .	4416 W. Lovers La	ne Suite 200		ADDRES	. 1			Fast			
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E-MAIL COLV_2010000 E-MAIL COLV_20100000000000000000000000000000000000	CITY, STATE & ZIP	Dallas, TX 75209		CIT	Y, STATE & ZI	ΡI						
NOTARY VERIFICATION (REQUIRED)         BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED       BODY Horrell       [OWNER] THE UNDERSIGNED, WHO         Interest Certify That I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF 2021 BY SIGNING THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF 2021 BY SIGNING THIS APPLICATION; I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE NORMATION CONTAINED WITHIN THIS APPLICATION, IF SUCH REPRODUCTION IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST DEVICE AND CORRECT INFORMATION SUBMITTED INFORMATION AND SEAL OF OFFICE ON THIS THE DAD TO THE APPLICATION AND TO THE CITY IS AUTOMICED WITH T	PHONE	(214)577-1431			PHON	E	(972) 201	-3100				
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20 22 BY SIGNING THE COST OF THIS APPLICATION, TAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE DAY OF 20 22 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST OF THE ALUTTRELL GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE DAY OF DA	BEFORE ME, THE UNDER	SIGNED AUTHORITY, ON THIS D	DAY PERSONALLY APPEARED E TRUE AND CERTIFIED THE		Bobby 1	Ha	prell	[OWNER]	HE UNDERS	Signed, who		
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DEVELOPMENT APPLICATION . CITY OF ROCKWALL . 385 SOUTH GOUAD STREET . ROCKWALL TX 75087 . 101 (873) 774 7745			Victory Lear 1	u	treel		MYCOM	MISSION EXPIRES	07.12	2.2025		

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745

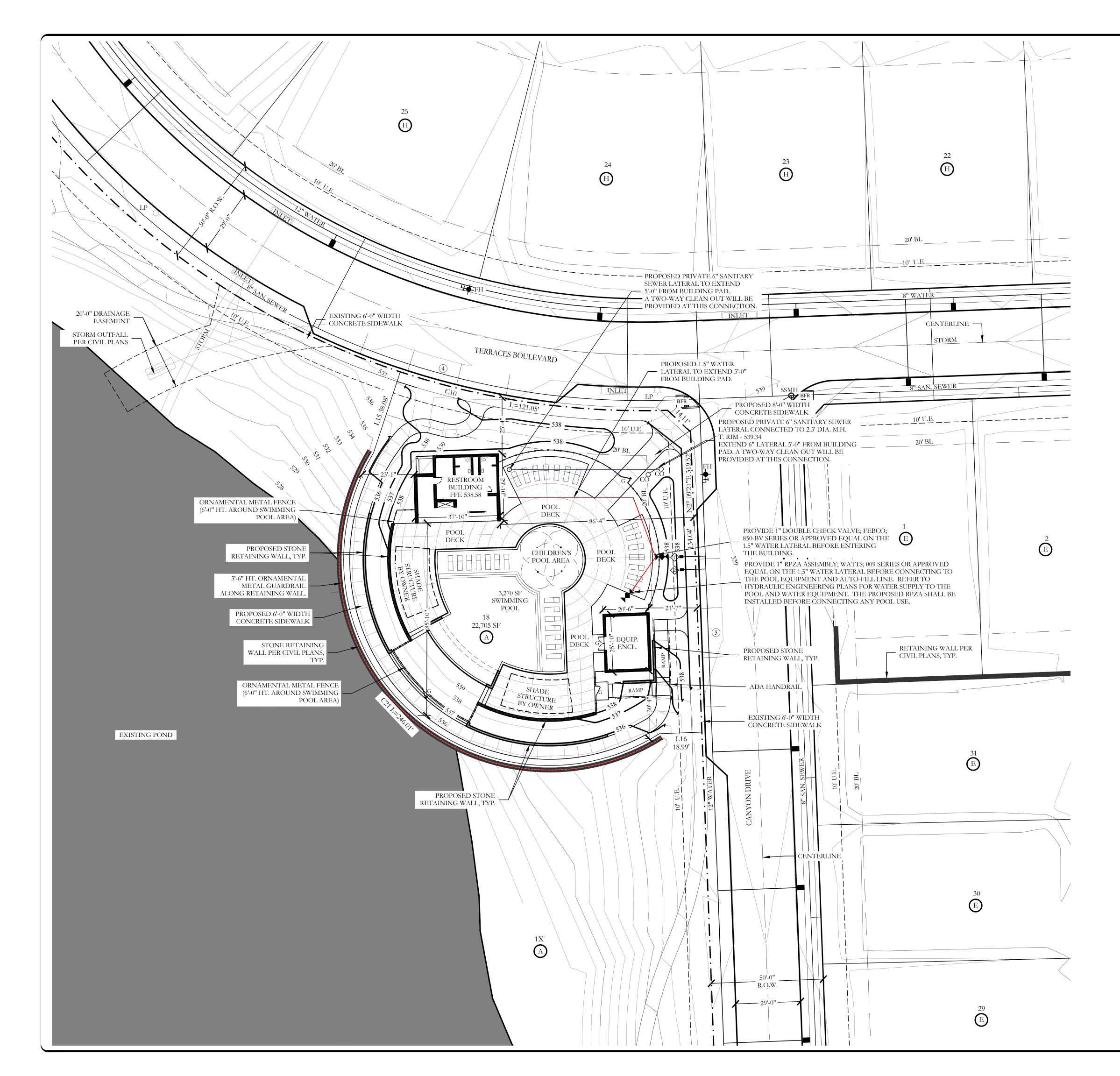




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





	LEG	END	
4	EXISTING PARKING COUNT	<li>1&gt; =</li>	EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	<u>^</u>	EXISTING 1.5" IRRIGATION
FН <b>- — —</b>	EXISTING FIRE HYDRANT	¥/ <b>-</b>	WATER METER
TI O	EXISTING SANITARY SEWER	<del>000</del> 0	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
Ŭ	MANHOLE	∱ G	1 - 4'-0" WIDTH SELF LATCHING,
<del></del>	EXISTING WATER MAIN W/ VALVE	G	SELF CLOSING METAL GATE
	EXISTING SANITARY SEWER		PROPOSED STONE RETAINING WALL
	EXISTING STORM		RETAINING WALL PER CIVIL PLANS
	EXISTING CURB INLET		TYP.
	RIGHT-OF-WAY		ADA HANDRAIL
р Р	LIGHT POLE		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
- 538	EXISTING CONTOUR INTERVAL		
<b>-</b> 538 <b></b>	PROPOSED CONTOUR INTERVAL		
FE 538.58	FINISHED FLOOR ELEVATION		

# **APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

# WATER METER SCHEDULE

METER	WATER	WATER	ME	ETER	SAN.
ID NUMBER	SERVICE SIZE	METER SIZE	DOM.	IRR.	SERVICE SIZE
	1.5"	1.5"	Х		6"
	1.5"	1.5"		Х	

# SITE INFORMATION

SINGLE FAMILY RESIDENTIAL PROPOSED USE: PRIVATE RECREATION CENTER LAND AREA: 0.52 ACRES 22,705 SQ. FT.				
BUILDING AREA:	1,124 SQUARE FEET			
BUILDING HEIGHT:	19'-8" (1 STORY)			
POOL EQ. ENCLOSUR	E AREA: 528 SQUARE FEET			
POOL EQ. ENCLOSUR	E HEIGHT: 18'-1" (1 STORY)			
FLOOR TO AREA:	0.0727:1 [1,652/22,705]			
LOT COVERAGE:	7.27%			

