



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Terraces**

SUBDIVISION **Terraces**

LOT **18**

BLOCK **A**

GENERAL LOCATION **at the corner of Terraces Boulevard and Canyon Drive**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE **Private Recreational Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE **Private Recreational Center**

ACREAGE **.52**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **TM Terraces, LLC**

☒ APPLICANT **Johnson Volk Consulting**

CONTACT PERSON

CONTACT PERSON **Cody Johnson**

ADDRESS **4416 W. Lovers Lane Suite 200**

ADDRESS **704 Central Parkway East**

CITY, STATE & ZIP **Dallas, TX 75209**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **(214)577-1431**

PHONE **(972) 201-3100**

E-MAIL

E-MAIL **cody.johnson@johnsonvolk.com**

NOTARY VERIFICATION [REQUIRED]

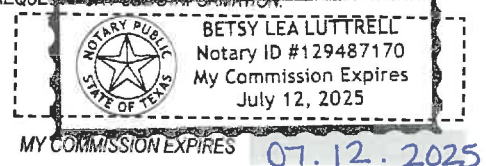
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bobby Harrell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

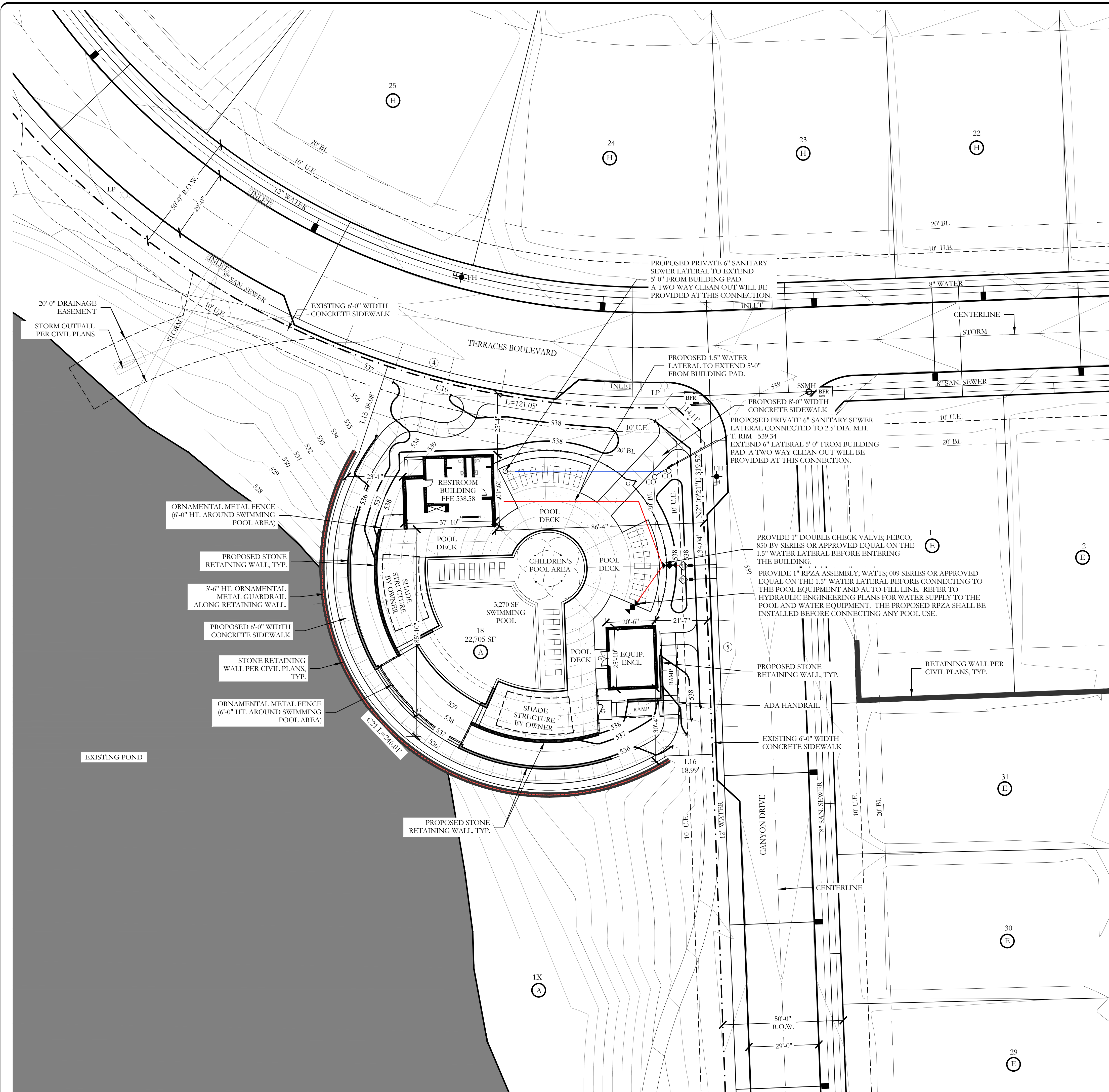
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 276.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 10 DAY OF June 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF June 20 24

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





LEGEND			
	EXISTING PARKING COUNT		EXISTING 1.5" DOMESTIC WATER METER
	BARRIER FREE RAMP		EXISTING 1.5" IRRIGATION WATER METER
	EXISTING FIRE HYDRANT		ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
	EXISTING SANITARY SEWER MANHOLE		1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
	EXISTING WATER MAIN W/ VALVE		PROPOSED STONE RETAINING WALL
	EXISTING SANITARY SEWER		RETAINING WALL PER CIVIL PLANS TYP.
	EXISTING STORM		ADA HANDRAIL
	EXISTING CURB INLET		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
	RIGHT-OF-WAY		
	LIGHT POLE		
	EXISTING CONTOUR INTERVAL		
	PROPOSED CONTOUR INTERVAL		
	FINISHED FLOOR ELEVATION		

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
	1.5"	1.5"	X		6"
	1.5"	1.5"		X	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 [1,652/22,705]
LOT COVERAGE: 7.27%

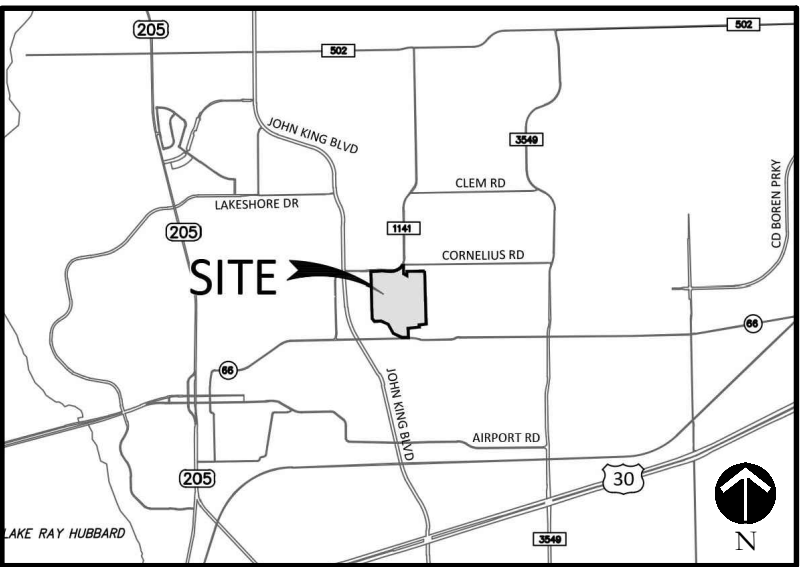
TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

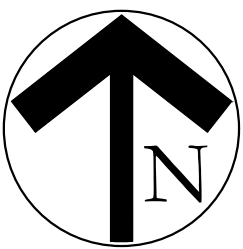
SITE PLAN NOTES:

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.



LOCATION MAP
NOT TO SCALE



20 10 0 20
SCALE 1" = 20'

SITE PLAN
TERRACES
LOT 18, BLOCK A
~AMENITY CENTER~

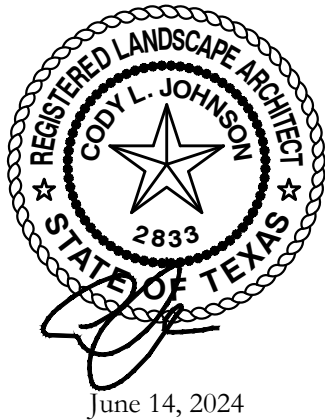
BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:

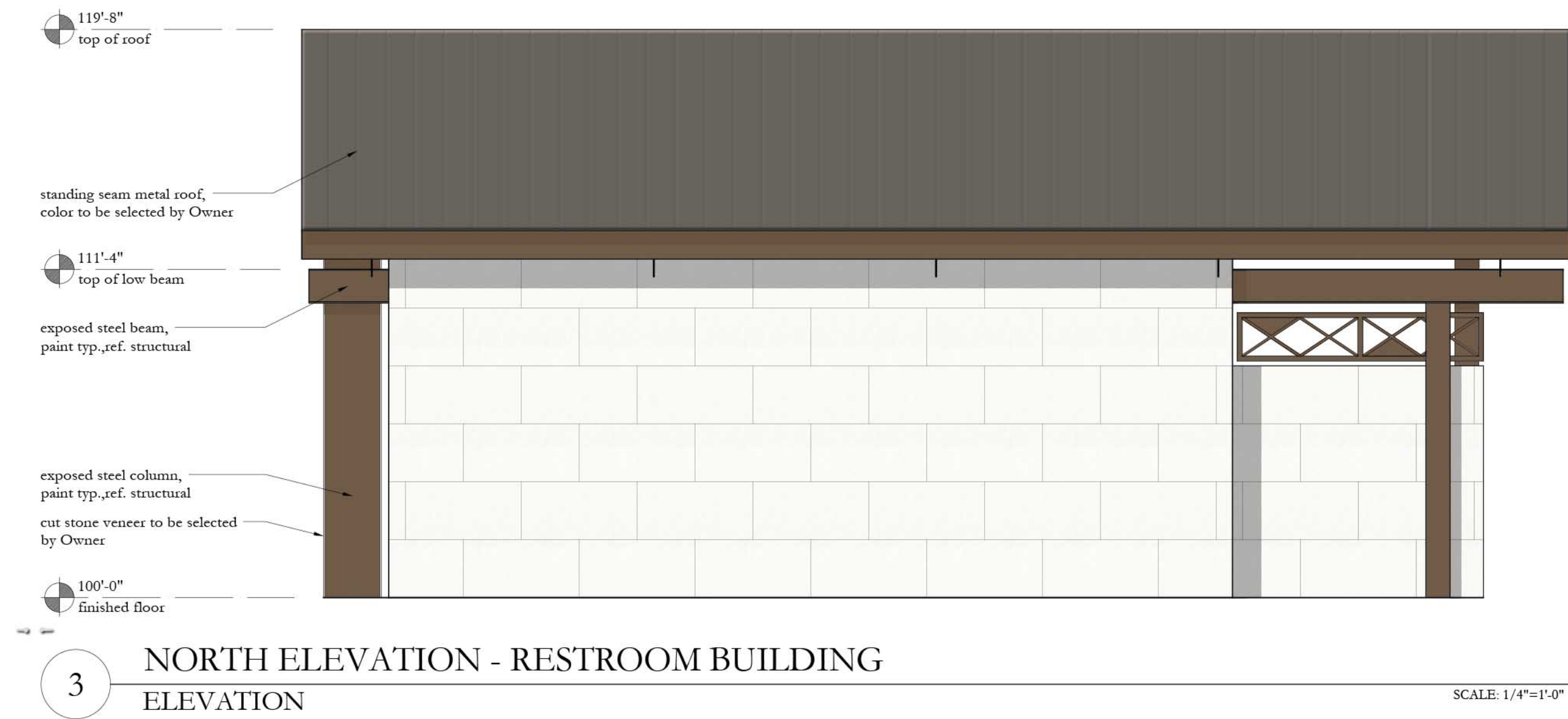
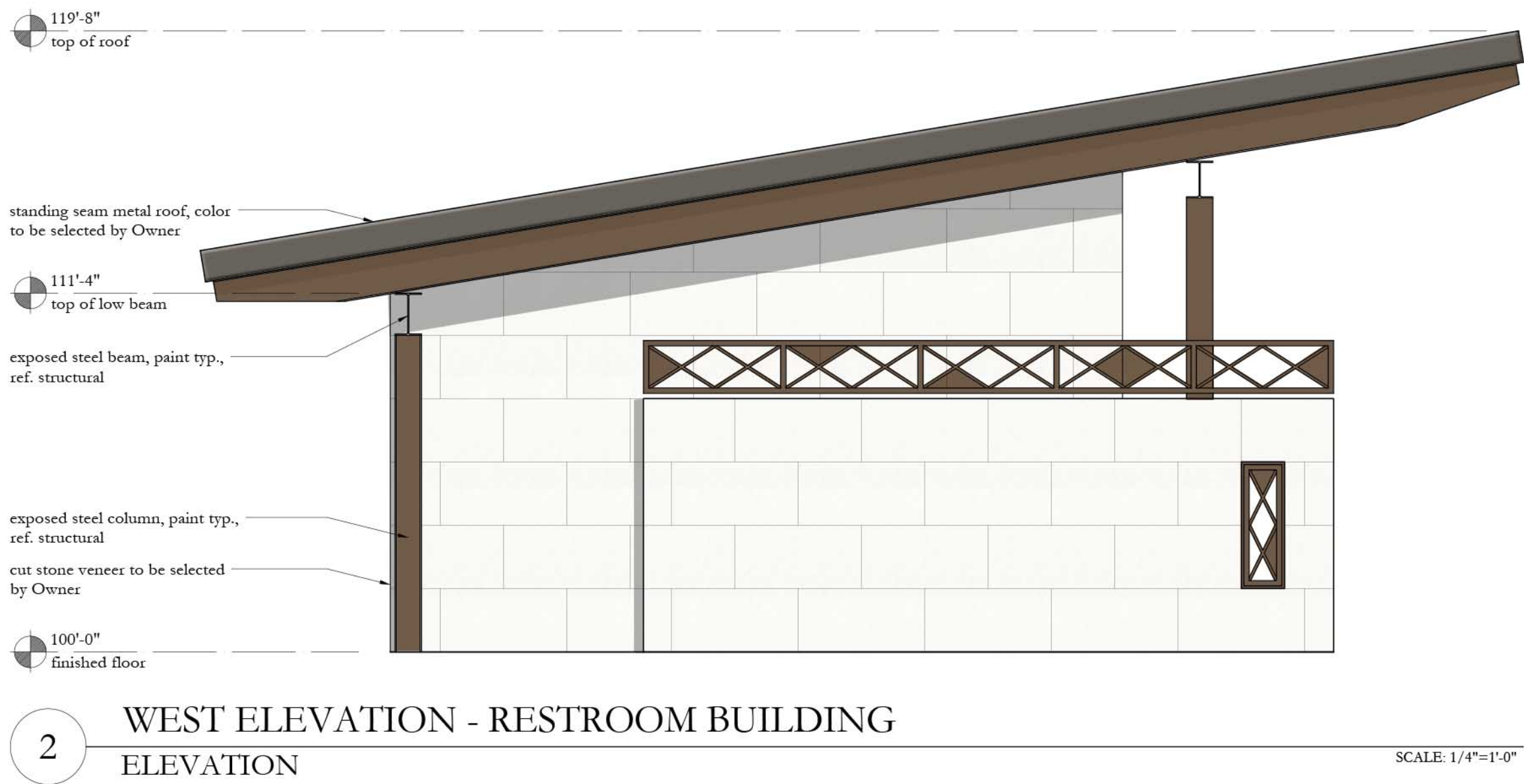
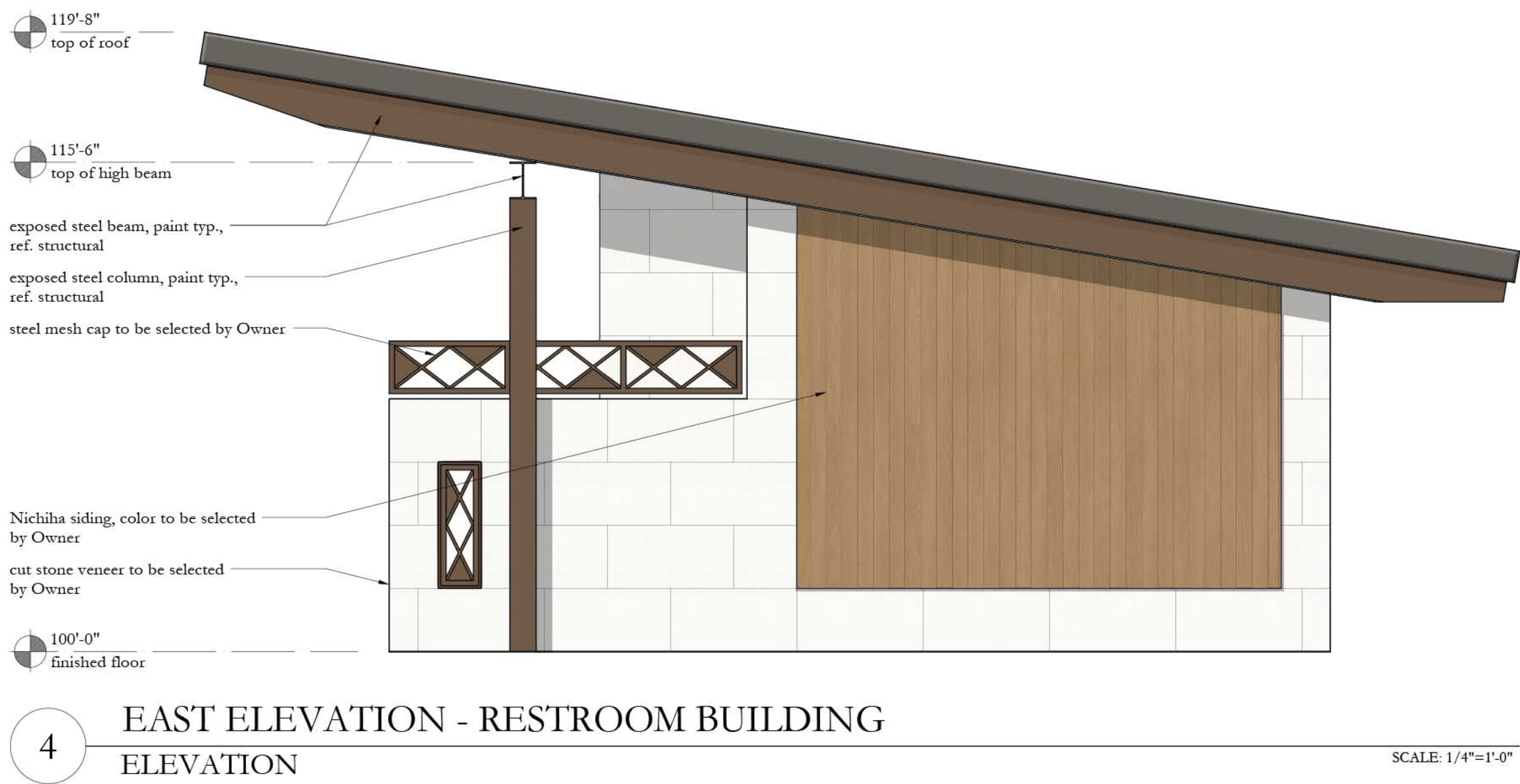
TM TERRACES, LLC
4416 W. LOVERS LANE SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431
CONTACT: BOBBY HARRELL
BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI
CODY.JOHNSON@JOHNSONVOLK.COM



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APPROVED:
I hereby certify that the above and foregoing site plan for a development
in the City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.	-	385 S.F.	-	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	187 S.F.	48.57%	-	-
SECONDARY MATERIALS	-	-	165 S.F.	30.84%	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	165 S.F.	30.84%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	-	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								

TERRACES
AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

AMENITY CENTER FACILITY
EXTERIOR ELEVATIONS - RESTROOM
BUILDING

SCALE:
REFER TO PLANS
One Inch
JVC No JVC022

A3.00 - SD

JOHNSON VOLK
CONSULTING
JBPELE Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.5100

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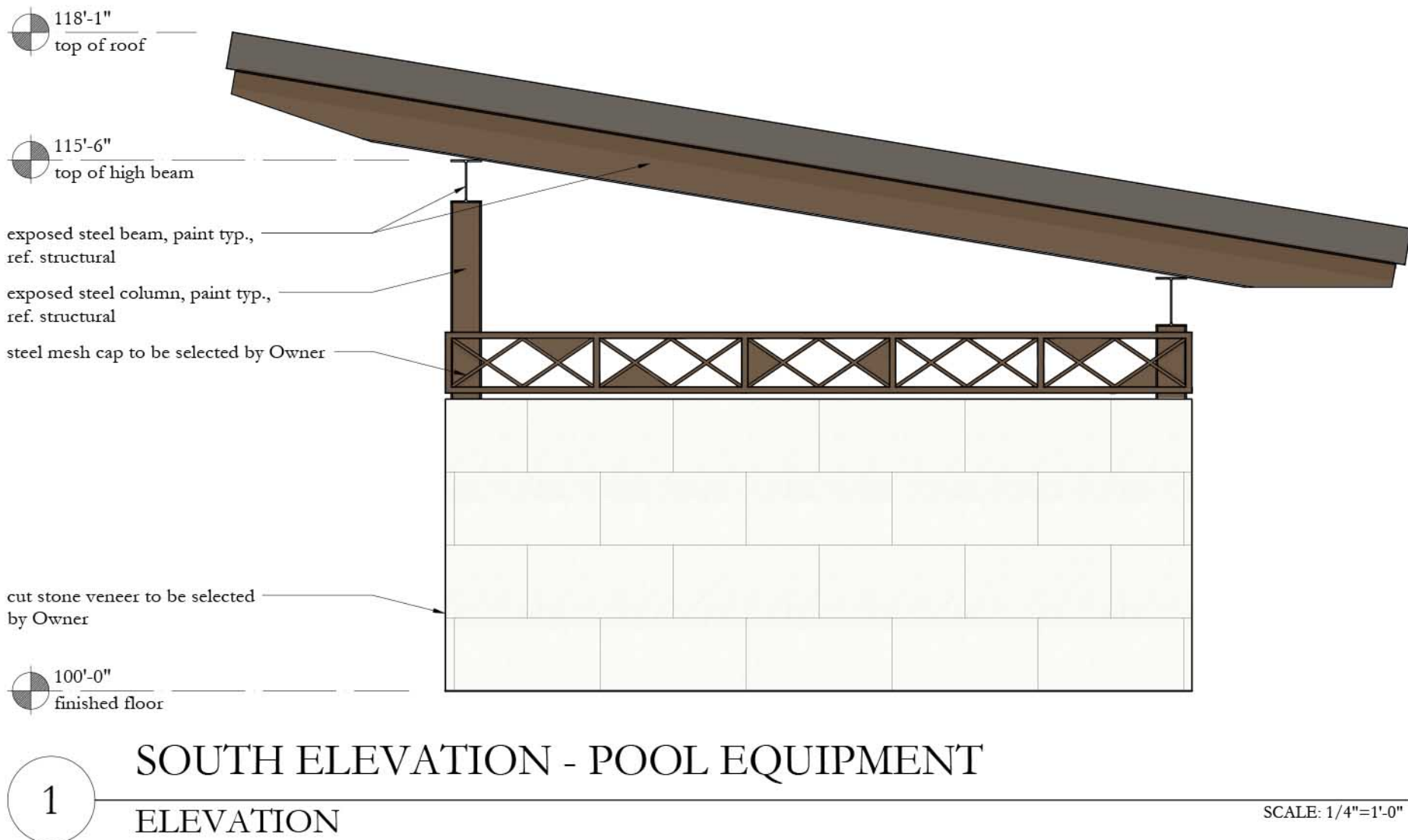
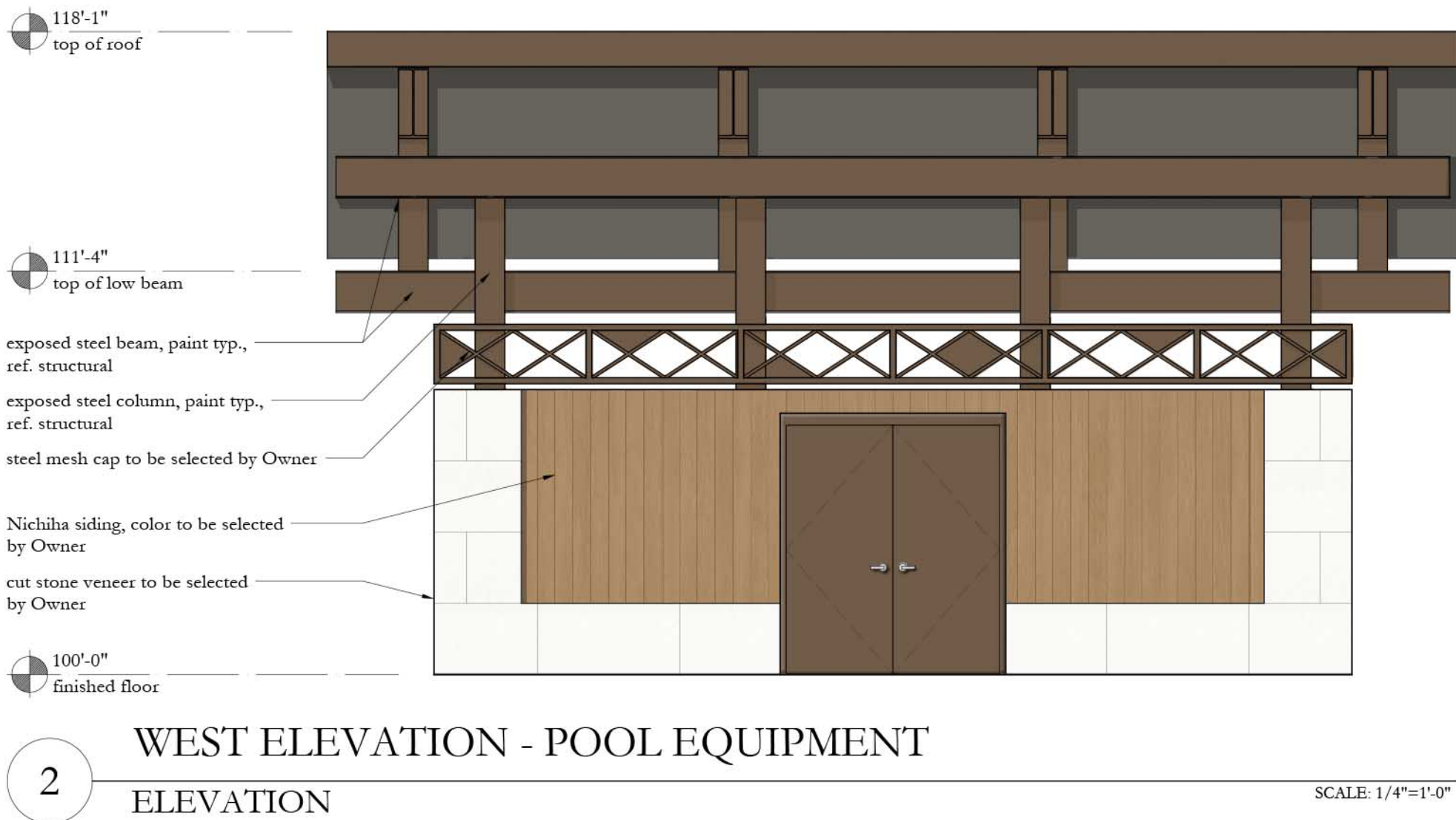
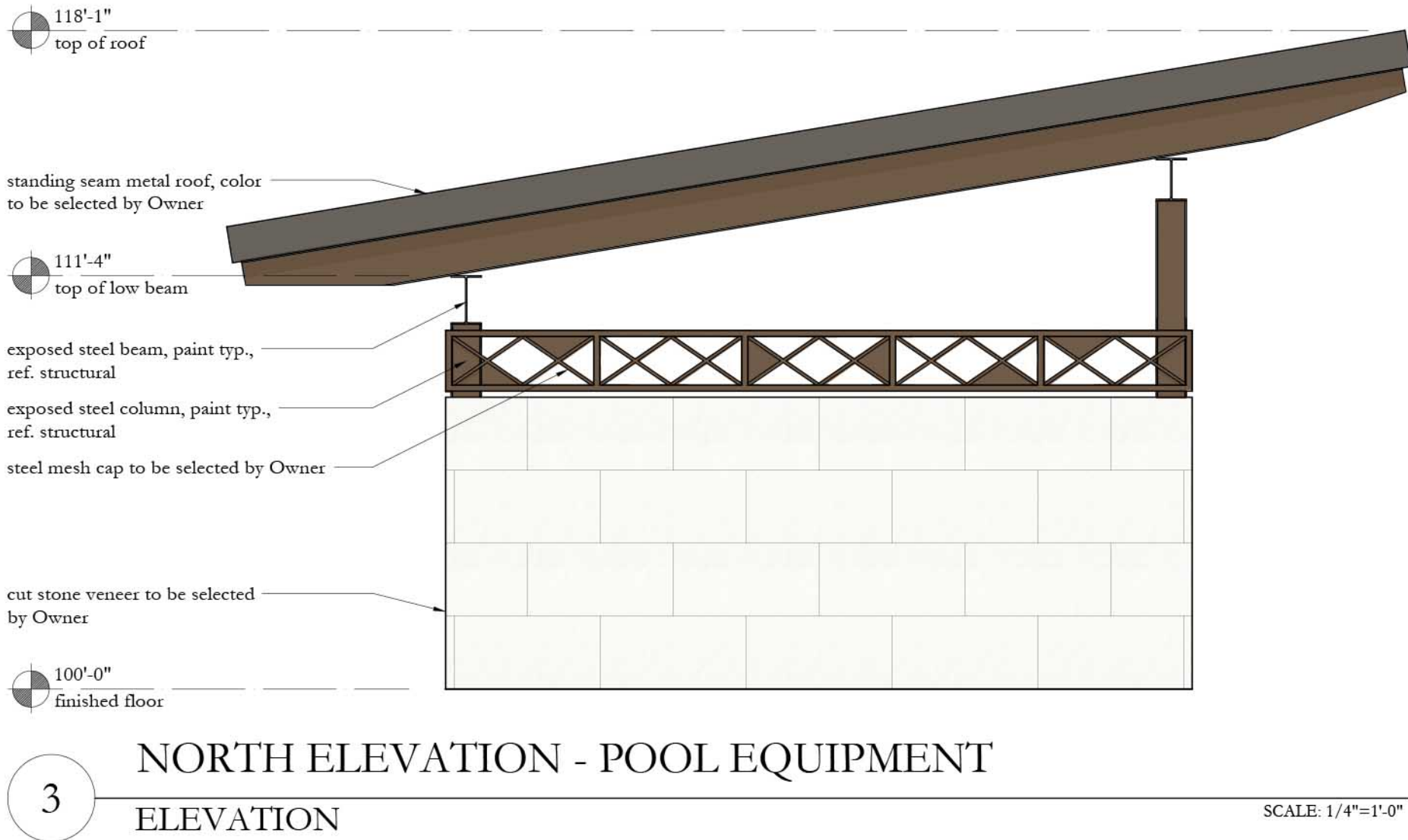
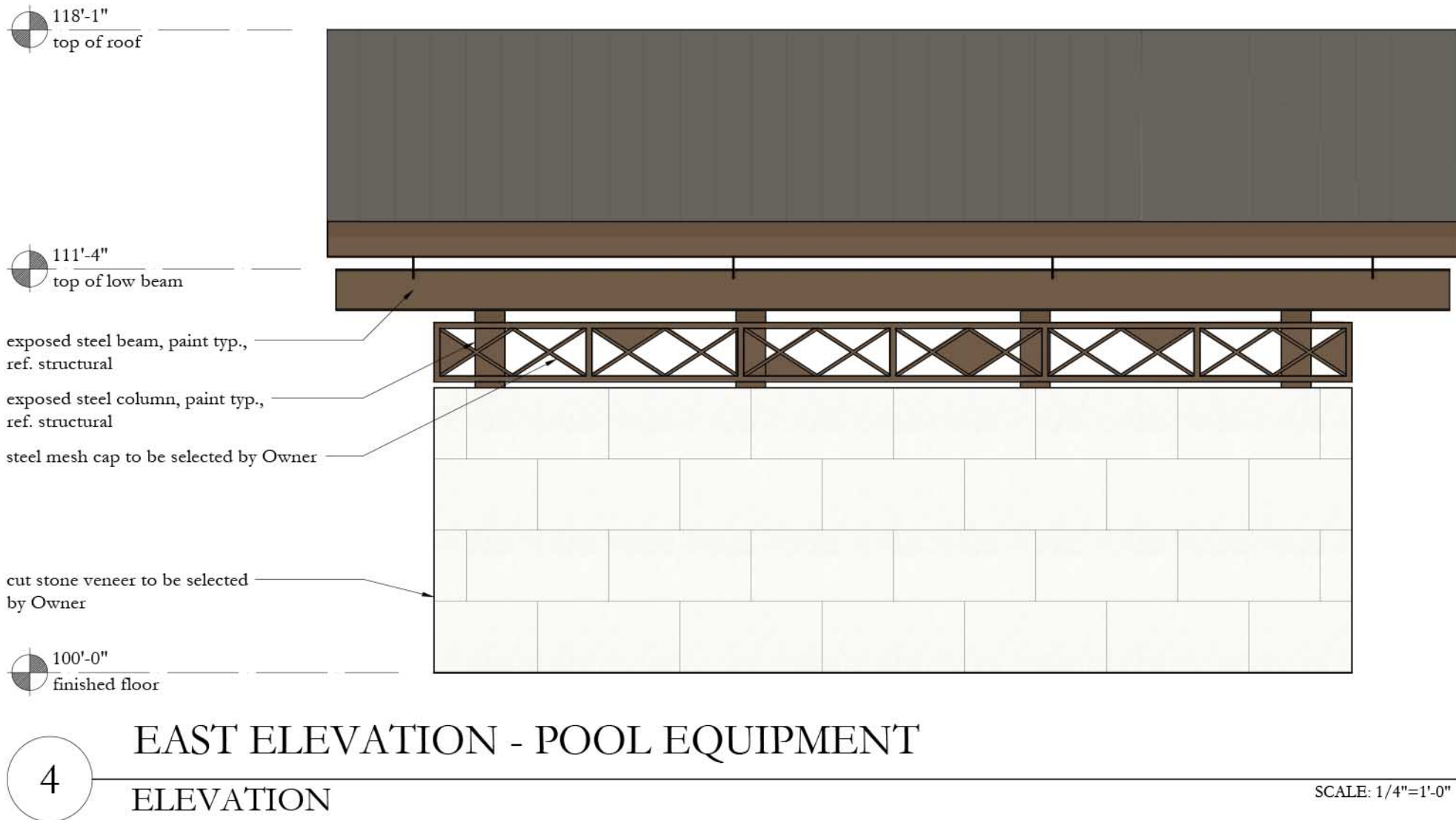
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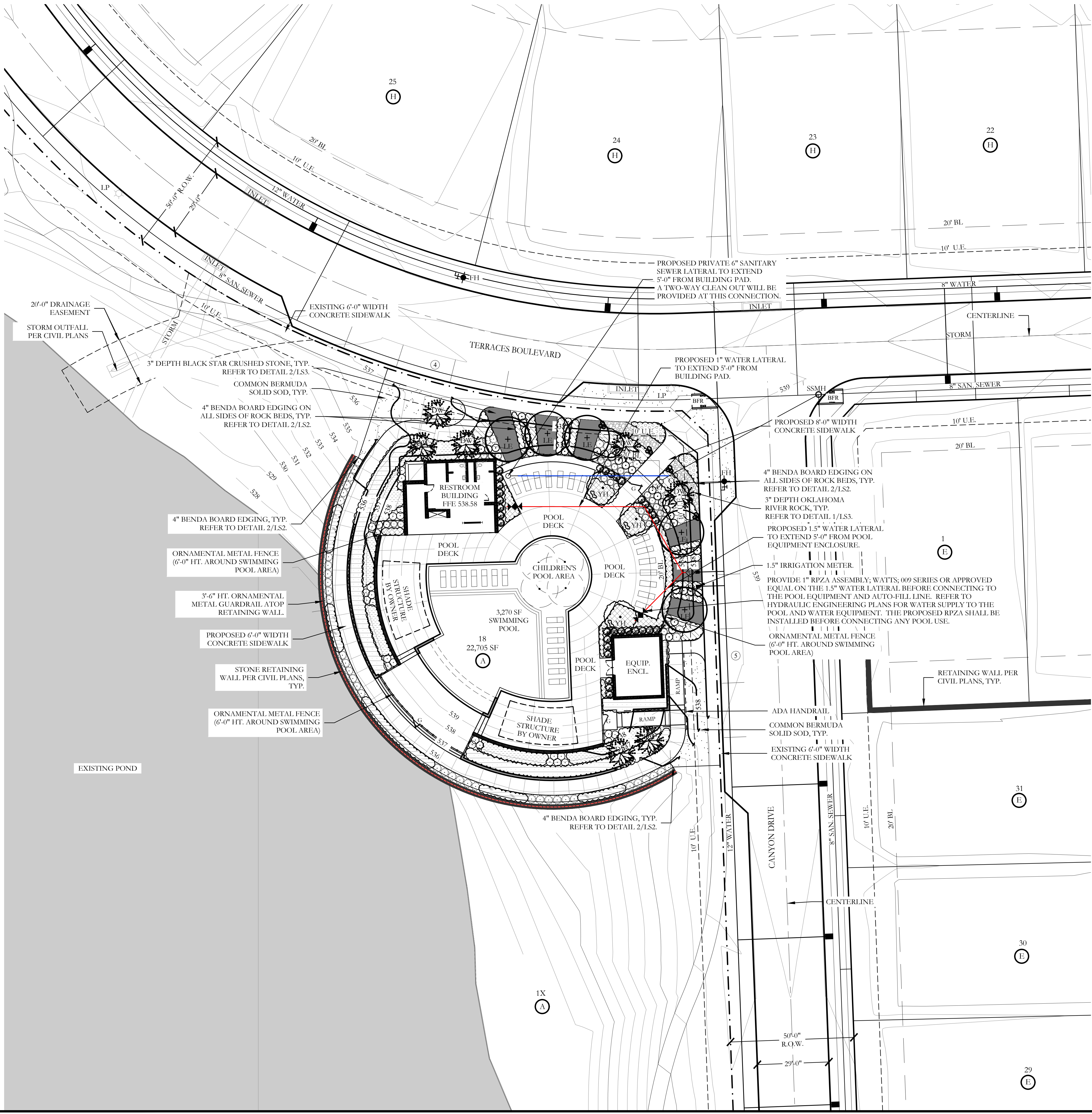
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	164 S.F.	-	164 S.F.	-	206 S.F.	-	206 S.F.	-
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	-	-	91 S.F.	56.87%
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	46 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 (1,652/22,705)
LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

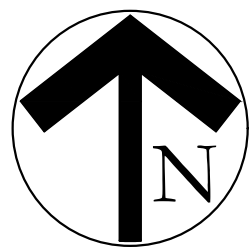
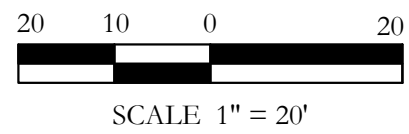
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:
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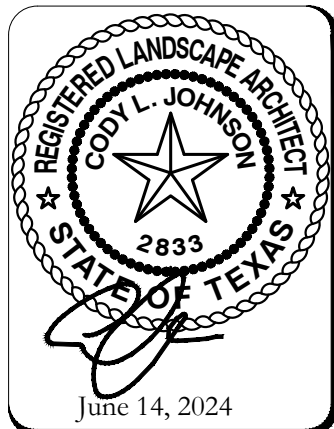
WITNESS OUR HANDS, this ____ day of ____, ____.

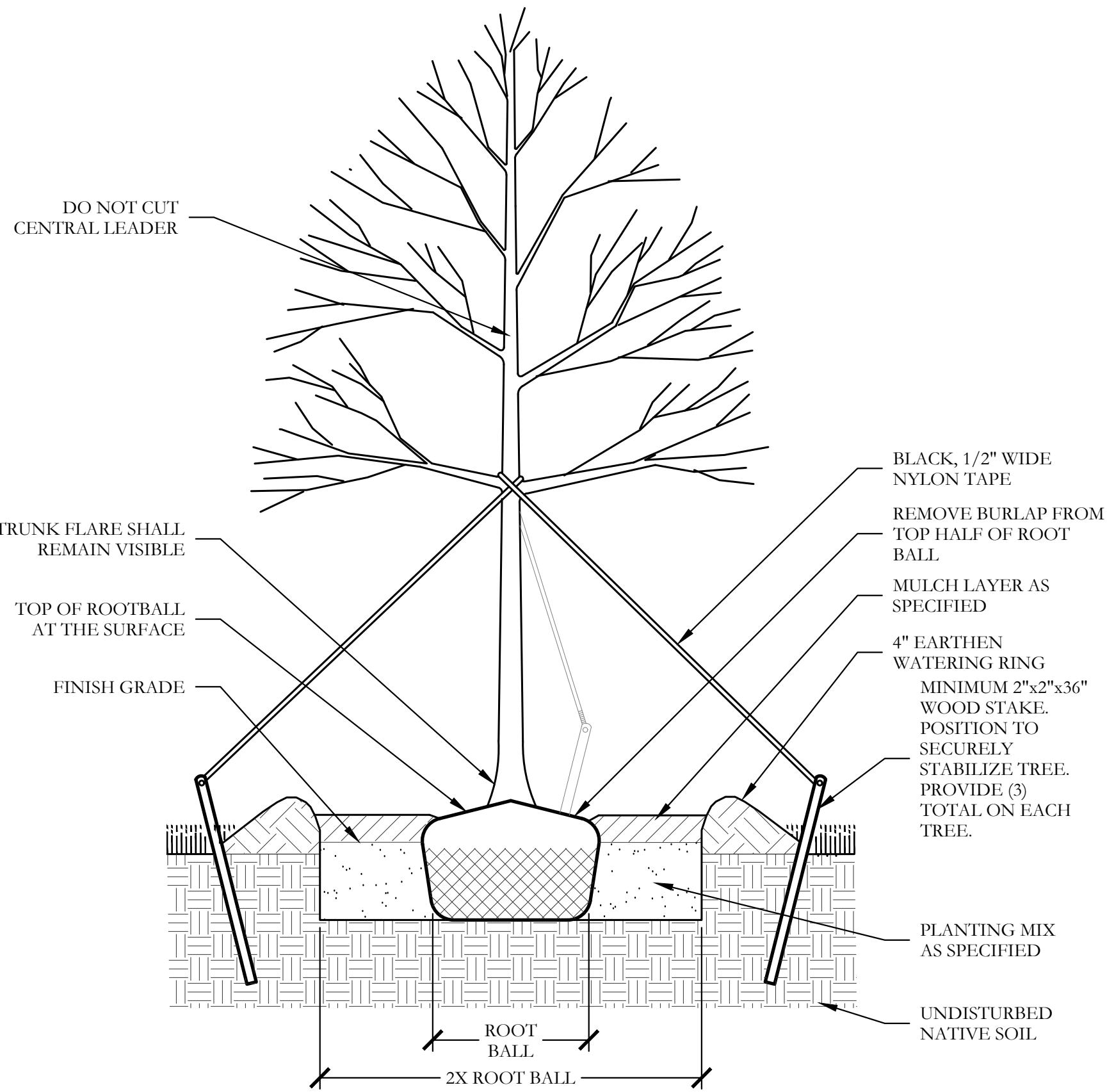
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

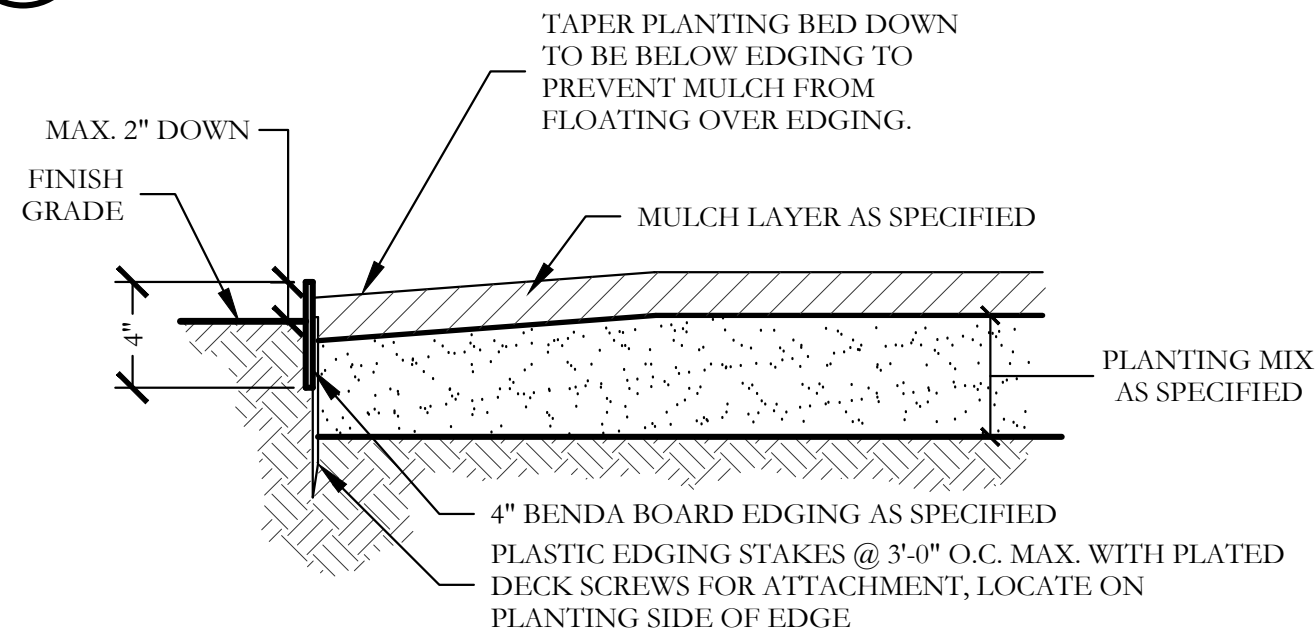


SCALE:
1" = 20'
One Inch
JVC No JVC022

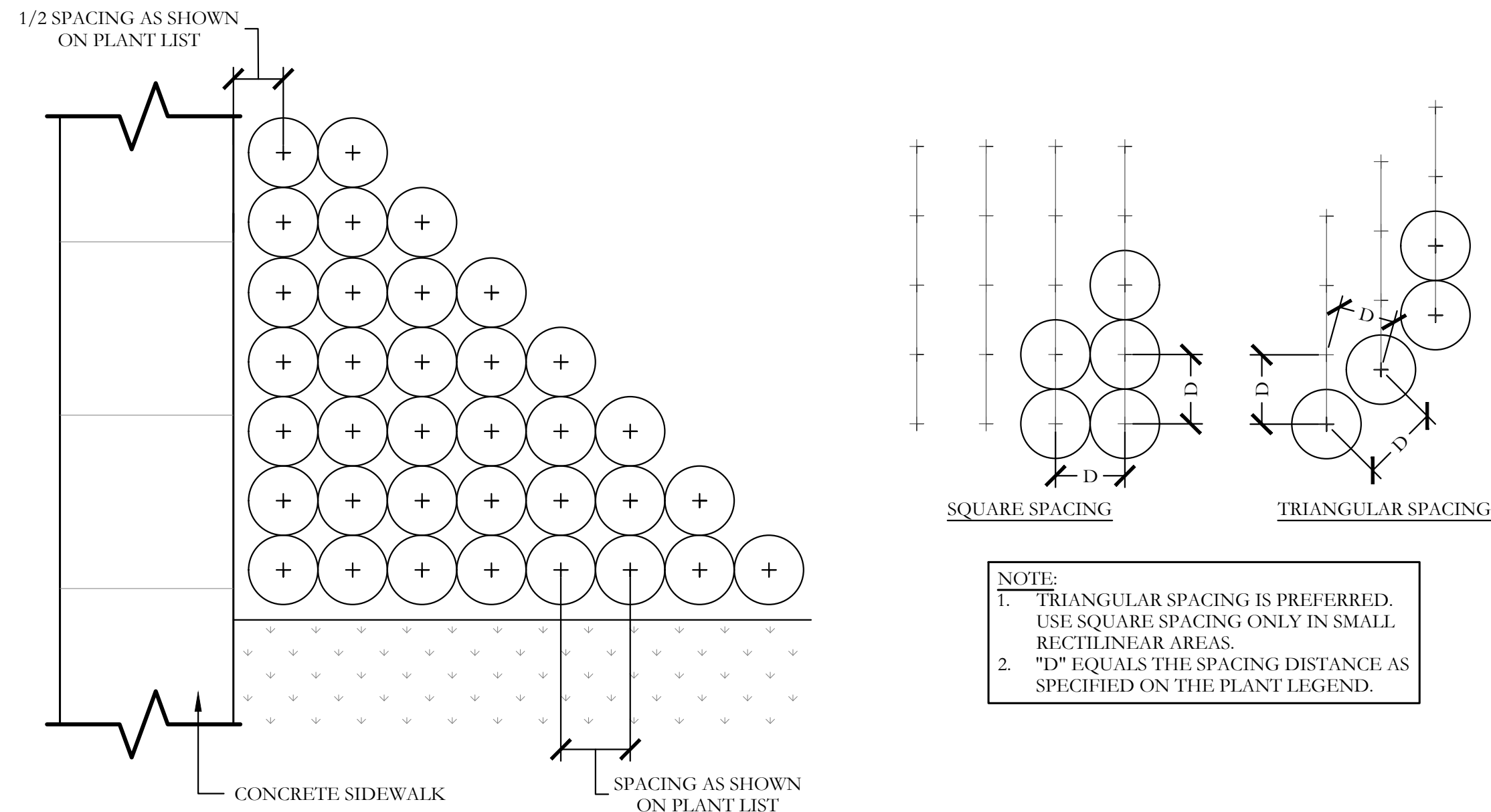




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	32	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	DWARF WAX MYRTLE	MYRTICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	410	MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1" - 1 1/2" DIAMETER IN SIZE.
	210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1" - 2" AND 2" - 4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

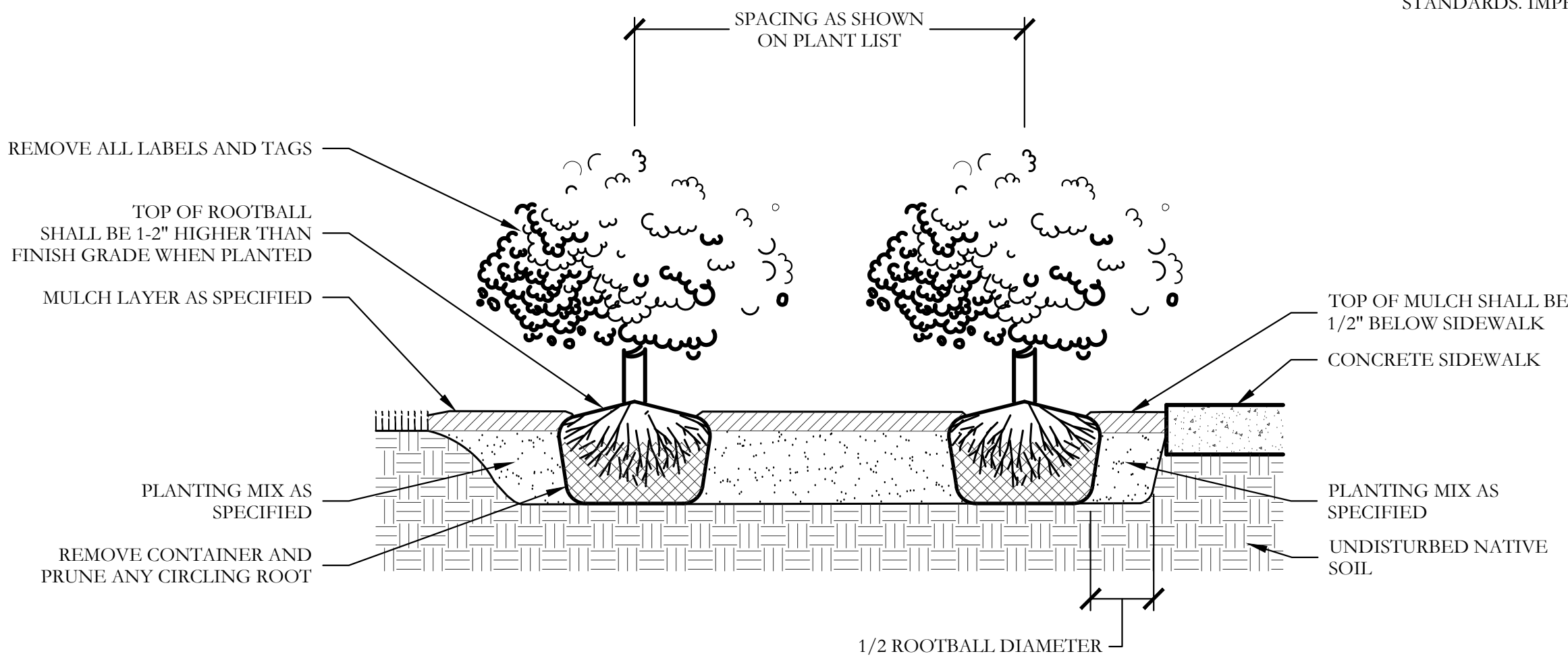
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON ROW, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDIED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

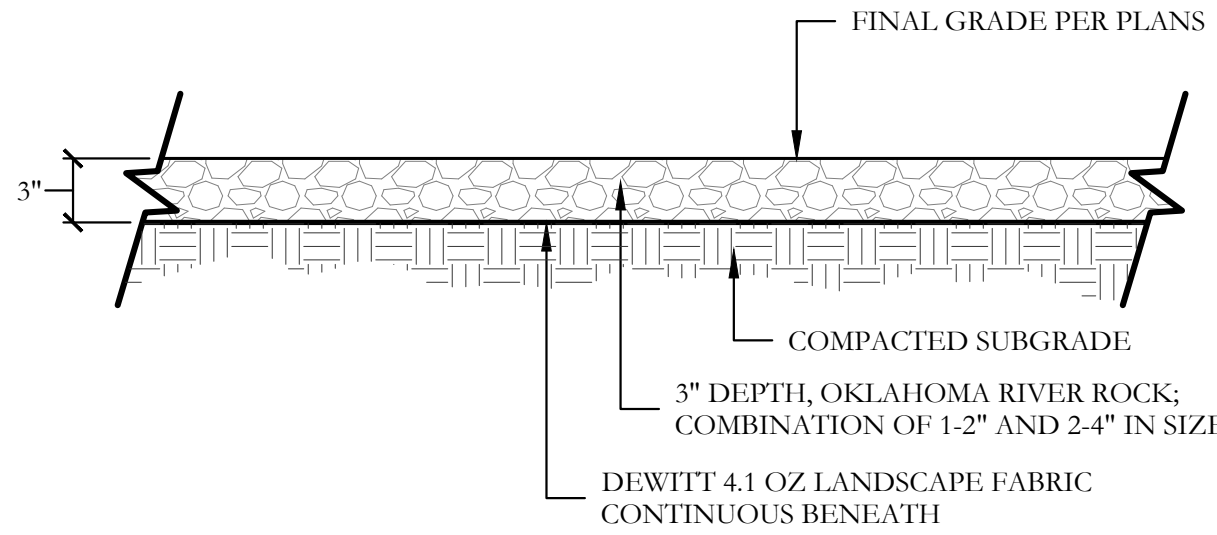
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

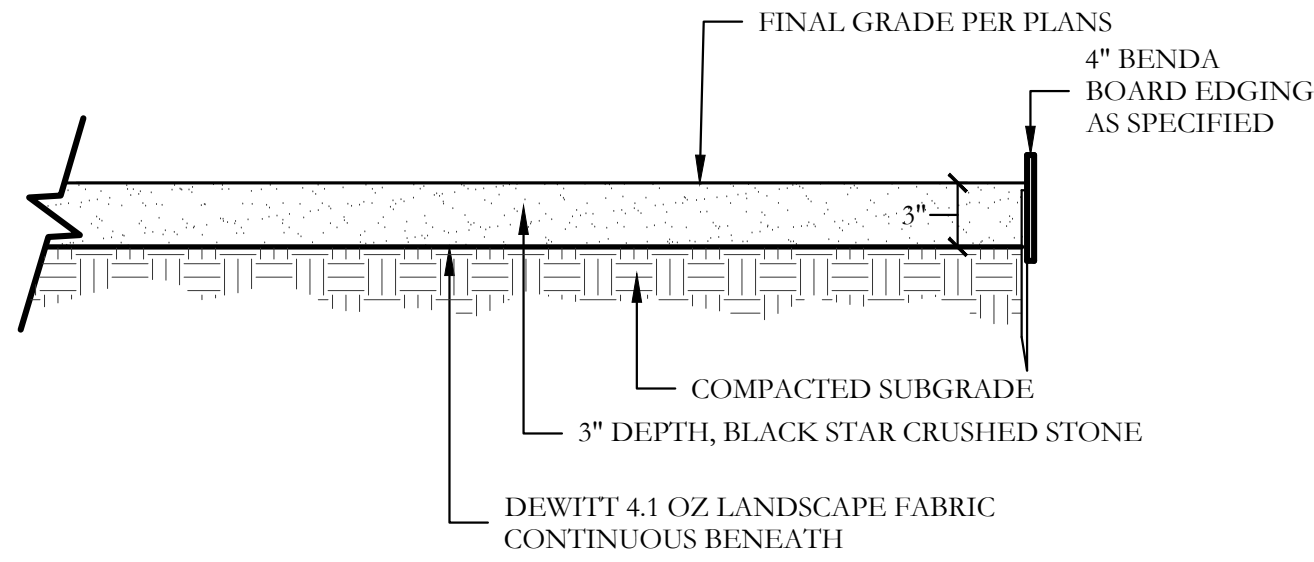
WTNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

