



## CASE COVER SHEET

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

### **PLATTING APPLICATION**

MASTER PLAT  
PRELIMINARY PLAT  
FINAL PLAT  
REPLAT  
AMENDING OR MINOR PLAT  
PLAT REINSTATEMENT REQUEST

### **SITE PLAN APPLICATION**

SITE PLAN  
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

### **ZONING APPLICATION**

ZONING CHANGE  
SPECIFIC USE PERMIT  
PD DEVELOPMENT PLAN

### **OTHER APPLICATION**

TREE REMOVAL  
VARIANCE REQUEST/SPECIAL EXCEPTIONS

## RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 921 N. Alamo Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Residential street

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

Residential

CURRENT USE

Residential / yard

PROPOSED ZONING

PROPOSED USE

residential detached garage

ACREAGE

.53

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☒ OWNER

Travis Block

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

921 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

469-235-4261

PHONE

E-MAIL

trablock@icloud.com

E-MAIL

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Travis Block [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1300 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

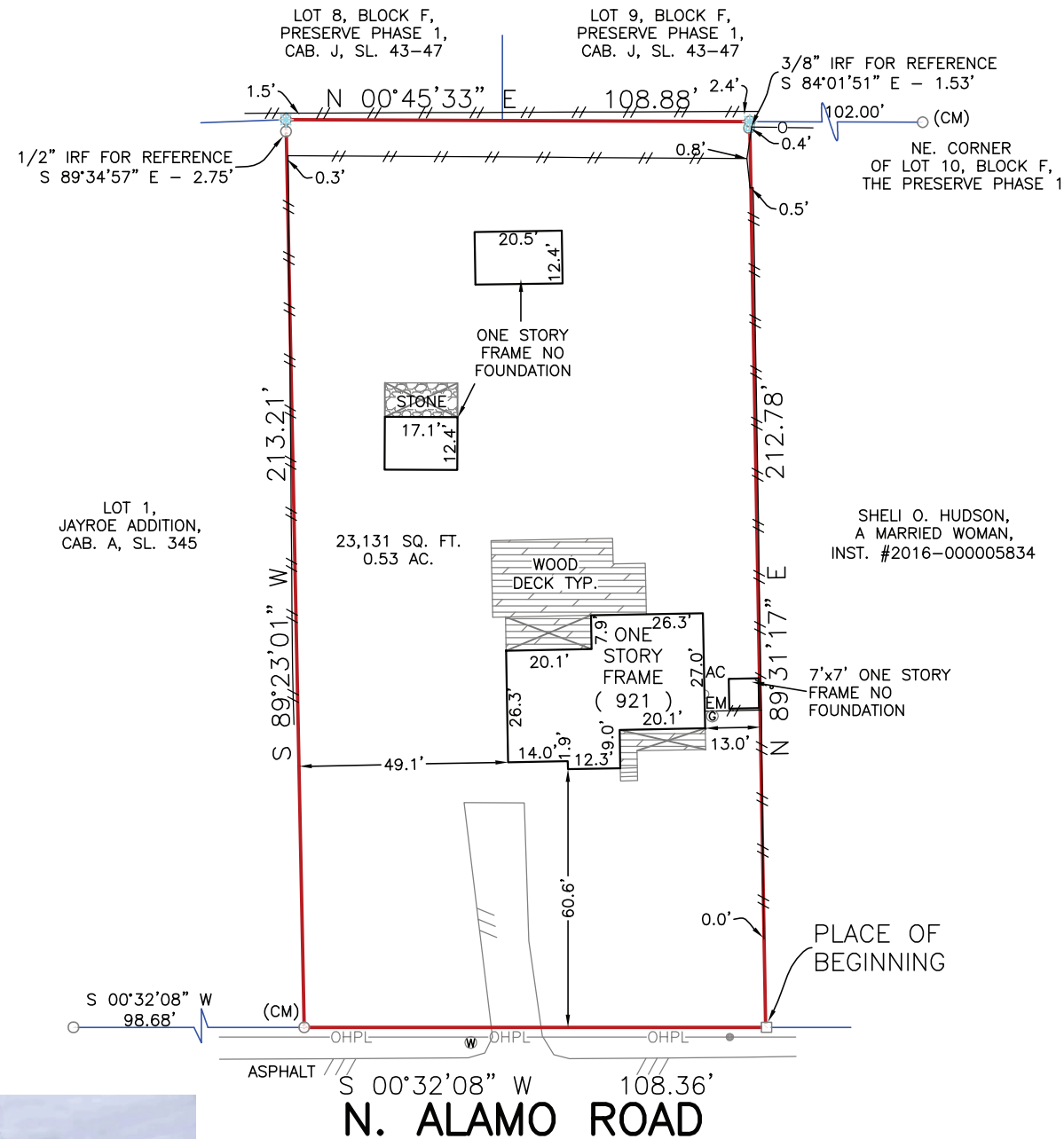
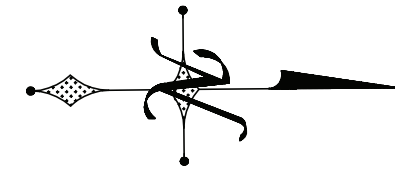
Candas Yarbrough



CANDAS YARBROUGH  
Notary Public-State of Texas  
Notary ID #13403783-4

Commission Exp. OCT. 27, 2025

MY COMMISSION EXPIRES 10-27-26



1529 E I-30, STE. 103  
GARLAND, TEXAS 75043

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 357 N. ALAMO ROAD, in the city of ROCKWALL Texas.

All that certain lot, tract or parcel of land situated in the J.H.B. SURVEY, Abstract No. 124, City of Rockwall, Rockwall County, Texas and being a tract of land described in deed to Corky Belanger, by deed recorded in Instrument Number 2020000030622, Deed Records, Rockwall County, Texas, (D.R.R.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at a railroad spike found for corner being in the West line of N. Alamo Road and being at the Southwest corner of a tract of land described in deed to Sheli O. Hudson, a married woman, by deed recorded in Instrument Number 2016-000005834, (D.R.R.C.T.) and being at the Northeast corner of that tract herein described;

THENCE South 00 degrees 32 minutes 08 seconds West, a distance of 108.36 feet to a 1/2 inch iron rod found for corner, being at the Northeast corner of Lot 1, of Jayroe Addition, an addition recorded in Cabinet A, Slide 346, of the Map or Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 23 minutes 01 seconds West, a distance of 213.21 feet to a point for corner, being in the East line of Lot 8, Block F, of Preserve Phase 1, an Addition recorded in Cabinet J, Slide 43-47, of the Map or Plat Records, Rockwall County, Texas, from which a 1/2 inch iron rod found bears South 89 degrees 34 minutes 57 seconds East, 2.75 feet for reference;

THENCE North 0 degrees 45 minutes 33 seconds East, a distance of 108.88 feet to a point for corner, being in the East line of Lot 9, of said Preserve Phase 1, from which a 3/8 inch iron rod found bears South 84 degrees 01 minutes 51 seconds East, 1.53 feet for reference;

THENCE North 89 degrees 31 minutes 17 seconds East, a distance of 212.78 feet to the PLACE OF BEGINNING and containing 23,131 square feet or 0.53 of an acre of land.

BEARINGS ARE BASED ON NAD 83  
DATUM, TEXAS STATE PLANE  
COORDINATE SYSTEM. NORTH  
CENTRAL ZONE

ACCEPTED BY: \_\_\_\_\_

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'

Date: 02/10/23

G. F. No.: 1901462300020

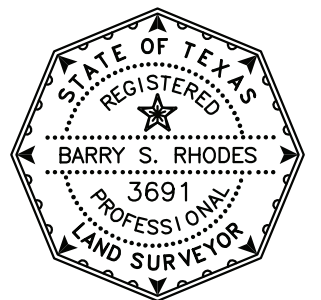
Job no.: 202300799

Drawn by: J.M.

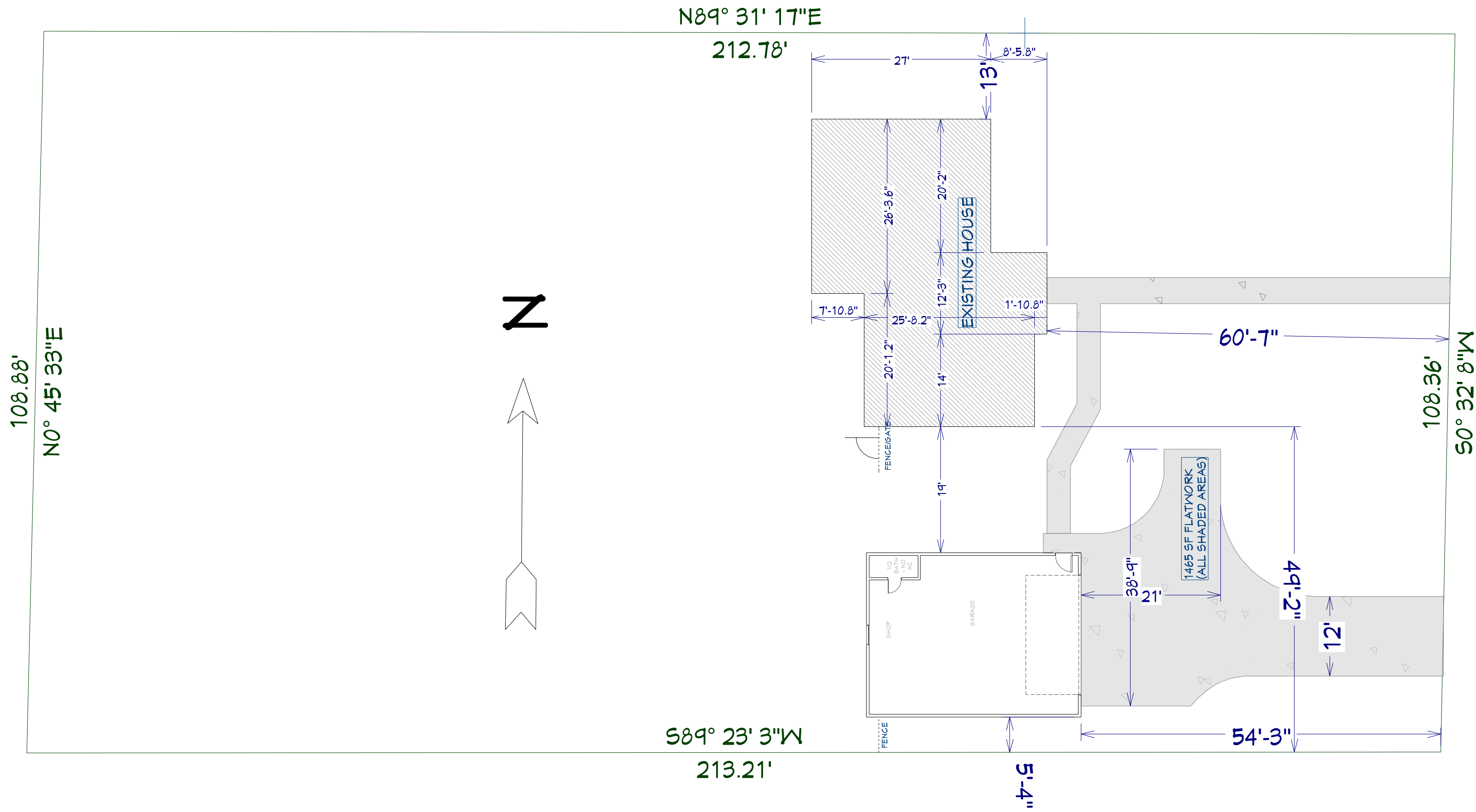
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
CM - CONTROLLING MONUMENT	
MRD - MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
SET 'X' - RR. SPIKE FOUND	
3/8" IRON ROD FOUND	
5/8" IRON ROD FOUND	
POINT FOR CORNER	
C - CABLE	E - ELECTRIC
CL - CLEAN OUT	PE - POOL EQUIP
G - GAS METER	P - POWER POLE
F - FIRE HYDRANT	T - TELEPHONE
L - LIGHT POLE	W - WATER METER
M - MANHOLE	V - WATER VALVE
(UNLESS OTHERWISE NOTED)	

Lawyers Title



Signature of Barry S. Rhodes



1"=10' SCALE

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

PLOT PLAN

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"=1'

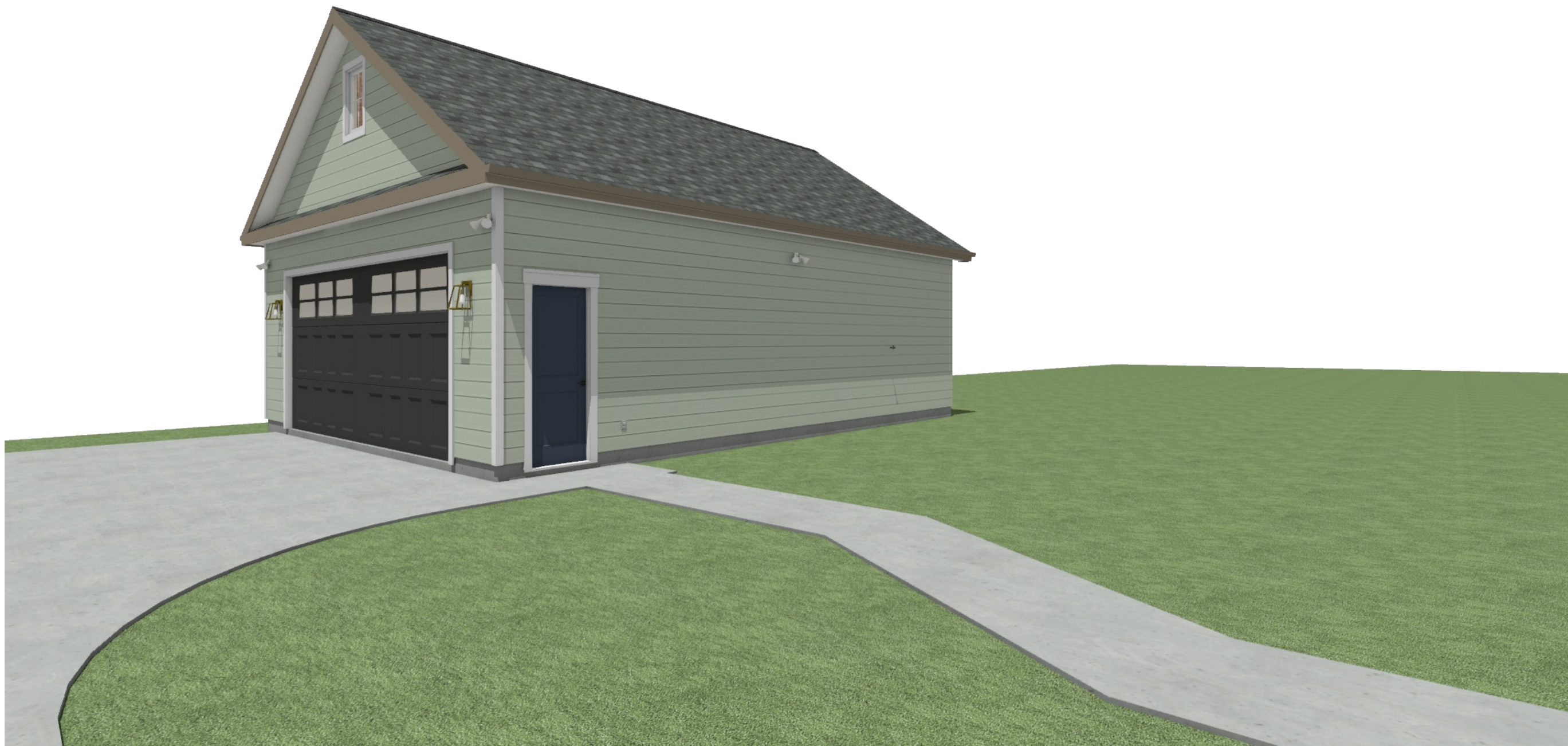
SHEET:

4

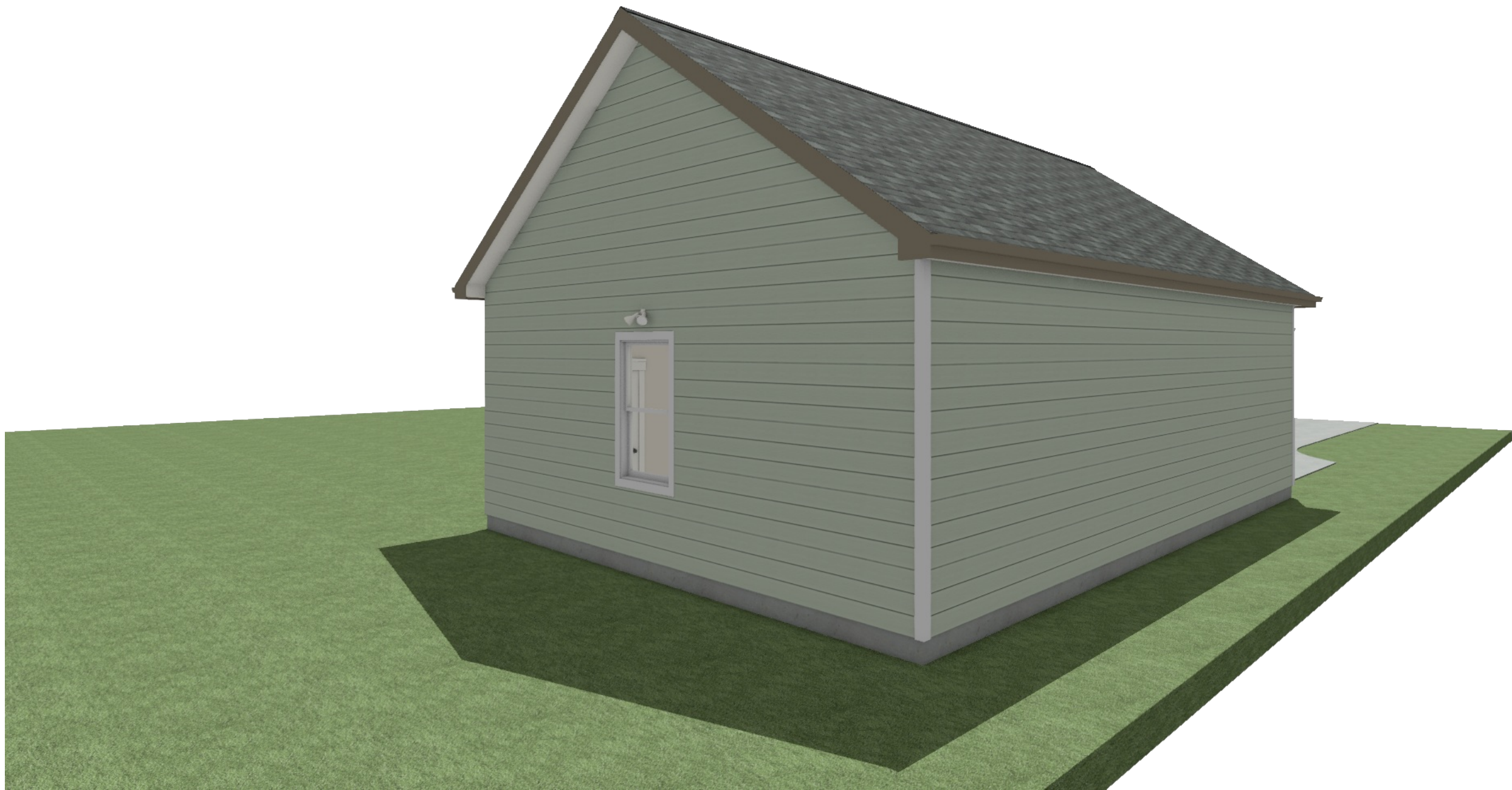




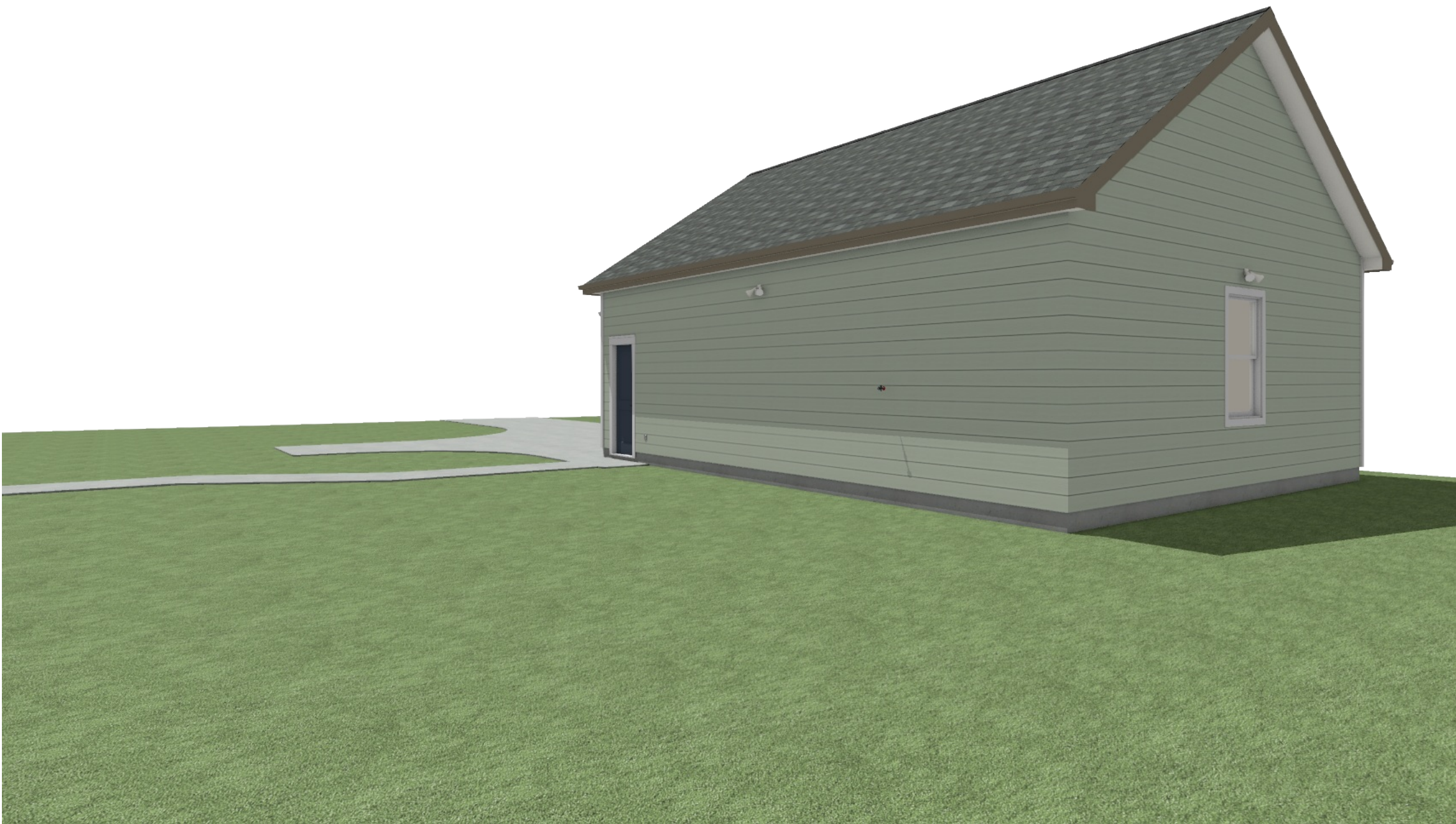
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL HEATED SF:	0 SF
TOTAL SLAB SF:	793 SF
TOTAL UNDER ROOF SF:	793 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	10/15/2023	AJH	INITIAL PLAN DEVELOPMENT
REV 02	11/20/2023	AJH	CONSTRUCTION PLANS
REV 02	4/23/2024	AJH	CORRECTED ADDRESS
REV 03	6/15/2024	AJH	MAJOR FLOORPLAN CHANGE

**GENERAL NOTES:**

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

**BUILDING PERFORMANCE:**

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	SCHEDULES & STYLE
4	PLOT PLAN
5	FOUNDATION/ROUGH-IN PLAN
6	ROOF PLAN - 1F
7	FRAMING PLAN - 1F

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST  
-2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST  
-PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:  
ELECTRICAL SYSTEM CODE: SEC.2701  
MECHANICAL SYSTEM CODE: SEC.2801  
PLUMBING SYSTEM CODE: SEC.2901  
(CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

PROJECT  
OVERVIEW

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"=1'

SHEET:

1

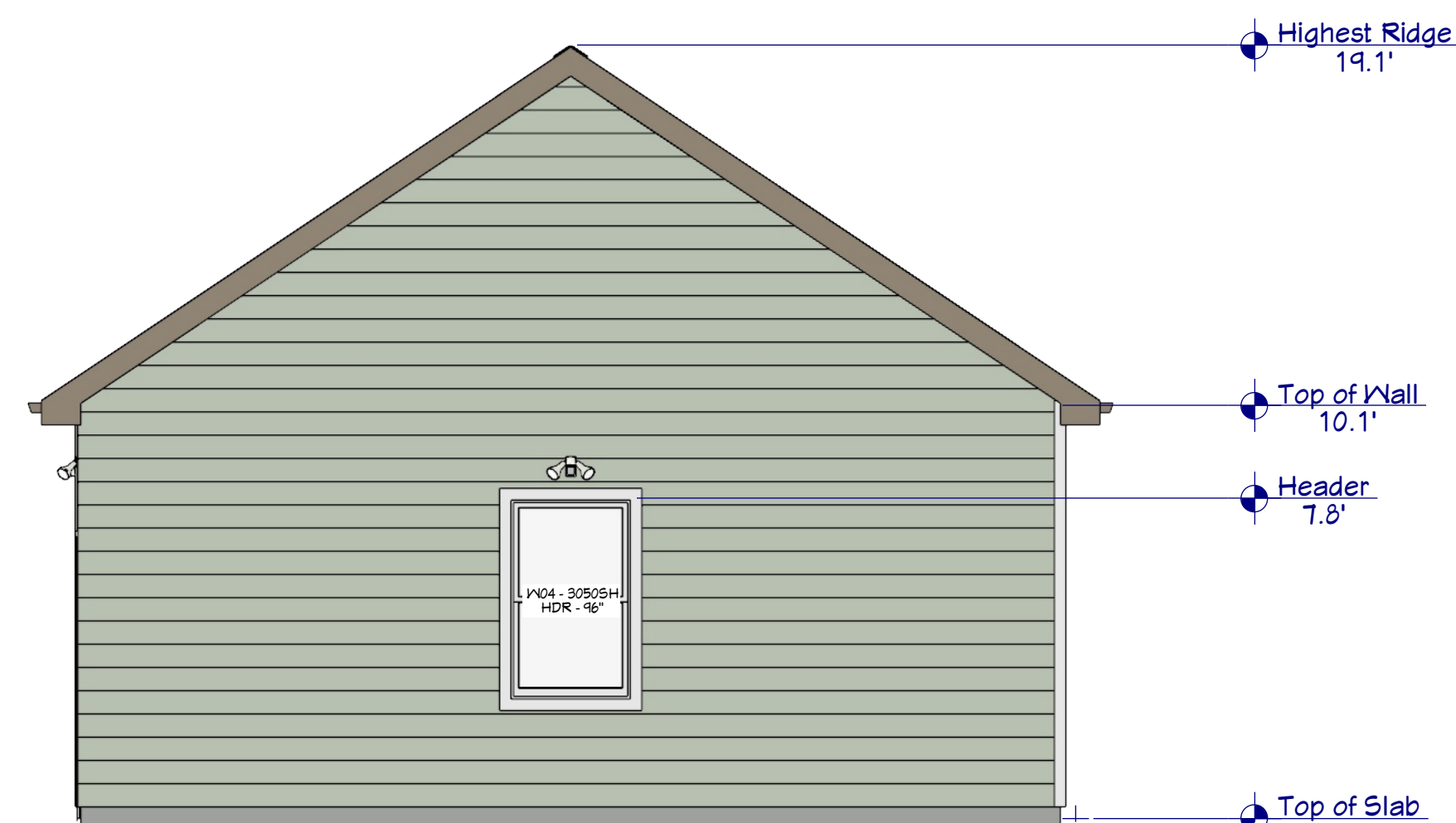




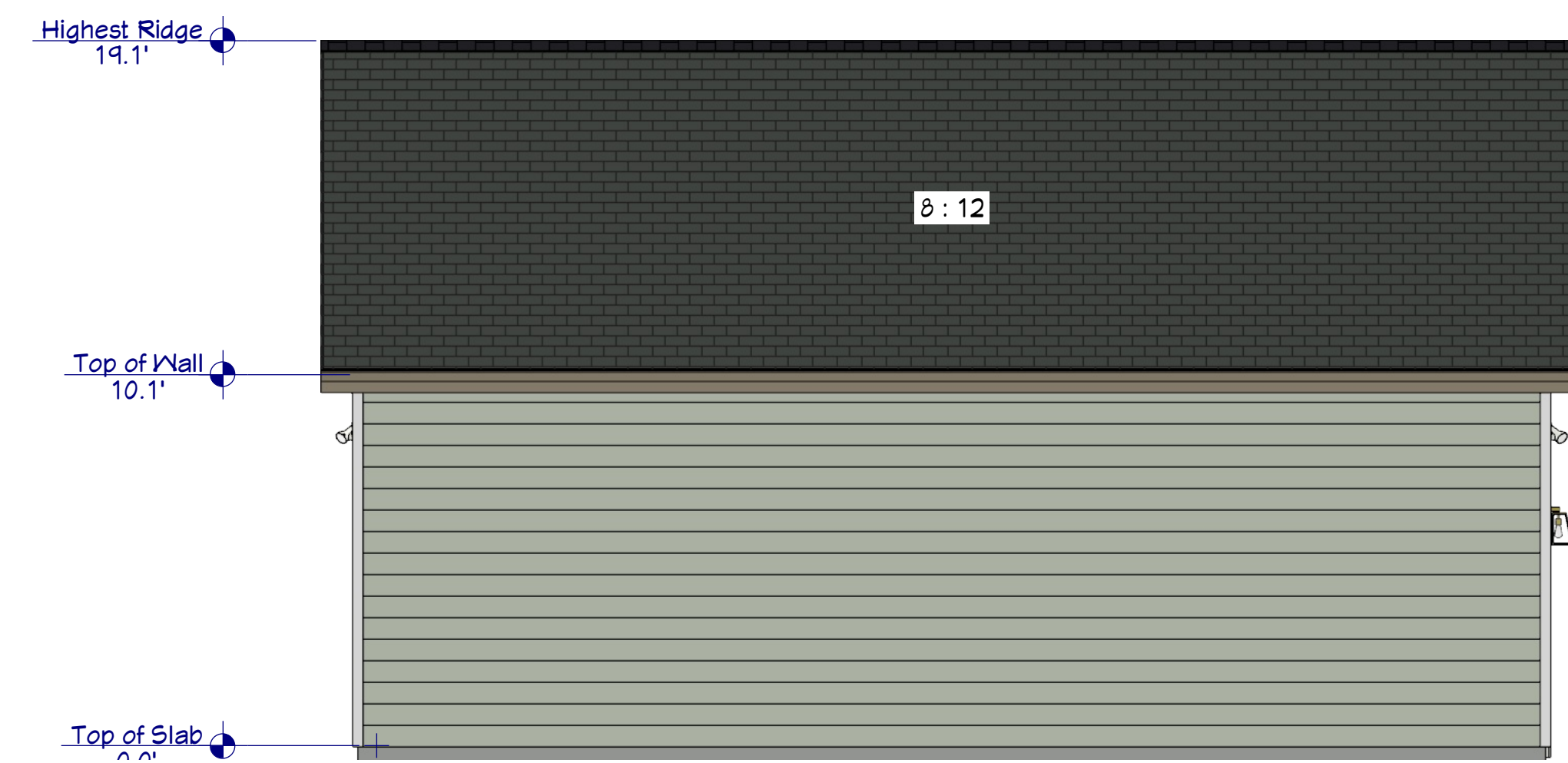
Exterior Elevation Front



Exterior Elevation Right



Exterior Elevation Back



Exterior Elevation Left

EXTERIOR MATERIALS:	
SOFFIT:	HARDI PLANK TRIM AND SOFFIT
SIDING:	HARDI 8.25" LAP SIDING
ACCENT SIDING	HARDI BOARD AND BATTEN
ROOF:	COMPOSITE SHINGLES (GRAY)
PORCH POSTS:	6" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	
CORNER BOARD TRIM:	YES
	(SEE STYLE SHEET FOR ADDITIONAL INFO.)

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"= 1'

SHEET:

2

FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

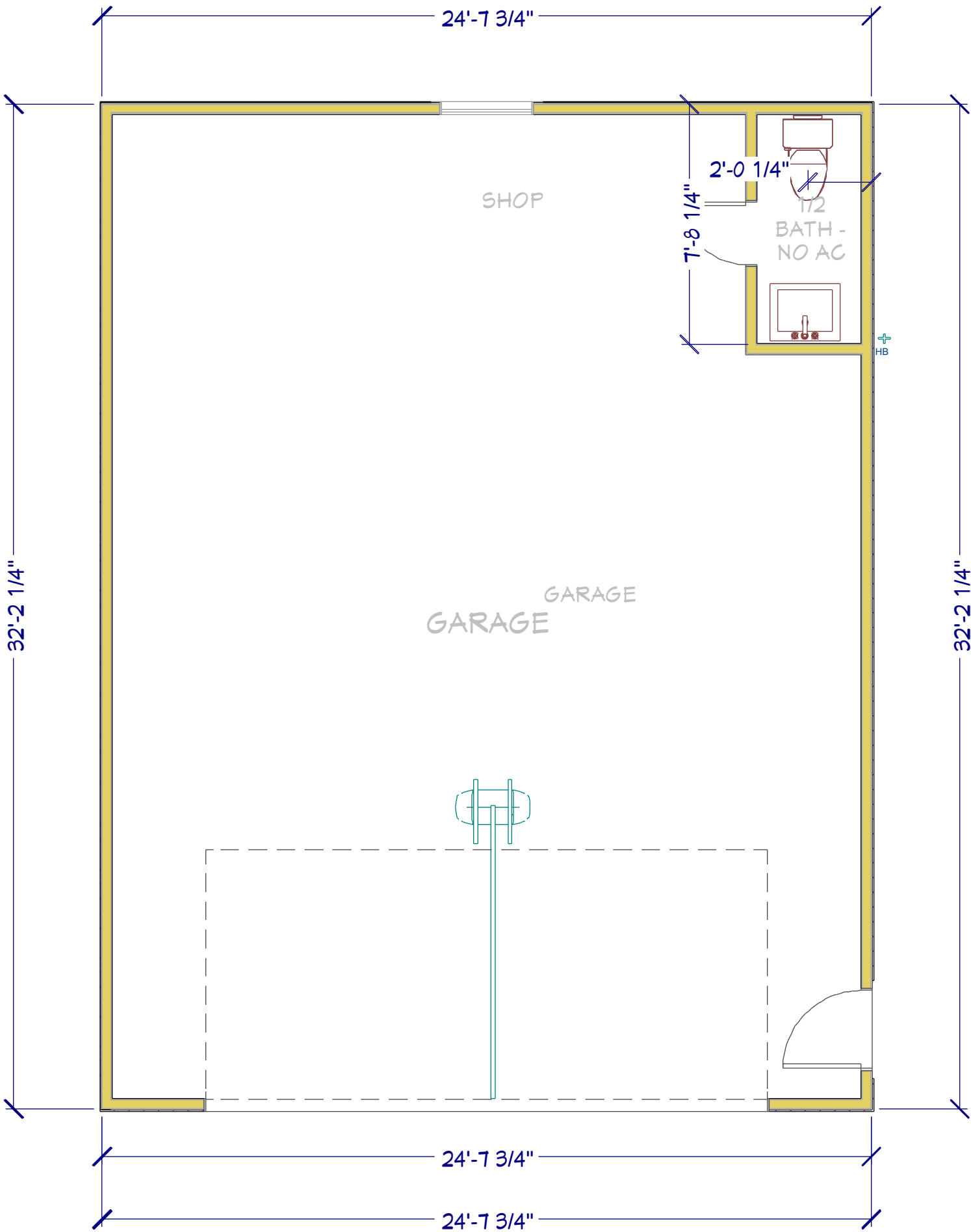
FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

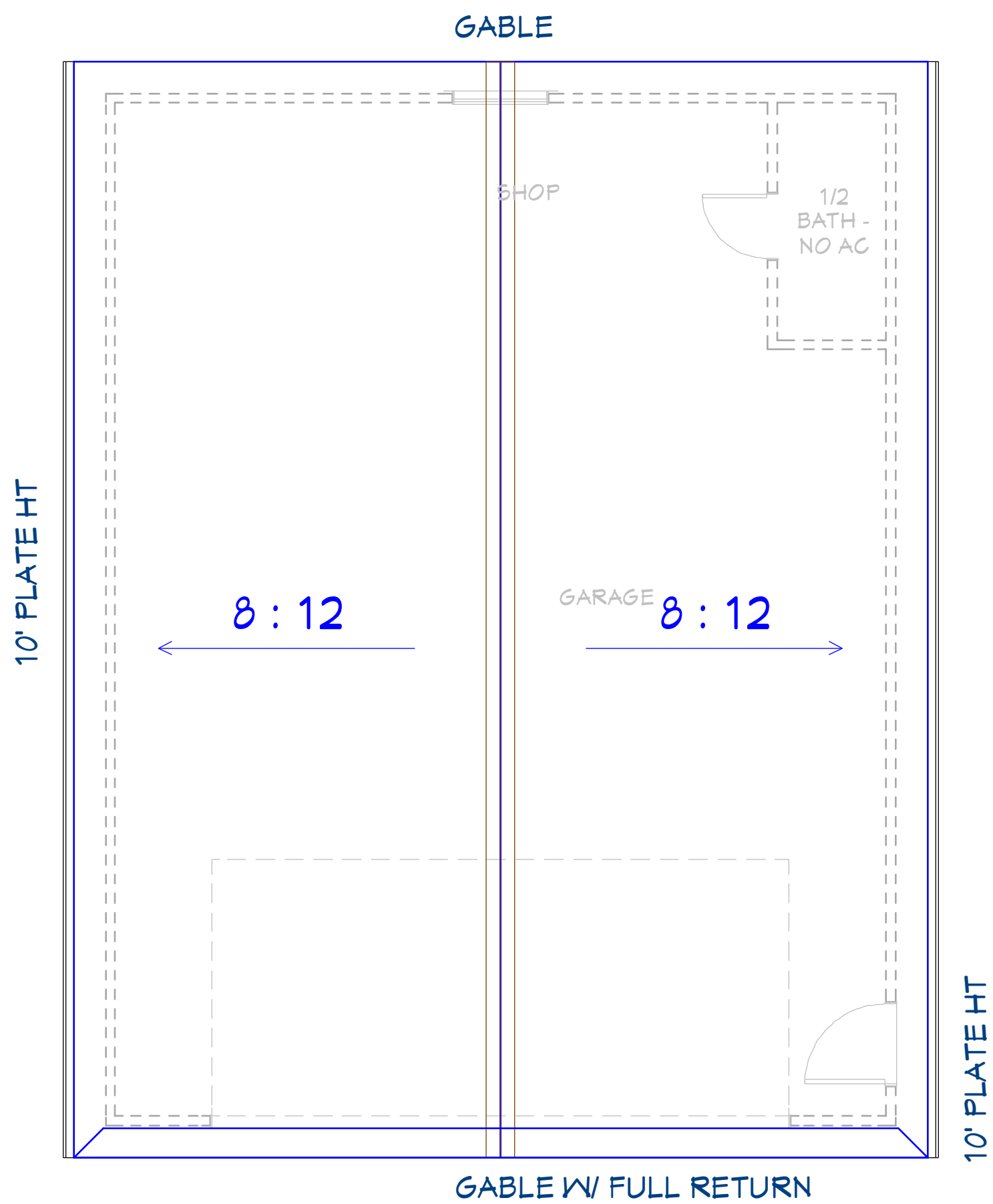
- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLOCATE AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X, FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

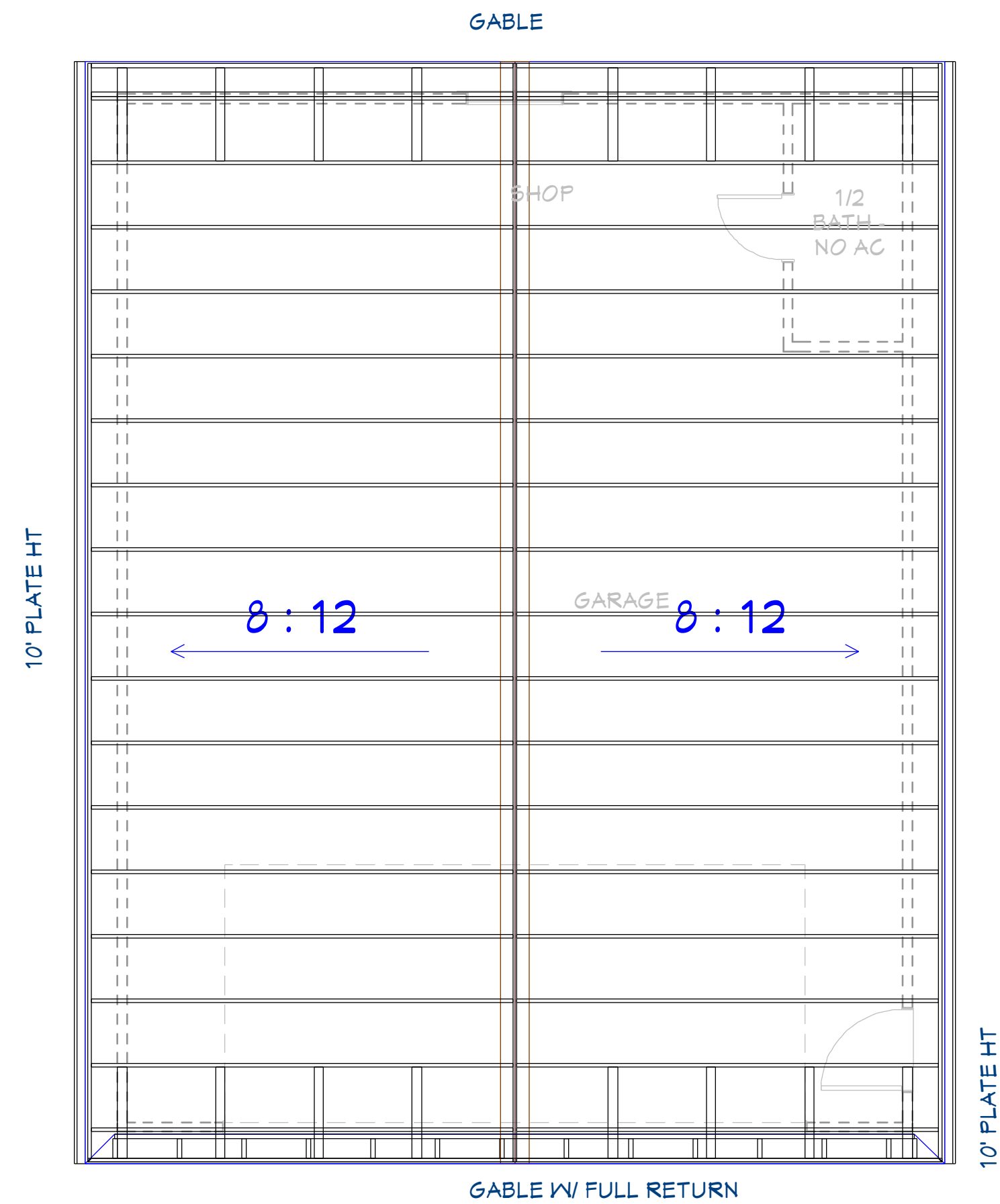


FOUNDATION ROUGH-IN



TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN



TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN W/ RAFTERS

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

ROOF PLAN - 1F

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

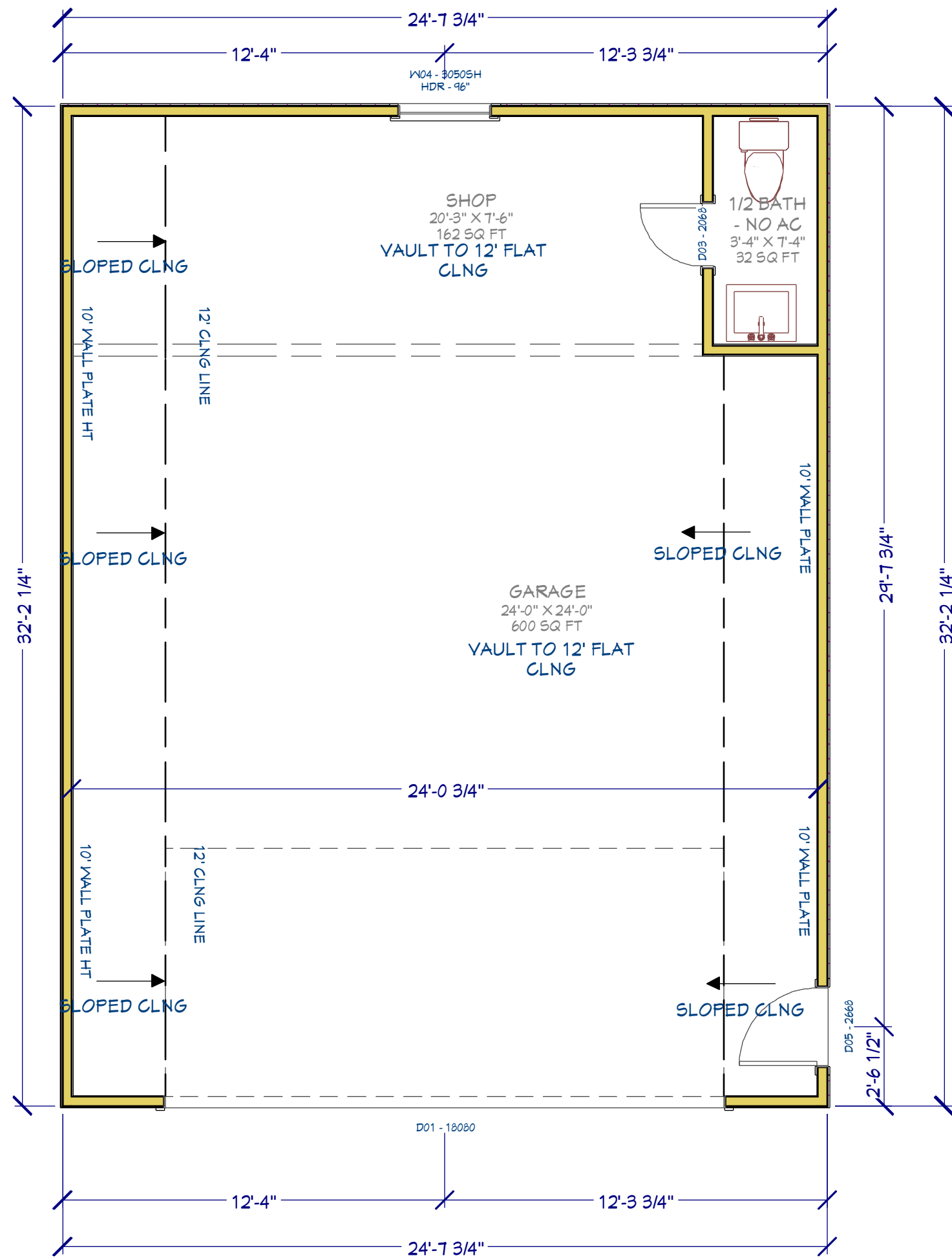
SCALE:

1/4"=1'

SHEET:

6





ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	14@ 5/8"
1	SHOP	152	14@ 5/8"
1	1/2 BATH - NO AC	24	12@ 5/8"
TOTALS:		752	

FRAMING PLAN

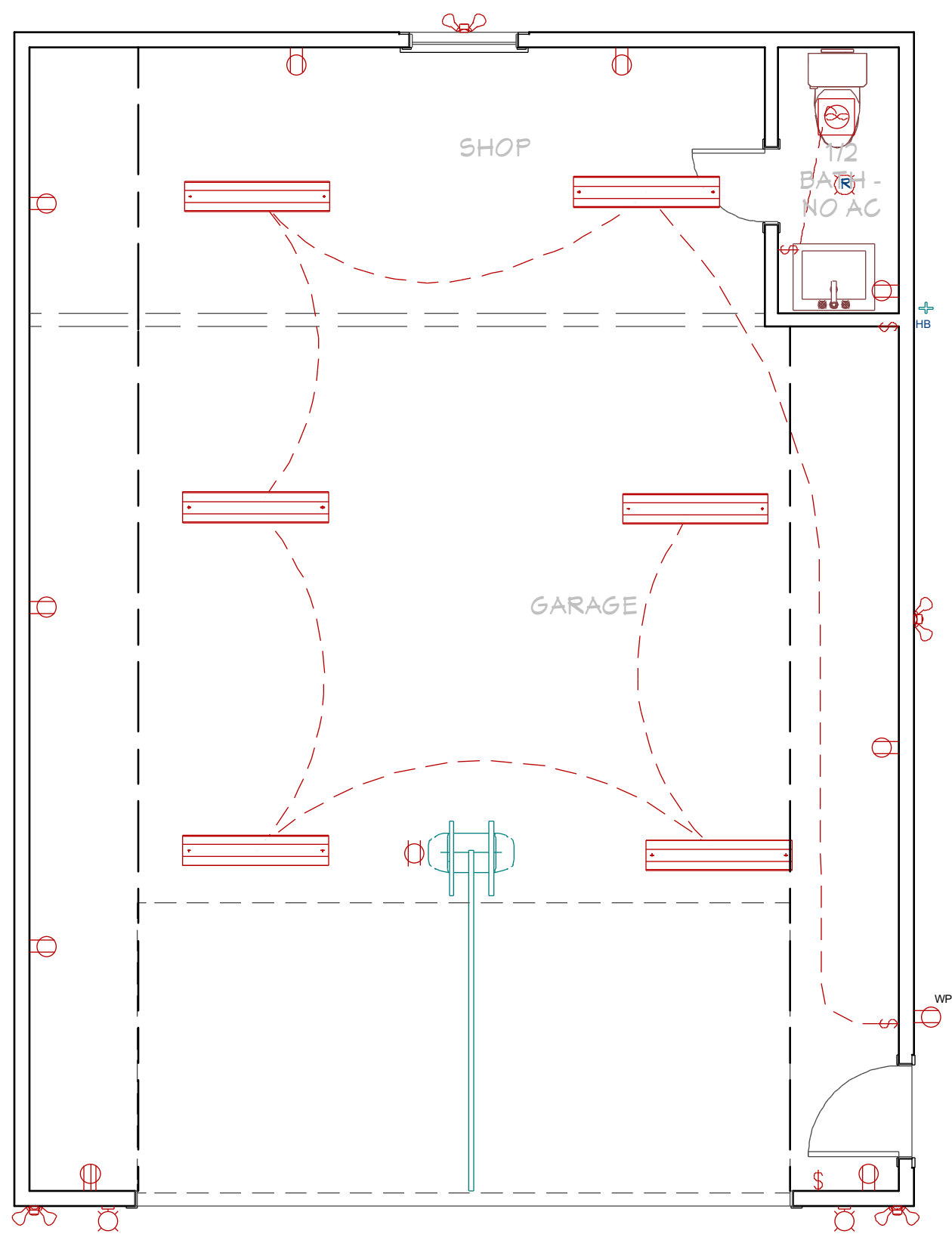
CABINET SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH

- ADDITIONAL ELECTRICIAN ITEMS/NOTES:
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
  - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
  - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
  - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
    - 30A 220V FOR POOL
    - 20A 110V FOR POOL ACCESSORIES
    - 50A 220V FOR ELECTRIC HOT TUB
  - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
  - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
  - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
  - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
  - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

- ELECTRICAL, DATA, & AUDIO NOTES:**  
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
  - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
  - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
  - FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
  - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
  - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
  - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**  
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

ELECTRICAL SCHEDULE				
NUMBER	FLOOR	QTY	DESCRIPTION	ATTACHED TO
E02	1	6	SHOP LIGHT (SHORT) (4@ 1/4W)	CEILING
E03	1	1	RECESSED DOWN LIGHT 6	CEILING
E05	1	1	DUPLEX CEILING MOUNTED	CEILING
E06	1	8	DUPLEX	WALL
E07	1	1	220V	WALL
E08	1	1	DUPLEX (WEATHERPROOF)	WALL
E12	1	1	EXHAUST	CEILING
E13	1	4	SPOTLIGHT 2 MOTION SENSOR	WALL
E14	1	2	ALDRIDGE SCOSCE	WALL
E15	1	4	SINGLE POLE	WALL

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



ELECTRICAL PLAN

**GENERAL NOTES AND SPECIFICATIONS**

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IEQ AND 2006 IMC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:	
1F BEDROOMS:	LVP/ENG. WOOD
1F BATHS:	TILE

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	148 5/8"
1	SHOP	152	148 5/8"
1	1/2 BATH - NO AC	24	124 5/8"
TOTALS:		752	

DOOR SCHEDULE											
NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	18080	EX	IN	GARAGE-GARAGE DOOR CHD05	96"	216"	1	3/4"x4 15/16"	
D03	1	1	2068 R IN	IN	OUT	HINGED- 84 INTERIOR	80"	24"	0+1	3/4"x4 1/2"	
D05	1	1	2668 L EX	EX	IN	EXT. HINGED- 82 TRADITIONAL PANEL	80"	30"	1+0	3/4"x4 7/16"	

WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE
W01	1	2	2030FX	FIXED GLASS	24"	36"	55 11/16"	2X2	
W04	1	1	3050SH	SINGLE HUNG	36"	60"	96"	1 / 1	

COMPONENT STYLE NOTES:	
FRONT DOOR STYLE	FIBERGLASS, 1/2 GLASS, STAINED
BACK DOOR STYLE	FIBERGLASS, 2/3 GLASS, PAINTED
INTERIOR DOOR STYLE	MDF OR SOLID CORE, 3 PANEL
WINDOW STYLE	VINYL, LO-E, FARMHOUSE, 2X2 LITES, WHITE EXT., WHITE INT.
COUNTERTOPS	QUARTZ, WHITE W/ GREY VEINING
EXT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS
INT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 921 N. Alamo Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Residential street

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

Residential

CURRENT USE

Residential / yard

PROPOSED ZONING

PROPOSED USE

residential detached garage

ACREAGE

.53

LOTS [CURRENT]

LOTS [PROPOSED]

- ☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☒ OWNER

Travis Block

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

921 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

469-235-4261

PHONE

E-MAIL

trablock@icloud.com

E-MAIL

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Travis Block [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 130 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

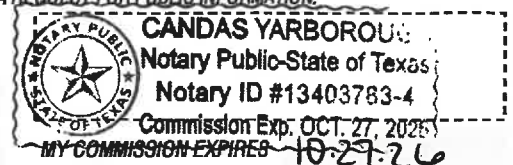
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

OWNER'S SIGNATURE

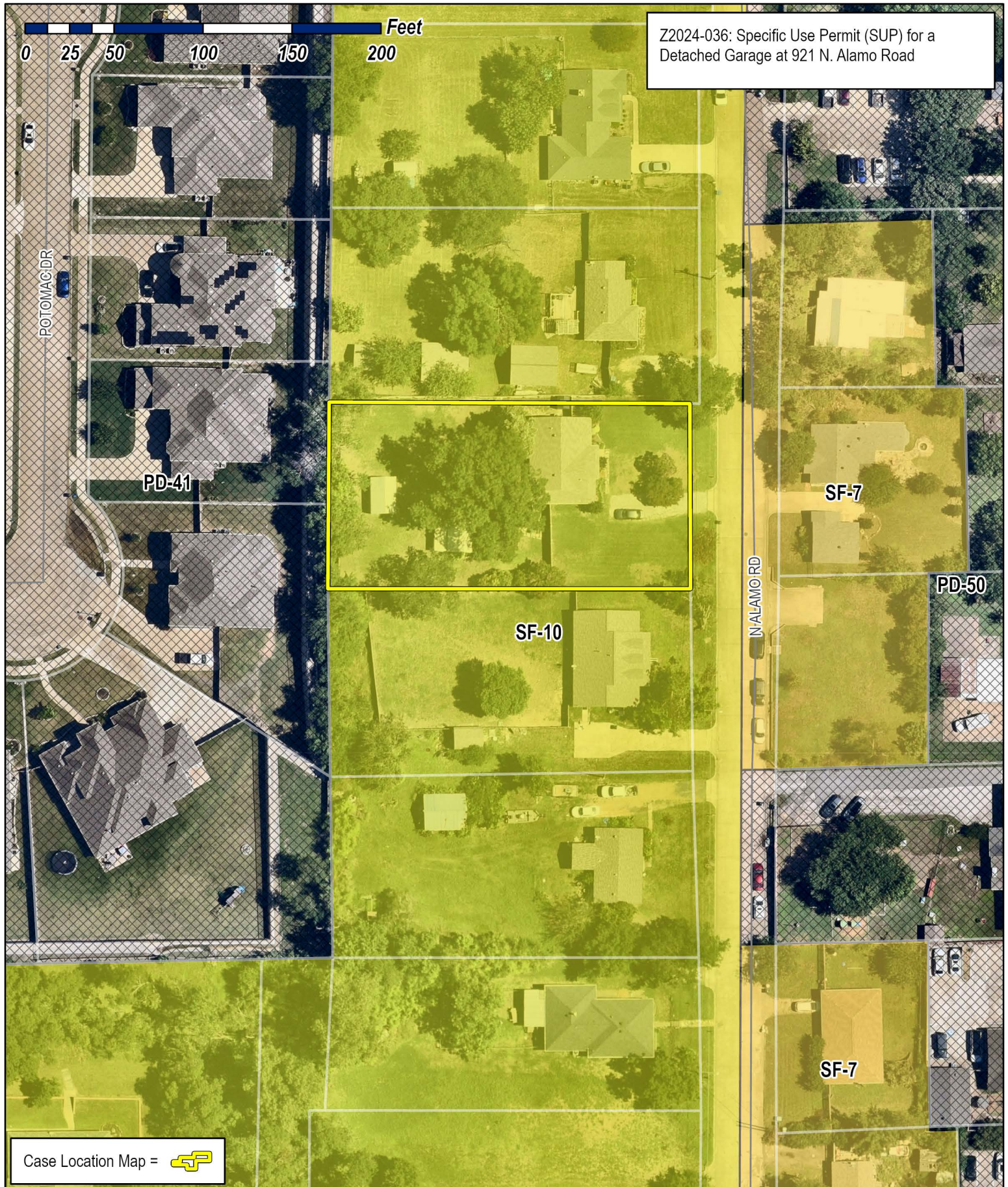
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Candas Yarbrough







## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



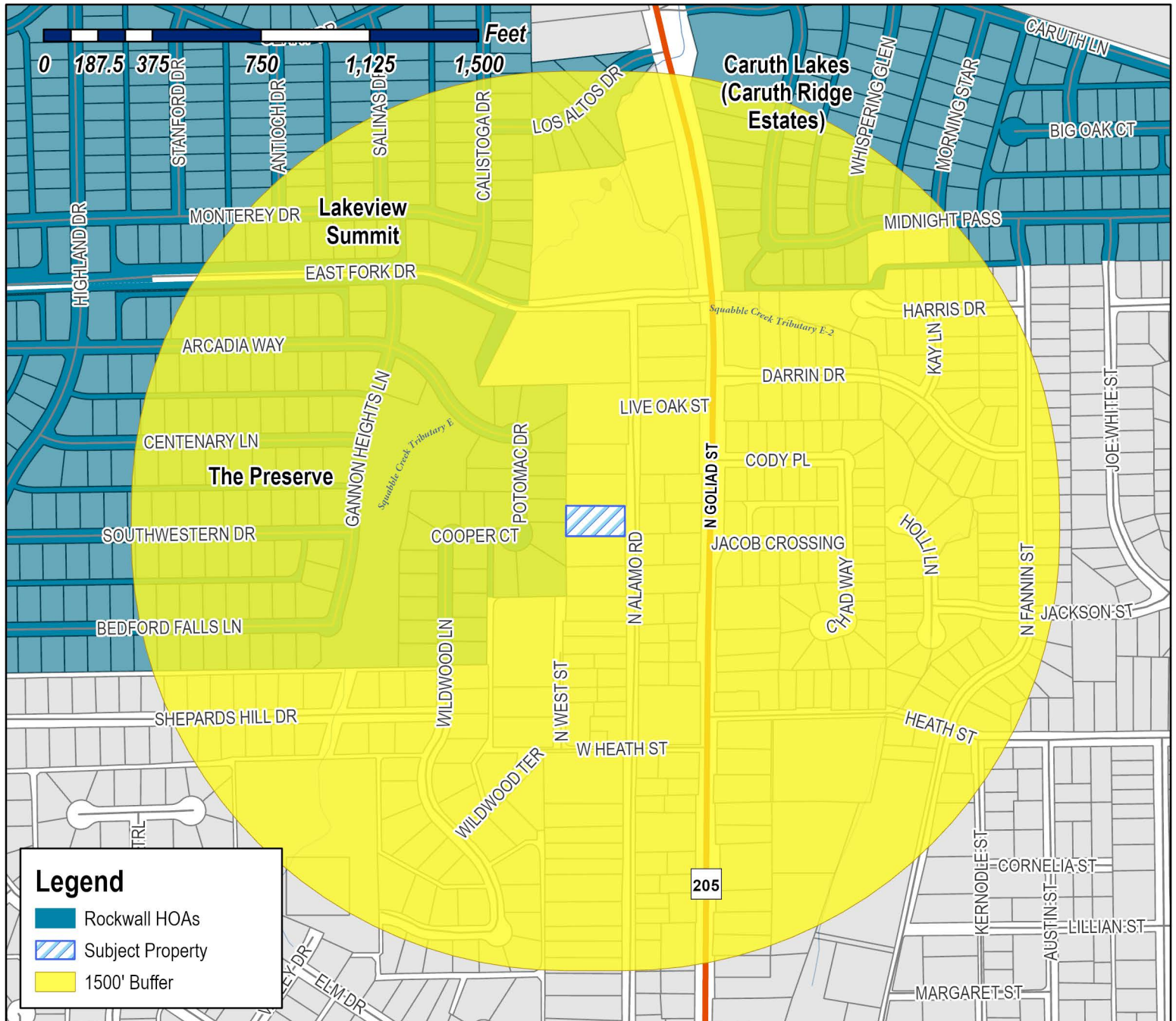




# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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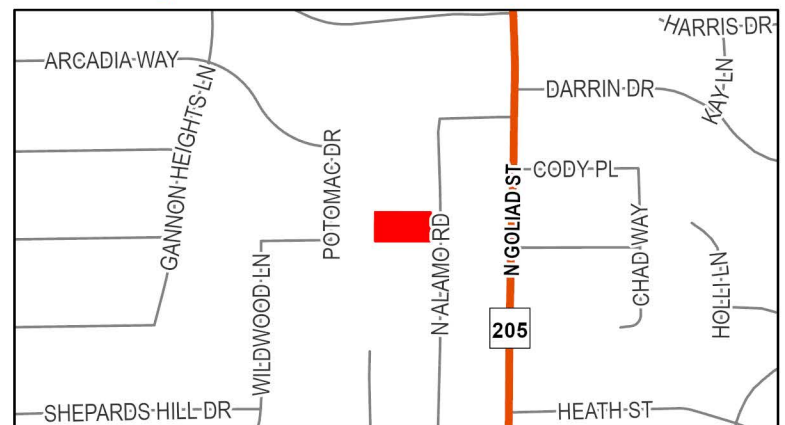
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**Case Number:** Z2024-036  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024

For Questions on this Case Call (972) 771-7745

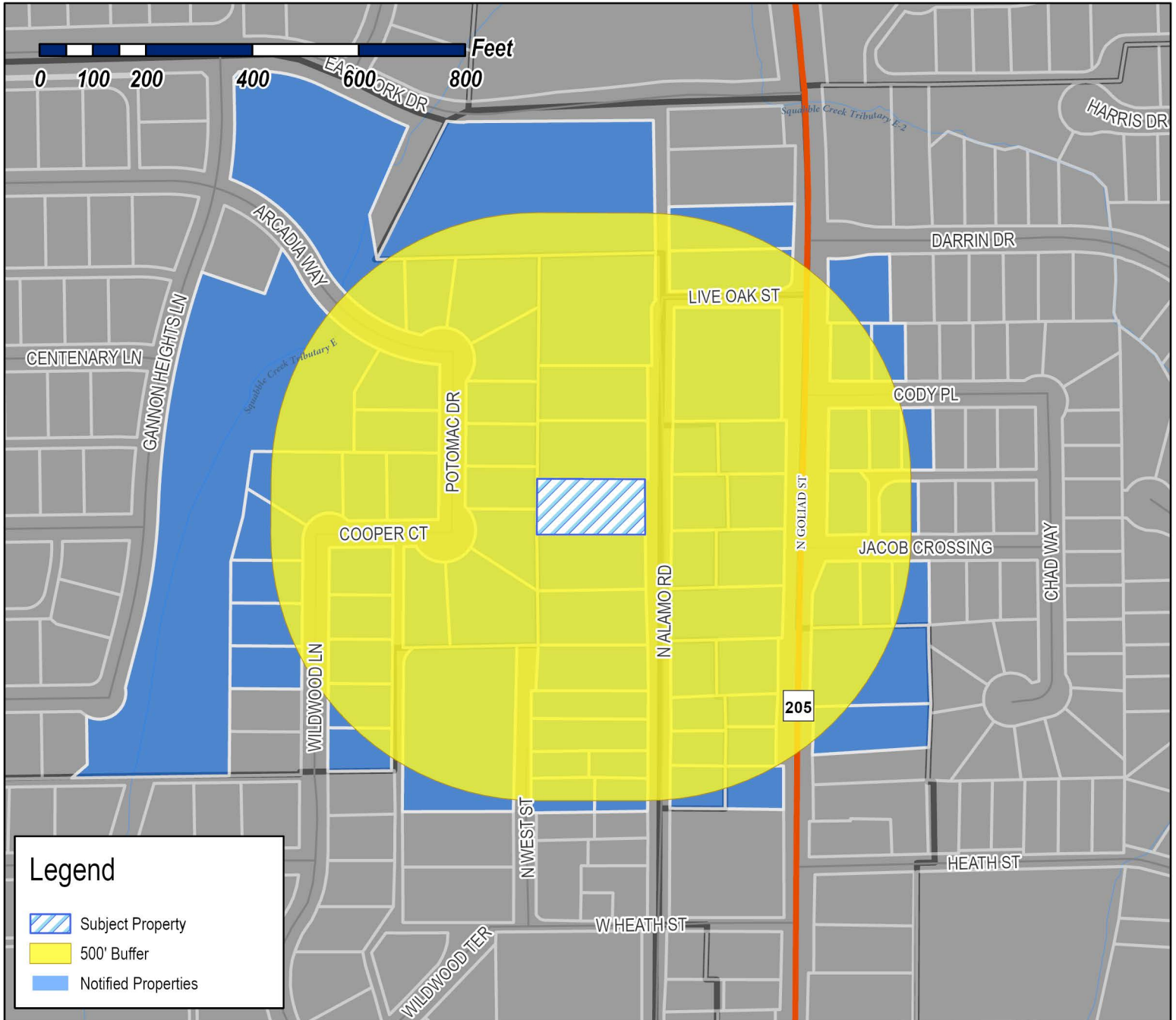





# City of Rockwall


Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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Legend

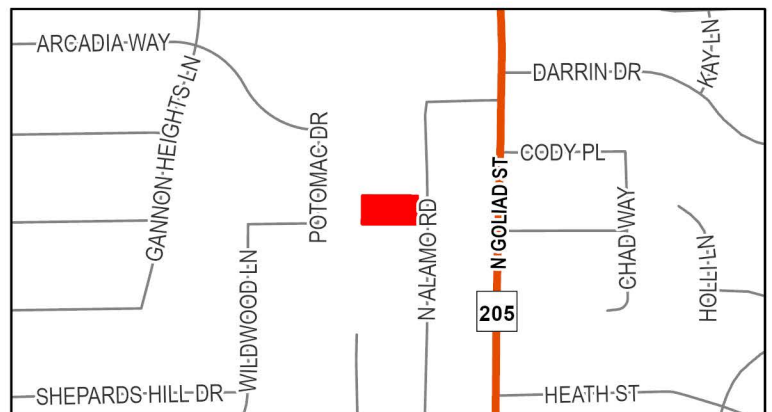
 Subject Property

 500' Buffer

 Notified Properties

**Case Number:** Z2024-024  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024  
For Questions on this Case Call: (972) 771-7745



RESIDENT  
1001 N GOLIAD  
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN  
104 RUSH CREEK  
HEATH, TX 75032

CURANOVIC JOHN  
109 ELM CREST DR  
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST  
1150 CRESTCOVE DR  
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A  
12207 DARK HOLLOW RD  
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN  
1408 S LAKESHORE DR  
ROCKWALL, TX 75087

STRATEGIC MANAGEMNET SERVICES LLC  
14124 EDGECREST DR  
DALLAS, TX 75254

DOUBLE T VENTURES LLC  
1500 S KREYMER LN  
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA  
1855 HIDDEN HILLS  
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW  
192 JACOB CROSSING  
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S  
193 JACOB CROSSING  
ROCKWALL, TX 75087

RESIDENT  
194 CODY PLACE  
ROCKWALL, TX 75087

CROY DANNY L  
195 CODY PL  
ROCKWALL, TX 75087

RESIDENT  
196 JACOB CROSSING  
ROCKWALL, TX 75087

STEWART DEBORAH LYNN  
196 DARRIN DR  
ROCKWALL, TX 75087

RESIDENT  
198 CODY PLACE  
ROCKWALL, TX 75087

KEANE PARKER F  
199 CODY PL  
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST  
CHRISTOPHER CHARLES SIEBERT & JANE M  
SIEBERT - TRUSTEES  
199 JACOB XING  
ROCKWALL, TX 75087

917 PROPERTIES LLC  
2 MANOR COURT  
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
200 JACOB CROSSING  
ROCKWALL, TX 75087

MILLER ROBERT AND KATY  
202 CODY PL  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
208 SUMMIT RIDGE  
ROCKWALL, TX 75087

WEST MICHAEL  
299 SHENNENDOAH LANE  
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST  
301 COOPER COURT  
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S TRUSTEES  
2023 G J MATTINGLY REVOCABLE TRUST  
302 ARCADIA WAY  
ROCKWALL, TX 75087

HARKLAU CAROLINE  
312 DARTBROOK  
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M  
317 COOPER STREET  
ROCKWALL, TX 75087

WEAST BRIAN J AND  
CYNTHIA C BROWN  
318 ARCADIA WAY  
ROCKWALL, TX 75087

WEBER MARY JANE  
318 COOPER CT  
ROCKWALL, TX 75087



BOLER RICKY D JR AND  
NANCY L GUTIERREZ  
334 COOPER COURT  
ROCKWALL, TX 75087

RESIDENT  
348 COOPER CT  
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC  
400 CHIPPENDALE DRIVE  
HEATH, TX 75032

TURNER KYLE RADEY  
4002 BROWNSTONE CT  
DALLAS, TX 75204

ADAT ESTATE LLC  
482 ARCADIA WAY  
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA  
602 W RUSK ST  
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE  
702 WILDWOOD LANE  
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL  
DAWN  
718 WILDWOOD LANE  
ROCKWALL, TX 75087

MAYNARD JEREMY SHAME AND  
AMY ELIZABETH FLORES  
731 WILDWOOD LANE  
ROCKWALL, TX 75087

PHILIPS SHIBU & LEJI  
734 WILDWOOD LN  
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A  
747 WILDWOOD LANE  
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES  
750 JUSTIN RD  
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA  
752 WILDWOOD LN  
ROCKWALL, TX 75087

CRAWFORD HAROLD E JR  
763 WILDWOOD LANE  
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD  
768 WILDWOOD LN  
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P  
779 WILDWOOD LANE  
ROCKWALL, TX 75087

MASON MARK S & TAMARA M  
802 POTOMAC DRIVE  
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN  
818 POTOMAC DR  
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID  
834 POTOMAC DR  
ROCKWALL, TX 75087

MCCULLEY LIVING TRUST  
DARREN WAYNE MCCULLEY & MICHELE JUNE  
MCCULLEY - CO-TRUSTEES  
837 POTOMAC DR  
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU  
852 POTOMAC DRIVE  
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD  
853 POTOMAC DRIVE  
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L  
868 POTOMAC DRIVE  
ROCKWALL, TX 75087

RESIDENT  
905 N GOLIAD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
907 N GOLIAD ST  
ROCKWALL, TX 75087

JC GAERLAN LLC  
907 NORTH ALAMO ROAD  
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID  
908 N ALAMO RD  
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC  
908 N GOLIAD ST  
ROCKWALL, TX 75087

MARTINKUS NICOLE  
908 N WEST ST  
ROCKWALL, TX 75087

MOLINA JOE C II  
909 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
909 N GOLIAD  
ROCKWALL, TX 75087

MCFADIN SARA TERESA  
909 N WEST STREET  
ROCKWALL, TX 75087

ZAVALA VICTOR V  
910 N ALAMO RD  
ROCKWALL, TX 75087

PERRY RUBY DELL  
910 N WEST ST  
ROCKWALL, TX 75087

WHITE TIMOTHY E  
9104 PRIVATE ROAD 2325  
TERRELL, TX 75160

LEWIS BEN  
911 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
911 N GOLIAD  
ROCKWALL, TX 75087

JONES PAMELA J  
912 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
912 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
913 N ALAMO RD  
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE  
ELIZABETH  
915 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
915 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
917 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
917 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
918 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N GOLIAD  
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS  
921 N ALAMO RD  
ROCKWALL, TX 75087

BARRY BARBARA  
922 N ALAMO RD  
ROCKWALL, TX 75087

HUDSON SHEL I O  
923 N ALAMO  
ROCKWALL, TX 75087

CHAVEZ ENRIQUE  
923 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
924 N ALAMO  
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND  
MICHAEL CRAWFORD  
925 N ALAMO  
ROCKWALL, TX 75087

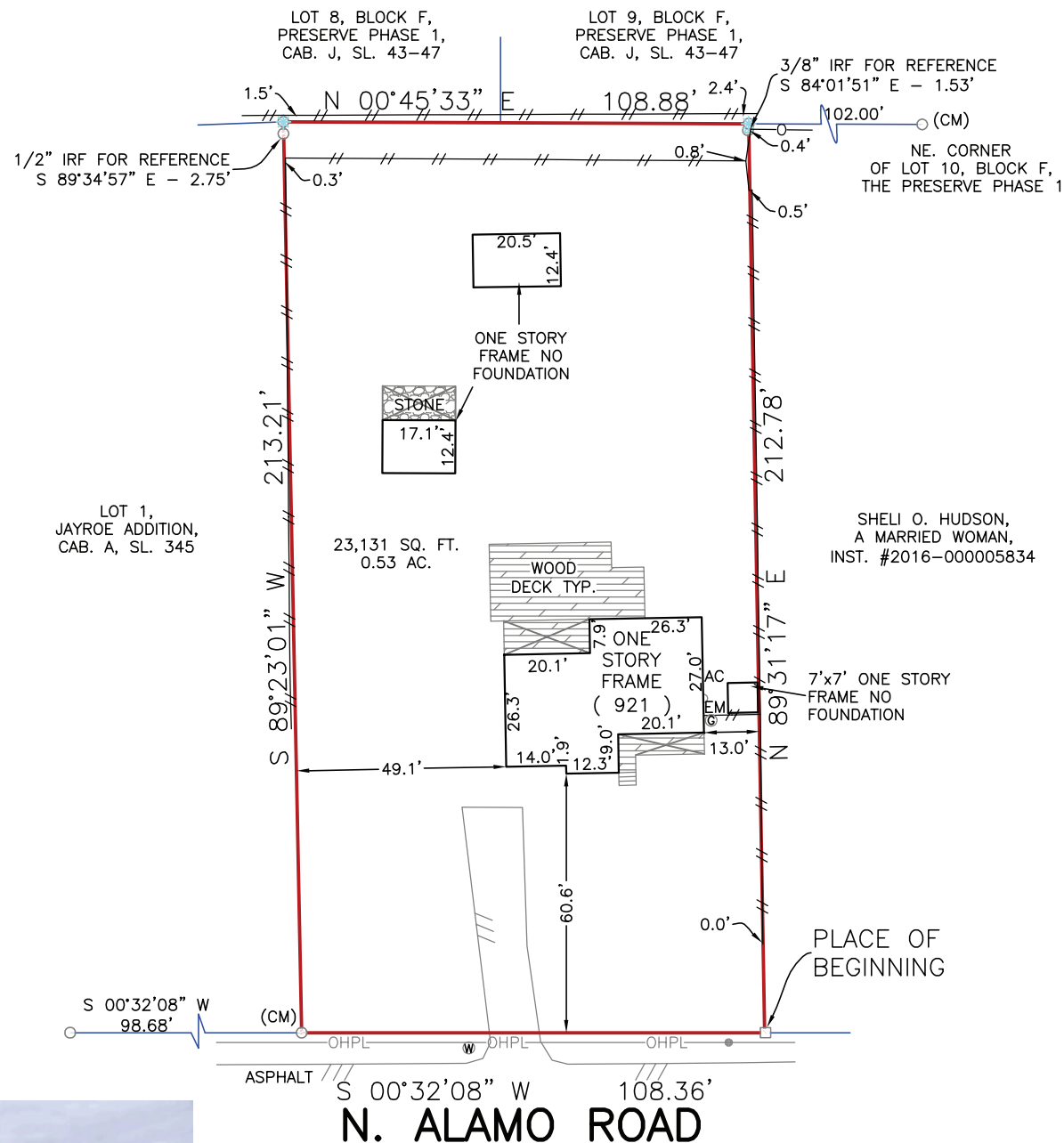
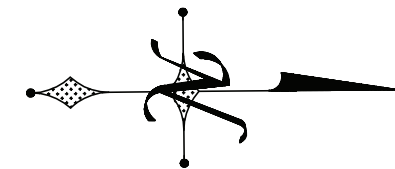
RESIDENT  
925 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
975 N ALAMO  
ROCKWALL, TX 75087

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

CFPC INVESTMENTS LLC  
PO BOX 1731  
MARBLE FALLS, TX 78654



1529 E I-30, STE. 103  
GARLAND, TEXAS 75043

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 357 N. ALAMO ROAD, in the city of ROCKWALL Texas.

All that certain lot, tract or parcel of land situated in the J.H.B. SURVEY, Abstract No. 124, City of Rockwall, Rockwall County, Texas and being a tract of land described in deed to Corky Belanger, by deed recorded in Instrument Number 2020000030622, Deed Records, Rockwall County, Texas, (D.R.R.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at a railroad spike found for corner being in the West line of N. Alamo Road and being at the Southwest corner of a tract of land described in deed to Sheli O. Hudson, a married woman, by deed recorded in Instrument Number 2016-000005834, (D.R.R.C.T.) and being at the Northeast corner of that tract herein described;

THENCE South 00 degrees 32 minutes 08 seconds West, a distance of 108.36 feet to a 1/2 inch iron rod found for corner, being at the Northeast corner of Lot 1, of Jayroe Addition, an addition recorded in Cabinet A, Slide 346, of the Map or Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 23 minutes 01 seconds West, a distance of 213.21 feet to a point for corner, being in the East line of Lot 8, Block F, of Preserve Phase 1, an Addition recorded in Cabinet J, Slide 43-47, of the Map or Plat Records, Rockwall County, Texas, from which a 1/2 inch iron rod found bears South 89 degrees 34 minutes 57 seconds East, 2.75 feet for reference;

THENCE North 0 degrees 45 minutes 33 seconds East, a distance of 108.88 feet to a point for corner, being in the East line of Lot 9, of said Preserve Phase 1, from which a 3/8 inch iron rod found bears South 84 degrees 01 minutes 51 seconds East, 1.53 feet for reference;

THENCE North 89 degrees 31 minutes 17 seconds East, a distance of 212.78 feet to the PLACE OF BEGINNING and containing 23,131 square feet or 0.53 of an acre of land.

BEARINGS ARE BASED ON NAD 83  
DATUM, TEXAS STATE PLANE  
COORDINATE SYSTEM. NORTH  
CENTRAL ZONE

ACCEPTED BY: \_\_\_\_\_

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'

Date: 02/10/23

G. F. No.: 1901462300020

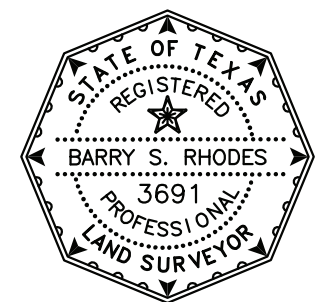
Job no.: 202300799

Drawn by: J.M.

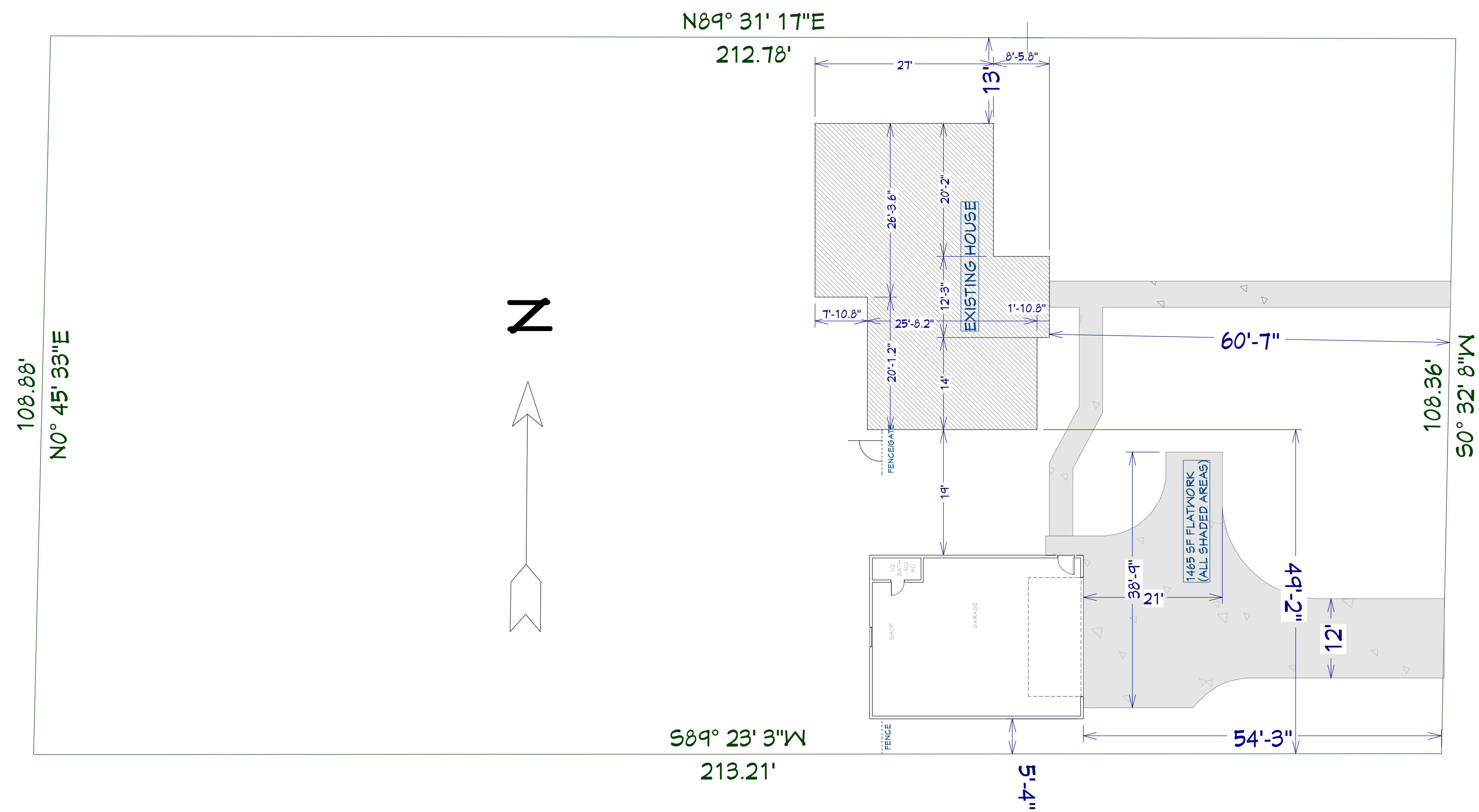
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
CM - CONTROLLING MONUMENT	
MRD - MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
SET 'X' - RR. SPIKE FOUND	
3/8" IRON ROD FOUND	
5/8" IRON ROD FOUND	
POINT FOR CORNER	
C - CABLE	E - ELECTRIC
CO - CLEAN OUT	PE - POOL EQUIP
G - GAS METER	P - POWER POLE
F - FIRE HYDRANT	T - TELEPHONE
L - LIGHT POLE	W - WATER METER
M - MANHOLE	V - WATER VALVE
(UNLESS OTHERWISE NOTED)	