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27% INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

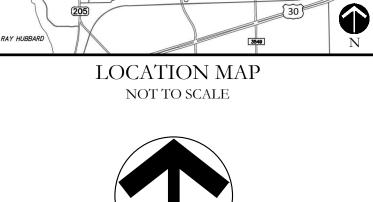
POOL DECK SURFACE: 5,062.43 SF

#### SITE PLAN NOTES:

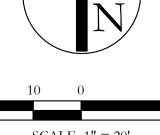
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY. • FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD
- CONSTRUCTION DETAILS. • ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. • ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW





SITE 🟲



SCALE 1" = 20'

# SITE PLAN TERRACES LOT 18, BLOCK A ~AMENITY CENTER~

BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO.122

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **OWNER/DEVELOPER:** 

TM TERRACES, LLC 4416 W. LOVERS LANE SUITE 200 DALLAS, TEXAS 75209 PH. 214-577-1431 **CONTACT: BOBBY HARRELL** BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER: JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. 972-201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI CODY.JOHNSON@JOHNSONVOLK.COM

SP1







# 119'-8" top of roof 1 standing seam metal roof, —— color to be selected by Owner 111'-4" top of low beam exposed steel beam, paint typ.,ref. structural exposed steel column, paint typ.,ref. structural cut stone veneer to be selected by Owner 100'-0" finished floor

ELEVATION

- -

3

119'-8" top of roof

exposed steel beam, paint typ., -ref. structural

exposed steel column, paint typ., ref. structural

tile to be selected by Owner

by Owner

100'-0" finished floor

cut stone veneer to be selected

steel mesh cap to be selected by Owner -

ELEVATION

111'-4" top of low beam

# **BUILDING MATERIAL CA**

# **APPROVED:**

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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.		385 S.F.	(	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	<u>18</u> 33	<u>4</u>	2	82	187 S.F.	48.57%	<u>e</u>	2
SECONDARY MATERIALS	122	2	165 S.F.	30.84%	121	(2)	-	2
TILE AT SHOWER/DRINKING FOUNTAINS	1211	-	165 S.F.	30.84%	(2)	(11)	-	2
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)		2	2	~~	327	(121)		-
STANDING SEAM METAL ROOF	(-1)	-	-	3. <del></del>		(=)	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



# NORTH ELEVATION - RESTROOM BUILDING

SCALE: 1/4"=1'-0"



MOSNHOL	Tot Central Parkway East   Suite 1200   Plano, TX 75074   972.201.3100				
TERRACES AMENITY CENTER	CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS				
AMENITY CENTER FACILITY	EXTERIOR ELEVATIONS - RESTROOM BUILDING				
SCALE: REFER TO PLANS One Inch JVC No JVC022 A3.00 - SD					

118'-1" top of roof

111'-4" top of low beam

ref. structural

by Owner

4

100'-0" finished floor

118'-1" top of roof

ref. structural

by Owner

by Owner

2)

exposed steel beam, paint typ.,

exposed steel column, paint typ., -ref. structural

cut stone veneer to be selected

steel mesh cap to be selected by Owner

ELEVATION

# **BUILDING MATERIAL CALCULATIONS**

Material

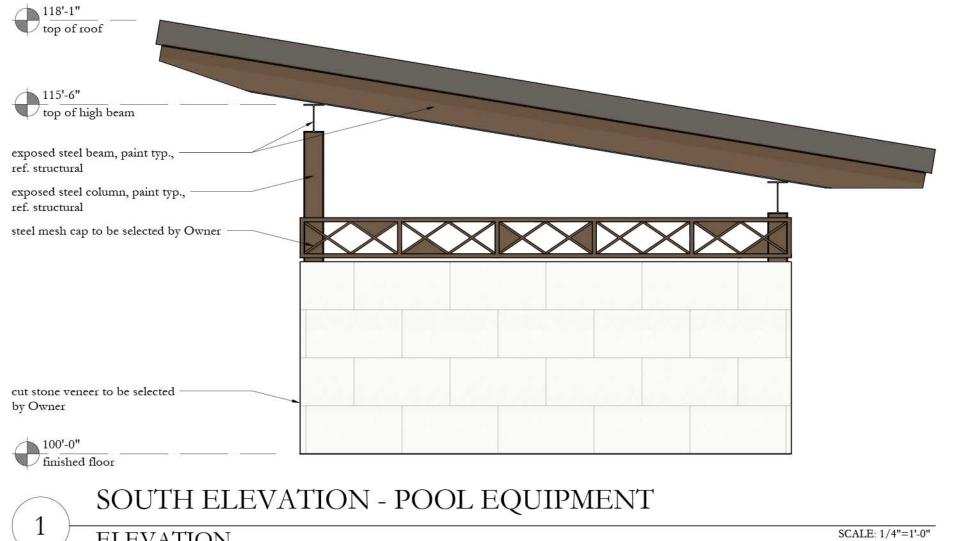
TOTAL SQ FT.

PRIMARY MATERIAL TOTALS CUT STONE VENEER

NICHIHA FIBER CEMENT SIDING

DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT STANDING SEAM METAL ROOF NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS 118'-1" top of roof standing seam metal roof, color to be selected by Owner top of low beam exposed steel beam, paint typ. ref. structural exposed steel column, paint typ., ref. structural steel mesh cap to be selected by Owner cut stone veneer to be selected by Owner 100'-0" finished floor EAST ELEVATION - POOL EQUIPMENT NORTH ELEVATION - POOL EQUIPMENT 3 ELEVATION SCALE: 1/4"=1'-0"





ELEVATION

ELEVATION

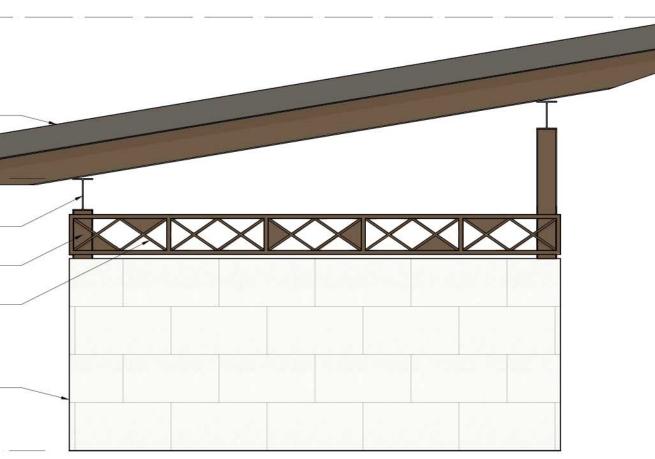
# **APPROVED:**

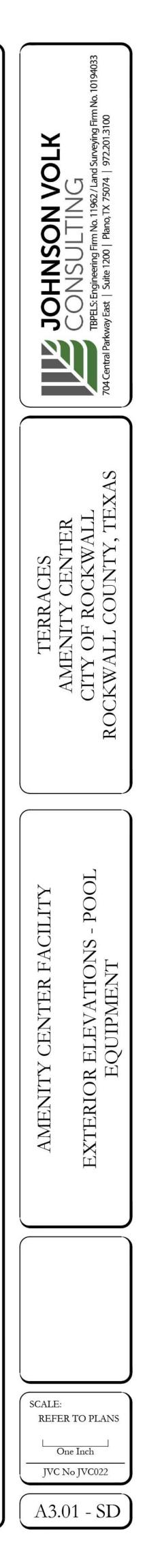
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_