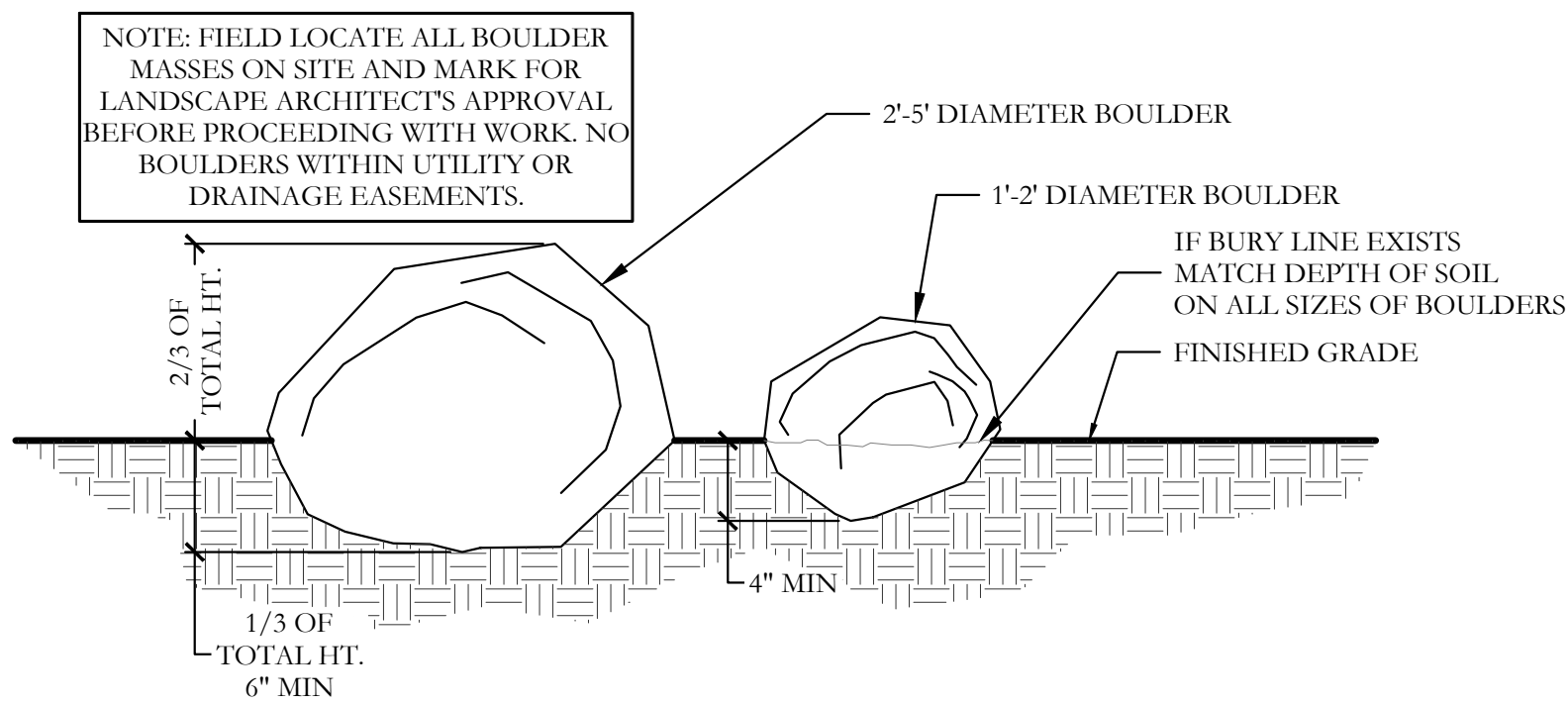
Director of Planning and Zoning



1 OKLAHOMA RIVER ROCK BED
SECTION
SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL
SECTION
SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL
SECTION
NOT TO SCALE

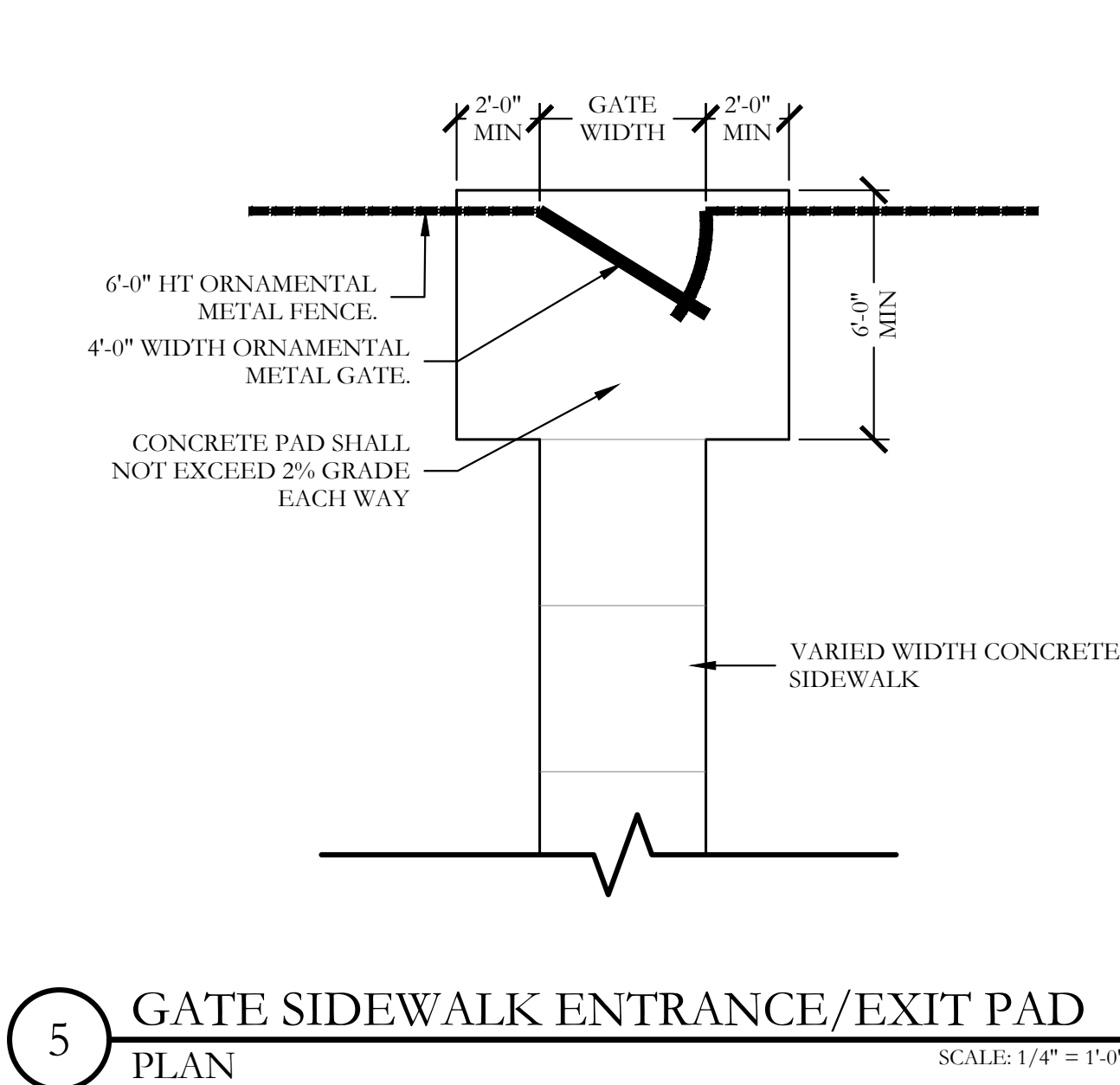
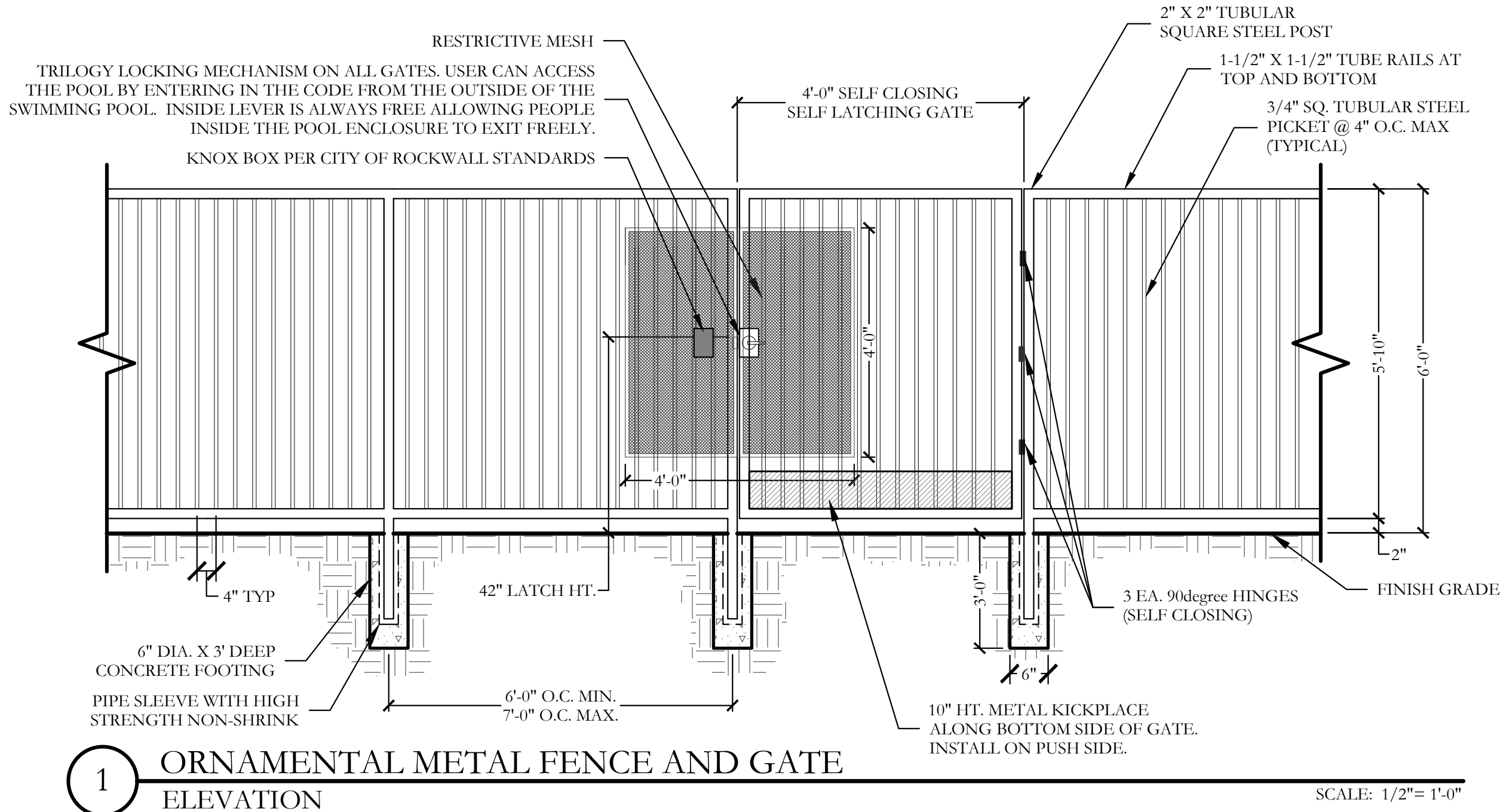
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY OF
ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR
CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR
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APPROVED:
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Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



5 GATE SIDEWALK ENTRANCE/EXIT PAD PLAN SCALE: 1/4\"= 1'-0"

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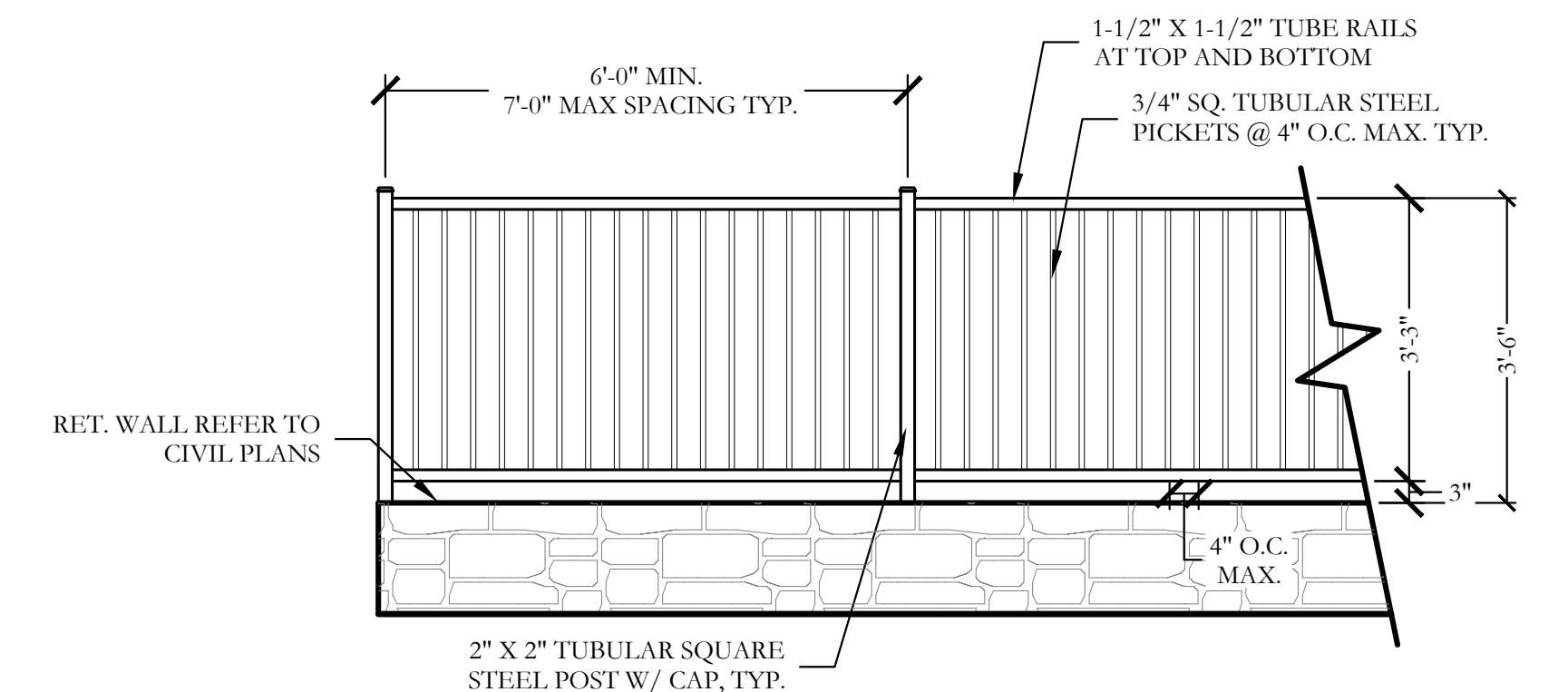
WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

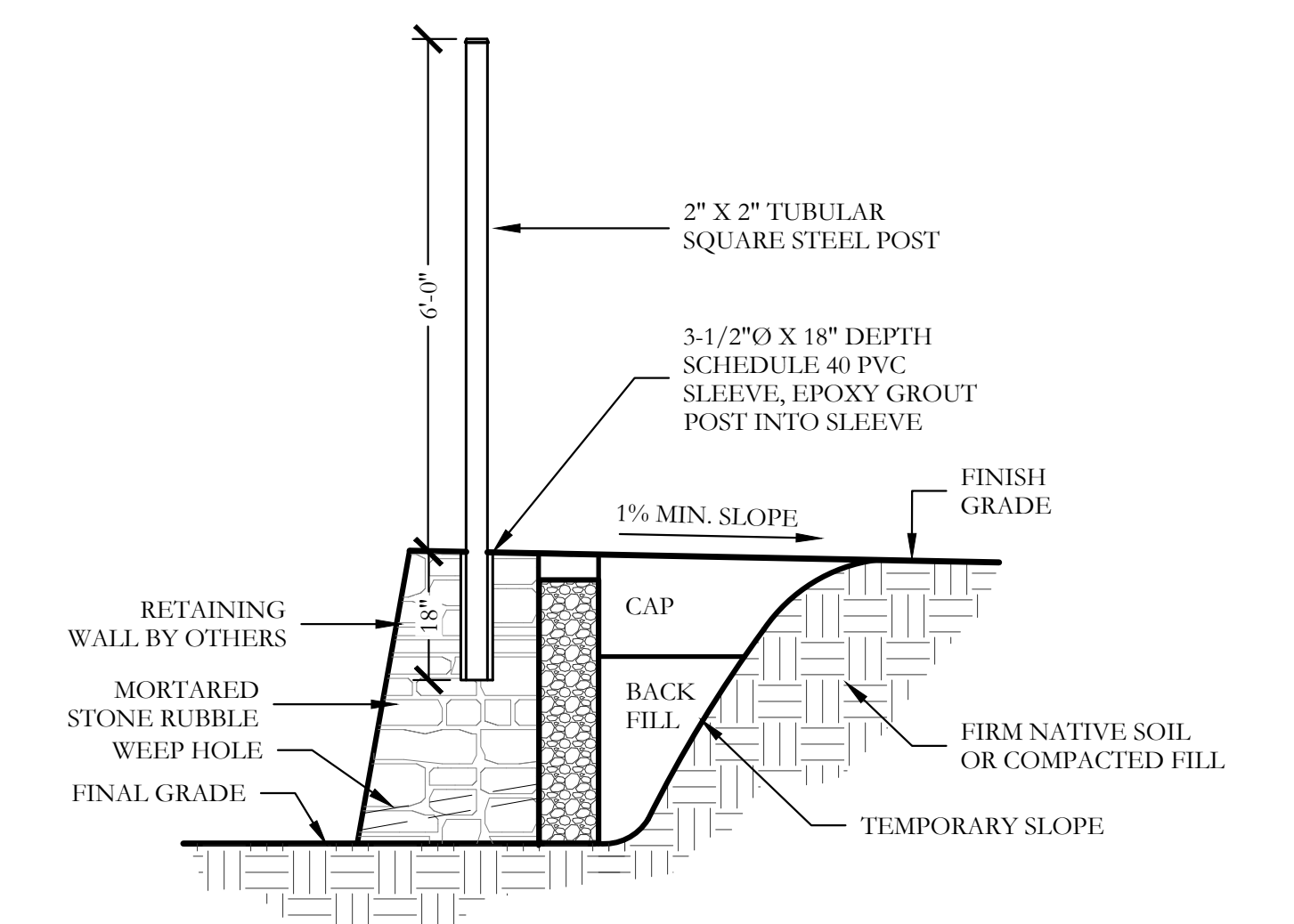
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

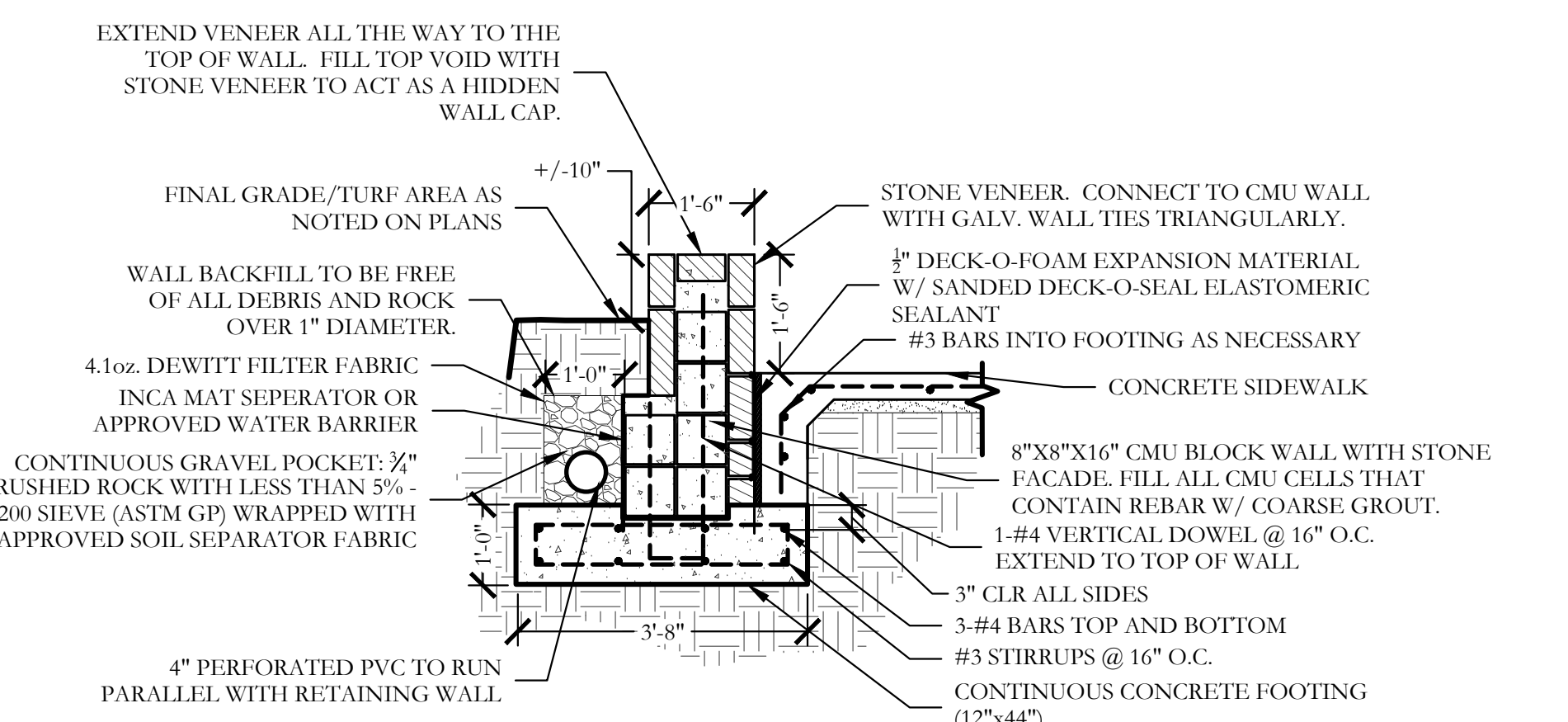


6 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL ELEVATION SCALE: 1/2\"=1'-0"

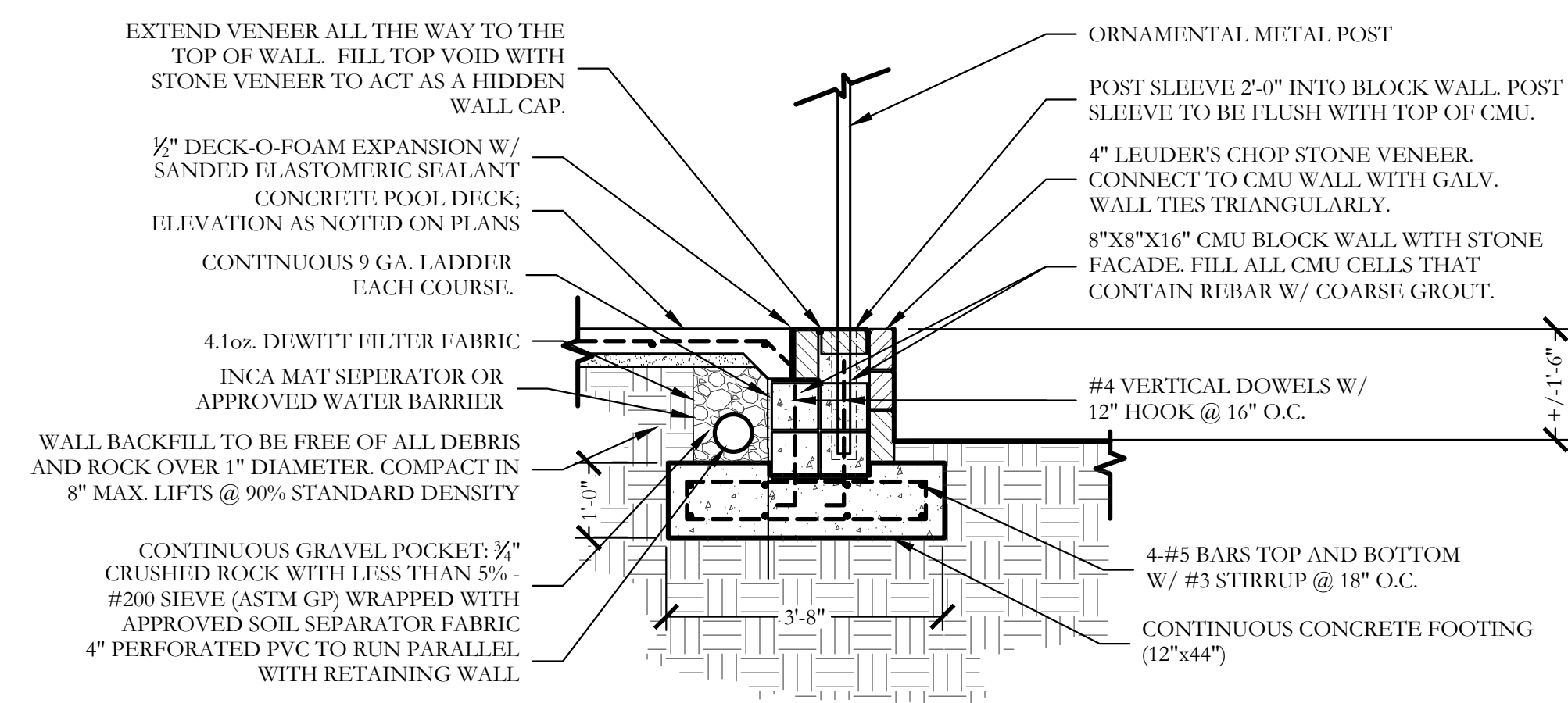


2 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

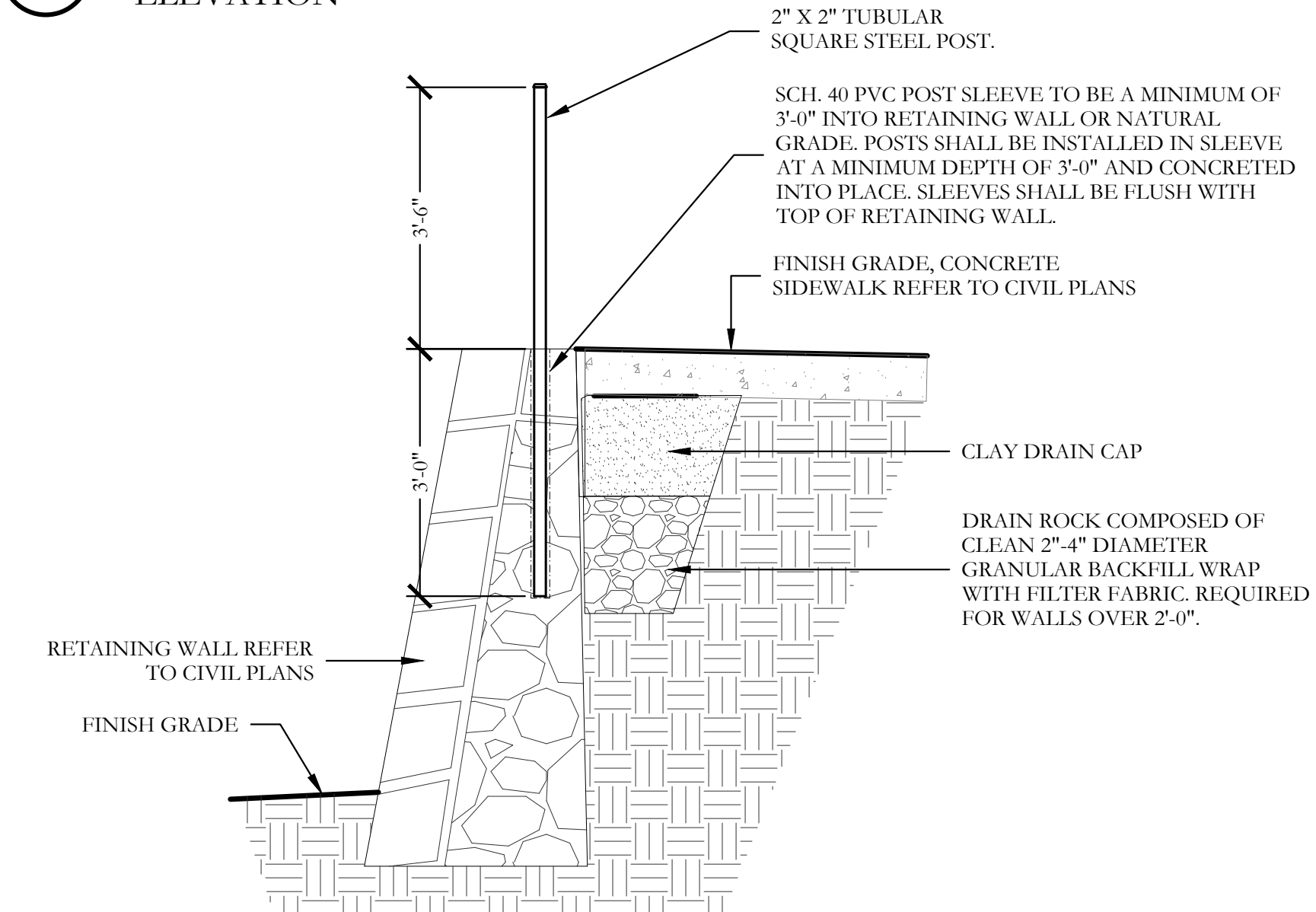
- ### ORNAMENTAL METAL FENCE NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
 - ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
 - ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
 - PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
 - ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
 - ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
 - FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
 - CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
 - GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
 - POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
 - POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
 - LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
 - RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



3 VARYING HT. STONE RETAINING/SEAT WALL SECTION SCALE: 1/2\"=1'-0"



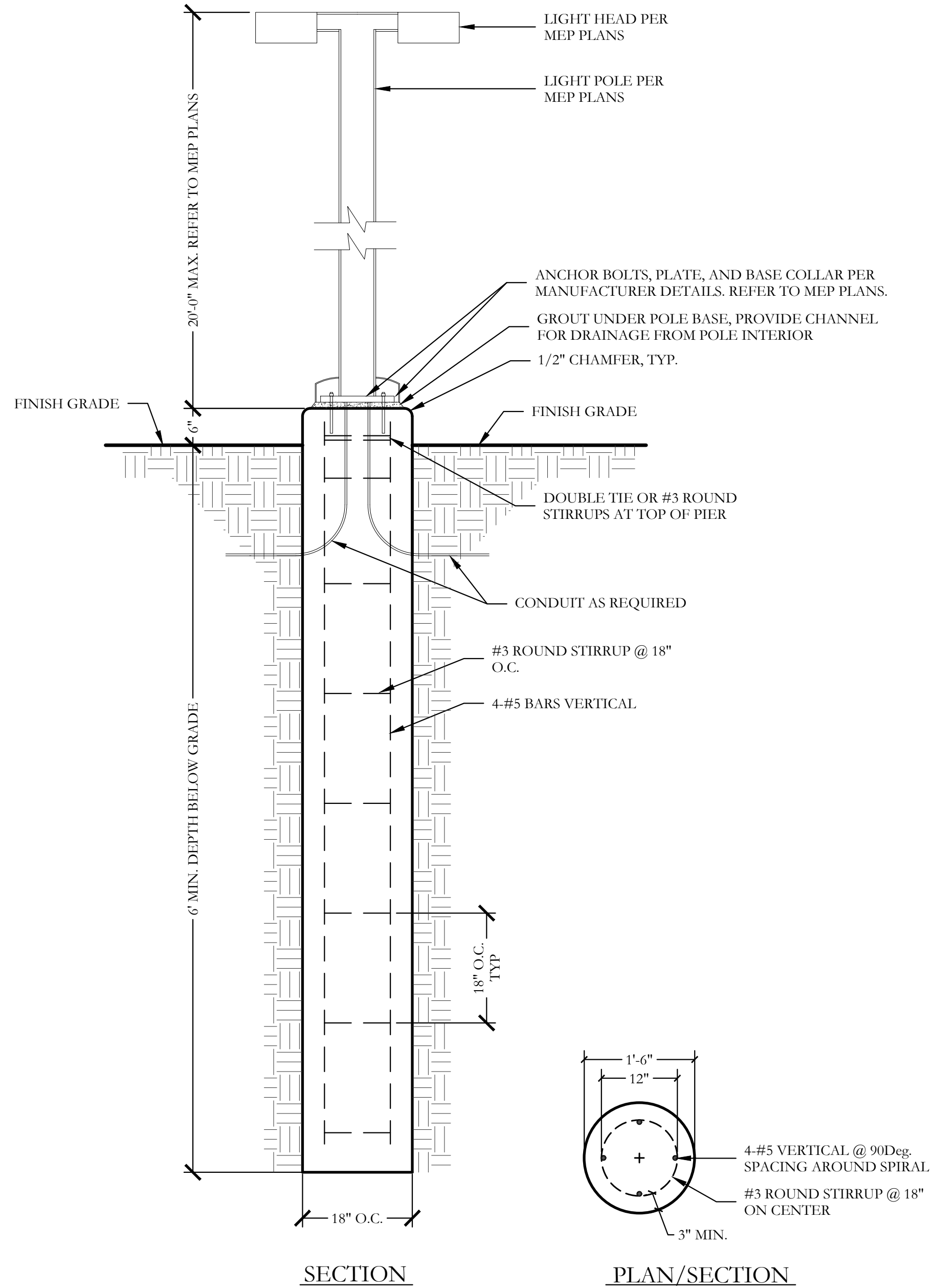
4 RETAINING WALL W/ POOL DECK SECTION SCALE: 1/2\"=1'-0"



7 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

- ### RET. WALL NOTES
- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER.
 - VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'.
 - BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF ORGANIC DEBRIS.
 - DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.
 - MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF FY=60KSI PER ASTM A615.
 - BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR PROPER MAINTENANCE OF ALL STRUCTURES.

\\ncfpl\pvc\landscapes\gis-s\draws\projects\jvc022\dwg\jvc022-sp.dwg



1 LIGHT POLE WITHIN POOL AREA
PLAN/SECTION

SCALE: 3/4" = 1'-0"

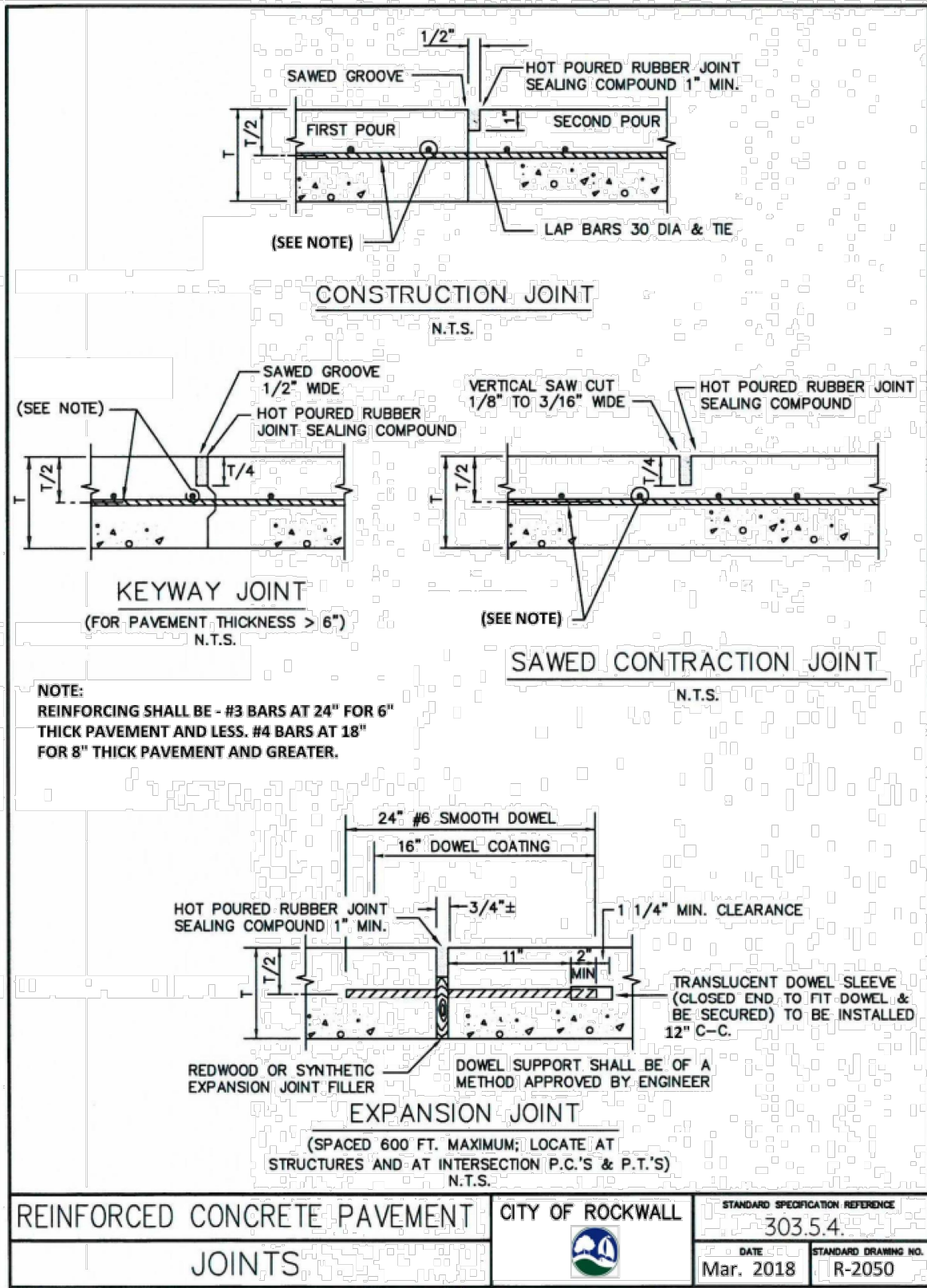
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Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____.

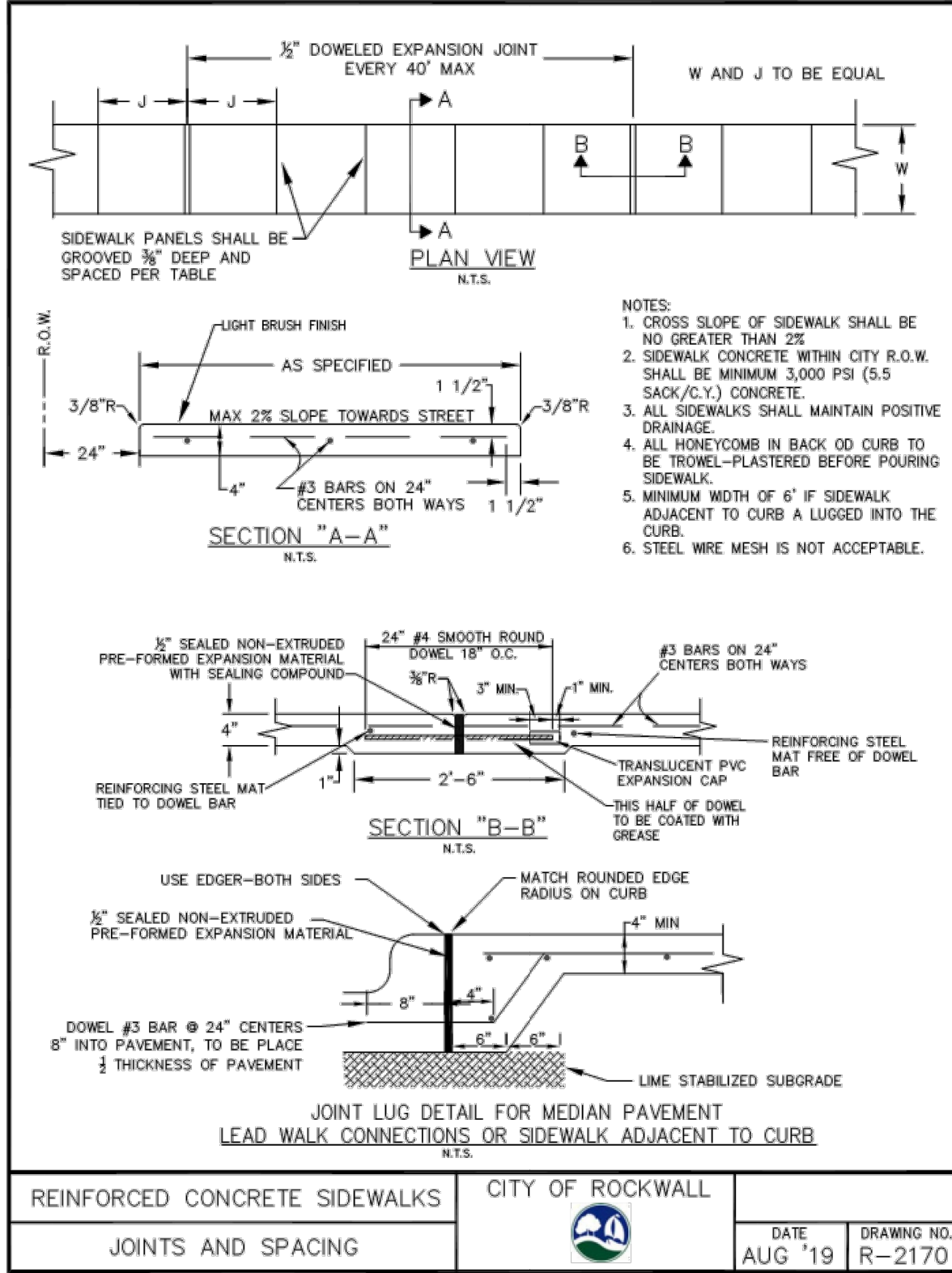
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

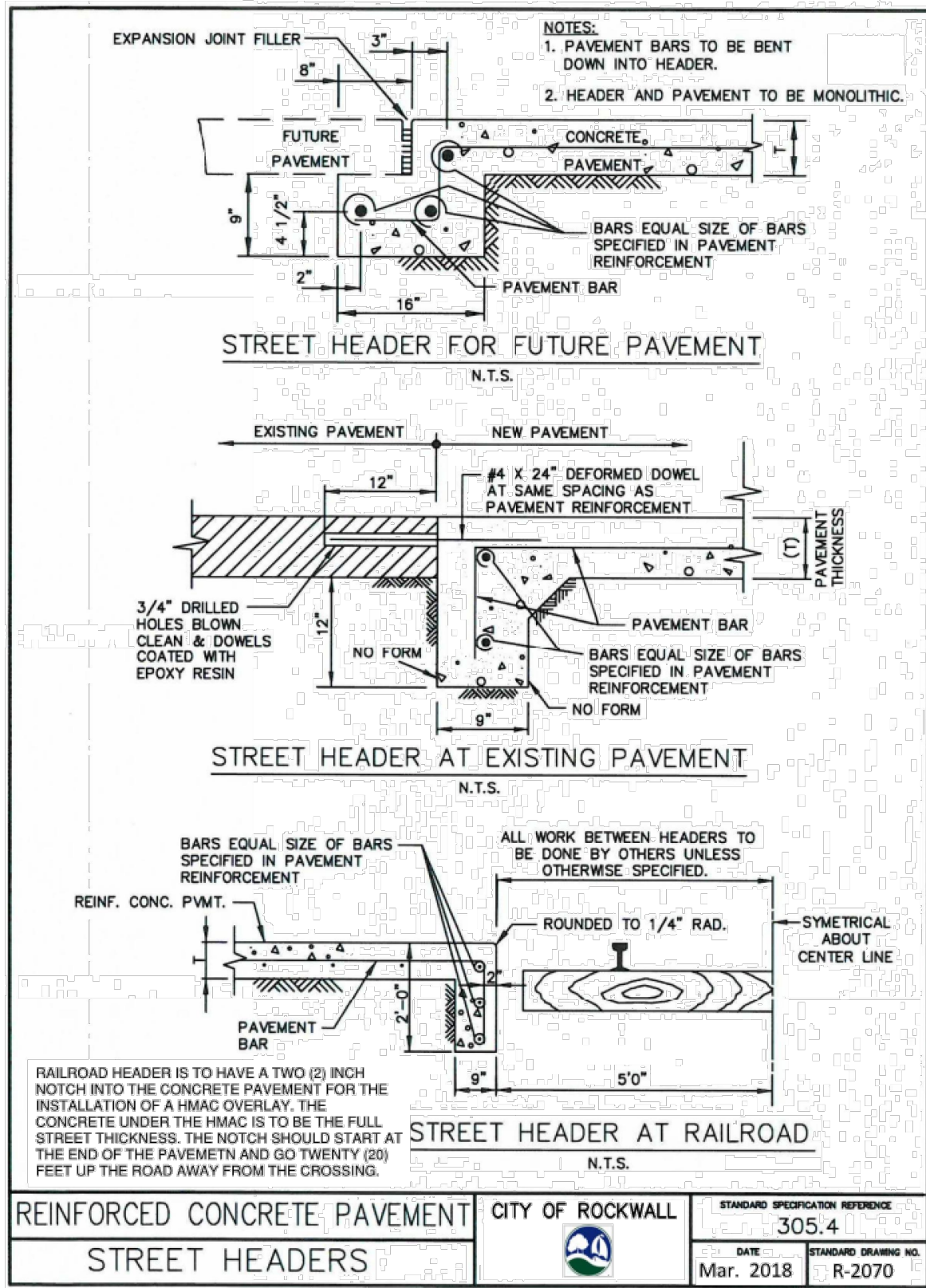
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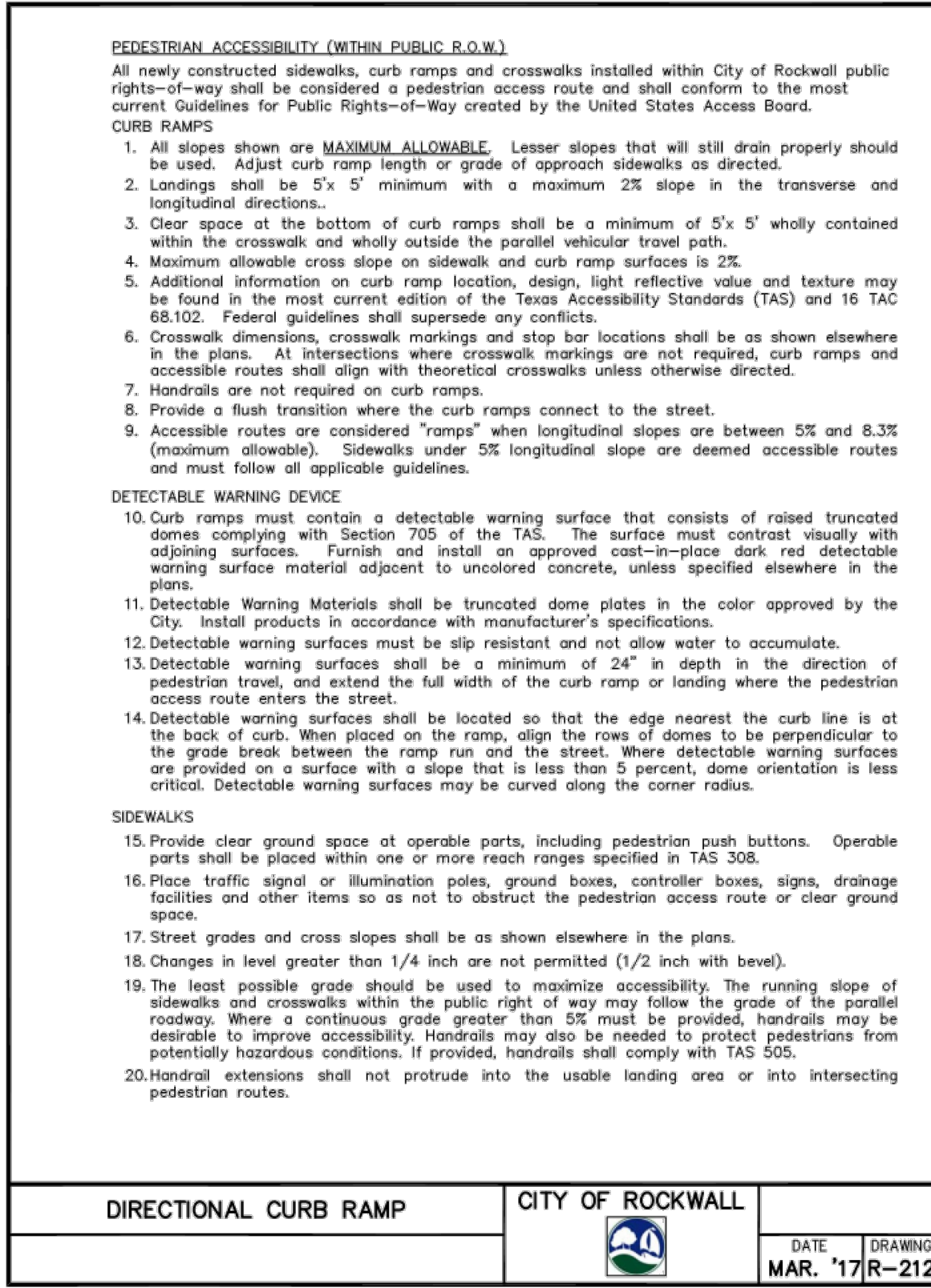
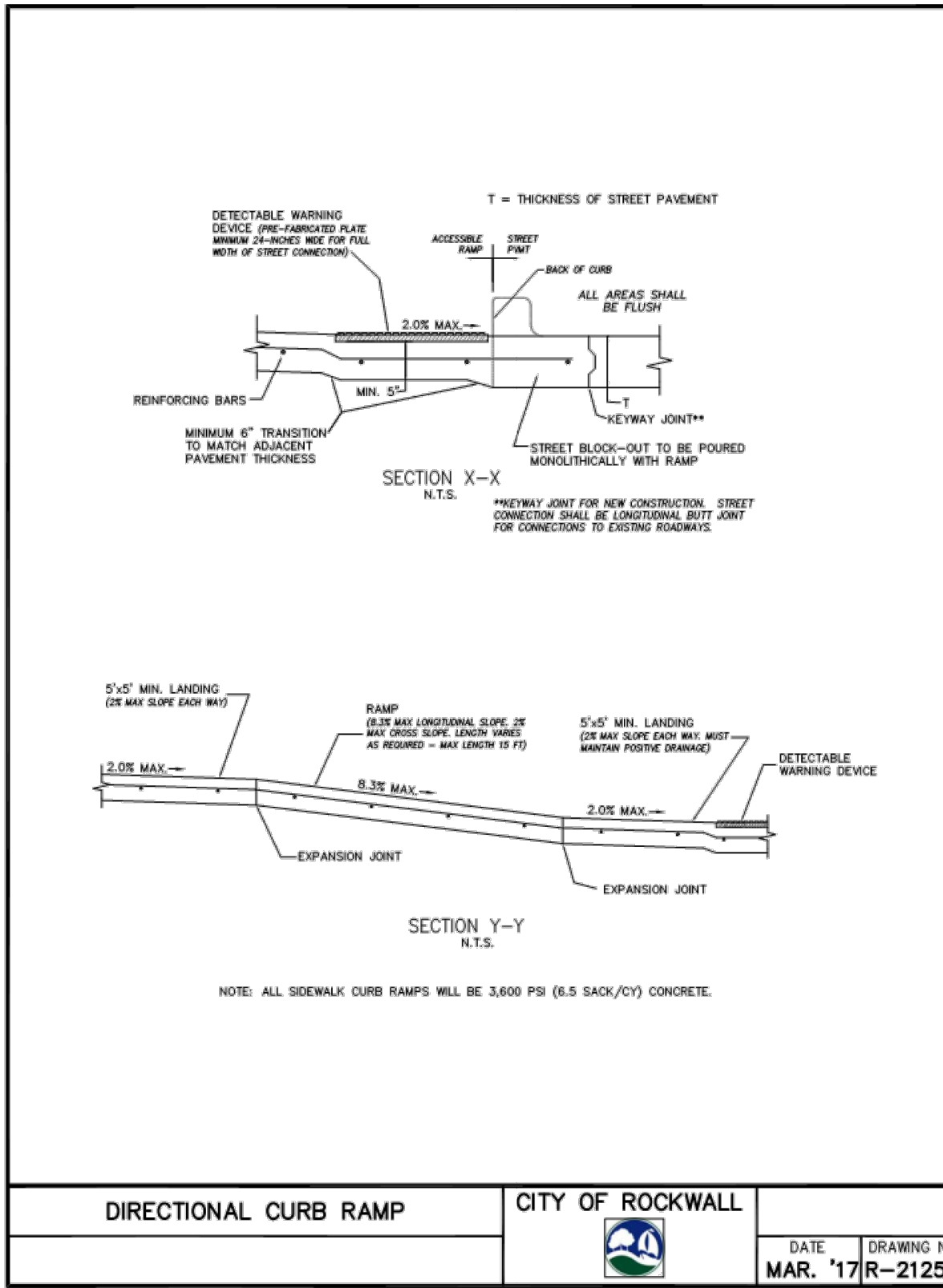
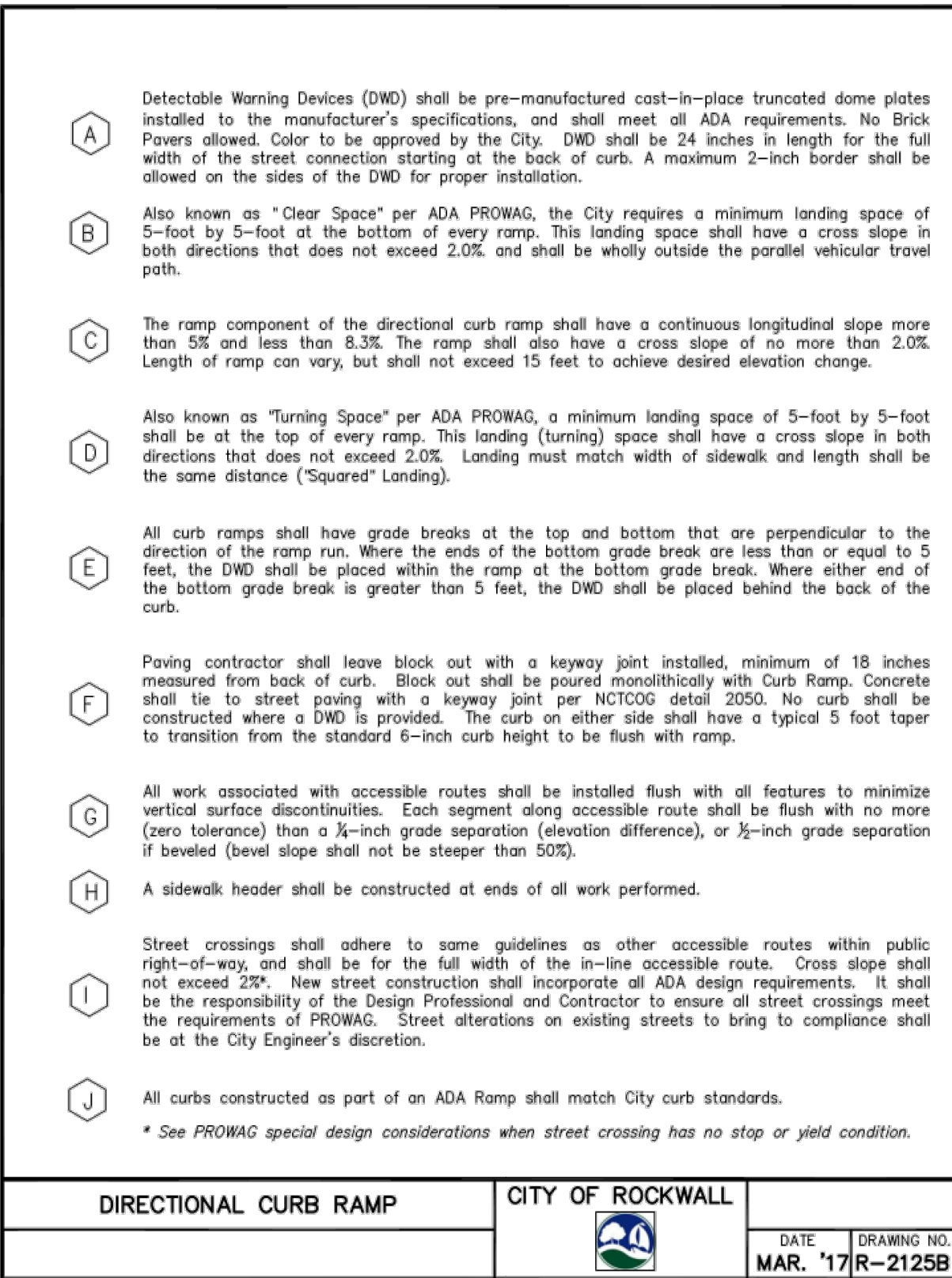
Page 266



Page 277



Page 268



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



JOHNSON VOLK CONSULTING

704 Central Parkway East | Suite 1200 | Plano, Texas 75074 | 972.201.3100

Planning and Zoning Department
City of Rockwall – Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

June 14, 2024

Tree Survey Affidavit

Terraces, Amenity Center
City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

Sincerely,

Cody Johnson, RLA, ASLA, LI
Johnson Volk Consulting
704 Central Parkway East
Suite 1200
Plano, Texas 75074



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Amenity Center within Terraces

SUBDIVISION: Terraces

LOT: 18

BLOCK: A

GENERAL LOCATION: at the corner of Terraces Boulevard and Canyon Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Single Family Residential

CURRENT USE: Private Recreational Center

PROPOSED ZONING: Single Family Residential

PROPOSED USE: Private Recreational Center

ACREAGE: .52

LOTS [CURRENT]: 1

LOTS [PROPOSED]: 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER: TM Terraces, LLC

☒ APPLICANT: Johnson Volk Consulting

CONTACT PERSON: _____

CONTACT PERSON: Cody Johnson

ADDRESS: 4416 W. Lovers Lane Suite 200

ADDRESS: 704 Central Parkway East

CITY, STATE & ZIP: Dallas, TX 75209

CITY, STATE & ZIP: Plano, TX 75074

PHONE: (214)577-1431

PHONE: (972) 201-3100

E-MAIL: _____

E-MAIL: cody.johnson@johnsonvolk.com

NOTARY VERIFICATION [REQUIRED]

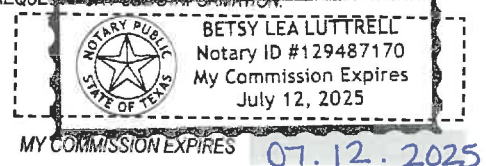
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bobby Harrell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 276.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 10 DAY OF June 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF June 20 24

OWNER'S SIGNATURE: Bobby Harrell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Betsy Lea Luttrell





SP2024-033: PD Site Plan for Terraces Amenity Center

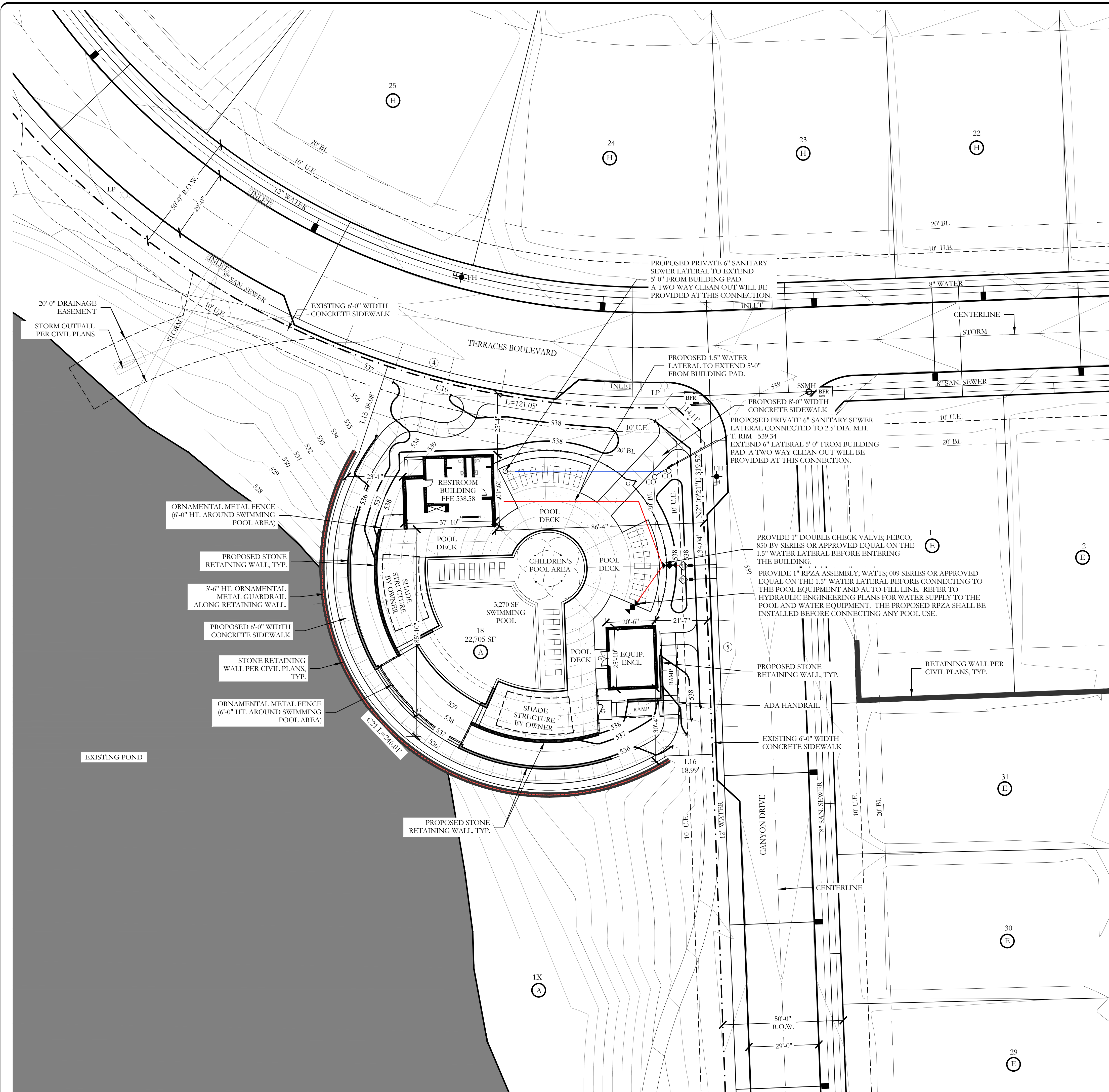


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND			
	EXISTING PARKING COUNT		EXISTING 1.5" DOMESTIC WATER METER
	BARRIER FREE RAMP		EXISTING 1.5" IRRIGATION WATER METER
	EXISTING FIRE HYDRANT		ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
	EXISTING SANITARY SEWER MANHOLE		1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
	EXISTING WATER MAIN W/ VALVE		PROPOSED STONE RETAINING WALL
	EXISTING SANITARY SEWER		RETAINING WALL PER CIVIL PLANS TYP.
	EXISTING STORM		ADA HANDRAIL
	EXISTING CURB INLET		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
	RIGHT-OF-WAY		
	LIGHT POLE		
	EXISTING CONTOUR INTERVAL		
	PROPOSED CONTOUR INTERVAL		
	FINISHED FLOOR ELEVATION		

APPROVED:
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WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
	1.5"	1.5"	X		6"
	1.5"	1.5"		X	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 [1,652/22,705]
LOT COVERAGE: 7.27%

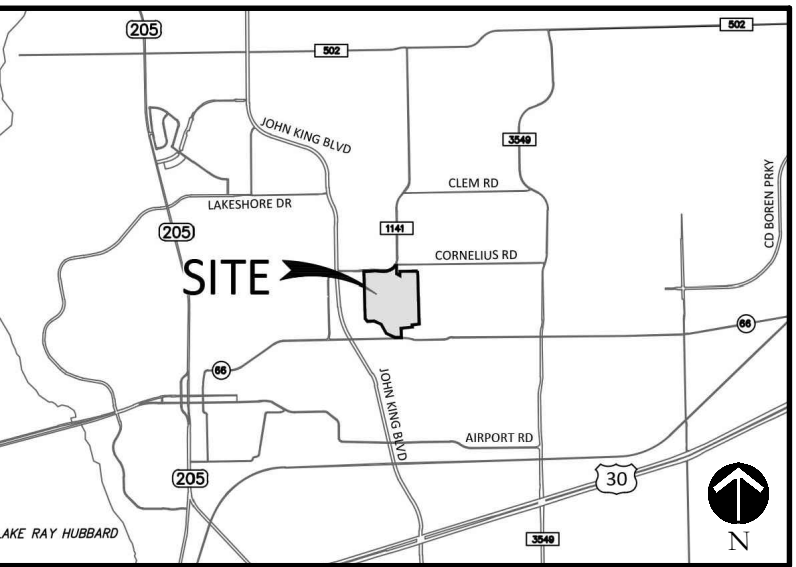
TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

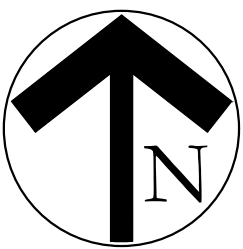
SITE PLAN NOTES:

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.