Lawyers Title



Signature of Barry S. Rhodes

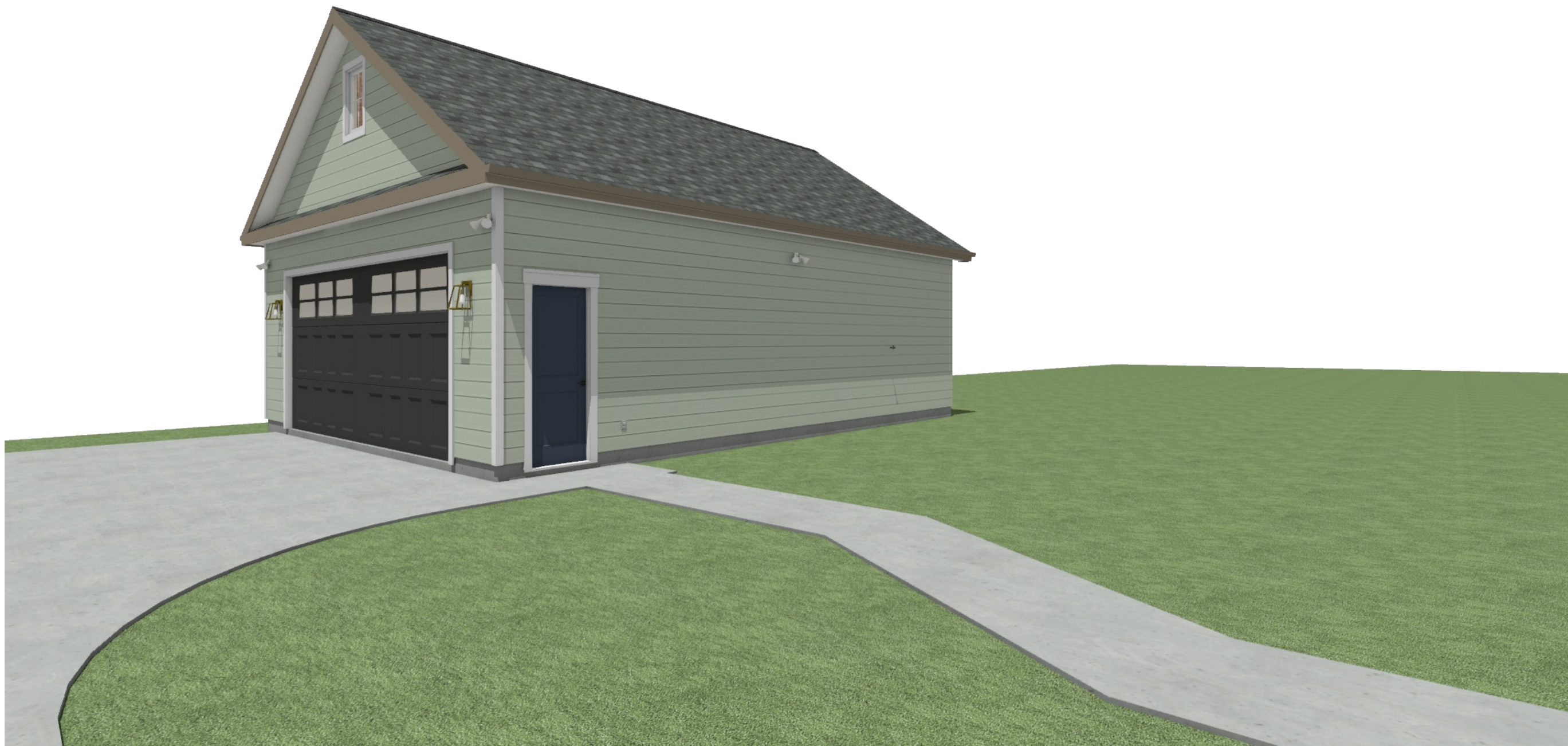


1"=10' SCALE

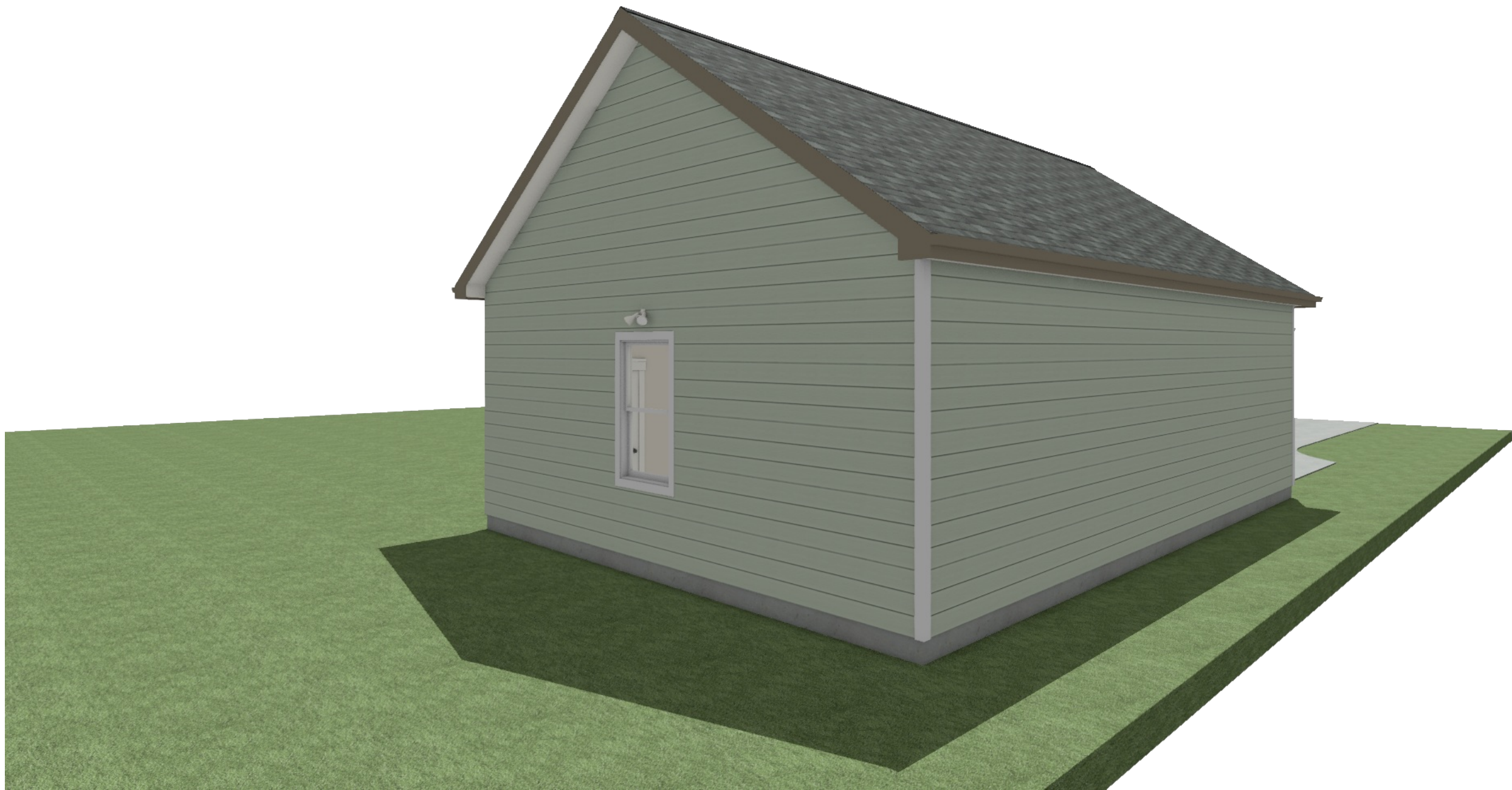




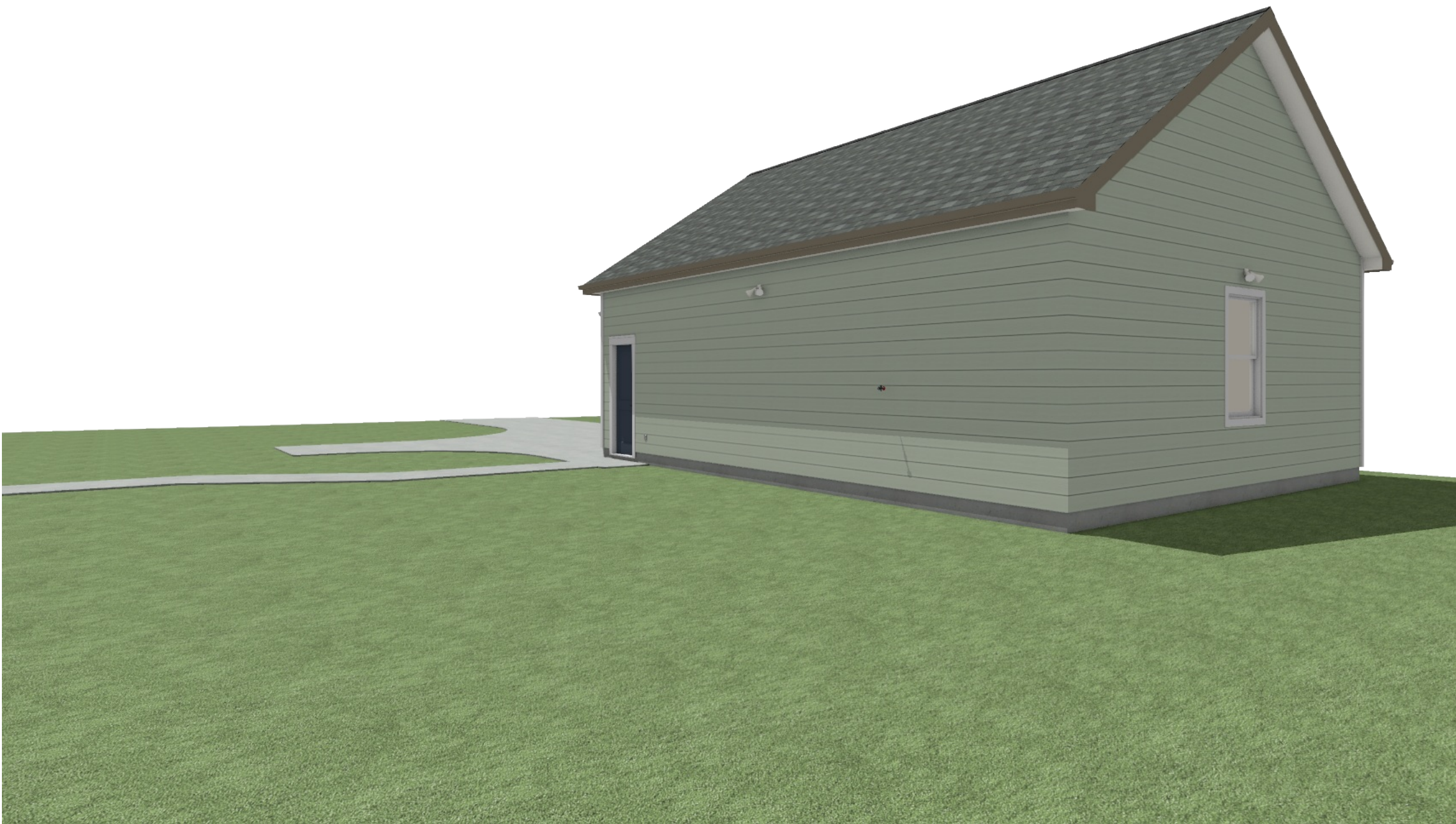
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL HEATED SF:	0 SF
TOTAL SLAB SF:	793 SF
TOTAL UNDER ROOF SF:	793 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	10/15/2023	AJH	INITIAL PLAN DEVELOPMENT
REV 02	11/20/2023	AJH	CONSTRUCTION PLANS
REV 02	4/23/2024	AJH	CORRECTED ADDRESS
REV 03	6/15/2024	AJH	MAJOR FLOORPLAN CHANGE

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	SCHEDULES & STYLE
4	PLOT PLAN
5	FOUNDATION/ROUGH-IN PLAN
6	ROOF PLAN - 1F
7	FRAMING PLAN - 1F

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

PROJECT  
OVERVIEW

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"=1'

SHEET:

1

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST  
-2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST  
-PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:  
ELECTRICAL SYSTEM CODE: SEC.2701  
MECHANICAL SYSTEM CODE: SEC.2801  
PLUMBING SYSTEM CODE: SEC.2901  
(CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

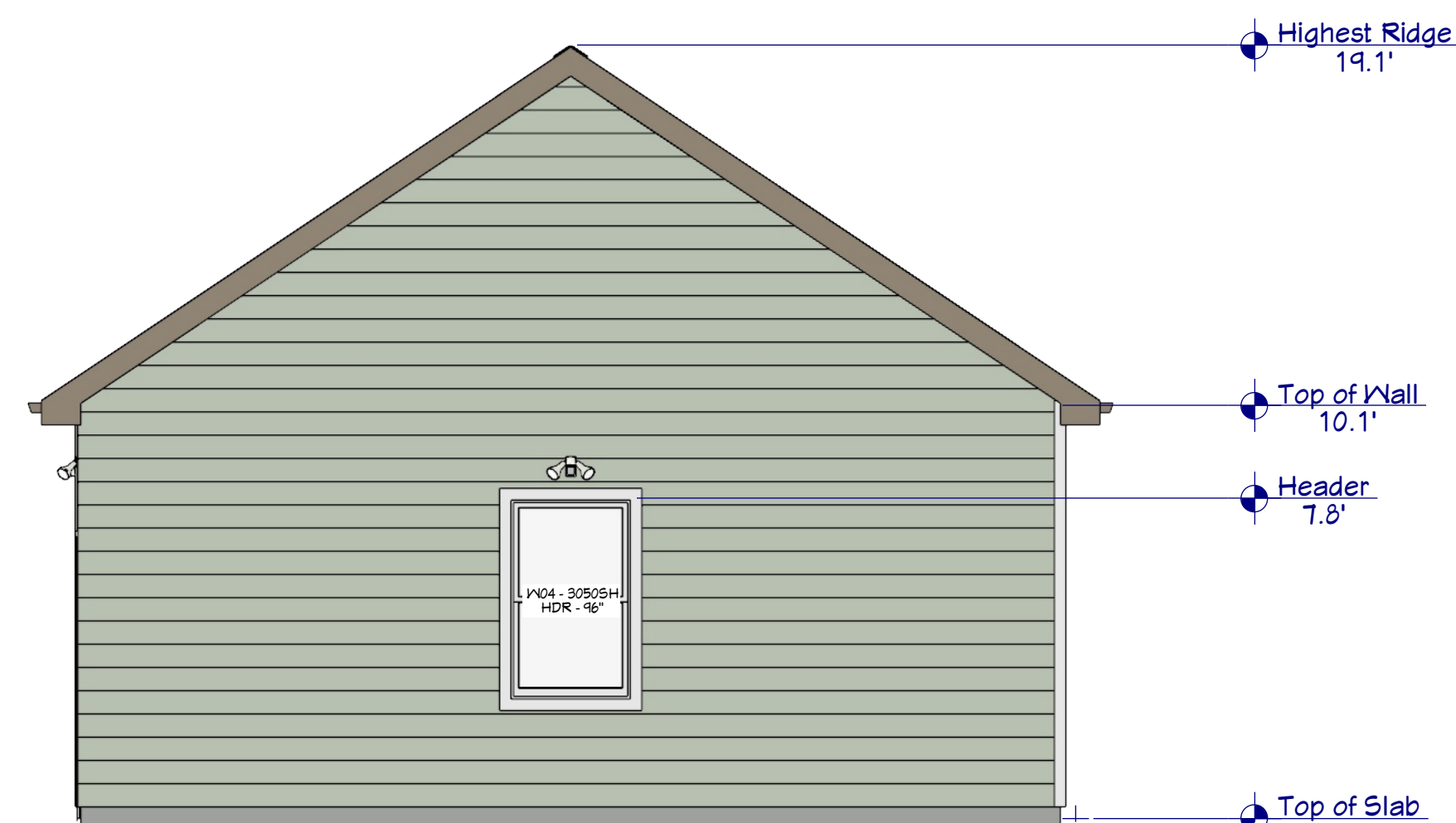




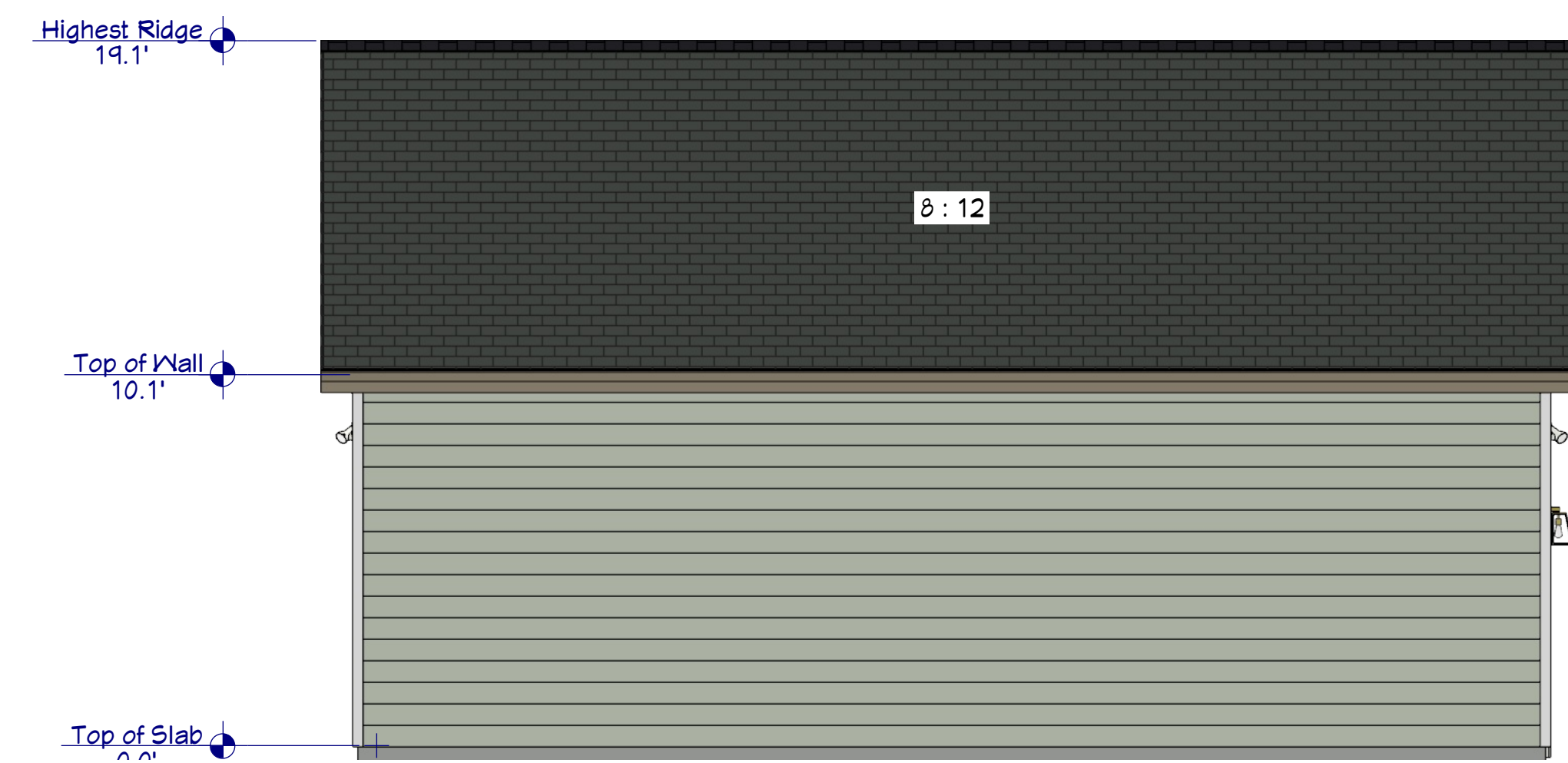
Exterior Elevation Front



Exterior Elevation Right



Exterior Elevation Back



Exterior Elevation Left

EXTERIOR MATERIALS:	
SOFFIT:	HARDI PLANK TRIM AND SOFFIT
SIDING:	HARDI 8.25" LAP SIDING
ACCENT SIDING	HARDI BOARD AND BATTEN
ROOF:	COMPOSITE SHINGLES (GRAY)
PORCH POSTS:	6" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	
CORNER BOARD TRIM:	YES
	(SEE STYLE SHEET FOR ADDITIONAL INFO.)

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:
6/15/2024
SCALE:
1/4"= 1'
SHEET:
2



FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

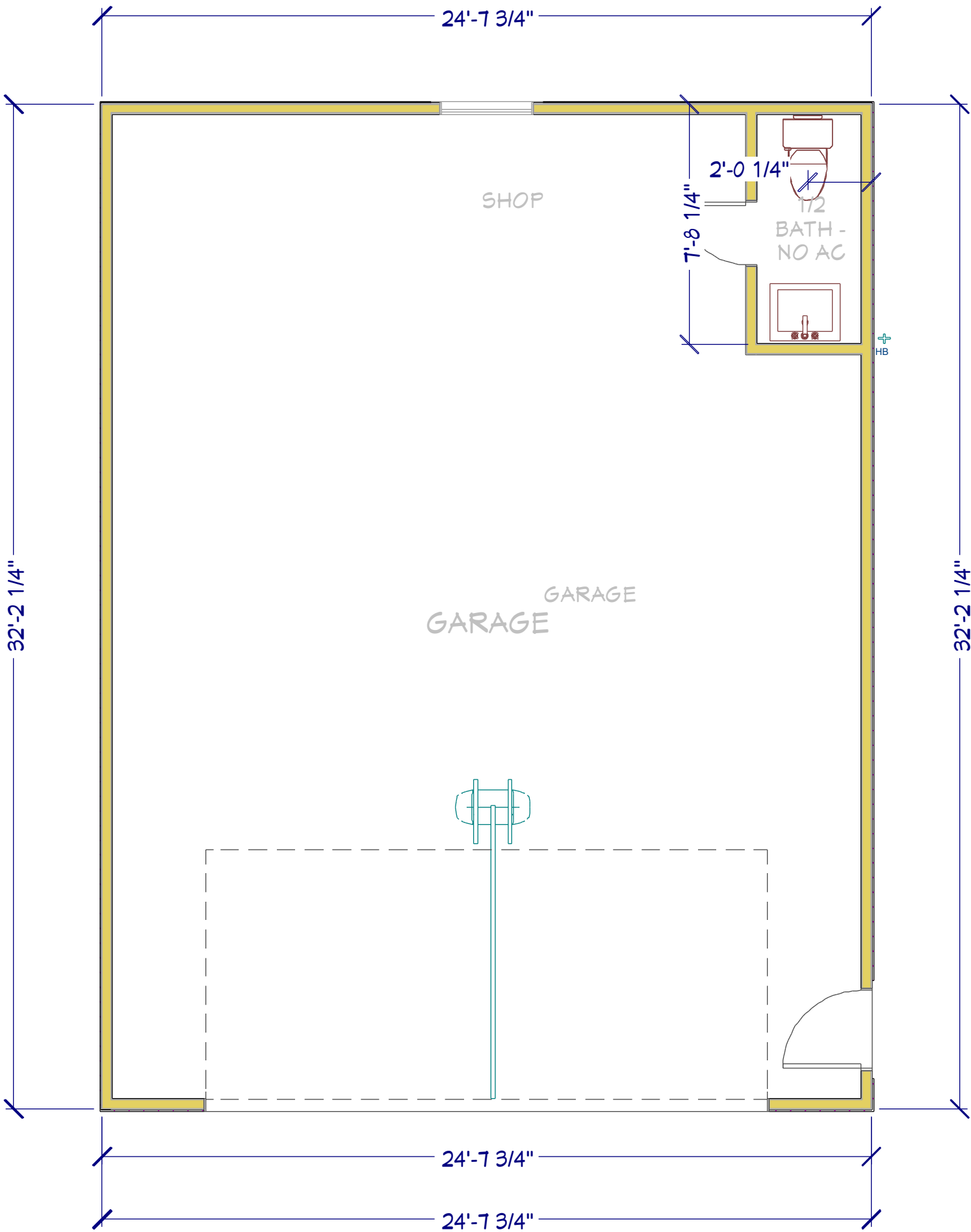
FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

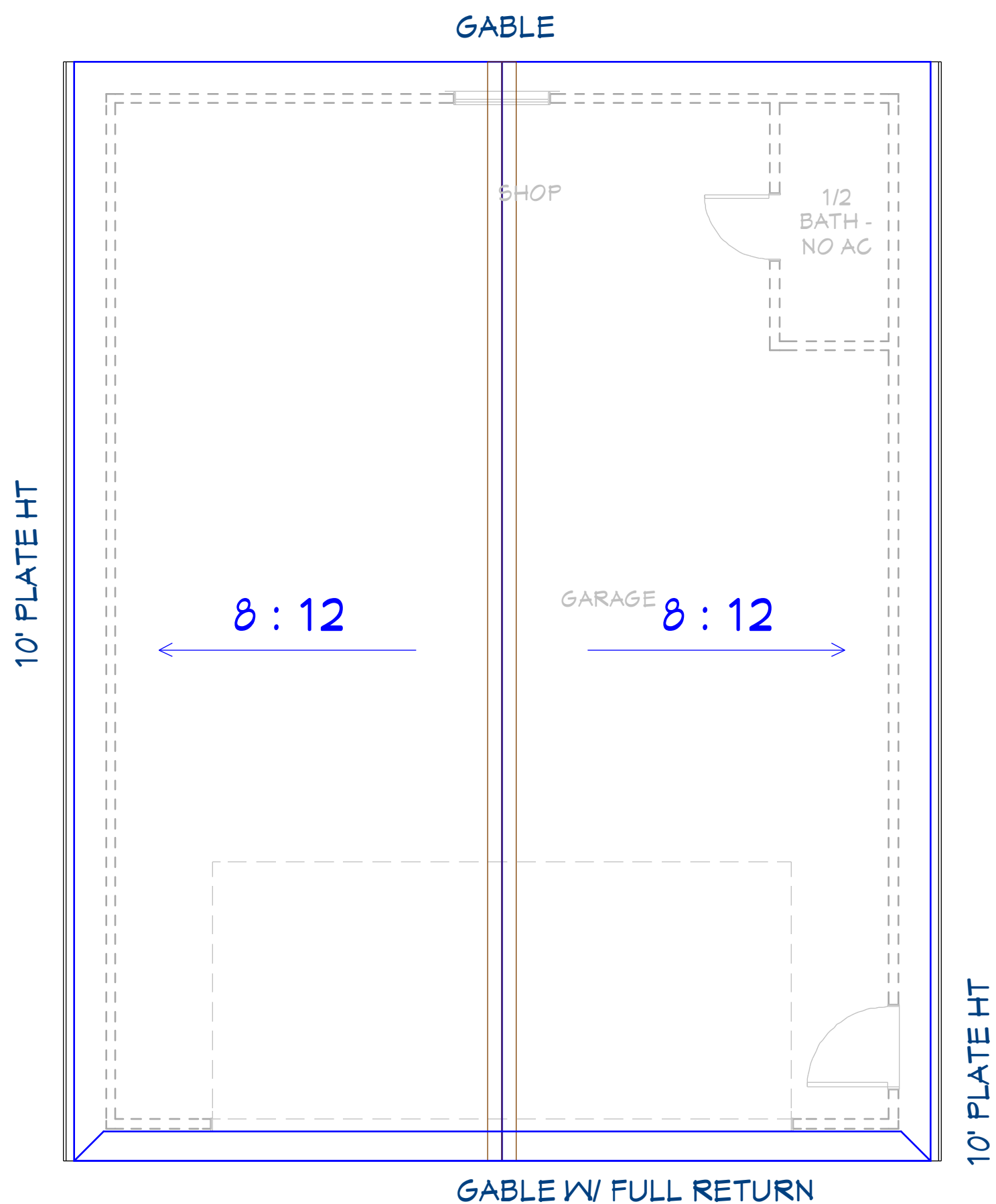
- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLOCATE AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X, FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

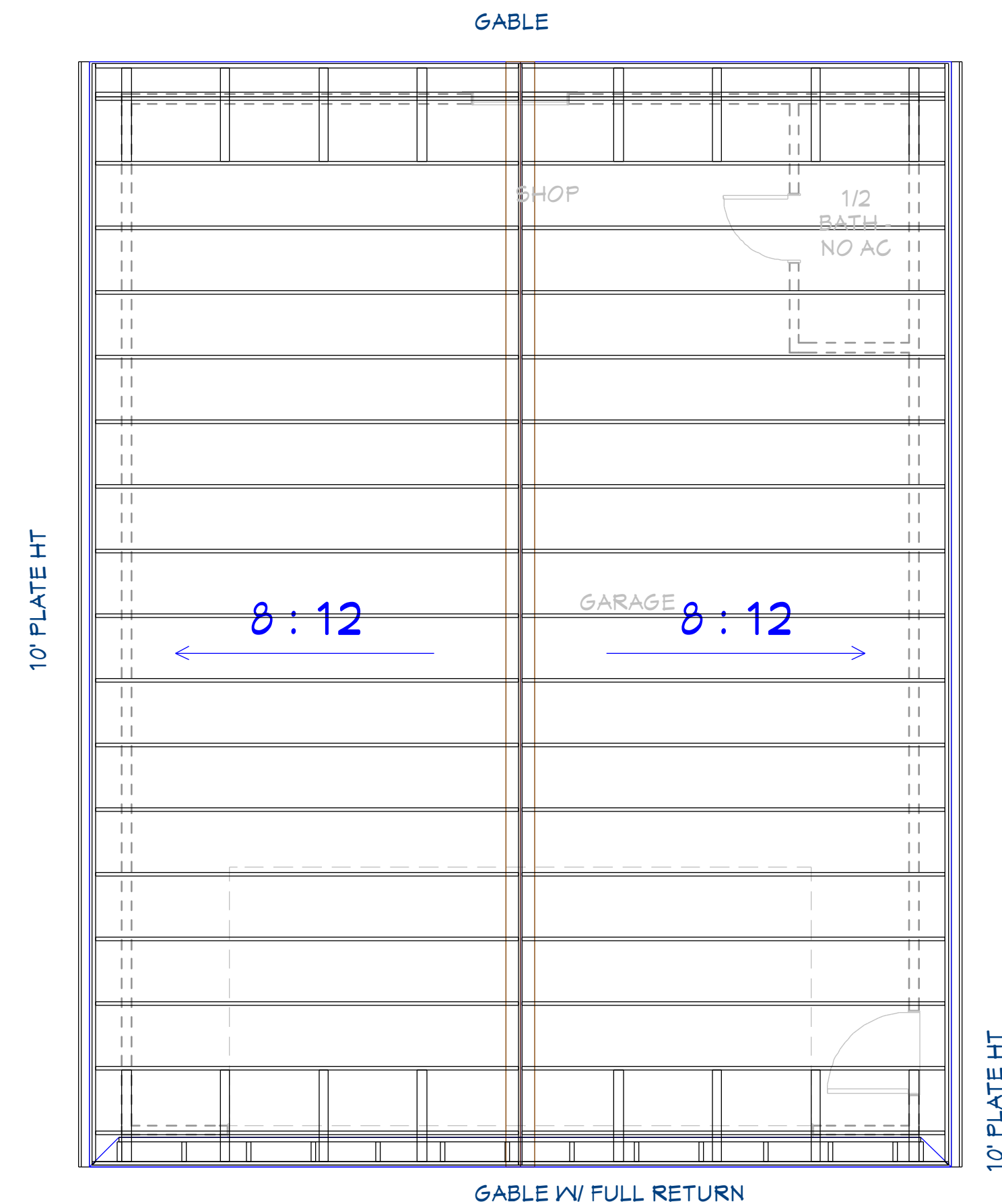


FOUNDATION ROUGH-IN



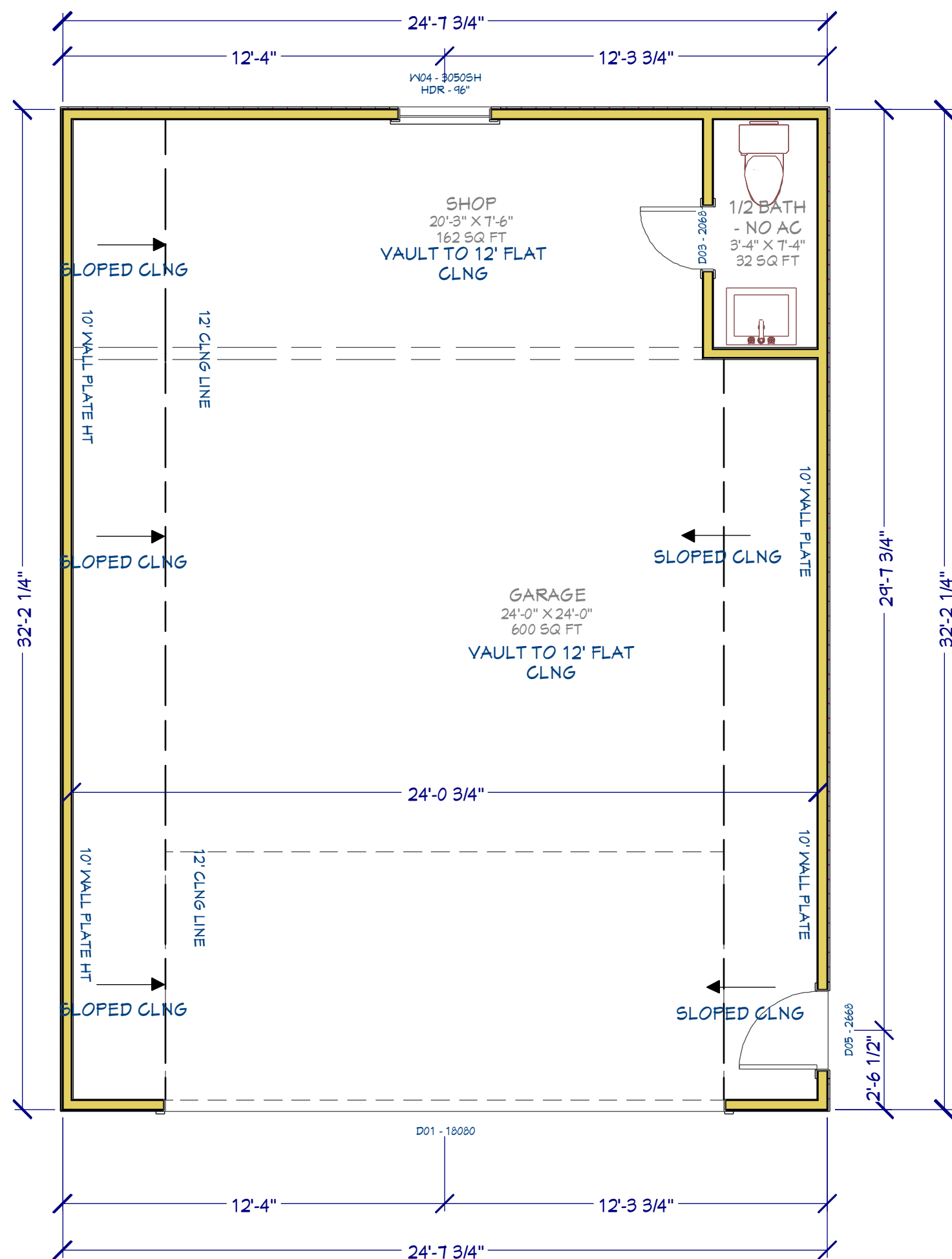
TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN



TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN W/ RAFTERS



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	148 5/8"
1	SHOP	152	148 5/8"
1	1/2 BATH - NO AC	24	124 5/8"
TOTALS:		752	

FRAMING PLAN

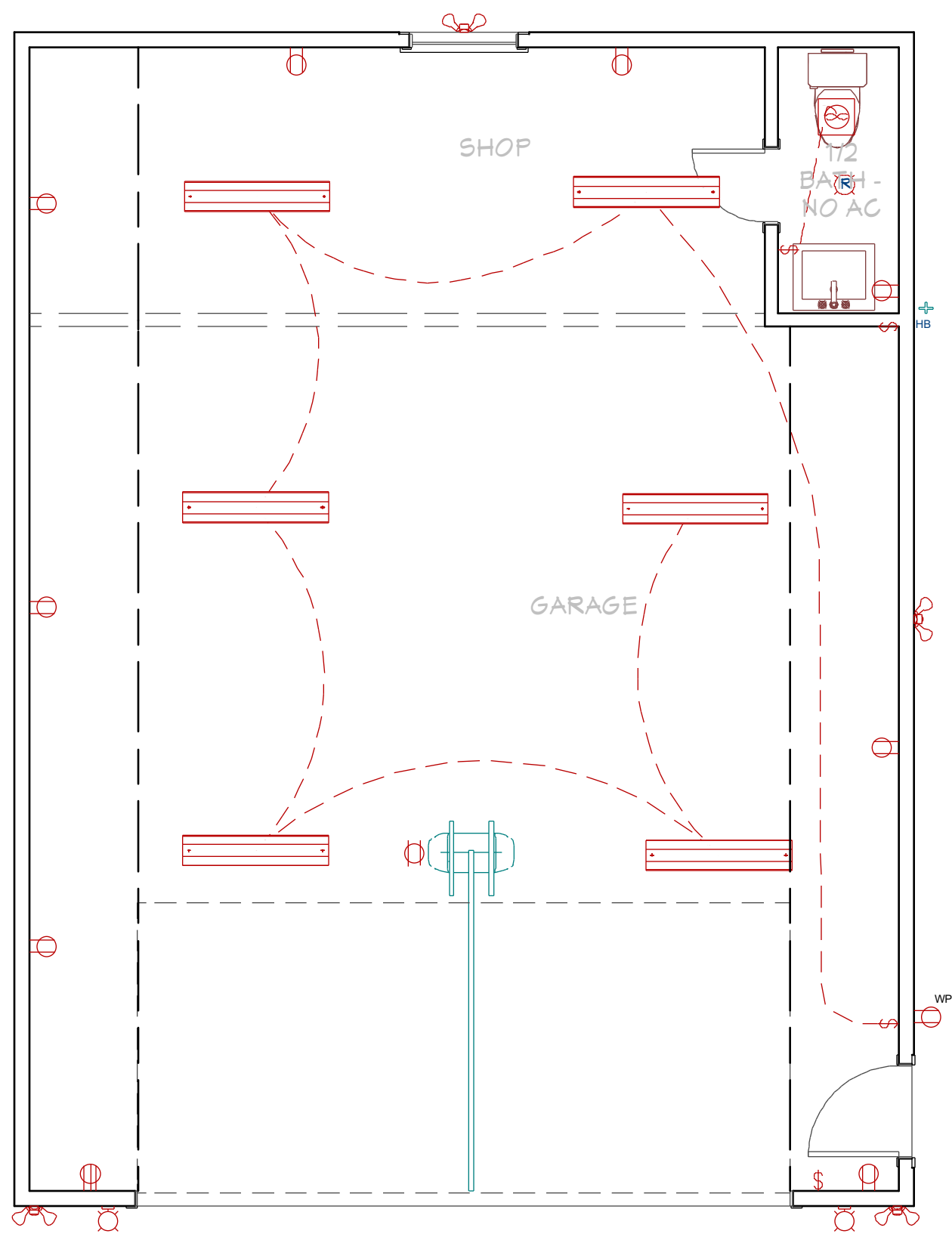
CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH	HEIGHT

- ADDITIONAL ELECTRICIAN ITEMS/NOTES:
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
  - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
  - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
  - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
    - 30A 220V FOR POOL
    - 20A 110V FOR POOL ACCESSORIES
    - 50A 220V FOR ELECTRIC HOT TUB
  - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
  - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
  - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
  - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
  - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

- ELECTRICAL, DATA, & AUDIO NOTES:**  
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
  - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
  - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
  - FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
  - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
  - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
  - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**  
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

ELECTRICAL SCHEDULE				
NUMBER	FLOOR	QTY	DESCRIPTION	ATTACHED TO
E02	1	6	SHOP LIGHT (SHORT) (48 1/4W)	CEILING
E03	1	1	RECESSED DOWN LIGHT 6	CEILING
E05	1	1	DUPLEX CEILING MOUNTED	CEILING
E06	1	8	DUPLEX	WALL
E07	1	1	220V	WALL
E08	1	1	DUPLEX (WEATHERPROOF)	WALL
E12	1	1	EXHAUST	CEILING
E13	1	4	SPOTLIGHT 2 MOTION SENSOR	WALL
E14	1	2	ALDRIDGE SCOSCE	WALL
E15	1	4	SINGLE POLE	WALL

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



ELECTRICAL PLAN



**GENERAL NOTES AND SPECIFICATIONS**

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IEQ AND 2006 IMC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:	
1F BEDROOMS:	LVP/ENG. WOOD
1F BATHS:	TILE

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	148 5/8"
1	SHOP	152	148 5/8"
1	1/2 BATH - NO AC	24	124 5/8"
TOTALS:		752	

COMPONENT STYLE NOTES:	
FRONT DOOR STYLE	FIBERGLASS, 1/2 GLASS, STAINED
BACK DOOR STYLE	FIBERGLASS, 2/3 GLASS, PAINTED
INTERIOR DOOR STYLE	MDF OR SOLID CORE, 3 PANEL
WINDOW STYLE	VINYL, LO-E, FARMHOUSE, 2X2 LITES, WHITE EXT., WHITE INT.
COUNTERTOPS	QUARTZ, WHITE W/ GREY VEINING
EXT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS
INT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS

DOOR SCHEDULE											
NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	18080	EX	IN	GARAGE-GARAGE DOOR CHD05	96"	216"	1	3/4"x4 15/16"	
D03	1	1	2068 R IN	IN	OUT	HINGED- 84 INTERIOR	80"	24"	0+1	3/4"x4 1/2"	
D05	1	1	2668 L EX	EX	IN	EXT. HINGED- 82 TRADITIONAL PANEL	80"	30"	1+0	3/4"x4 7/16"	

WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE
W01	1	2	2030FX	FIXED GLASS	24"	36"	55 11/16"	2X2	
W04	1	1	30505H	SINGLE HUNG	36"	60"	96"	1 / 1	







# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: Z2024-036  
PROJECT NAME: SUP for a Detached Garage at 921 N. Alamo Road  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	08/16/2024	Needs Review

08/20/2024: Z2024-036; Specific Use Permit (SUP) a Detached Garage at 921 N. Alamo Road  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) to allow a Detached Garage on a 0.530-acre tract of land identified as a portion of Block 4, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, and addressed as 921 N Alamo Road.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).
- M.3 For reference, include the case number (Z2024-036) in the lower right-hand corner of all pages on future submittals.
- I.4 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Detached Garage exceeding the maximum size of 625 SF requires a Specific Use Permit (SUP) in a Single-Family 10 (SF-10) District.
- I.5 The proposed Detached Garage will be 32.1875-feet by 24.645-feet and have a total square footage of 752 SF. According to the Rockwall Central Appraisal District (RCAD), the square footage of the primary structure is 1,956 SF. The property also has two (2) accessory structures that are 180 SF and 324 SF. Based on this the proposed structure appears to exceed the allowable number of accessory structures permitted on a lot, the size requirements for a Detached Garage by 127 SF, and the height of an accessory structure by one (1) foot as measured at the mid-point of the roof.
- I.6 The height of the proposed accessory structure is 16-feet as measured at the mid-point of the roof. According to Article 05, District Development Standards, of the Unified Development Code (UDC) the maximum height of accessory structures is 15-feet. This will require approval of the City Council pending a recommendation from the Planning and Zoning Commission.
- I.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:
- (1) The development of the Subject Property shall generally conform to the Site Plan and Survey as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.

- (2) The construction of a Detached Garage on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.
- (3) The Detached Garage shall not exceed a maximum size of 752 SF.
- (4) The Detached Garage shall not be used as a Guest Quarters or Secondary Living Quarters.
- (5) The subject property shall be limited to a maximum of three (3) accessory structures.
- (6) The maximum height of the Detached Garage shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
- (7) The Detached Garage/Accessory Structure may not be sold or conveyed separately.

M.8 According to Subsection 07.04: Accessory Structure Development Standards of Article 05, District Development Standards, of the UDC, detached garages accessible from the front shall be a minimum of 20-feet behind the front façade of the primary structure. In this case, the proposed Detached Garage is 6 feet and 4 inches in front of the front façade of the primary structure. No accessory structures are permitted in the front yard of a residence. Provide an updated Residential Plot Plan showing the Detached Garage back 20 feet behind the front façade of the home and the locations of the existing accessory structures.

I.9 The maximum lot coverage in a Single-Family 10 (SF-10) District is 45%. The current lot coverage is ten (10) percent. However, with the proposed addition the lot coverage increases to 13%. The addition will not affect the maximum lot coverage requirement.

M.10 The side setback for Single-Family 10 (SF-10) District is six (6) feet. Currently, the Residential Plot Plan shows Detached Garage 5-feet, 4-inches from the side property line. Revise the Residential Plot Plan to be at least six (6) feet from the side property line. (Subsection 07.01, of Article 05, of the UDC)

M.11 Please review the attached Draft Ordinance prior to the August 27, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 4, 2024. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 10, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 27, 2024.

I.13 The projected City Council meeting dates for this case will be September 16, 2024 (1st Reading) and October 7,2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

- 08/22/2024:
- 1. Additional comments may come at time of building permit.
  - 2. Must be concrete. Asphalt not allowed.
  - 3. All concrete flatwork will require a separate permit through the building department.
  - 4. Existing driveway and approach must be removed and curb installed.
  - 5. Please show and label the 10' utility easement required along all public street frontages.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Needs Review

08/23/2024: \* REQUIRES A 6' SIDE SETBACK FROM THE PROPERTY LINE - THIS PLAN DOES NOT MEET THE REQUIREMENT

\* ACCESSORY BUILDINGS ARE REQUIRED TO BE SITUATED BEHIND THE FRONT FACADE OF THE PRIMARY STRUCTURE - THIS PLAN DOES NOT MEET THE REQUIREMENT



\* THERE ARE ALREADY 2 ACCESSORY STRUCUTRES IN THE BACKYARD OF THE PROPERTY. DO THEY PLAN ON REMOVING THESE?