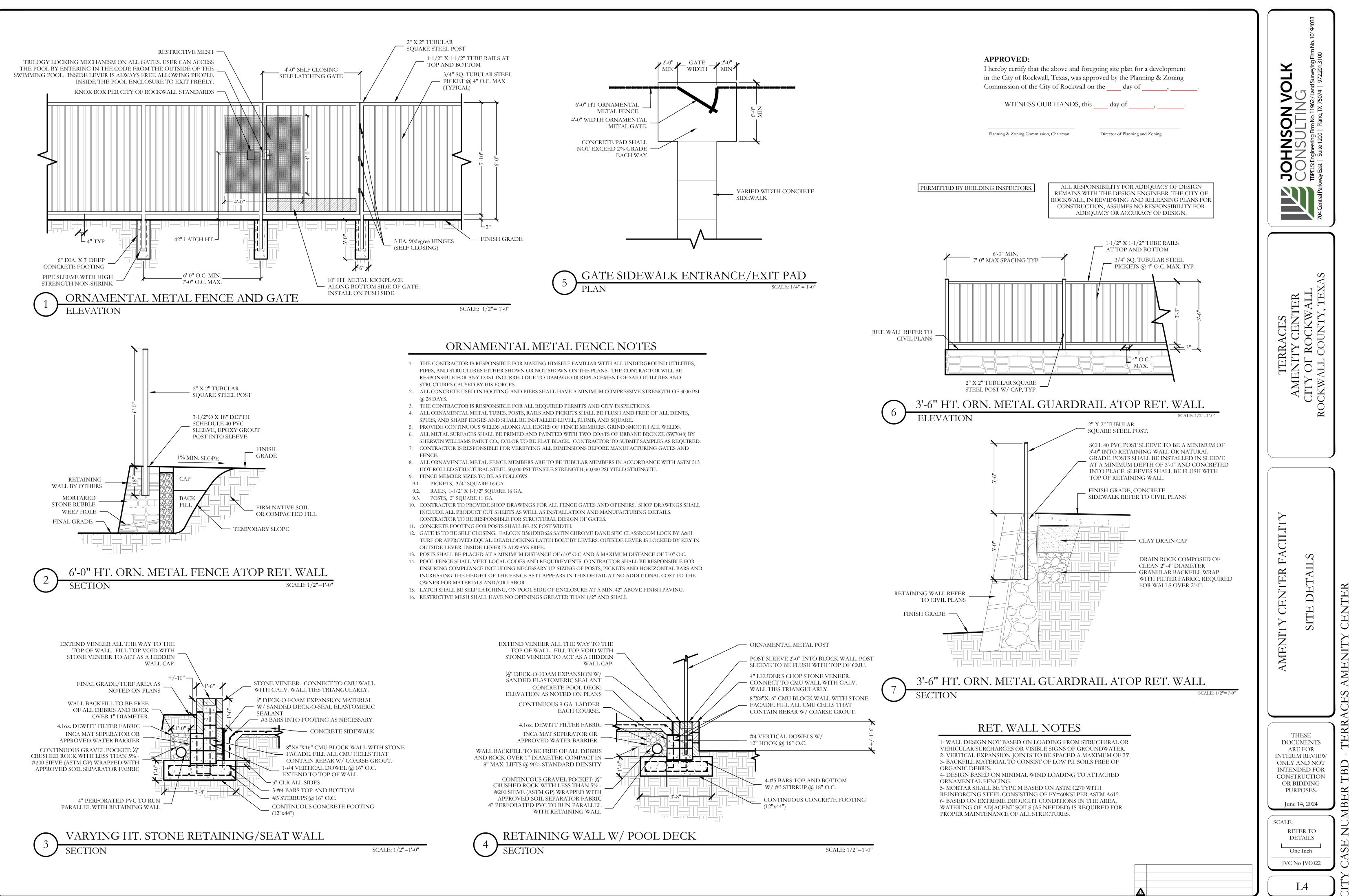
Director of Planning and Zoning Planning & Zoning Commission, Chairman

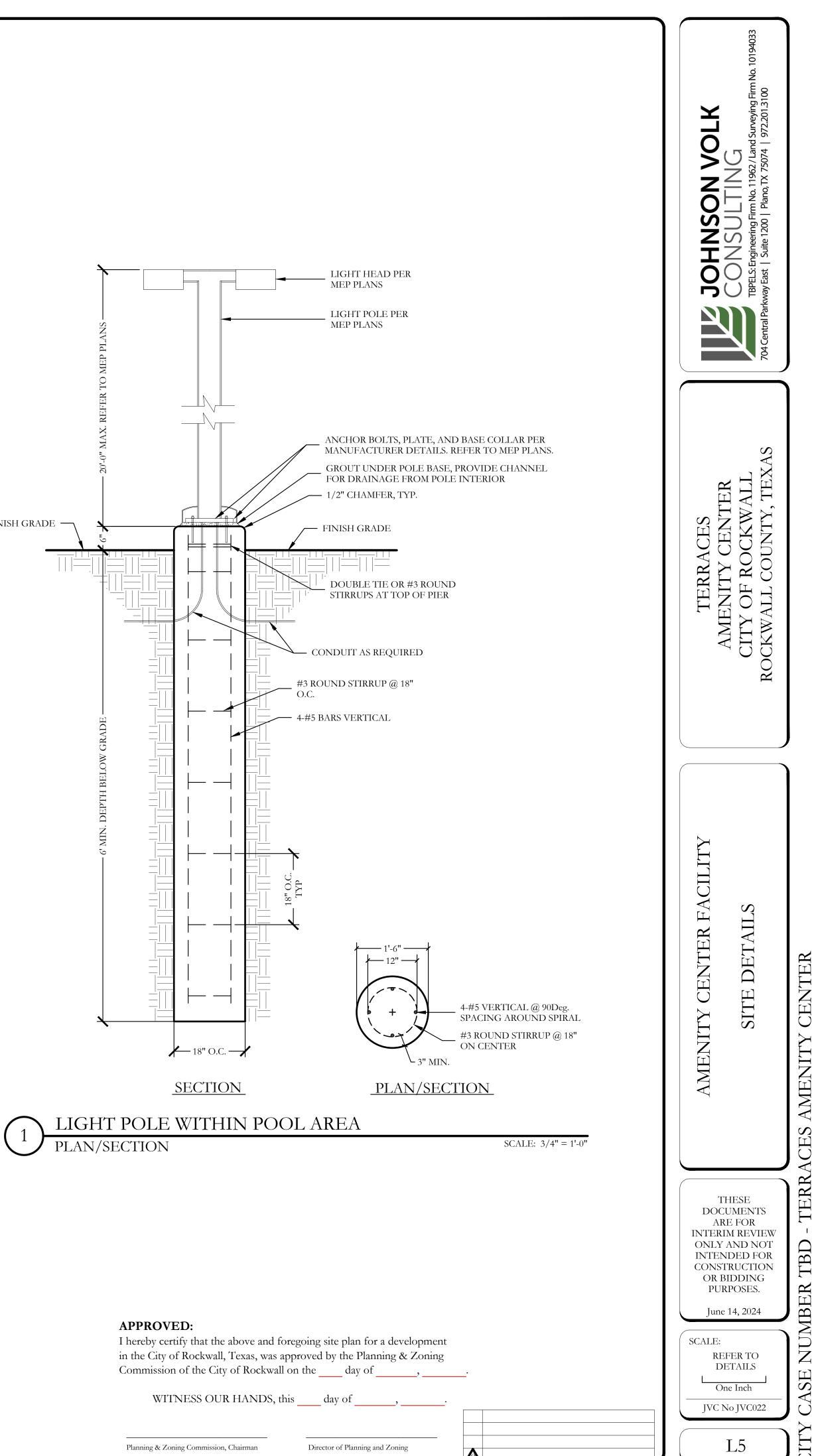
	North	Percent	South	Percent	East	Percent	West	Percent
	164 S.F.	-	164 S.F.	-	206 S.F.	(	206 S.F.	-
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
		-	-	6 <del>,1</del> 0	175	1 <del></del> 11	91 S.F.	56.87%
MATERIALS)	174	-		-		(77)	46 S.F.	
	17.1	-		127		(77)	-	-