LOCATION MAP
NOT TO SCALE



20 10 0 20
SCALE 1" = 20'

SITE PLAN
TERRACES
LOT 18, BLOCK A
~AMENITY CENTER~

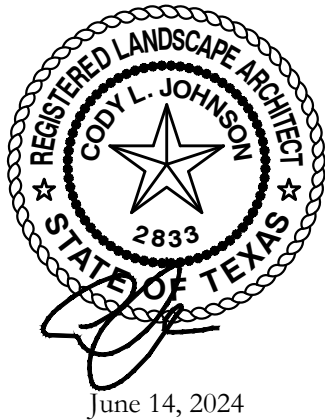
BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:

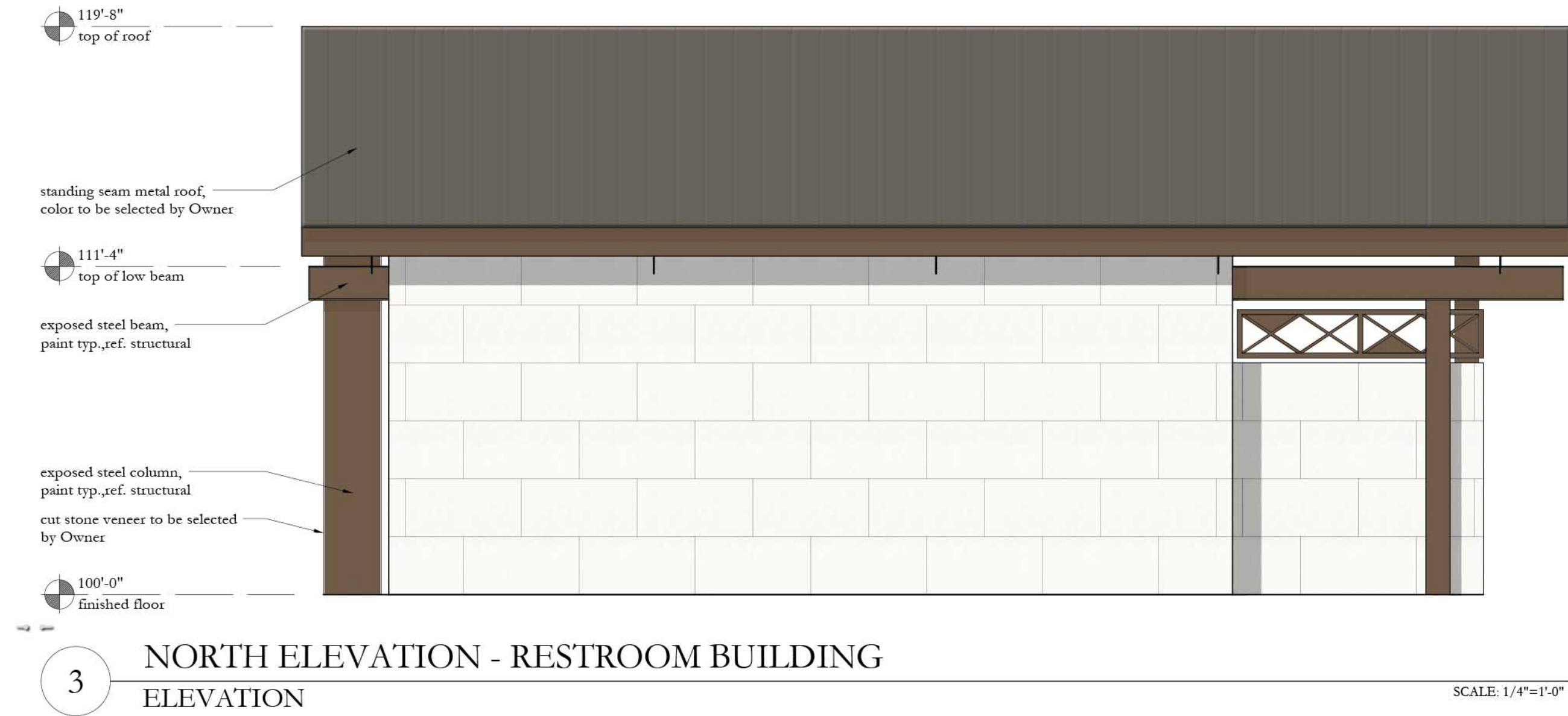
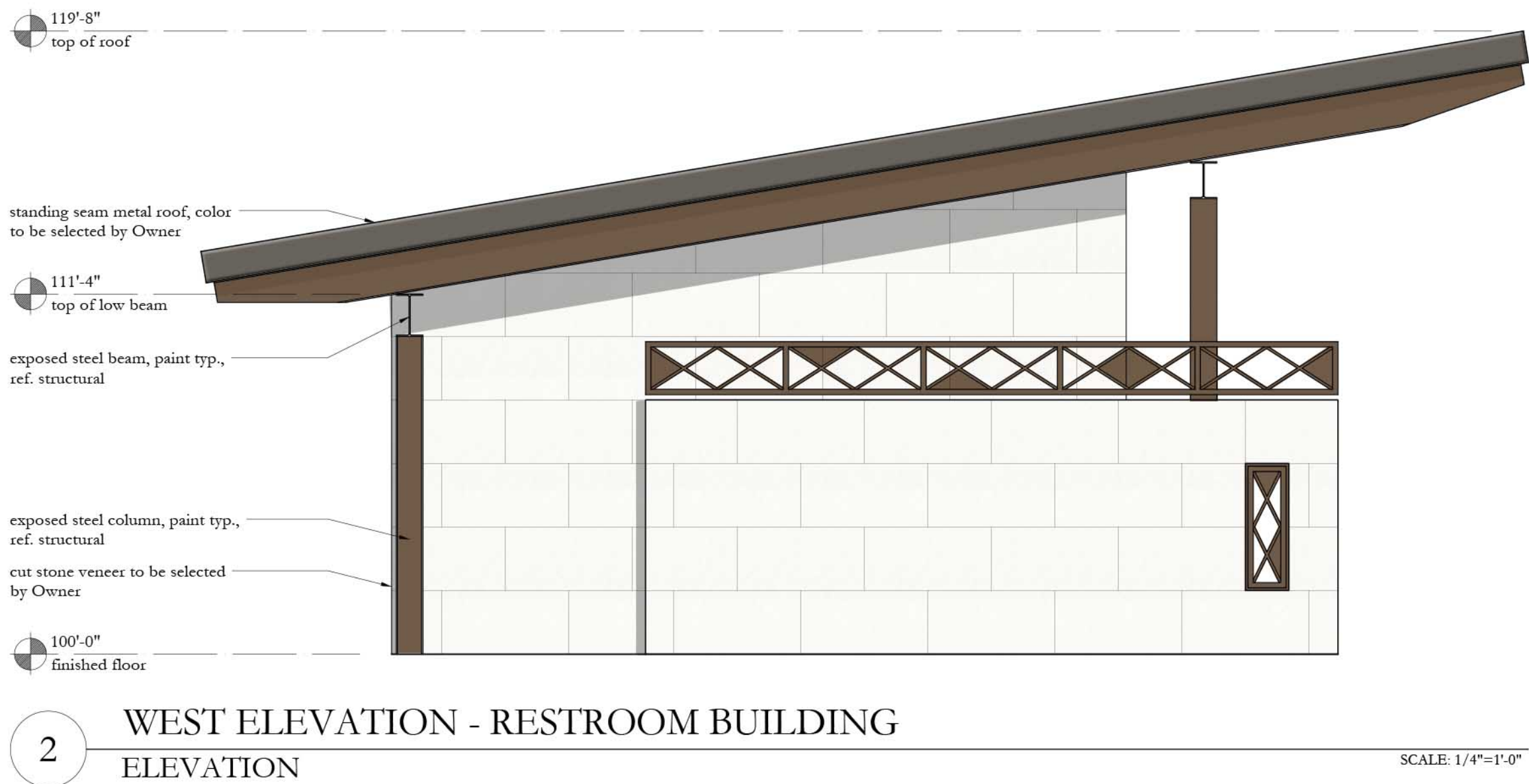
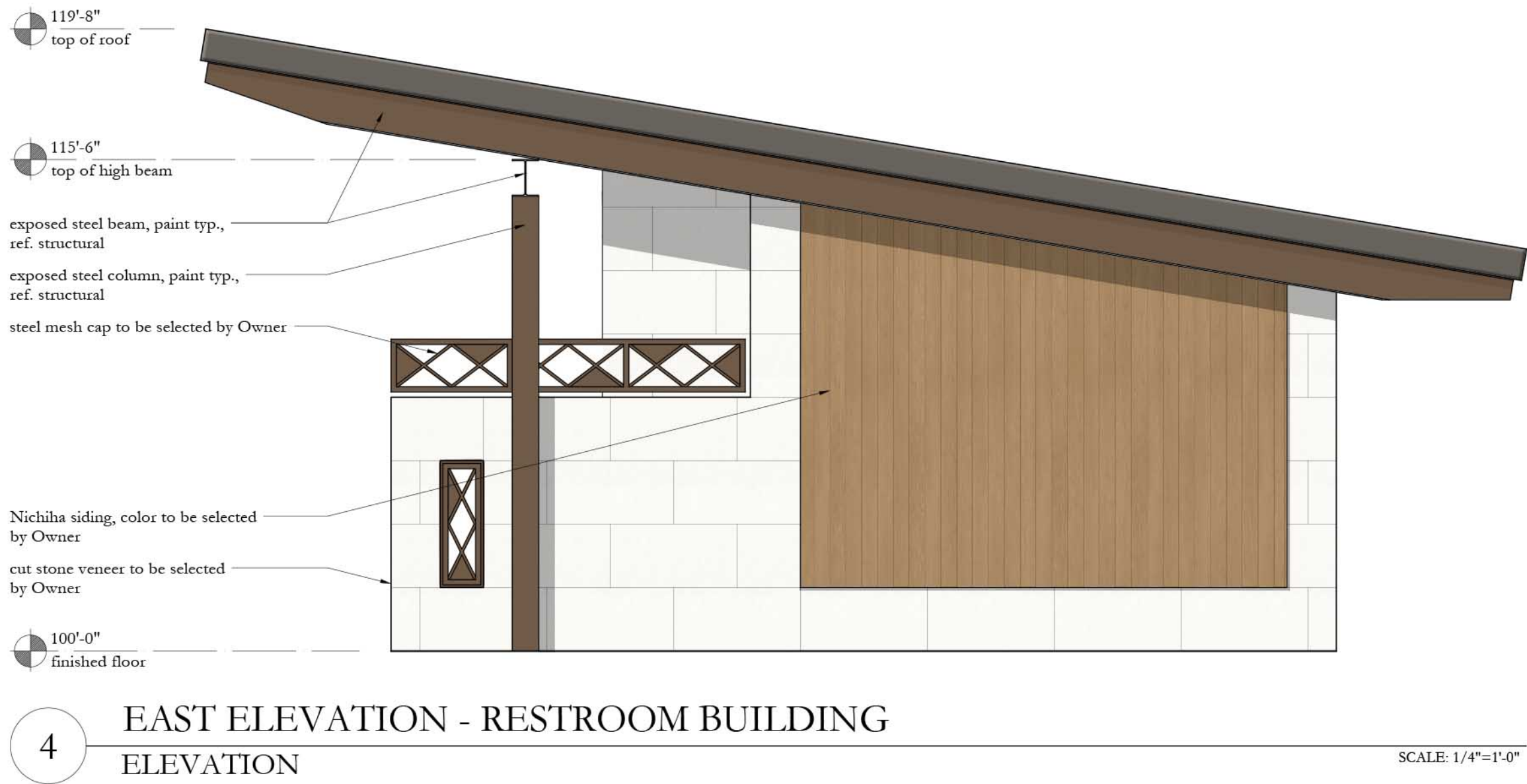
TM TERRACES, LLC
4416 W. LOVERS LANE SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431
CONTACT: BOBBY HARRELL
BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI
CODY.JOHNSON@JOHNSONVOLK.COM



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APPROVED:
I hereby certify that the above and foregoing site plan for a development
in the City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.	-	385 S.F.	-	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	187 S.F.	48.57%	-	-
SECONDARY MATERIALS	-	-	165 S.F.	30.84%	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	165 S.F.	30.84%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	-	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								

TERRACES
AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

AMENITY CENTER FACILITY
EXTERIOR ELEVATIONS - RESTROOM
BUILDING

SCALE:
REFER TO PLANS
One Inch
JVC No JVC022

A3.00 - SD

JOHNSON VOLK
CONSULTING
JBPELE Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.5100

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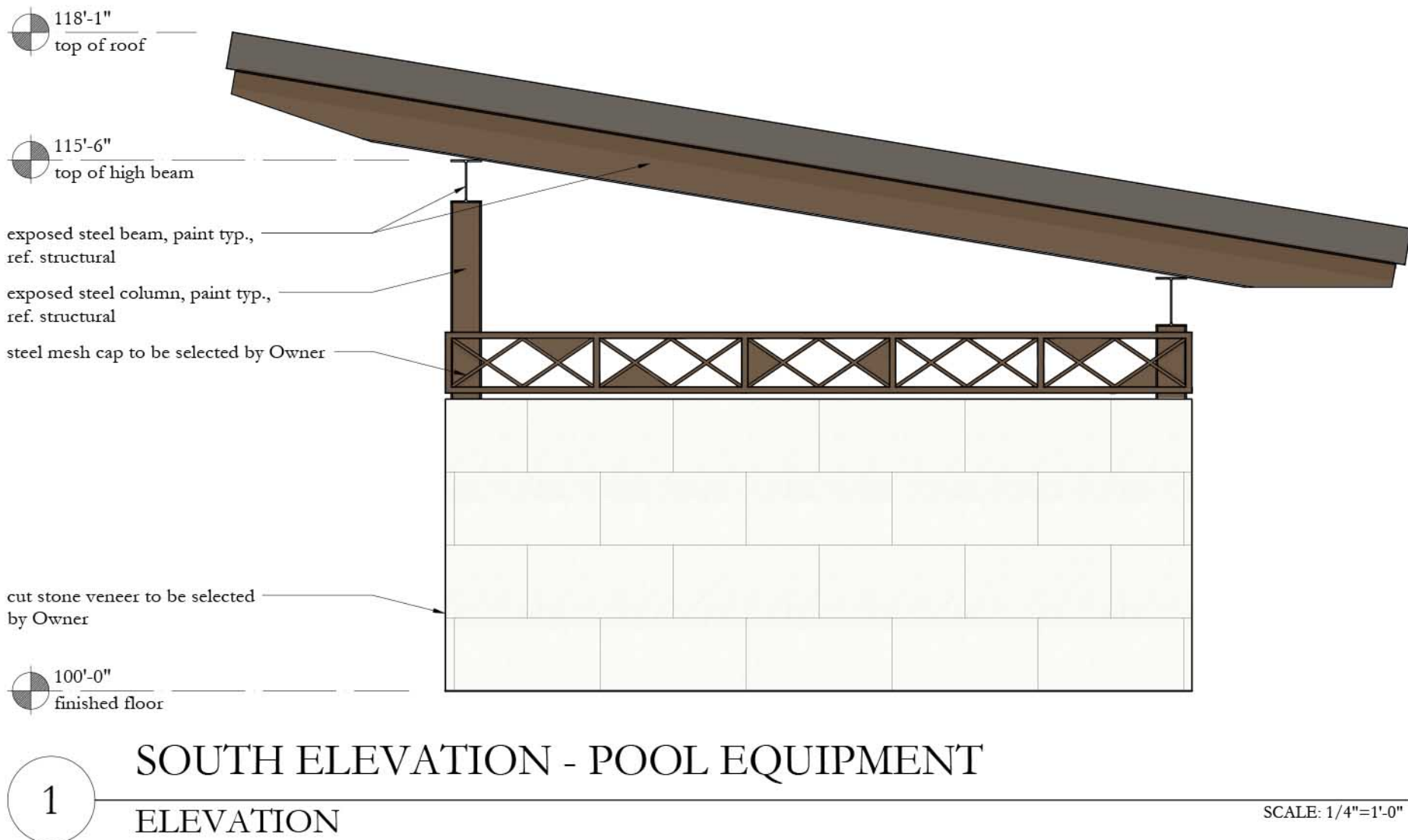
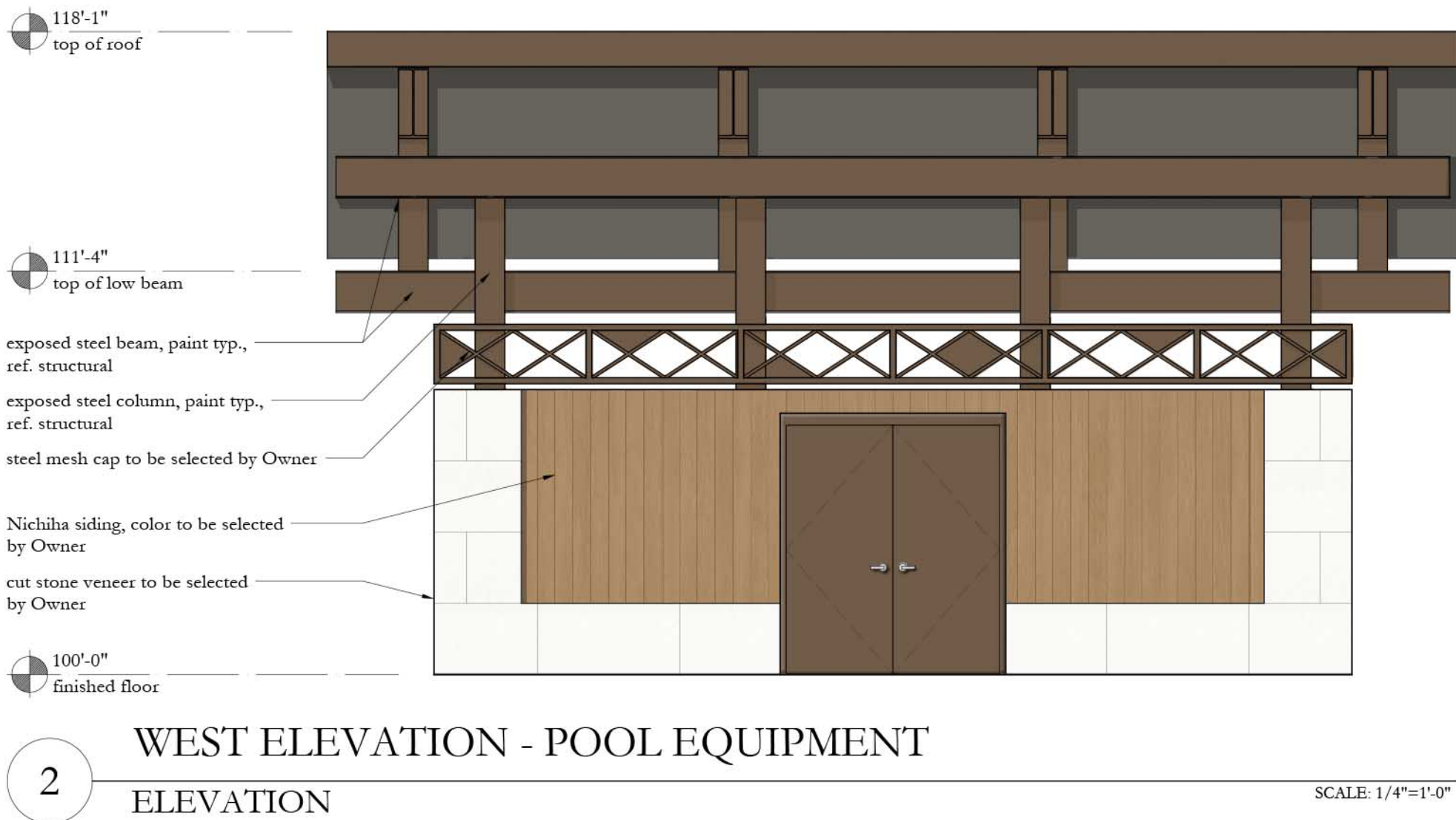
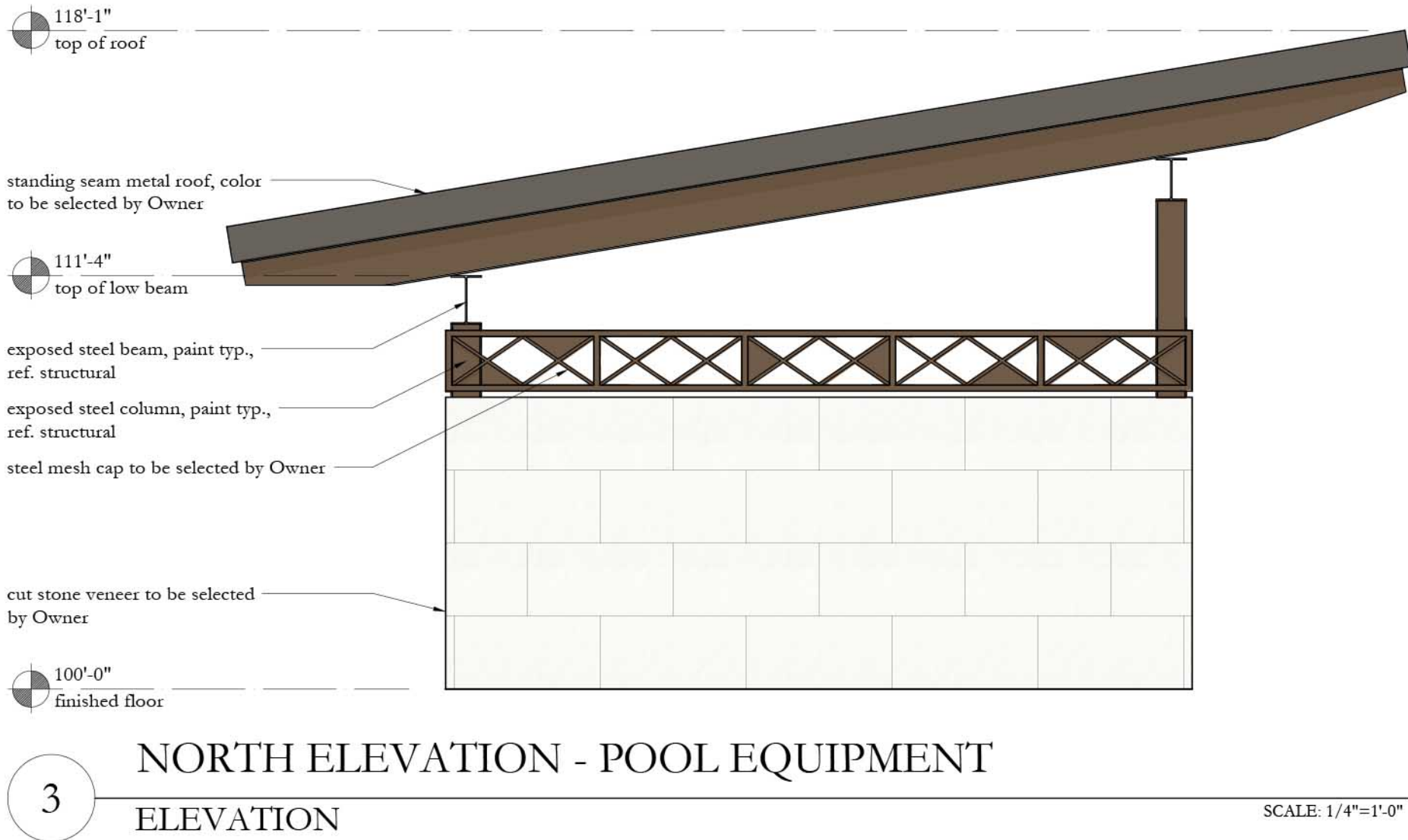
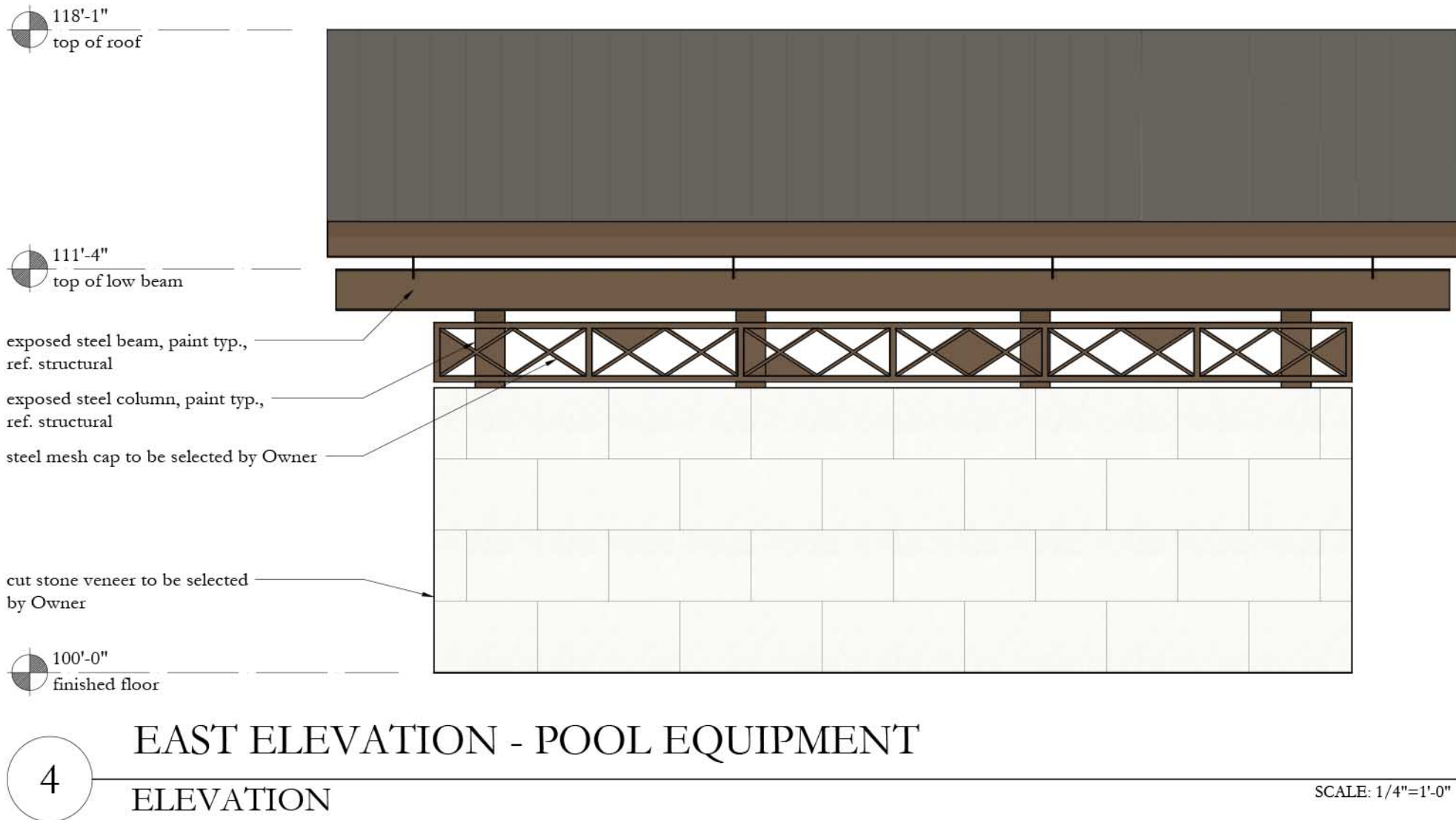
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

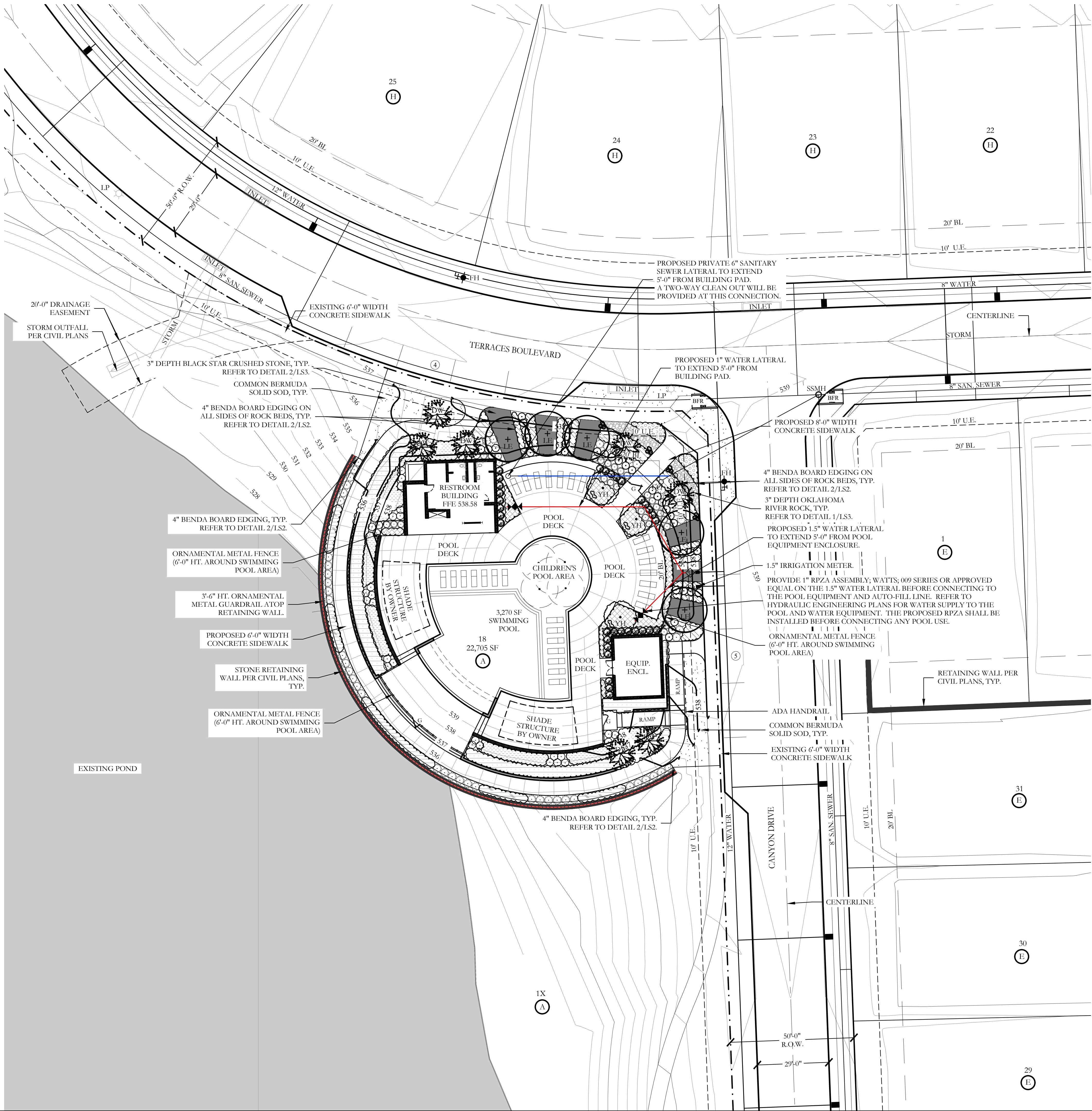
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	164 S.F.	-	164 S.F.	-	206 S.F.	-	206 S.F.	-
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	-	-	91 S.F.	56.87%
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	46 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

SITE INFORMATION

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PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

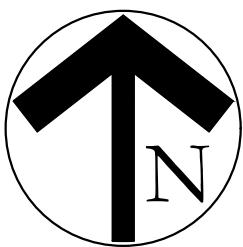
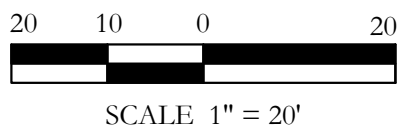
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

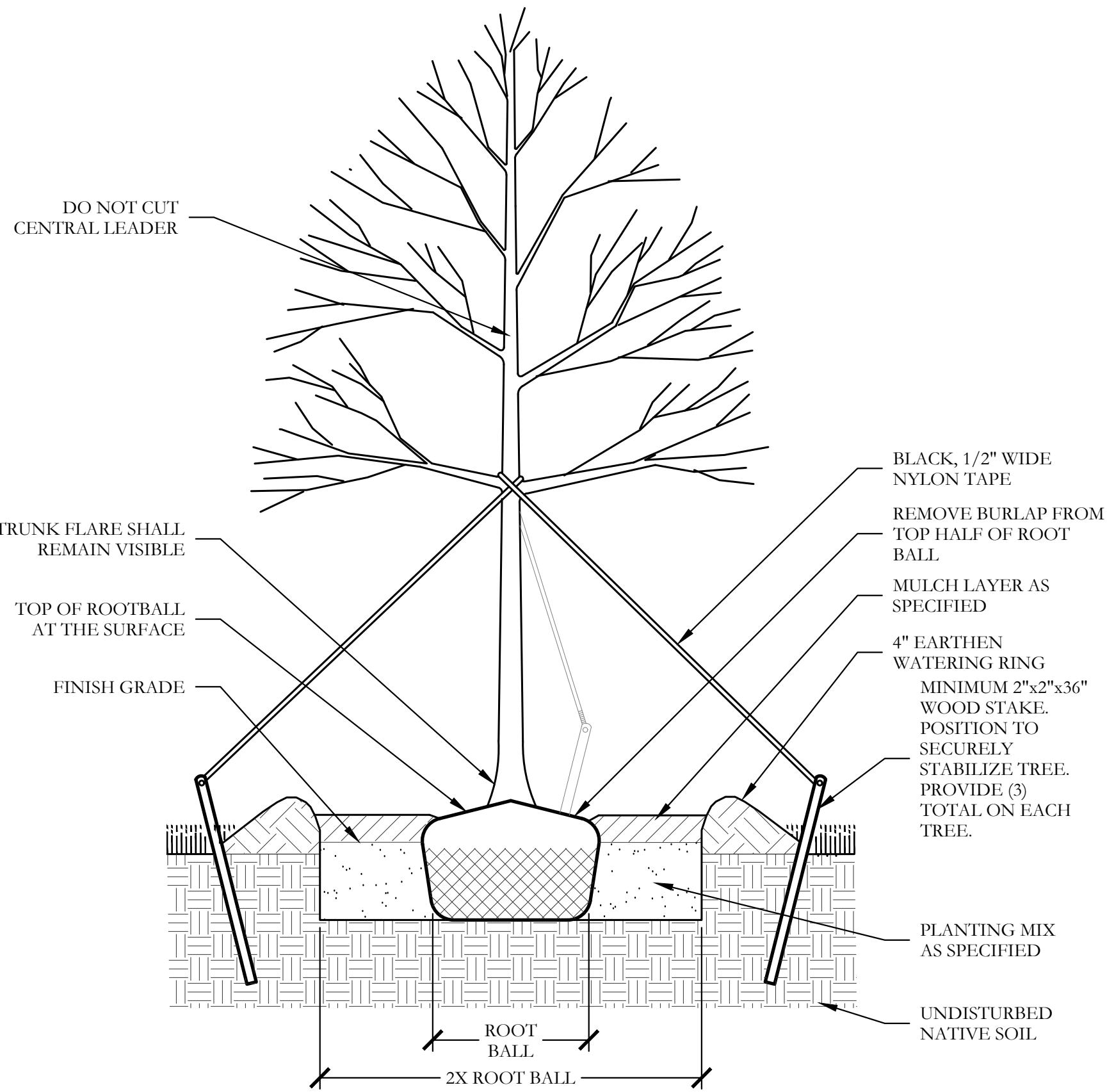
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

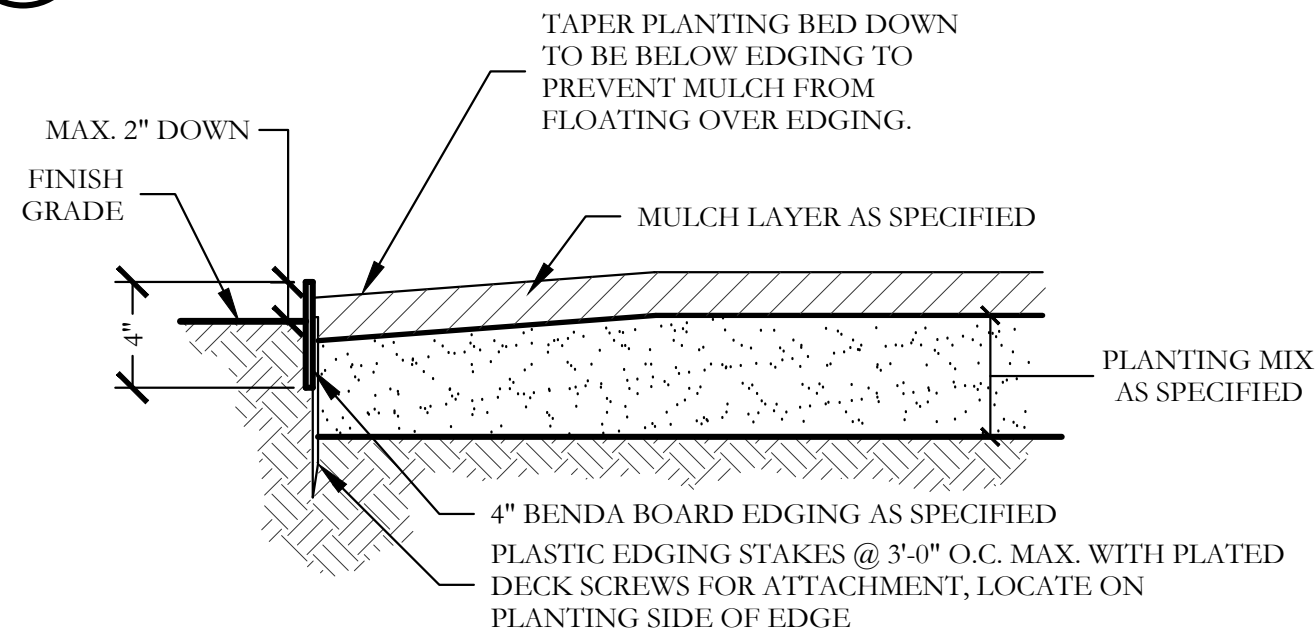


SCALE:
1" = 20'
One Inch
JVC No JVC022

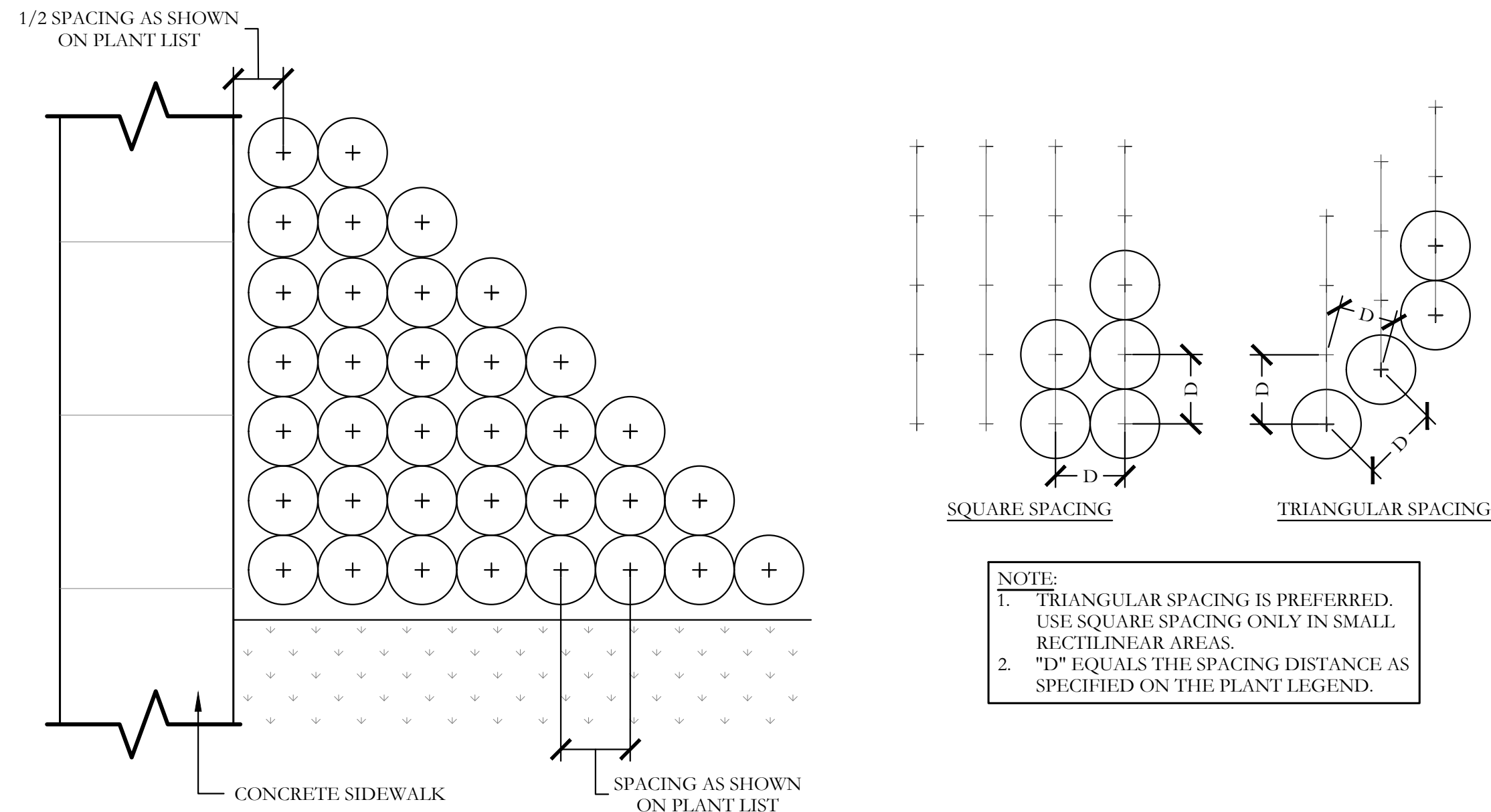
LS1 of 3



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	32	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	DWARF WAX MYRTLE	MYRTICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	410	MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1" - 1" DIAMETER IN SIZE.
	210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1" - 2" AND 2" - 4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

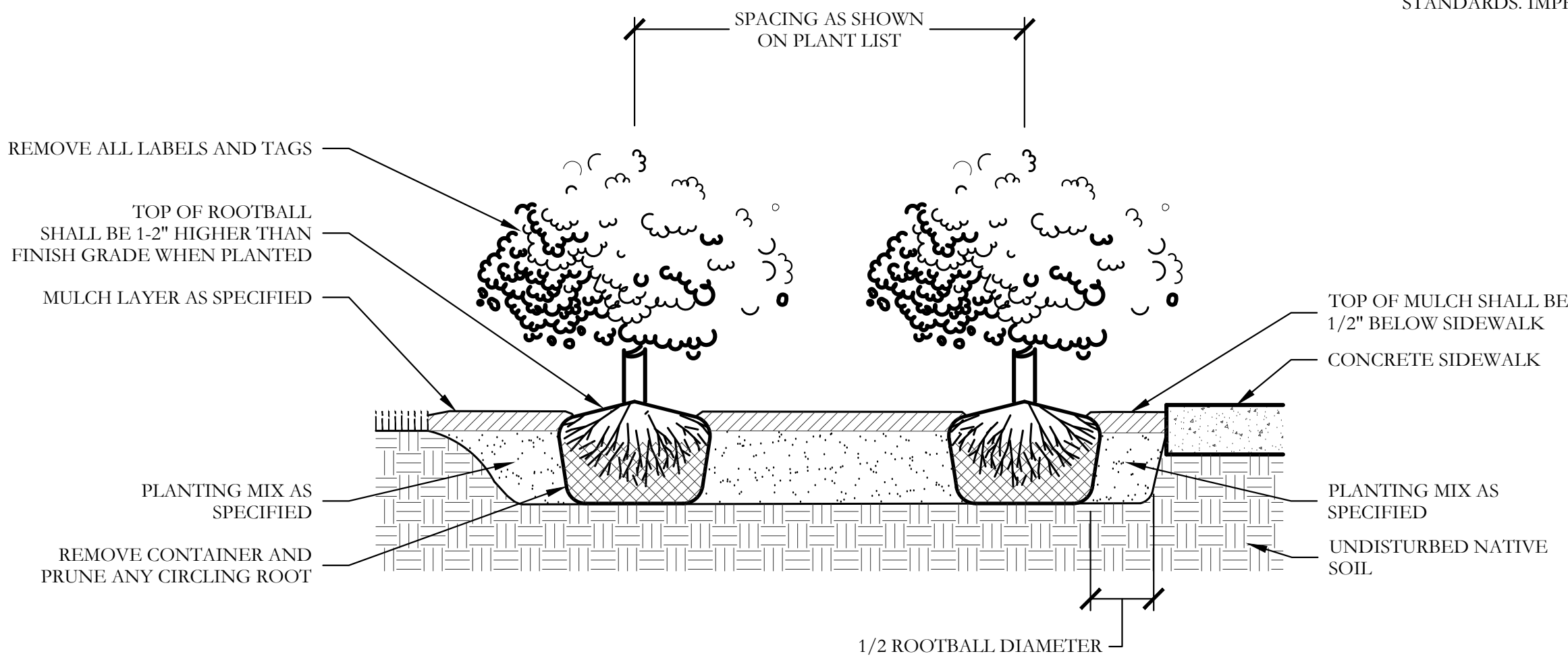
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

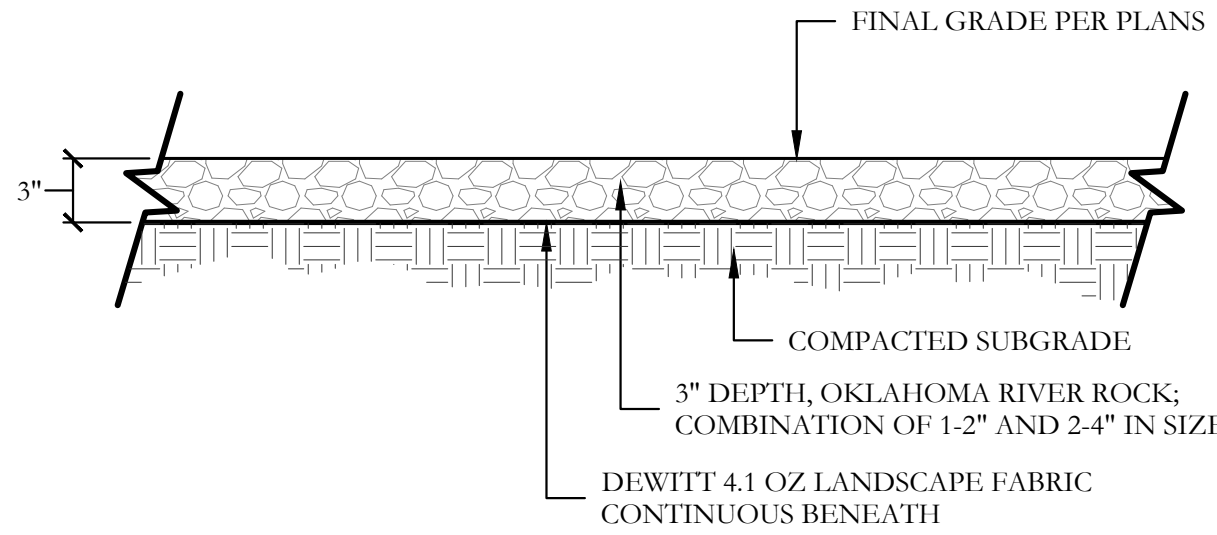
1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON ROW, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDIED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

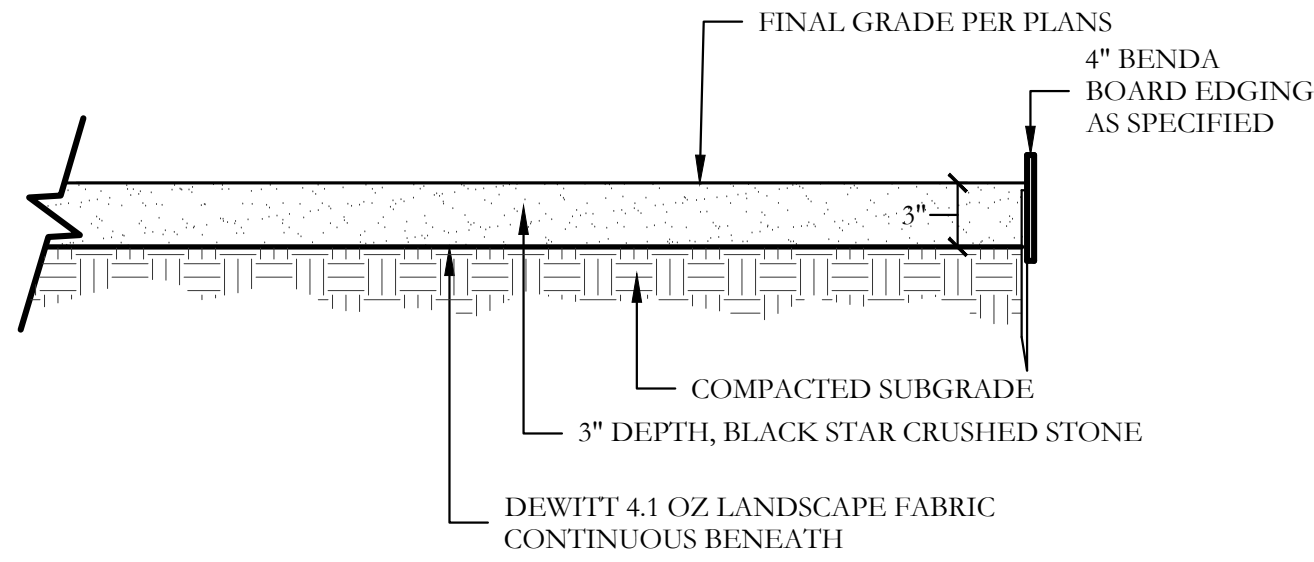
1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



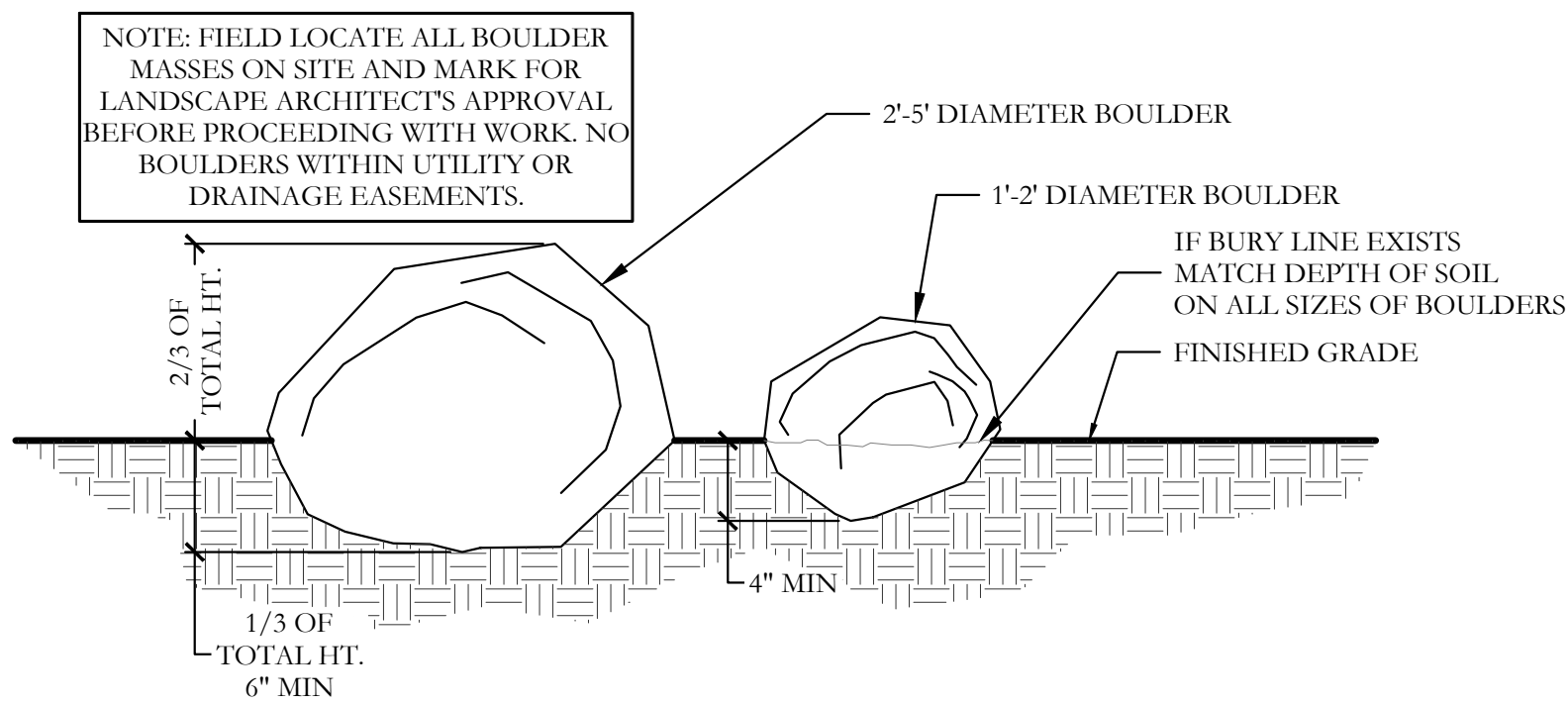
3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE



1 OKLAHOMA RIVER ROCK BED
SECTION
SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL
SECTION
SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL
SECTION
NOT TO SCALE