\*SEPARATE PERMIT SUBMITTAL TO THE BUILDING INSPECTION DEPARTMENT IS REQUIRED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/14/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/19/2024	Approved
No Comments			







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 921 N. Alamo Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Residential street

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

Residential

CURRENT USE

Residential / yard  
residential detached garage

PROPOSED ZONING

PROPOSED USE

ACREAGE

.53

LOTS [CURRENT]

LOTS [PROPOSED]

- ☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☒ OWNER

Travis Block

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

921 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

469-235-4261

PHONE

E-MAIL

trablock@icloud.com

E-MAIL

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Travis Block [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1300 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

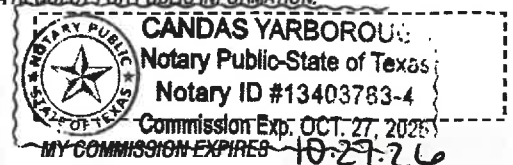
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

OWNER'S SIGNATURE

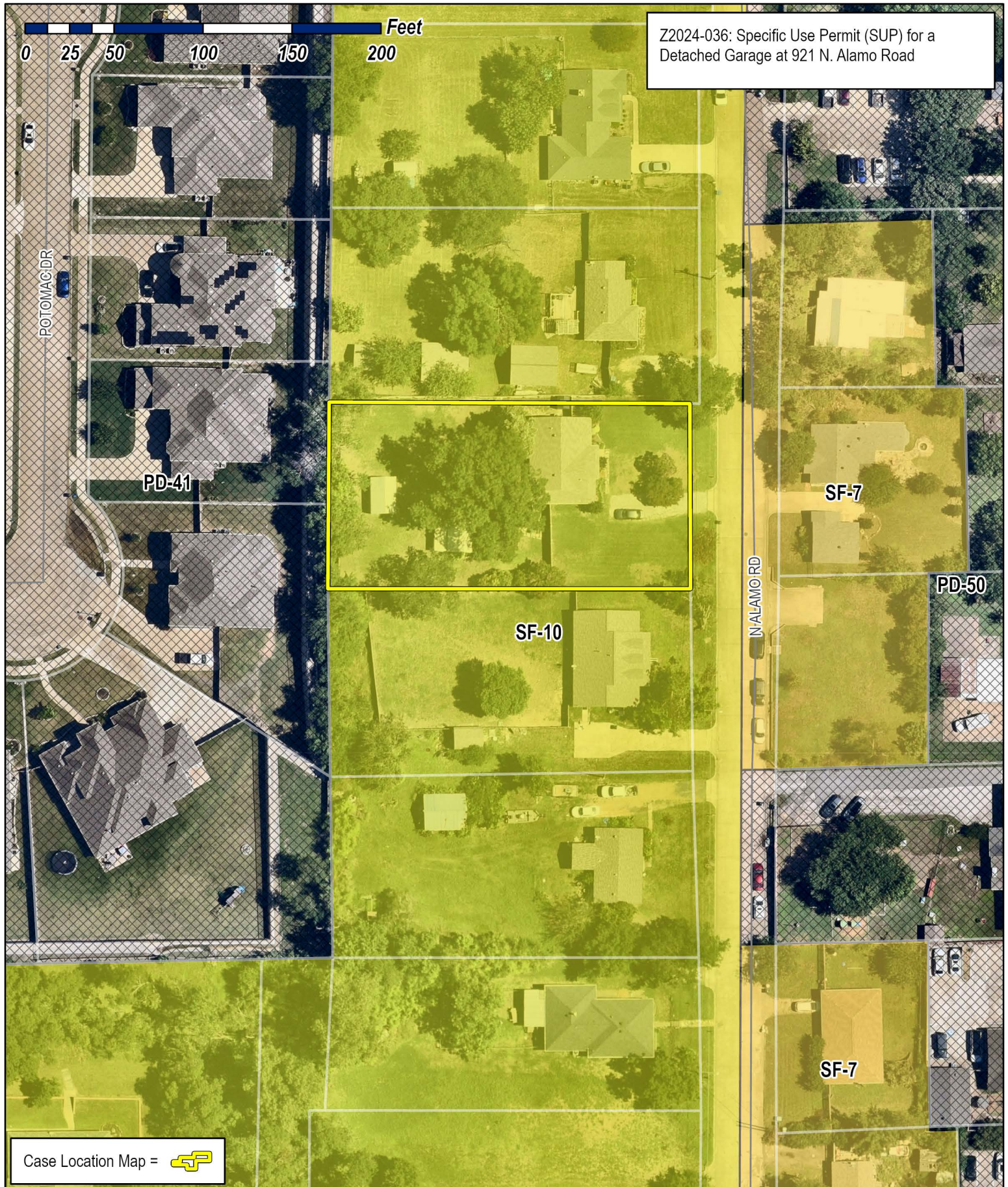
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Candas Yarbrough







# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



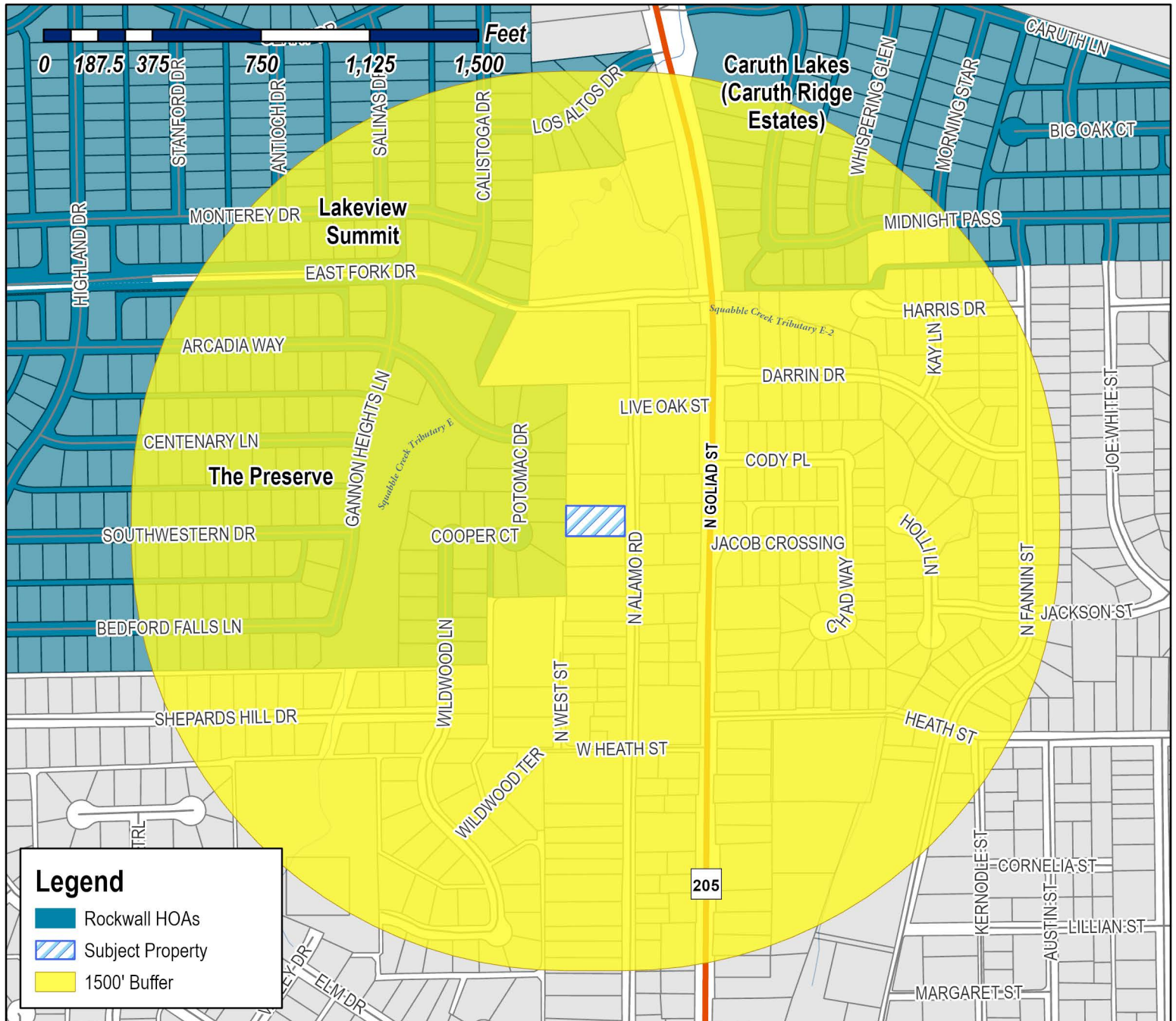




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

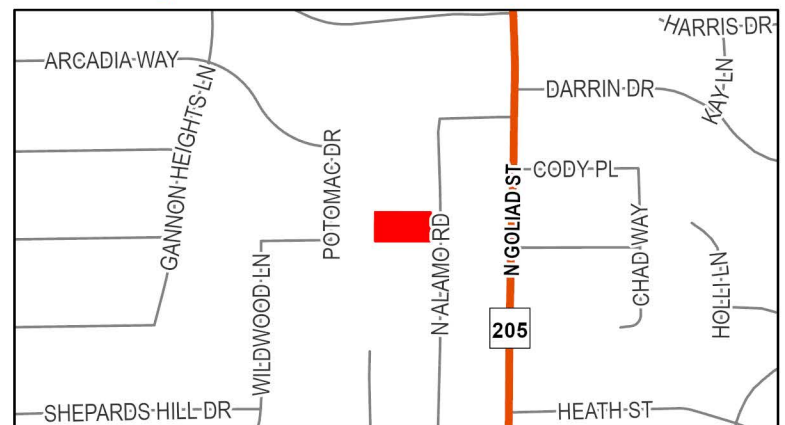
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**Case Number:** Z2024-036  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024

For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, August 21, 2024 2:54 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Email [Z2024-036]  
**Attachments:** HOA Map (08.15.2024).pdf; Public Notice (P&Z) (08.19.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 23, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2024-036: SUP for a Detached Garage**

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

Thank you,

***Melanie Zavala***

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](https://sites.google.com/site/rockwallplanning/development/development-cases)  
972-771-7745 Ext. 6568

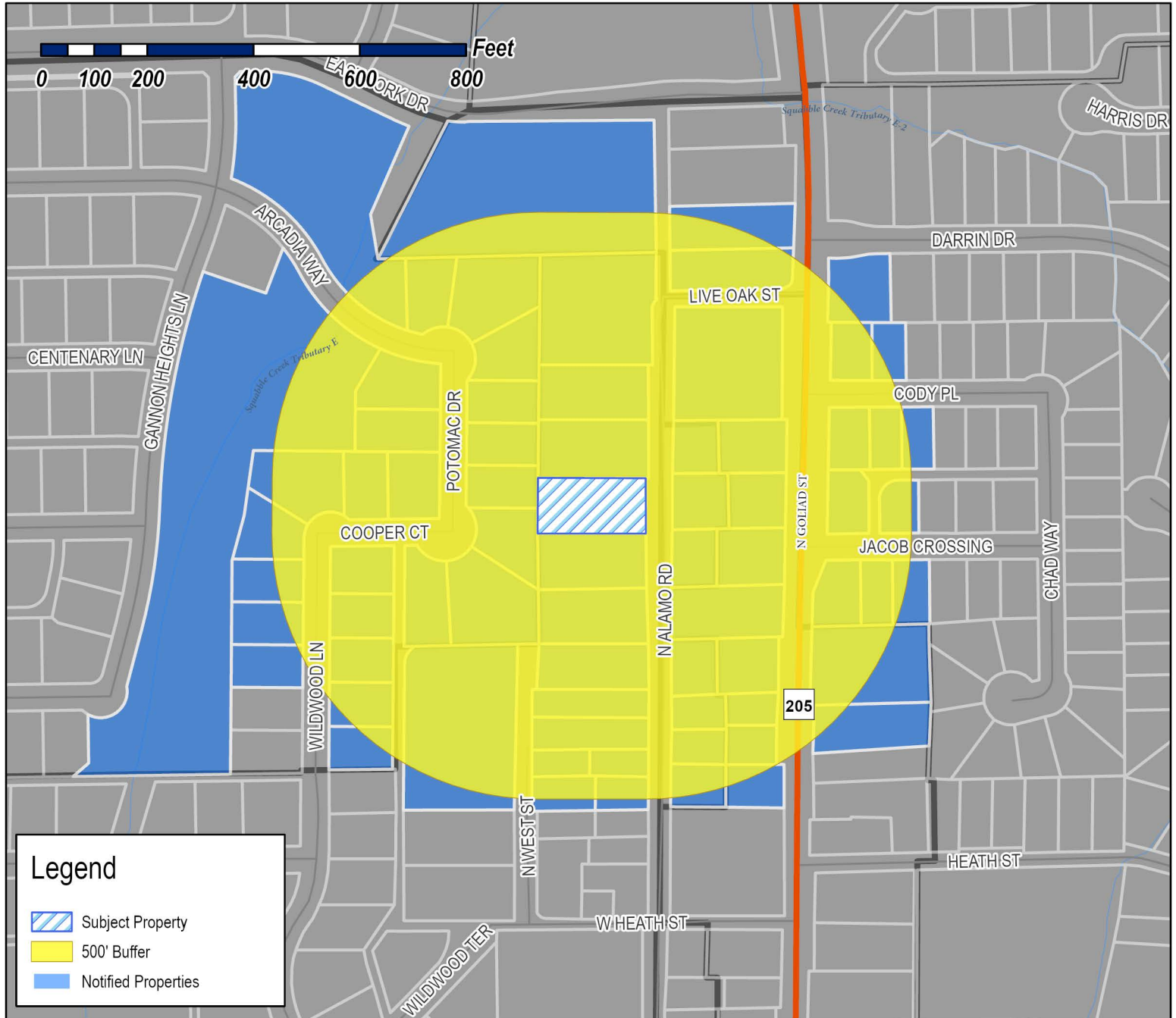




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

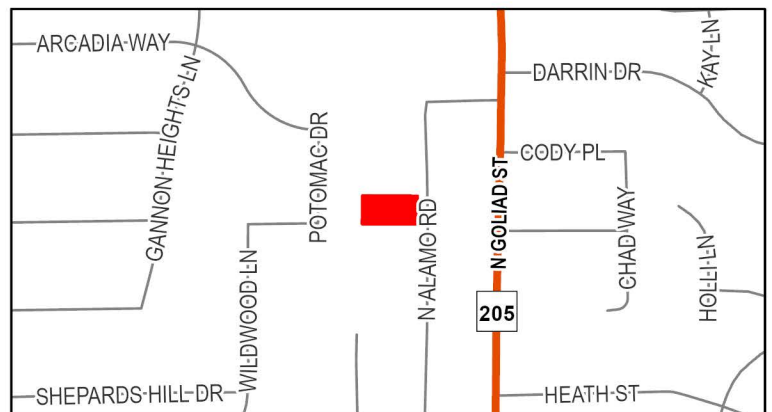
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**Case Number:** Z2024-024  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT  
1001 N GOLIAD  
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN  
104 RUSH CREEK  
HEATH, TX 75032

CURANOVIC JOHN  
109 ELM CREST DR  
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST  
1150 CRESTCOVE DR  
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A  
12207 DARK HOLLOW RD  
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN  
1408 S LAKESHORE DR  
ROCKWALL, TX 75087

STRATEGIC MANAGEMNET SERVICES LLC  
14124 EDGECREST DR  
DALLAS, TX 75254

DOUBLE T VENTURES LLC  
1500 S KREYMER LN  
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA  
1855 HIDDEN HILLS  
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW  
192 JACOB CROSSING  
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S  
193 JACOB CROSSING  
ROCKWALL, TX 75087

RESIDENT  
194 CODY PLACE  
ROCKWALL, TX 75087

CROY DANNY L  
195 CODY PL  
ROCKWALL, TX 75087

RESIDENT  
196 JACOB CROSSING  
ROCKWALL, TX 75087

STEWART DEBORAH LYNN  
196 DARRIN DR  
ROCKWALL, TX 75087

RESIDENT  
198 CODY PLACE  
ROCKWALL, TX 75087

KEANE PARKER F  
199 CODY PL  
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST  
CHRISTOPHER CHARLES SIEBERT & JANE M  
SIEBERT - TRUSTEES  
199 JACOB XING  
ROCKWALL, TX 75087

917 PROPERTIES LLC  
2 MANOR COURT  
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
200 JACOB CROSSING  
ROCKWALL, TX 75087

MILLER ROBERT AND KATY  
202 CODY PL  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
208 SUMMIT RIDGE  
ROCKWALL, TX 75087

WEST MICHAEL  
299 SHENNENDOAH LANE  
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST  
301 COOPER COURT  
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S TRUSTEES  
2023 G J MATTINGLY REVOCABLE TRUST  
302 ARCADIA WAY  
ROCKWALL, TX 75087

HARKLAU CAROLINE  
312 DARTBROOK  
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M  
317 COOPER STREET  
ROCKWALL, TX 75087

WEAST BRIAN J AND  
CYNTHIA C BROWN  
318 ARCADIA WAY  
ROCKWALL, TX 75087

WEBER MARY JANE  
318 COOPER CT  
ROCKWALL, TX 75087



BOLER RICKY D JR AND  
NANCY L GUTIERREZ  
334 COOPER COURT  
ROCKWALL, TX 75087

RESIDENT  
348 COOPER CT  
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC  
400 CHIPPENDALE DRIVE  
HEATH, TX 75032

TURNER KYLE RADEY  
4002 BROWNSTONE CT  
DALLAS, TX 75204

ADAT ESTATE LLC  
482 ARCADIA WAY  
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA  
602 W RUSK ST  
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE  
702 WILDWOOD LANE  
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL  
DAWN  
718 WILDWOOD LANE  
ROCKWALL, TX 75087

MAYNARD JEREMY SHAME AND  
AMY ELIZABETH FLORES  
731 WILDWOOD LANE  
ROCKWALL, TX 75087

PHILIPS SHIBU & LEJI  
734 WILDWOOD LN  
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A  
747 WILDWOOD LANE  
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES  
750 JUSTIN RD  
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA  
752 WILDWOOD LN  
ROCKWALL, TX 75087

CRAWFORD HAROLD E JR  
763 WILDWOOD LANE  
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD  
768 WILDWOOD LN  
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P  
779 WILDWOOD LANE  
ROCKWALL, TX 75087

MASON MARK S & TAMARA M  
802 POTOMAC DRIVE  
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN  
818 POTOMAC DR  
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID  
834 POTOMAC DR  
ROCKWALL, TX 75087

MCCULLEY LIVING TRUST  
DARREN WAYNE MCCULLEY & MICHELE JUNE  
MCCULLEY - CO-TRUSTEES  
837 POTOMAC DR  
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU  
852 POTOMAC DRIVE  
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD  
853 POTOMAC DRIVE  
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L  
868 POTOMAC DRIVE  
ROCKWALL, TX 75087

RESIDENT  
905 N GOLIAD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
907 N GOLIAD ST  
ROCKWALL, TX 75087

JC GAERLAN LLC  
907 NORTH ALAMO ROAD  
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID  
908 N ALAMO RD  
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC  
908 N GOLIAD ST  
ROCKWALL, TX 75087

MARTINKUS NICOLE  
908 N WEST ST  
ROCKWALL, TX 75087

MOLINA JOE C II  
909 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
909 N GOLIAD  
ROCKWALL, TX 75087

MCFADIN SARA TERESA  
909 N WEST STREET  
ROCKWALL, TX 75087

ZAVALA VICTOR V  
910 N ALAMO RD  
ROCKWALL, TX 75087

PERRY RUBY DELL  
910 N WEST ST  
ROCKWALL, TX 75087

WHITE TIMOTHY E  
9104 PRIVATE ROAD 2325  
TERRELL, TX 75160

LEWIS BEN  
911 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
911 N GOLIAD  
ROCKWALL, TX 75087

JONES PAMELA J  
912 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
912 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
913 N ALAMO RD  
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE  
ELIZABETH  
915 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
915 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
917 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
917 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
918 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N GOLIAD  
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS  
921 N ALAMO RD  
ROCKWALL, TX 75087

BARRY BARBARA  
922 N ALAMO RD  
ROCKWALL, TX 75087

HUDSON SHEL I O  
923 N ALAMO  
ROCKWALL, TX 75087

CHAVEZ ENRIQUE  
923 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
924 N ALAMO  
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND  
MICHAEL CRAWFORD  
925 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
925 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
975 N ALAMO  
ROCKWALL, TX 75087

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

CFPC INVESTMENTS LLC  
PO BOX 1731  
MARBLE FALLS, TX 78654



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-036: SUP for a Detached Garage

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10,, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2024-036: SUP for a Detached Garage

Please place a check mark on the appropriate line below:

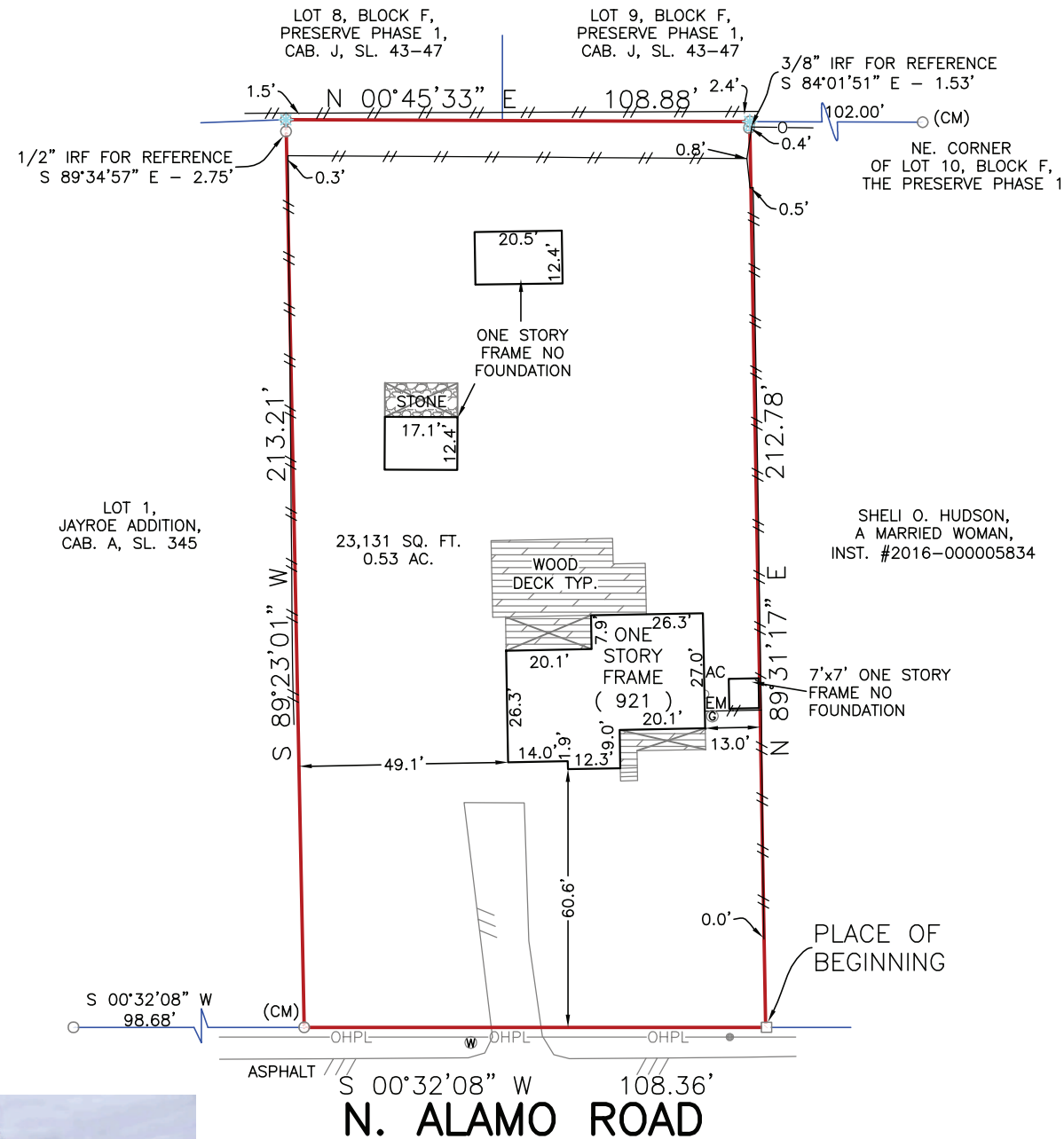
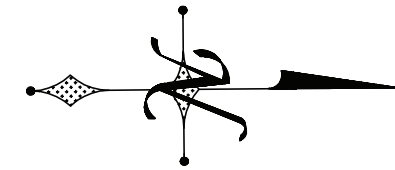
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



1529 E I-30, STE. 103  
GARLAND, TEXAS 75043

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 357 N. ALAMO ROAD, in the city of ROCKWALL Texas.

## SURVEY PLAT



All that certain lot, tract or parcel of land situated in the J.H.B. SURVEY, Abstract No. 124, City of Rockwall, Rockwall County, Texas and being a tract of land described in deed to Corky Belanger, by deed recorded in Instrument Number 2020000030622, Deed Records, Rockwall County, Texas, (D.R.R.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at a railroad spike found for corner being in the West line of N. Alamo Road and being at the Southwest corner of a tract of land described in deed to Sheli O. Hudson, a married woman, by deed recorded in Instrument Number 2016-000005834, (D.R.R.C.T.) and being at the Northeast corner of that tract herein described;

THENCE South 00 degrees 32 minutes 08 seconds West, a distance of 108.36 feet to a 1/2 inch iron rod found for corner, being at the Northeast corner of Lot 1, of Jayroe Addition, an addition recorded in Cabinet A, Slide 346, of the Map or Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 23 minutes 01 seconds West, a distance of 213.21 feet to a point for corner, being in the East line of Lot 8, Block F, of Preserve Phase 1, an Addition recorded in Cabinet J, Slide 43-47, of the Map or Plat Records, Rockwall County, Texas, from which a 1/2 inch iron rod found bears South 89 degrees 34 minutes 57 seconds East, 2.75 feet for reference;

THENCE North 0 degrees 45 minutes 33 seconds East, a distance of 108.88 feet to a point for corner, being in the East line of Lot 9, of said Preserve Phase 1, from which a 3/8 inch iron rod found bears South 84 degrees 01 minutes 51 seconds East, 1.53 feet for reference;

THENCE North 89 degrees 31 minutes 17 seconds East, a distance of 212.78 feet to the PLACE OF BEGINNING and containing 23,131 square feet or 0.53 of an acre of land.

BEARINGS ARE BASED ON NAD 83  
DATUM, TEXAS STATE PLANE  
COORDINATE SYSTEM. NORTH  
CENTRAL ZONE

ACCEPTED BY: \_\_\_\_\_

Lawyers Title

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'

Date: 02/10/23

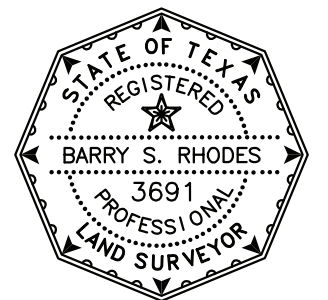
G. F. No.: 1901462300020

Job no.: 202300799

Drawn by: J.M.

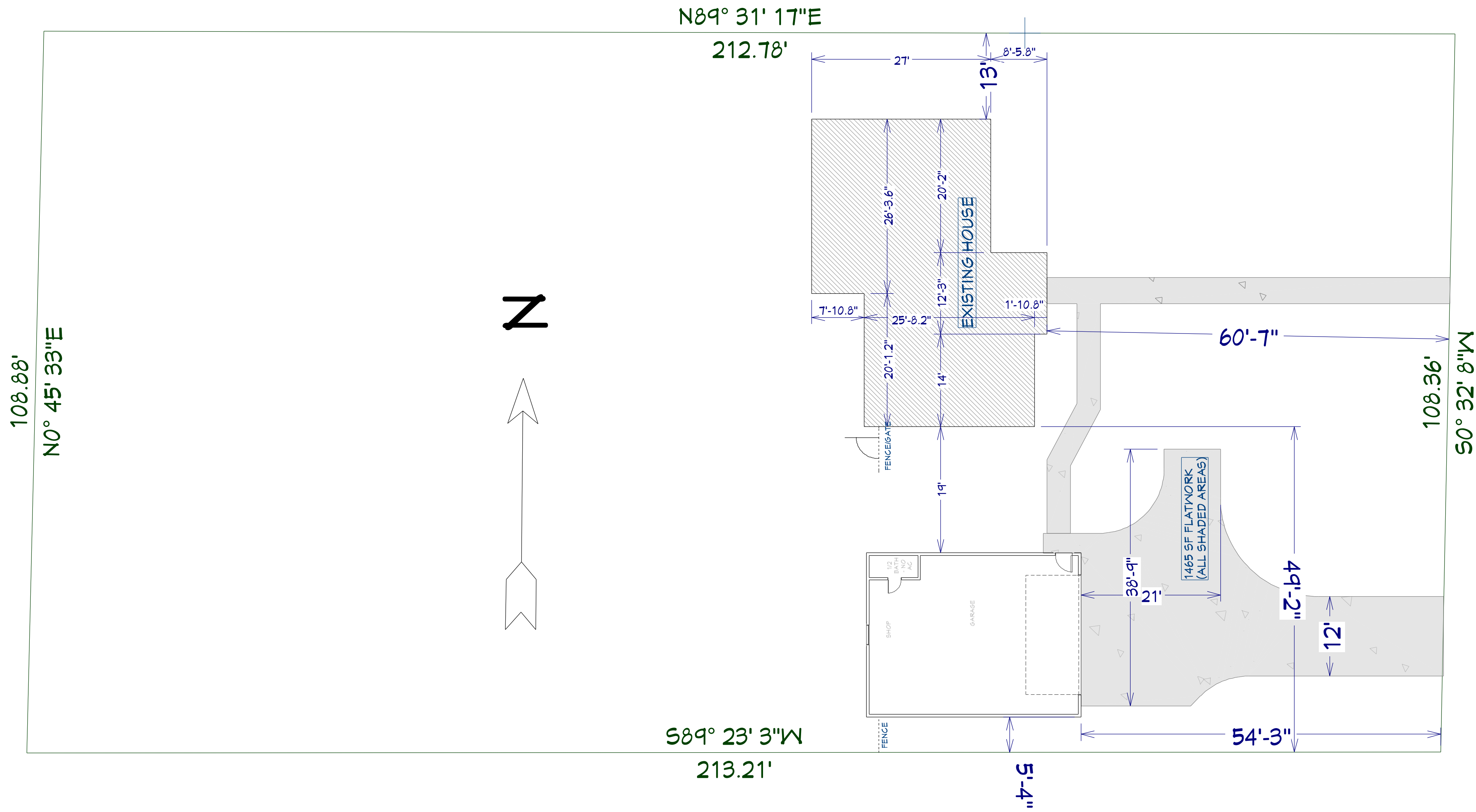
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
CM - CONTROLLING MONUMENT	
MRD - MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
SET 'X' - RR. SPIKE FOUND	
3/8" IRON ROD FOUND	
5/8" IRON ROD FOUND	
POINT FOR CORNER	
C - CABLE	E - ELECTRIC
CL - CLEAN OUT	PE - POOL EQUIP
G - GAS METER	P - POWER POLE
F - FIRE HYDRANT	T - TELEPHONE
L - LIGHT POLE	W - WATER METER
M - MANHOLE	V - WATER VALVE
(UNLESS OTHERWISE NOTED)	



Signature of Barry S. Rhodes





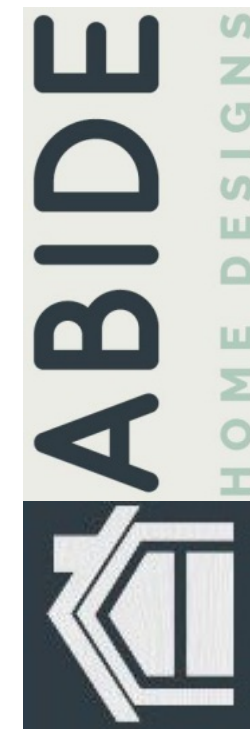
1"=10' SCALE

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

PLOT PLAN

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"=1'

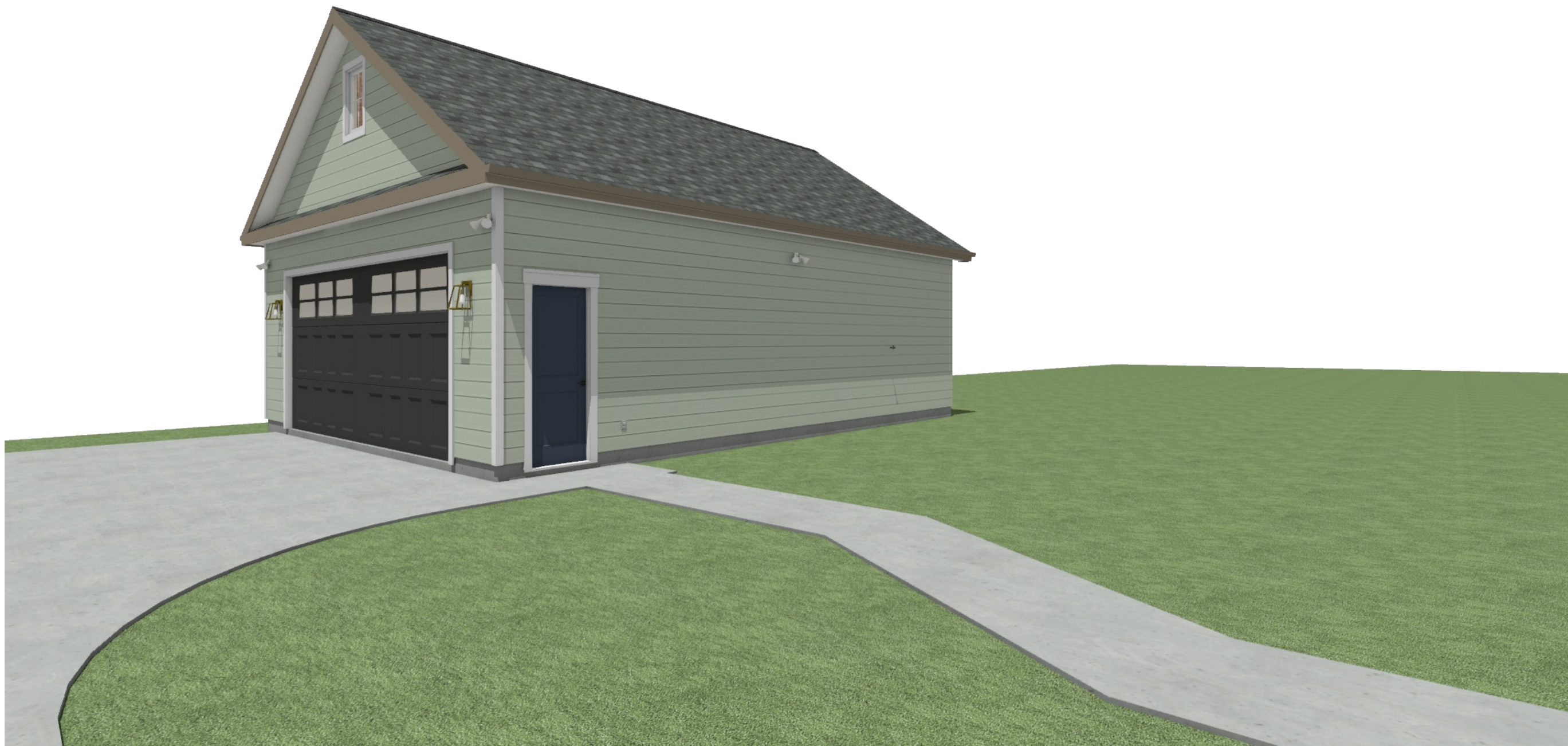
SHEET:

4

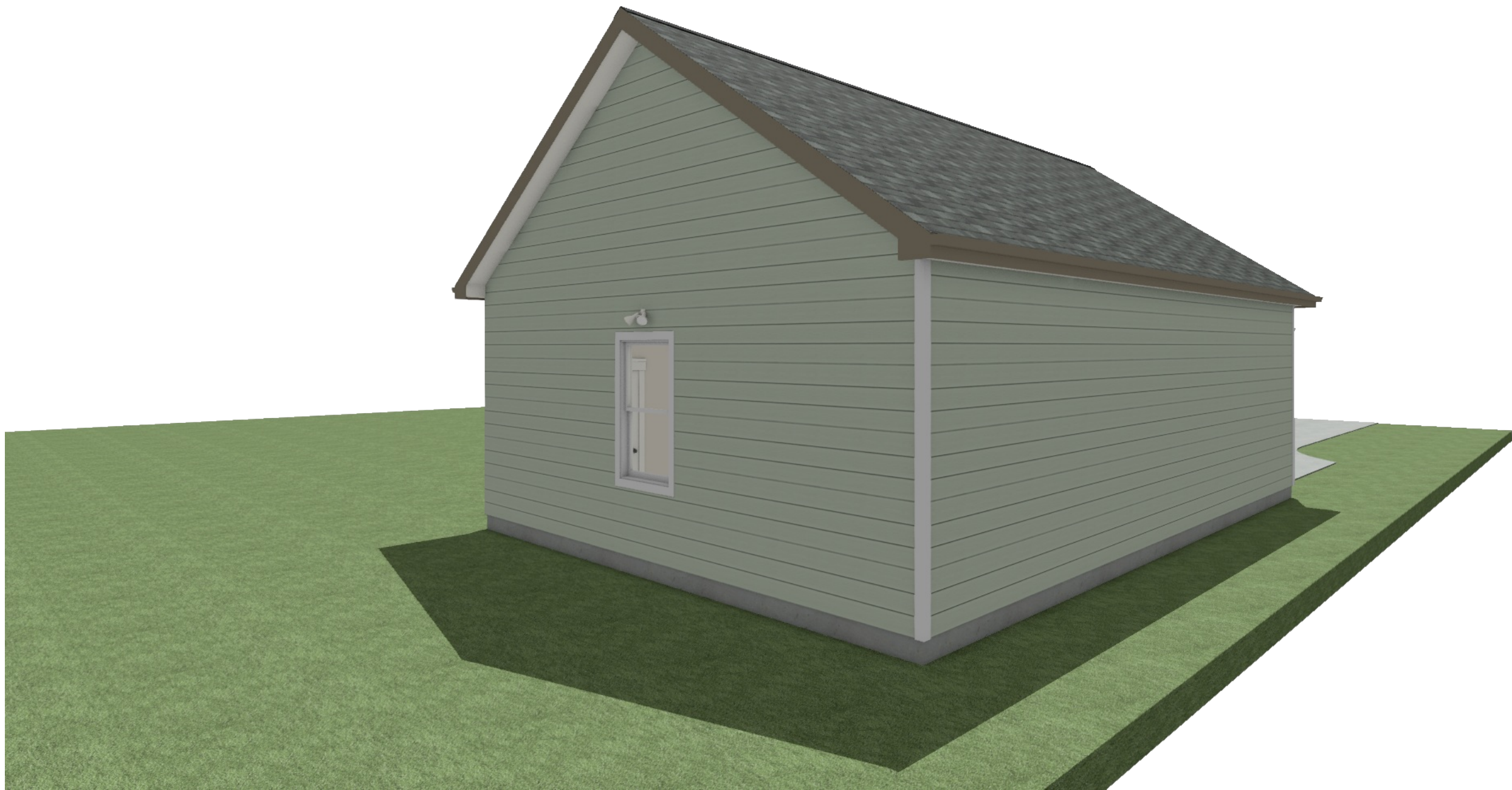




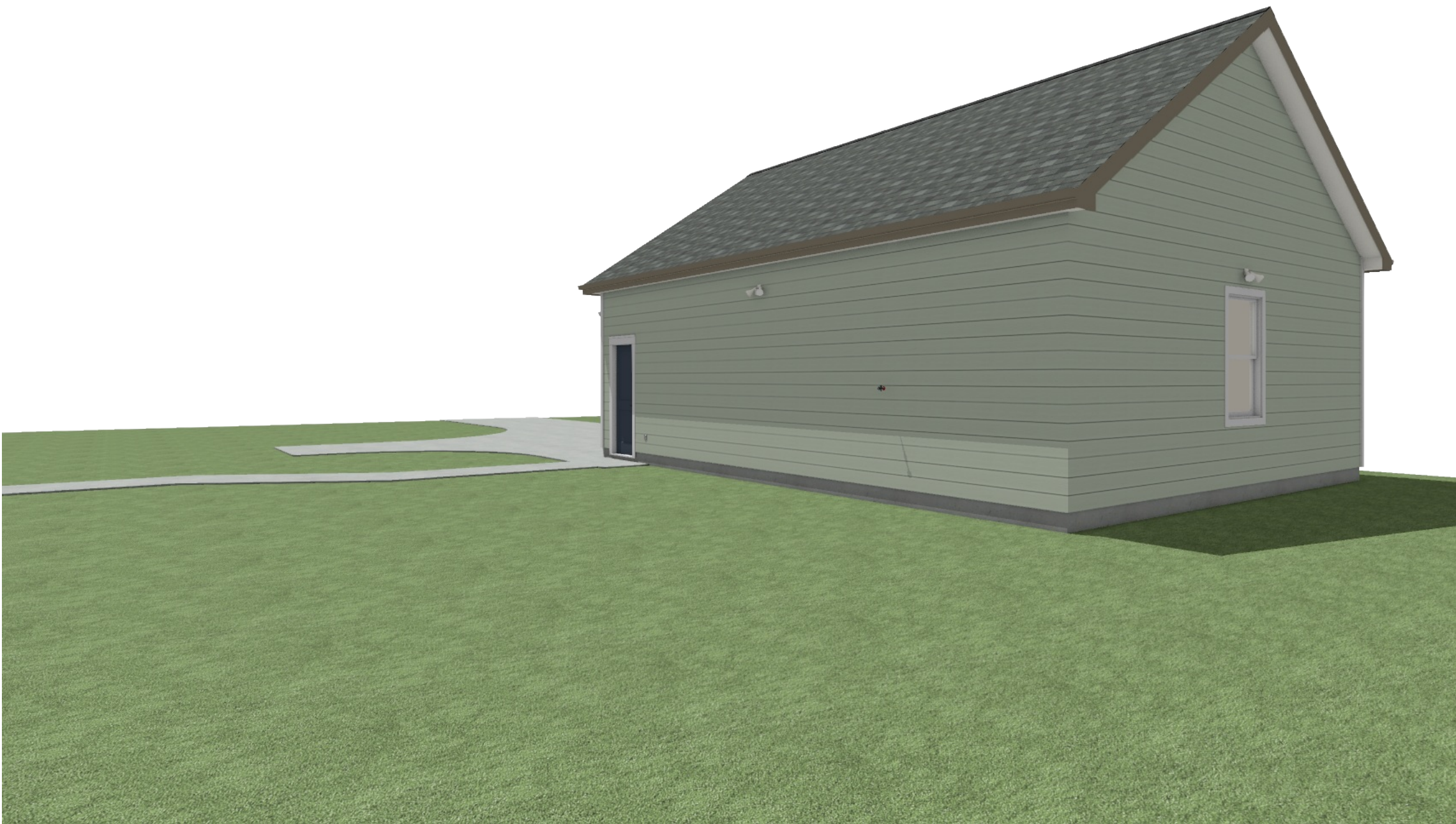
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL HEATED SF:	0 SF
TOTAL SLAB SF:	793 SF
TOTAL UNDER ROOF SF:	793 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	10/15/2023	AJH	INITIAL PLAN DEVELOPMENT
REV 02	11/20/2023	AJH	CONSTRUCTION PLANS
REV 02	4/23/2024	AJH	CORRECTED ADDRESS
REV 03	6/15/2024	AJH	MAJOR FLOORPLAN CHANGE

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

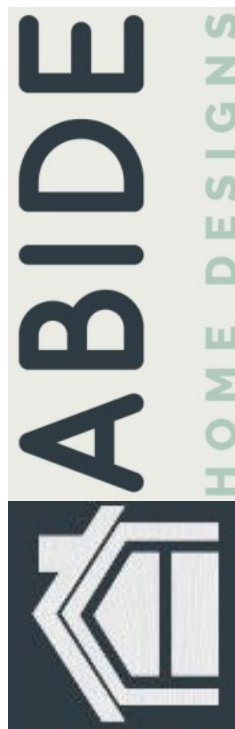
Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	SCHEDULES & STYLE
4	PLOT PLAN
5	FOUNDATION/ROUGH-IN PLAN
6	ROOF PLAN - 1F
7	FRAMING PLAN - 1F