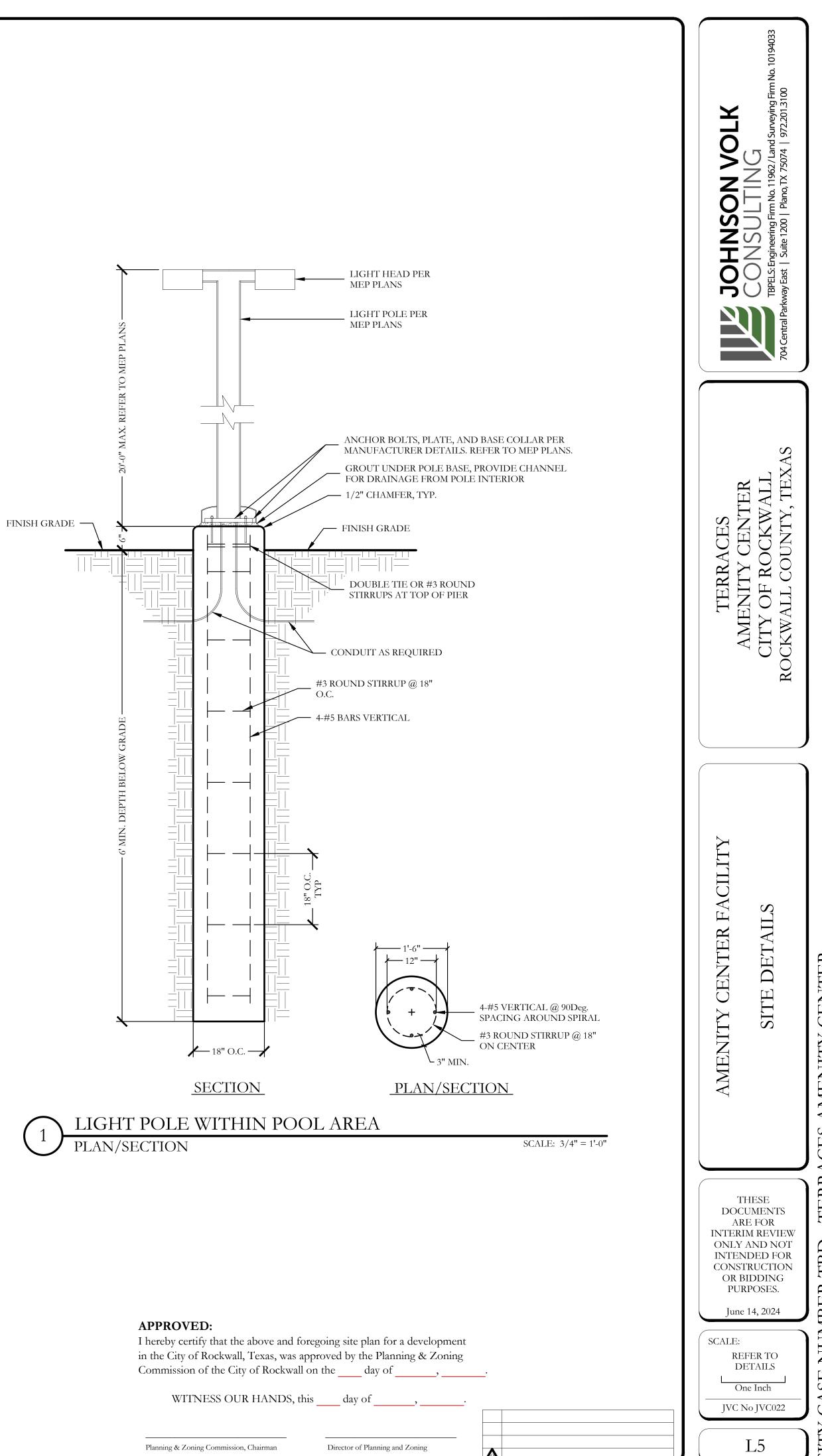




SCALE: 1/4"=1'-0"