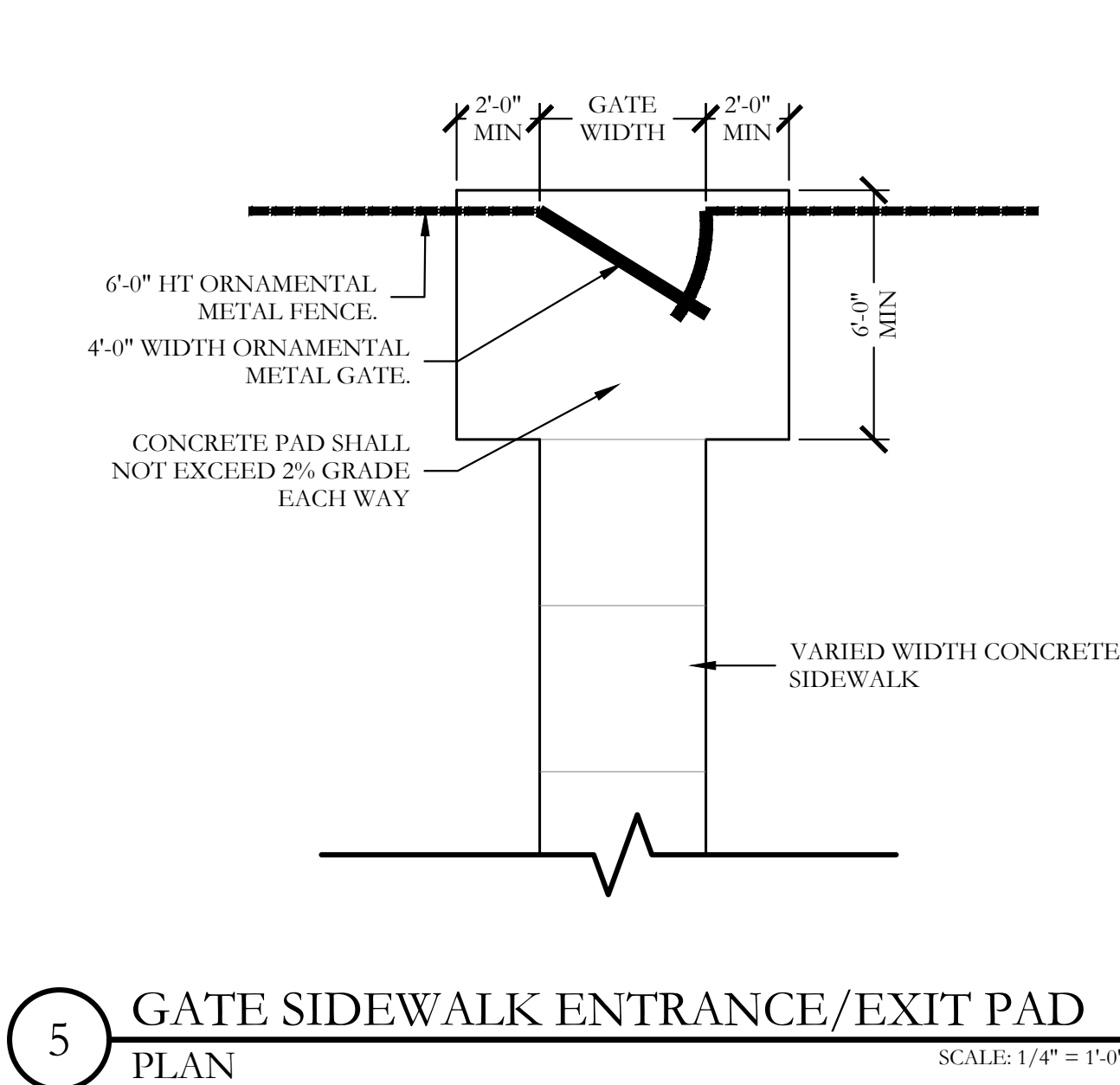
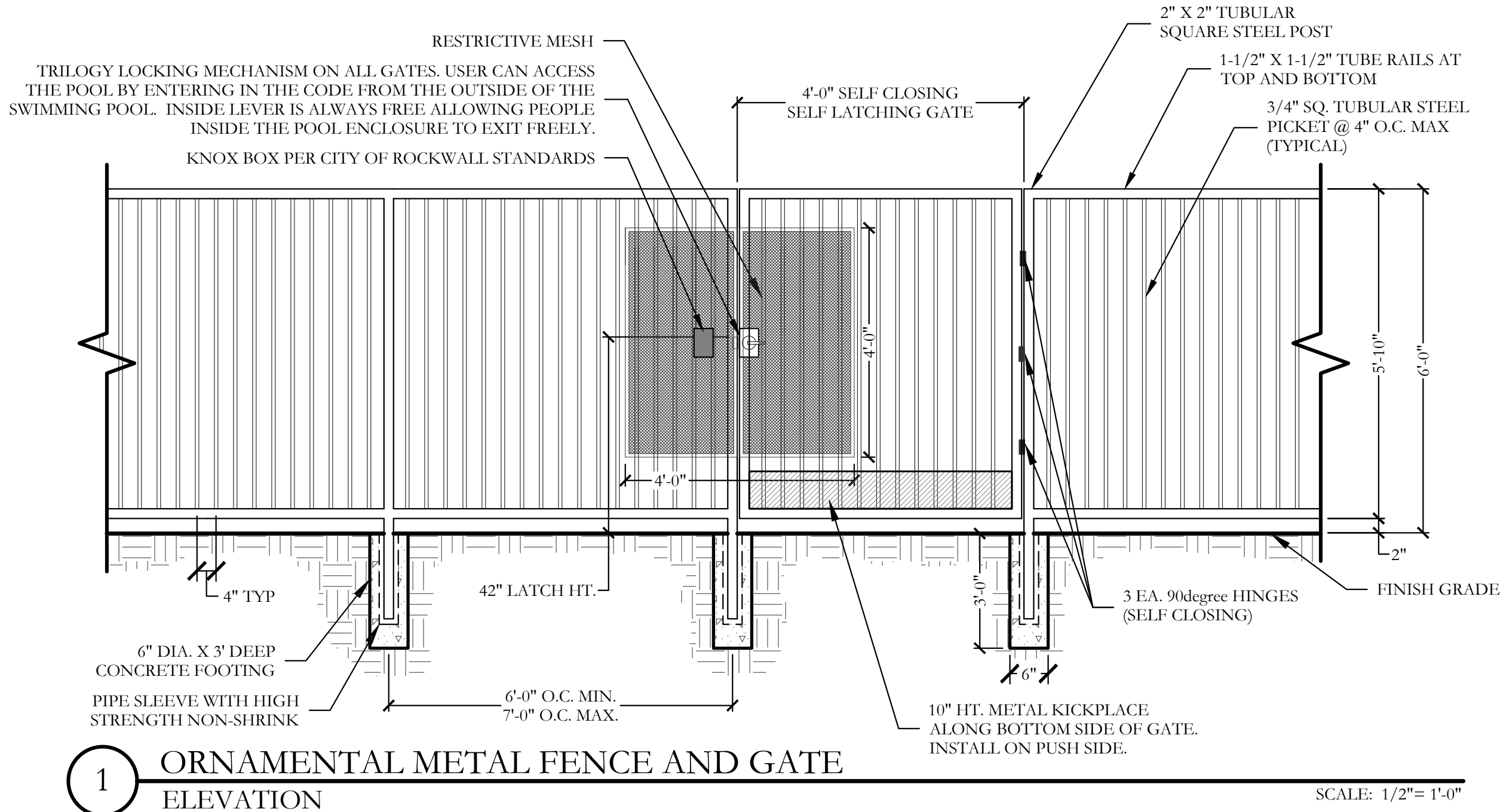
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY OF
ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR
CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR
ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:
I hereby certify that the above and foregoing site plan for a development
in the City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



5 GATE SIDEWALK ENTRANCE/EXIT PAD PLAN SCALE: 1/4\"= 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

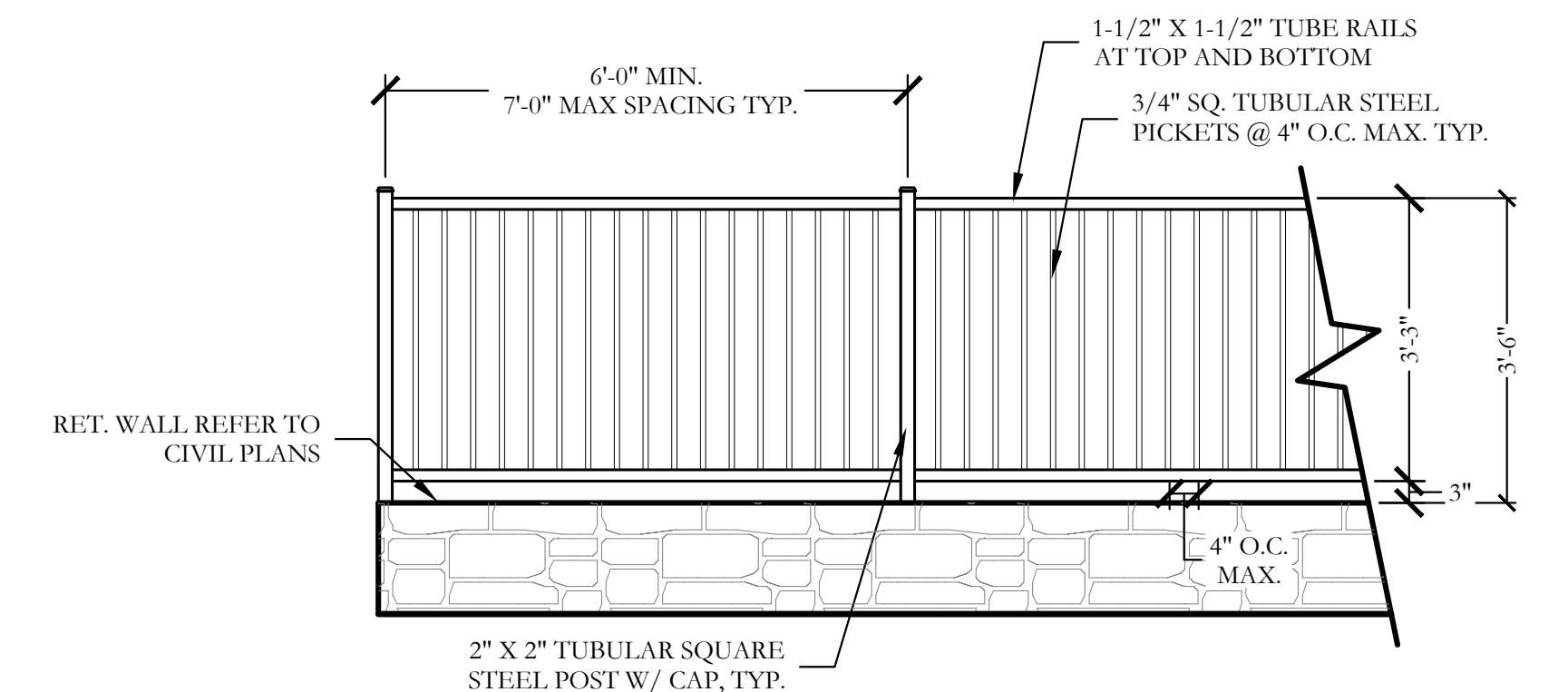
WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

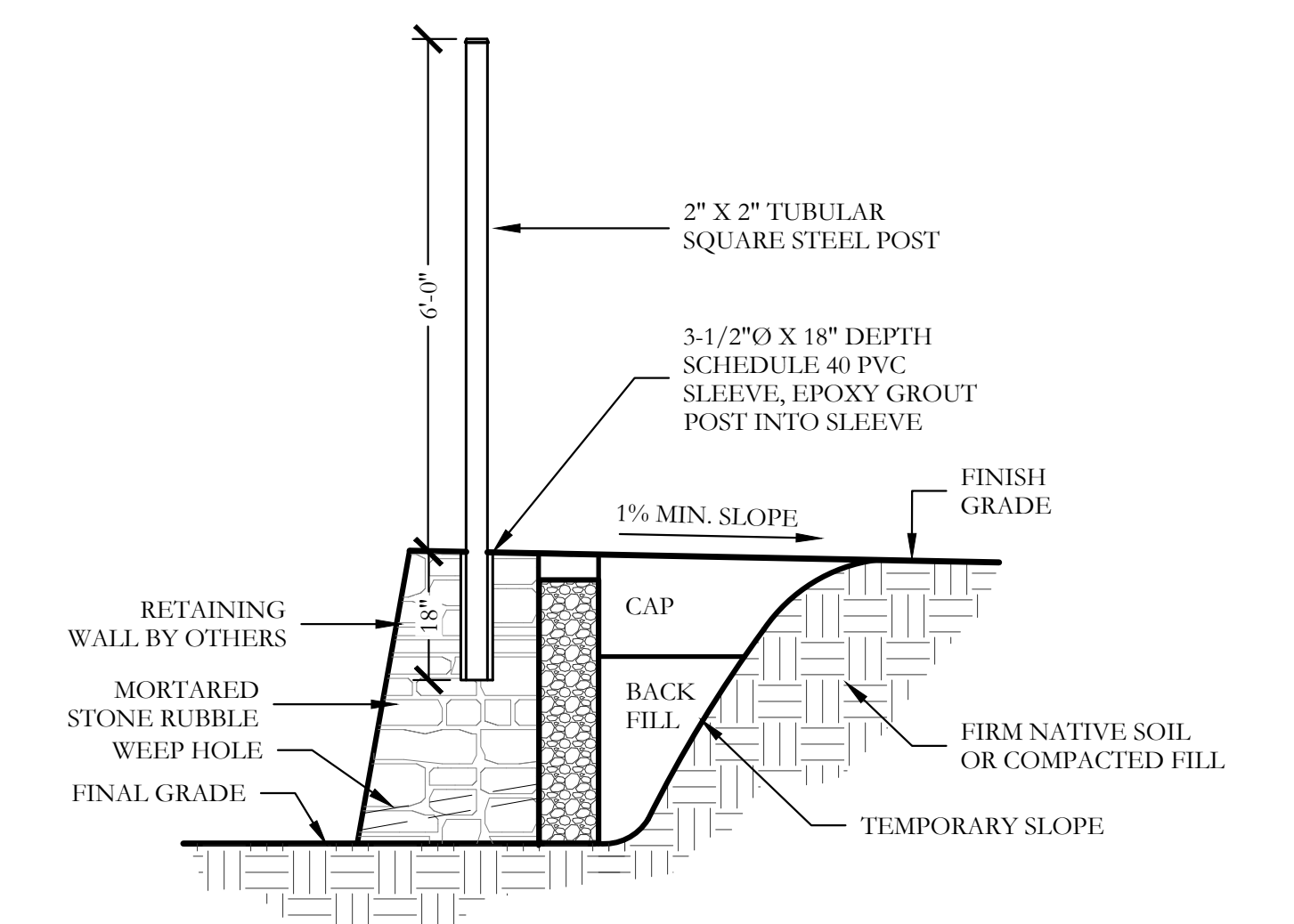
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

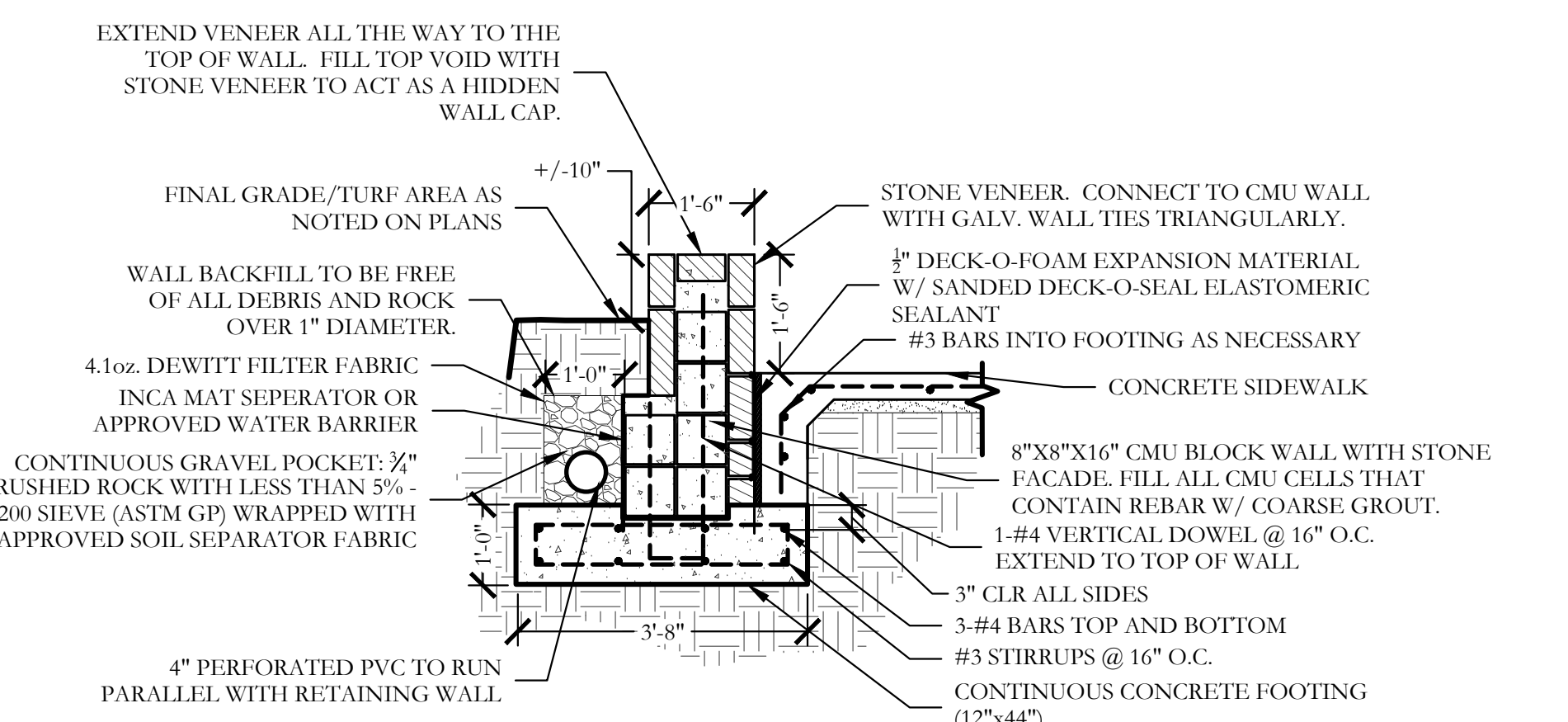


6 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL ELEVATION SCALE: 1/2\"=1'-0"

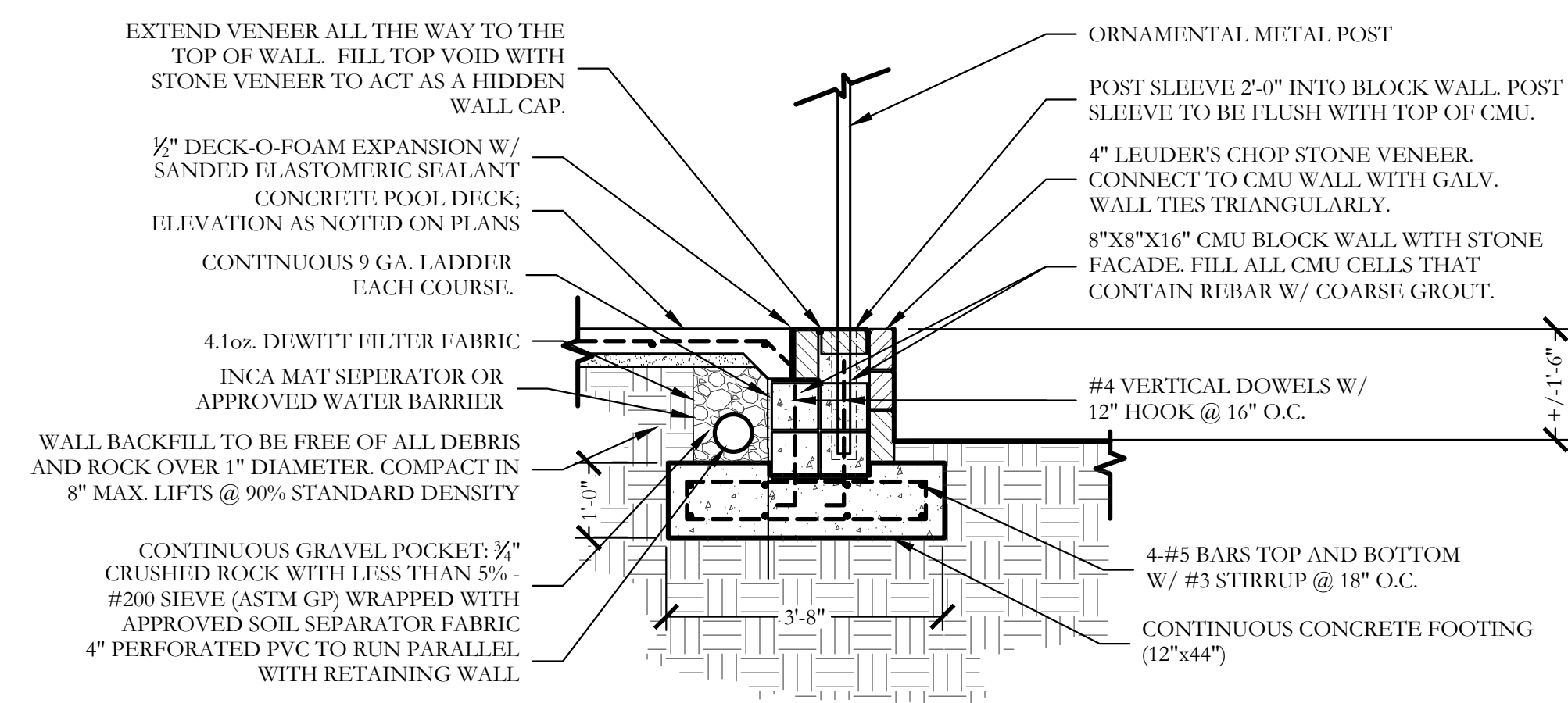


2 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

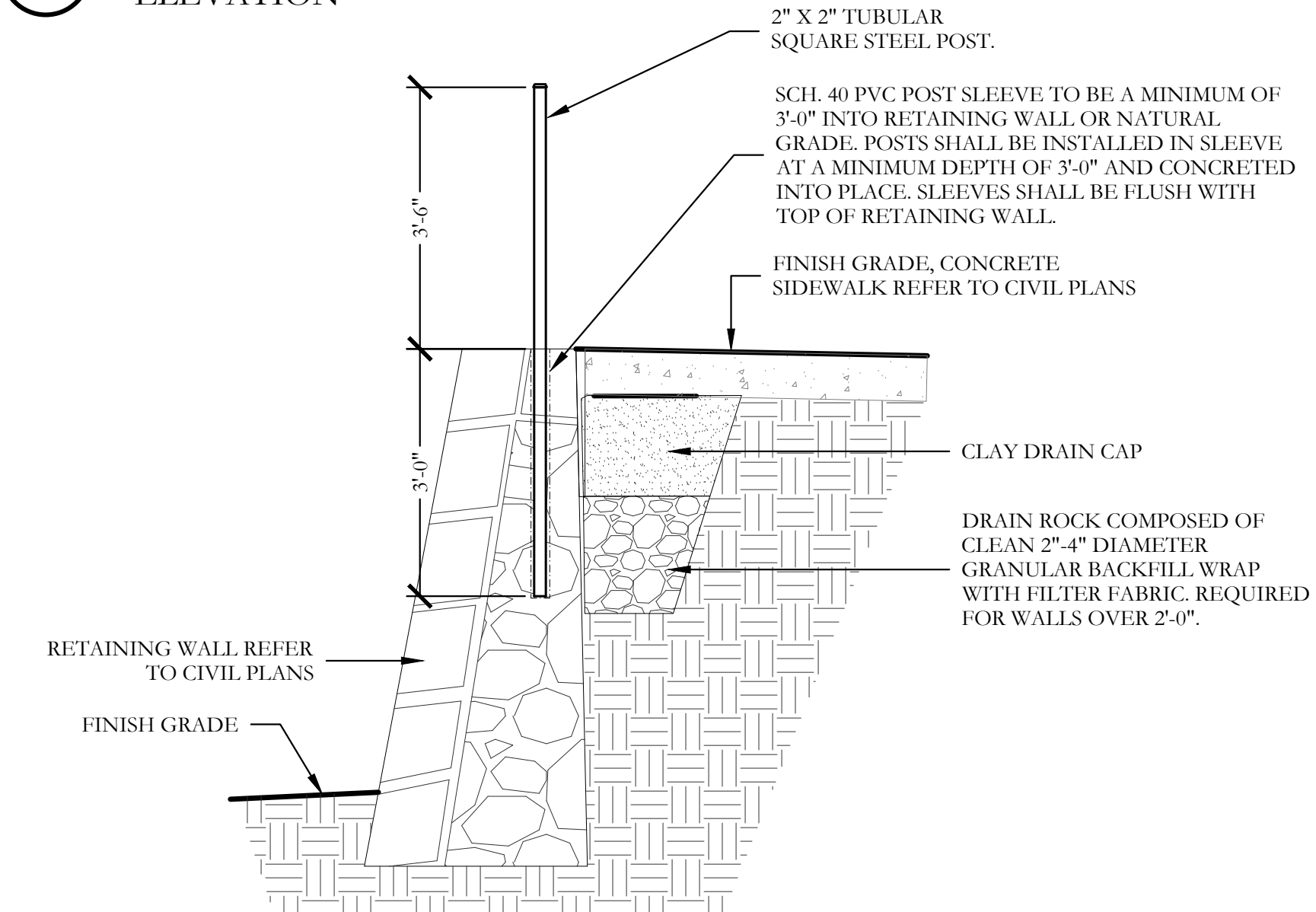
- ### ORNAMENTAL METAL FENCE NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
 - ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
 - ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
 - PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
 - ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
 - ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
 - FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
 - CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
 - GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
 - POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
 - POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
 - LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
 - RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



3 VARYING HT. STONE RETAINING/SEAT WALL SECTION SCALE: 1/2\"=1'-0"



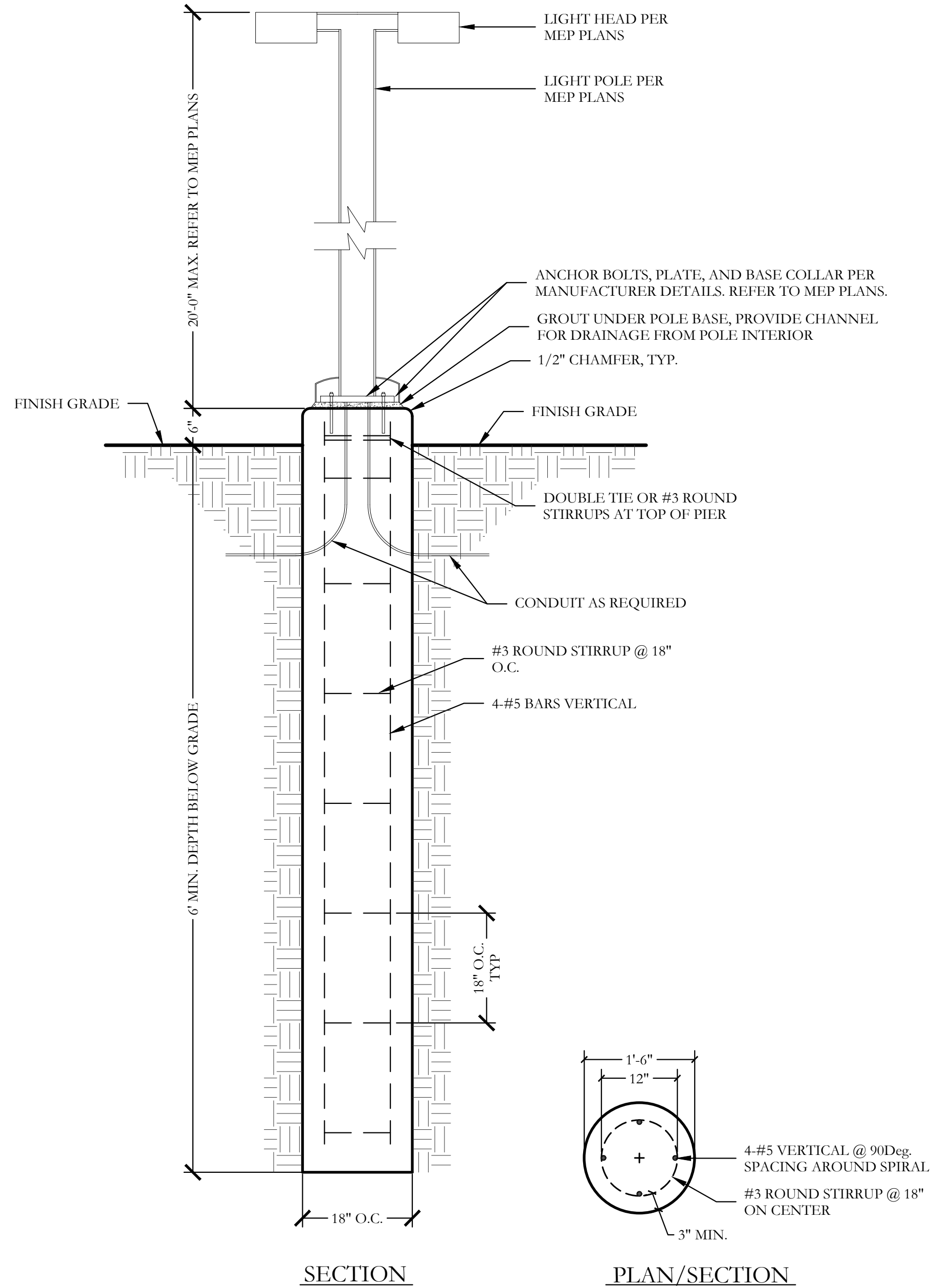
4 RETAINING WALL W/ POOL DECK SECTION SCALE: 1/2\"=1'-0"



7 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

- ### RET. WALL NOTES
- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER.
 - VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'.
 - BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF ORGANIC DEBRIS.
 - DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.
 - MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF FY=60KSI PER ASTM A615.
 - BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR PROPER MAINTENANCE OF ALL STRUCTURES.

\\ncfpl\pvc\landscapes\gis-s\draws\projects\jvc022\dwg\jvc022-sp.dwg



1 LIGHT POLE WITHIN POOL AREA
PLAN/SECTION

SCALE: 3/4" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

TERRACES
AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

AMENITY CENTER FACILITY
SITE DETAILS

THESE
DOCUMENTS
ARE FOR
INTERIM REVIEW
ONLY AND NOT
INTENDED FOR
CONSTRUCTION
OR BIDDING
PURPOSES.

June 14, 2024

SCALE:
REFER TO
DETAILS

One Inch

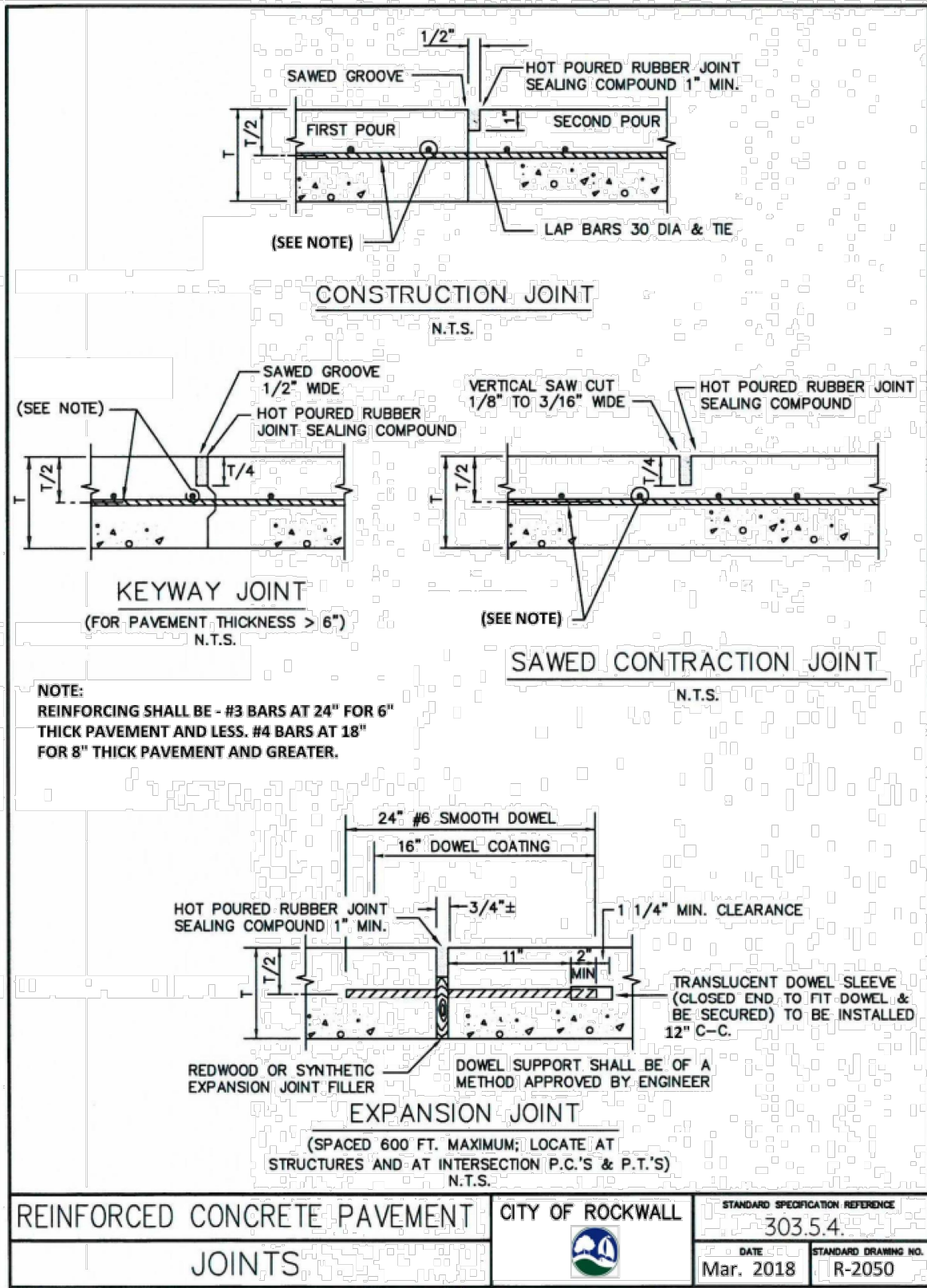
JVC No. JVC022

L5

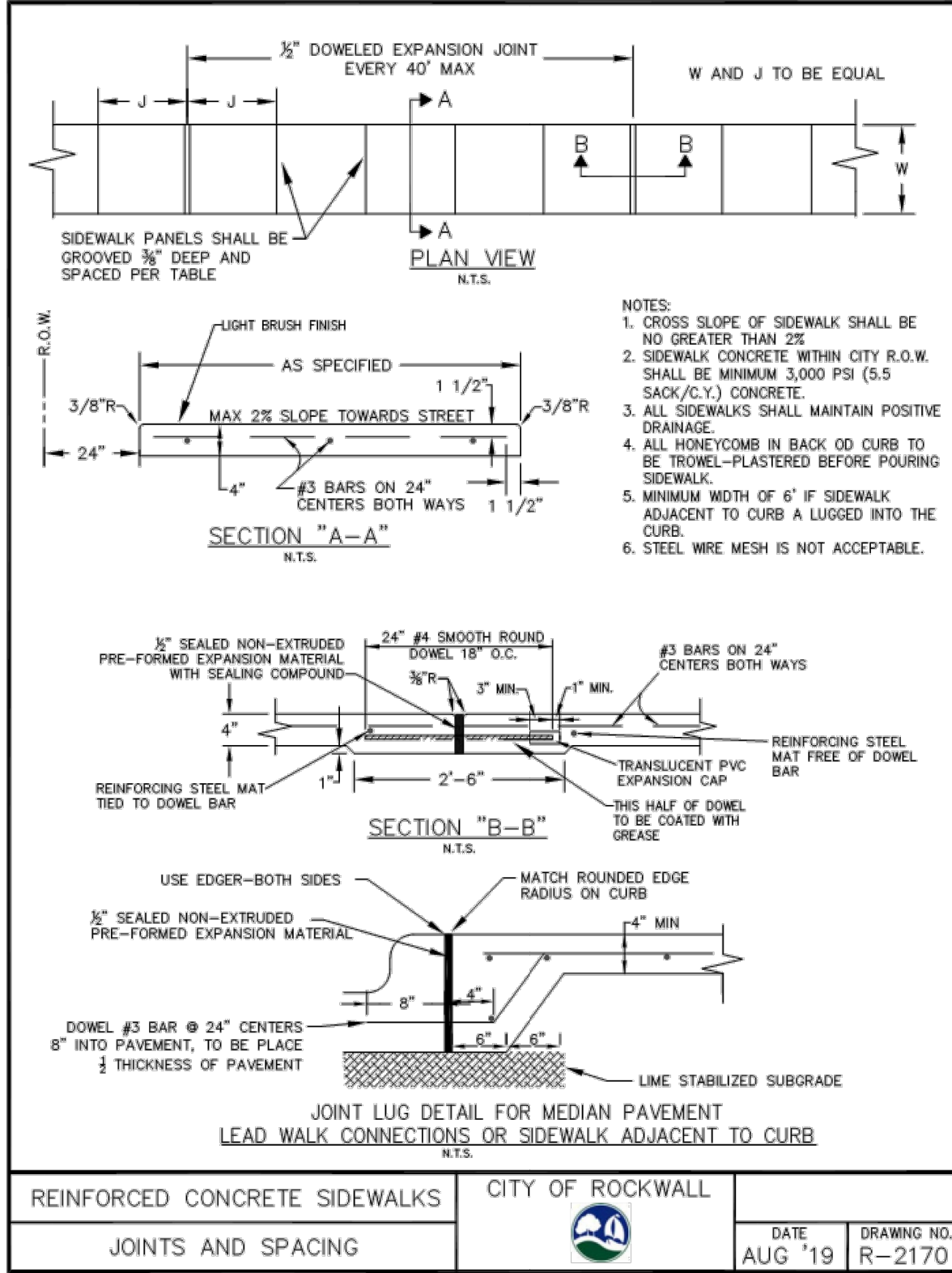
**JOHNSON VOLK
CONSULTING**

TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

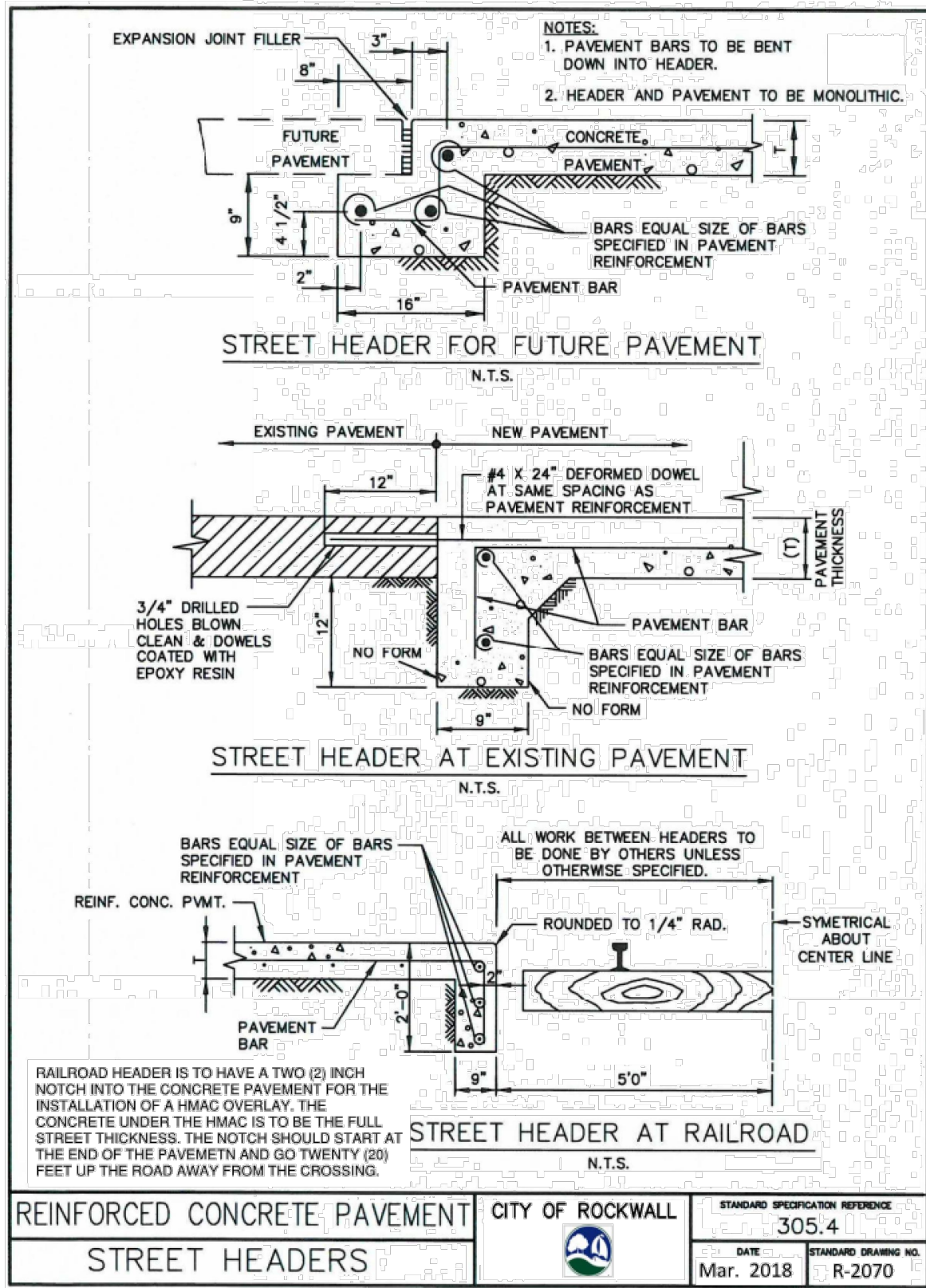
\\ncpl\live\landscape\GIS\sdms\projects\liver021\dwg\liver022-sp.dwg



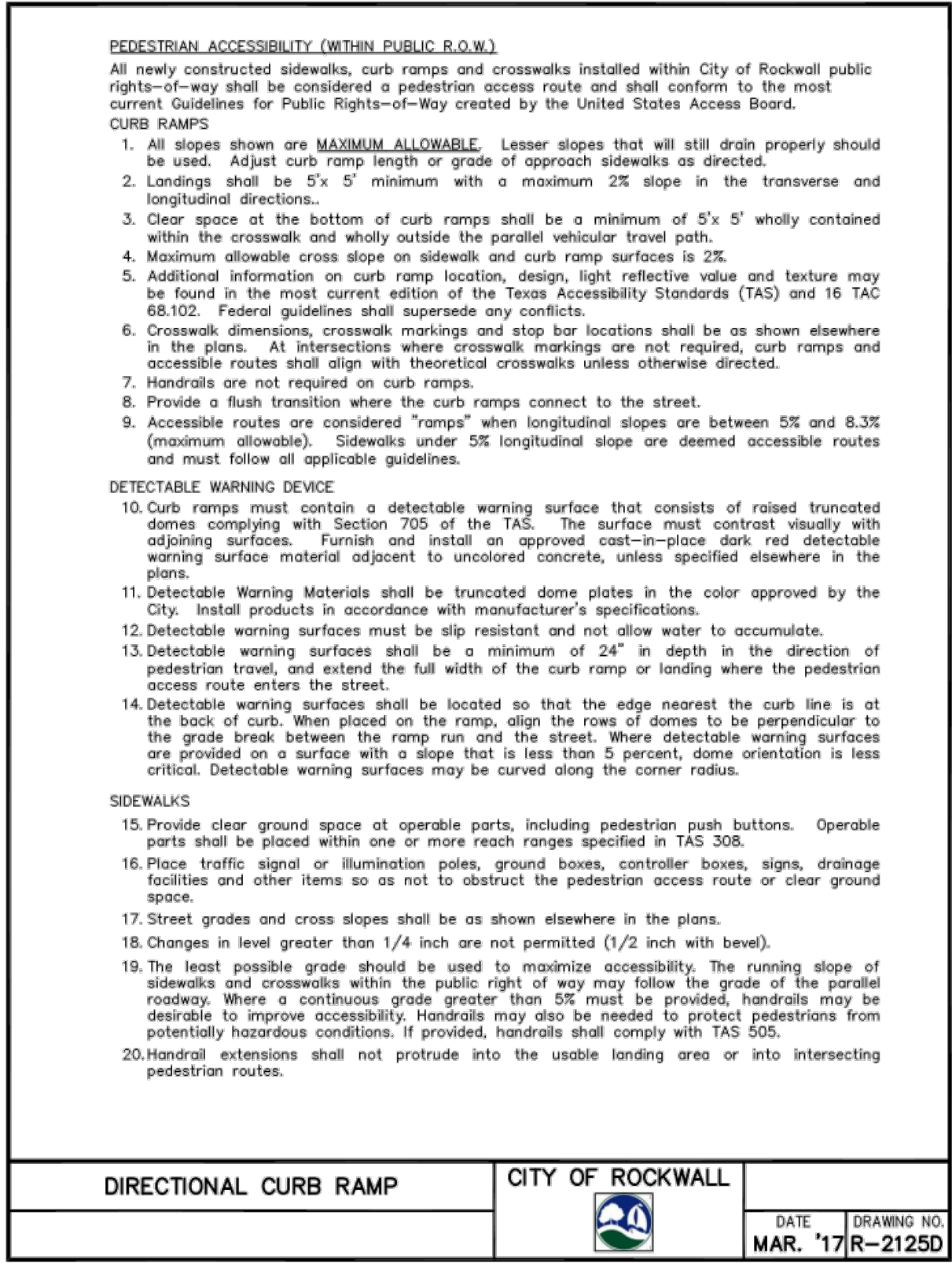
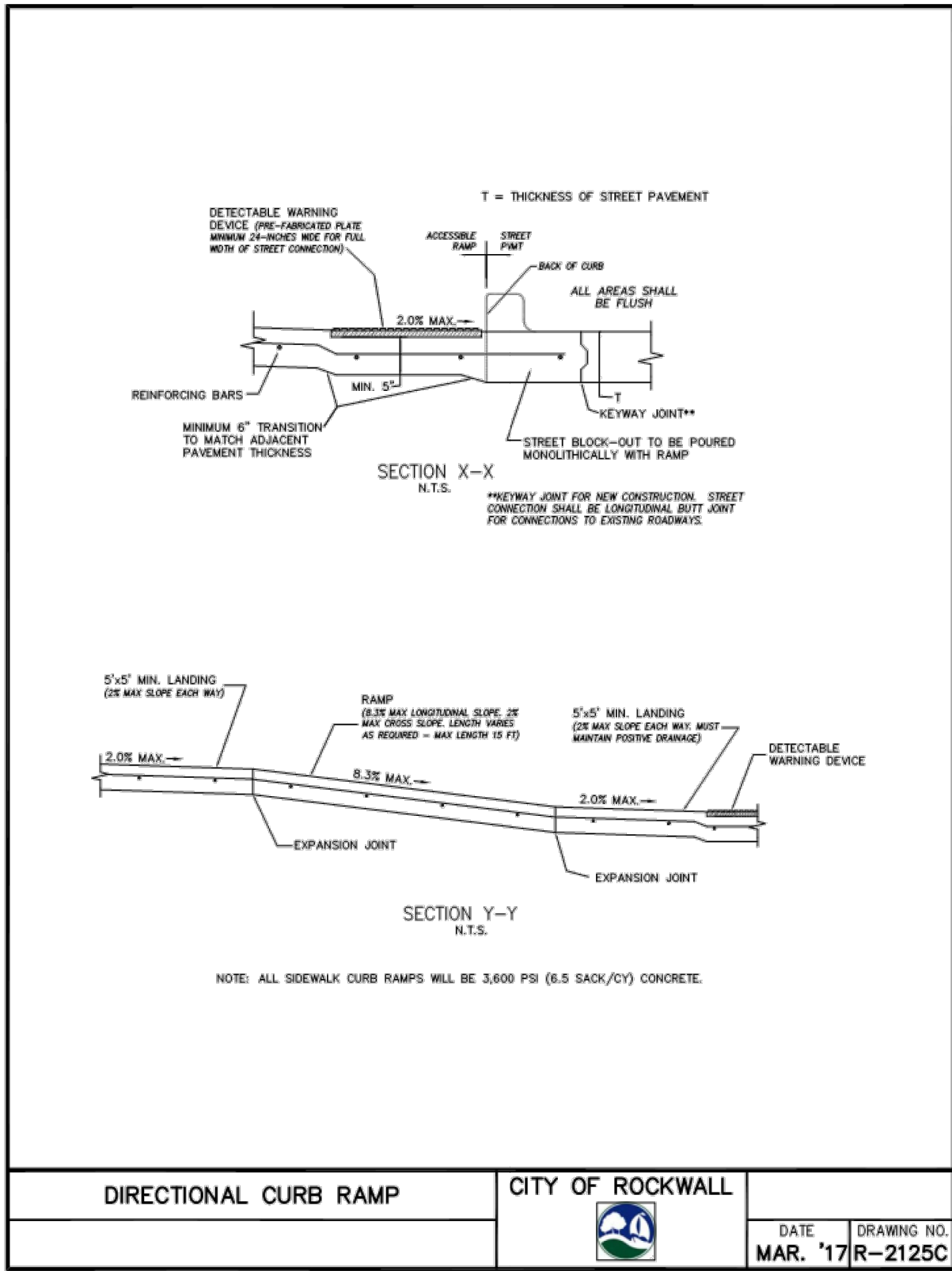
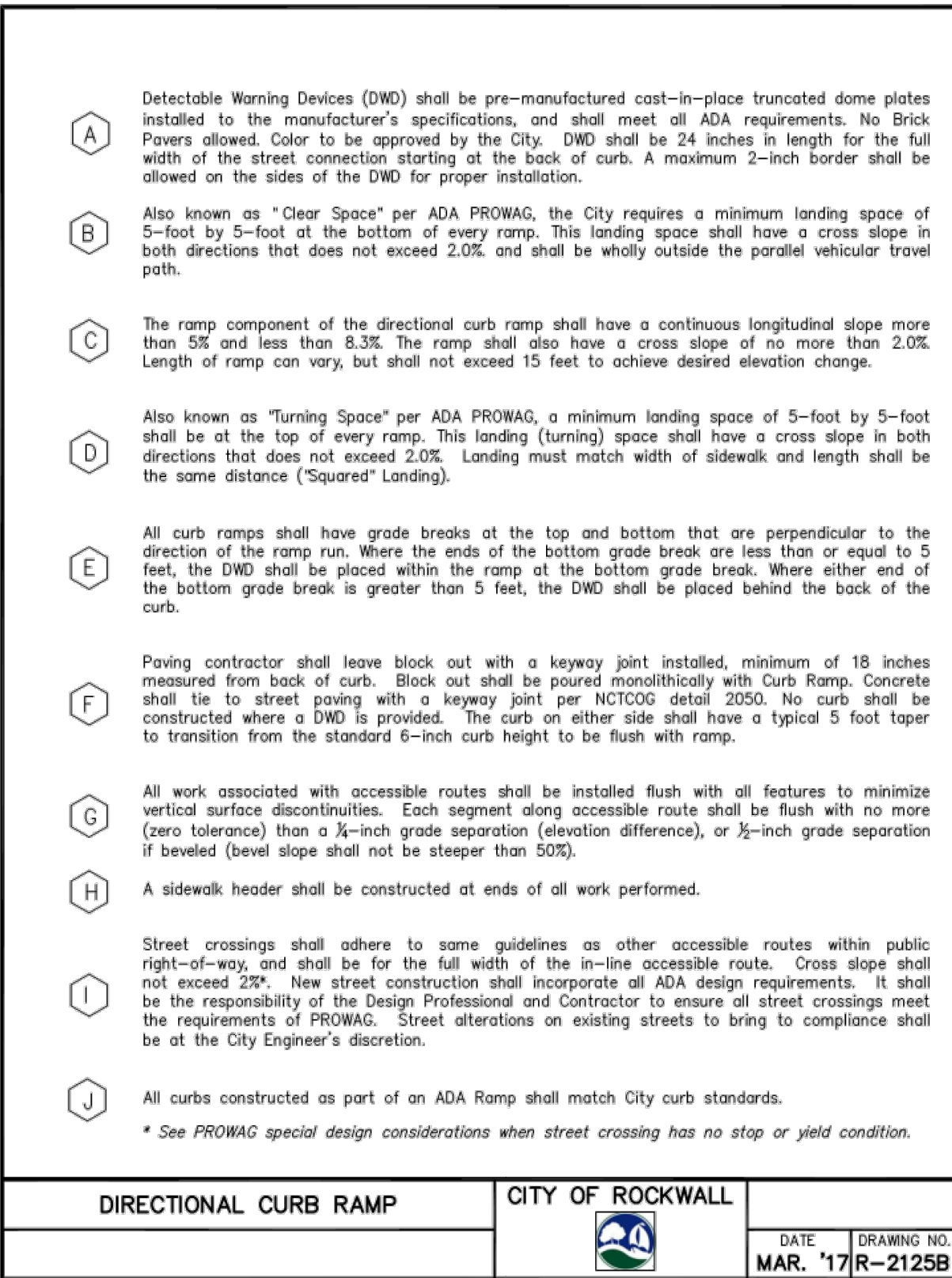
Page 266



Page 277



Page 268



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



JOHNSON VOLK CONSULTING

704 Central Parkway East | Suite 1200 | Plano, Texas 75074 | 972.201.3100

Planning and Zoning Department
City of Rockwall – Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

June 14, 2024

Tree Survey Affidavit

Terraces, Amenity Center
City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

Sincerely,

Cody Johnson, RLA, ASLA, LI
Johnson Volk Consulting
704 Central Parkway East
Suite 1200
Plano, Texas 75074

SP2024-033: PD Site Plan for the Terraces Amenity Center

Please address the following comments (*M= Mandatory Comments; I = Informational Comments*)

- I.1 This is a request for the approval of a Site Plan for an amenity center on a 0.52-acre parcel of land identified as Lot 18, Block A, Terraces, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, addressed as 1845 Terraces Boulevard.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (*SP2024-033*) in the lower right-hand corner of all pages of all revised plan submittals. (*Subsection 01.02(D), Article 11, UDC*).
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 93 (PD-93).
- M.5 Photometric Plan:
(1) Please provide a Photometric Plan that meets the requirements outlined within the Unified Development Code (UDC). (Article 07, UDC)
(2) Please provide cutsheets for all of the proposed light fixtures. Per Article 07, of the UDC, all light fixtures should be shielded to prevent glare, and there shall be no uplighting. (Article 07, UDC)
- M.6 Building Elevations:
(1) Please provide a detail of the proposed canopies. (Ordinance No. 22-47; PD-93)
(2) All of the building materials and colors need to be finalized for approval. The building elevations indicate in multiple areas "to be selected by owner;" however, the Material Sample Board provides specific examples. Please indicate if the Material Sample Board is the final finishes. If not, please finalize the materials. (Ordinance No. 22-47; PD-93)
- I.7 Please note that failure to address all comments provided by staff by 3:00 PM on July 2, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 9, 2024 Planning & Zoning Meeting.
- I.9 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on June 25, 2024.
2) Planning & Zoning meeting/public hearing meeting will be held on July 9, 2024.
- I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

ENGINEERING COMMENTS:

1. Label this wall as an existing retaining wall since this has already been built with Phase 1.

General Items:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.

- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- All utilities must be underground.
- Additional comments may be provided at time of Engineering Plan Review.

Landscaping:

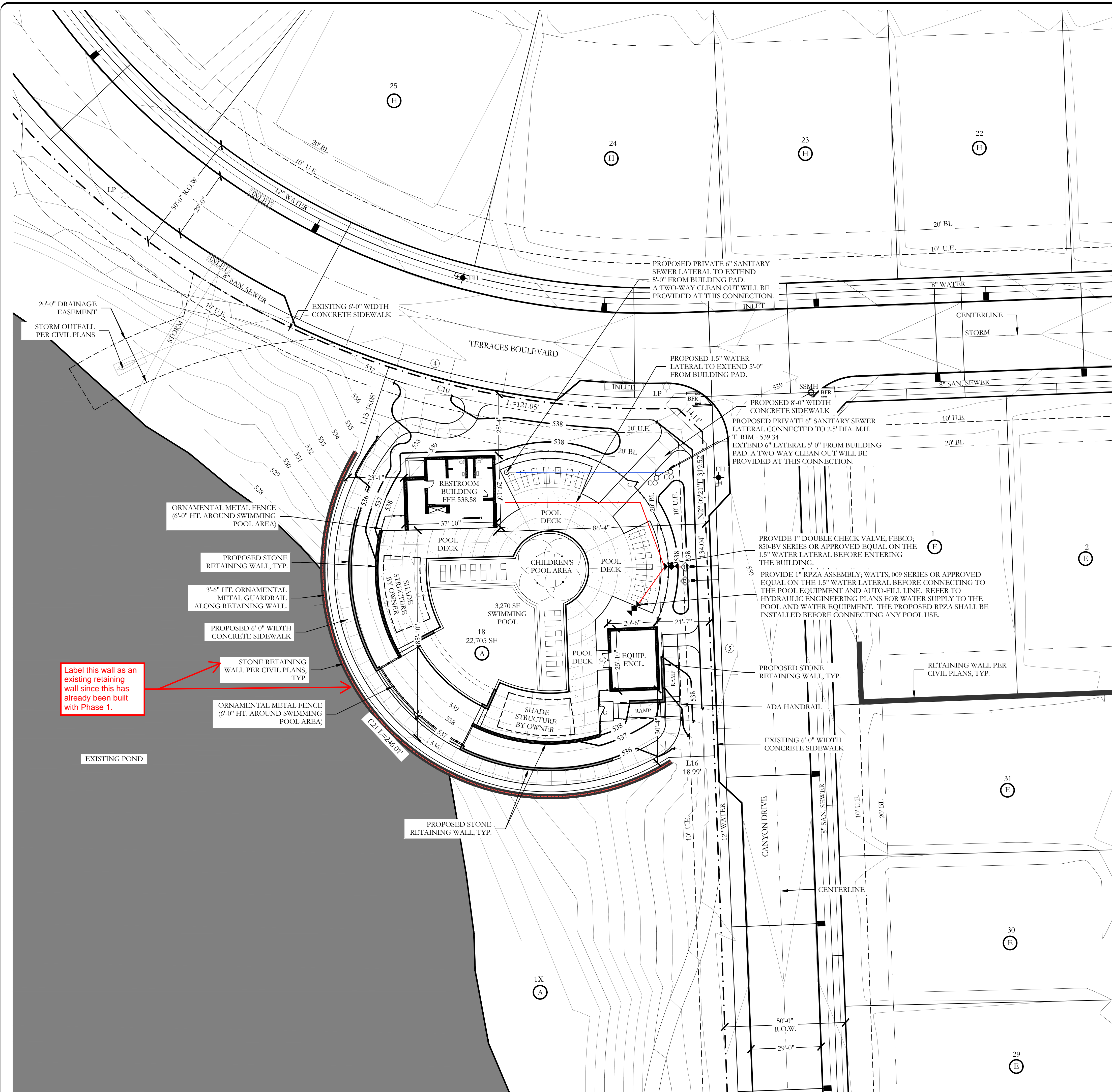
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10"

BUILDING INSPECTIONS COMMENTS:

Pool and Pool Barrier will be required to comply with the 2021 International Swimming Pool & Spa Code and Texas Health & Safety Codes. Separate permits required for pool and structures.