REV 03

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

PROJECT  
OVERVIEW

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"=1'

SHEET:

1

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST -2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO	BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.	MIN. CODE RECOMMENDATIONS: ELECTRICAL SYSTEM CODE: SEC.2701 MECHANICAL SYSTEM CODE: SEC.2801 PLUMBING SYSTEM CODE: SEC.2901 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

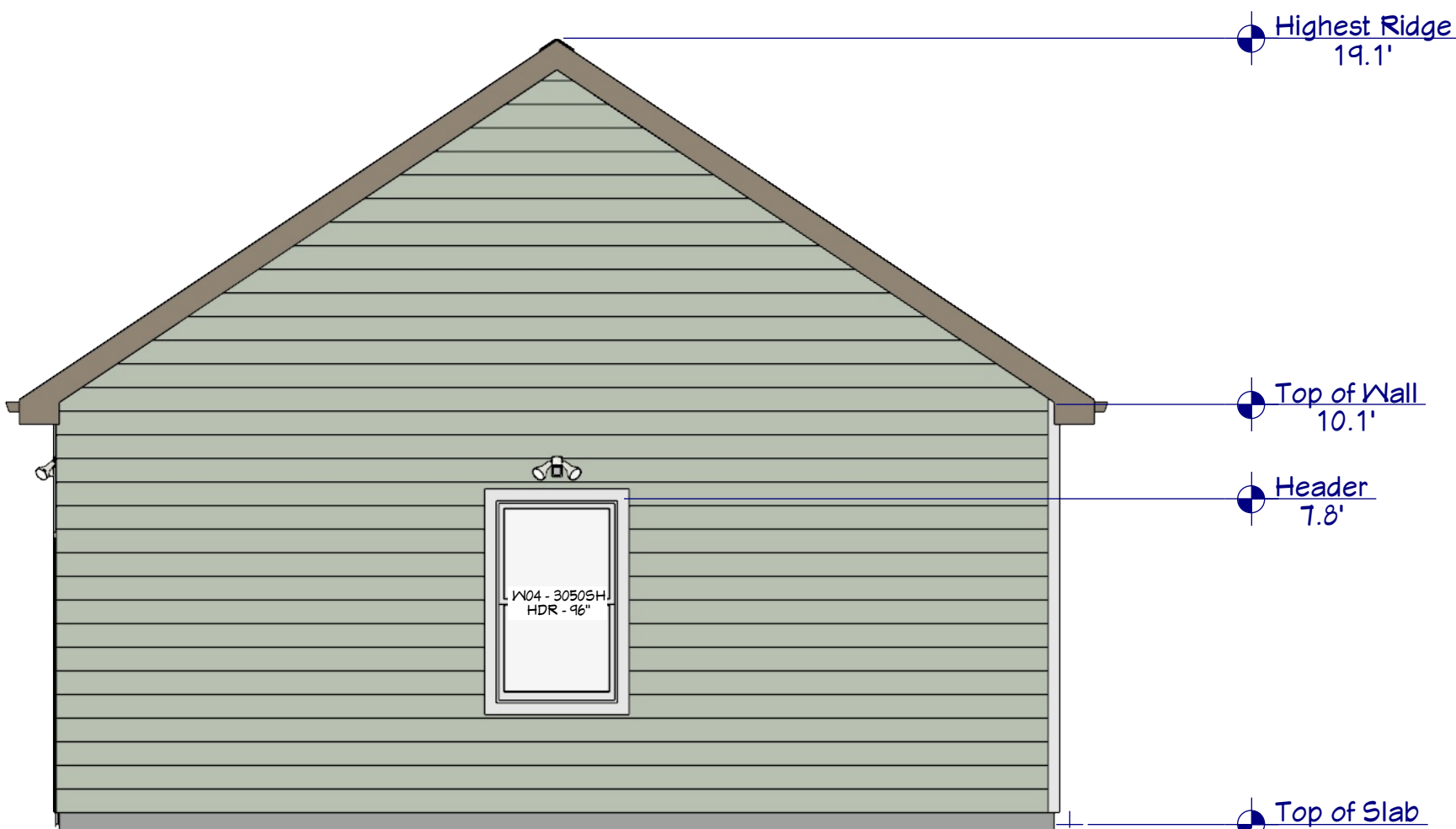




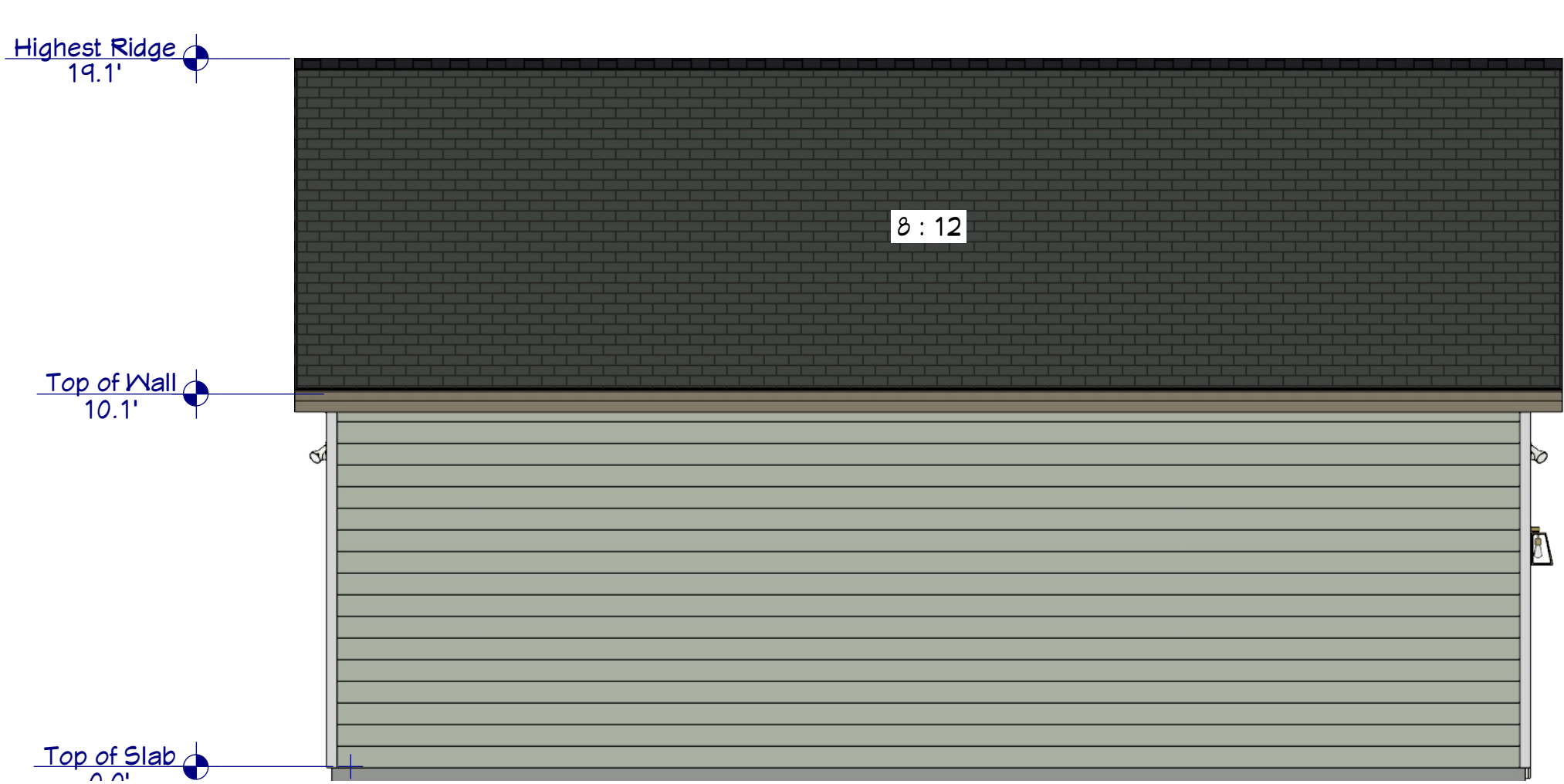
Exterior Elevation Front



Exterior Elevation Right



Exterior Elevation Back



Exterior Elevation Left

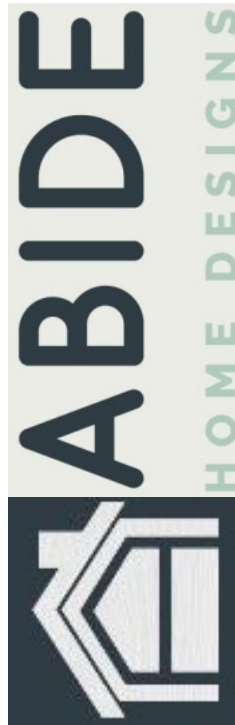
EXTERIOR MATERIALS:	
SOFFIT:	HARDI PLANK TRIM AND SOFFIT
SIDING:	HARDI 8.25" LAP SIDING
ACCENT SIDING	HARDI BOARD AND BATTEN
ROOF:	COMPOSITE SHINGLES (GRAY)
PORCH POSTS:	6" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	
CORNER BOARD TRIM:	YES
	(SEE STYLE SHEET FOR ADDITIONAL INFO.)

REV 03

HOME DESIGNED BY:  
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ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"= 1'

SHEET:

2

FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

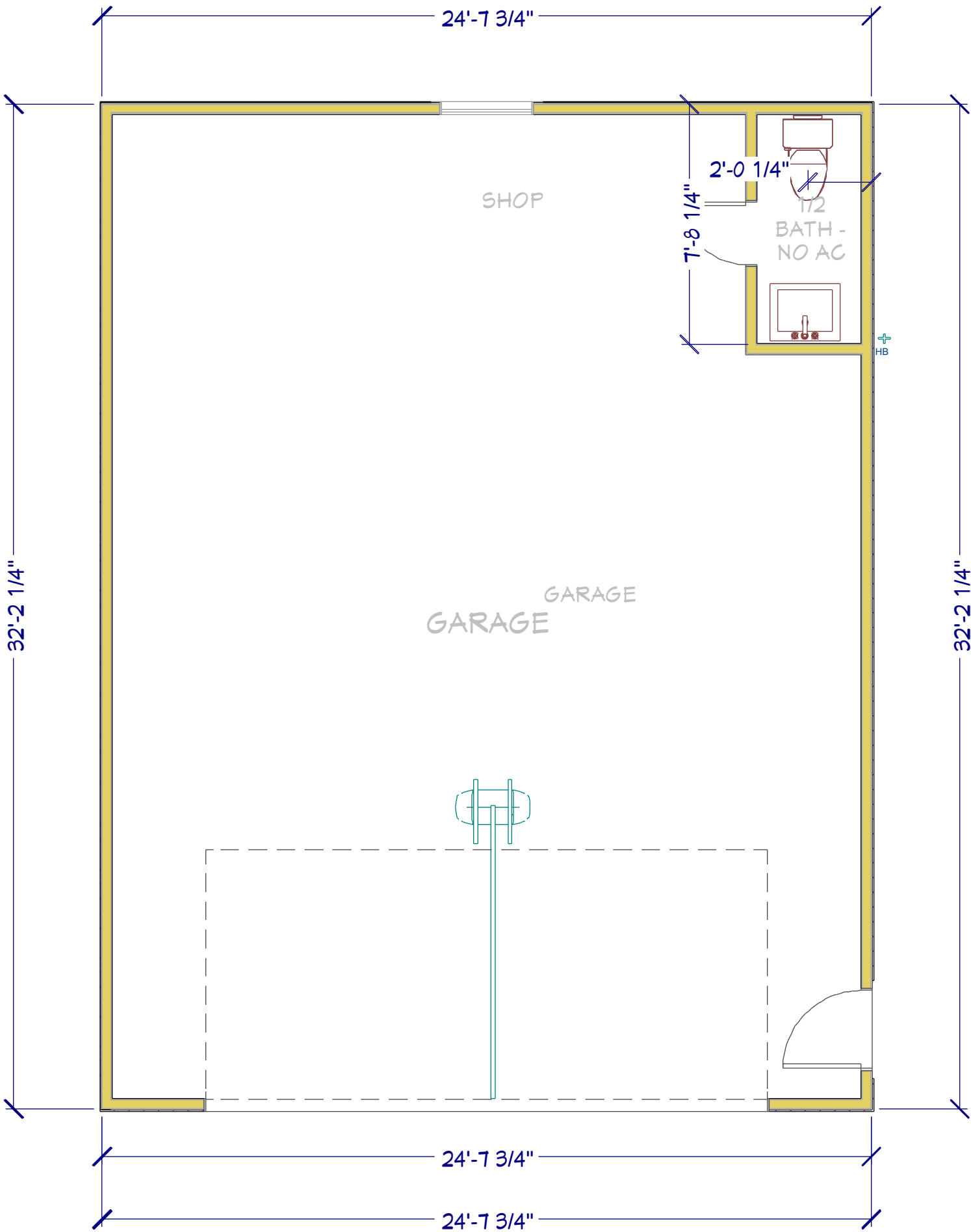
FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

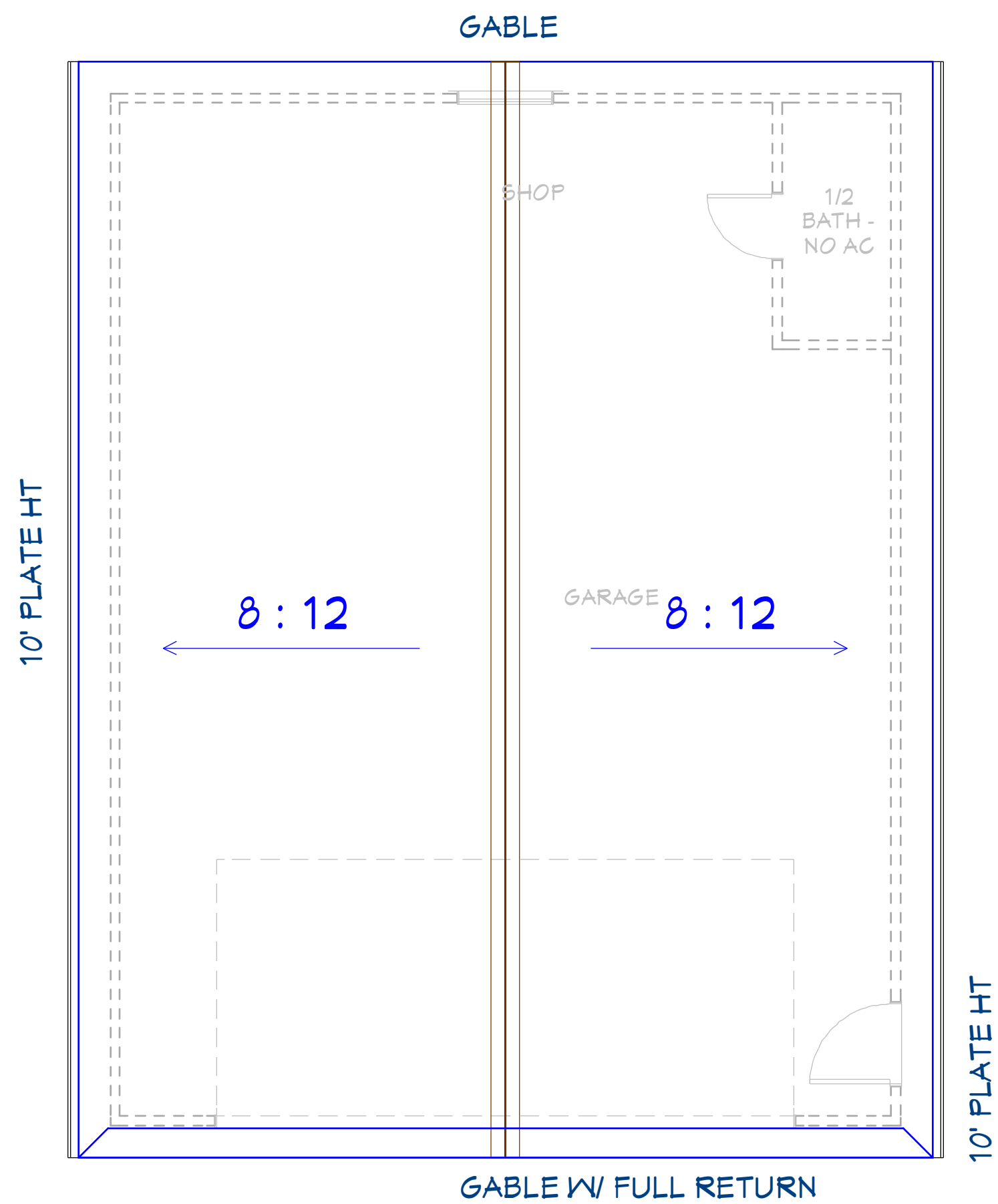
GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLOCATE AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X, FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.



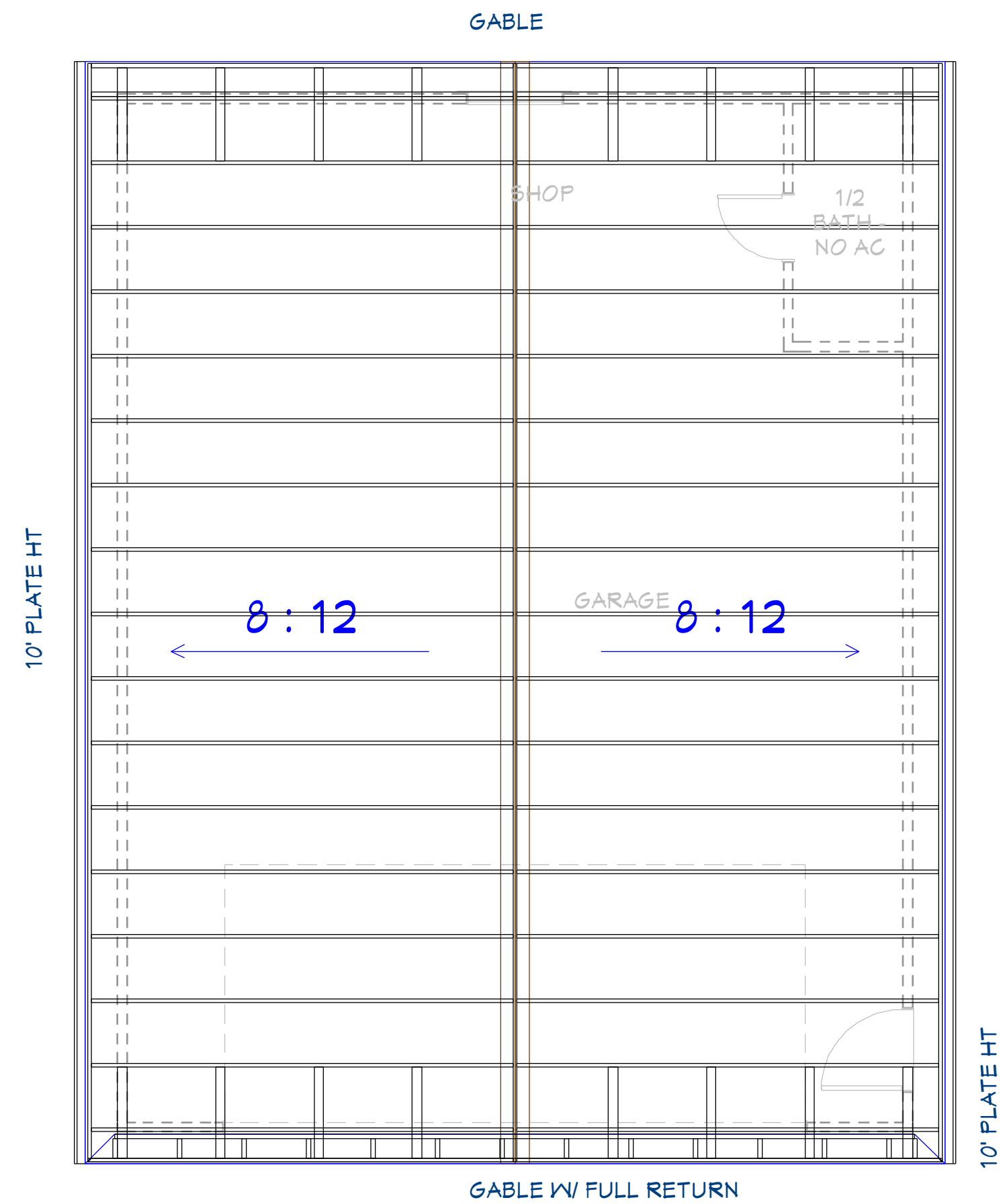
FOUNDATION ROUGH-IN





TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN



TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN W/ RAFTERS

REV 03

HOME DESIGNED BY:  
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AARON@ABIDEHOMEDESIGNS.COM

ROOF PLAN - 1F

BLOCK RESIDENCE  
921 N. ALAMO RD  
ROCKWALL, TX



DATE:

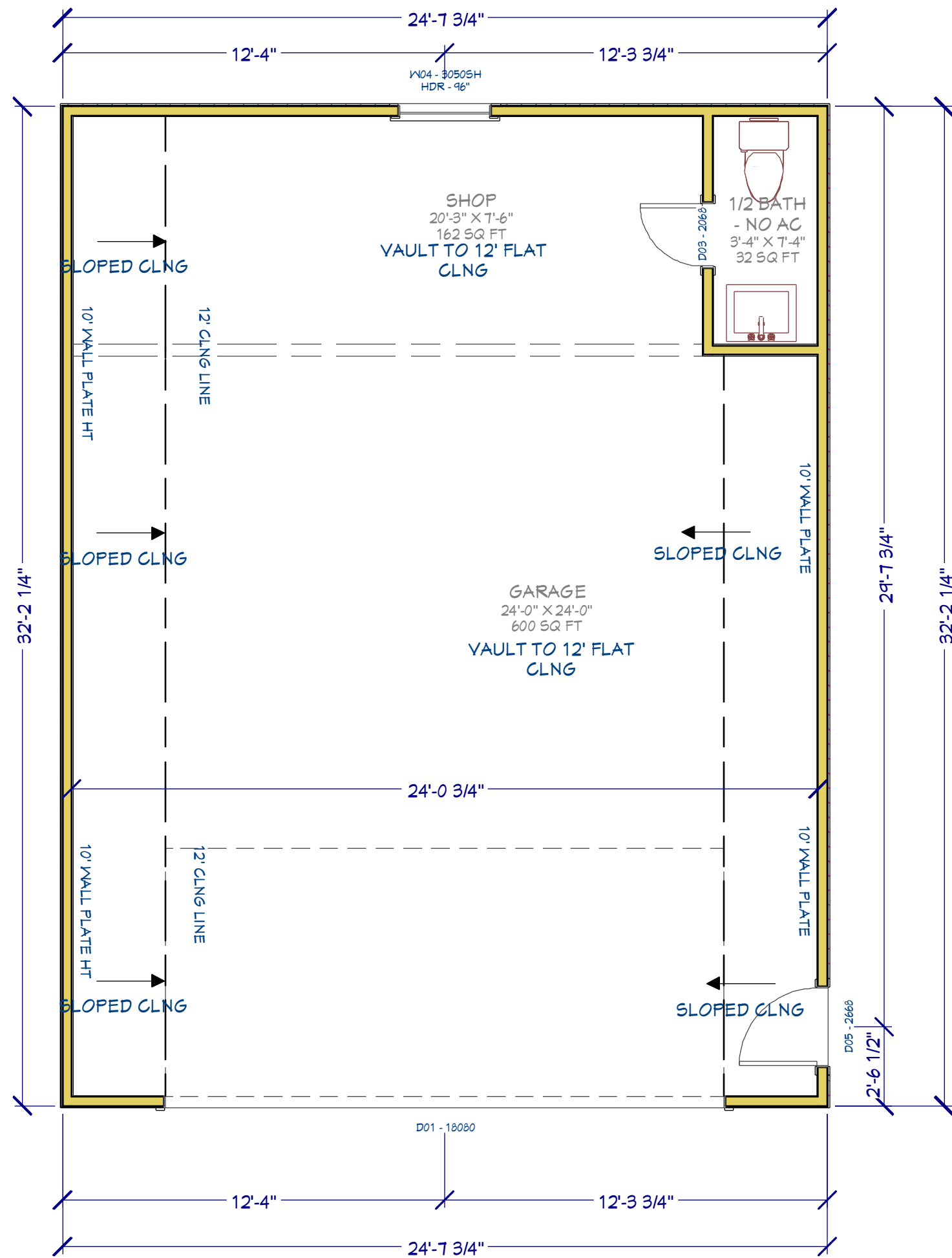
6/15/2024

SCALE:

1/4"=1'

SHEET:

6



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	14@ 5/8"
1	SHOP	152	14@ 5/8"
1	1/2 BATH - NO AC	24	12@ 5/8"
TOTALS:		752	

FRAMING PLAN

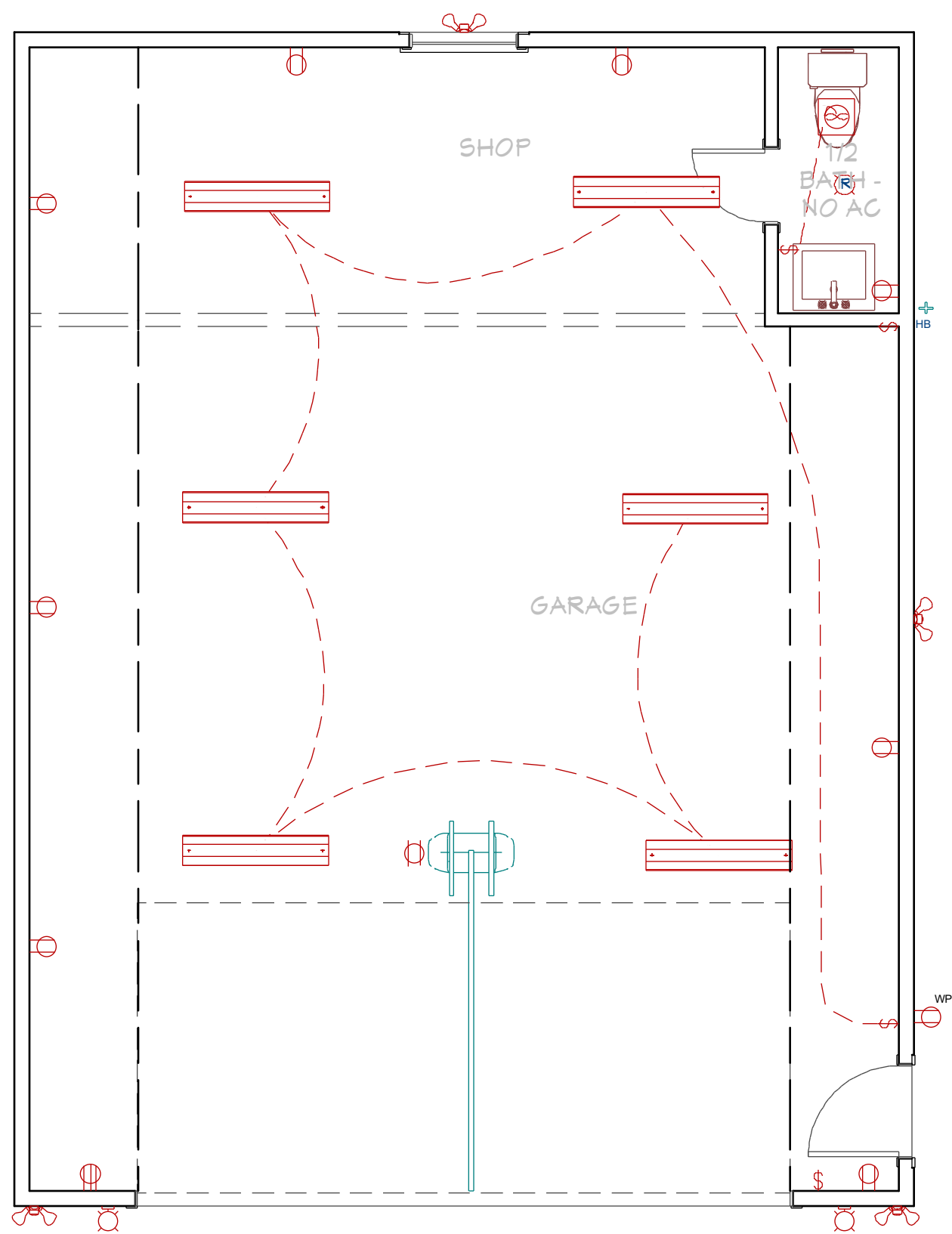
CABINET SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH

- ADDITIONAL ELECTRICIAN ITEMS/NOTES:
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
  - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
  - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
  - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
    - 30A 220V FOR POOL
    - 20A 110V FOR POOL ACCESSORIES
    - 50A 220V FOR ELECTRIC HOT TUB
  - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
  - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
  - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
  - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
  - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

- ELECTRICAL, DATA, & AUDIO NOTES:**  
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
  - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
  - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
  - FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
  - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
  - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
  - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**  
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

ELECTRICAL SCHEDULE				
NUMBER	FLOOR	QTY	DESCRIPTION	ATTACHED TO
E02	1	6	SHOP LIGHT (SHORT) (4@ 1/4W)	CEILING
E03	1	1	RECESSED DOWN LIGHT 6	CEILING
E05	1	1	DUPLEX CEILING MOUNTED	CEILING
E06	1	8	DUPLEX	WALL
E07	1	1	220V	WALL
E08	1	1	DUPLEX (WEATHERPROOF)	WALL
E12	1	1	EXHAUST	CEILING
E13	1	4	SPOTLIGHT 2 MOTION SENSOR	WALL
E14	1	2	ALDRIDGE SCOSCE	WALL
E15	1	4	SINGLE POLE	WALL

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



ELECTRICAL PLAN



**GENERAL NOTES AND SPECIFICATIONS**

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IEQ AND 2006 IMC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:	
1F BEDROOMS:	LVP/ENG. WOOD
1F BATHS:	TILE

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	148 5/8"
1	SHOP	152	148 5/8"
1	1/2 BATH - NO AC	24	124 5/8"
TOTALS:		752	

DOOR SCHEDULE											
NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	18080	EX	IN	GARAGE-GARAGE DOOR CHD05	96"	216"	1	3/4"x4 15/16"	
D03	1	1	2068 R IN	IN	OUT	HINGED- 84 INTERIOR	80"	24"	0+1	3/4"x4 1/2"	
D05	1	1	2668 L EX	EX	IN	EXT. HINGED- 82 TRADITIONAL PANEL	80"	30"	1+0	3/4"x4 7/16"	

WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE
W01	1	2	2030FX	FIXED GLASS	24"	36"	55 11/16"	2X2	
W04	1	1	3050SH	SINGLE HUNG	36"	60"	96"	1 / 1	

COMPONENT STYLE NOTES:	
FRONT DOOR STYLE	FIBERGLASS, 1/2 GLASS, STAINED
BACK DOOR STYLE	FIBERGLASS, 2/3 GLASS, PAINTED
INTERIOR DOOR STYLE	MDF OR SOLID CORE, 3 PANEL
WINDOW STYLE	VINYL, LO-E, FARMHOUSE, 2X2 LITES, WHITE EXT., WHITE INT.
COUNTERTOPS	QUARTZ, WHITE W/ GREY VEINING
EXT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS
INT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS







CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *DETACHED GARAGE* ON A 0.530-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF BLOCK 4, GARNER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 921 N. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

**2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan and Survey* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- (3) The *Detached Garage* shall not exceed a maximum size of 752 SF.
- (4) The Detached Garage shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
- (5) The subject property shall be limited to a maximum of three (3) accessory structures.
- (6) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
- (7) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full



force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.**

---

Trace Johannessen, *Mayor*

**ATTEST:**

---

Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 16, 2024

2<sup>nd</sup> Reading: October 7, 2024





**Exhibit 'B':**  
**Residential Plot Plan**

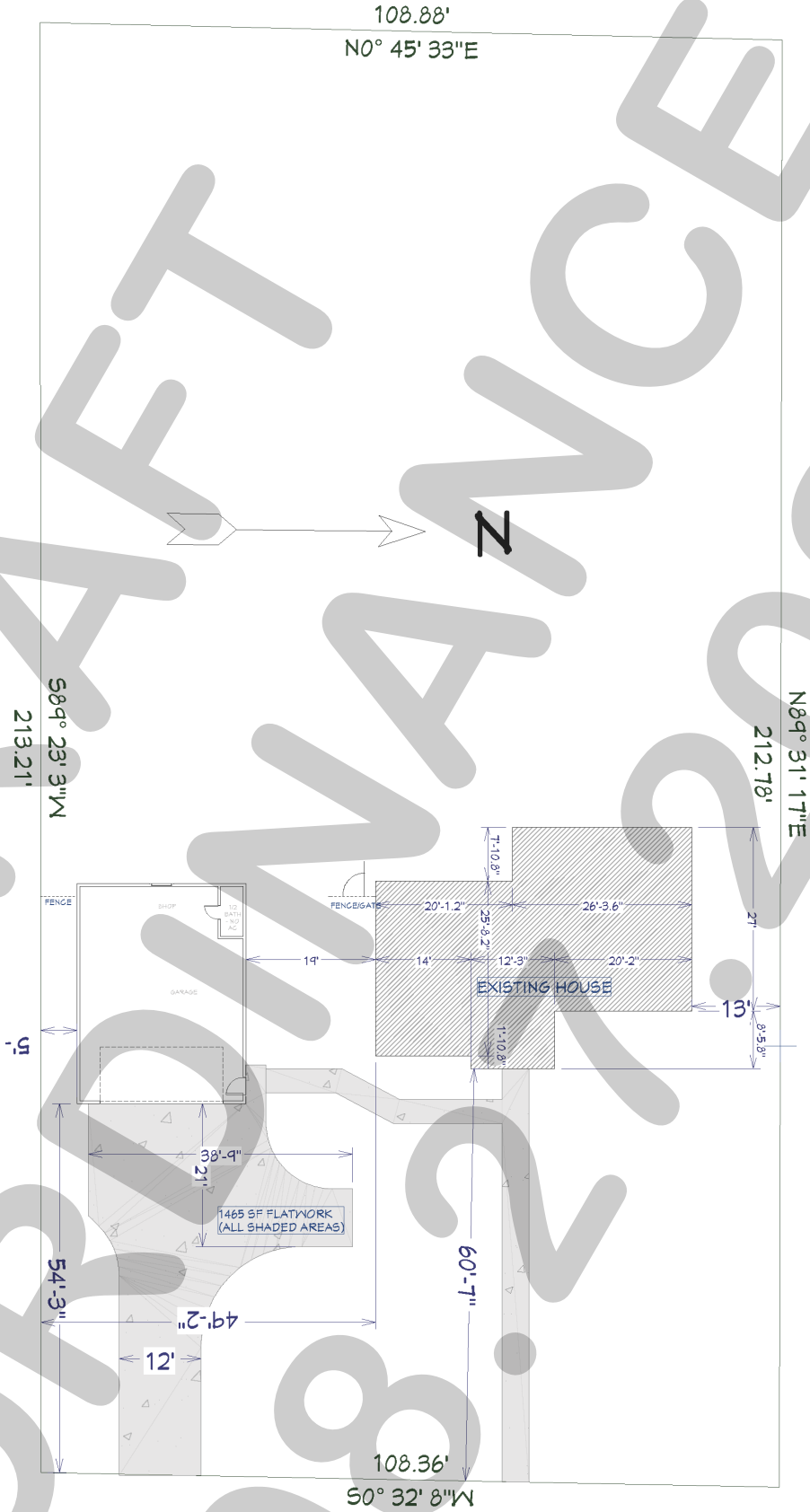


Exhibit 'C':  
Building Elevations







# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** September 10, 2024

**APPLICANT:** Travis Block

**CASE NUMBER:** Z2024-036; *Specific Use Permit (SUP) for a Detached Garage at 921 N. Alamo Road*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

### **BACKGROUND**

The subject property is considered to be a part of Old Town Rockwall, and was platted with the Garner Addition prior to 1934 per the 1934 Sanborn Maps. According to the City's historic zoning maps, at some point after the time of incorporation and January 3, 1972, the subject property was zoned Single-Family 2 (SF-2) District. Following this, sometime between January 22, 1982 and May 16, 1983, the subject property was rezoned from a Single-Family 2 (SF-2) District to Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD) the 1,282 SF single-family home was constructed in 1993 and the two (2), ~180 SF accessory buildings situated on the subject property were constructed in 1995.

### **PURPOSE**

The applicant -- *Travis Block* -- is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage* that exceeds the maximum allowable number of accessory structures and maximum permissible size as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 921 N. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) tracts of land (925, & 975 N. Alamo Road) developed with single-family homes. These two (2) properties are zoned Single-Family 10 (SF-10) District. Beyond this is a vacant 2.76-acre tract of land (*i.e. Tract 5 of the J. H. B. Jones Survey, Abstract No. 124*) zoned Neighborhood Services (NS) District. North of this is East Fork Drive, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several parcels of land that make up the remainder of the Garner Addition and the Briones Addition. All of these properties are developed with single-family homes and zoned Single-Family 10 (SF-10) District. Beyond this is E. Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

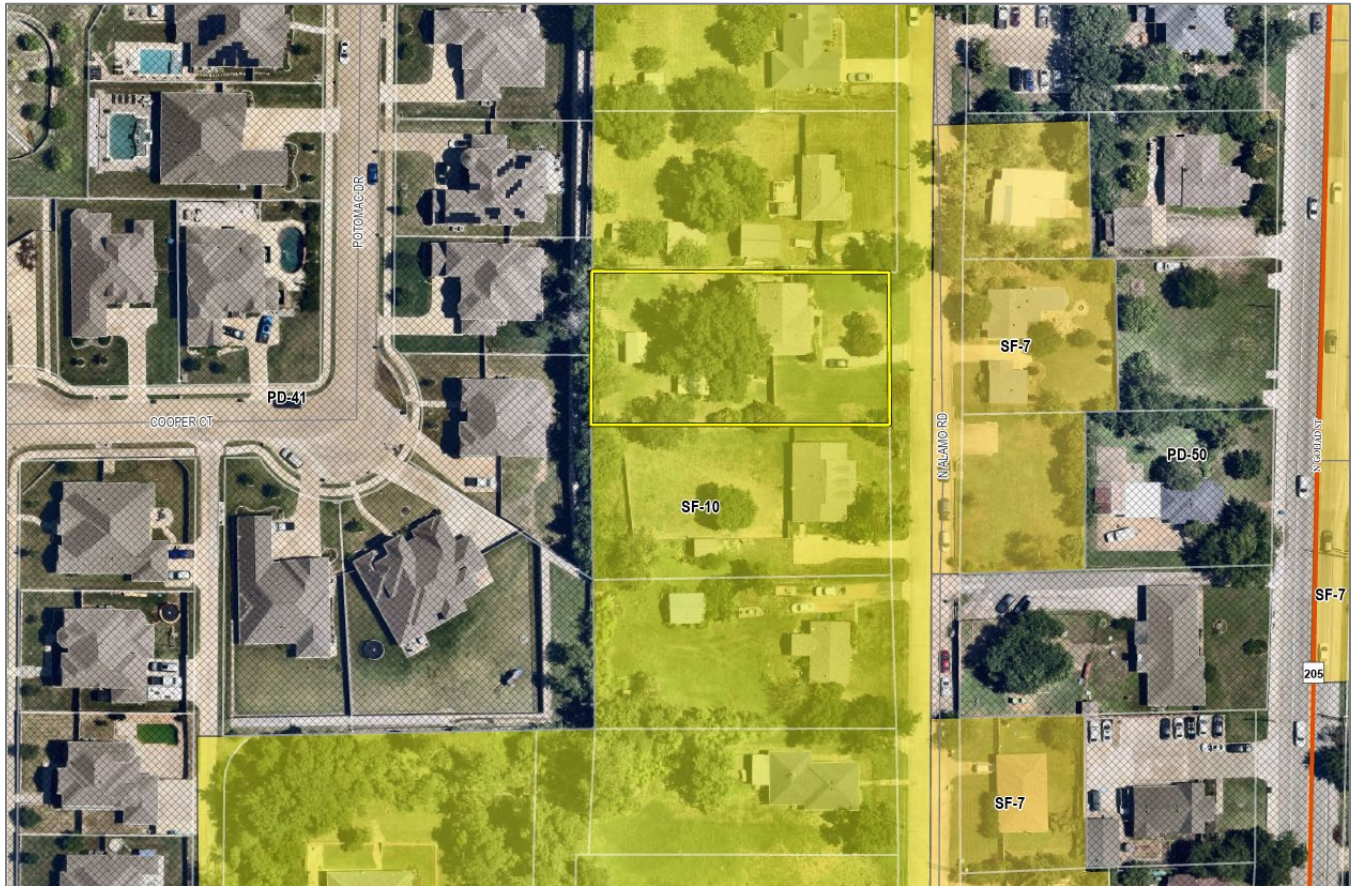
East: Directly east of the subject property is N. Alamo Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is one (1)

parcel of land (*i.e.* 922 N. Alamo Road) developed with a single-family home and zoned Single-Family 7 (SF-7) District. Beyond this is one (1) vacant parcel of land (*i.e.* 919 N Goliad Street), which is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. East of this is N. Goliad Street [SH-205], which is identified as a A5D (*i.e.* arterial, five [5] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Phase 1 of the Preserve Subdivision, which consists of 130 single-family homes that are zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses. Beyond this is N Lakeshore Drive which is identified as a A4D (*i.e.* arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

#### MAP 1: LOCATION MAP

**YELLOW:** SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage*. The site plan indicates that the *Detached Garage* will have a building footprint of 24'-8" x 30'-4" or 748 SF. The site plan also indicates that the *Detached Garage* will be located 21-feet behind the primary structure, meet all the applicable building setbacks, and be accessed at the front of the property via an 81-foot concrete driveway. The building elevations indicate that the structure will stand 18'-10" in height (*i.e.* 14'-5" as measured to the midpoint), and be clad in HardiBoard lap siding that will match the primary structure. The proposed structure will have one (1) roll up garage door that will face onto N. Alamo Road.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows one (1) detached garage with a maximum square footage of 625 SF. In this case, the proposed *Detached Garage* is exceeding the maximum permissible square footage



by 123 SF. This subsection goes on to state that only one (1) other accessory structure other than the *Detached Garage* is allowed by-right. In this case, there are two (2) existing accessory buildings that will remain on the property. This means that the *Detached Garage* will exceed the maximum allowable number accessory buildings on the property.

In addition, the UDC states that a *Detached Garage* must be located behind the front façade of the primary structure, incorporate a minimum 20-foot concrete driveway, and must be affixed to a permanent concrete foundation. In this case, the proposed *Detached Garage* is located 21-feet behind the front façade of the home and incorporates an 81-foot driveway.