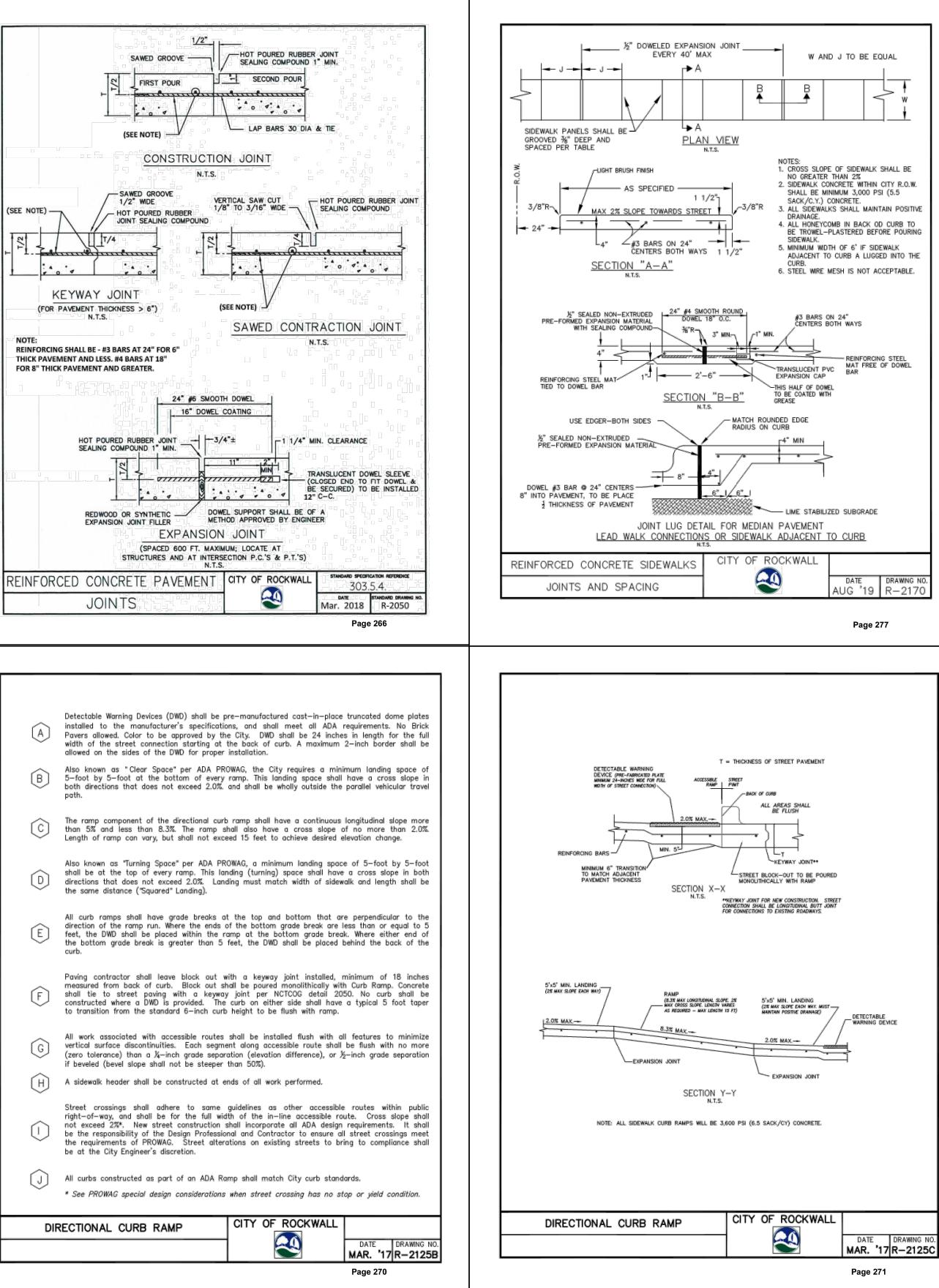






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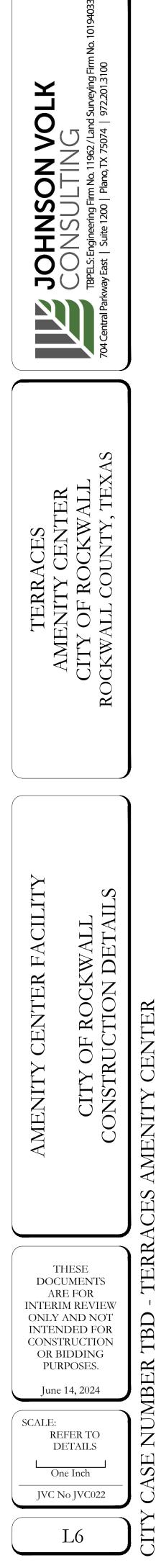


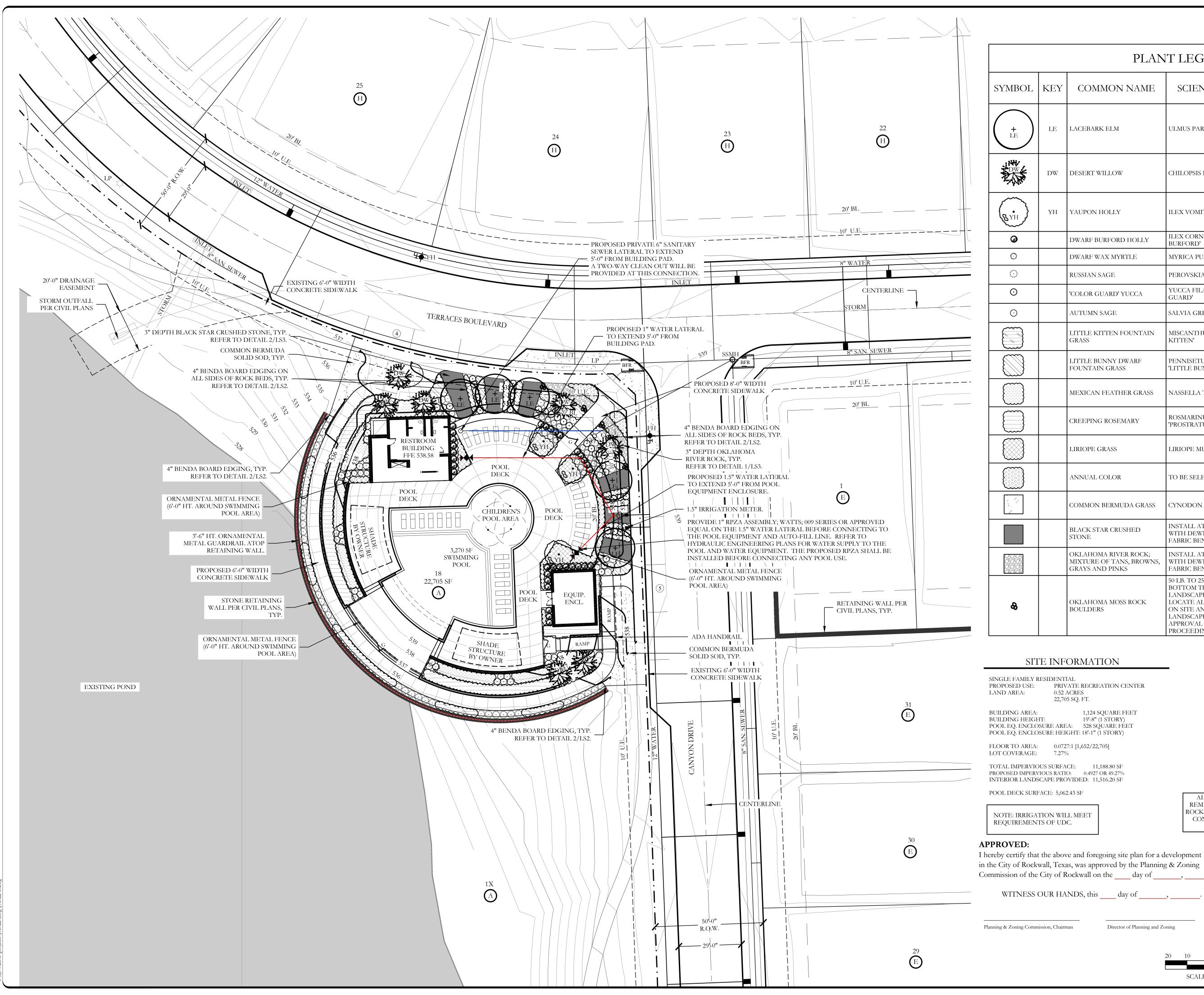
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W]