PARKS COMMENTS:

recommendation to utilize Tif Tuf, Tahoma 31 or Latitude 36 Bermudagrass varieties that are more wear, cold and shade tolerant and do not require as much water in the summer months..



- EXISTING PARKING COUNT
- BFR BARRIER FREE RAMP
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER MAIN W/
- EXISTING SANITARY SEWER
- EXISTING STORM
- EXISTING CURB INLET
- RIGHT-OF-WAY
- LIGHT POLE
- EXISTING CONTOUR INTER
- PROPOSED CONTOUR INTER
- FINISHED FLOOR ELEVATION

General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
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Landscaping:

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- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM. IRR.	SAN. SERVICE SIZE
1	1.5"	1.5"	X	6"
2	1.5"	1.5"	X	6"

SITE INFORMATION

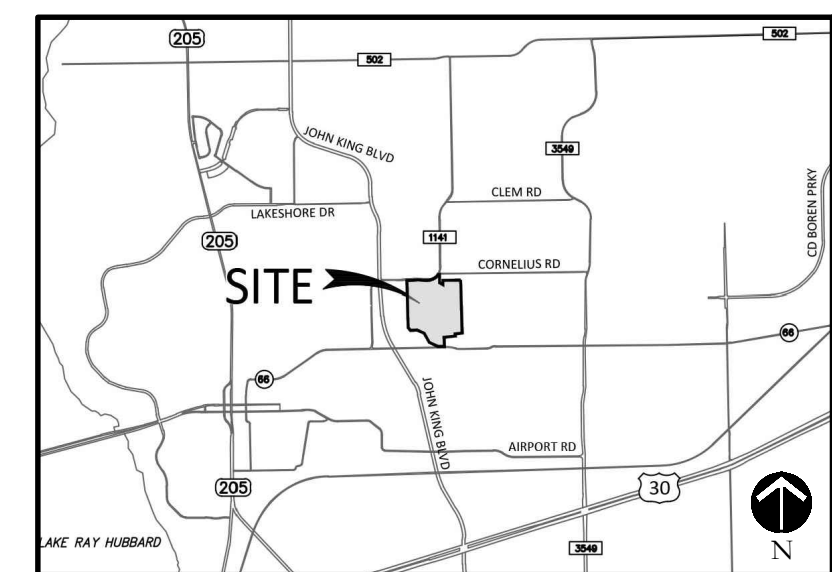
SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

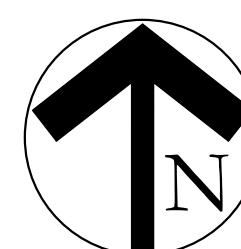
FLOOR TO AREA: 0.0727:1 [1,652/22,705]
LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF



LOCATION MAP
NOT TO SCALE



20 10 0 20
SCALE 1" = 20'

SITE PLAN
TERRACES
LOT 18, BLOCK A
~AMENITY CENTER~

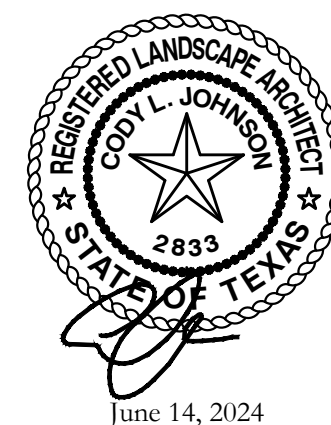
BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:

TM TERRACES, LLC
4416 W. LOVERS LANE SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431
CONTACT: BOBBY HARRELL
BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI
CODY.JOHNSON@JOHNSONVOLK.COM



June 14, 2024

SITE PLAN NOTES:

- NO 100-YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Amenity Center within Terraces

SUBDIVISION: Terraces

LOT: 18

BLOCK: A

GENERAL LOCATION: at the corner of Terraces Boulevard and Canyon Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Single Family Residential

CURRENT USE: Private Recreational Center

PROPOSED ZONING: Single Family Residential

PROPOSED USE: Private Recreational Center

ACREAGE: .52

LOTS [CURRENT]: 1

LOTS [PROPOSED]: 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER: TM Terraces, LLC

☒ APPLICANT: Johnson Volk Consulting

CONTACT PERSON: _____

CONTACT PERSON: Cody Johnson

ADDRESS: 4416 W. Lovers Lane Suite 200

ADDRESS: 704 Central Parkway East

CITY, STATE & ZIP: Dallas, TX 75209

CITY, STATE & ZIP: Plano, TX 75074

PHONE: (214)577-1431

PHONE: (972) 201-3100

E-MAIL: _____

E-MAIL: cody.johnson@johnsonvolk.com

NOTARY VERIFICATION [REQUIRED]

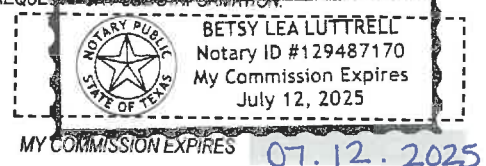
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bobby Harrell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 10 DAY OF June 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF June 20 24

OWNER'S SIGNATURE: Bobby Harrell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Betsy Lea Luttrell



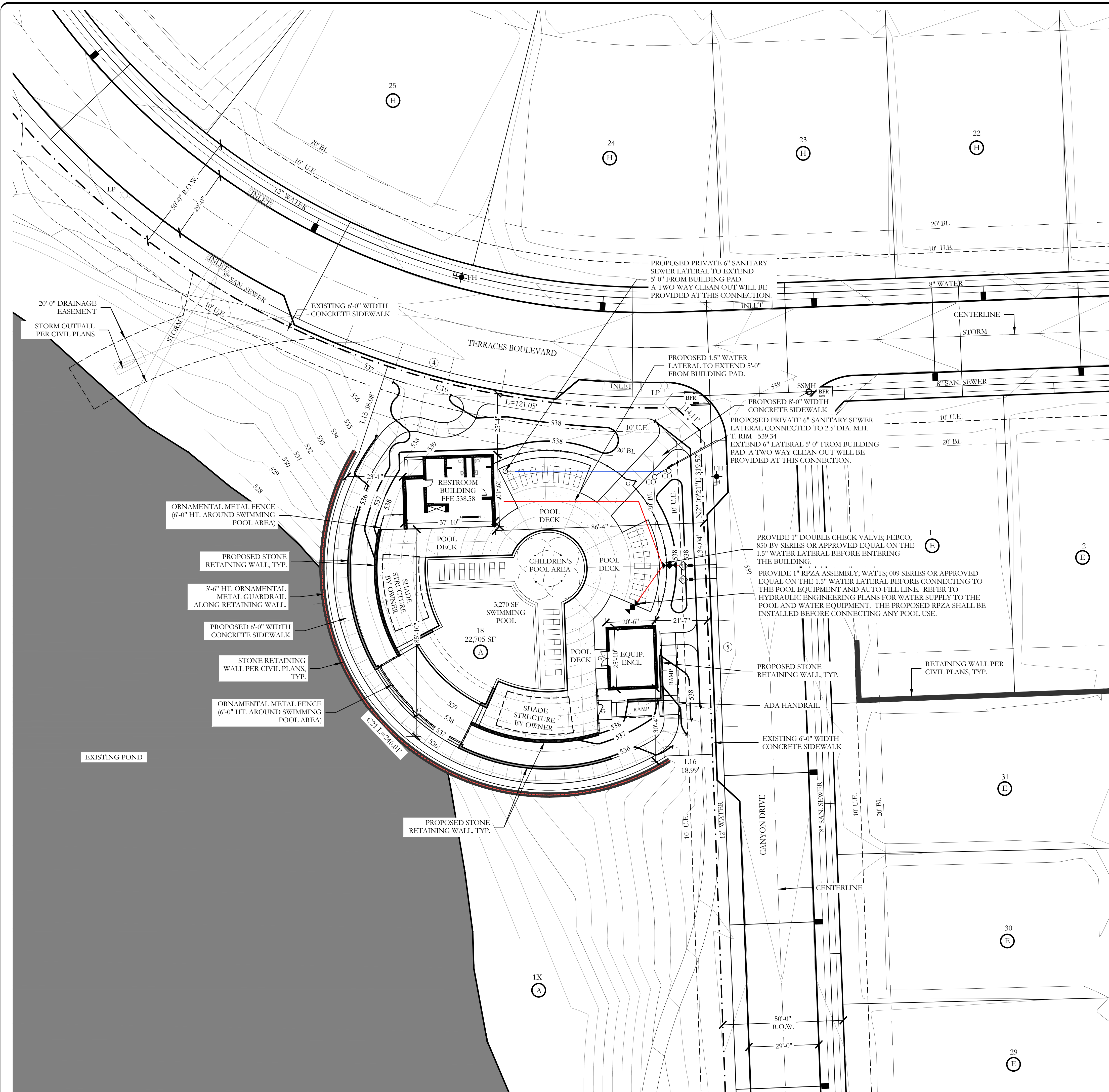


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND			
	EXISTING PARKING COUNT		EXISTING 1.5" DOMESTIC WATER METER
	BARRIER FREE RAMP		EXISTING 1.5" IRRIGATION WATER METER
	EXISTING FIRE HYDRANT		ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
	EXISTING SANITARY SEWER MANHOLE		1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
	EXISTING WATER MAIN W/ VALVE		PROPOSED STONE RETAINING WALL
	EXISTING SANITARY SEWER		RETAINING WALL PER CIVIL PLANS TYP.
	EXISTING STORM		ADA HANDRAIL
	EXISTING CURB INLET		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
	RIGHT-OF-WAY		
	LIGHT POLE		
	EXISTING CONTOUR INTERVAL		
	PROPOSED CONTOUR INTERVAL		
	FINISHED FLOOR ELEVATION		

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
	1.5"	1.5"	X		6"
	1.5"	1.5"		X	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 [1,652/22,705]
LOT COVERAGE: 7.27%

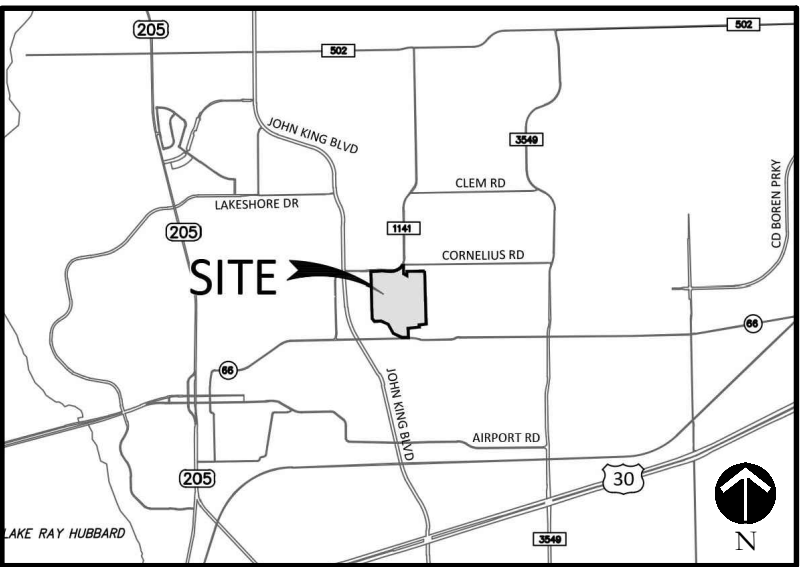
TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

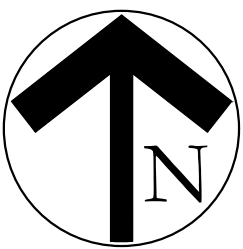
SITE PLAN NOTES:

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.



LOCATION MAP
NOT TO SCALE



20 10 0 20
SCALE: 1" = 20'

SITE PLAN
TERRACES
LOT 18, BLOCK A
~AMENITY CENTER~

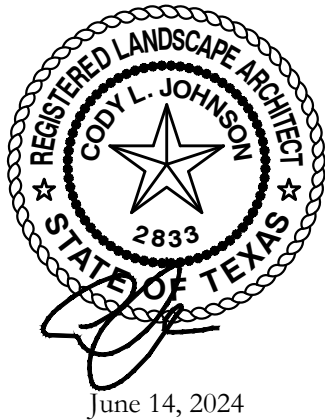
BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:

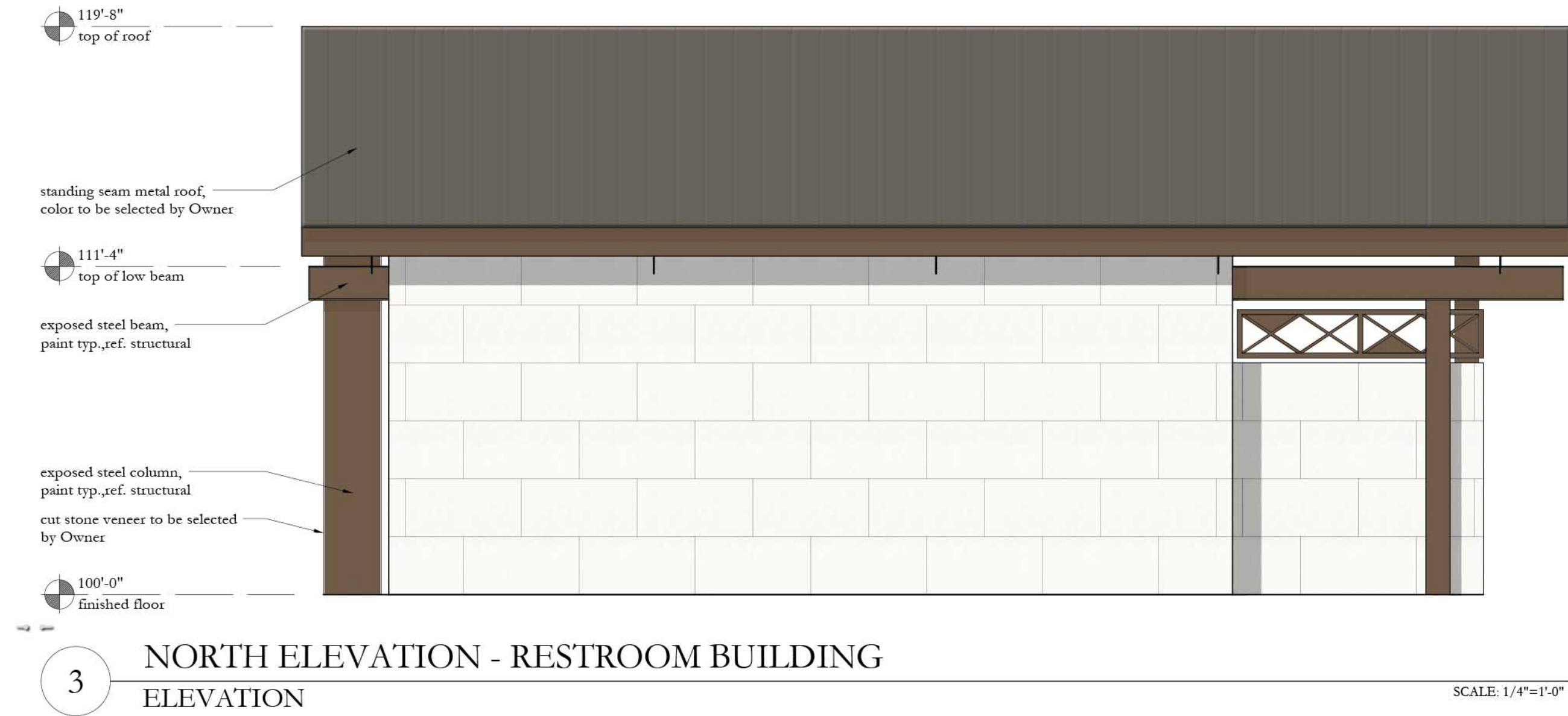
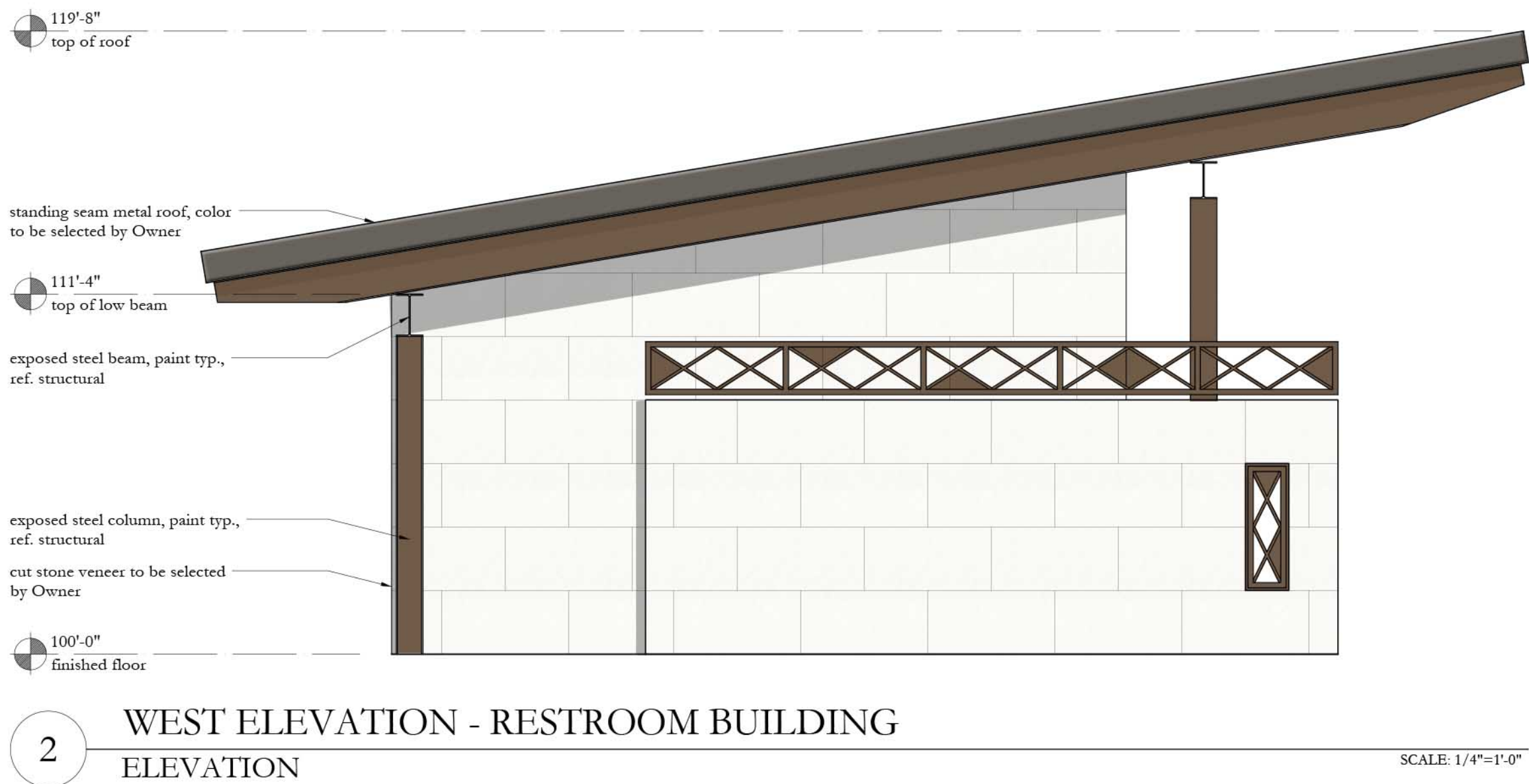
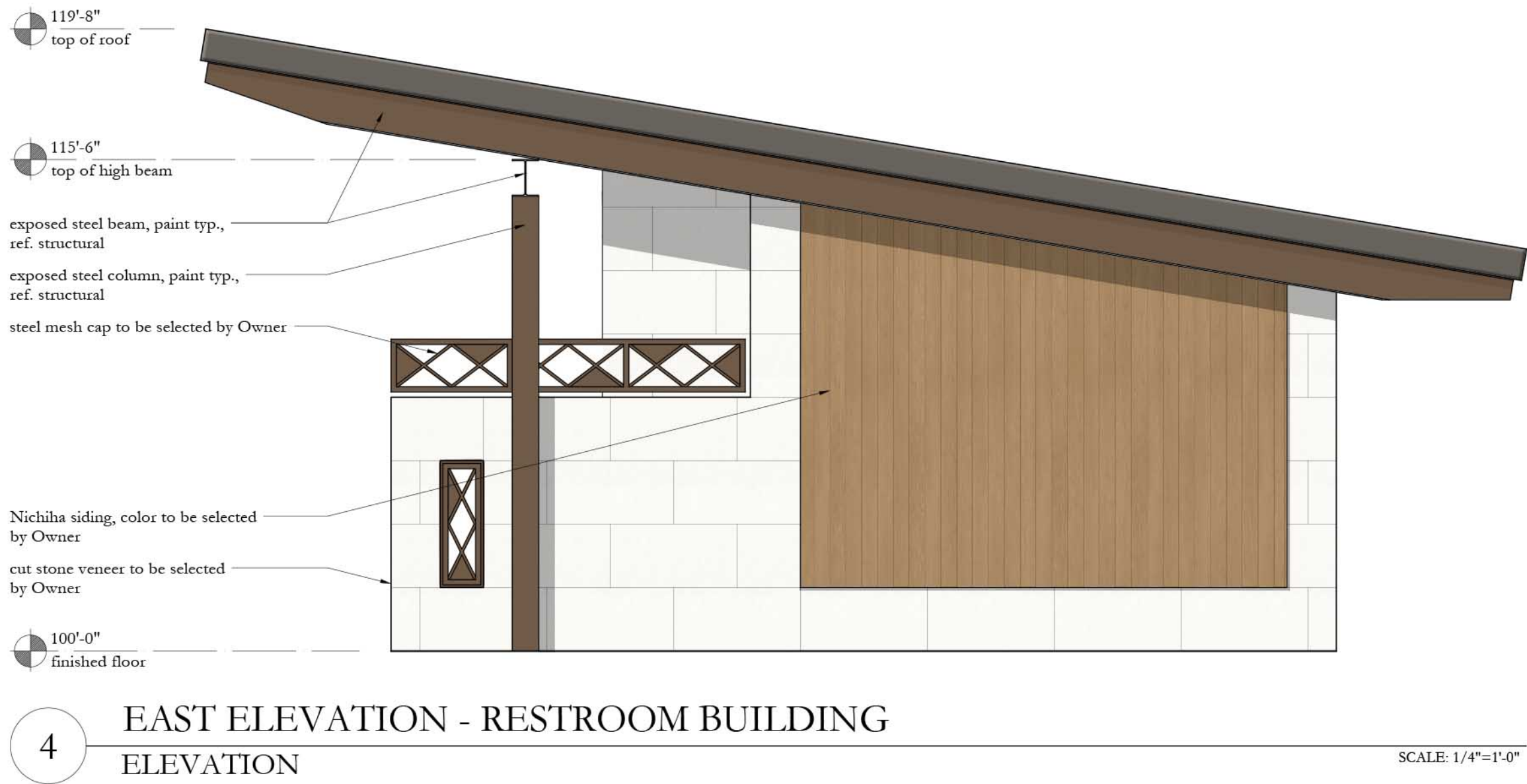
TM TERRACES, LLC
4416 W. LOVERS LANE SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431
CONTACT: BOBBY HARRELL
BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI
CODY.JOHNSON@JOHNSONVOLK.COM



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APPROVED:
I hereby certify that the above and foregoing site plan for a development
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Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.	-	385 S.F.	-	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	187 S.F.	48.57%	-	-
SECONDARY MATERIALS	-	-	165 S.F.	30.84%	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	165 S.F.	30.84%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	-	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								

TERRACES
AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

AMENITY CENTER FACILITY
EXTERIOR ELEVATIONS - RESTROOM
BUILDING

SCALE:
REFER TO PLANS

One Inch

JVC No JVC022

A3.00 - SD

JOHNSON VOLK
CONSULTING

TBPELE Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.5100

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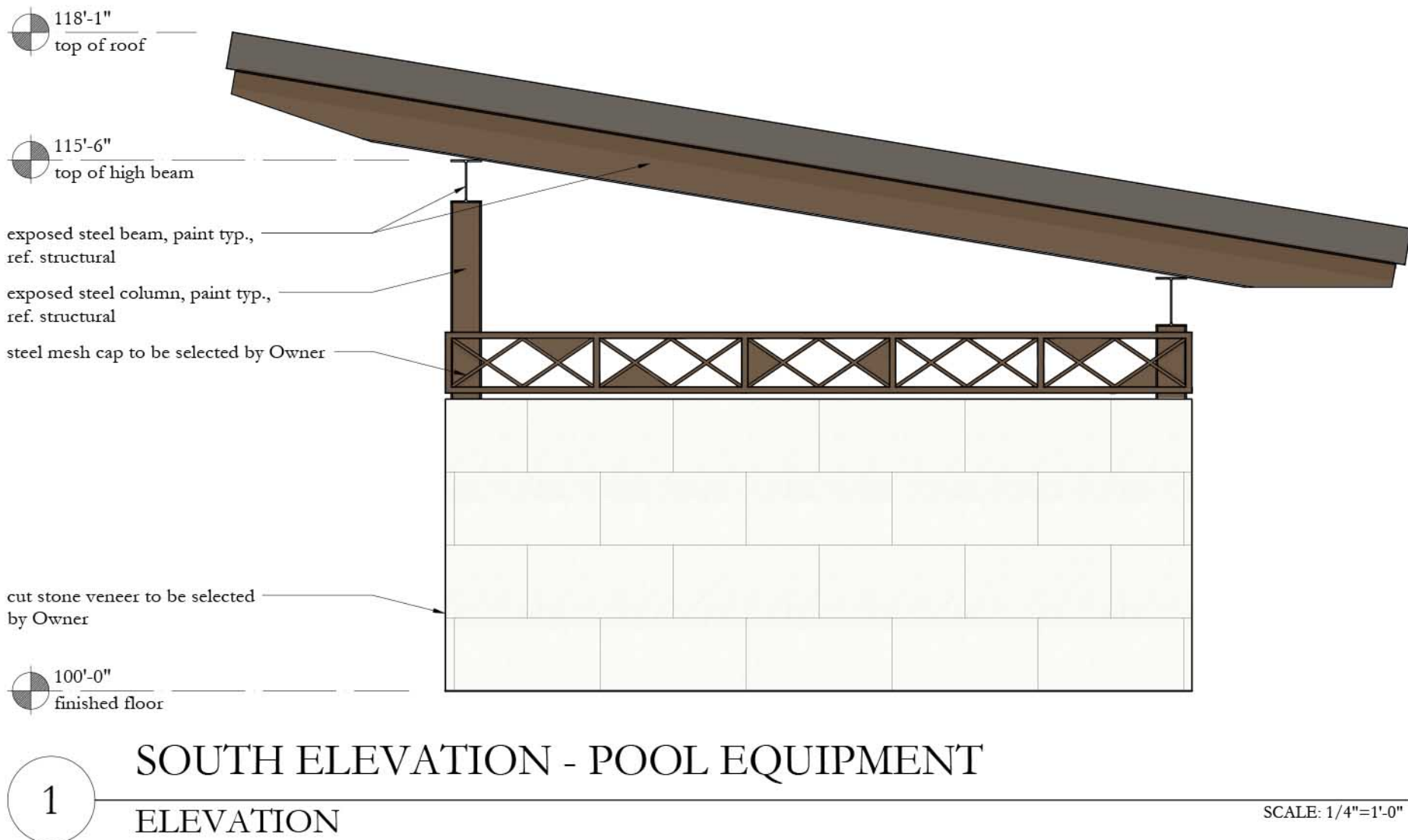
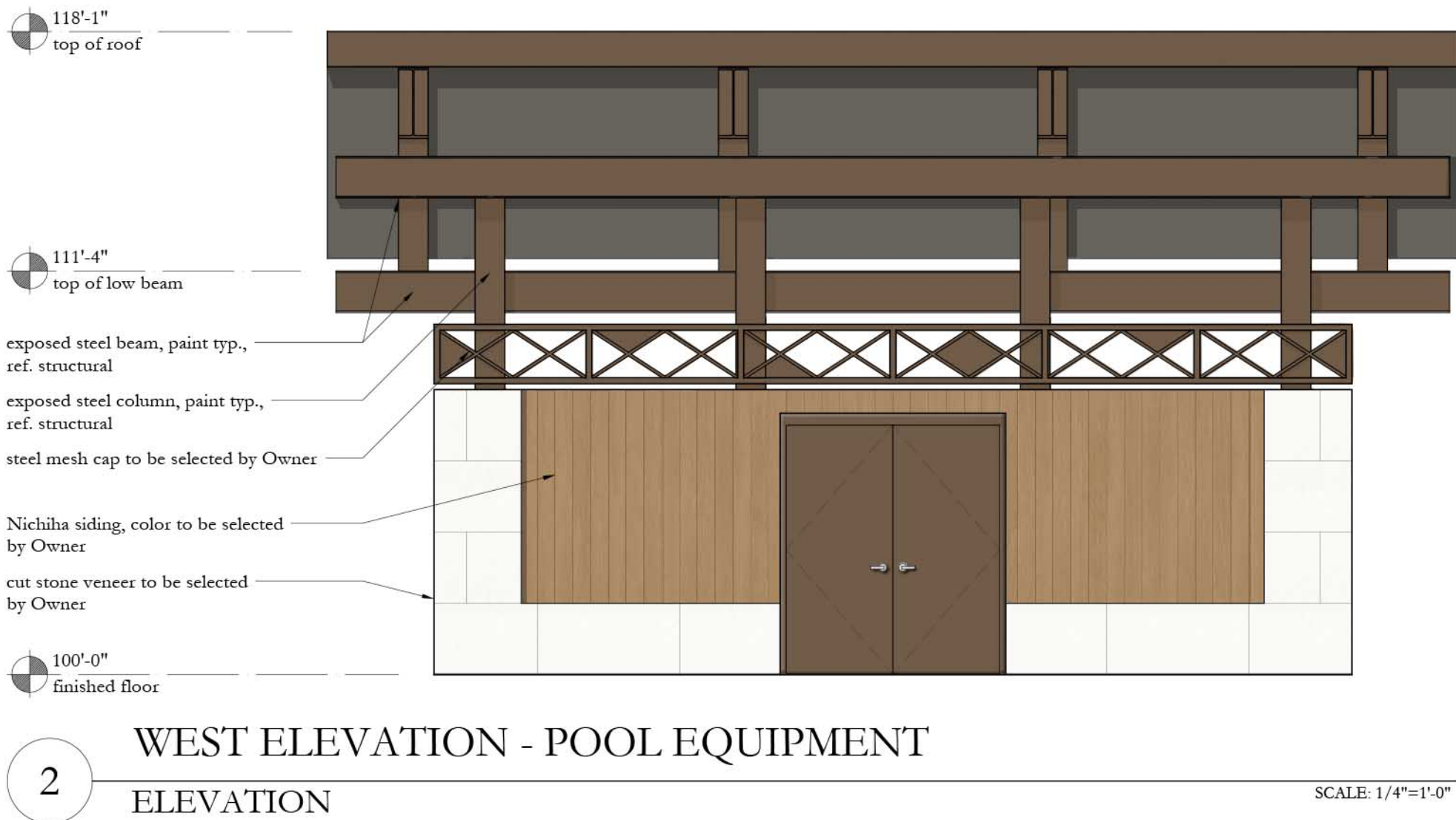
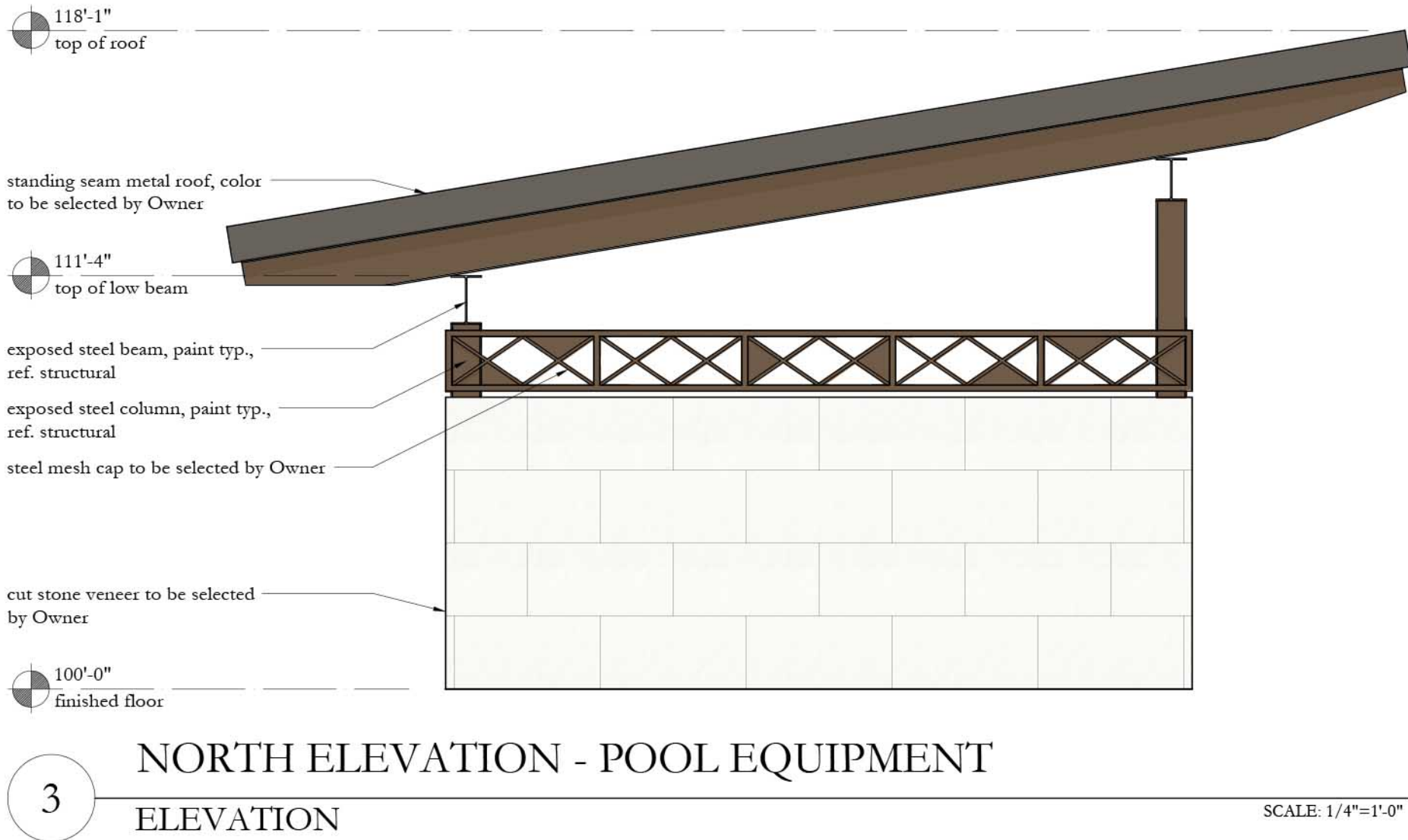
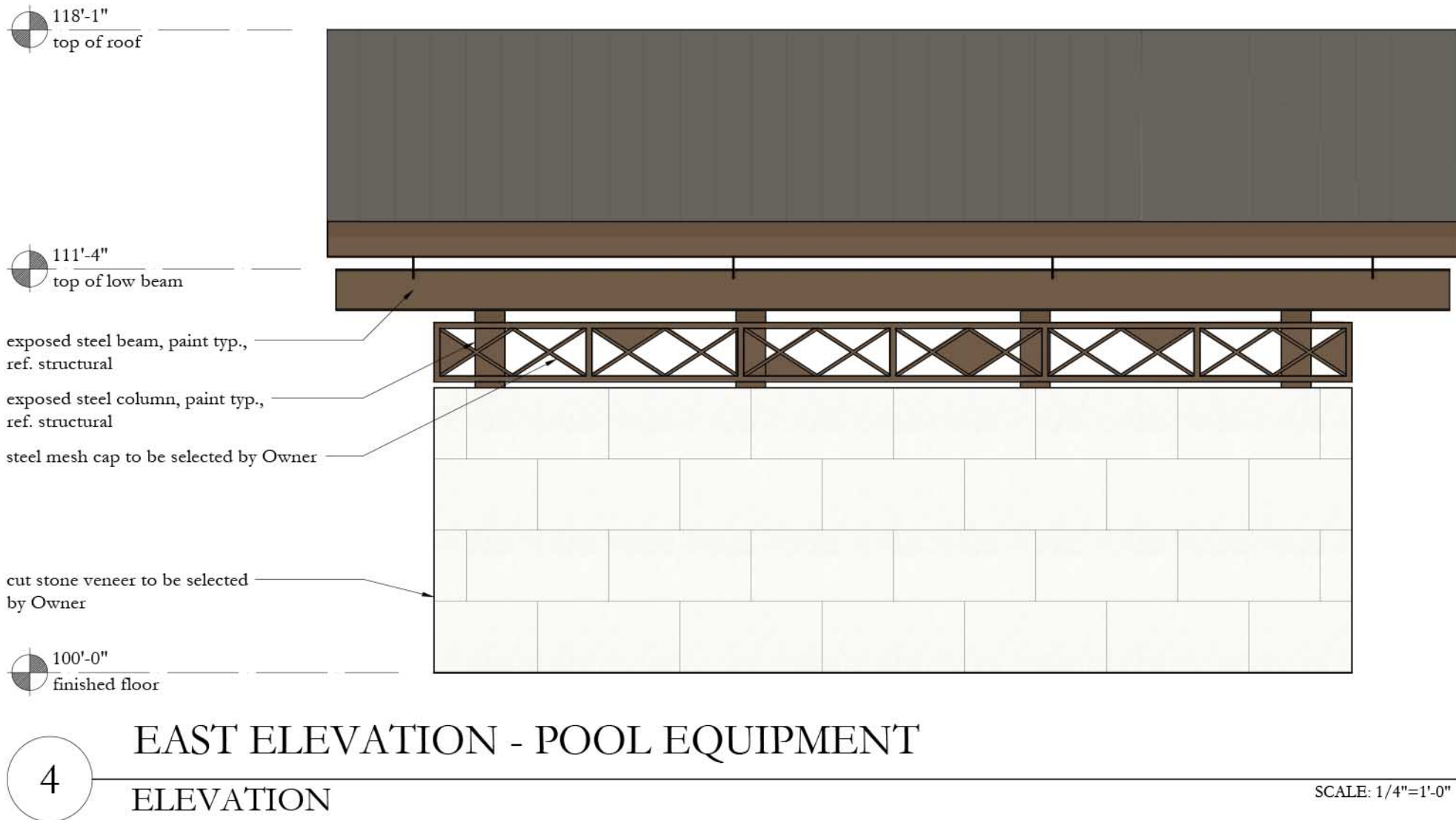
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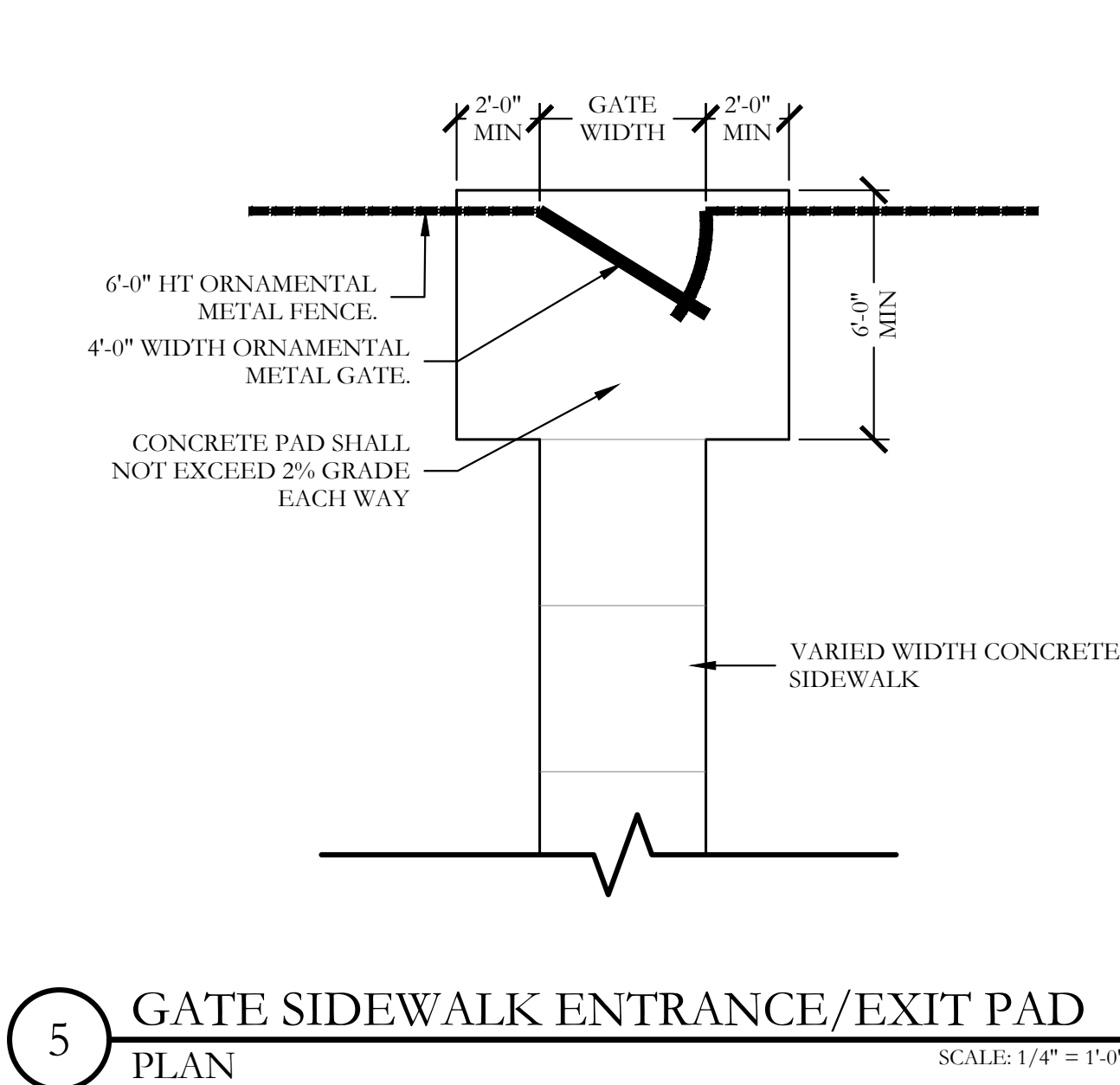
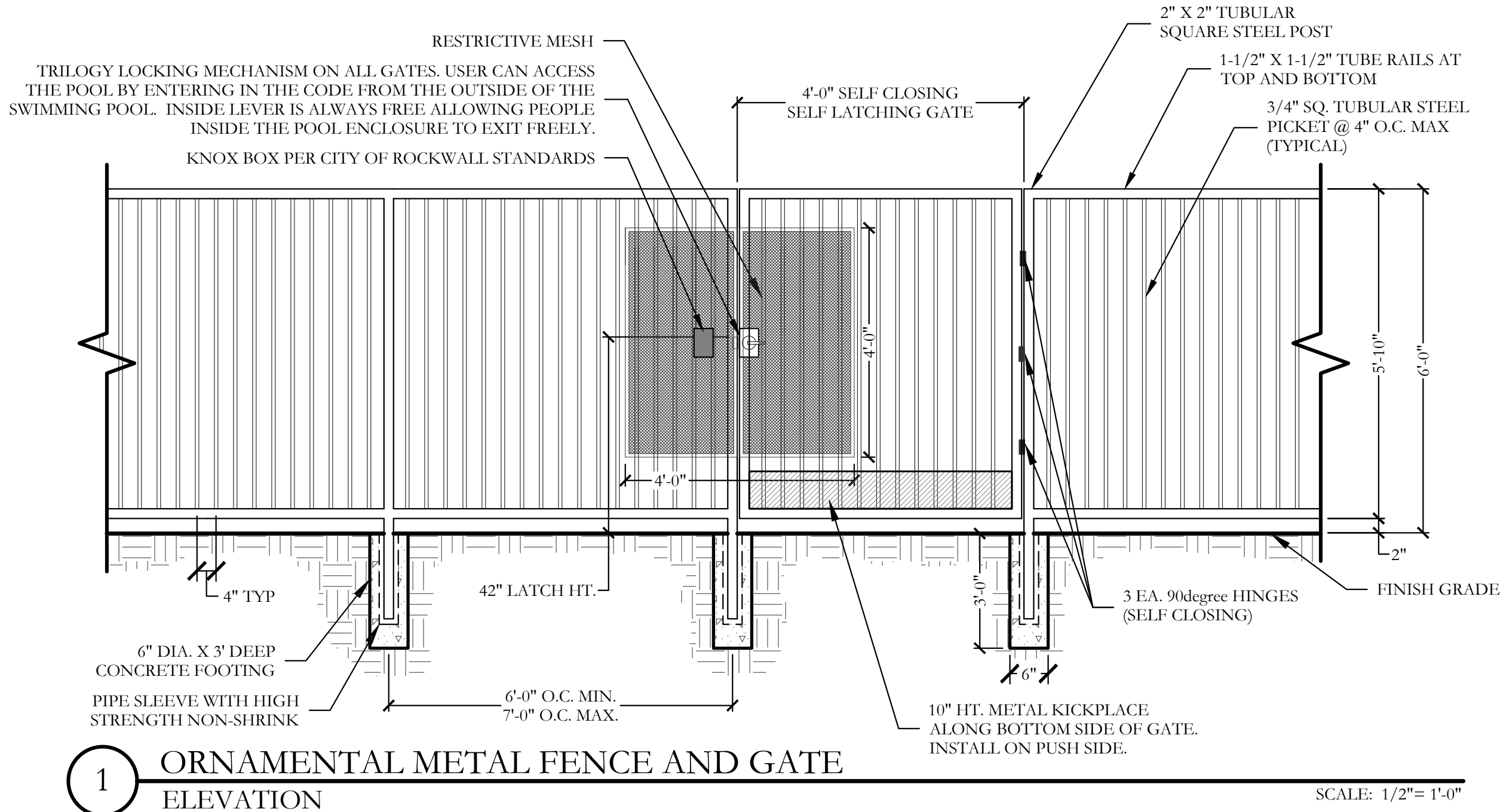
WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	164 S.F.	-	164 S.F.	-	206 S.F.	-	206 S.F.	-
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	-	-	91 S.F.	56.87%
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	46 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								





5 GATE SIDEWALK ENTRANCE/EXIT PAD PLAN SCALE: 1/4\"= 1'-0"

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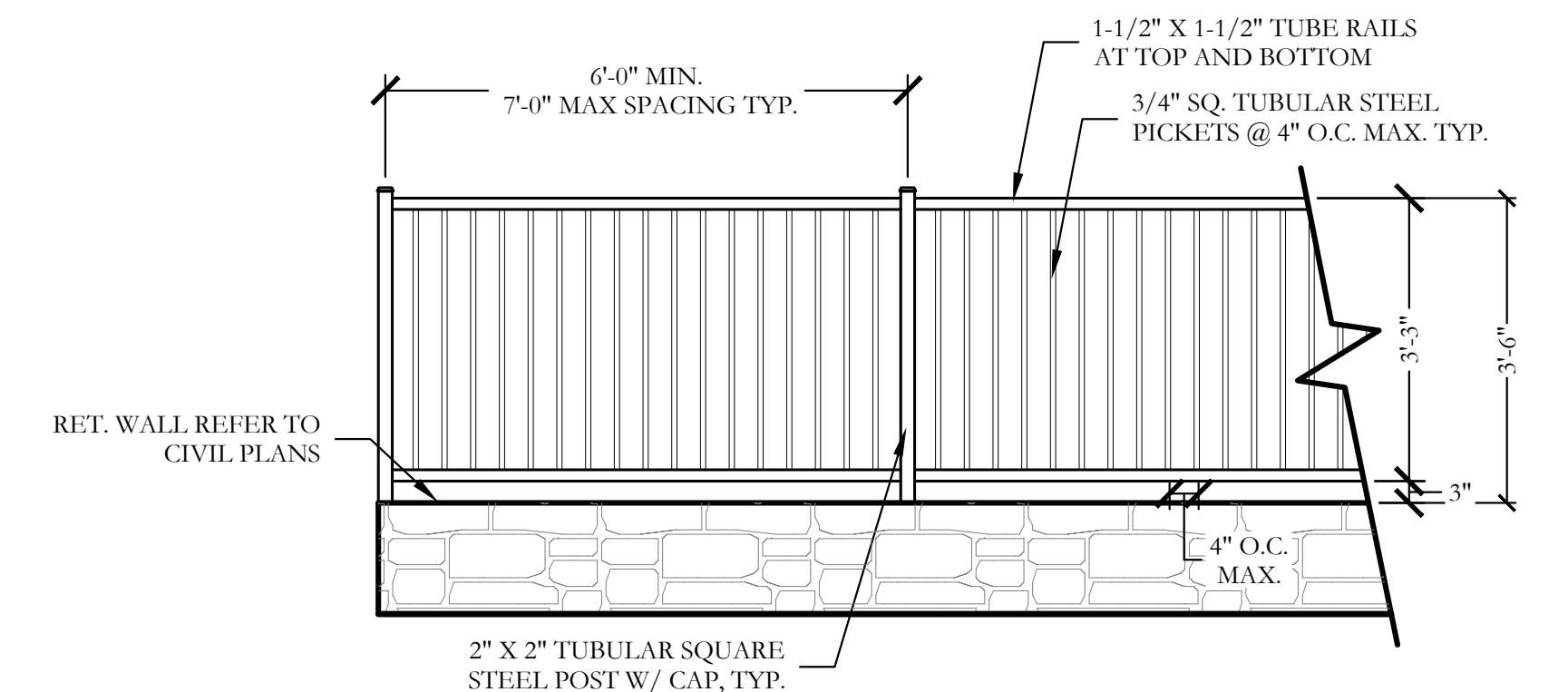
WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

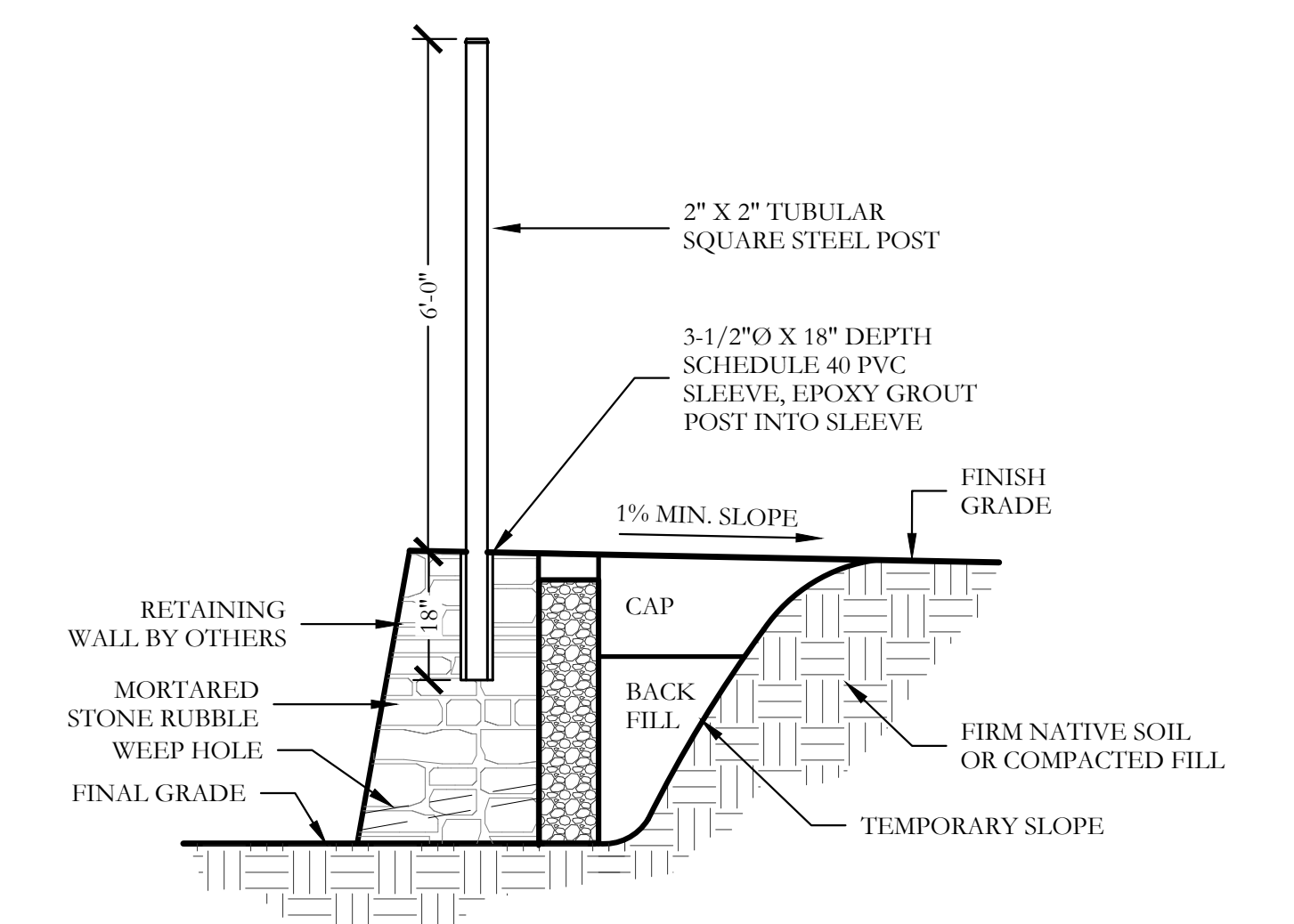
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

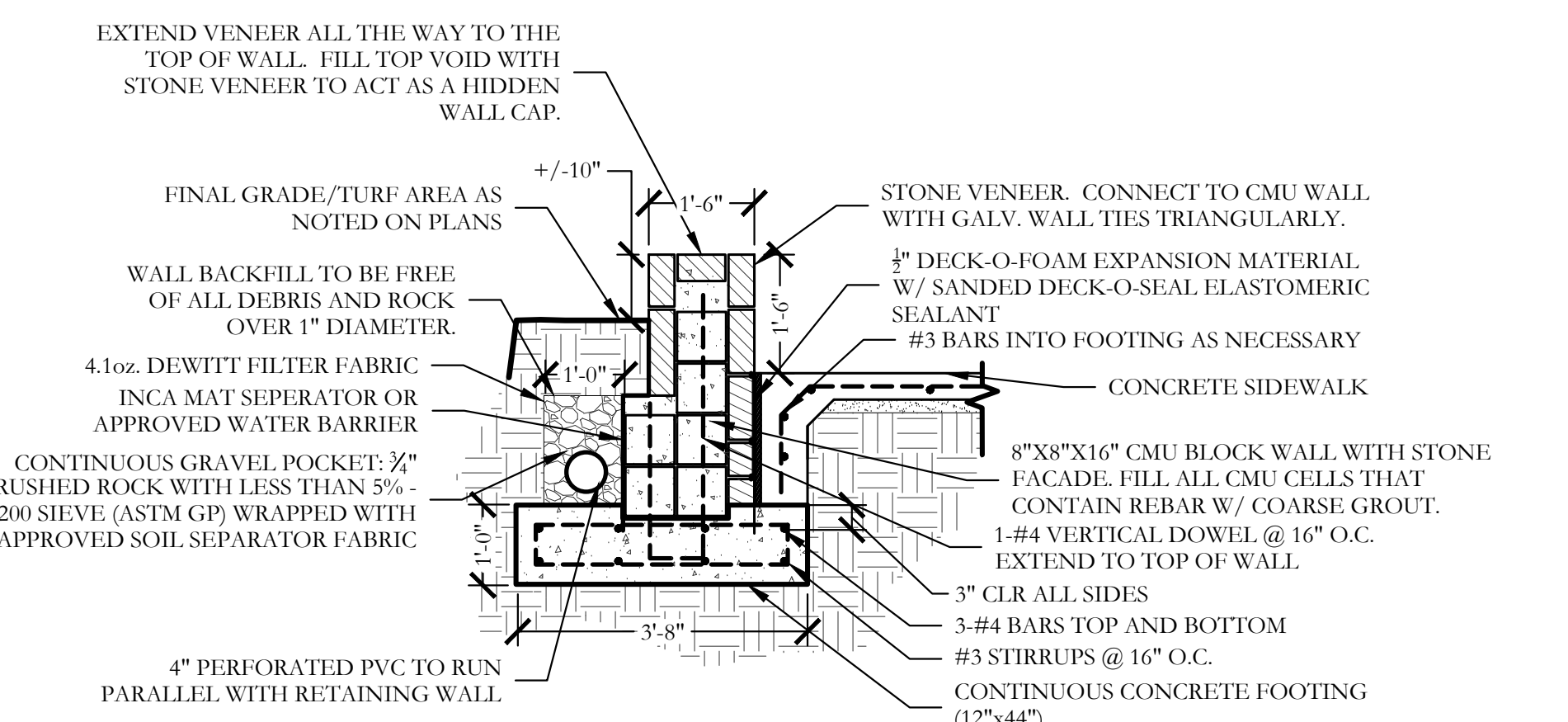


6 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL ELEVATION SCALE: 1/2\"=1'-0"