## **STAFF ANALYSIS**

Staff examined other accessory buildings located on properties along N. Alamo Road in between W. Heath Street and Live Oak Street, and found that the vast majority of these accessory buildings (*i.e. 13 of the 15 accessory buildings identified*) were for storage purposes (*i.e. not detached garages*). Staff only identified one (1) other *Detached Garage* along this roadway, and estimates that it is approximately 615 SF in size. Given this, the proposed *Detached Garage* would be largest of the existing accessory buildings along this portion of N. Alamo Road, and only be second to the recently approved Specific Use Permit (SUP) [*i.e. Case No. Z2024-029*] for a 910 SF *Detached Garage* at 911 N. Alamo Road. With this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On August 21, 2024, staff mailed 103 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Preserve, Lakeview Summit, and Caruth Lakes Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received three (3) notices in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (A) The development of the *Subject Property* shall generally conform to the Site Plan and Survey as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (B) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
  - (C) The *Detached Garage* shall not exceed a maximum size of 750 SF.
  - (D) The *Detached Garage* shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
  - (E) The subject property shall be limited to a maximum of three (3) accessory structures.
  - (F) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
  - (G) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of

Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 921 N. Alamo Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Residential street

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

Residential

CURRENT USE

Residential / yard  
residential detached garage

PROPOSED ZONING

PROPOSED USE

ACREAGE

.53

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☒ OWNER

Travis Block

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

921 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

469-235-4261

PHONE

E-MAIL

trablock@icloud.com

E-MAIL

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Travis Block [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1300 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

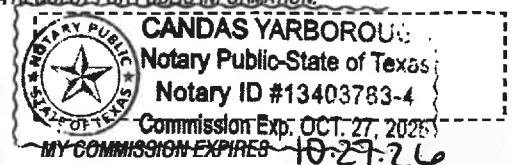
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

OWNER'S SIGNATURE

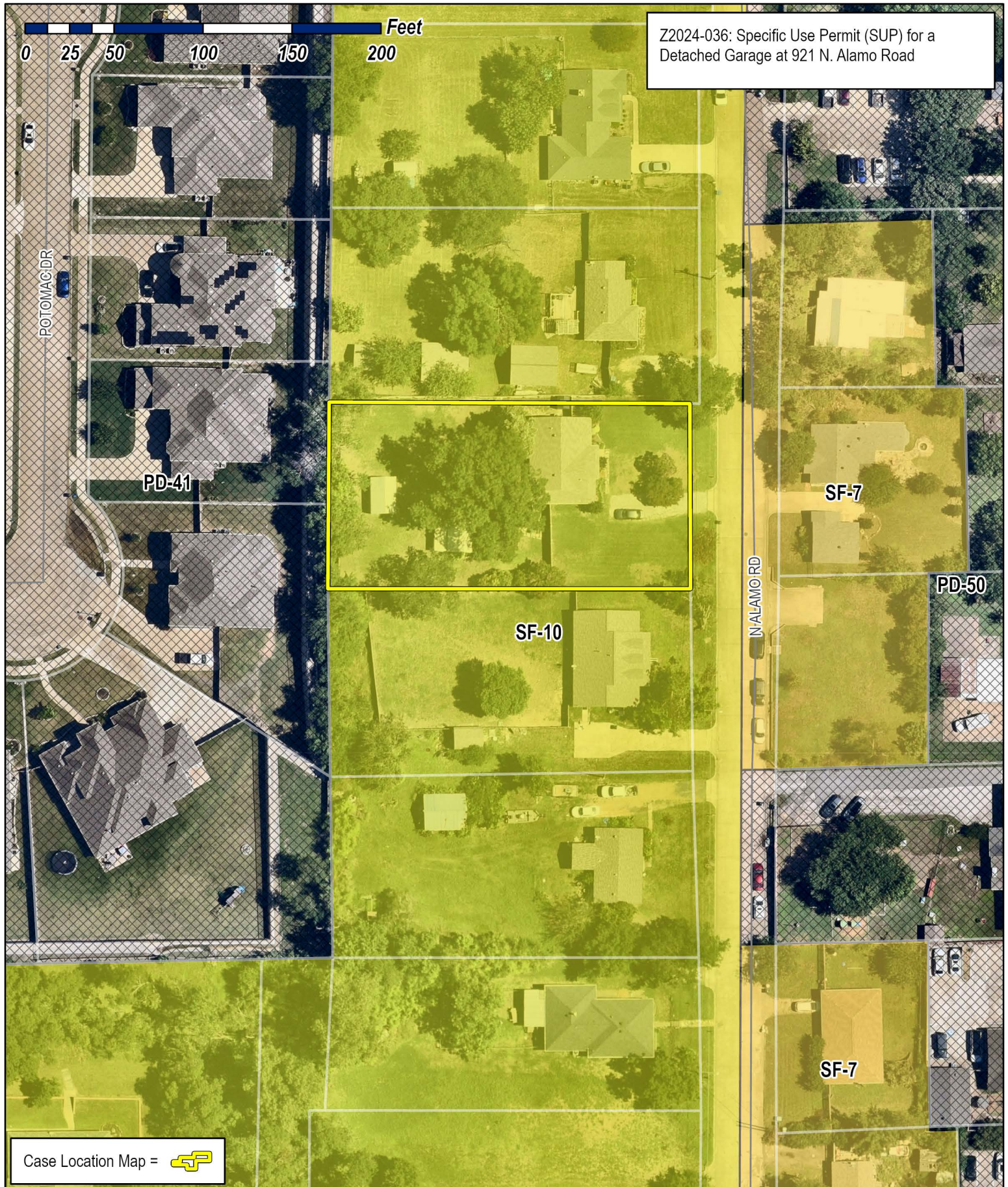
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Candas Yarbrough







## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



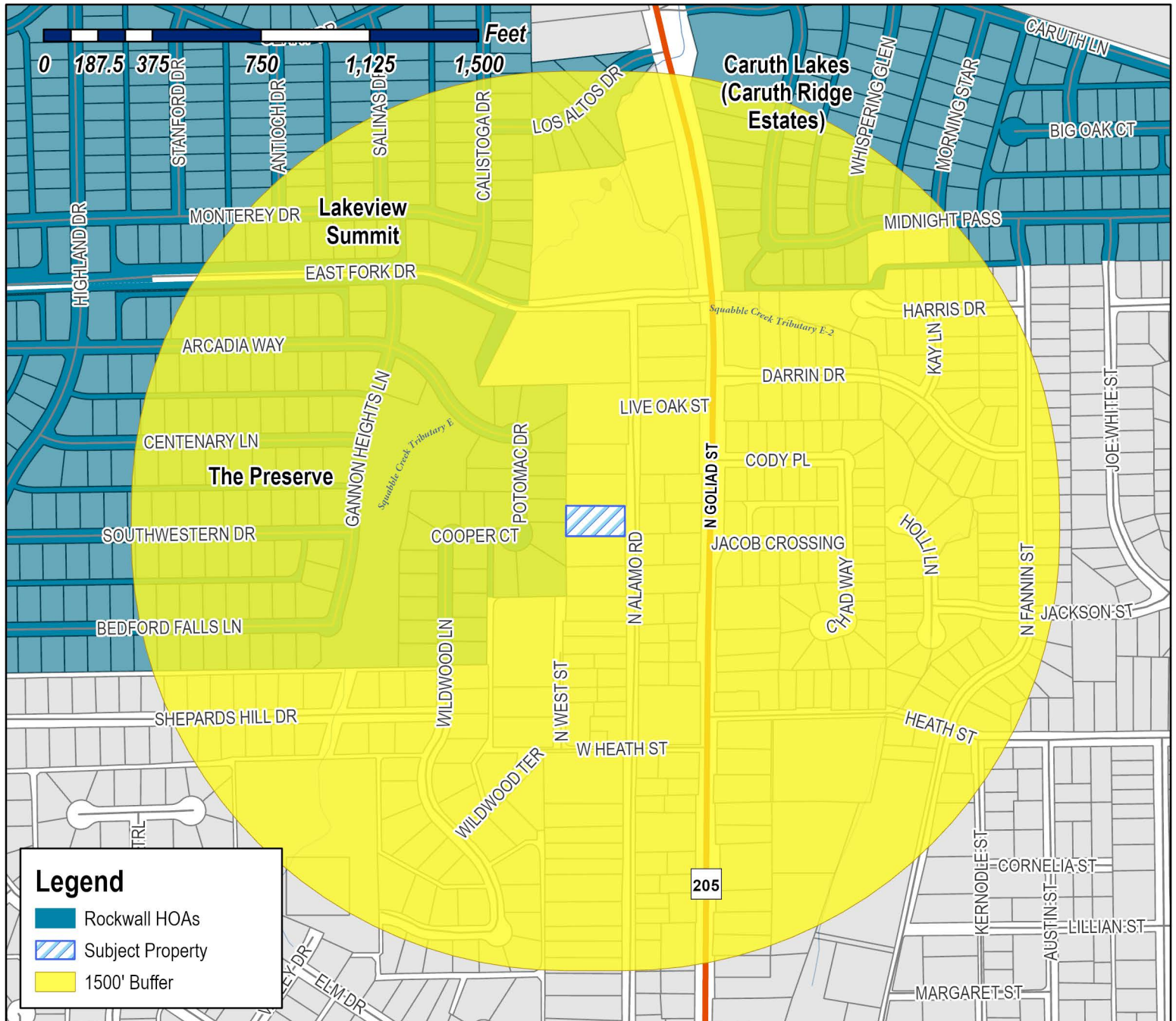




# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
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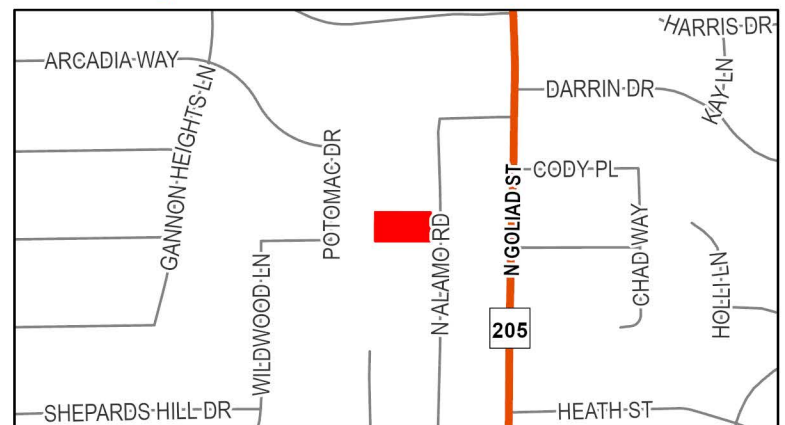
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**Case Number:** Z2024-036  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024

For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, August 21, 2024 2:54 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Email [Z2024-036]  
**Attachments:** HOA Map (08.15.2024).pdf; Public Notice (P&Z) (08.19.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 23, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2024-036: SUP for a Detached Garage**

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

Thank you,

***Melanie Zavala***

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](https://www.rockwalltx.gov/planning-zoning)  
972-771-7745 Ext. 6568

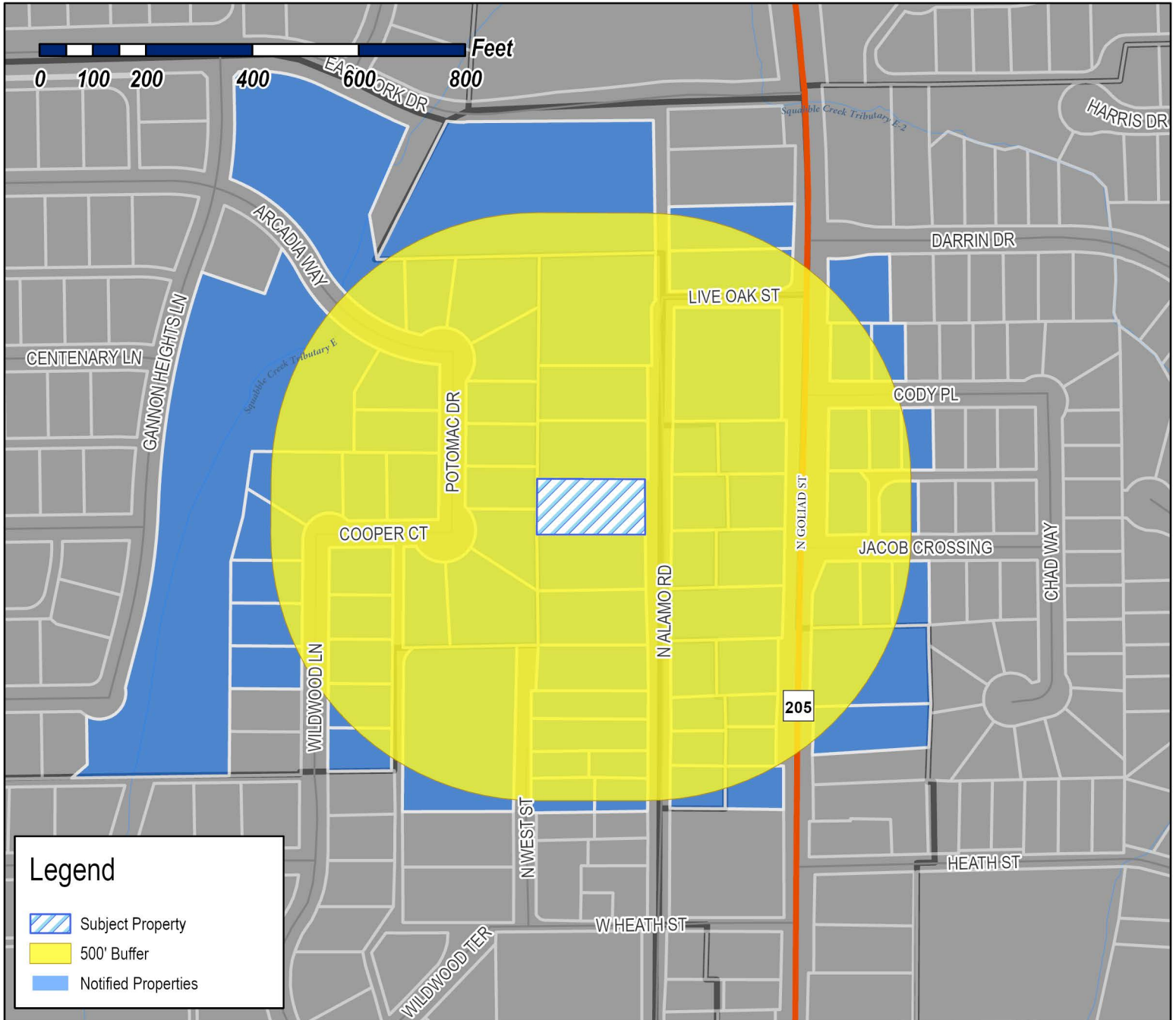




# City of Rockwall

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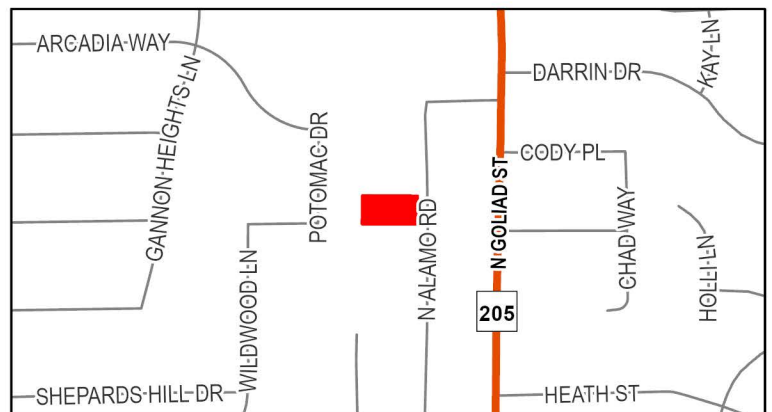
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**Case Number:** Z2024-024  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT  
1001 N GOLIAD  
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN  
104 RUSH CREEK  
HEATH, TX 75032

CURANOVIC JOHN  
109 ELM CREST DR  
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST  
1150 CRESTCOVE DR  
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A  
12207 DARK HOLLOW RD  
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN  
1408 S LAKESHORE DR  
ROCKWALL, TX 75087

STRATEGIC MANAGEMNET SERVICES LLC  
14124 EDGECREST DR  
DALLAS, TX 75254

DOUBLE T VENTURES LLC  
1500 S KREYMER LN  
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA  
1855 HIDDEN HILLS  
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW  
192 JACOB CROSSING  
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S  
193 JACOB CROSSING  
ROCKWALL, TX 75087

RESIDENT  
194 CODY PLACE  
ROCKWALL, TX 75087

CROY DANNY L  
195 CODY PL  
ROCKWALL, TX 75087

RESIDENT  
196 JACOB CROSSING  
ROCKWALL, TX 75087

STEWART DEBORAH LYNN  
196 DARRIN DR  
ROCKWALL, TX 75087

RESIDENT  
198 CODY PLACE  
ROCKWALL, TX 75087

KEANE PARKER F  
199 CODY PL  
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST  
CHRISTOPHER CHARLES SIEBERT & JANE M  
SIEBERT - TRUSTEES  
199 JACOB XING  
ROCKWALL, TX 75087

917 PROPERTIES LLC  
2 MANOR COURT  
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
200 JACOB CROSSING  
ROCKWALL, TX 75087

MILLER ROBERT AND KATY  
202 CODY PL  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
208 SUMMIT RIDGE  
ROCKWALL, TX 75087

WEST MICHAEL  
299 SHENNENDOAH LANE  
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST  
301 COOPER COURT  
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S TRUSTEES  
2023 G J MATTINGLY REVOCABLE TRUST  
302 ARCADIA WAY  
ROCKWALL, TX 75087

HARKLAU CAROLINE  
312 DARTBROOK  
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M  
317 COOPER STREET  
ROCKWALL, TX 75087

WEAST BRIAN J AND  
CYNTHIA C BROWN  
318 ARCADIA WAY  
ROCKWALL, TX 75087

WEBER MARY JANE  
318 COOPER CT  
ROCKWALL, TX 75087



BOLER RICKY D JR AND  
NANCY L GUTIERREZ  
334 COOPER COURT  
ROCKWALL, TX 75087

RESIDENT  
348 COOPER CT  
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC  
400 CHIPPENDALE DRIVE  
HEATH, TX 75032

TURNER KYLE RADEY  
4002 BROWNSTONE CT  
DALLAS, TX 75204

ADAT ESTATE LLC  
482 ARCADIA WAY  
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA  
602 W RUSK ST  
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE  
702 WILDWOOD LANE  
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL  
DAWN  
718 WILDWOOD LANE  
ROCKWALL, TX 75087

MAYNARD JEREMY SHAME AND  
AMY ELIZABETH FLORES  
731 WILDWOOD LANE  
ROCKWALL, TX 75087

PHILIPS SHIBU & LEJI  
734 WILDWOOD LN  
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A  
747 WILDWOOD LANE  
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES  
750 JUSTIN RD  
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA  
752 WILDWOOD LN  
ROCKWALL, TX 75087

CRAWFORD HAROLD E JR  
763 WILDWOOD LANE  
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD  
768 WILDWOOD LN  
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P  
779 WILDWOOD LANE  
ROCKWALL, TX 75087

MASON MARK S & TAMARA M  
802 POTOMAC DRIVE  
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN  
818 POTOMAC DR  
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID  
834 POTOMAC DR  
ROCKWALL, TX 75087

MCCULLEY LIVING TRUST  
DARREN WAYNE MCCULLEY & MICHELE JUNE  
MCCULLEY - CO-TRUSTEES  
837 POTOMAC DR  
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU  
852 POTOMAC DRIVE  
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD  
853 POTOMAC DRIVE  
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L  
868 POTOMAC DRIVE  
ROCKWALL, TX 75087

RESIDENT  
905 N GOLIAD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
907 N GOLIAD ST  
ROCKWALL, TX 75087

JC GAERLAN LLC  
907 NORTH ALAMO ROAD  
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID  
908 N ALAMO RD  
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC  
908 N GOLIAD ST  
ROCKWALL, TX 75087

MARTINKUS NICOLE  
908 N WEST ST  
ROCKWALL, TX 75087

MOLINA JOE C II  
909 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
909 N GOLIAD  
ROCKWALL, TX 75087

MCFADIN SARA TERESA  
909 N WEST STREET  
ROCKWALL, TX 75087

ZAVALA VICTOR V  
910 N ALAMO RD  
ROCKWALL, TX 75087

PERRY RUBY DELL  
910 N WEST ST  
ROCKWALL, TX 75087

WHITE TIMOTHY E  
9104 PRIVATE ROAD 2325  
TERRELL, TX 75160

LEWIS BEN  
911 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
911 N GOLIAD  
ROCKWALL, TX 75087

JONES PAMELA J  
912 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
912 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
913 N ALAMO RD  
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE  
ELIZABETH  
915 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
915 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
917 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
917 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
918 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N GOLIAD  
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS  
921 N ALAMO RD  
ROCKWALL, TX 75087

BARRY BARBARA  
922 N ALAMO RD  
ROCKWALL, TX 75087

HUDSON SHEL I O  
923 N ALAMO  
ROCKWALL, TX 75087

CHAVEZ ENRIQUE  
923 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
924 N ALAMO  
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND  
MICHAEL CRAWFORD  
925 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
925 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
975 N ALAMO  
ROCKWALL, TX 75087

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

CFPC INVESTMENTS LLC  
PO BOX 1731  
MARBLE FALLS, TX 78654



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## **Z2024-036: SUP for a Detached Garage**

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10,, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## **Case No. Z2024-036: SUP for a Detached Garage**

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Ross, Bethany

---

**From:** Dyron M Durham <dyrondurham@yahoo.com>  
**Sent:** Monday, August 26, 2024 9:47 AM  
**To:** Planning; Hailey Hosak  
**Subject:** Case Number: Z2024-036

We are in favor of this request for a detached garage.

Dyron Durham 975 N Alamo Dr Rockwall, TX 75087

[Yahoo Mail: Search, Organize, Conquer](#)

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-024

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Approve of detached garage built

## Respondent Information

Please provide your information.

## First Name \*

Lina

Last Name \*

Hilstad

Address \*

853 Potomac Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*



I live nearby the proposed Zoning or Specific Use Permit (SUP) request.



I work nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.



Other:



How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other: .....

This content is neither created nor endorsed by Google.

Google Forms

## Ross, Bethany

---

**From:** Sara McFadin <saramcfadin@gmail.com>  
**Sent:** Saturday, August 24, 2024 1:57 PM  
**To:** Planning  
**Subject:** Case #Z2024-036:SUP for a Detached Garage

My name is Sara McFadin  
909 N West St, Rockwall, TX 75087

I am in favor of the request for detached garage. Its their property and they should be able to build what they need.

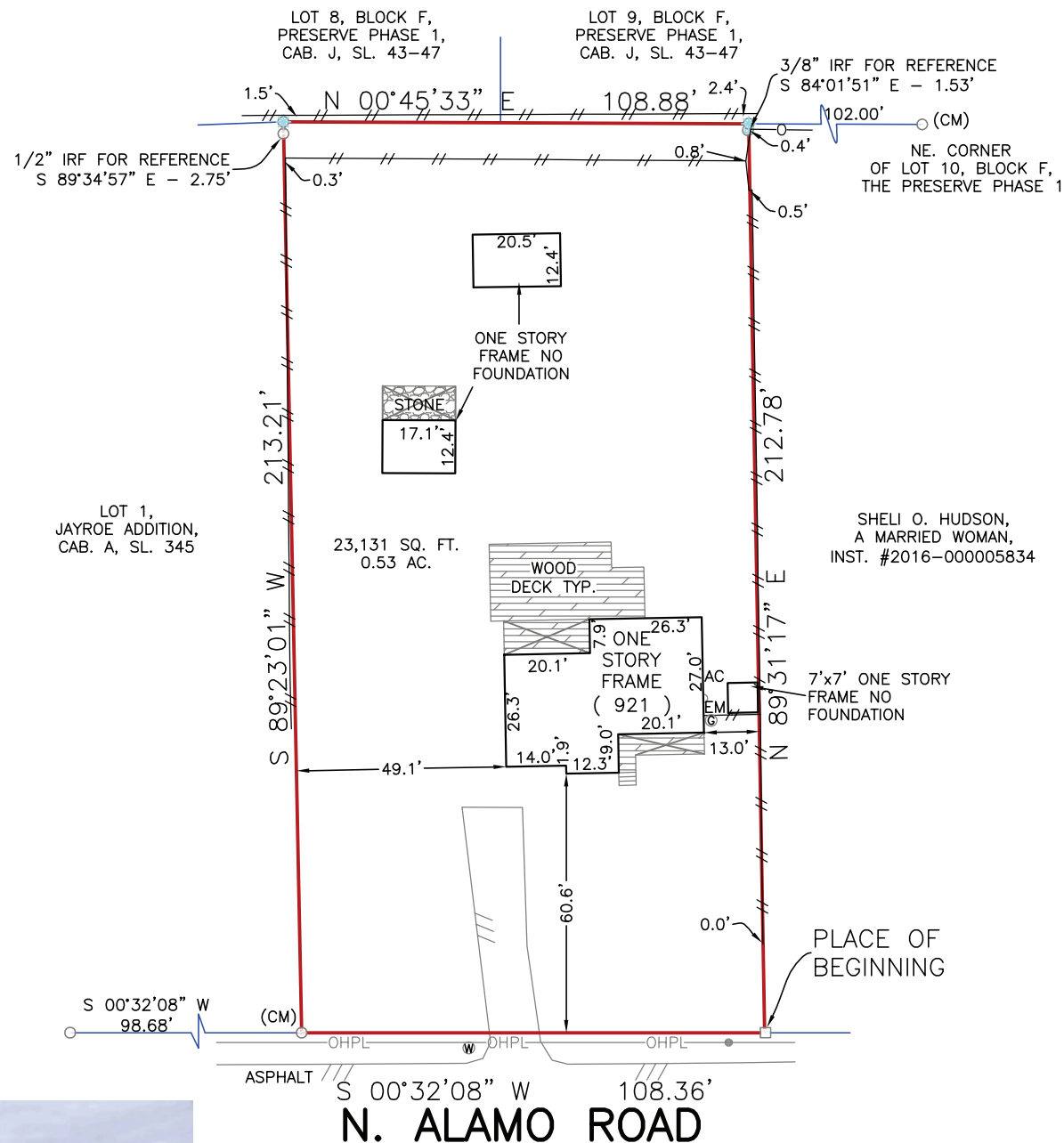
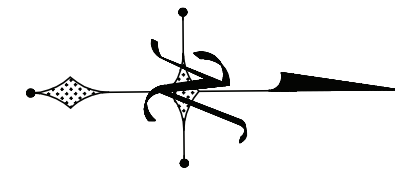
Regards,

Sara McFadin

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1529 E I-30, STE. 103  
GARLAND, TEXAS 75043

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 357 N. ALAMO ROAD, in the city of ROCKWALL Texas.

All that certain lot, tract or parcel of land situated in the J.H.B. SURVEY, Abstract No. 124, City of Rockwall, Rockwall County, Texas and being a tract of land described in deed to Corky Belanger, by deed recorded in Instrument Number 2020000030622, Deed Records, Rockwall County, Texas, (D.R.R.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at a railroad spike found for corner being in the West line of N. Alamo Road and being at the Southwest corner of a tract of land described in deed to Sheli O. Hudson, a married woman, by deed recorded in Instrument Number 2016-000005834, (D.R.R.C.T.) and being at the Northeast corner of that tract herein described;

THENCE South 00 degrees 32 minutes 08 seconds West, a distance of 108.36 feet to a 1/2 inch iron rod found for corner, being at the Northeast corner of Lot 1, of Jayroe Addition, an addition recorded in Cabinet A, Slide 346, of the Map or Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 23 minutes 01 seconds West, a distance of 213.21 feet to a point for corner, being in the East line of Lot 8, Block F, of Preserve Phase 1, an Addition recorded in Cabinet J, Slide 43-47, of the Map or Plat Records, Rockwall County, Texas, from which a 1/2 inch iron rod found bears South 89 degrees 34 minutes 57 seconds East, 2.75 feet for reference;

THENCE North 0 degrees 45 minutes 33 seconds East, a distance of 108.88 feet to a point for corner, being in the East line of Lot 9, of said Preserve Phase 1, from which a 3/8 inch iron rod found bears South 84 degrees 01 minutes 51 seconds East, 1.53 feet for reference;

THENCE North 89 degrees 31 minutes 17 seconds East, a distance of 212.78 feet to the PLACE OF BEGINNING and containing 23,131 square feet or 0.53 of an acre of land.

BEARINGS ARE BASED ON NAD 83  
DATUM, TEXAS STATE PLANE  
COORDINATE SYSTEM. NORTH  
CENTRAL ZONE

ACCEPTED BY: \_\_\_\_\_

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

Scale: 1" = 40'  
Date: 02/10/23  
G. F. No.: 1901462300020  
Job no.: 202300799  
Drawn by: J.M.

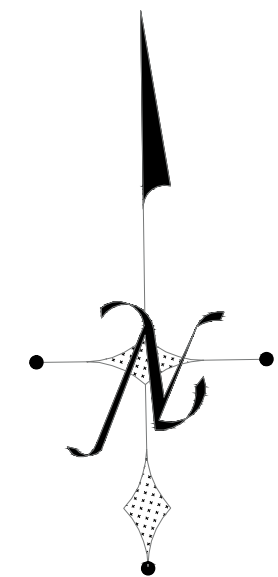
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
CM - CONTROLLING MONUMENT	
MRD - MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
SET 'X' - RR. SPIKE FOUND	
3/8" IRON ROD FOUND	
5/8" IRON ROD FOUND	
POINT FOR CORNER	
C - CABLE	E - ELECTRIC
CO - CLEAN OUT	PE - POOL EQUIP
G - GAS METER	P - POWER POLE
F - FIRE HYDRANT	T - TELEPHONE
L - LIGHT POLE	W - WATER METER
M - MANHOLE	V - WATER VALVE
(UNLESS OTHERWISE NOTED)	

Lawyers Title

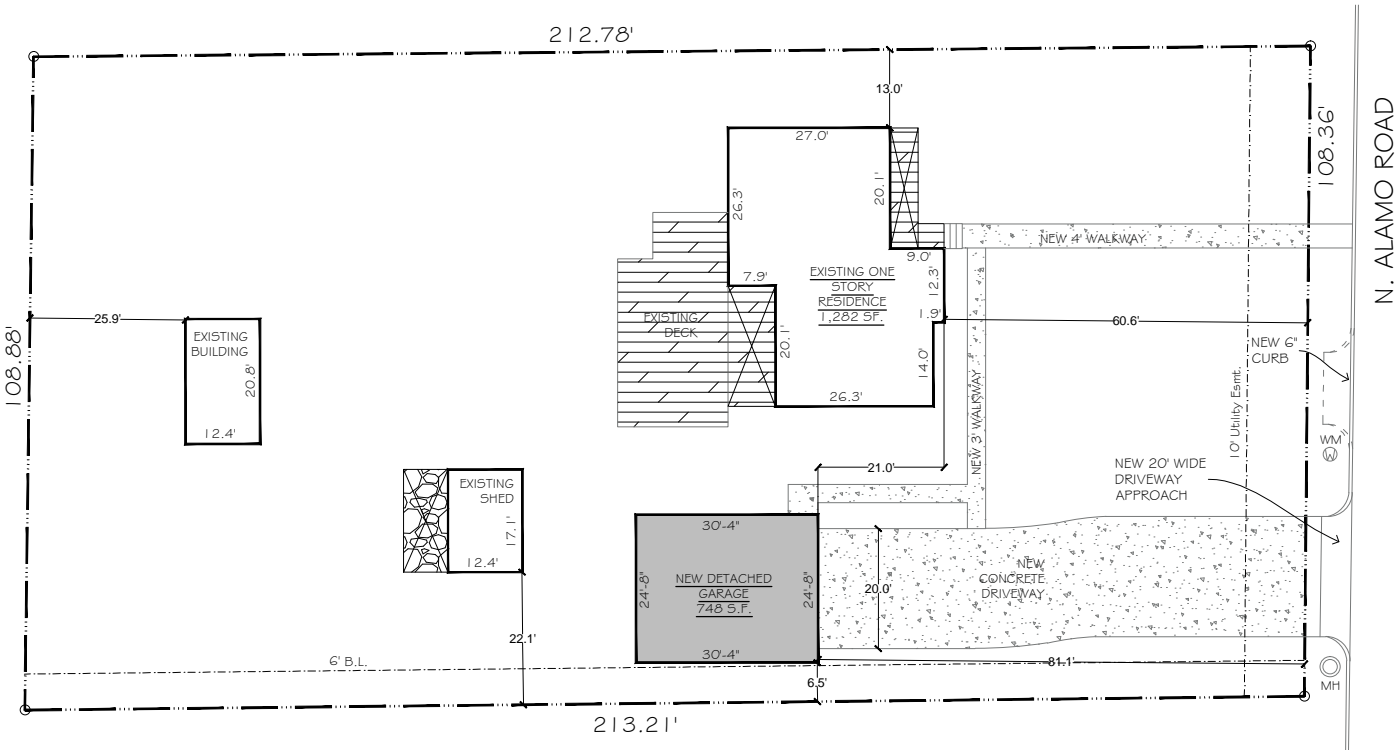


Signature of Barry S. Rhodes



SITE PLAN

SCALE: 1/32" = 1'-0"



SITE PLAN INFORMATION	
LOT SIZE	23,130 S.F.
BUILDING AREA	3,208 S.F.
PERCENT LOT COVERED	13.86%
A MINIMUM OF 70% OF THE NON-ROOF AREA OF THE LOT COVERED WILL HAVE LANDSCAPE (GRASS, TREES, ETC.)	

Vecinity Map



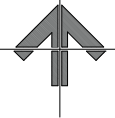
Applicable Codes

- 2021 IBC      2023 NEC
- 2021 IRC
- 2021 IECC
- 2021 IPC

Project Description

This project is a new construction of a detached garage of 748 s.f. over reinforced concrete slab.

North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date

July 1, 2024

Sheet Title

SITE PLAN

Scale

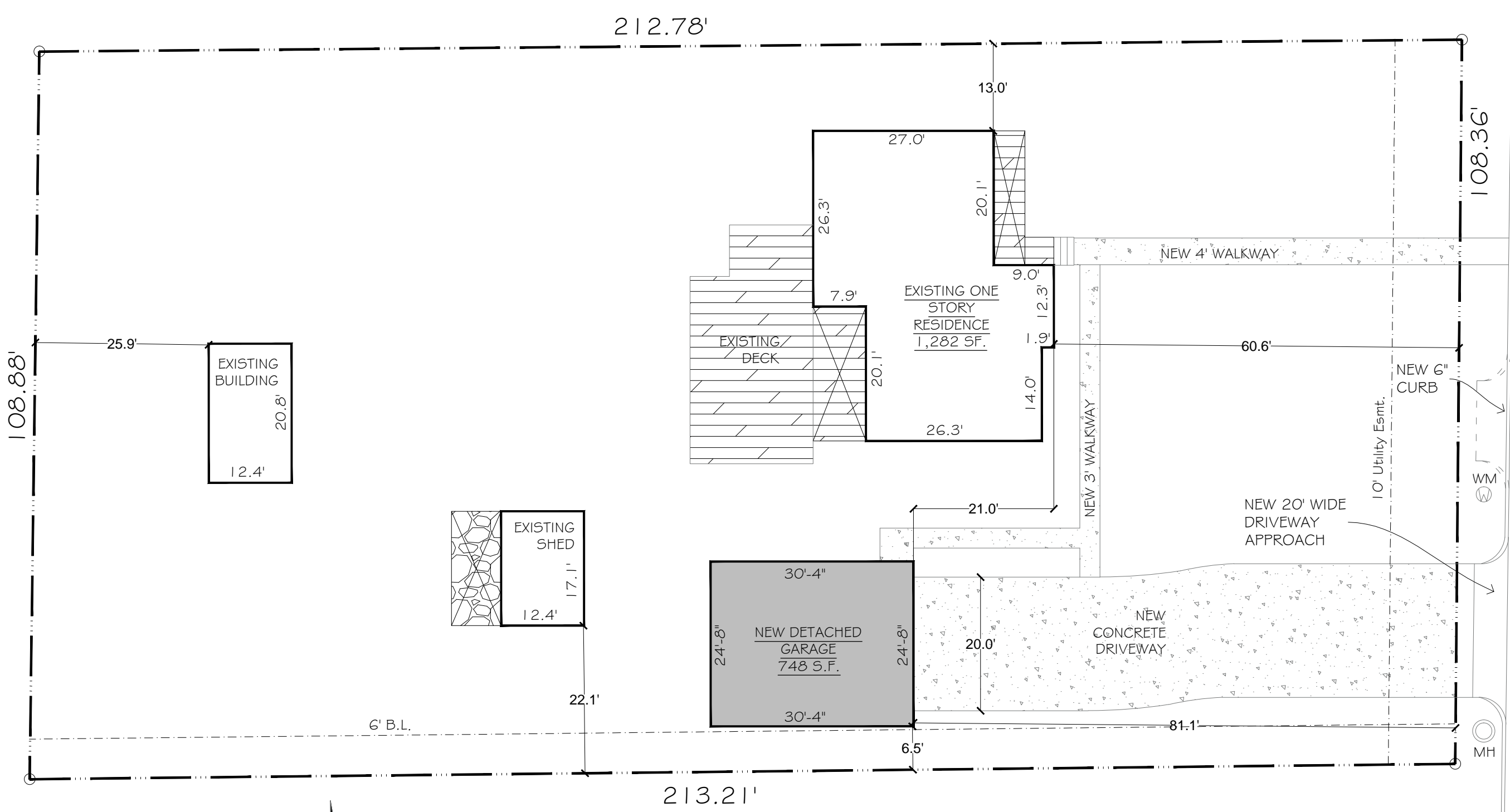
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Sheet No.

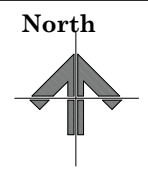
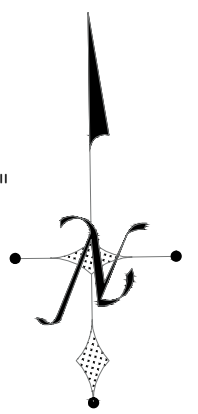
1

1 of 14





**SITE PLAN**  
 SCALE: 1/16" = 1'-0"



N. ALAMO ROAD

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**921 N. Alamo Rd.**  
 Rockwall, Texas 75087

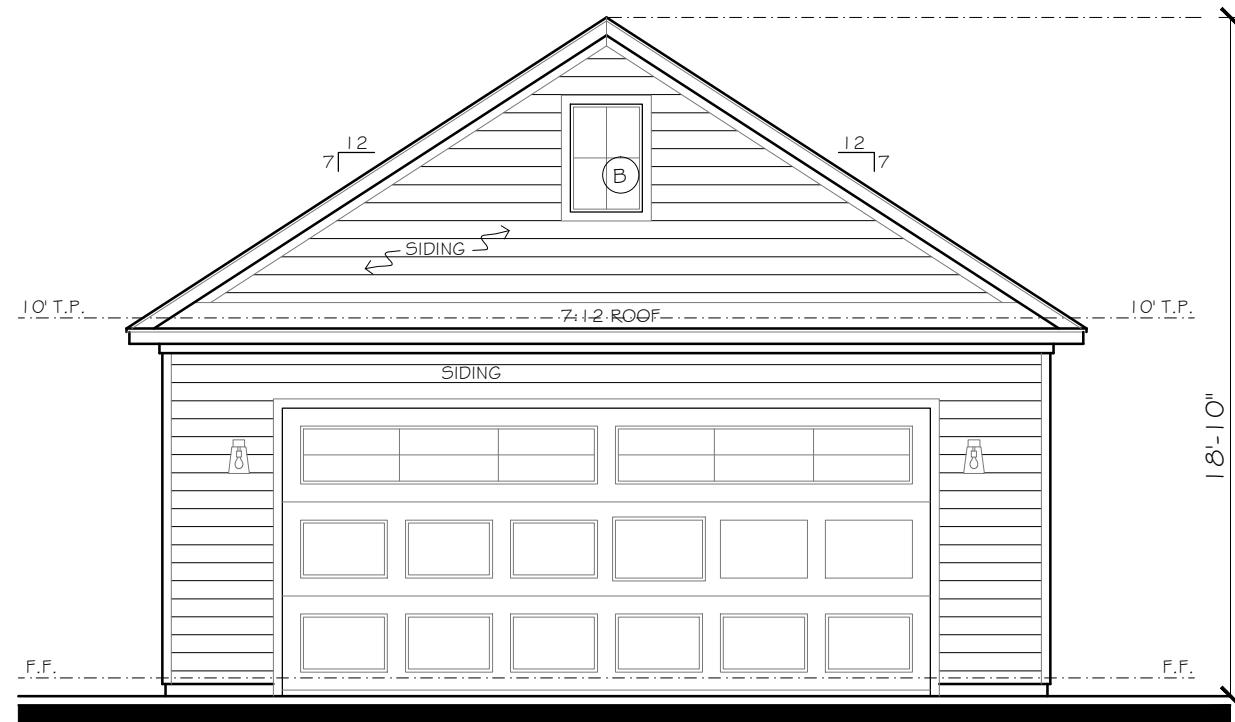
GARNER BLOCK PART 4

**Date**  
 July 1, 2024

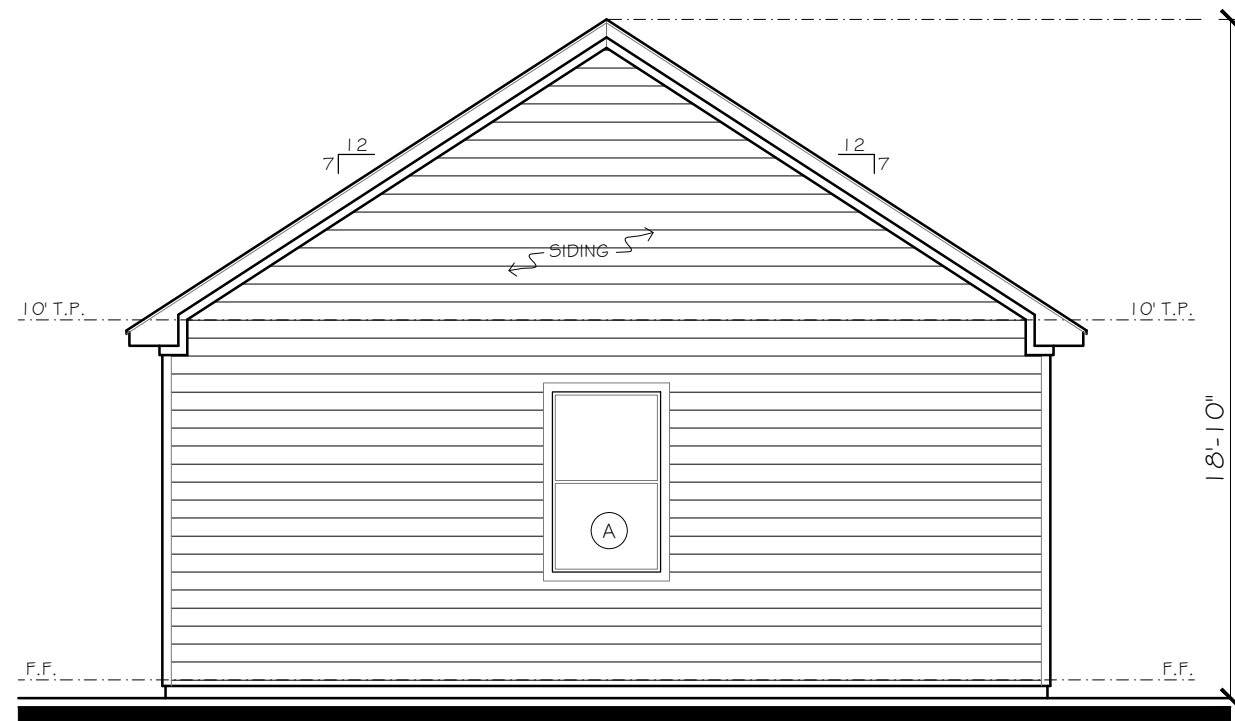
**Sheet Title**  
 SITE PLAN

**Scale**  
 1/16" = 1'-0"

**Sheet No.**  
 2  
 1 of 14

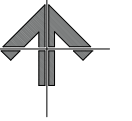


FRONT ELEVATION SCALE: 3/16" = 1'-0"



REAR ELEVATION SCALE: 3/16" = 1'-0"

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date  
July 1, 2024

Sheet Title

ELEVATIONS

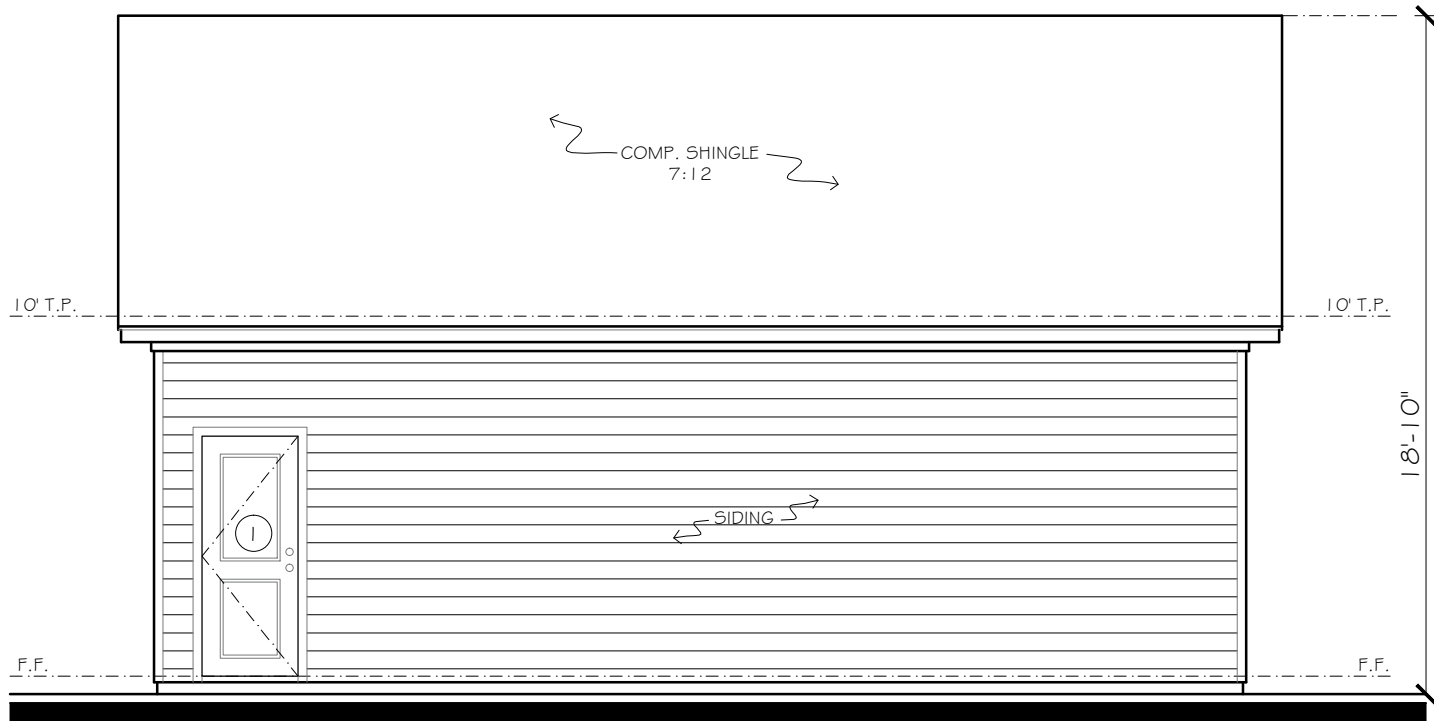
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Sheet No.