Planning & Zo

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BARS SPECI REINF EINF. CONC. PVMT.	EQUAL SIZE OF FIED IN PAVEMEIO ORCEMENT PAVEMENT BAR HAVE A TWO (2) IN TE PAVEMENT FO OVERLAY. THE MAC IS TO BE THE IOTCH SHOULD S IN AND GO TWENT FROM THE CROSS	BARS	N.T.S.	NG PAVE	EADERS TO UNLESS FIED.	ABOUT	
SPECI REINF EINF. CONC. PVMT	FIED IN PAVEMENT ORCEMENT PAVEMENT BAR HAVE A TWO (2) IN TE PAVEMENT FO OVERLAY. THE MAC IS TO BE THE IOTH SHOULD S' IN AND GO TWENT FROM THE CROSS					ABOUT	
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RETE UNDER THE HM T THICKNESS. THE M ID OF THE PAVEMET IP THE ROAD AWAY	AC IS TO BE THE IOTCH SHOULD S N AND GO TWENT FROM THE CROSS	FULL CTD	9"	5'0 <sup>*</sup>			
		TY (20) SING.		ADER AT			
					Mar. 20	SPECIFICATION REFERENCE	
						Page 268	
PEDESTRIAN A	CCESSIBILITY (W		ROW.)				
All newly cons rights-of-way current Guideli	tructed sidewalk shall be consid	s, curb ramps ered a pedest	and crosswa rian access r	oute and shall	conform to	the most	
<ol> <li>All slopes be used.</li> <li>Landings</li> </ol>	Adjust curb ra shall be 5'x	imp length or	grade of app	roach sidewalk:	s as directed		
3. Clear spa within the	ce at the bott crosswalk and	wholly outside	the parallel	vehicular trave	l path.	wholly contained	
5. Additional be found	information on in the most cu	curb ramp l arrent edition	ocation, desi of the Texas	n, light reflec Accessibility S	tive value ar		
in the pla accessible	ans. At inters routes shall al	ections where ign with theor	crosswalk m etical crosswa	arkings are no	t required, c	urb ramps and	
8. Provide a 9. Accessible	flush transition routes are co	where the cu nsidered "ram	rb ramps cor ps" when lon	gitudinal slopes	are betwee		
and must	follow all appli ARNING DEVICE	cable guideline	S.				
domes ca adjoining warning s	mplying with S surfaces. Fu	iection 705 o rnish and ins	f the TAŚ. Itall an appr	The surface oved cast-in-	must contra place dark	st visually with red detectable	
11. Detectable City. Insl	tall products in	accordance w	ith manufactı	rer's specificat	ions.		
13. Detectable pedestriar	e warning surf 1 travel, and ex	aces shall be tend the full v	'a minimun	of 24" in	depth in th	e direction of	
the back the grade	of curb. When   break betweer	placed on the n the ramp n	ramp, align un and the :	the rows of do street. Where	mes to be p detectable w	perpendicular to arning surfaces	
critical. D SIDEWALKS	etectable warnir	ng surfaces m	ay be curved	along the corn	ier radius.		
parts sha 16. Place tra	ll be placed with ffic signal or	hin one or ma illumination p	re reach ran oles, ground	jes specified in boxes, contro	ITÁS 308. Iller boxes,	signs, drainage	
space. 17. Street gro	ades and cross	slopes shall b	e as shown e	lsewhere in the	e plans.		
19. The least sidewalks roadway.	possible grad and crosswalks Where a contir	e should be within the pu nuous grade a	used to ma ublic right of preater than	imize accessib way may follo 5% must be	ility. The ru w the grade provided, ha	, nning slope of of the parallel ndrails may be	
potentially 20. Handrail	/ hazardous con extensions shal	ditions. If pro	vided, hańdrai	is shall comply	with TAS 50	05.	
processing							
DIRECTION	AL CURB F	RAMP	CITN	OF ROCK	WALL		-
				2	N	DATE DRAWING	
						Page 272	
	All newly consi rights—of—way current Guideli CURB RAMPS 1. All slopes be used. 2. Landings longitudin. 3. Clear spa within the 4. Maximum 5. Additional be found 68.102. I 6. Crosswalk in the pla accessible 7. Handrails 8. Provide a 9. Accessible (maximum and must DETECTABLE W 10. Curb ram domes co adjoining warning s plans. 11. Detectable pedestriar access ro 14. Detectable the back the grade are provide critical. D SIDEWALKS 15. Provide c parts sha 16. Place tra facilities of space. 17. Street gra 18. Changes i 19. The least sidewalks roadway, desirable potentially 20. Handrail pedestriar	<ul> <li>All newly constructed sidewalk rights—of—way shall be considicurrent Guidelines for Public FCURB RAMPS</li> <li>1. All slopes shown are MA be used. Adjust curb ro</li> <li>2. Landings shall be 5<sup>x</sup> longitudinal directions</li> <li>3. Clear space at the bott within the crosswalk and</li> <li>4. Maximum allowable cross</li> <li>5. Additional information or be found in the most at 68.102. Federal guideline</li> <li>6. Crosswalk dimensions, croin the plans. At intersi accessible routes shall al</li> <li>7. Handrails are not require</li> <li>8. Provide a flush transition</li> <li>9. Accessible routes are co (maximum allowable). S and must follow all appli</li> <li>DETECTABLE WARNING DEVICE</li> <li>10. Curb ramps must contro domes complying with S adjoining surfaces. Fu warning surface material plans.</li> <li>11. Detectable Warning Mate City. Install products in</li> <li>12. Detectable warning surfat the back of curb. When the grade break betweet are provided on a surface ritical. Detectable warning surfat the back of curb. When the grade break betweet are provided on a surface.</li> <li>15. Provide clear ground spars shall be placed wit</li> <li>16. Place traffic signal or facilities and other items space.</li> <li>17. Street grades and cross</li> <li>18. Changes in level greater</li> <li>19. The least possible grade sidewalks and crosswalks roadway. Where a contin desirable to improve acc potentially hazardous con</li> <li>20. Handrail extensions shal pedestrian routes.</li> </ul>	<ul> <li>All newly constructed sidewalks, curb ramps rights—of—way shall be considered a pedest current Guidelines for Public Rights—of—Way CURB RAMPS</li> <li>1. All slopes shown are <u>MAXIMUM ALLOWA</u> be used. Adjust curb ramp length or</li> <li>2. Landings shall be 5'x 5' minimum longitudinal directions</li> <li>3. Clear space at the bottom of curb m within the crosswalk and wholly outside</li> <li>4. Maximum allowable cross slope on side</li> <li>5. Additional information on curb ramp I be found in the most current edition 68.102. Federal guidelines shall supers</li> <li>6. Crosswalk dimensions, crosswalk markin in the plans. At intersections where accessible routes shall align with theor</li> <li>7. Handrails are not required on curb ram (maximum allowable). Sidewalks unde and must follow all applicable guideline</li> <li>DETECTABLE WARNING DEVICE</li> <li>10. Curb ramps must contain a detectat domes complying with Section 705 o adjoining surfaces. Furnish and ins warning surfaces. Furnish and ins warning surfaces. Furnish and ins warning surface material adjacent to plans.</li> <li>11. Detectable Warning Materials shall be City. Install products in accordance with a slope access route enters the street.</li> <li>14. Detectable warning surfaces shall be pedestrian travel, and extend the full vaccess route enters the street.</li> <li>15. Provide of curb. When placed on the the grade break between the ramp m are provided on a surface with a slope critical. Detectable warning surfaces shall be the back of curb. When placed on the the grade shall be placed within one or mo</li> <li>16. Place traffic signal or illumination p facilities and other items so as not to space.</li> <li>17. Street grades and cross slopes shall be</li> <li>18. Changes in level greater than 1/4 inch</li> <li>19. The least possible grade should be sidewalks and crosswalks within the pu roadway. Where a continuous grade or desirable to improve accessibility. Ham</li> </ul>	<ul> <li>rights-of-way shall be considered a pedestrian access rationant Guidelines for Public Rights-of-Way created by the CURB RAMPS</li> <li>1. All slopes shown are <u>MAXIMUM ALLOWABLE</u>. Lesser be used. Adjust curb ramp length or grade of apple. Landings shall be 5% 5° minimum with a maxingitudinal directions</li> <li>3. Clear space at the bottom of curb ramps shall be within the crosswalk and wholly outside the parallel.</li> <li>4. Maximum allowable cross slope on sidewalk and curt 5. Additional information on curb ramp location, desig be found in the most current edition of the Texas 68.102. Federal guidelines shall supersede any confidence of the plane. At intersections where crosswalk markings and stop in the plane. At intersections where crosswalk may accessible routes shall align with theoretical crosswal 7. Handrails are not required on curb ramps.</li> <li>8. Provide a flush transition where the curb ramps confidence in the plane. At intersections where crosswalk may and must follow all applicable guidelines.</li> <li>DETECTABLE WARNING DEVICE</li> <li>10. Curb ramps must contain a detectable warning s domes complying with Section 705 of the TAS. adjoining surfaces. Furnish and install an approximating surfaces. Furnish and install on approximating surfaces material adjacent to uncolored ac plans.</li> <li>10. Detectable Warning Materials shall be a minimum pedestrian travel, and extend the full width of the caccess route enters the street.</li> <li>10. Detectable warning surfaces shall be a minimum pedestrian travel, and extend the full width of the cacces is route enters the street.</li> <li>11. Detectable warning surfaces shall be a minimum pedestrian travel, and extend the full width of the cacces is route enters the street.</li> <li>12. Detectable warning surfaces shall be a shown et access of the back of curb. When placed on the ramp, align the grade break between the ramp un and the sacces is of the back of curb. When placed on the ramp, align the grade break between the ramp, align the grad</li></ul>	<ul> <li>All newly constructed sidewalks, curb ramps and crosswalks installed wir rights-of-way shall be considered a pedestrian access route and shall current Guidelines for Public Rights-of-Way created by the United Stat CURB RAMPS</li> <li>a. Adjust curb ramp length or grade of approach sidewalks</li> <li>a. Landings shall be 5% 5° minimum with a maximum 2% sloping/turind directions.</li> <li>Clear space at the bottom of curb ramps shall be a minimum 4% of Maximum allowable cross slope on sidewalk and curb ramp strated</li> <li>Additional information on curb ramp location, design, light reflections.</li> <li>Additional information on curb ramp location, design, light reflections of the Texas Accessibility 58.102. Federal guidelines shall supersede any conflicts.</li> <li>Crosswalk dimensions, crosswalk markings and stop bar locations at in the plans. At intersections where crosswalk markings are not accessible routes shall align with theoretical crosswalks unless other and must follow all applicable guidelines.</li> <li>DETECTABLE WARNING DEVICE</li> <li>Curb ramps must contain a detectable warning surface that a domes complying with Section 705 of the TAS. The surface adjoining surfaces. Furnish and install an approved cast-in-warning surfaces. The source and the full width of the curb ramp secificat 12. Detectable warning surfaces shall be a minimum of 24° in pacestrian taxing surfaces shall be a minimum of 24° in pacestrian taxing surfaces shall be located so that the edge if the back of curb. When placed on the ramp and guid the curb ramps enclored ramps and constitution on surface with a slope that is less than 5 percer are provided on a surface shall be located so that the edge if the back of curb. When placed on the ramp align the rows of d the grade brade between the ramp run and the street. Where are provided on a surface shall be located rames, contro of the back of curb. When placed on the ramp align the rows of d the back of curb. When place do the ramp run at</li></ul>	<text><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></text>	<text><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></text>