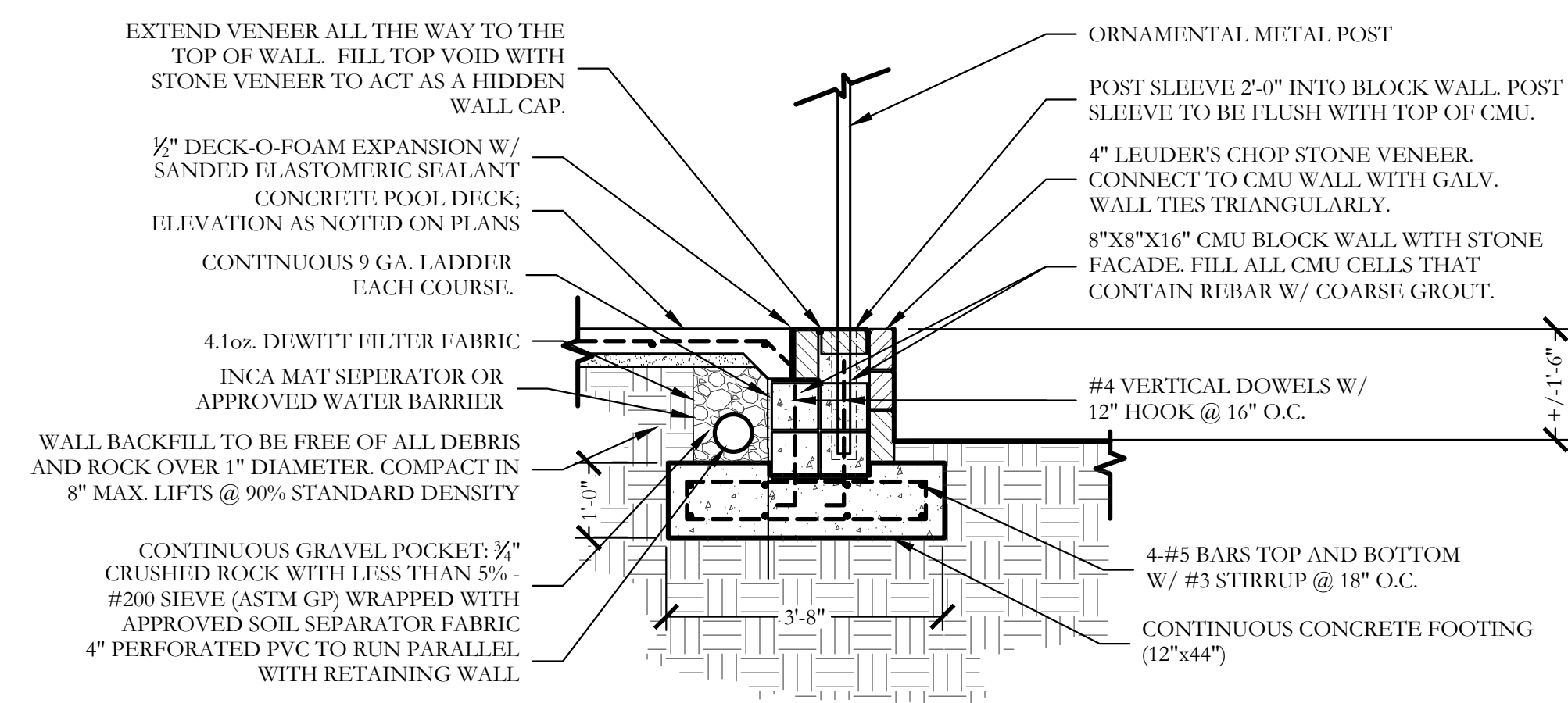


2 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

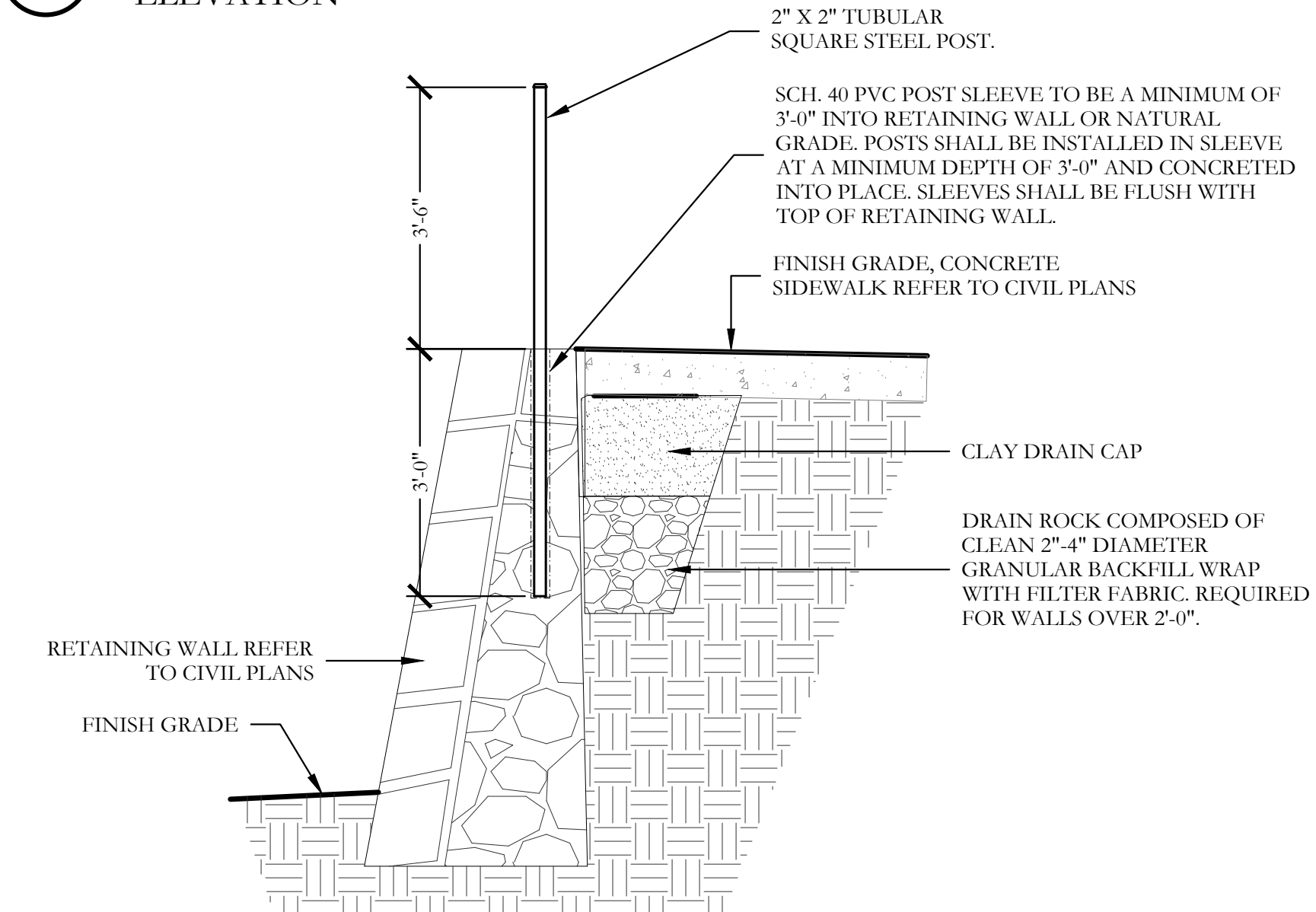
- ### ORNAMENTAL METAL FENCE NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
 - ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
 - ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
 - PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
 - ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
 - ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
 - FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
 - CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
 - GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
 - POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
 - POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
 - LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
 - RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



3 VARYING HT. STONE RETAINING/SEAT WALL SECTION SCALE: 1/2\"=1'-0"



4 RETAINING WALL W/ POOL DECK SECTION SCALE: 1/2\"=1'-0"



7 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

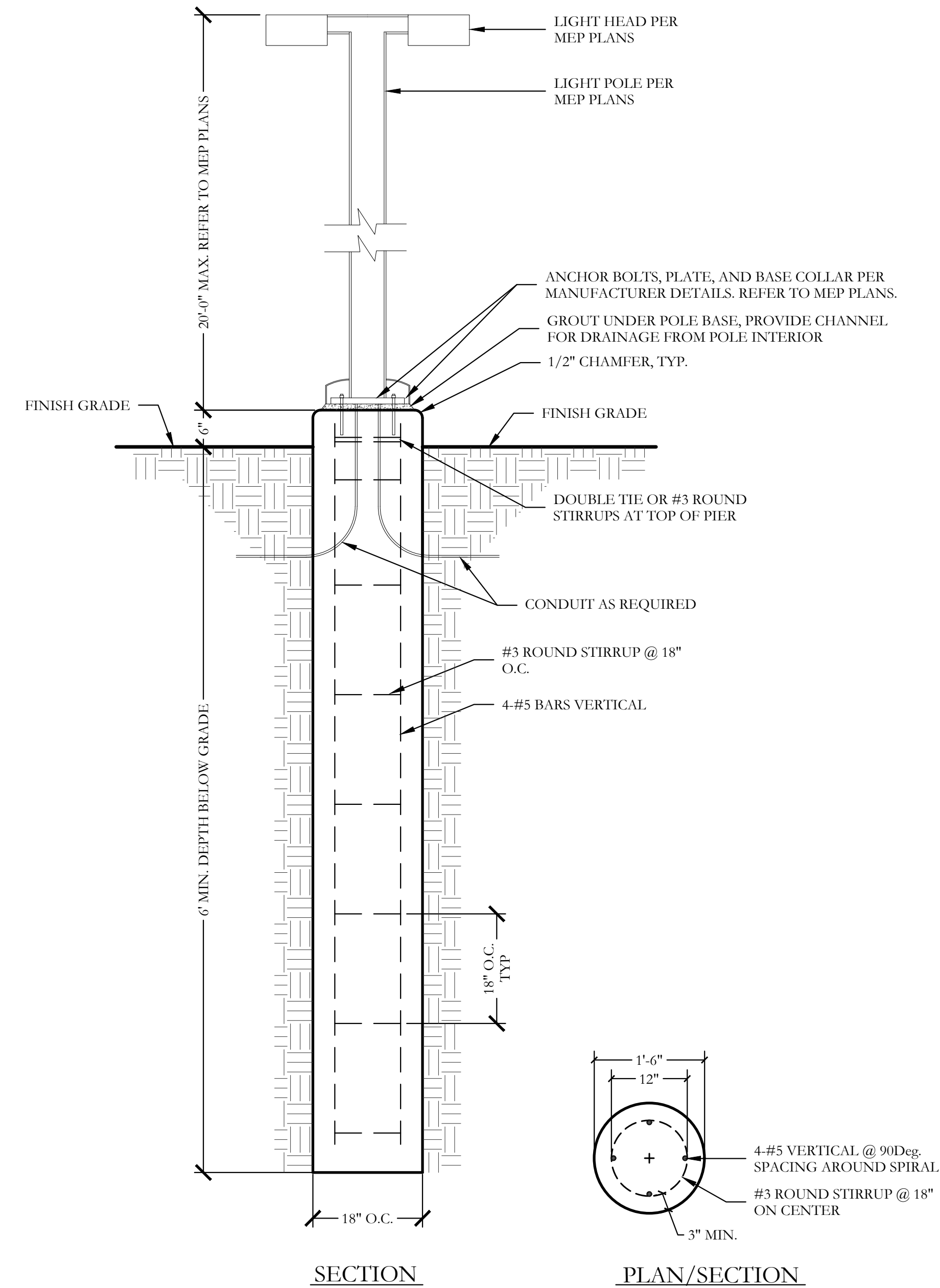
- ### RET. WALL NOTES
- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER.
 - VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'.
 - BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF ORGANIC DEBRIS.
 - DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.
 - MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF FY=60KSI PER ASTM A615.
 - BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR PROPER MAINTENANCE OF ALL STRUCTURES.

TERRACES
AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SITE DETAILS

THESE
DOCUMENTS
ARE FOR
INTERIM REVIEW
ONLY AND NOT
INTENDED FOR
CONSTRUCTION
OR BIDDING
PURPOSES.

SCALE:
REFER TO
DETAILS
L
One Inch
JVC No JVC0



1 LIGHT POLE WITHIN POOL AREA
PLAN/SECTION

SCALE: 3/4" = 1'-0'


APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

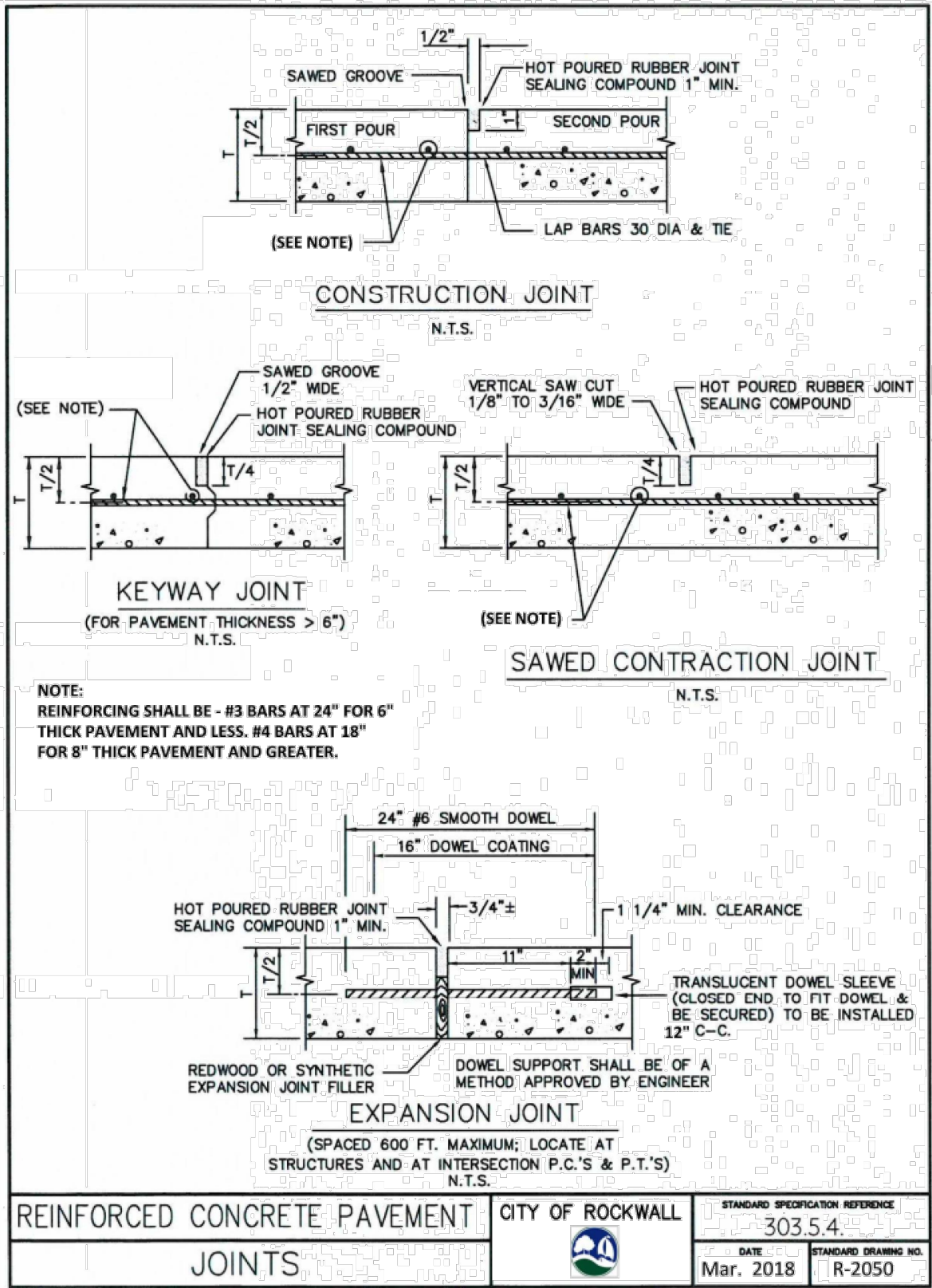
WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

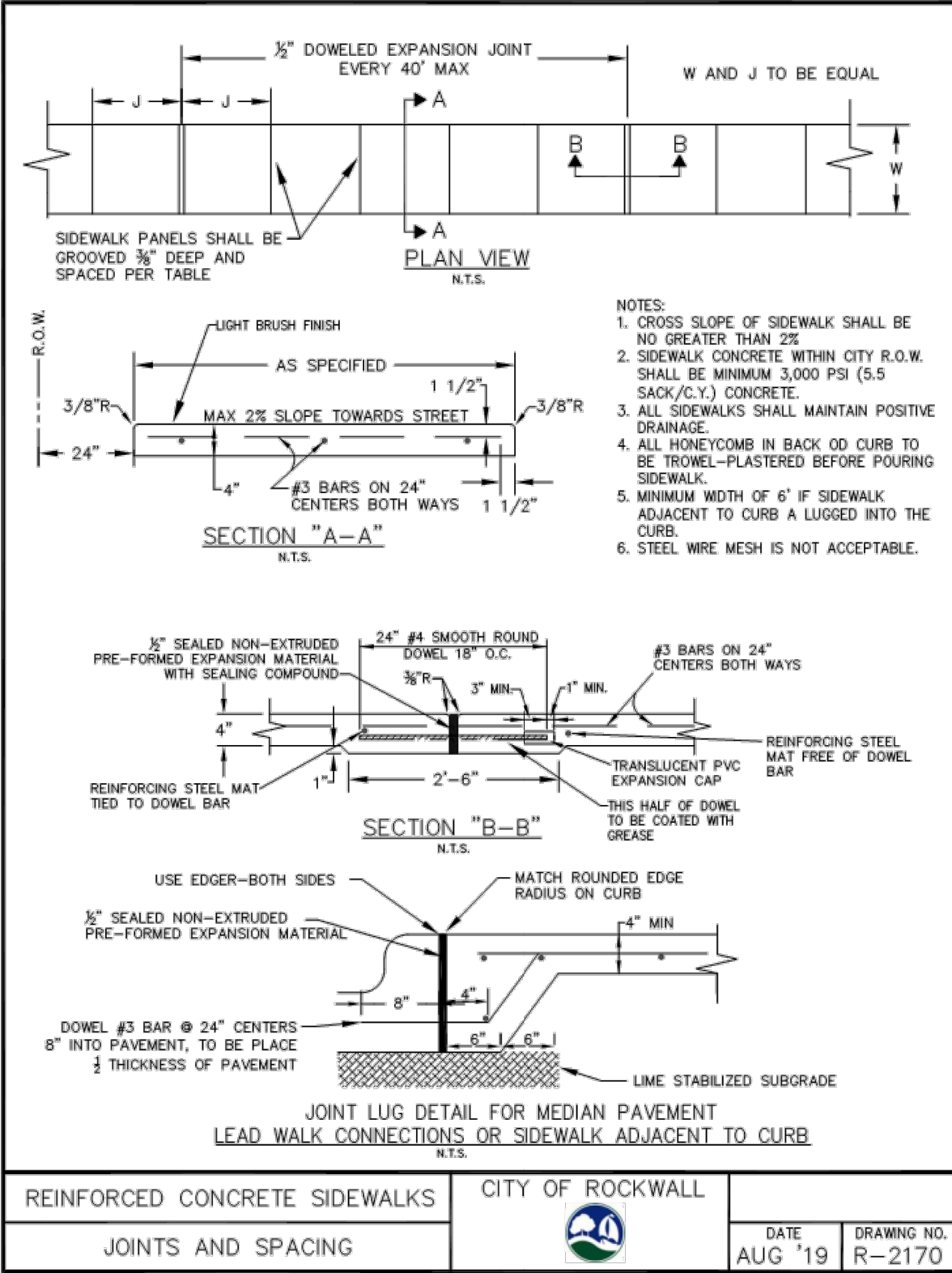
Director of Planning and Zoning

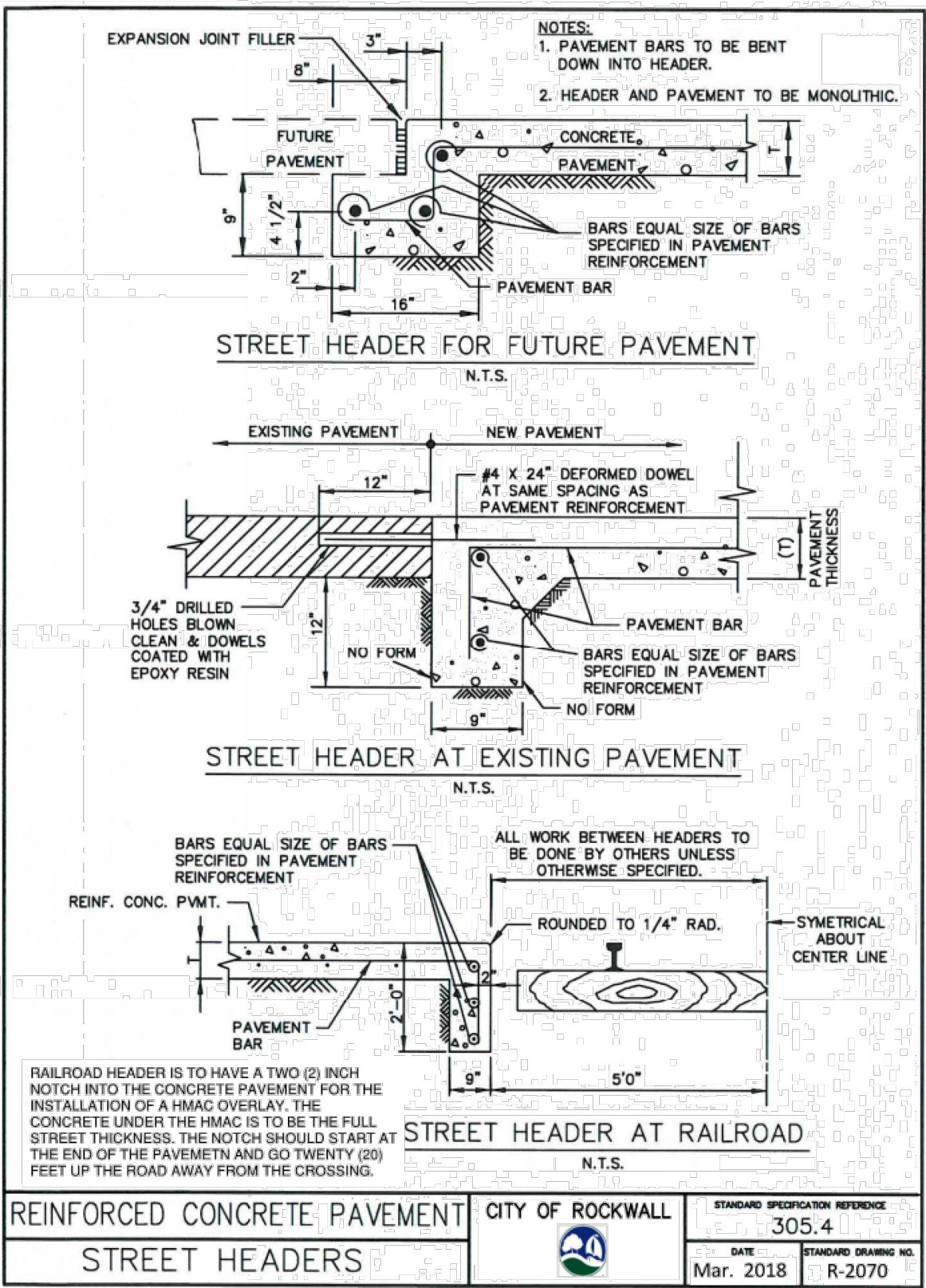
\\ncpl\p\landscape\GIS\GIS\GIS\projects\lrv021\dwg\lrv022-sp.dwg



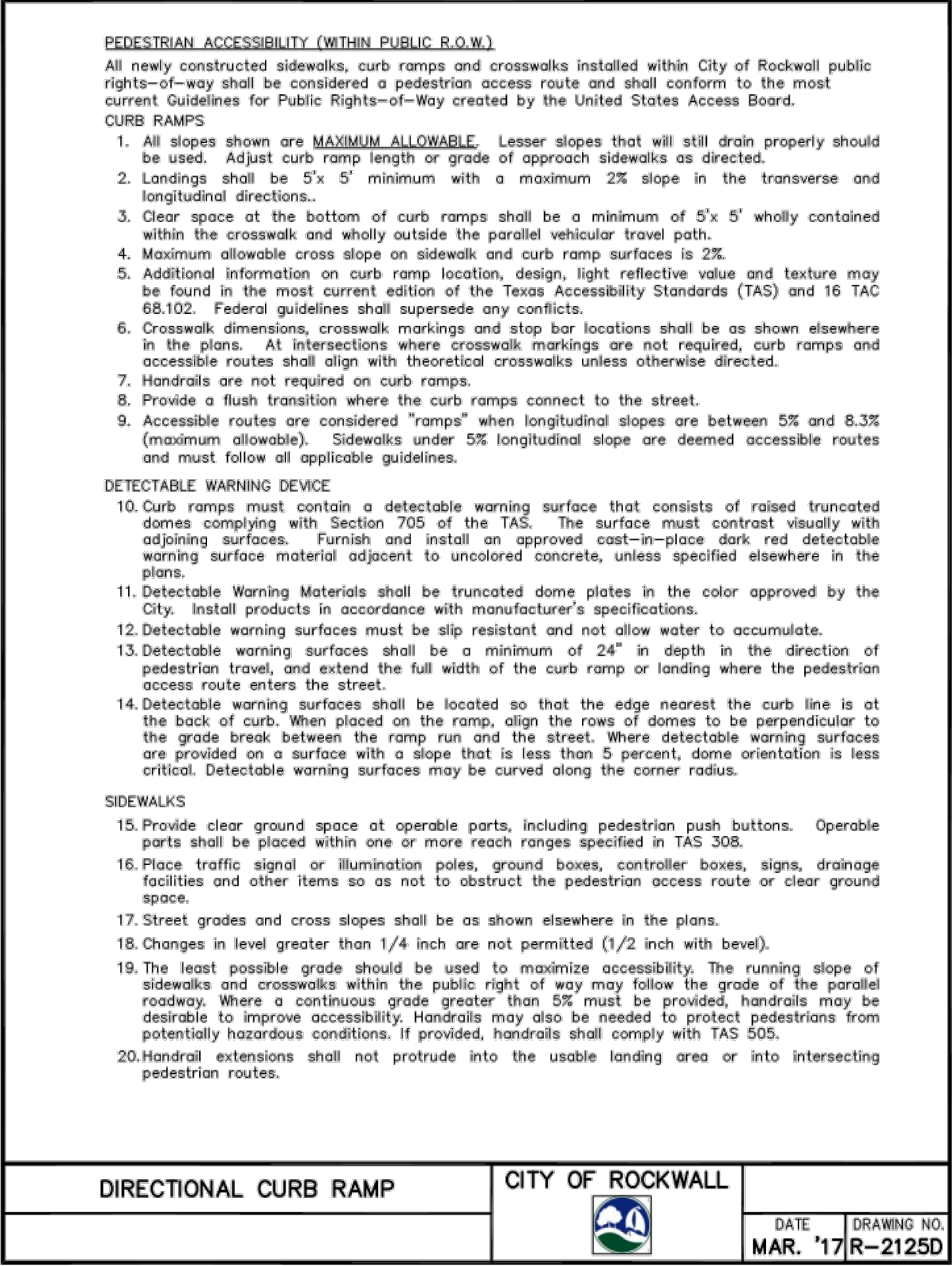
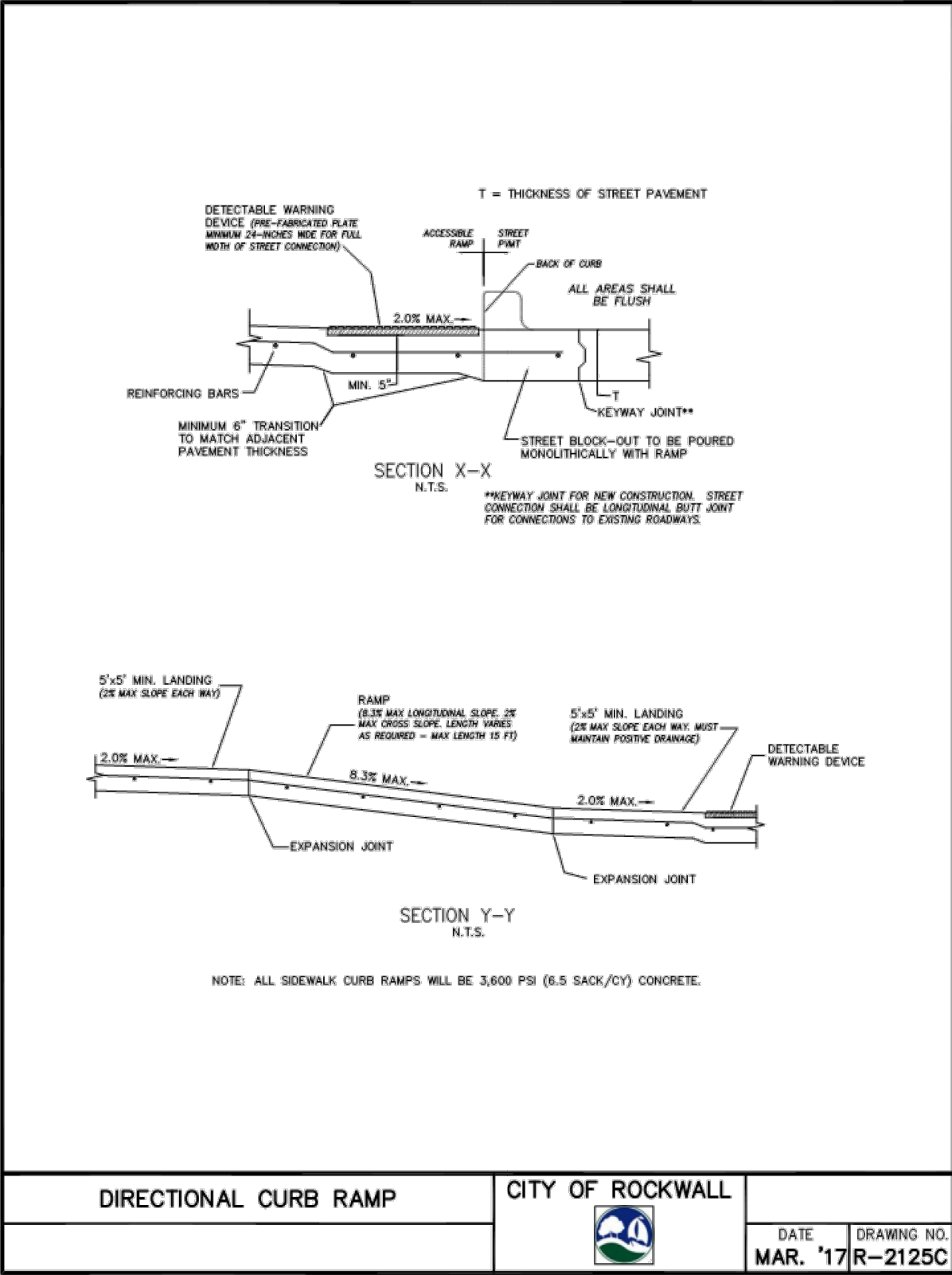
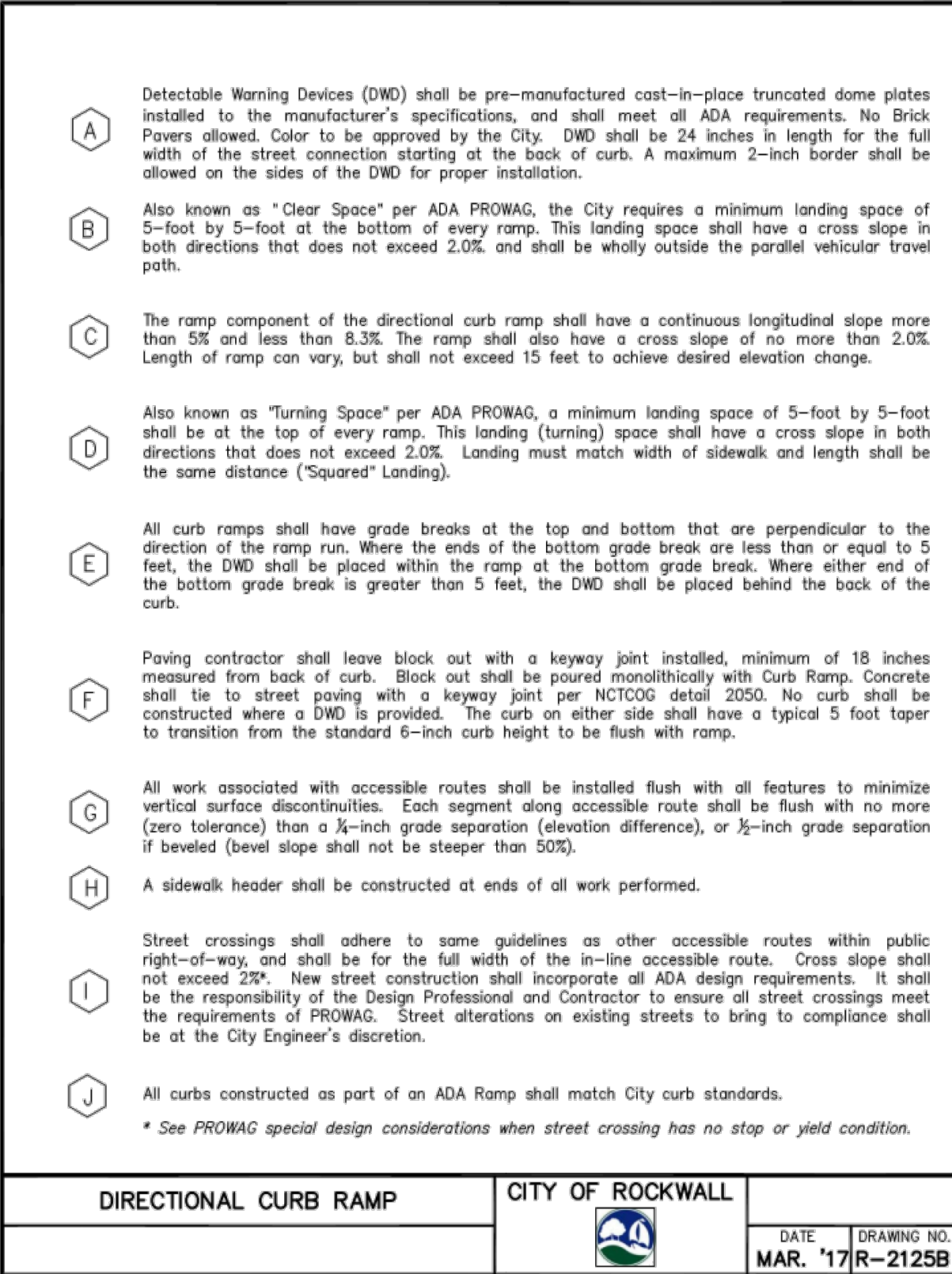
Page 266



Page 277



Page 268



APPROVED:
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WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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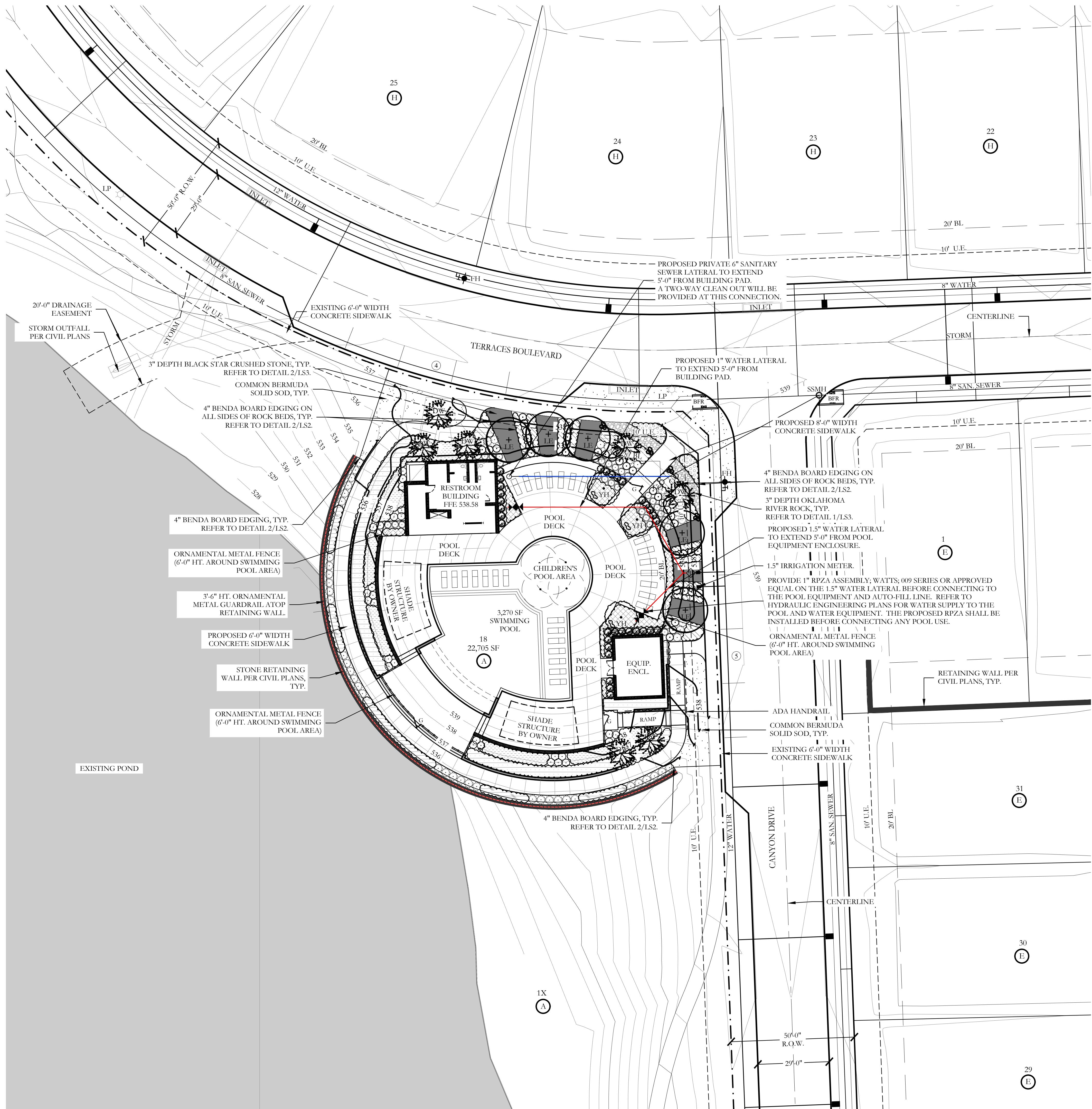
June 14, 2024

SCALE: REFER TO DETAILS

One Inch

JVC No JVC022

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	¾-1" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 (1,652/22,705)
LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

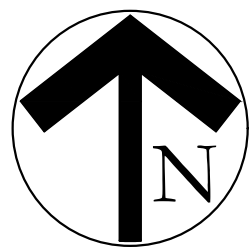
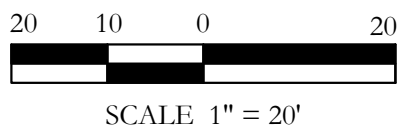
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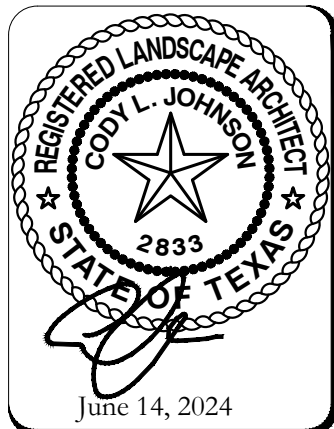
WITNESS OUR HANDS, this ____ day of ____, ____.

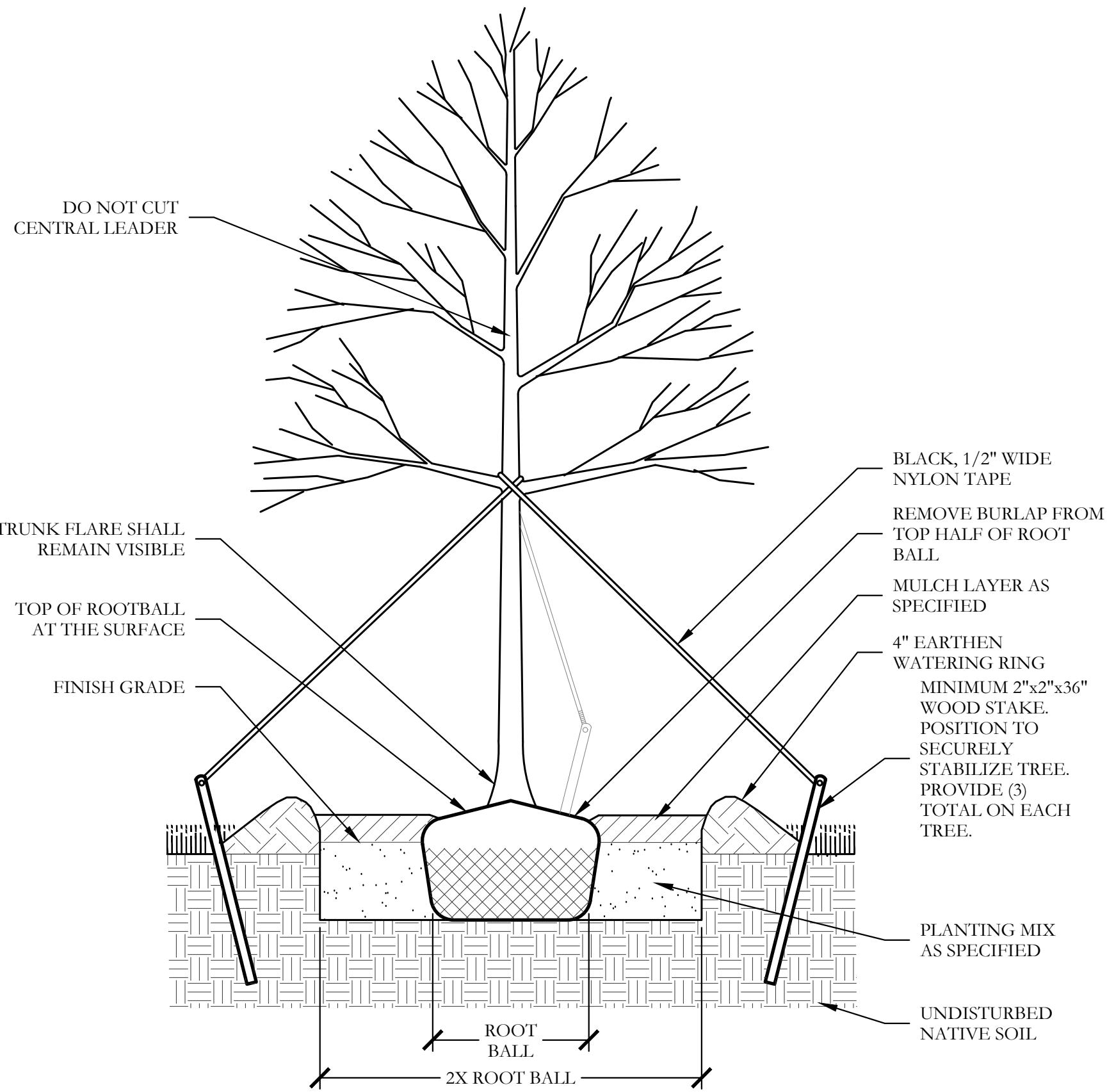
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

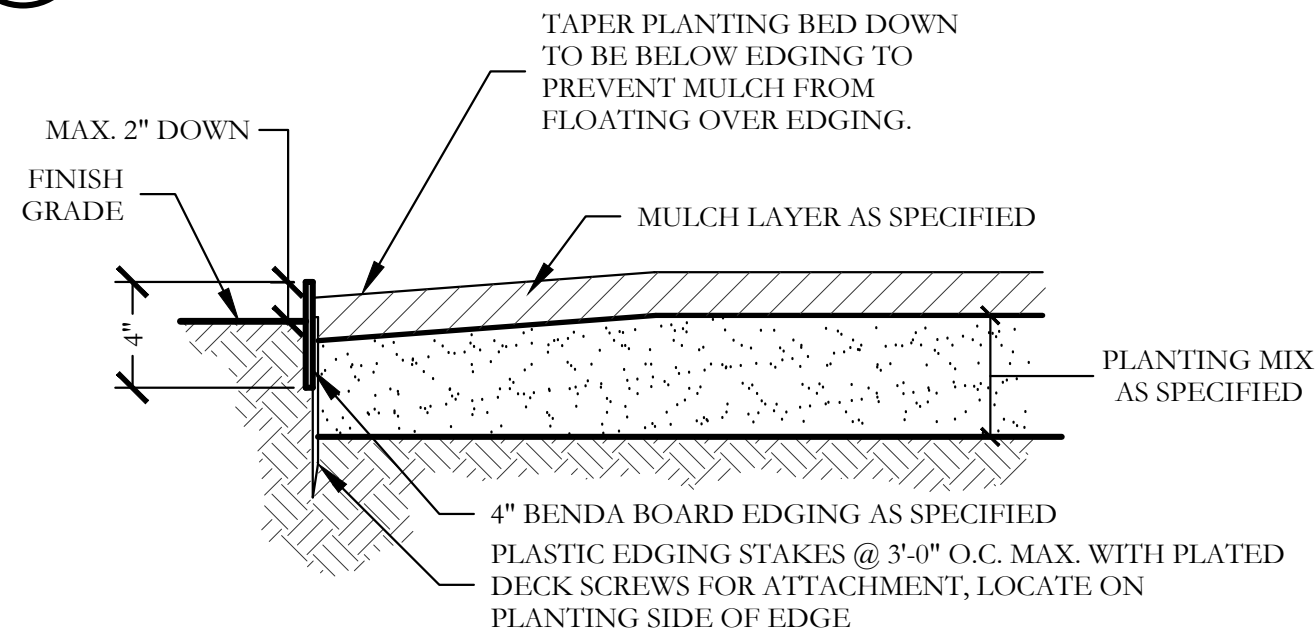


SCALE:
1" = 20'
One Inch
JVC No JVC022

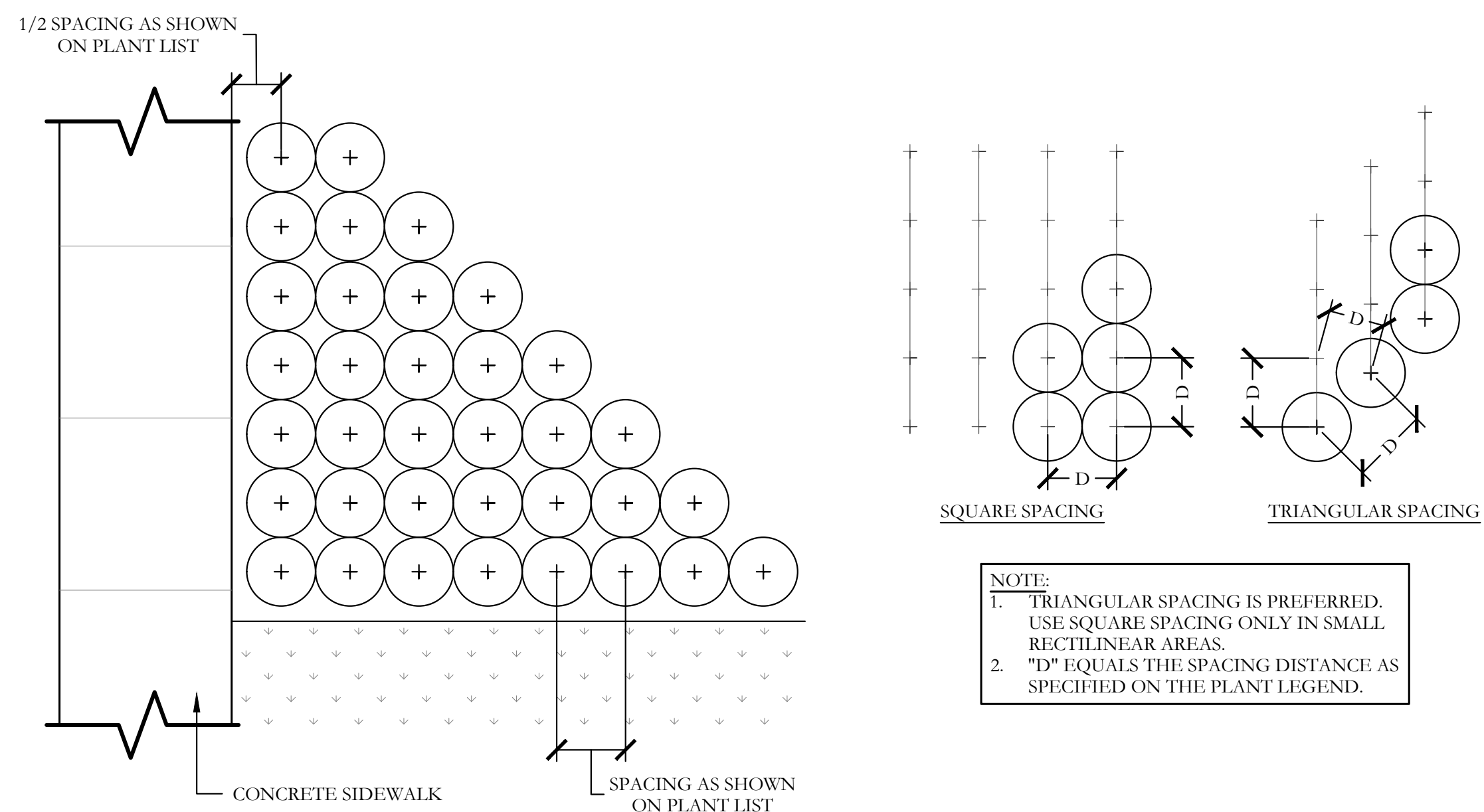




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	32	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	DWARF WAX MYRTLE	MYRTICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	410	MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1/2" AND 2/4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

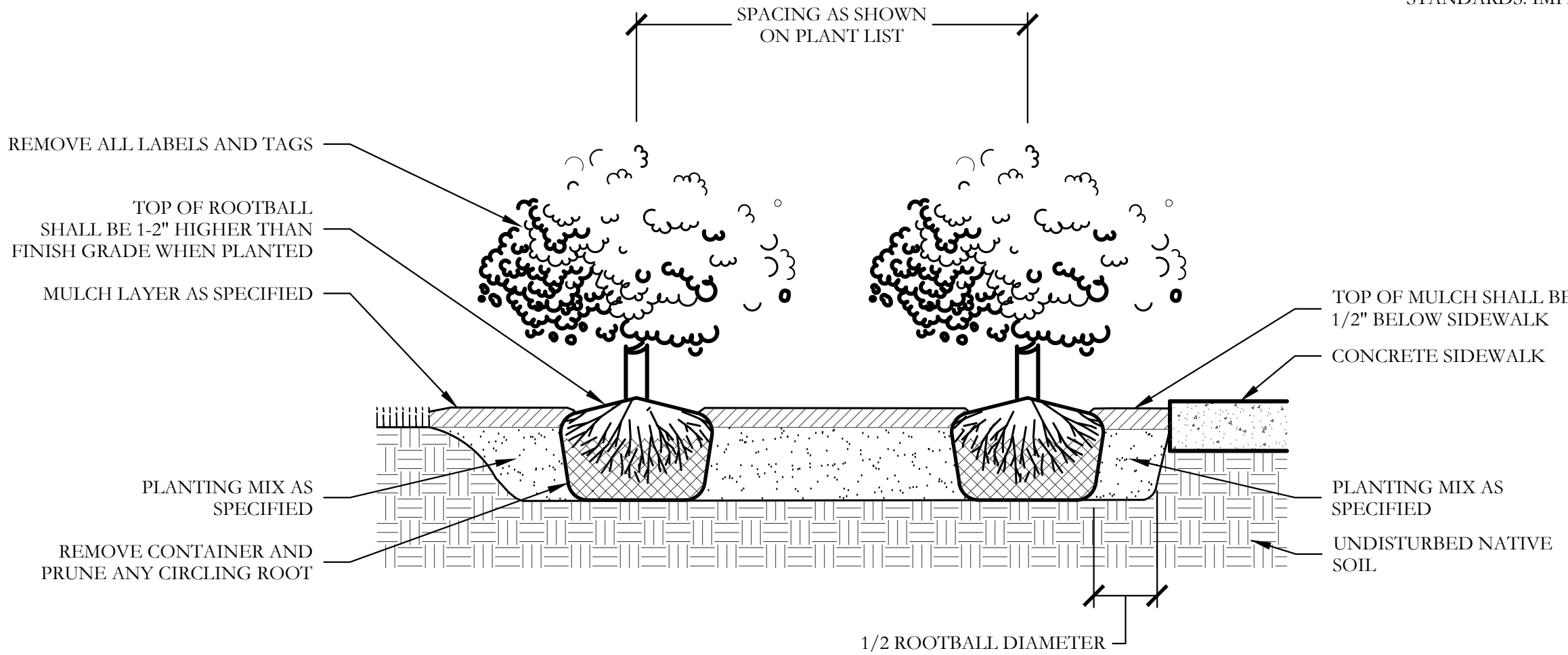
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDIED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

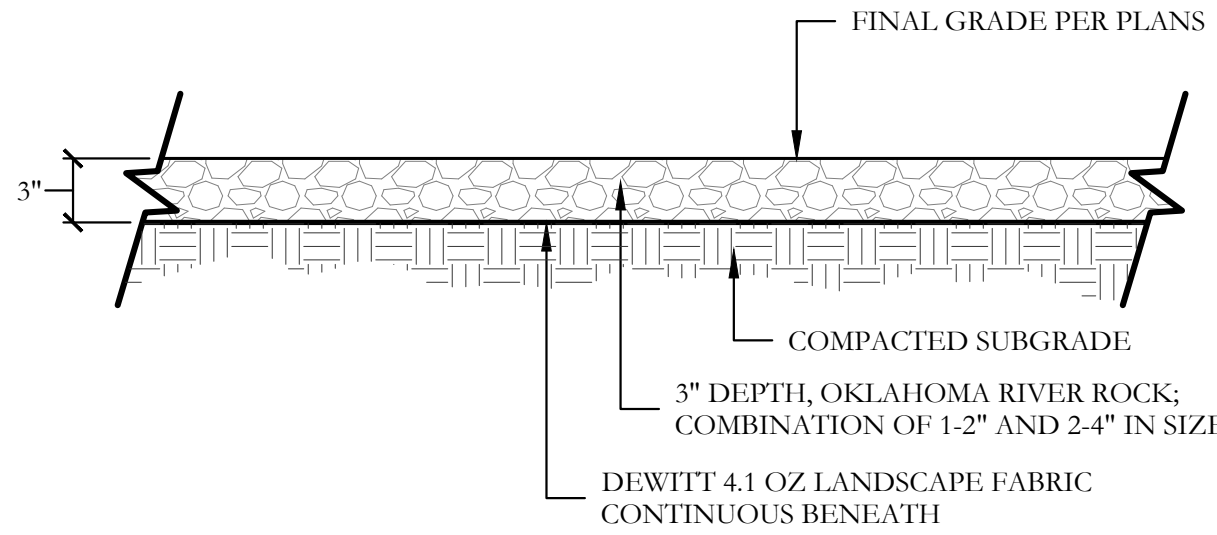
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

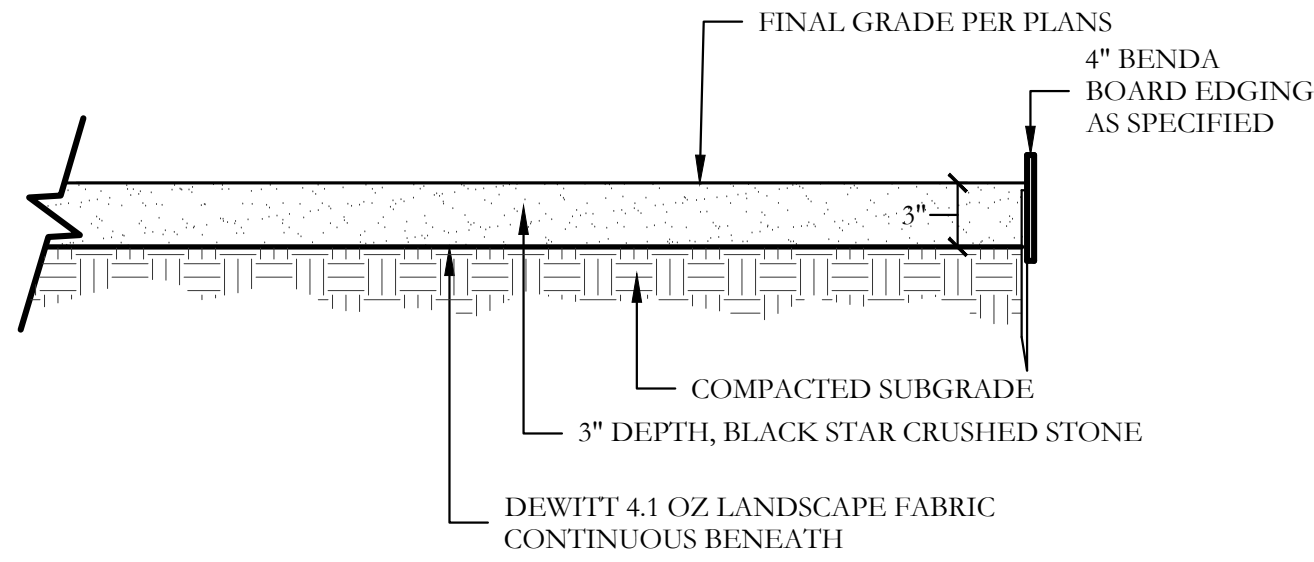
WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

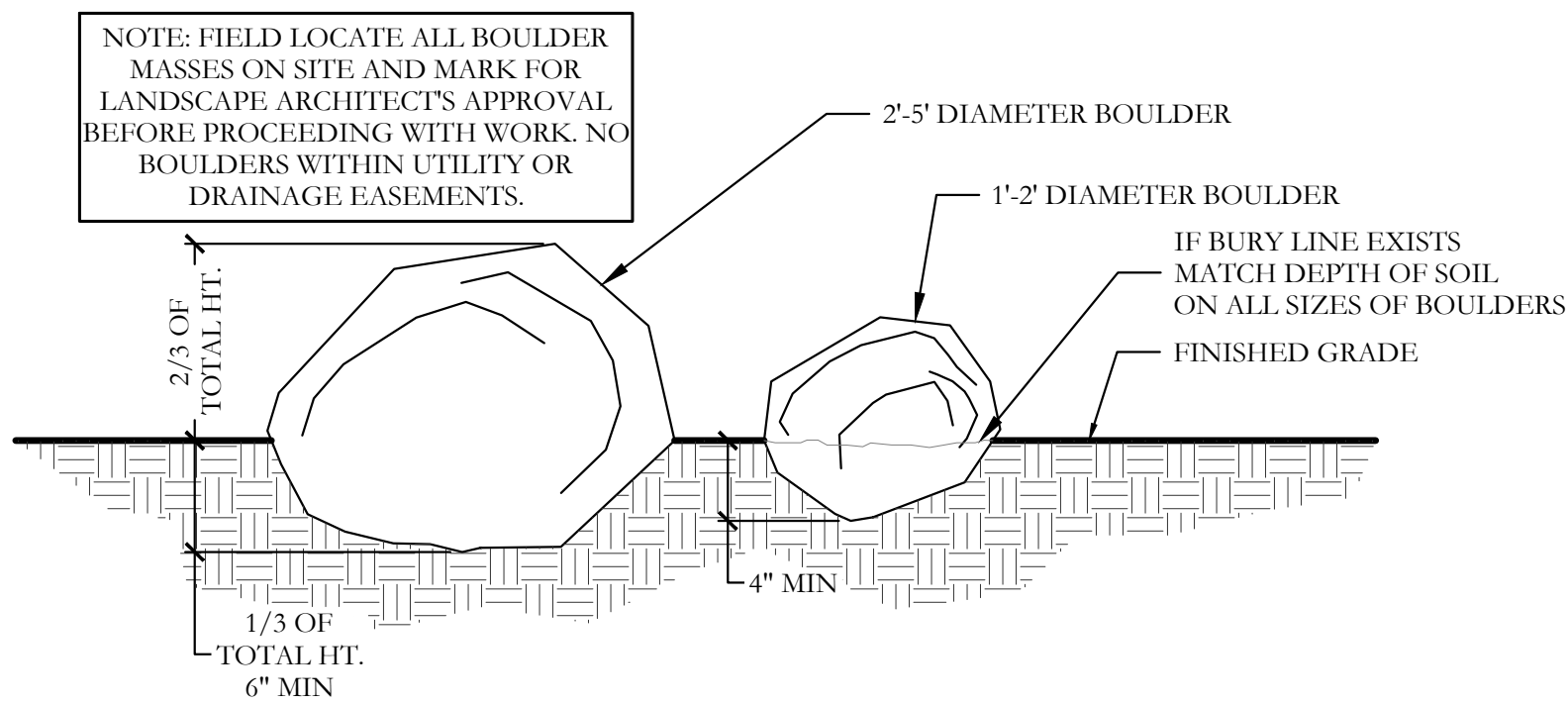
Director of Planning and Zoning



1 OKLAHOMA RIVER ROCK BED
SECTION
SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL
SECTION
SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL
SECTION
NOT TO SCALE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY OF
ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR
CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR
ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:
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in the City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Senior Planner*

DATE: July 9, 2024

SUBJECT: SP2024-033; *PD Site Plan for the Terraces Subdivision Amenity Center*

The applicant, Cody Johnson of Johnson Volk Consulting, is requesting the approval of a site plan for the amenity center within the Terraces Subdivision. The Terraces Subdivision is situated on a 115.80-acre tract of land (*i.e. Tracts 10-02, 10-03, 13, 25, 25-01, & 26 of the W. Dalton Survey, Abstract No. 72; Tracts 4 & 4-01, of the M. B. Jones Survey, Abstract No. 122*) that is generally located east of N. John King Boulevard between FM-1141 and E. SH-66. Phase 1 and Phase 2 of the Terraces Subdivision was approved for a *Final Plat* [Case No. P2023-007 & P2024-011] and a *PD Site Plan* [Case No. SP2023-012 & SP2024-016] in accordance with the submittal schedule contained in the Planned Development District ordinance. As part of this site plan application, the applicant has submitted a site plan, landscape plan, hardscape plan, and building elevations for the proposed amenity center.