4

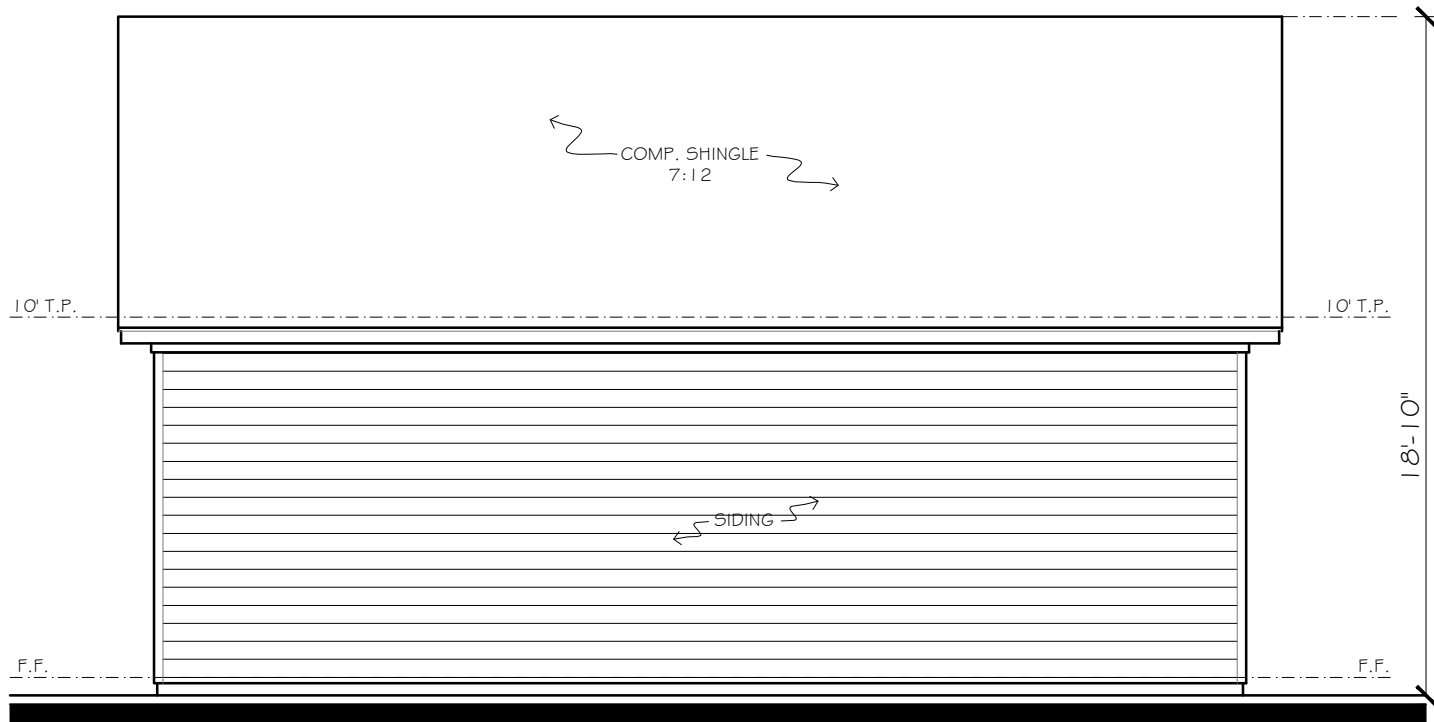
3 of 14





RIGHT ELEVATION

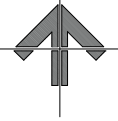
SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date

July 1, 2024

Sheet Title

ELEVATIONS

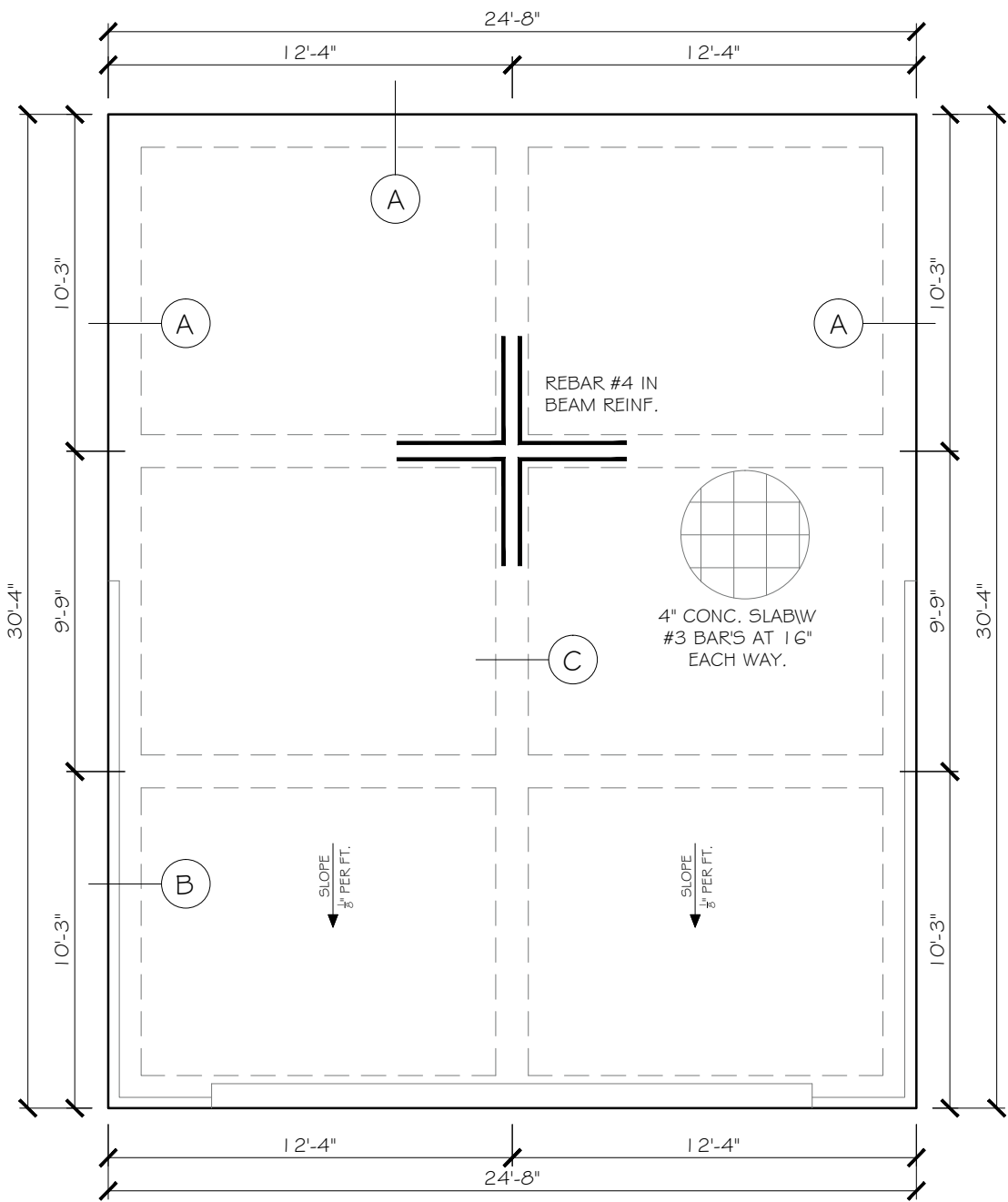
Scale

3/16" = 1'-0"

Sheet No.

5

3 of 14

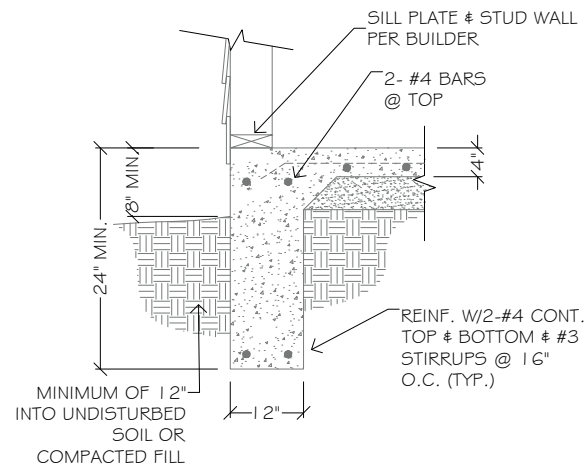


## FOUNDATION PLAN

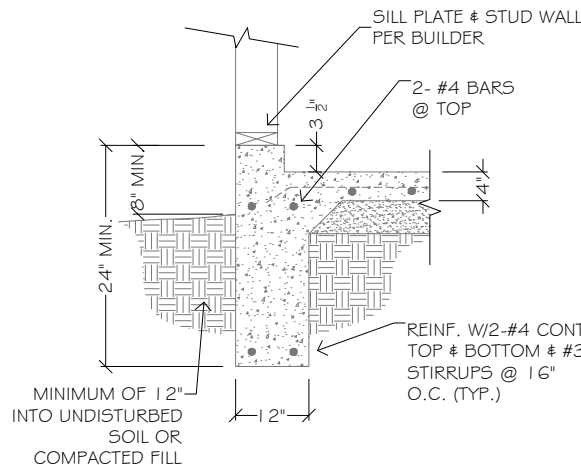
SCALE: 3/16" = 1'-0"

### CONCRETE NOTES

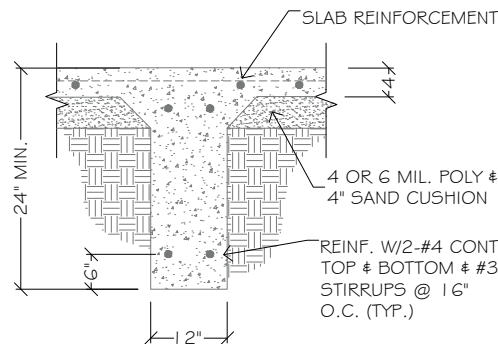
- EXCAVATE EXISTING SOIL +/- 6" DEEP TO 24" DEEP AND REMOVE TO OFF SITE LOCATION
- FOUNDATION SLAB SHALL BE 4" THICK OFF 3,000 PSI REINFORCED CONCRETE.
- CONCRETE SLAB SHALL BE PLACED OVER 4" THICK SAND AND GRAVEL CUSHION APPLY LAYER OF 4 MIL THICK VAPOR BARRIER OF POLYETHYLENE BELOW SLAB.
- UNDISTURBED SOIL SHALL BE COMPACTED TO 90% PROCTOR PRIOR TO PLACEMENT OF SAND CUSHION.
- ALL CONCRETE BEAM SHALL BE 12" WIDE AND 24" DEEP WITH REINFORCING AS INDICATED.
- AT ALL BEAM INTERSECTIONS, SHALL HAVE #3 CORNER BAR REINFORCING AND SHALL LAP BEAM REINFORCING NOT LESS THAN 18"
- ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY, 3,000 PSI COMPRESSIVE STRENGTH.
- ADMIXTURES CONTAINING CHLORIDES, SULPHATE, NITRATES AND FLY ASH ARE NOT PERMITTED.
- REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-65, GRADE 60, EXCEPT No. 3 BARS MAY BE GRADE 40.
- FURNISH AND INSTALL EXPANSION JOINT BETWEEN EXISTING CONCRETE SLAB AND NEW CONCRETE SLAB.
- NEW SLAB TO HAVE SMOOTH TOP FINISH
- REMOVE FORM BOARDS AND RUB OUT ANY HONEYCOMB AREAS.
- FILL IN AROUND NEW CONCRETE WITH NATIVE SOIL.



**A** EXTERIOR BEAM Siding  
N.T.S.

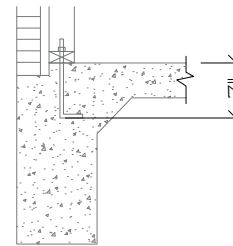


**B** EXTERIOR BEAM @ GARAGE  
N.T.S.

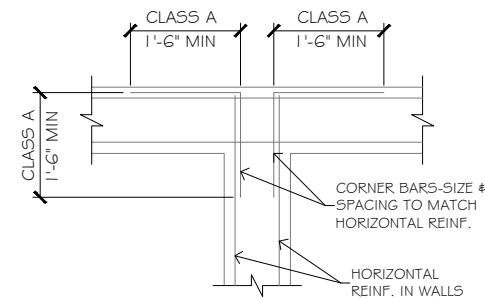


**C** INTERIOR BEAM  
N.T.S.

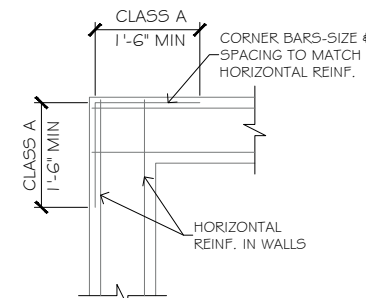
MINIMUM 1/2" DIAMETER ANCHOR BOLTS ARE TO BE INSTALLED EVERY 6'-0" O.C. MAX. AND WITHIN 12" OF EACH CORNER EMBEDDED MIN 7" INTO CONCRETE. ATTACHMENT IS REQUIRED WITHIN 4"-12" OF EACH BUTT JOINT IN THE BOTTOM PLATE OF ALL EXTERIOR WALLS NOT MORE THAN 12" OR 7 BOLT DIA. FROM EACH END OF EACH PLATE SECTION. REFER TO BRACED WALL PLAN FOR INTERIOR BRACED WALL ANCHORAGE TO SLAB.



ANCHOR BOLT DETAIL WITH BRICK LEDGE  
(ONLY IF CODE REQUIRES ANCHOR BOLT)



INTERSECTION DETAIL

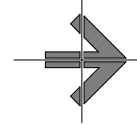


CORNER DETAIL

TYP. CORNER BAR  
PLAN DETAIL @ WALLS  
& GRADE BEAM

**E** N.T.S.

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

FOUNDATION

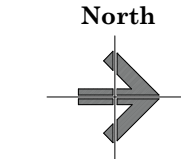
Scale  
3/16" = 1'-0"

Sheet No.

S7

7 of 7





THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

ROOF PLAN

Scale  
1/8" = 1'-0"

Sheet No.

S1

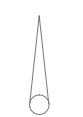



1 of 7

RAFTER SPAN CHART (SLATE OR TILE ROOF)

REFERENCE=INTERNATIONAL RESIDENCIAL CODE 2021  
RAFTERS: CEILING NOT ATTACHED TO RAFTERS,  
DL = 20 PSF, LL = 20 PSF, Δ = 1/180  
RAFTERS: CEILING ATTACHED TO RAFTERS,  
DL = 20 PSF, LL = 20 PSF, Δ = 1/240

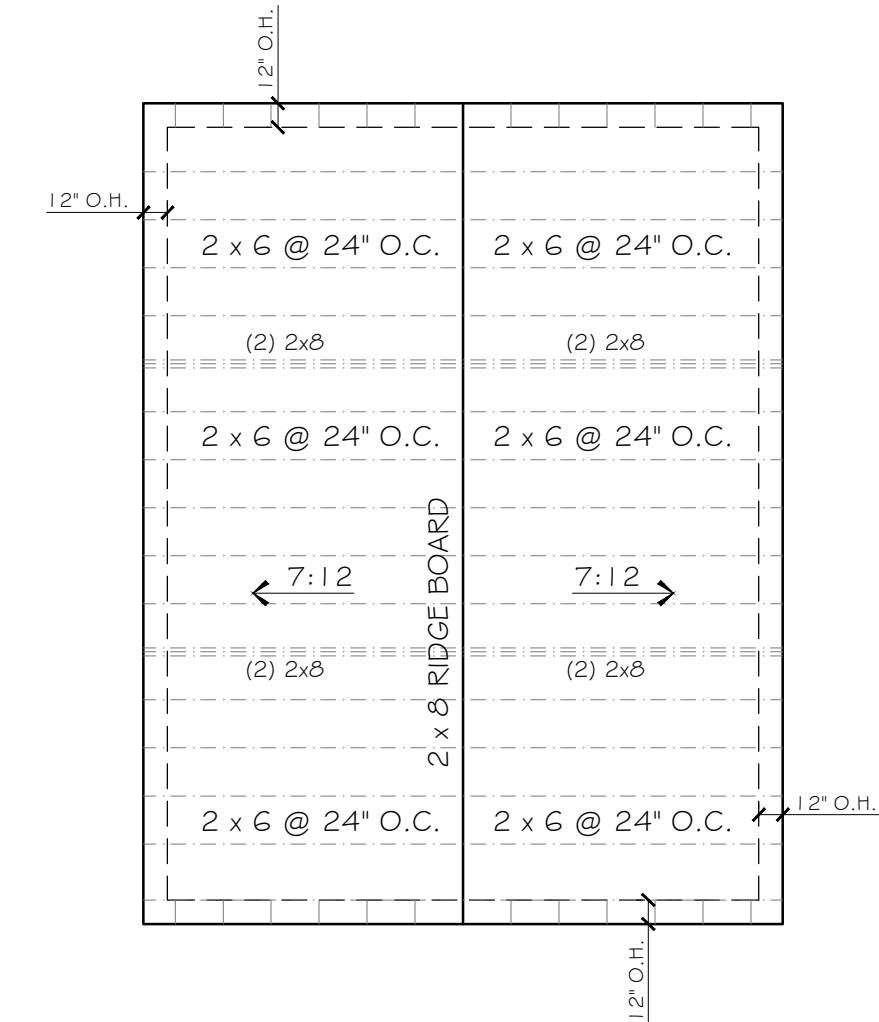
SPAN CHART FOR #2 SOUTHERN PINE

	RAFTERS, CEILING NOT ATTACHED TO RAFTERS				RAFTERS, CEILING ATTACHED TO RAFTERS			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	9'-0"	7'-9"	7'-1"	6'-4"	9'-0"	7'-9"	7'-1"	6'-4"
2 X 6	13'-6"	11'-8"	10'-8"	9'-6"	13'-6"	11'-8"	10'-8"	9'-6"
2 X 8	17'-1"	14'-9"	13'-6"	12'-1"	17'-1"	14'-9"	13'-6"	12'-1"
2 X 10	20'-3"	17'-6"	16'-0"	14'-4"	20'-3"	17'-6"	16'-0"	14'-4"
2 X 12	23'-10"	20'-8"	18'-10"	16'-10"	23'-10"	20'-8"	18'-10"	16'-10"

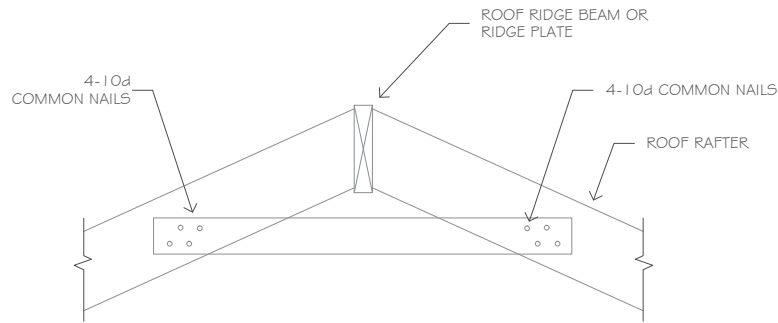
ROOF BRACING SCHEDULE			
	HT	REQUIREMENTS	SECTION
	1-8FT.	2X4 "T" BRACING	 2X4
	9-16FT.	2X6/2X6 "T" BRACING	 2X6
	17-25FT.	2X8/2X8 "T" BRACING	 2X8

NOTES, ROOF BRACING

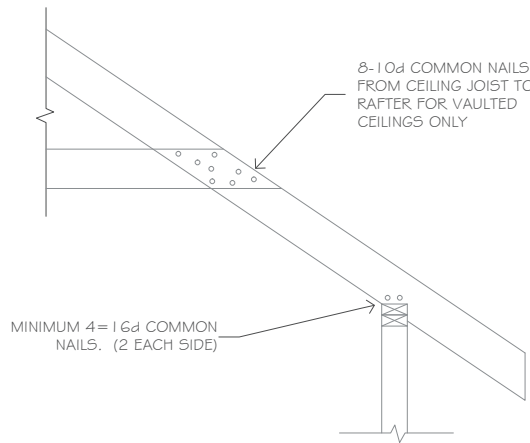
- RAFTERS, RIDGES, HIPs AND VALLEYS SHALL BE #2 SOUTHERN PINE OR EQUAL.
- RIDGE, HIP, VALLEYS, AND PURLIN LOADS SHALL BE DISTRIBUTED TO WALLS OR BEAMS BELOW BY "T" BRACES OF (2) 2X6'S. THE "T" BRACES SHALL BE INSTALLED AT AN ANGLE GREATER THAN 45 DEGREES WITH THE HORIZONTAL. BRACE PURLINS AT 4'-0" O.C.
- RAFTER SPANS EXCEEDING 11'-8" WITH THE HORIZONTAL SHALL BE BRACED WITH A 2X6 PURLIN.
- USE 2X6 RAFTERS @ 24" O.C. UNLESS NOTED OTHERWISE. ALTERNATELY, USE THE SPAN CHARTS PROVIDED.
- NAIL RAFTERS TO RIDGE, VALLEYS, AND HIP USING 4=16D COMMON TOE NAILED OR 3=16D COMMON FACE NAILED MINIMUM.
- TOE NAIL ALL CEILING JOISTS TO TOP PLATE USING 3 10D COMMON. NO MORE THAN 2 NAILS SHALL BE INSTALLED ON EACH SIDE OF A JOIST WITH 2X4 TOP PLATE AND NO MORE THAN 3 NAILS INSTALLED ON EACH OF JOIST WITH A 2X6 TOP PLATE.
- ALL SPLICED RAFTERS SHALL BE SPLICED AND BRACED AT PURLIN LOCATION.



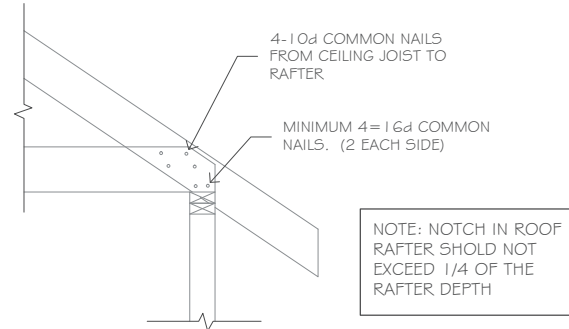
ROOF PLAN  
SCALE: 1/8" = 1'-0"



**A** TYPICAL COLLAR TIE CONNECTION DETAIL  
N.T.S.

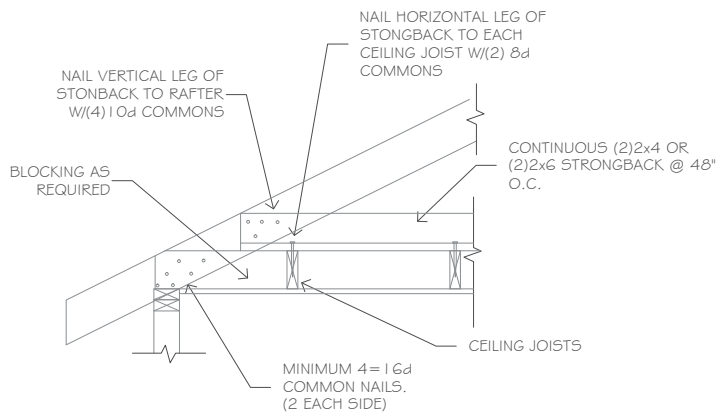


**B** TYPICAL DETAIL @ VAULTED CEILING  
N.T.S.

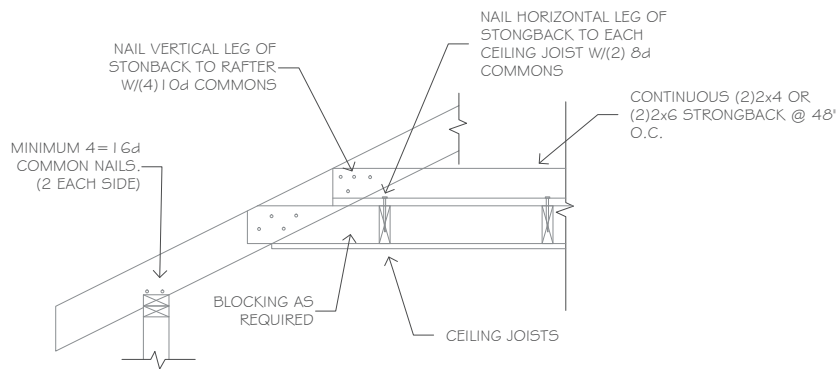


**C** TYPICAL ROOF RAFTER ATTACHMENT TO TOP PLATE  
N.T.S.

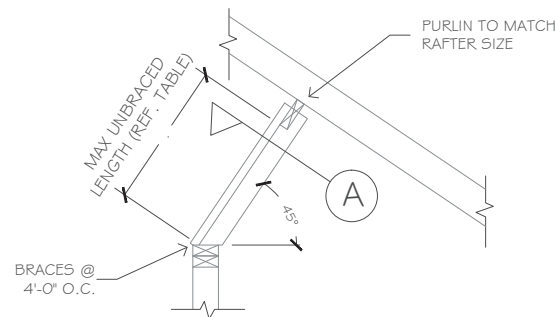
T-BRACE		
UNBRACED LENGTH	FLANGE SIZE	WEB SIZE
UP TO 6'-0"	---	2x4
UP TO 10'-0"	2x4	2x4
UP TO 16'-0"	2x4	2x6
UP TO 20'-0"	2x6	2x6
UP TO 26'-0"	2x6	(2)2x6



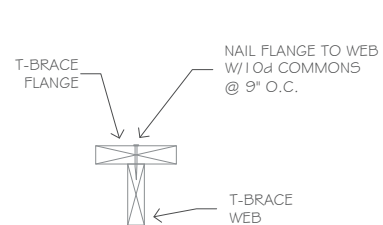
**D** CEILING JOIST PERPENDICULAR TO ROOF RAFTER  
N.T.S.



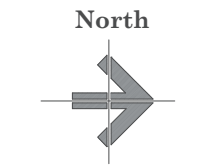
**E** VAULTED CLG. w/ CLG. JOIST PERPENDICULAR TO RAFTERS  
N.T.S.



**F** TYP. "T" BRACE ROOF PURLIN SUPPORT DET.  
N.T.S.



SECTION A-A



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

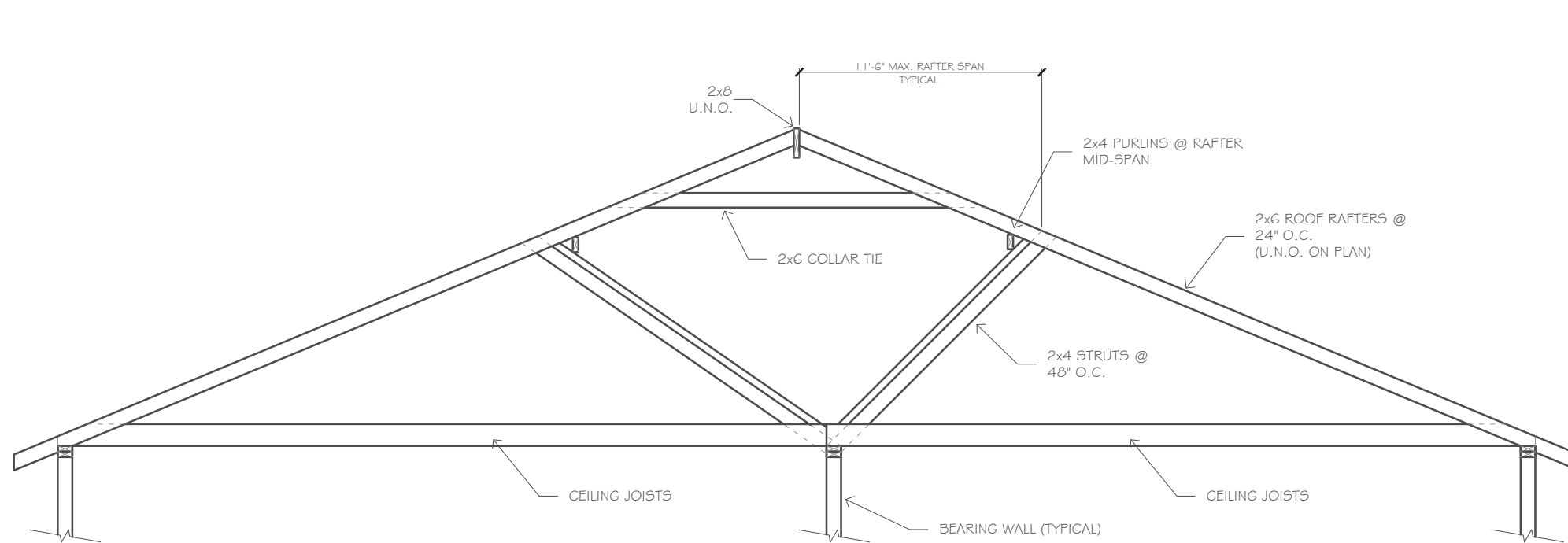
DETAILS

Scale  
1/8" = 1'-0"

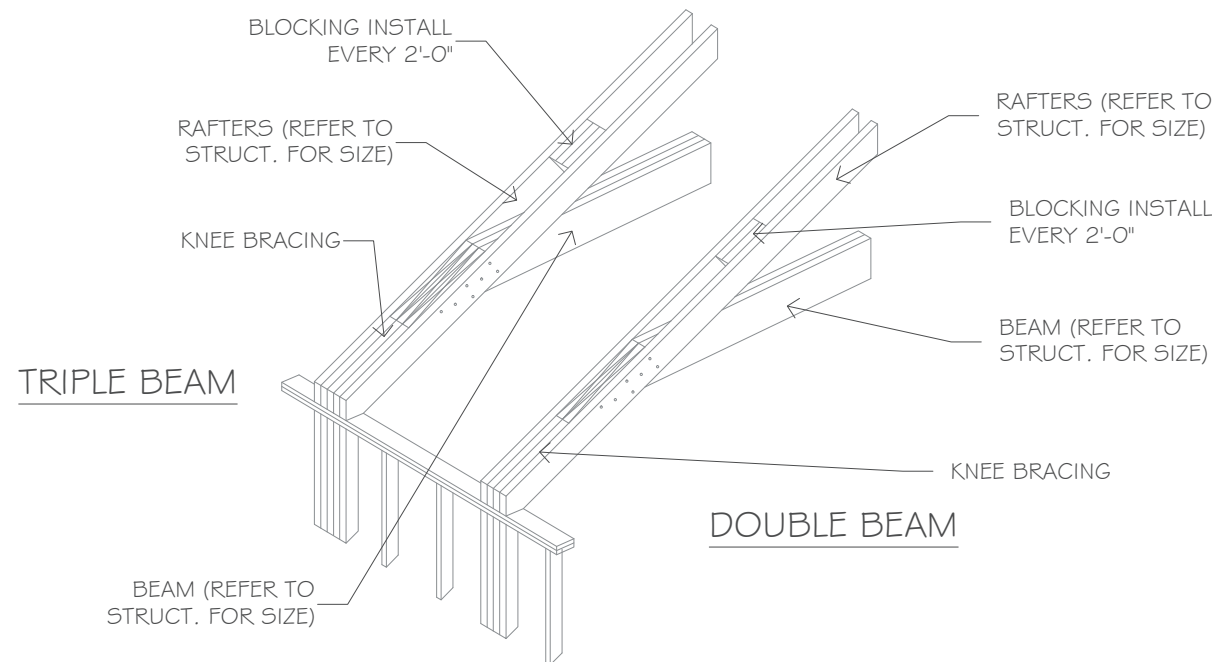
Sheet No.

S2  
2 of 7

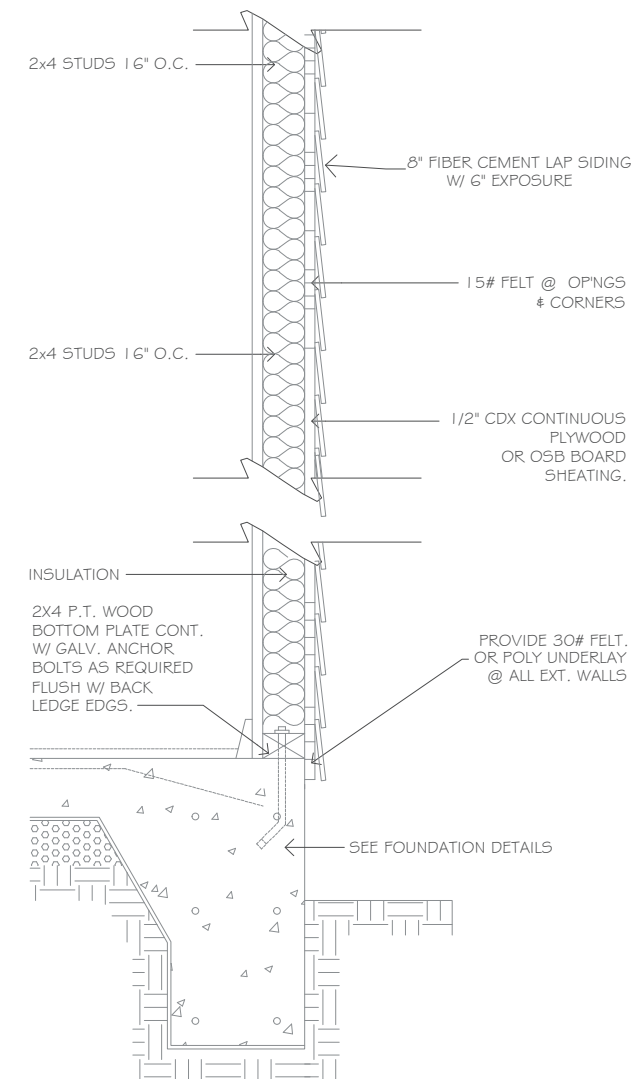
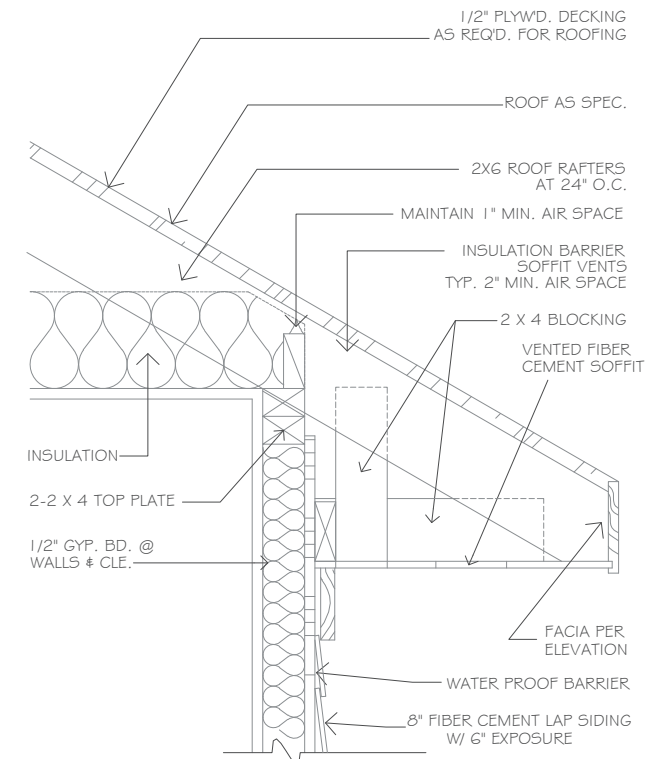




**A** TYP. RAFTER DETAIL  
N.T.S.

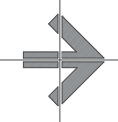


**D** TYP. BEAM SUPPORTED BY RAFTERS  
N.T.S.



WALL SECTION  
SCALE: n.t.s.

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

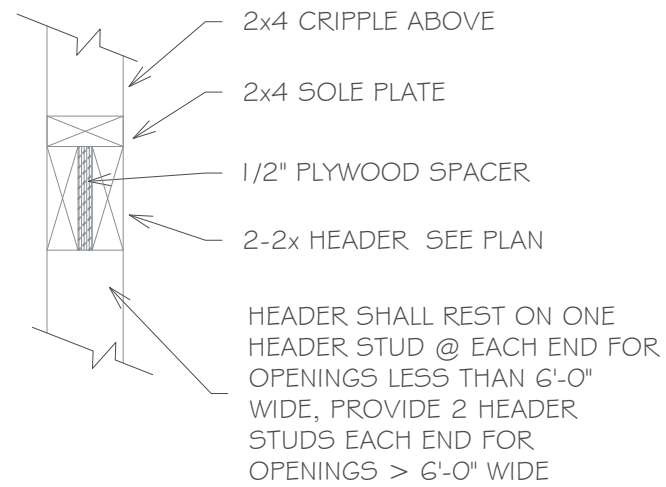
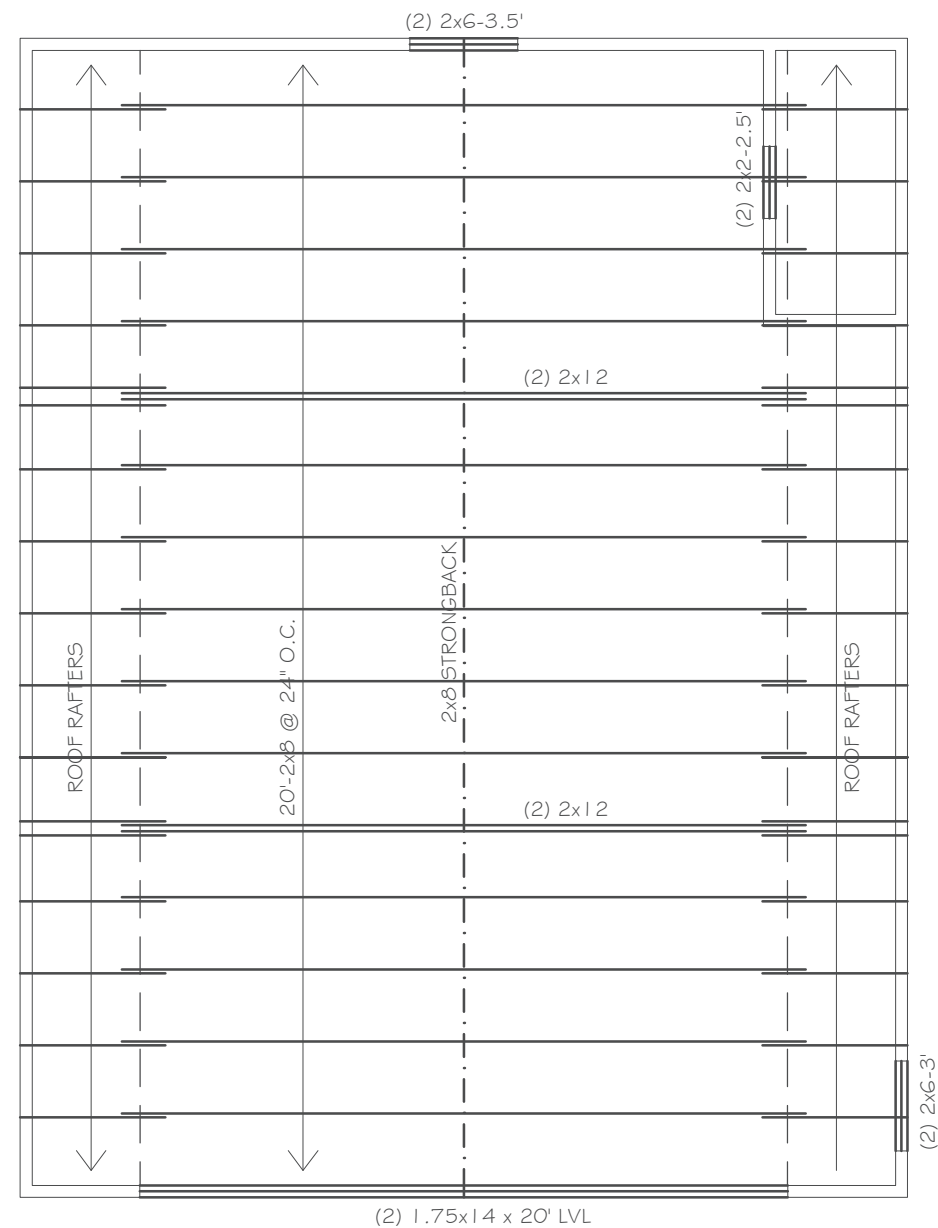
DETAILS

Scale  
1/8" = 1'-0"

Sheet No.

S3

3 of 7



A TYP. HEADER DETAIL  
N.T.S.