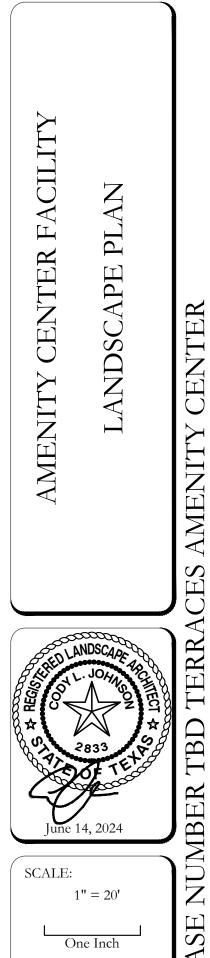




		PLAN	T LEGEND		
DL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
}	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
}		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
}		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
}		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
}		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	$\frac{3}{4}$ -1" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL Combination OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

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# SITE INFORMATION

SINGLE FAMILY RESIDENTIAL PROPOSED USE: PRIVATE RECREATION CENTER 0.52 ACRES 22,705 SQ. FT. BUILDING AREA:1,124 SQUARE FEETBUILDING HEIGHT:19'-8" (1 STORY)POOL EQ. ENCLOSURE AREA:528 SQUARE FEET

POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27% INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

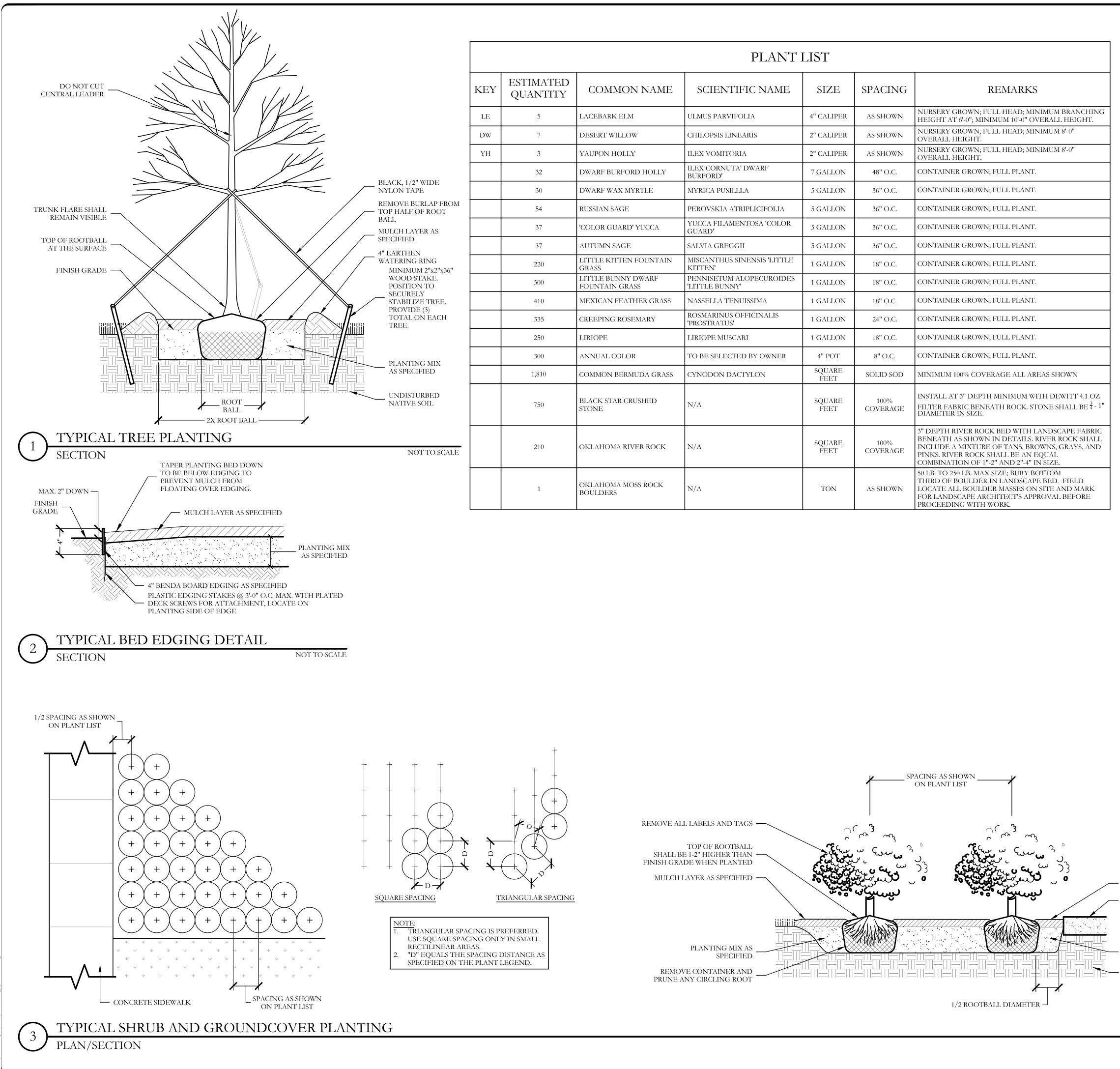
in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SCALE 1" = 20'