The site plan submitted by the applicant indicates a restroom building, equipment building, two (2) shade structures, swimming pool, and parking lot will be constructed on the subject property. The landscape plan shows that all of the required landscaping as stipulated by the Planned Development District ordinance will be provided, and that the pool equipment will be screened in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). The hardscape plan details the location of all sidewalks and trails, the pool, and each fence types associated with the development. The submitted site plan, landscape plan, hardscape plan, and building elevations all conform to the applicable technical requirements contained in Planned Development District 93 (PD-93) and the Unified Development Code (UDC). Since the proposed site plan conforms to the technical requirements, this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 9, 2024 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Amenity Center within Terraces

SUBDIVISION: Terraces

LOT: 18

BLOCK: A

GENERAL LOCATION: at the corner of Terraces Boulevard and Canyon Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Single Family Residential

CURRENT USE: Private Recreational Center

PROPOSED ZONING: Single Family Residential

PROPOSED USE: Private Recreational Center

ACREAGE: .52

LOTS [CURRENT]: 1

LOTS [PROPOSED]: 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER: TM Terraces, LLC

☒ APPLICANT: Johnson Volk Consulting

CONTACT PERSON: _____

CONTACT PERSON: Cody Johnson

ADDRESS: 4416 W. Lovers Lane Suite 200

ADDRESS: 704 Central Parkway East

CITY, STATE & ZIP: Dallas, TX 75209

CITY, STATE & ZIP: Plano, TX 75074

PHONE: (214)577-1431

PHONE: (972) 201-3100

E-MAIL: _____

E-MAIL: cody.johnson@johnsonvolk.com

NOTARY VERIFICATION [REQUIRED]

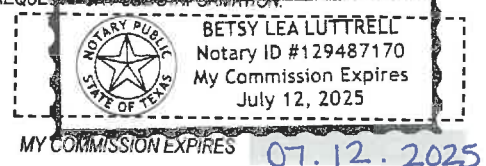
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bobby Harrell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 10 DAY OF June 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF June 20 24

OWNER'S SIGNATURE: Bobby Harrell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Betsy Lea Luttrell





Case Location Map = 

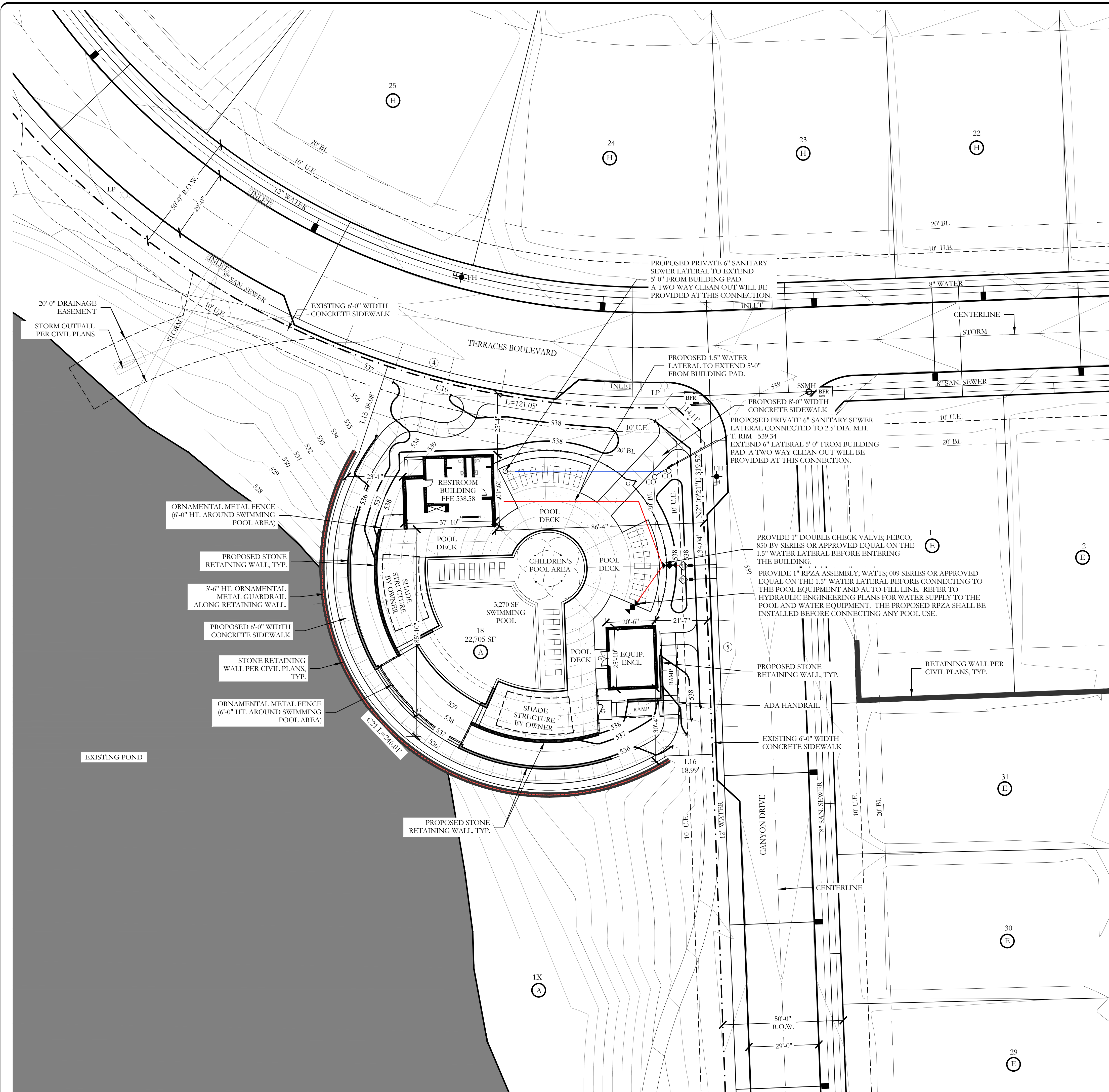


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND			
	EXISTING PARKING COUNT		EXISTING 1.5" DOMESTIC WATER METER
	BARRIER FREE RAMP		EXISTING 1.5" IRRIGATION WATER METER
	EXISTING FIRE HYDRANT		ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
	EXISTING SANITARY SEWER MANHOLE		1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
	EXISTING WATER MAIN W/ VALVE		PROPOSED STONE RETAINING WALL
	EXISTING SANITARY SEWER		RETAINING WALL PER CIVIL PLANS TYP.
	EXISTING STORM		ADA HANDRAIL
	EXISTING CURB INLET		3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
	RIGHT-OF-WAY		
	LIGHT POLE		
	EXISTING CONTOUR INTERVAL		
	PROPOSED CONTOUR INTERVAL		
	FINISHED FLOOR ELEVATION		

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
	1.5"	1.5"	X		6"
	1.5"	1.5"		X	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 [1,652/22,705]
LOT COVERAGE: 7.27%

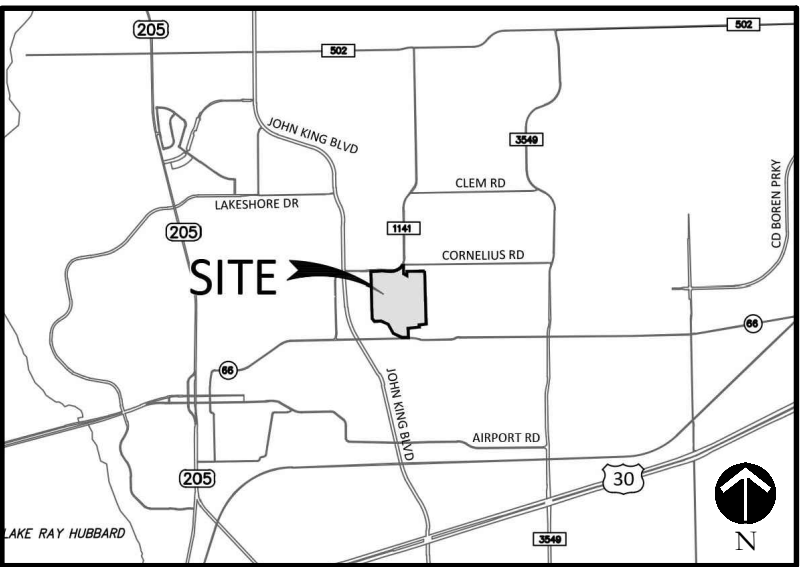
TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

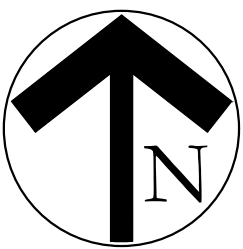
SITE PLAN NOTES:

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL PARKING ON SITE IS EXISTING.
- THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.



LOCATION MAP
NOT TO SCALE



20 10 0 20
SCALE 1" = 20'

SITE PLAN
TERRACES
LOT 18, BLOCK A
~AMENITY CENTER~

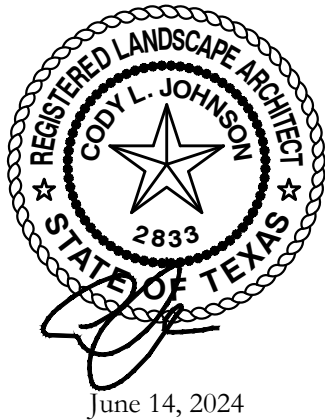
BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO.122
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:

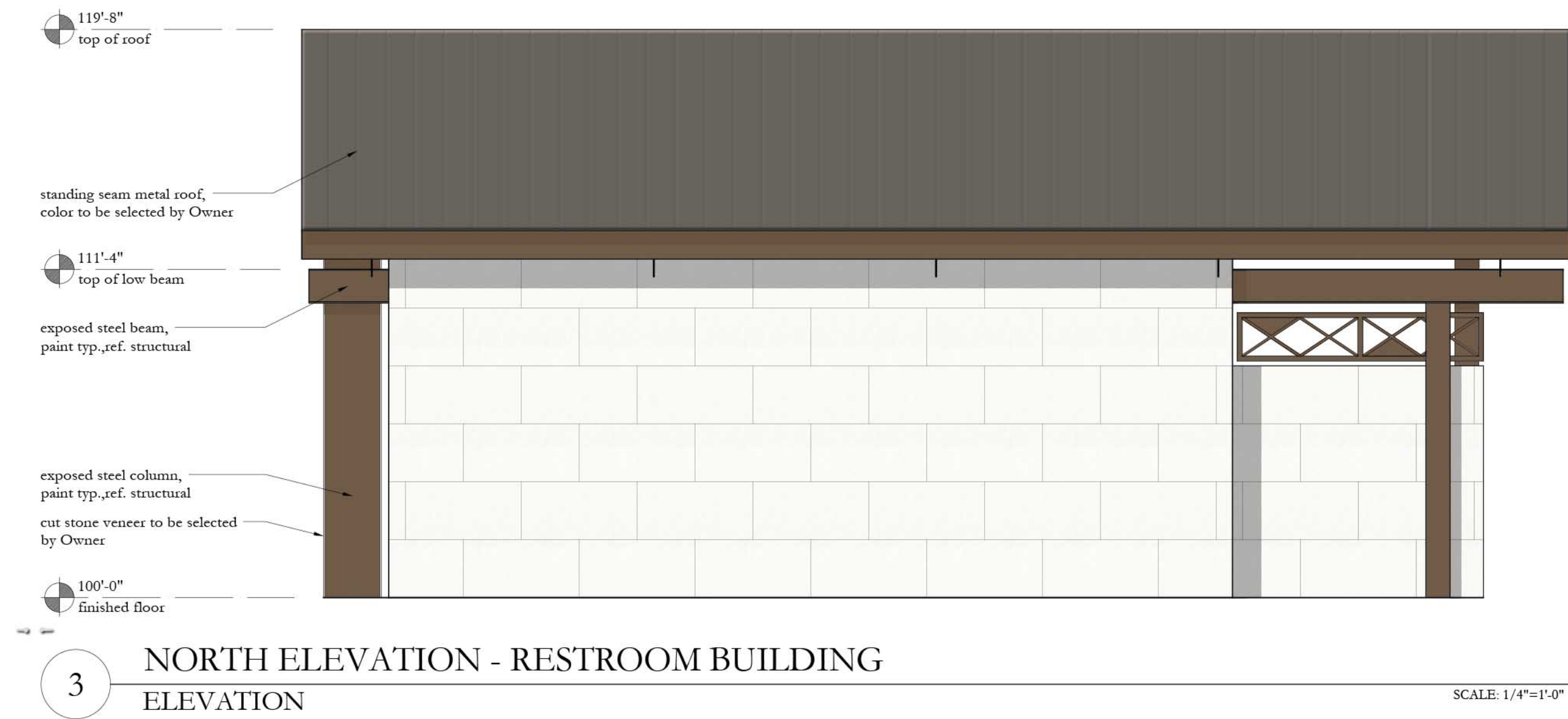
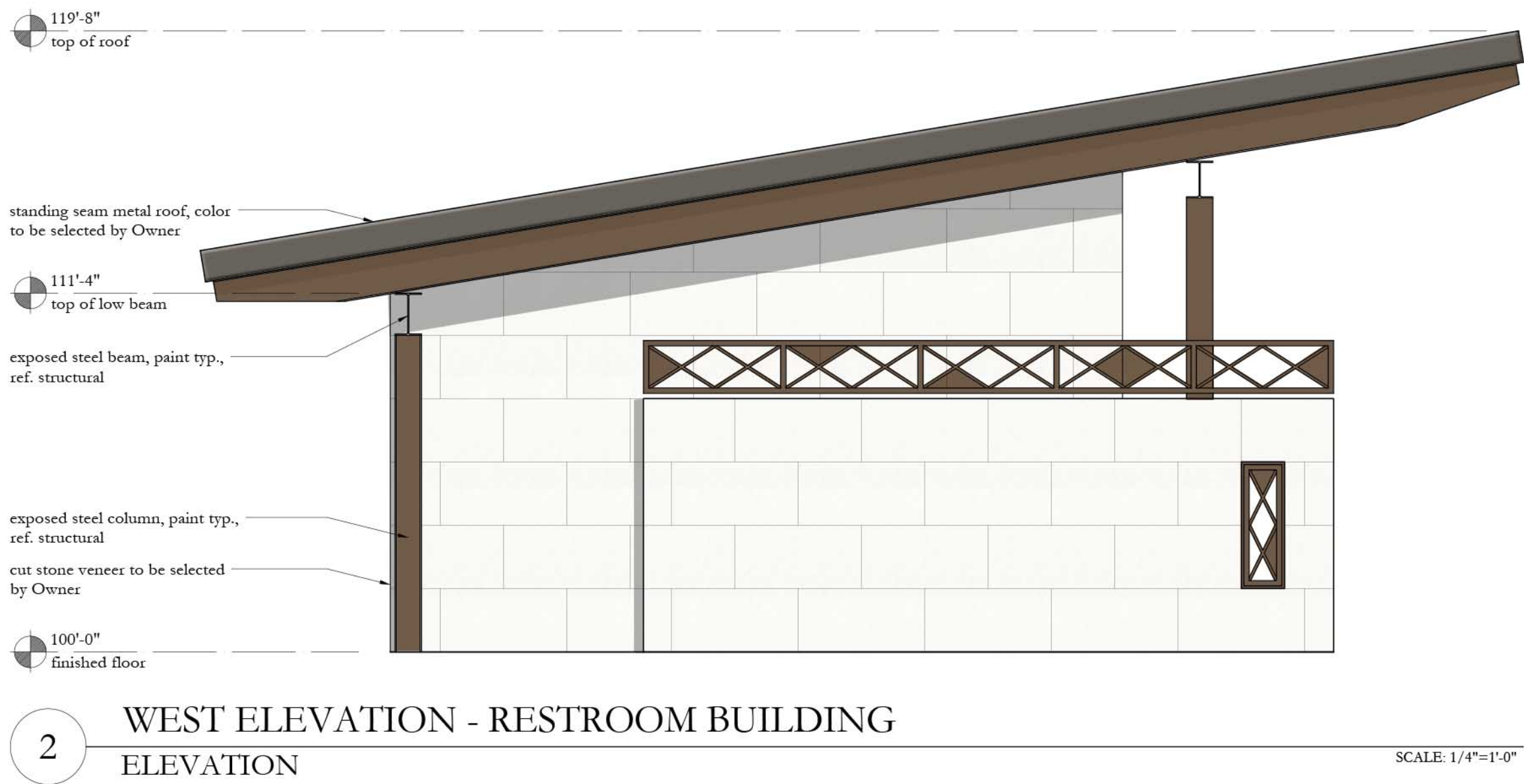
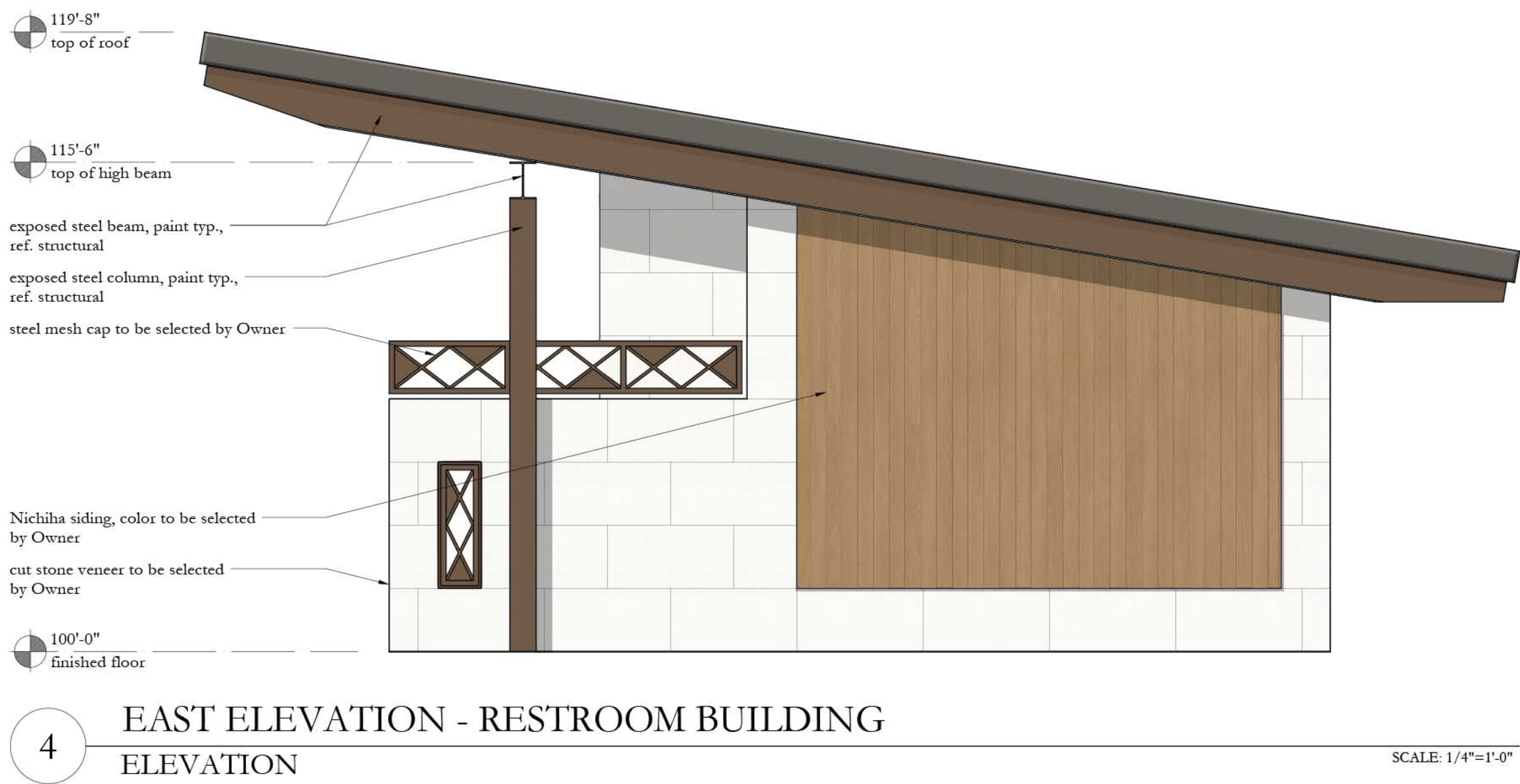
TM TERRACES, LLC
4416 W. LOVERS LANE SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431
CONTACT: BOBBY HARRELL
BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI
CODY.JOHNSON@JOHNSONVOLK.COM



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APPROVED:
I hereby certify that the above and foregoing site plan for a development
in the City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	-	535 S.F.	-	385 S.F.	-	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	187 S.F.	48.57%	-	-
SECONDARY MATERIALS	-	-	165 S.F.	30.84%	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	165 S.F.	30.84%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	-	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								

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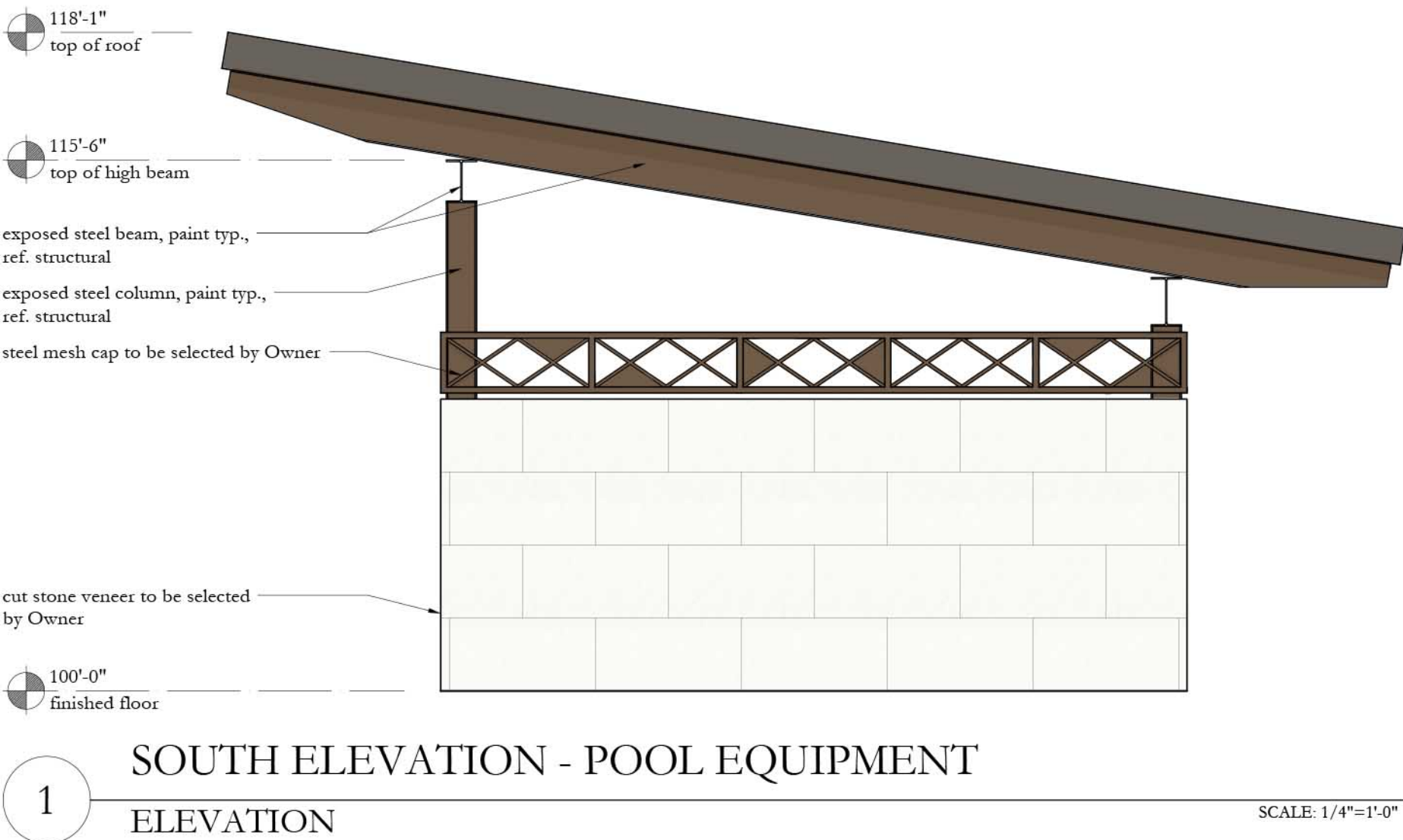
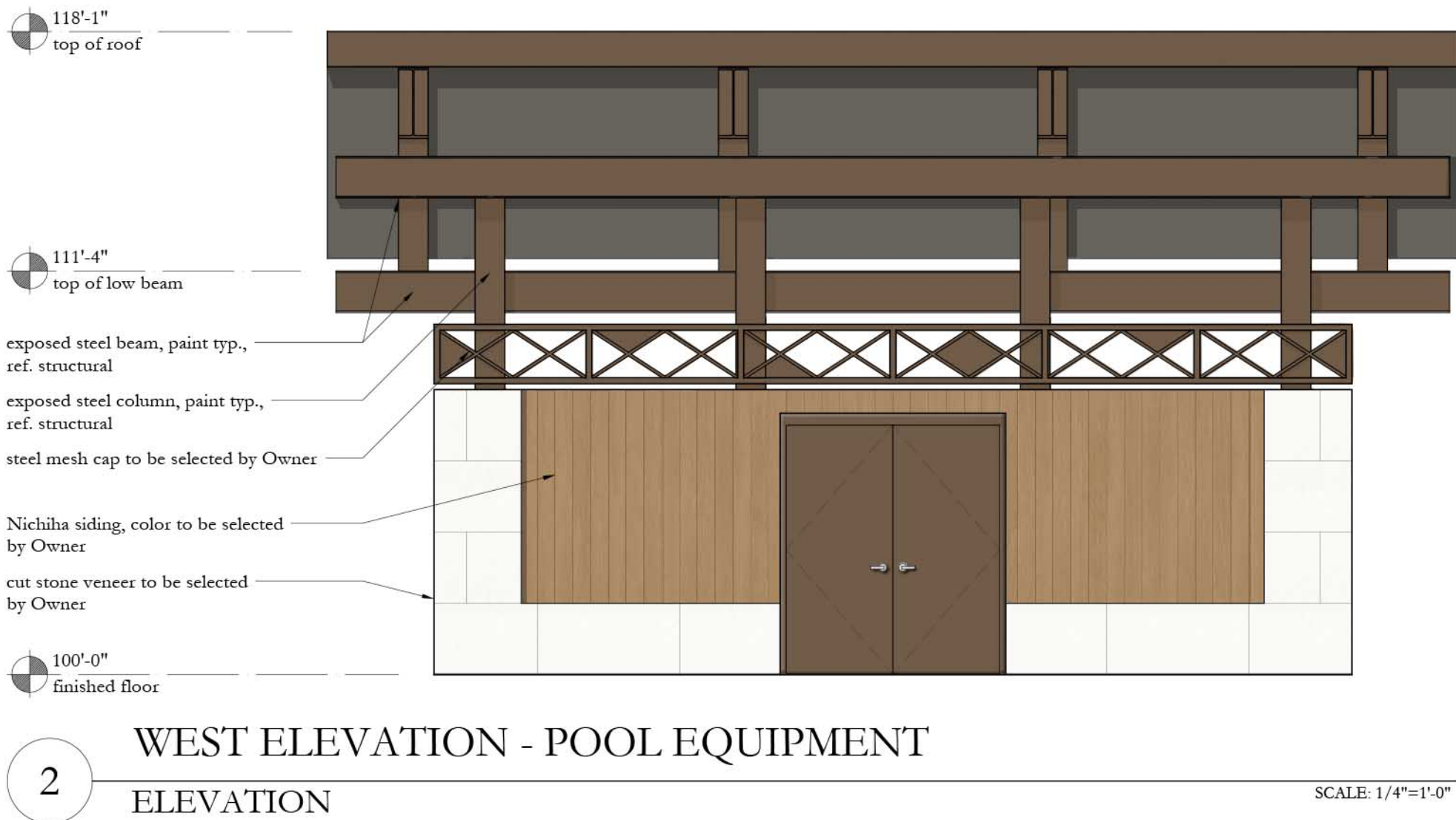
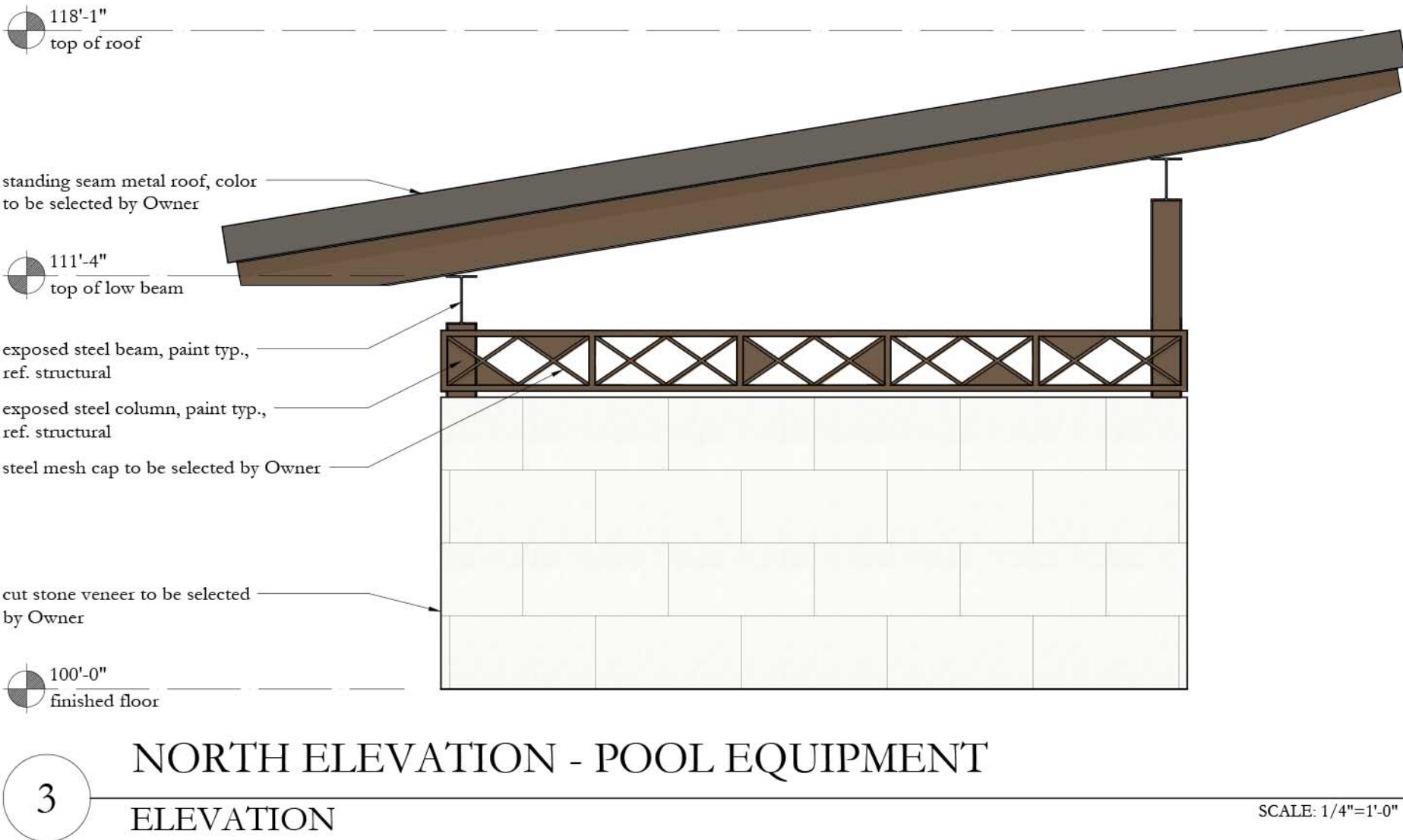
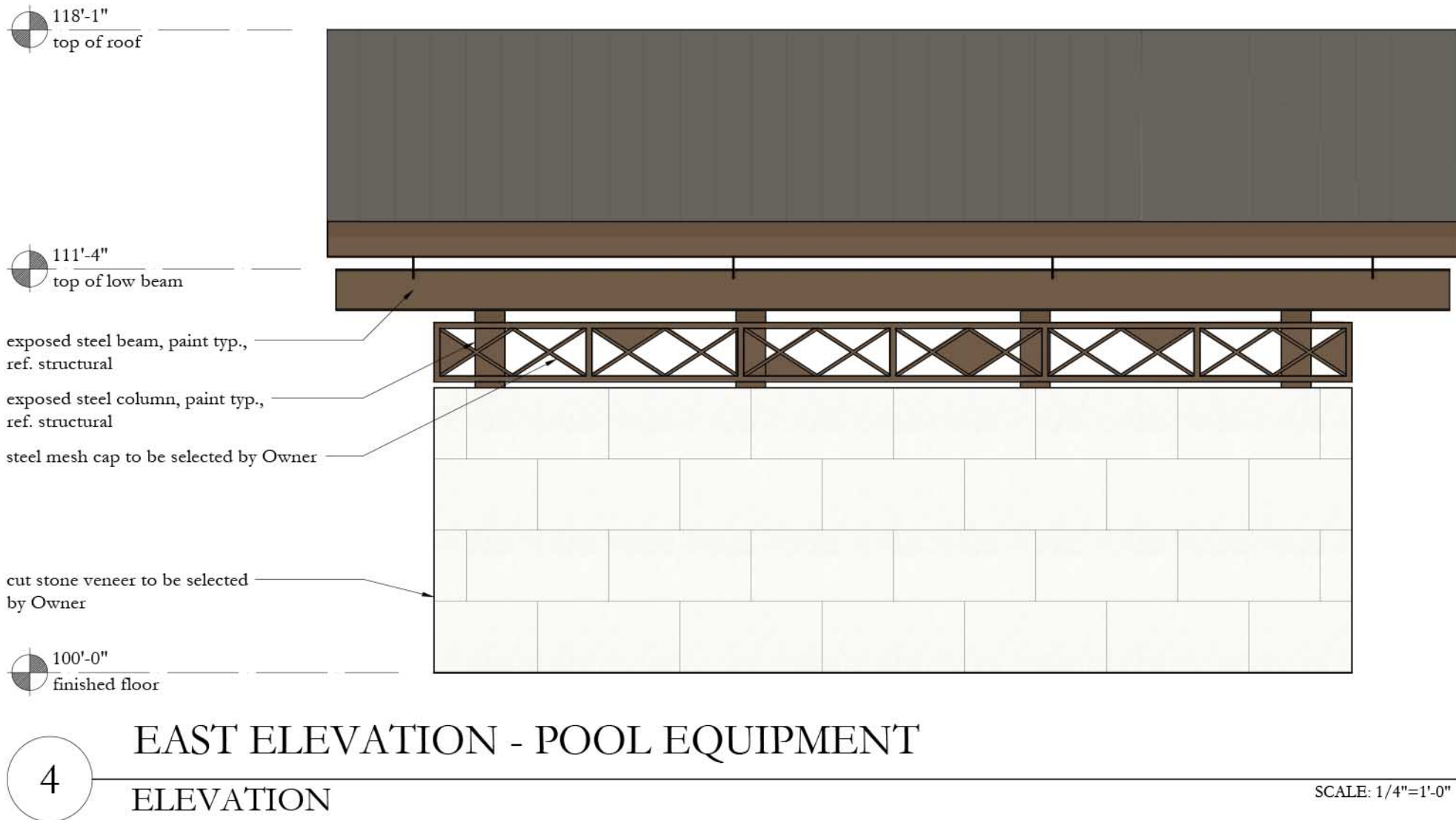
APPROVED:
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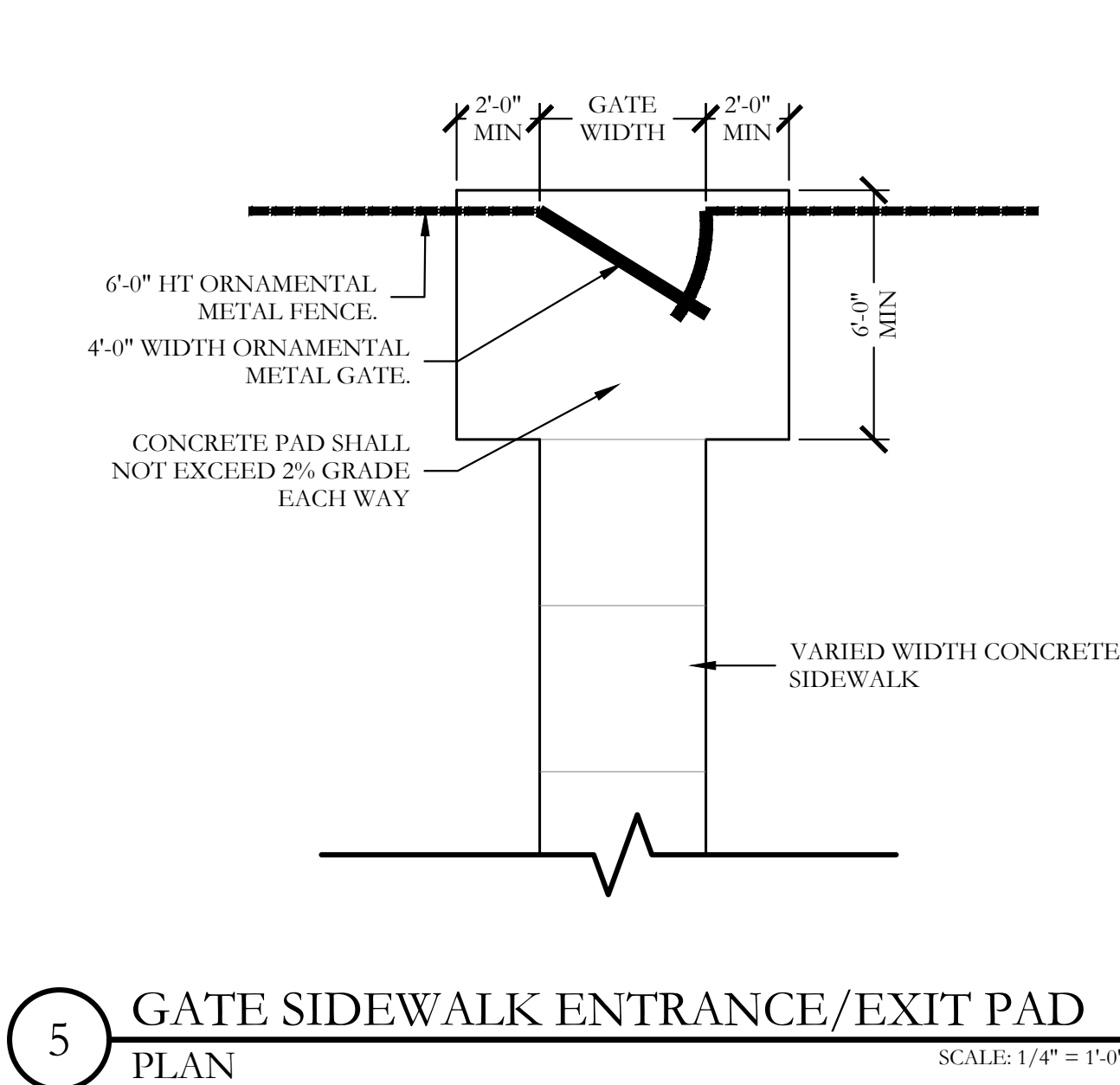
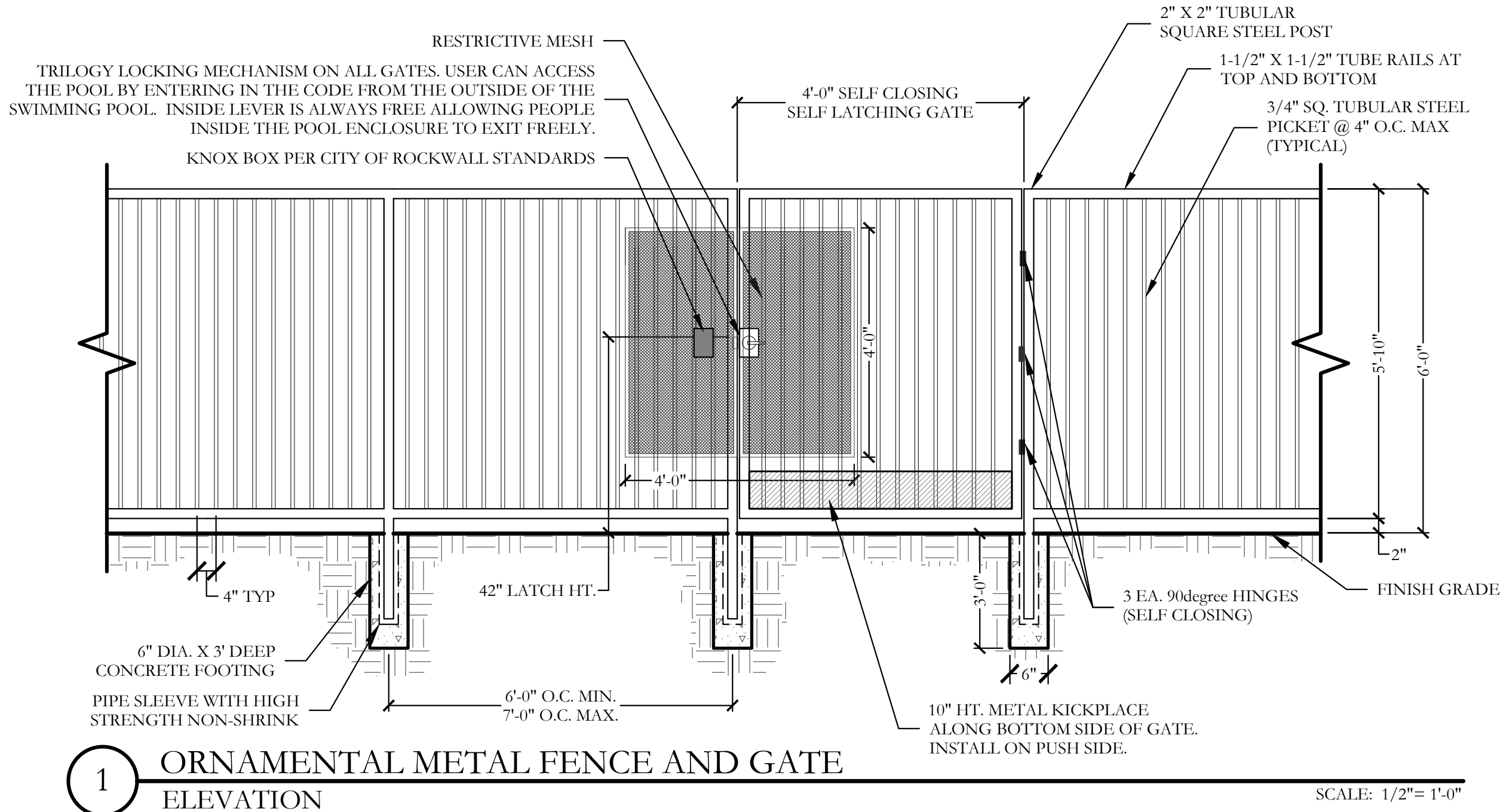
WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	164 S.F.	-	164 S.F.	-	206 S.F.	-	206 S.F.	-
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	-	-	91 S.F.	56.87%
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	46 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS								





5 GATE SIDEWALK ENTRANCE/EXIT PAD PLAN SCALE: 1/4\"= 1'-0"

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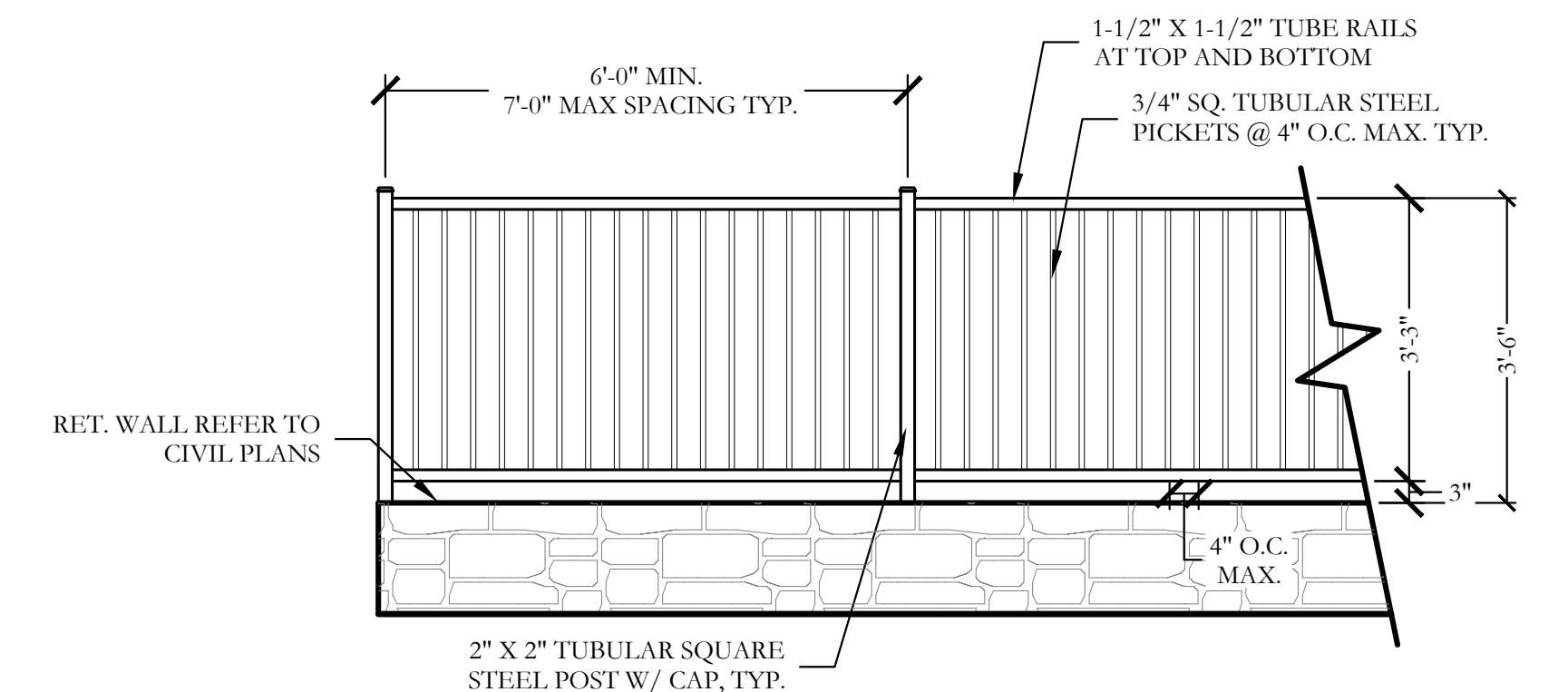
WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

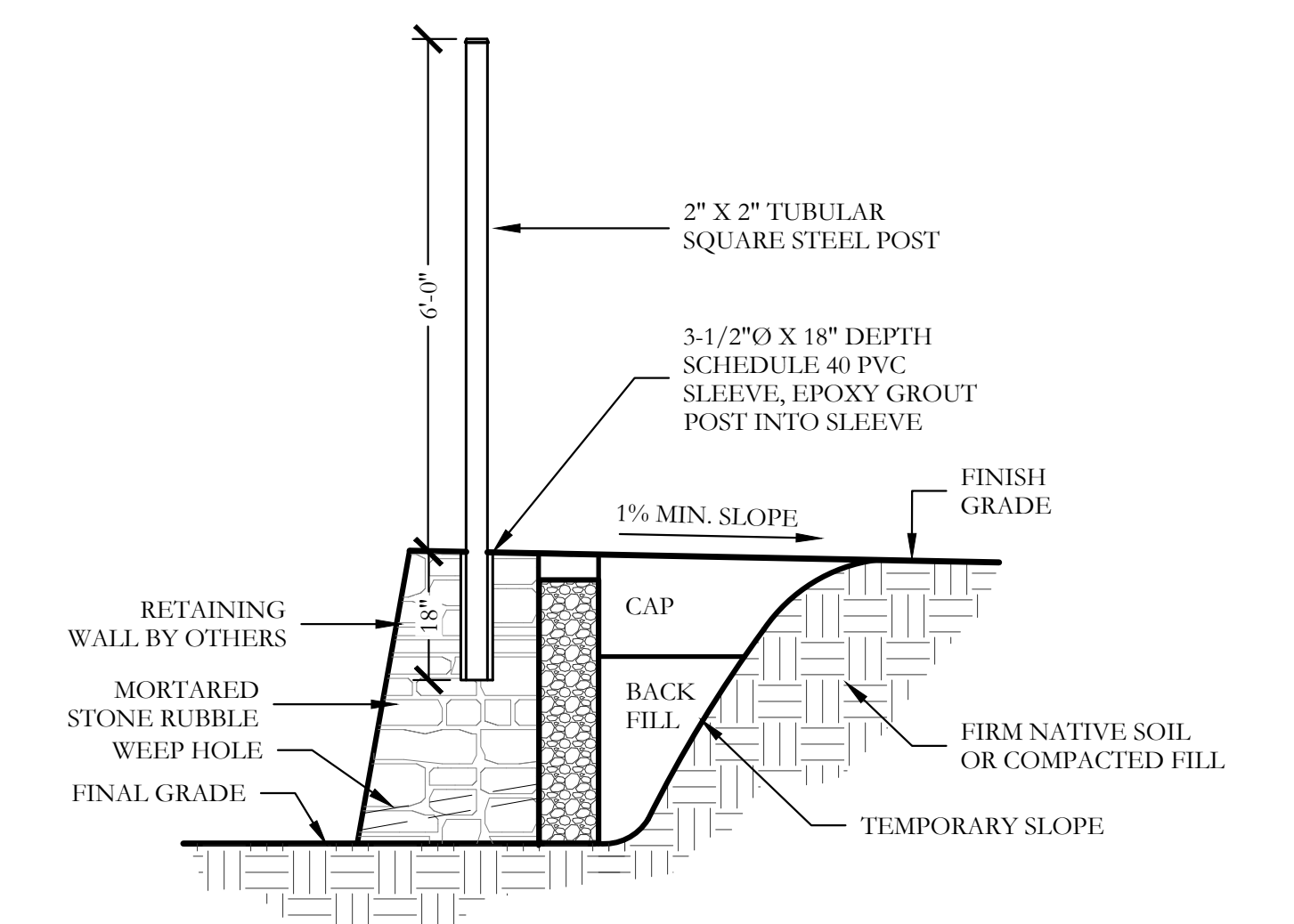
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

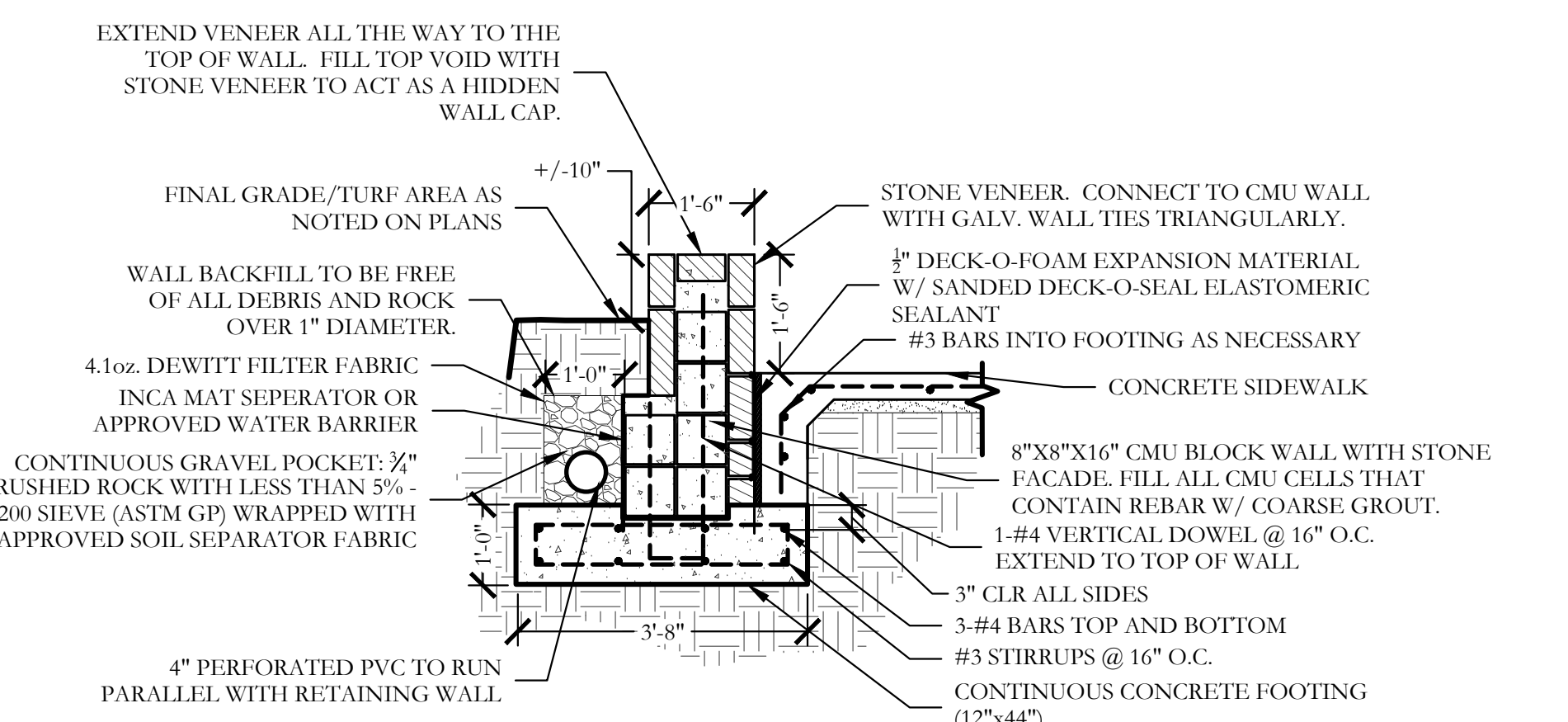


6 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL ELEVATION SCALE: 1/2\"=1'-0"