June 14, 2024	J
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1" = 20'	
One Inch	
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		PLANT	LIST		
TIMATED JANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
32	DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
30	DWARF WAX MYRTLE	MYRICA PUSILLLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
410	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE $\frac{3}{4}$ - 1" DIAMETER IN SIZE.
210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

# GENERAL LANDSCAPE NOTES

# **INSPECTIONS:**

- 1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC
- WORKS DEPARTMENT. 2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO
- CALLING FOR ROW INSPECTION AND PERMIT.
- 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

# LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENT'S SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- 3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- 4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN
- PLANT QUALIFICATIONS, GRADES, AND STANDARDS. 6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF
- ARBORICULTURE (ISA) STANDARDS. 7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- 8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED. 9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL
- TILLED AND TURNED TO A DEPTH OF 8" MINIMUM. 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- 11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

## IRRIGATION STANDARDS:

- 1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- 6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- 7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM). IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES;
- SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- 9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

## MAINTENANCE STANDARDS:

- . THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS. 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- 4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

## TREE PROTECTION NOTES:

- 1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- 3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE. 6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE
- DRIP LINE. 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

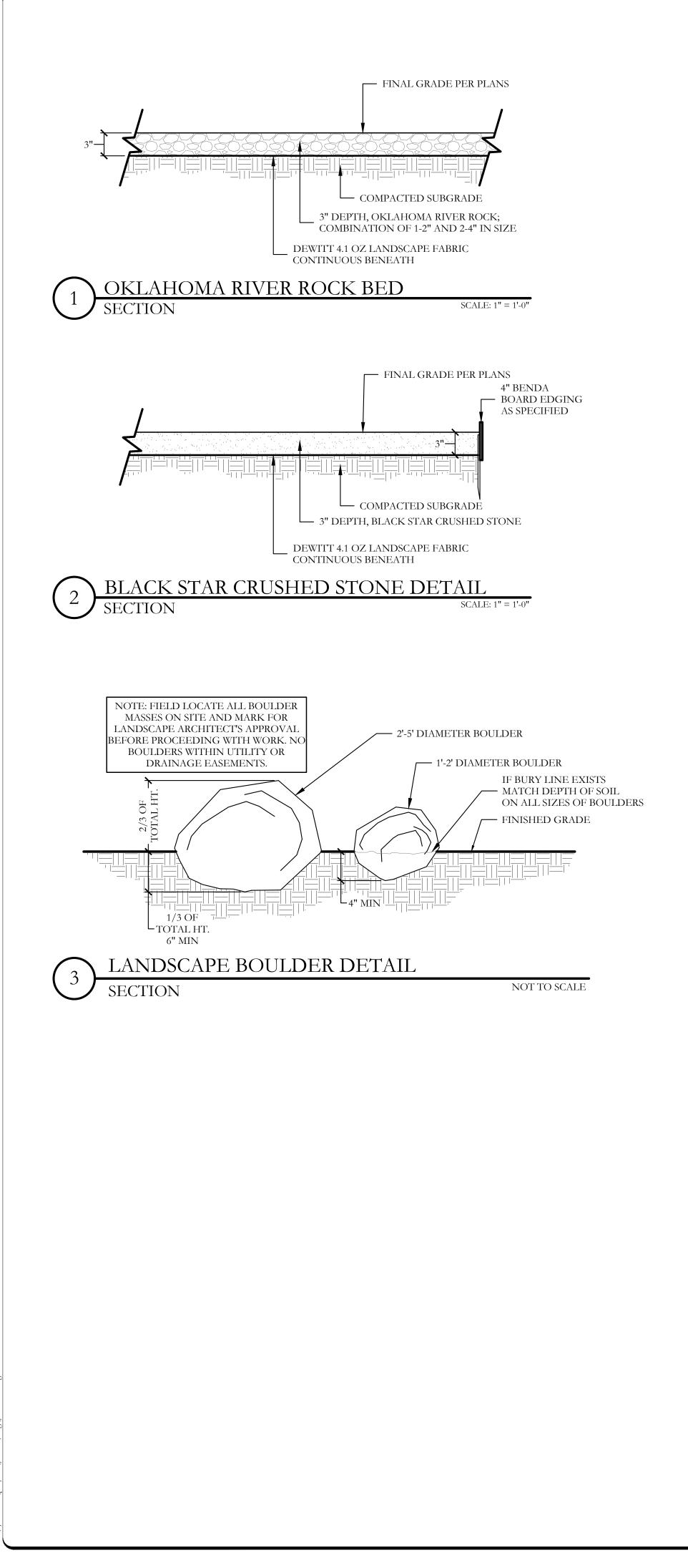
ſOP OF MULCH SHALL BE /2" BELOW SIDEWALK		
CONCRETE SIDEWALK PLANTING MIX AS SPECIFIED UNDISTURBED NATIVE SOIL	<b>APPROVED:</b> I hereby certify that the above and for in the City of Rockwall, Texas, was a Commission of the City of Rockwall WITNESS OUR HANDS, th	pproved by the Planning & Zoning
	Planning & Zoning Commission, Chairman	Director of Planning and Zoning

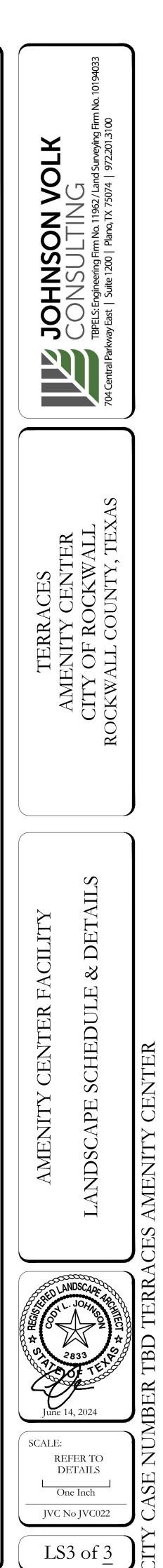
AMENITY CENTER FACILITY	TERRACES	
	AMENITY CENTER	
LANDSCAPE SCHEDULE & DETAILS	CITY OF ROCKWALL	TBPELS: Engineering Firm No. 11962 / Land Surveyin
	ROCKWALL COUNTY, TEXAS	704 Central Parkway East   Suite 1200   Plano, TX 75074   972.201.
ACES AMENITY CENTER		

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ROCKWALL, IN REVIEWING AND RELEASING PLANS FC CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR
ADEQUACY OR ACCURACY OF DESIGN.

# APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_\_\_. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_\_\_. Planning & Zoning Commission, Chairman Director of Planning and Zoning



DATE: July 10, 2024

- TO: Cody Johnson Johnson Volk Consulting 704 Central Parkway East, Suite 1200 Plano, Texas 75074
- FROM: Henry Lee, AICP City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, TX 75087

SUBJECT: SP2024-033; Site Plan for the Terraces Amenity Center

Cody Johnson:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on July 9, 2024. The following is a record of all recommendations, voting records and conditions of approval:

#### Staff Recommendations

(1) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

#### Planning and Zoning Commission

On July 9, 2024, the Planning and Zoning Commission approved a motion to approve the site plan by a vote of 4-0, with Commissioners Deckard and Womble absent, and one (1) vacancy.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,

Henry Lee, AICP, Senior Planner City of Rockwall Planning and Zoning Department