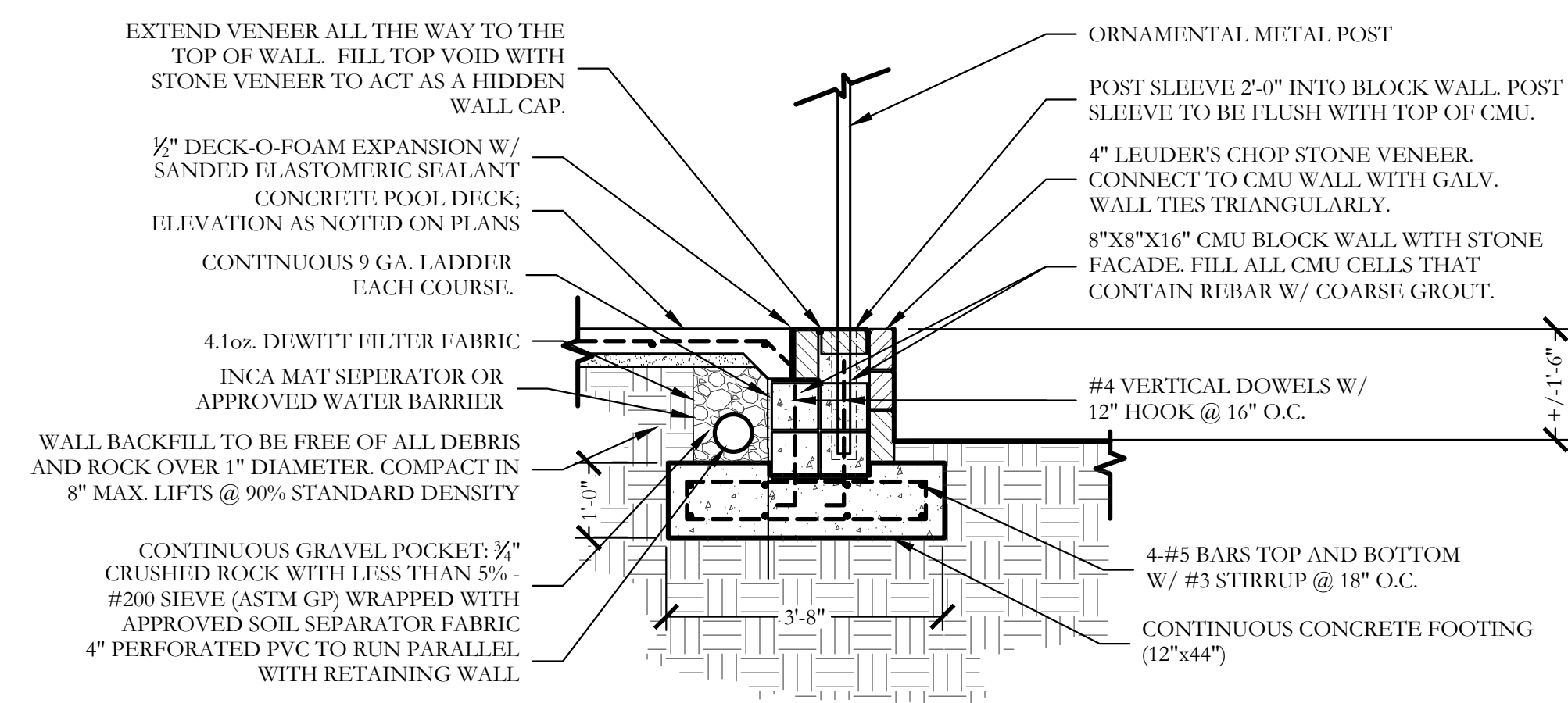


2 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

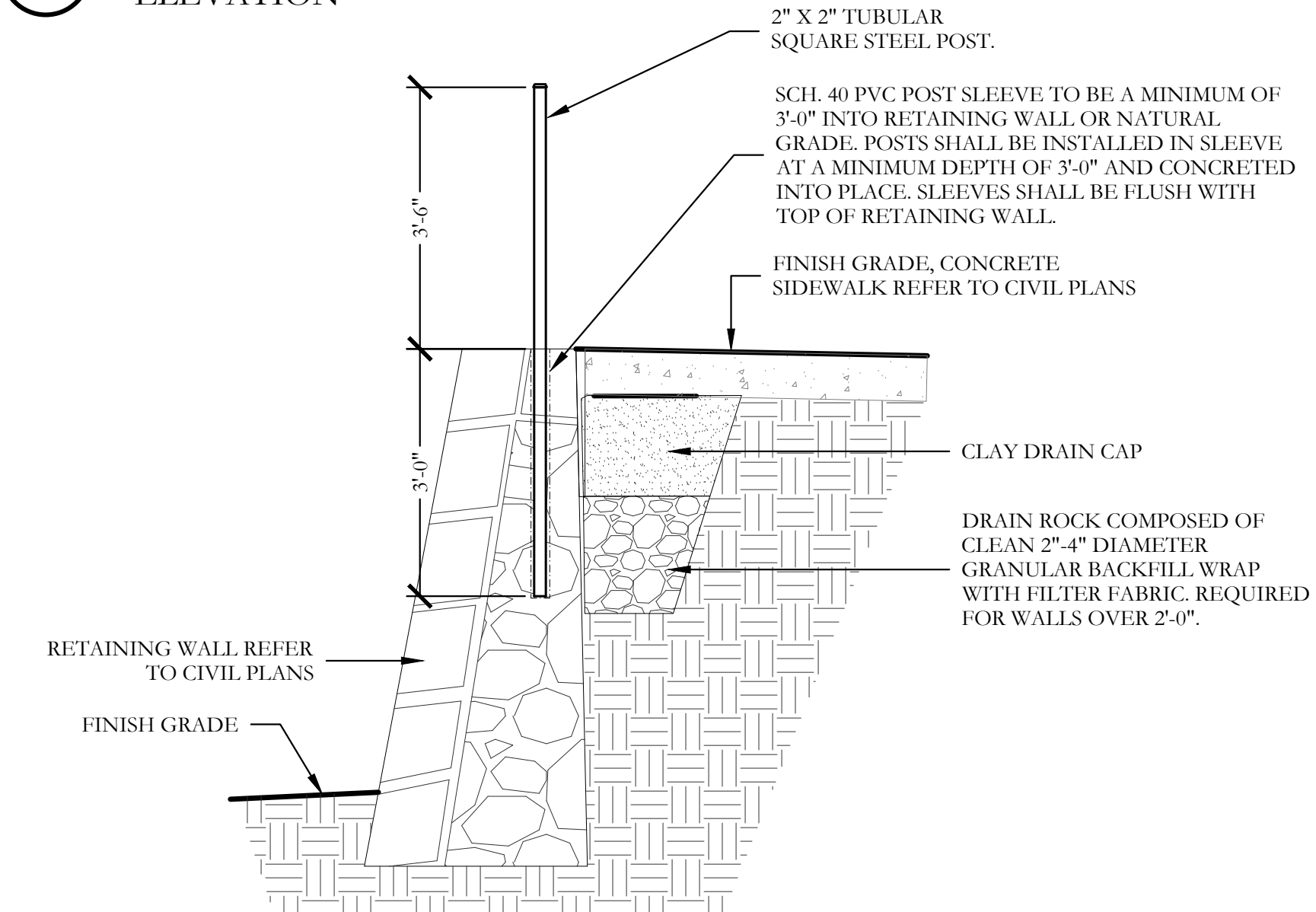
- ### ORNAMENTAL METAL FENCE NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
 - ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
 - ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
 - PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
 - ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
 - ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
 - FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
 - CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
 - GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
 - POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
 - POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
 - LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
 - RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



3 VARYING HT. STONE RETAINING/SEAT WALL SECTION SCALE: 1/2\"=1'-0"



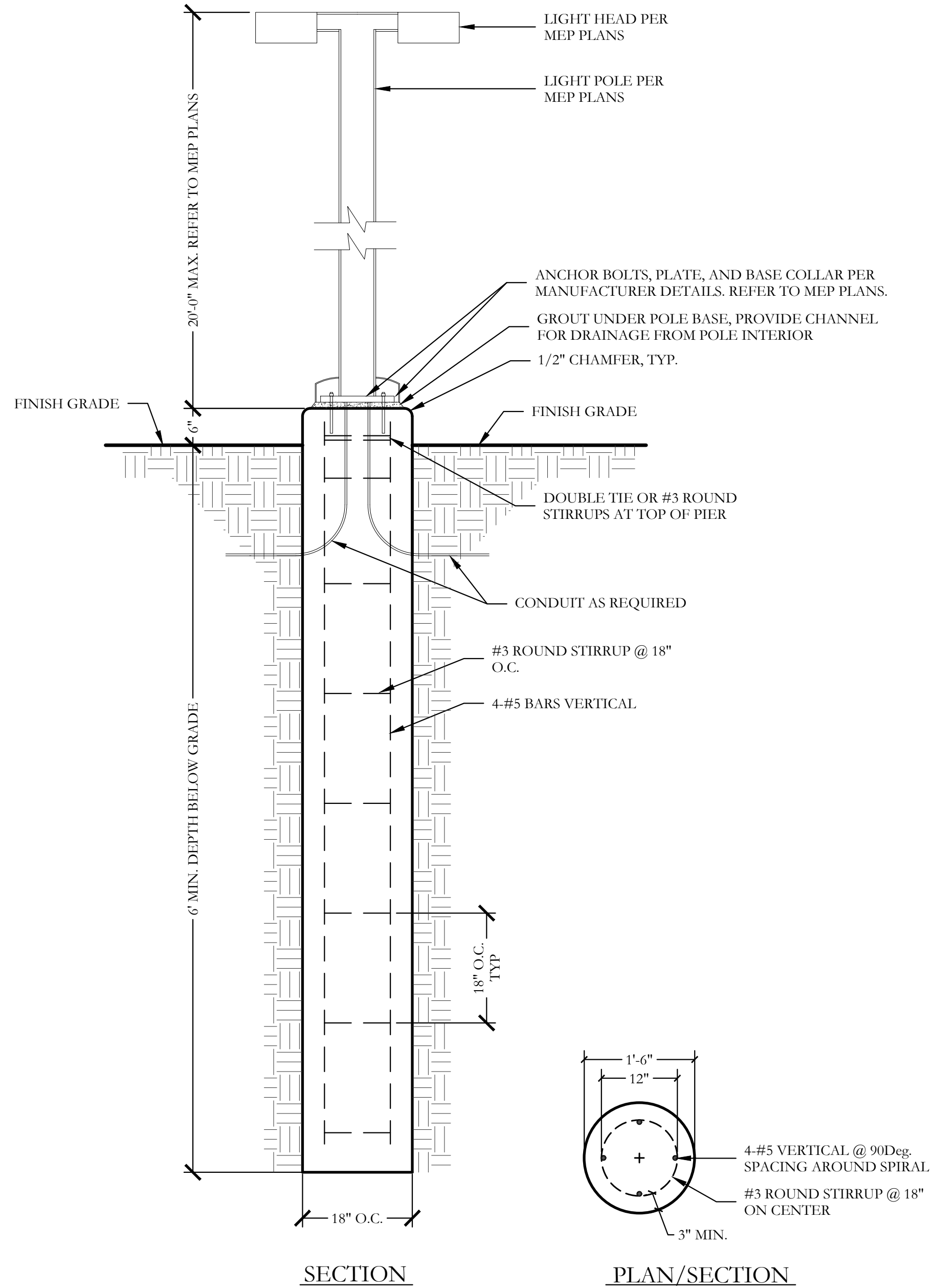
4 RETAINING WALL W/ POOL DECK SECTION SCALE: 1/2\"=1'-0"



7 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL SECTION SCALE: 1/2\"=1'-0"

- ### RET. WALL NOTES
- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER.
 - VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'.
 - BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF ORGANIC DEBRIS.
 - DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.
 - MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF FY=60KSI PER ASTM A615.
 - BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR PROPER MAINTENANCE OF ALL STRUCTURES.

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1 LIGHT POLE WITHIN POOL AREA
PLAN/SECTION
SCALE: 3/4" = 1'-0"

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WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

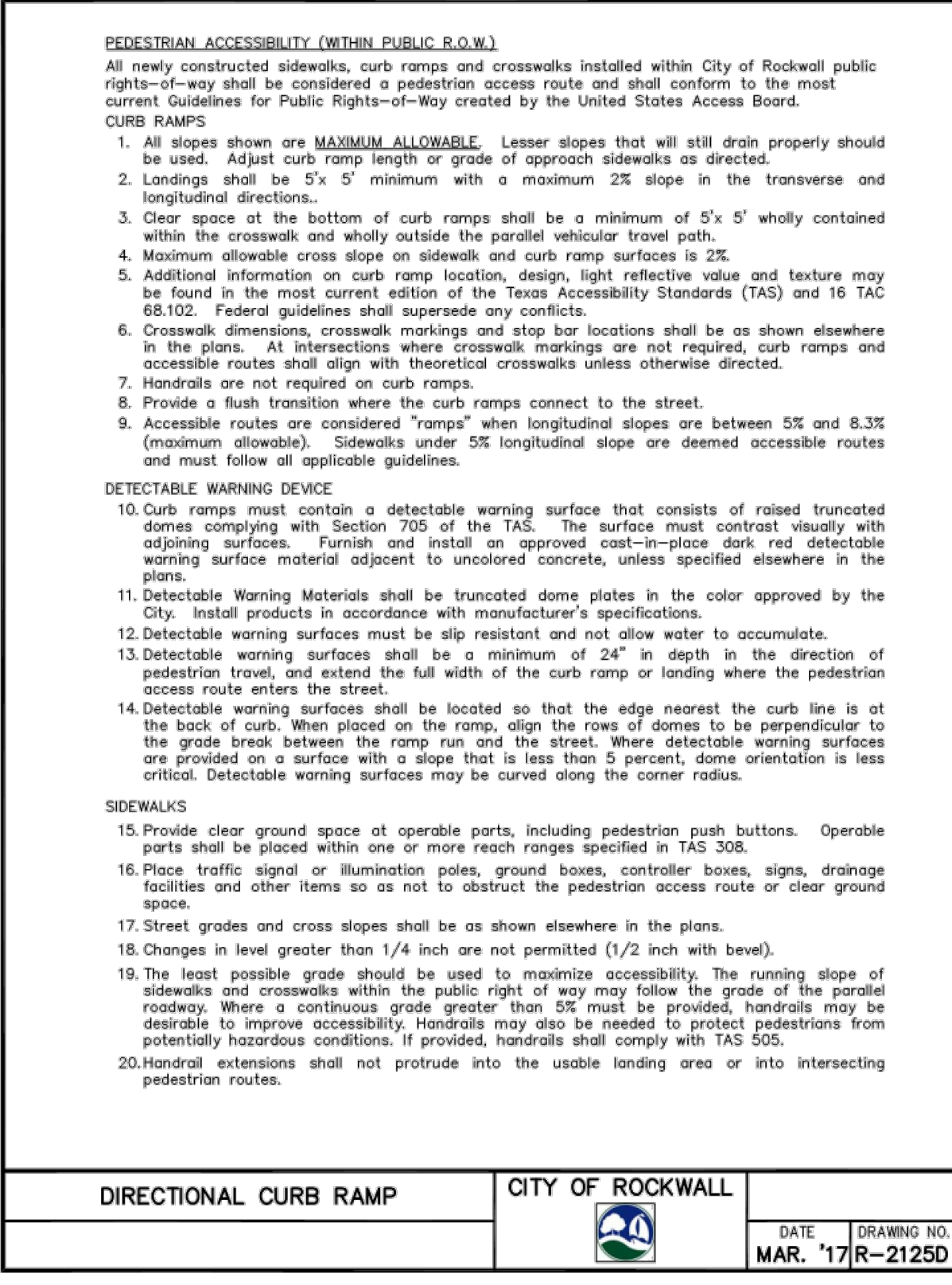
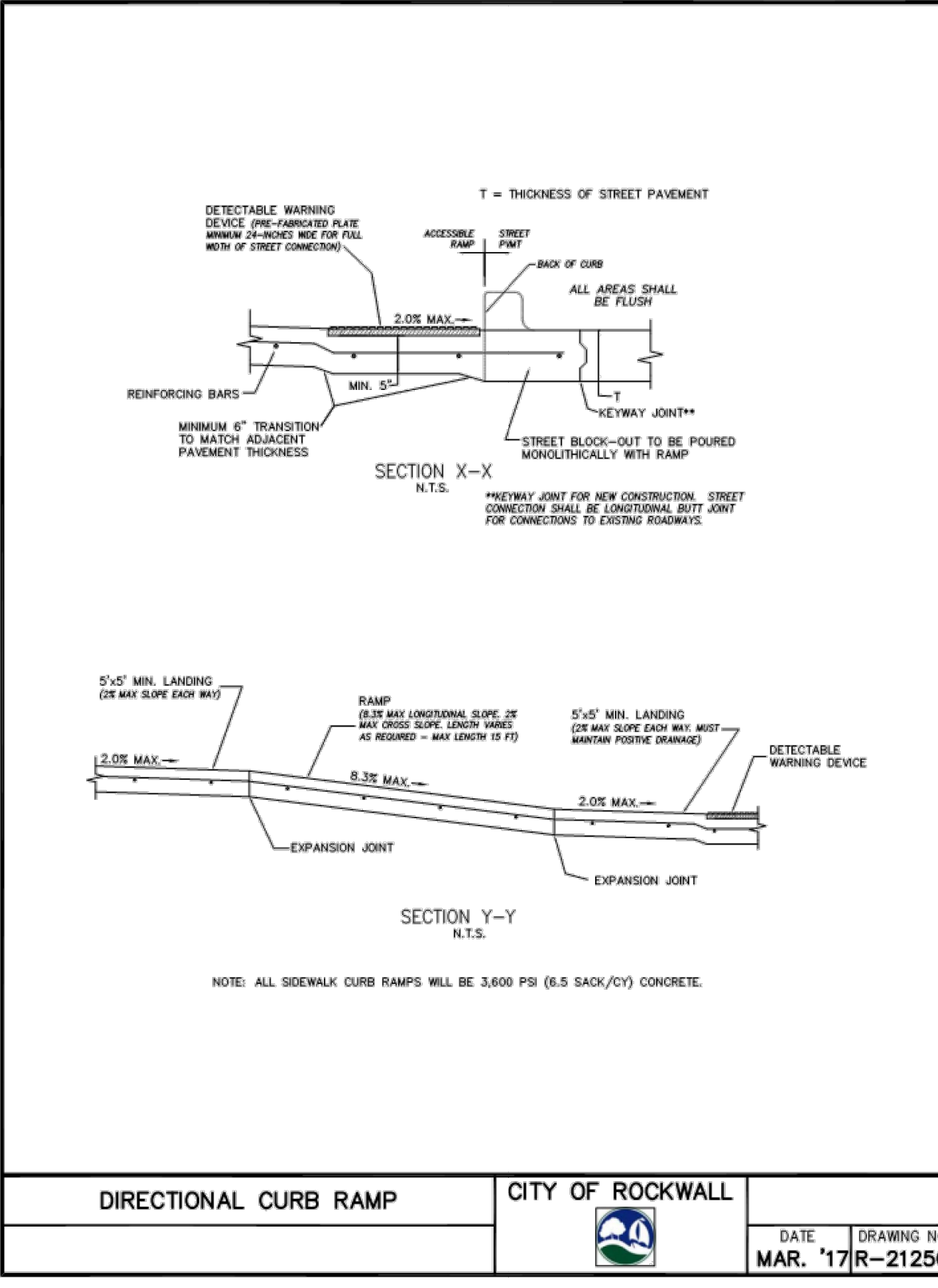
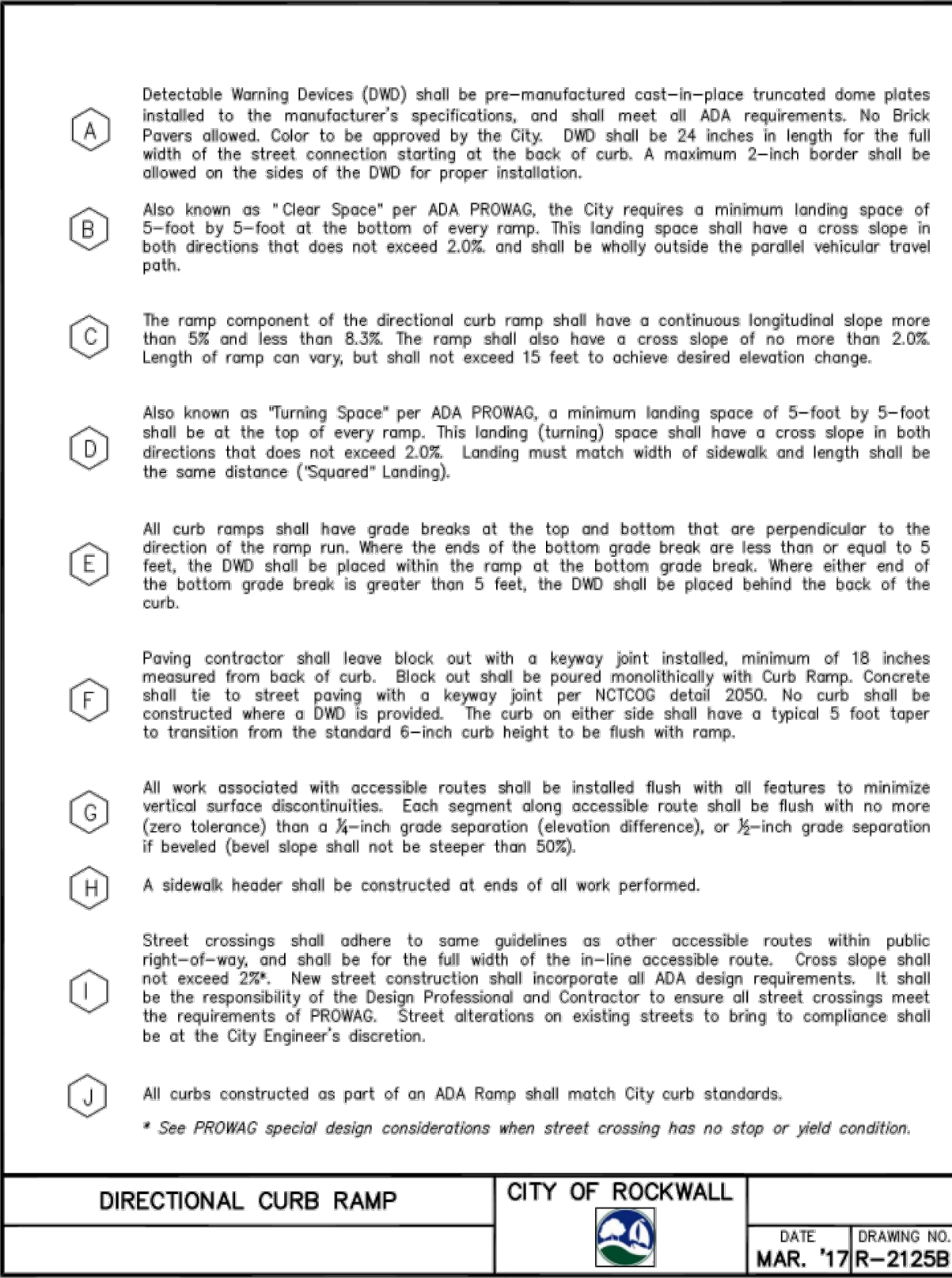
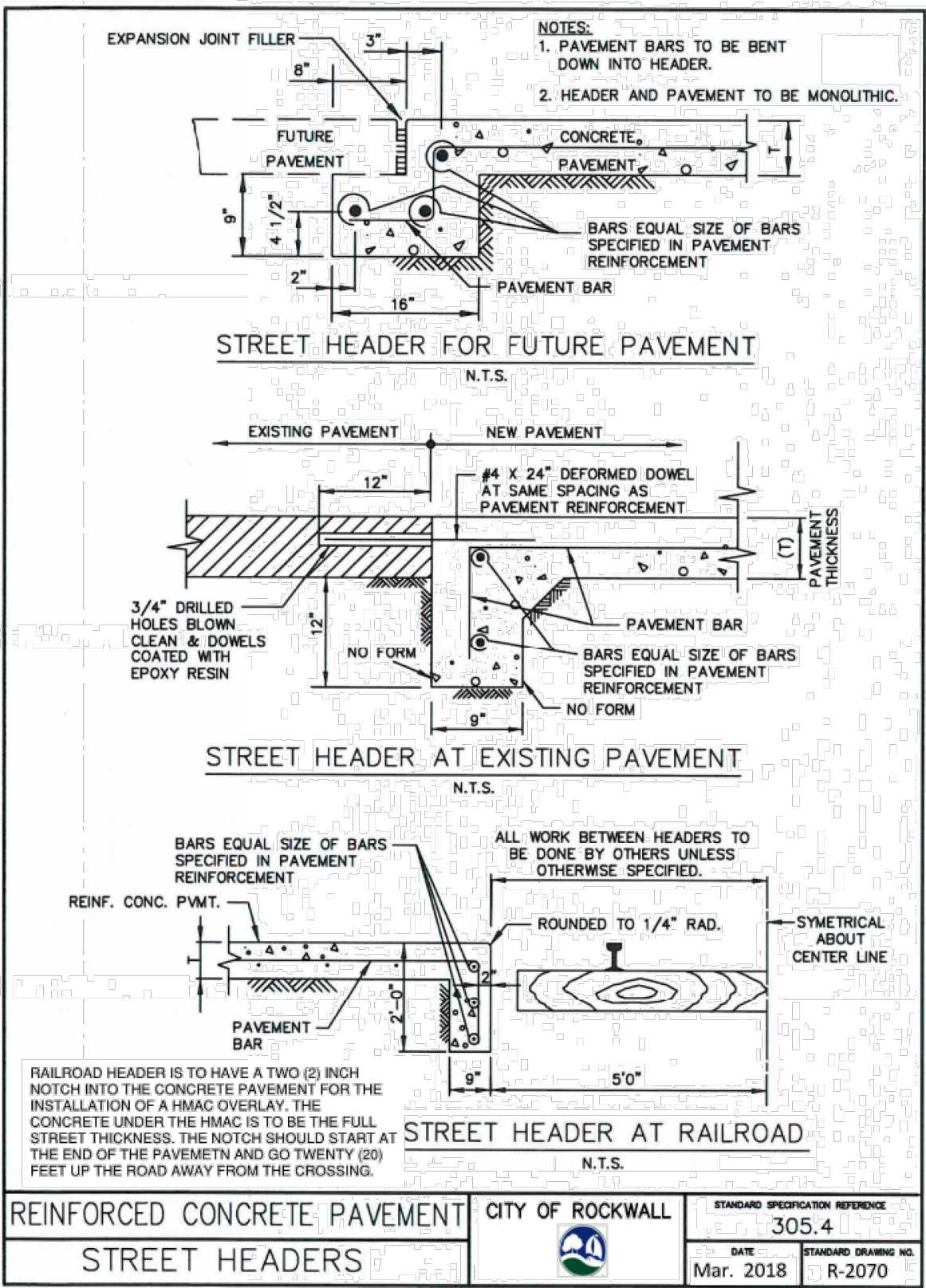
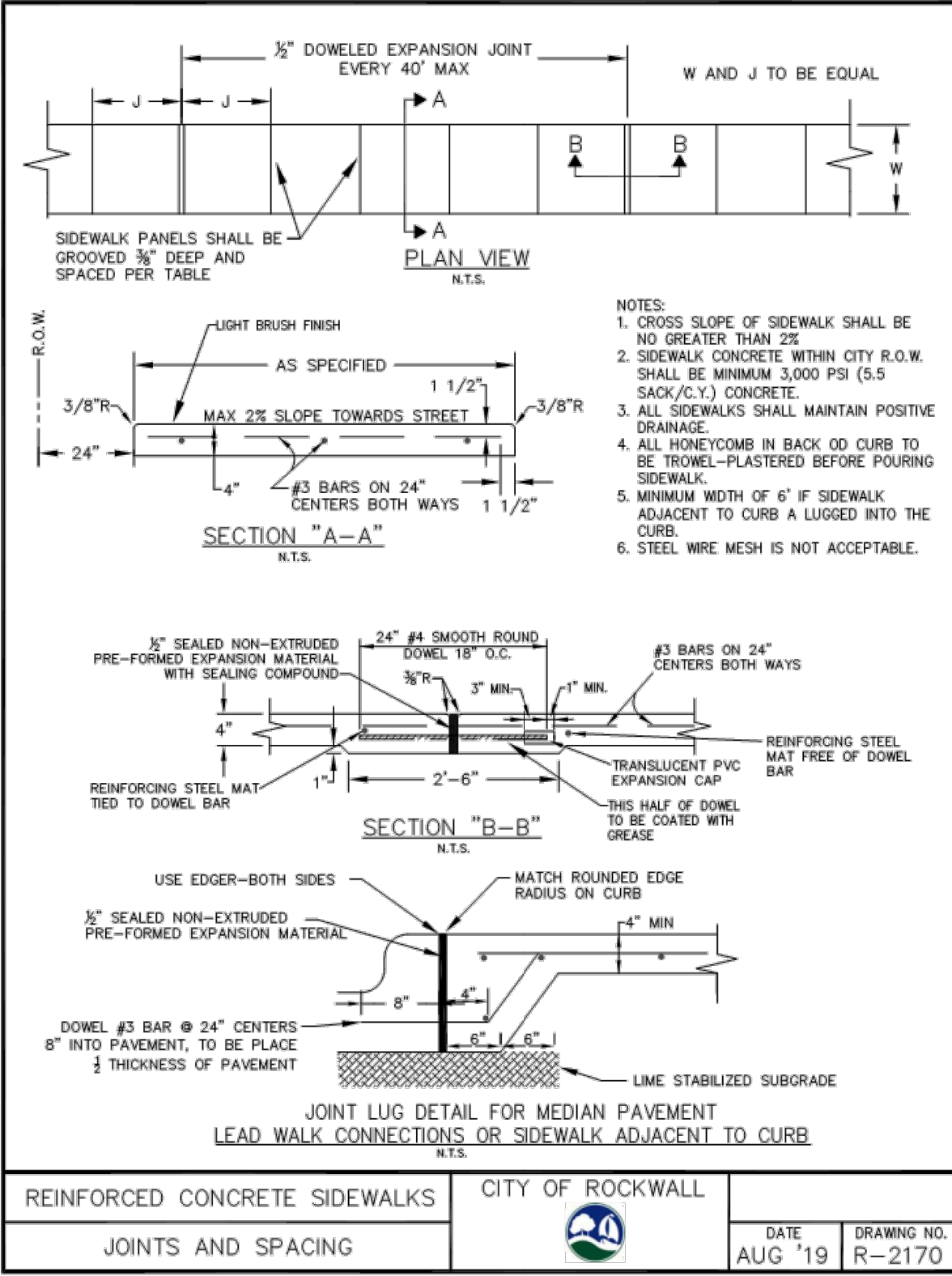
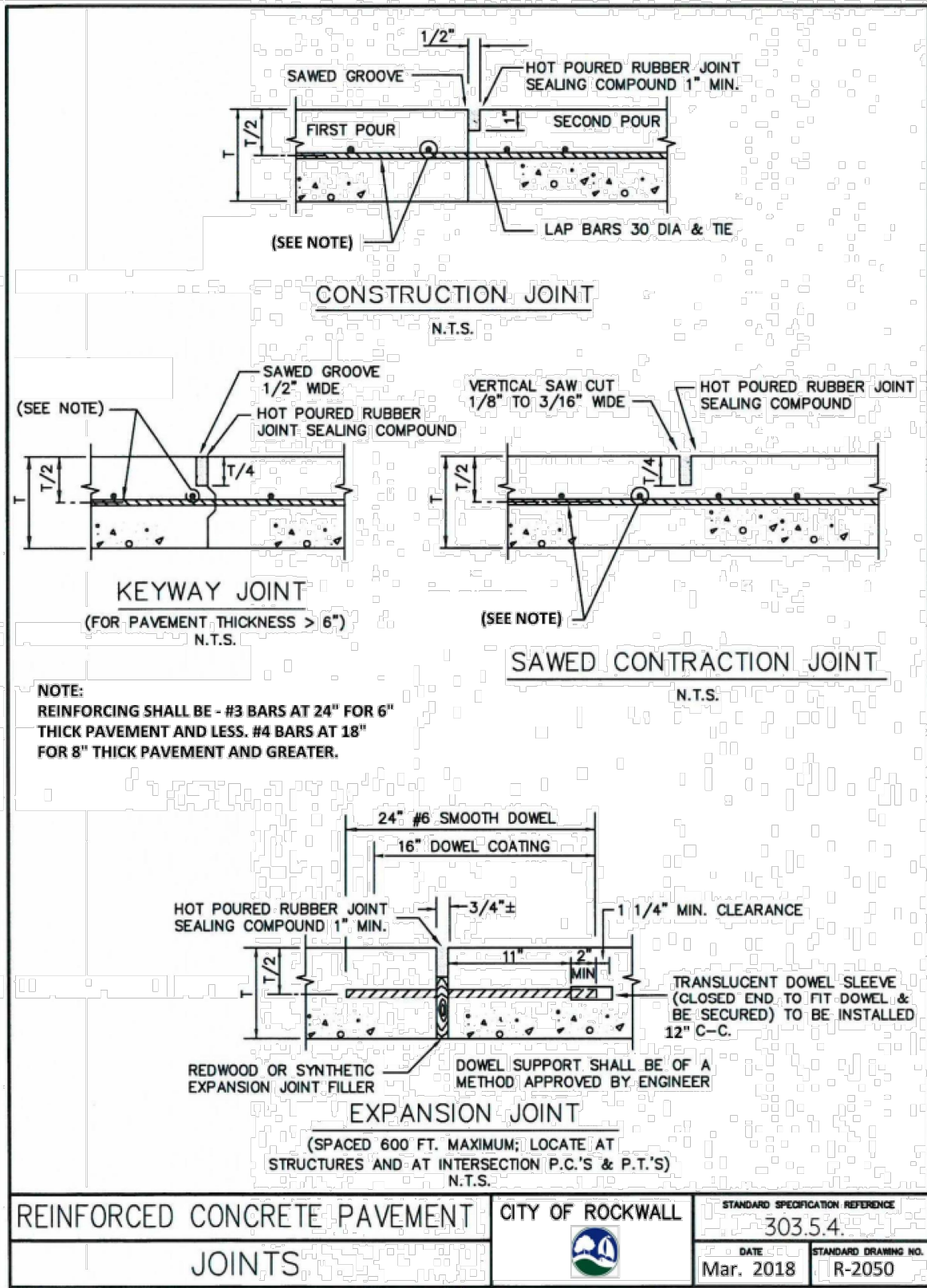
TERRACES
AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

AMENITY CENTER FACILITY
SITE DETAILS

THESE
DOCUMENTS
ARE FOR
INTERIM REVIEW
ONLY AND NOT
INTENDED FOR
CONSTRUCTION
OR BIDDING
PURPOSES.
June 14, 2024

SCALE:
REFER TO
DETAILS
One Inch
JVC No. JVC022

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Director of Planning and Zoning

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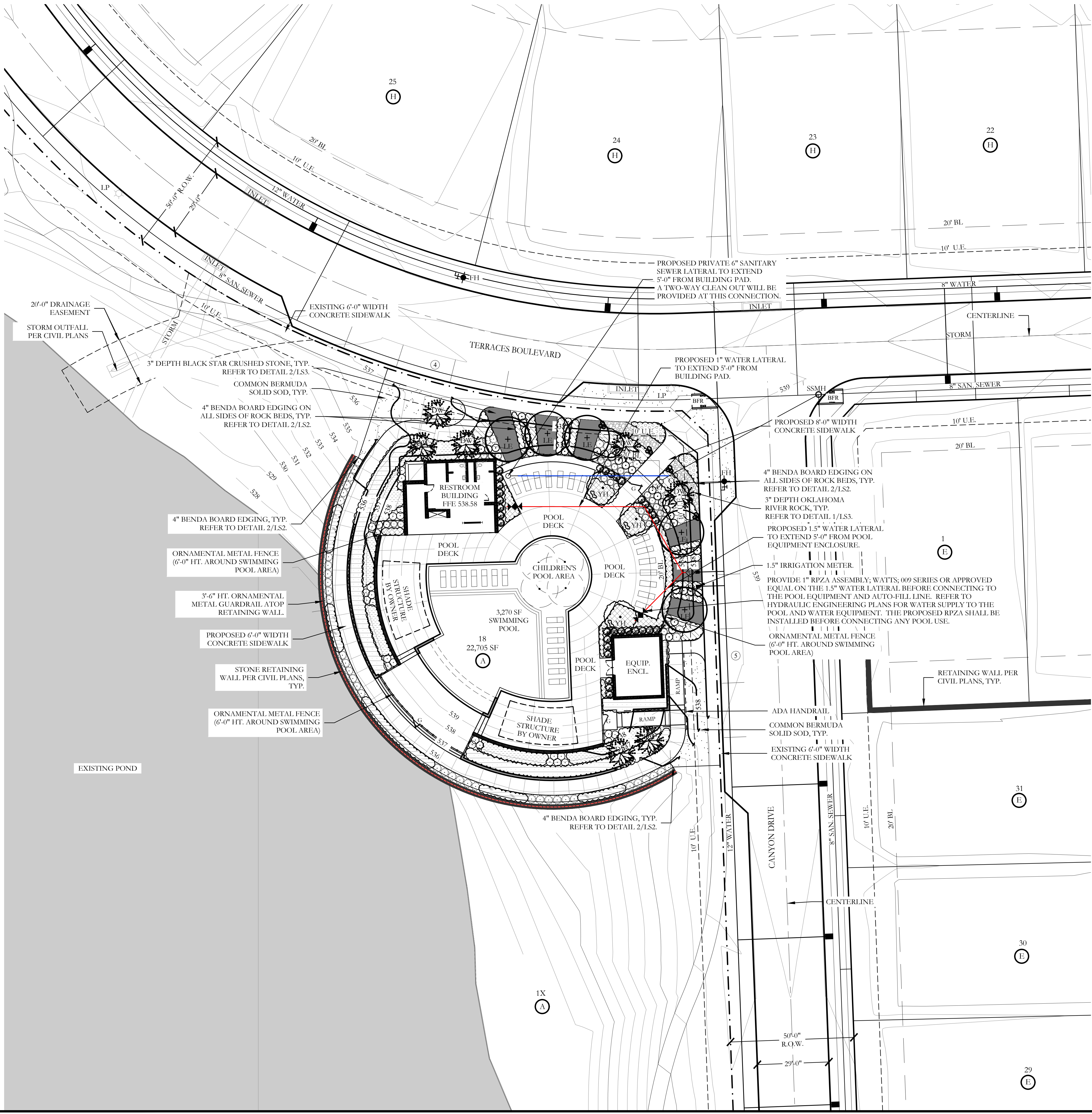
June 14, 2024

SCALE:
REFER TO DETAILS

One Inch

JVC No JVC022

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2-1" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 0.52 ACRES
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
BUILDING HEIGHT: 19'-8" (1 STORY)
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 (1,652/22,705)
LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

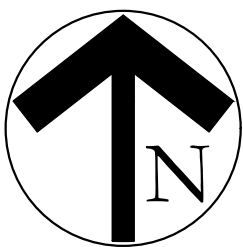
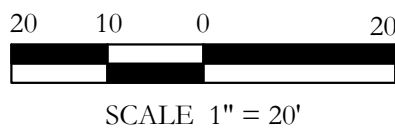
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Planning & Zoning Commission, Chairman

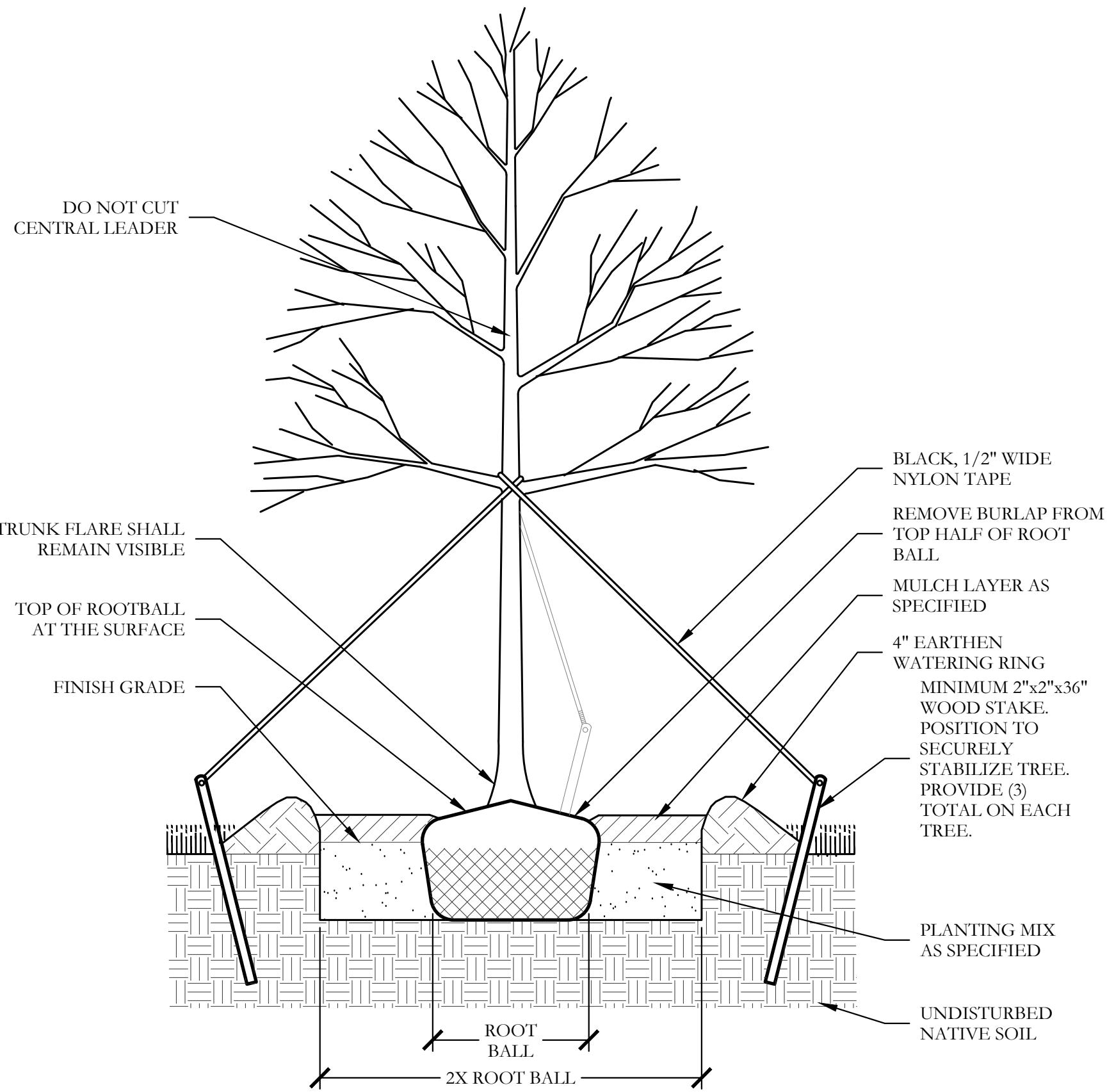
Director of Planning and Zoning



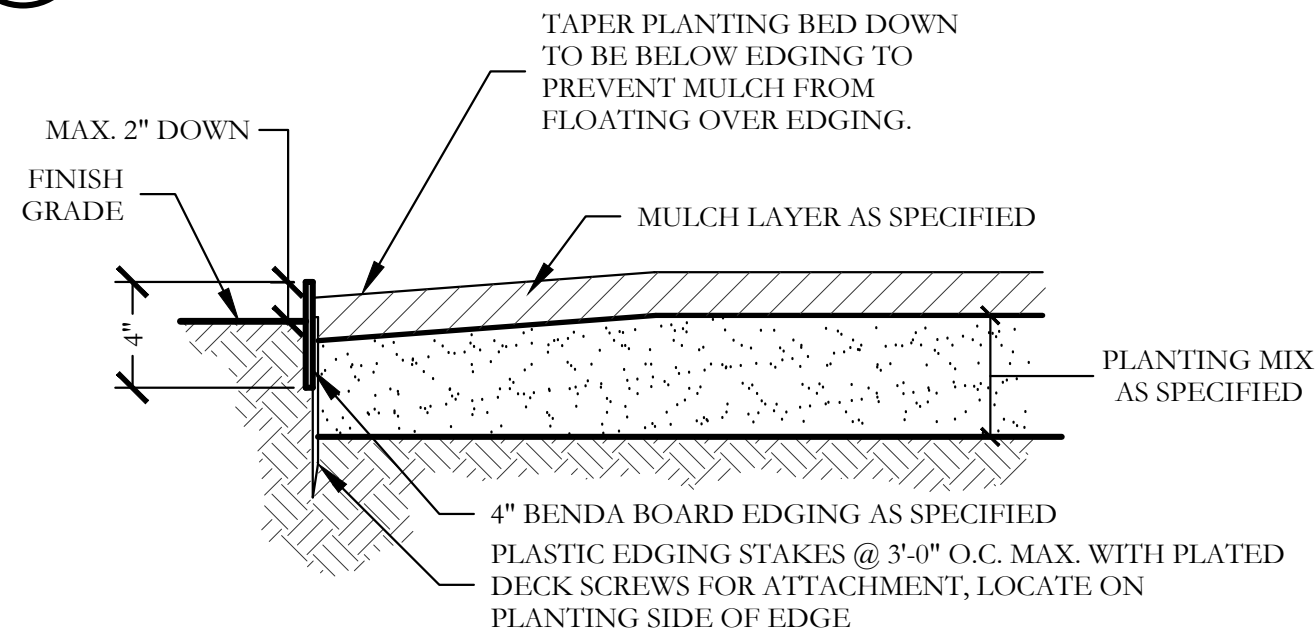
SCALE:
1" = 20'

One Inch
JVC No JVC022

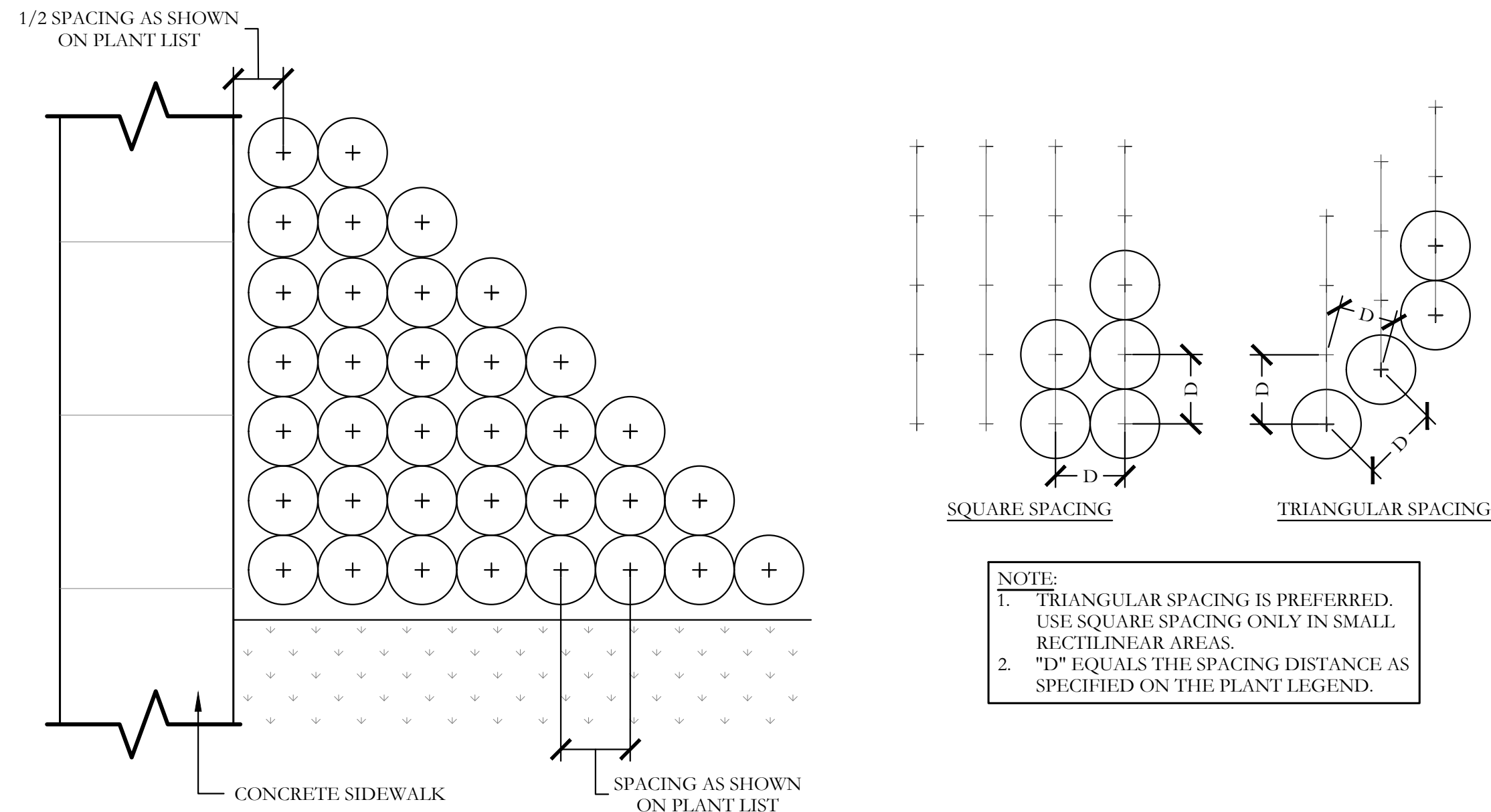
LS1 of 3



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	32	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	DWARF WAX MYRTLE	MYRTICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	410	MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1" - 2" AND 2" - 4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

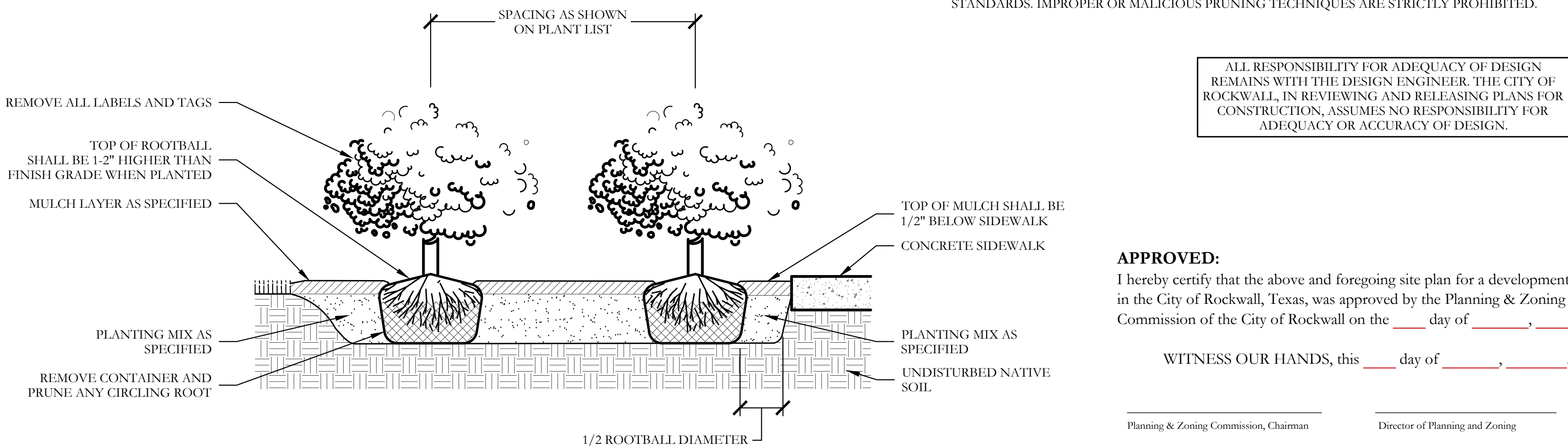
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDIED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



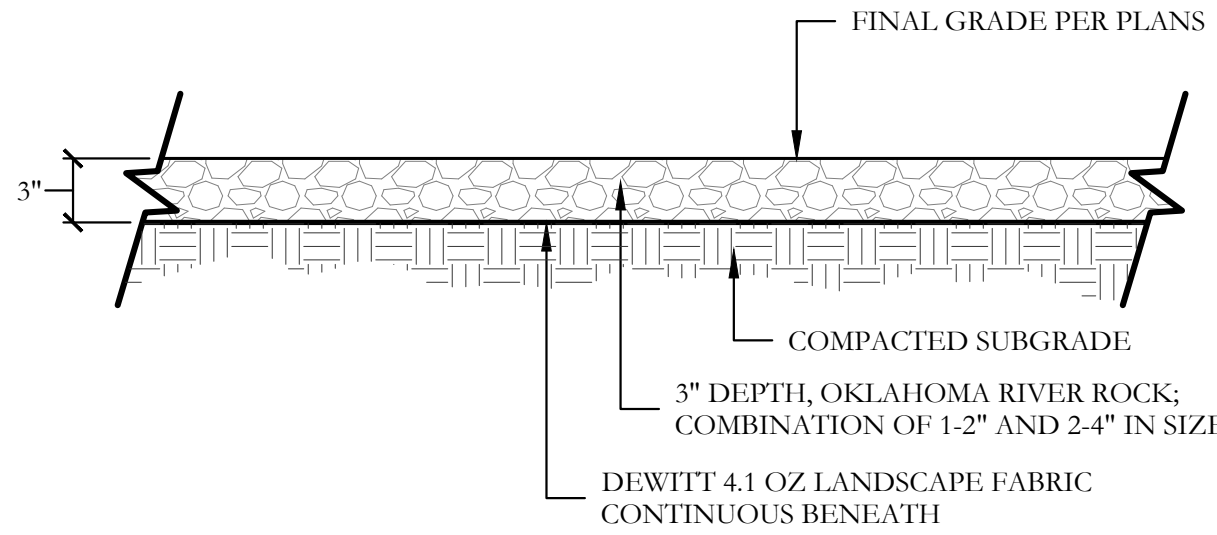
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

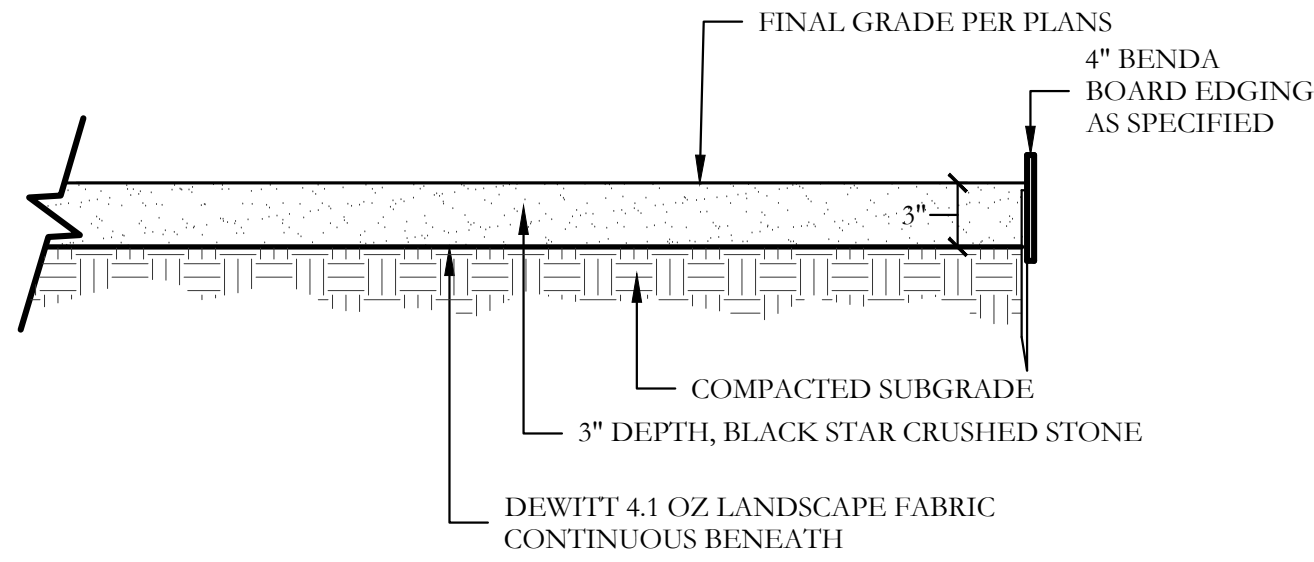
WTNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

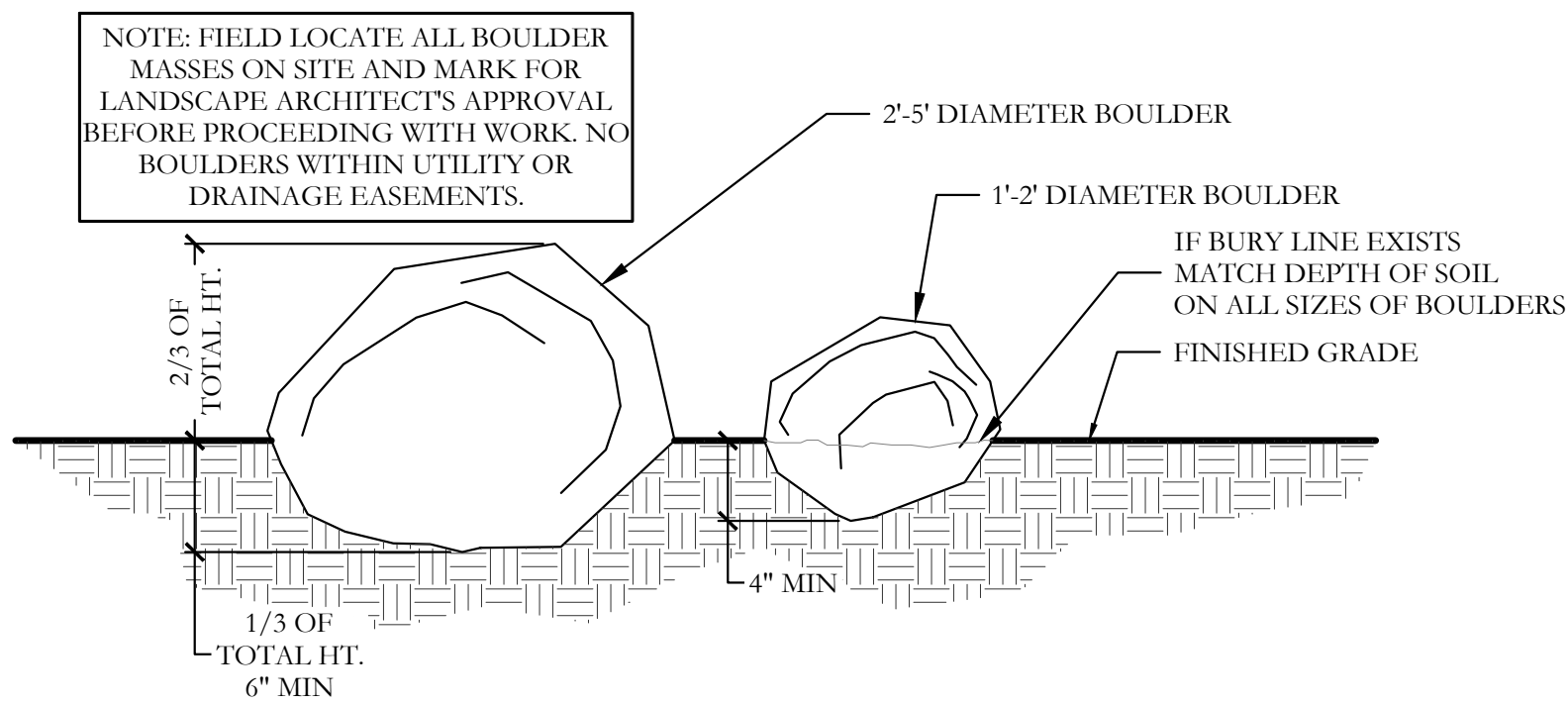
Director of Planning and Zoning



1 OKLAHOMA RIVER ROCK BED
SECTION
SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL
SECTION
SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL
SECTION
NOT TO SCALE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY OF
ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR
CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR
ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:
I hereby certify that the above and foregoing site plan for a development
in the City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, this ____ day of ____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



DATE: July 10, 2024

TO: Cody Johnson
Johnson Volk Consulting
704 Central Parkway East, Suite 1200
Plano, Texas 75074

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2024-033; *Site Plan for the Terraces Amenity Center*

Cody Johnson:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on July 9, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On July 9, 2024, the Planning and Zoning Commission approved a motion to approve the site plan by a vote of 4-0, with Commissioners Deckard and Womble absent, and one (1) vacancy.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,

Henry Lee, AICP, Senior Planner
City of Rockwall Planning and Zoning Department