REF. INTERNATIONAL RESIDENTIAL CODE 2021

CEILING JOISTS: UNINHABITABLE ATTICS WITH LIMITED STORAGE,  
DL = 5psf LL = 10psf,  $\Delta = L/240$   
DL = 10psf LL = 20psf,  $\Delta = L/240$

## SPAN CHART FOR #2 SOUTHERN PINE

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	11'-10"	10'-9"	10'-2"	9'-3"	9'-3"	8'-0"	7'-4"	6'-7"
2 X 6	18'-8"	16'-11"	15'-7"	13'-11"	13'-11"	12'-0"	11'-0"	9'-10"
2 X 8	24'-7"	21'-7"	19'-8"	17'-7"	17'-7"	15'-3"	13'-11"	12'-6"
2 X 10	26'-0"	25'-7"	23'-5"	20'-11"	20'-11"	18'-1"	16'-6"	14'-9"
2 X 12	26'-0"	25'-4"	23'-0"	23'-0"	23'-0"	20'-3"	18'-8"	16'-10"

HEADER SPAN ALLOWANCE (MAXIMUM)		
(PLY) SIZE	LOAD BEARING	NON-LOAD BEARING
(2) 2X6's	-	4 FT
(2) 2X8's	4 FT	6 FT
(2) 2X10's	6 FT	8 FT
(2) 2X12's	8 FT	10 FT
LOAD BEARING HEADERS GREATER THAN 8'-0" NEED TO BE SIZED		

## NOTES

1. ALL CEILING JOISTS TO BE #2 SOUTHERN PINE.
2. ALL CEILING JOISTS MUST BE NAILED TO TOP PLATE W/3=8D COMMON NAILS.
3. ALL CEILING JOISTS MUST BE NAILED TO RAFTER W/9=16D COMMON NAILS.
4. JOISTS AND BEAM HANGERS, WHERE SPECIFIED, SHALL BE FULLY NAILED PER MANUFACTURER'S CATALOG SPECIFICATIONS.
5. DECKING FOR UNINHABITABLE ATTICS WITH LIMITED STORAGE SHALL BE MINIMUM 7/16" PLYWOOD OR OSB, WITH A SPAN RATING THAT MEETS OR EXCEEDS THE CEILING JOIST SPACING.
6. MULTIPLE-PLY BEAMS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 2 ROWS OF 16D COMMONS @ 12" O.C. (3 ROWS OF NAILS REQUIRED FOR BEAMS EXCEEDING 12" MIN. DEPTH)
7. ALL MULTIPLE-PLY BEAM CALLOUTS ON PLANS SHALL BE #2 SOUTHERN PINE UNLESS NOTED OTHERWISE.



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Rockwall, Texas 75087

<b>Date</b>	July 1, 2024
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**Sheet Title**

CEILING  
FRAMING

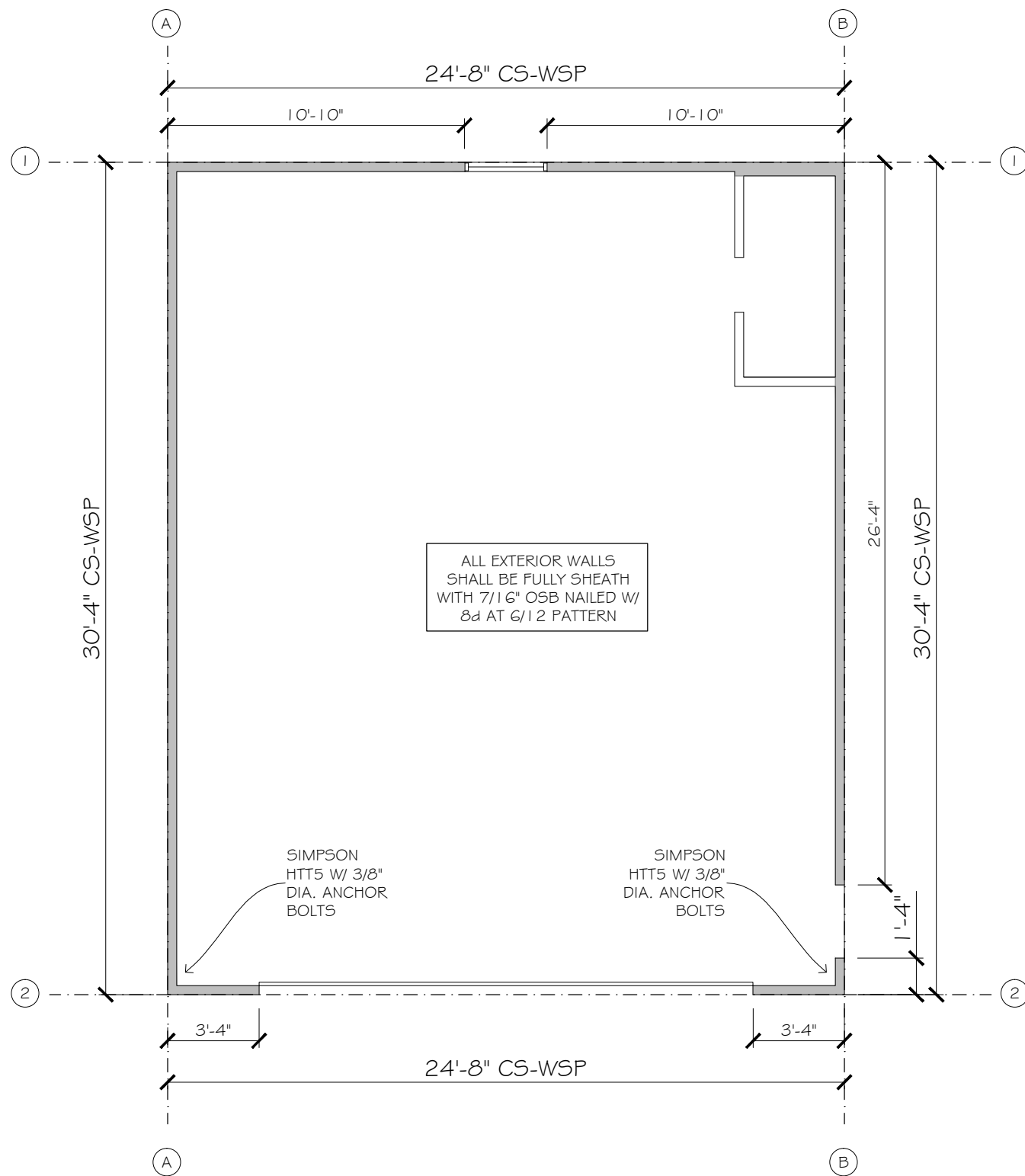
Scale  
1/8" = 1'-0"

Sheet No.

# S4

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WIND BRACING PLAN  
SCALE: 3/16" = 1'-0"



WALL BRACING NOTES

- 1. ALL WALL BRACING TO COMPLY WITH 2018 IRC OR NEWER BUILDING CODE CURRENTLY ADOPTED BY CITY OF LANCASTER.
- 2. NAIL "RED" THERMAPLY WITH 1 1/4" GALVANIZED ROOFING NAILS OR 16 GA. 7/16" MIN. CROWN STAPLES SPACED 3" O.C. ON ALL PANEL EDGES AND 6" O.C. IN THE FIELD.

ALTERNATE TIE DOWN ANCHORS  
(USE THESE ANCHORS AFTER THE SLAB IS CURED)

- 1. LOCATE HTT5 SIMPSON TIES AT CORNERS OF THE "A" WALL BRACING PANELS AS NOTED ON WALL BRACING PLANS.
- 2. DRILL INTO SLAB WITH 3/4" DIA. DRILL BIT. HOLES SHOULD BE DRILLED 4" DEEP MIN.
- 3. HOLES SHOULD BE CLEANED WITH COMPRESSED AIR AND BRUSH IN EACH HOLE. ALL CONCRETE DUST MUST BE REMOVED FROM HOLES
- 4. IN EACH HOLE, INJECT SIMPSON ACRYLIC-TIE ADHESIVE PER MANUFACTURER'S REQUIREMENTS.
- 5. INSTALL 5/8" X 12" THREADED ROD INTO EACH HOLE (SIMPSON RB#5X12). DO NOT DISTURB THREADED ROD FOR AT LEAST TWO HOURS TO ALLOW GLUE TO CURE.
- 6. AFTER WAITING FOR GLUE TO CURE, INSTALL SIMPSON HTT5 TIES AND NAIL TO STUDS WITH 32, 16D NAILS.

CS-WSP
DENOTES METHOD CS-WSP (CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING). 4X8 WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 3/8 INCH OSB FOR 16-INCH STUD SPACING. NAILING: 6d COMMON @ 6" O.C. ALL EDGES @ 12" O.C. IN FIELD. FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AND 3" O.C. IN ALL FRAMING (STUDS AND SILLS) TYP.

North

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Rockwall, Texas 75087

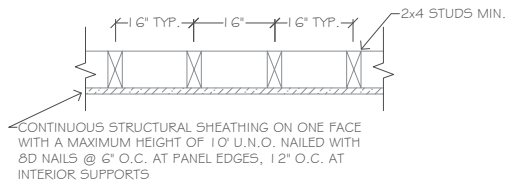
Date  
July 1, 2024

Sheet Title  
WIND BRACING

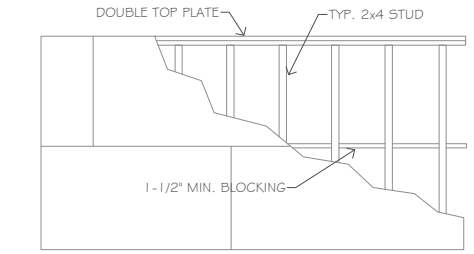
Scale  
3/16" = 1'-0"

Sheet No.  
**S5**

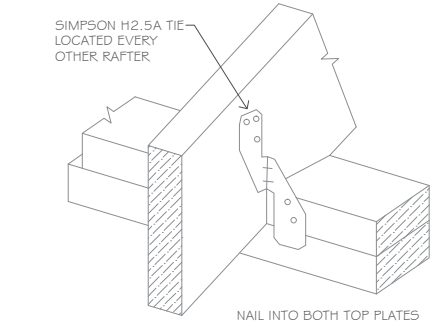
5 of 7



1 SECTION DETAIL  
N.T.S.

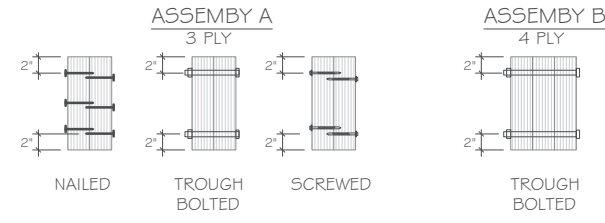


PANEL BLOCKING DETAIL  
N.T.S.

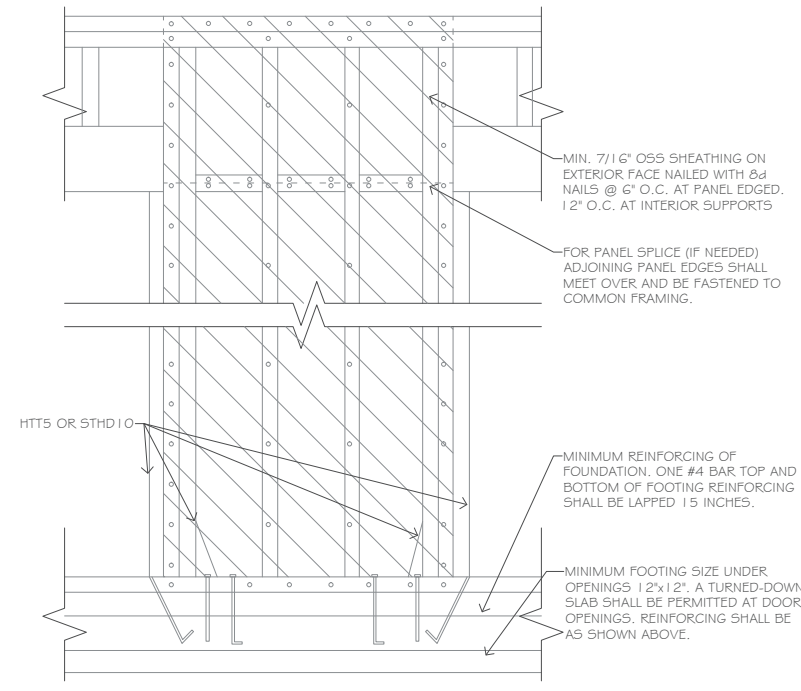


RAFTER TO TOP PLATE DETAIL  
N.T.S.

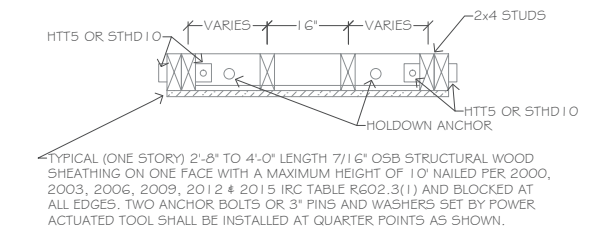
SIDE-LOADED MULTIPLE MEMBER CONNECTION SCHEDULE			
ASSEMBY TYPE	NAILED CONN.	THROUGH-BOLTED CONN.	STRUCTURAL WOOD SCREW CONN.
ASSEMBLY A	3 ROWS 12d COMMON WIRE NAILS AT 12" O.C.	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	2 ROWS 1/4" DIA. x 3 1/2" LONG SCREWS AT 12" O.C.
ASSEMBLY B	NOT APPLICABLE	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	NOT APPLICABLE



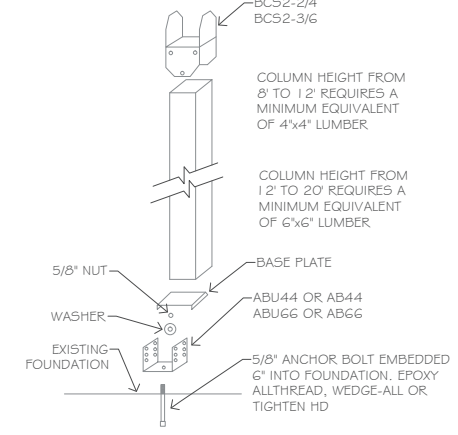
LVL BEAM ASSEMBLY  
N.T.S.



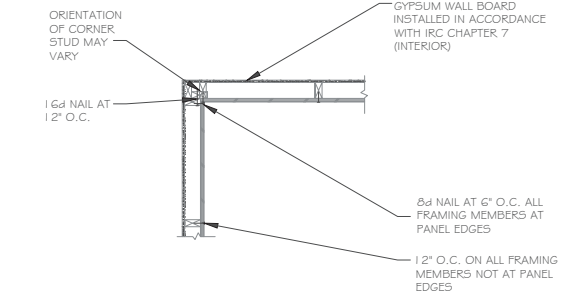
2 SECTION DETAIL (EXTERIOR ELEVATION)  
N.T.S.



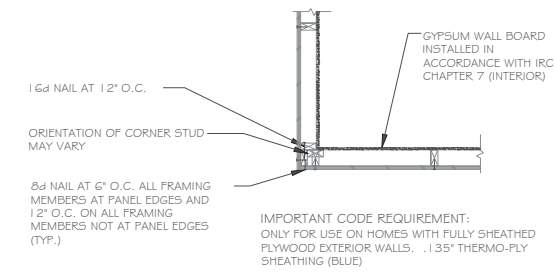
2 SECTION DETAIL (PLAN VIEW)  
N.T.S.



STANDARD COLUMN DETAIL  
N.T.S.



EXAMPLE OF INSIDE CORNER DETAIL  
N.T.S.



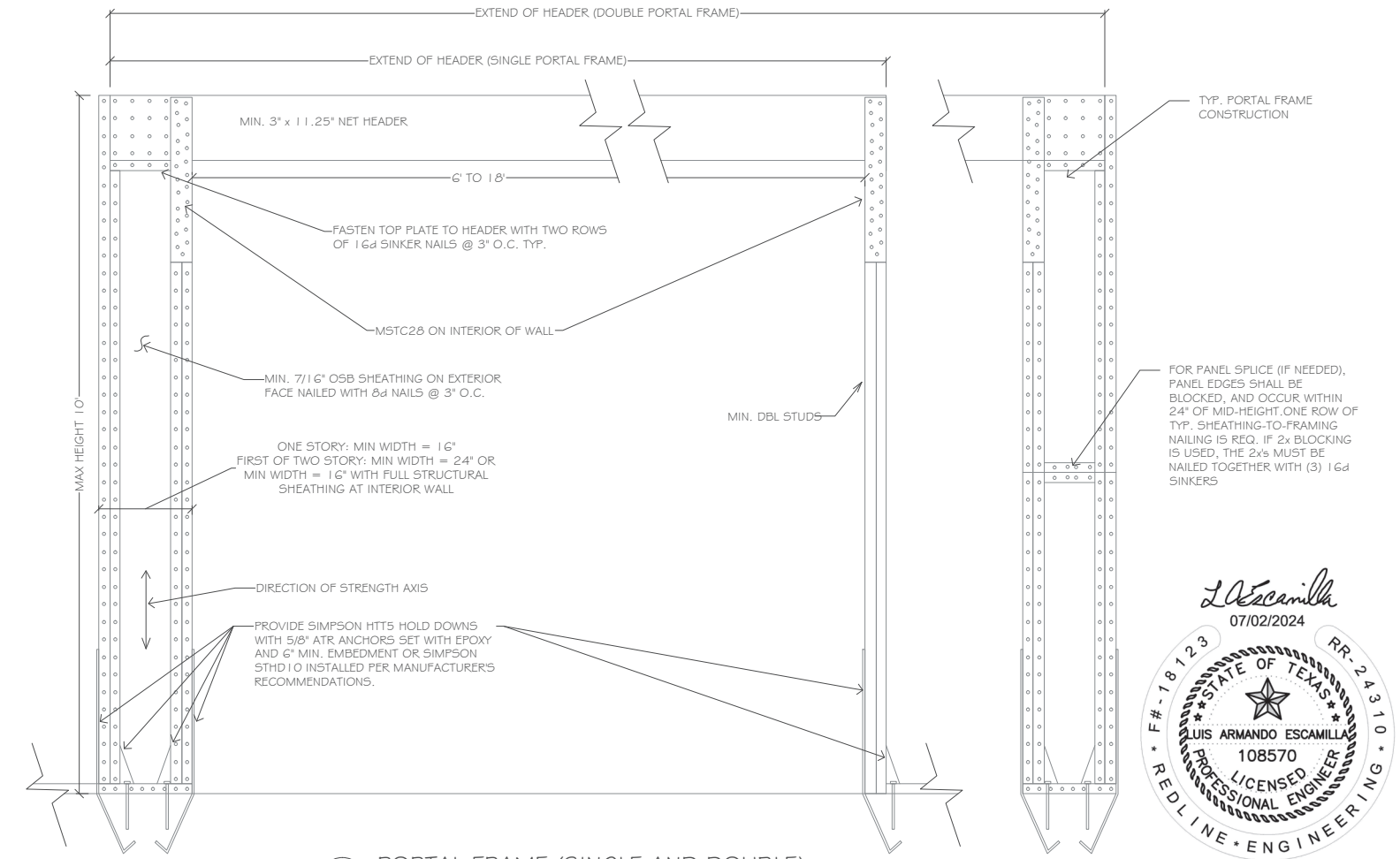
EXAMPLE OF OUTSIDE CORNER DETAIL  
N.T.S.

## GENERAL NOTES

- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2021 IRC TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SEAWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSLIDE THROUGH THE DOUBLE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
- MUDSLIDE AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSLIDE ANCHORS @ 6'-0" O.C.
- WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
- ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2000, 2003, 2006, 2009, 2012 & 2015 IRC.
- LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR C516 X-BRACING.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
  - INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
  - MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



2 PORTAL FRAME (SINGLE AND DOUBLE)  
N.T.S.



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Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

WIND BRACING

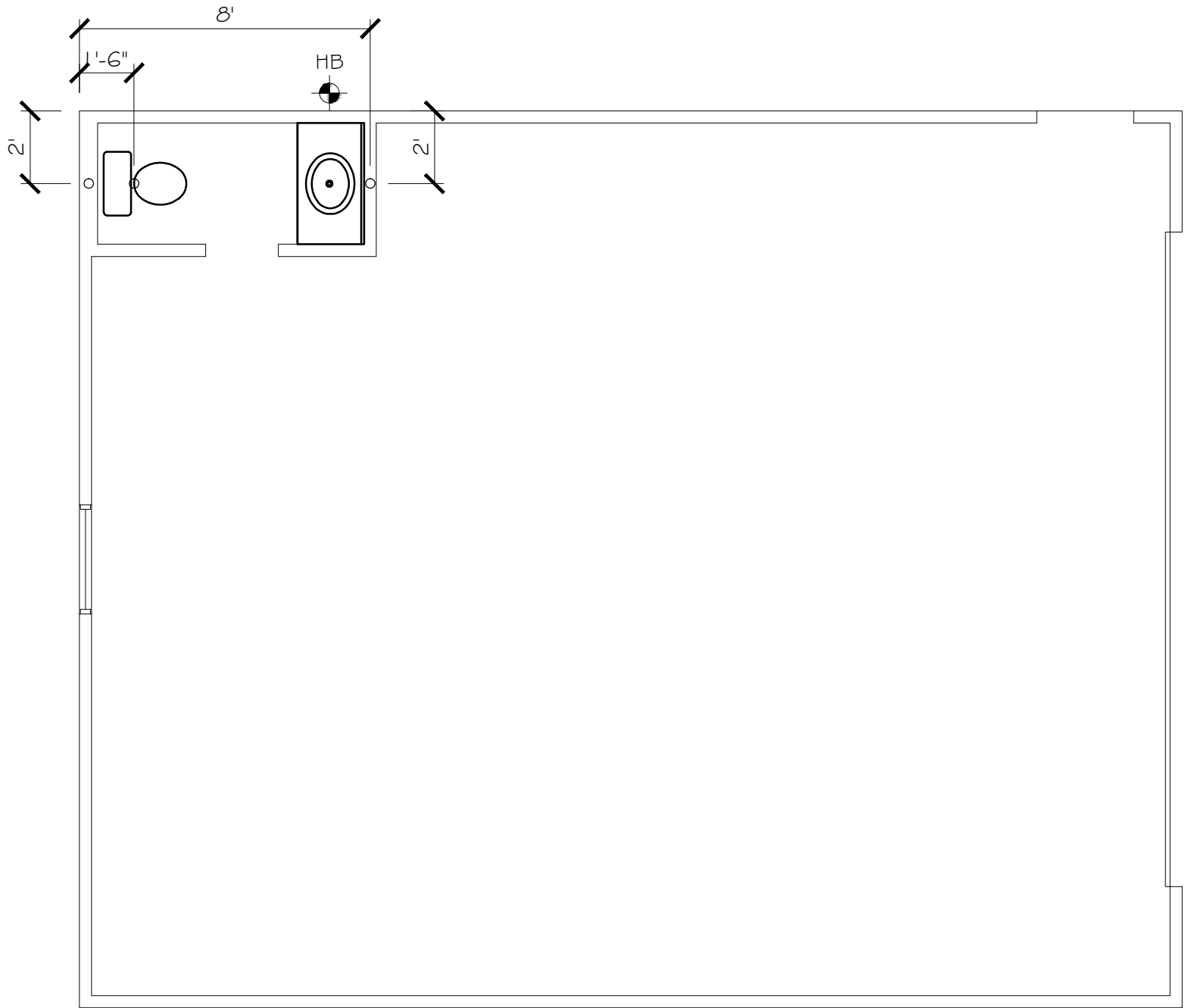
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N.T.S.

Sheet No.

S6  
6 of 7



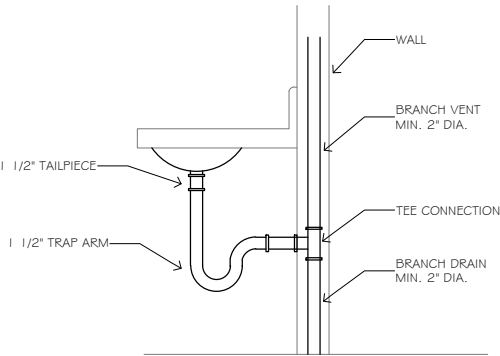




PLUMBING PLAN  
SCALE: 1/4" = 1'-0"

PLUMBING NOTES

- A. CONTRACTOR TO VISIT SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS, TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED TO FACILITATE NEW CONSTRUCTION AND INCLUDE ALL SUCH WORK IN HIS/HER BID.
- B. ALL ITEMS TO BE DEMOLISHED NOT SCHEDULED FOR REUSE SHALL BE TURNED OVER TO OWNER FOR SALVAGE AT HIS/ HER DECISION. ANY ITEMS NOT RETAINED BY OWNER SHALL BE DISPOSED OF AT CONTRACTOR'S EXPENSE.
- C. COORDINATE ALL DEMOLITION WITH ARCHITECT AND BUILDING MANAGEMENT.
- D. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- E. REFER TO ARCHITECTURAL DRAWING FOR PLUMBING FIXTURE TYPES AND SPECIFICATIONS. PROVIDE ALL STOP VALVES SHUT-OFF VALVES, P-TRAPS, TAIL PIECES, TRAP PRIMERS, PISTON-TYPE WATER HAMMER ARRESTORS, ETC. AS REQUIRED FOR COMPLETE INSTALLATION. INSULATE ALL EXPOSED WASTE AND WATER LINES WITH 'PLUMBEREX PRO SERIES 2000' INSULATION KIT.
- F. CORE-DRILL ALL HOLES ON SLAB AS REQUIRED FOR NEW PIPING. VERIFY ALLOWABLE CORE SIZE(S) AND EXACT LOCATION OF STRUCTURE BELOW FLOOR WITH STRUCTURAL ENGINEER BEFORE CORING FLOOR. DO NOT CUT ANY STRUCTURAL SUPPORTS. FLOOR MUST BE SEALED TO A WATER TIGHT CONDITION. IF THE EXISTING FLOOR SLAB IS A POST-TENSION TYPE SLAB, THE FLOOR SHALL BE X-RAYED PRIOR TO CORING ANY HOLES THROUGH FLOOR. DO NOT CUT ANY POST-TENSION CABLES WHEN CORING HOLES THROUGH FLOOR.



FIXTURE CONNECTION					
MARK	FIXTURE	WASTE	VENT	CW	HW
WC	WATER CLOSET	4"	2"	3/4"	—
HS	HAND SINK	2"	1 1/2"	3/4"	3/4"
WH	WATER HEATER	—	—	3/4"	3/4"
<div>NOTES:</div> <div>1. SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARM &amp; ROUGH-IN CONNECTION.</div> <div>2. WASTE AND VENT PIPES SHALL BE 2" MIN.</div> <div>3. PEX TUBING TO BE USED TO COLD AND HOT WATER.</div> <div>4. PEX BARS BRASS FITTINGS TO BE USED FOR POTABLE WATER.</div> <div>5. SEWER PVC TO BE USED FOR WASTE WATER</div>					

North

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date

July 21, 2024

Sheet Title

PLUMBING

Scale

1/4" = 1'-0"

Sheet No.

7

6 of 14





CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *DETACHED GARAGE* ON A 0.530-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF BLOCK 4, GARNER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 921 N. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

**2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan and Survey* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- (3) The *Detached Garage* shall not exceed a maximum size of 750 SF.
- (4) The Detached Garage shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
- (5) The subject property shall be limited to a maximum of three (3) accessory structures.
- (6) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
- (7) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full



force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.**

---

Trace Johannessen, *Mayor*

**ATTEST:**

---

Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 16, 2024

2<sup>nd</sup> Reading: October 7, 2024





**SITE PLAN**

SCALE: 1/16" = 1'-0"

108.88'

212.78'

EXISTING BUILDING 12.4' x 20.8'

EXISTING SHED 12.4' x 17.1'

NEW DETACHED GARAGE 24'-8" x 30'-4" 746 S.F.

NEW CONCRETE DRIVEWAY 20' x 24'-8"

NEW 3' WALKWAY

NEW 4' WALKWAY

NEW 20' WIDE DRIVEWAY APPROACH

10' Utility Emt.

NEW 6" CURB

108.36'

N. ALAMO ROAD

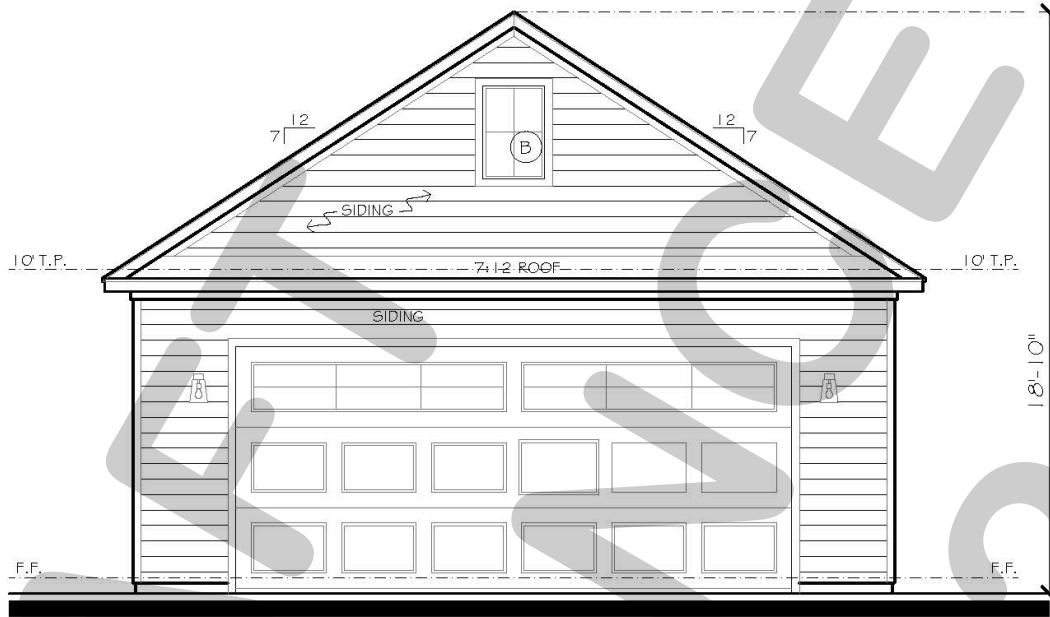
**921 N. Alamo Rd.**  
Rockwall, Texas 75087

**GARNER BLOCK PART 4**

DATE: July 1, 2024  
SHEET TITLE: SITE PLAN  
SCALE: 1/16" = 1'-0"  
SHEET NO.: 2

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

**Exhibit 'C':**  
**Building Elevations**



**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

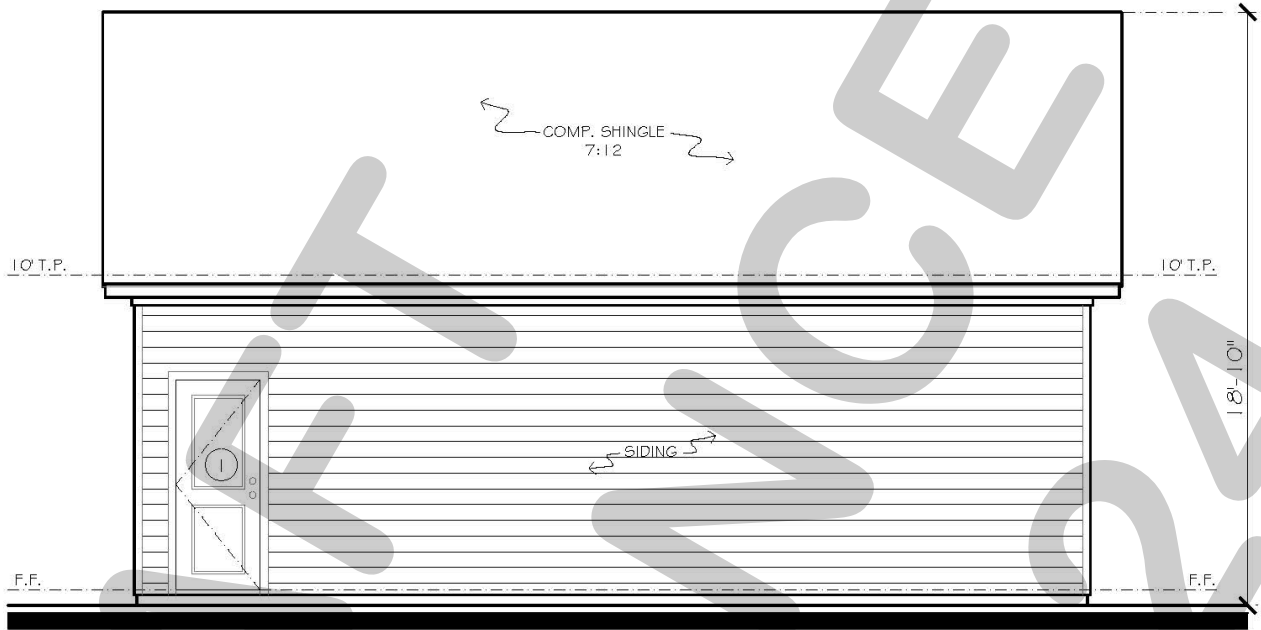


**REAR ELEVATION**

SCALE: 3/16" = 1'-0"

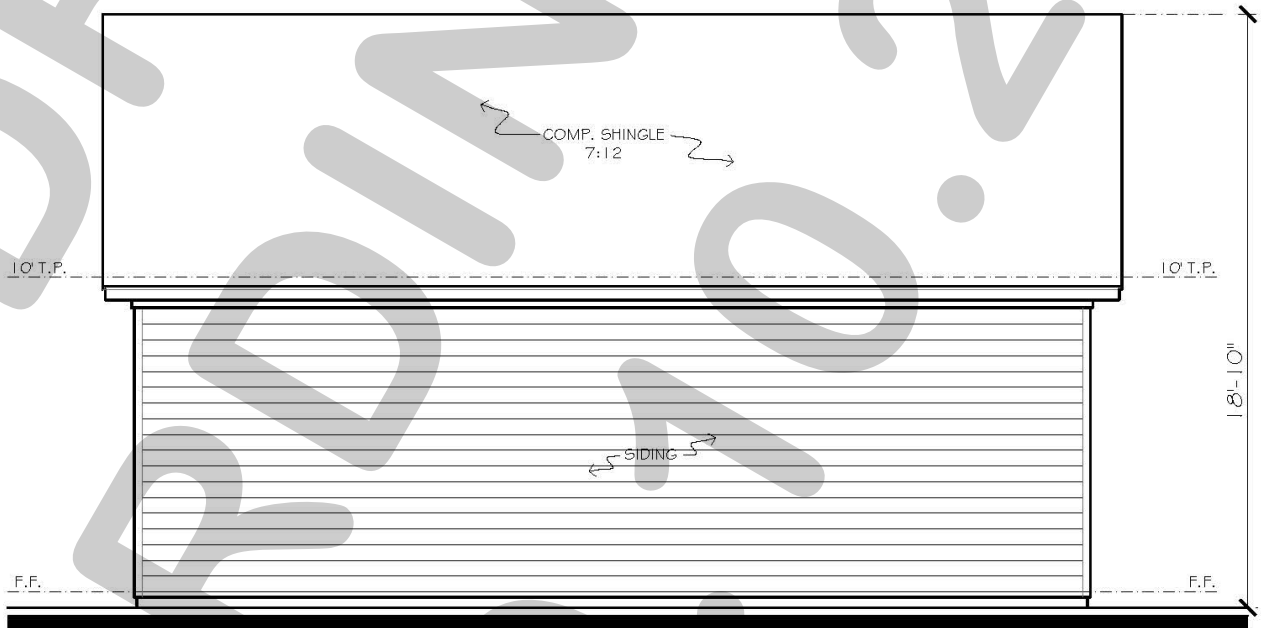


**Exhibit 'C':**  
**Building Elevations**



**RIGHT ELEVATION**

SCALE: 3/16" = 1'-0"



**LEFT ELEVATION**

SCALE: 3/16" = 1'-0"



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** September 16, 2024  
**APPLICANT:** Travis Block  
**CASE NUMBER:** Z2024-036; *Specific Use Permit (SUP) for a Detached Garage at 921 N. Alamo Road*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

### **BACKGROUND**

The subject property is considered to be a part of Old Town Rockwall, and was platted with the Garner Addition prior to 1934 per the 1934 Sanborn Maps. According to the City's historic zoning maps, at some point after the time of incorporation and January 3, 1972, the subject property was zoned Single-Family 2 (SF-2) District. Following this, sometime between January 22, 1982 and May 16, 1983, the subject property was rezoned from a Single-Family 2 (SF-2) District to Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD) the 1,282 SF single-family home was constructed in 1993 and the two (2), ~180 SF accessory buildings situated on the subject property were constructed in 1995.

### **PURPOSE**

The applicant -- *Travis Block* -- is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage* that exceeds the maximum allowable number of accessory structures and maximum permissible size as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 921 N. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) tracts of land (925, & 975 N. Alamo Road) developed with single-family homes. These two (2) properties are zoned Single-Family 10 (SF-10) District. Beyond this is a vacant 2.76-acre tract of land (*i.e. Tract 5 of the J. H. B. Jones Survey, Abstract No. 124*) zoned Neighborhood Services (NS) District. North of this is East Fork Drive, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several parcels of land that make up the remainder of the Garner Addition and the Briones Addition. All of these properties are developed with single-family homes and zoned Single-Family 10 (SF-10) District. Beyond this is E. Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

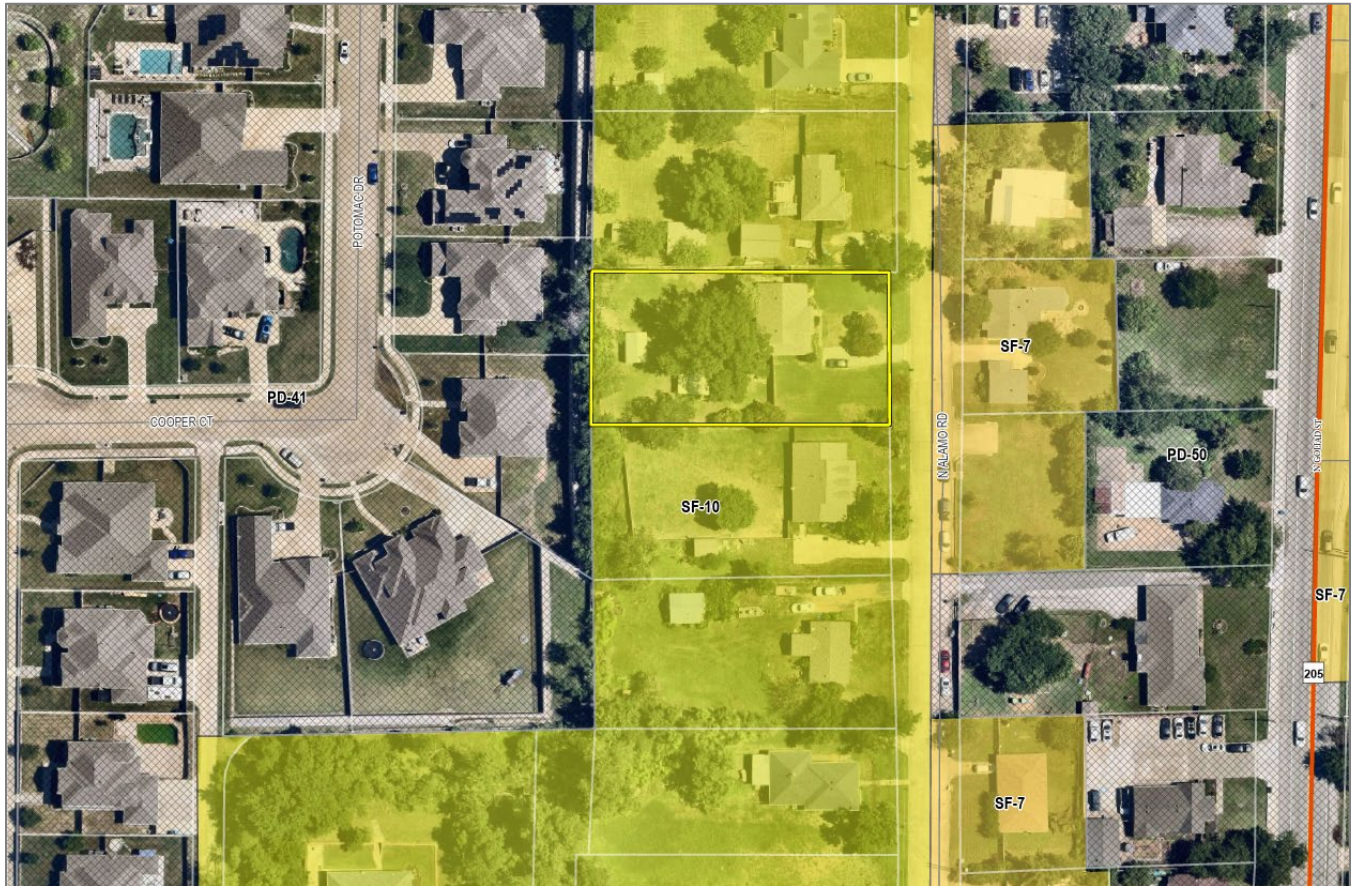
East: Directly east of the subject property is N. Alamo Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is one (1)

parcel of land (i.e. 922 N. Alamo Road) developed with a single-family home and zoned Single-Family 7 (SF-7) District. Beyond this is one (1) vacant parcel of land (i.e. 919 N Goliad Street), which is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. East of this is N. Goliad Street [SH-205], which is identified as a A5D (i.e. arterial, five [5] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Phase 1 of the Preserve Subdivision, which consists of 130 single-family homes that are zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses. Beyond this is N Lakeshore Drive which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

#### MAP 1: LOCATION MAP

**YELLOW:** SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage*. The site plan indicates that the *Detached Garage* will have a building footprint of 24'-8" x 30'-4" or 748 SF. The site plan also indicates that the *Detached Garage* will be located 21-feet behind the primary structure, meet all the applicable building setbacks, and be accessed at the front of the property via an 81-foot concrete driveway. The building elevations indicate that the structure will stand 18'-10" in height (i.e. 14'-5" as measured to the midpoint), and be clad in HardiBoard lap siding that will match the primary structure. The proposed structure will have one (1) roll up garage door that will face onto N. Alamo Road.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows one (1) detached garage with a maximum square footage of 625 SF. In this case, the proposed *Detached Garage* is exceeding the maximum permissible square footage



by 123 SF. This subsection goes on to state that only one (1) other accessory structure other than the *Detached Garage* is allowed by-right. In this case, there are two (2) existing accessory buildings that will remain on the property. This means that the *Detached Garage* will exceed the maximum allowable number accessory buildings on the property.

In addition, the UDC states that a *Detached Garage* must be located behind the front façade of the primary structure, incorporate a minimum 20-foot concrete driveway, and must be affixed to a permanent concrete foundation. In this case, the proposed *Detached Garage* is located 21-feet behind the front façade of the home and incorporates an 81-foot driveway.

## **STAFF ANALYSIS**

Staff examined other accessory buildings located on properties along N. Alamo Road in between W. Heath Street and Live Oak Street, and found that the vast majority of these accessory buildings (*i.e. 13 of the 15 accessory buildings identified*) were for storage purposes (*i.e. not detached garages*). Staff only identified one (1) other *Detached Garage* along this roadway, and estimates that it is approximately 615 SF in size. Given this, the proposed *Detached Garage* would be largest of the existing accessory buildings along this portion of N. Alamo Road, and only be second to the recently approved Specific Use Permit (SUP) [*i.e. Case No. Z2024-029*] for a 910 SF *Detached Garage* at 911 N. Alamo Road. With this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On August 21, 2024, staff mailed 103 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Preserve, Lakeview Summit, and Caruth Lakes Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received three (3) notices in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (A) The development of the *Subject Property* shall generally conform to the Site Plan and Survey as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (B) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
  - (C) The *Detached Garage* shall not exceed a maximum size of 750 SF.
  - (D) The *Detached Garage* shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
  - (E) The subject property shall be limited to a maximum of three (3) accessory structures.
  - (F) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
  - (G) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of

Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On September 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 921 N. Alamo Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Residential street

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

Residential

CURRENT USE

Residential / yard

PROPOSED ZONING

PROPOSED USE

residential detached garage

ACREAGE

.53

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☒ OWNER

Travis Block

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

921 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

469-235-4261

PHONE

E-MAIL

trablock@icloud.com

E-MAIL

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Travis Block [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1300 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

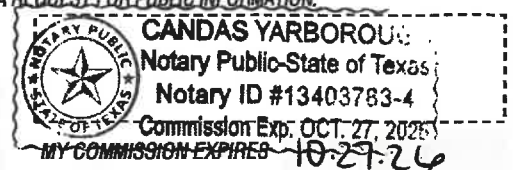
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

OWNER'S SIGNATURE

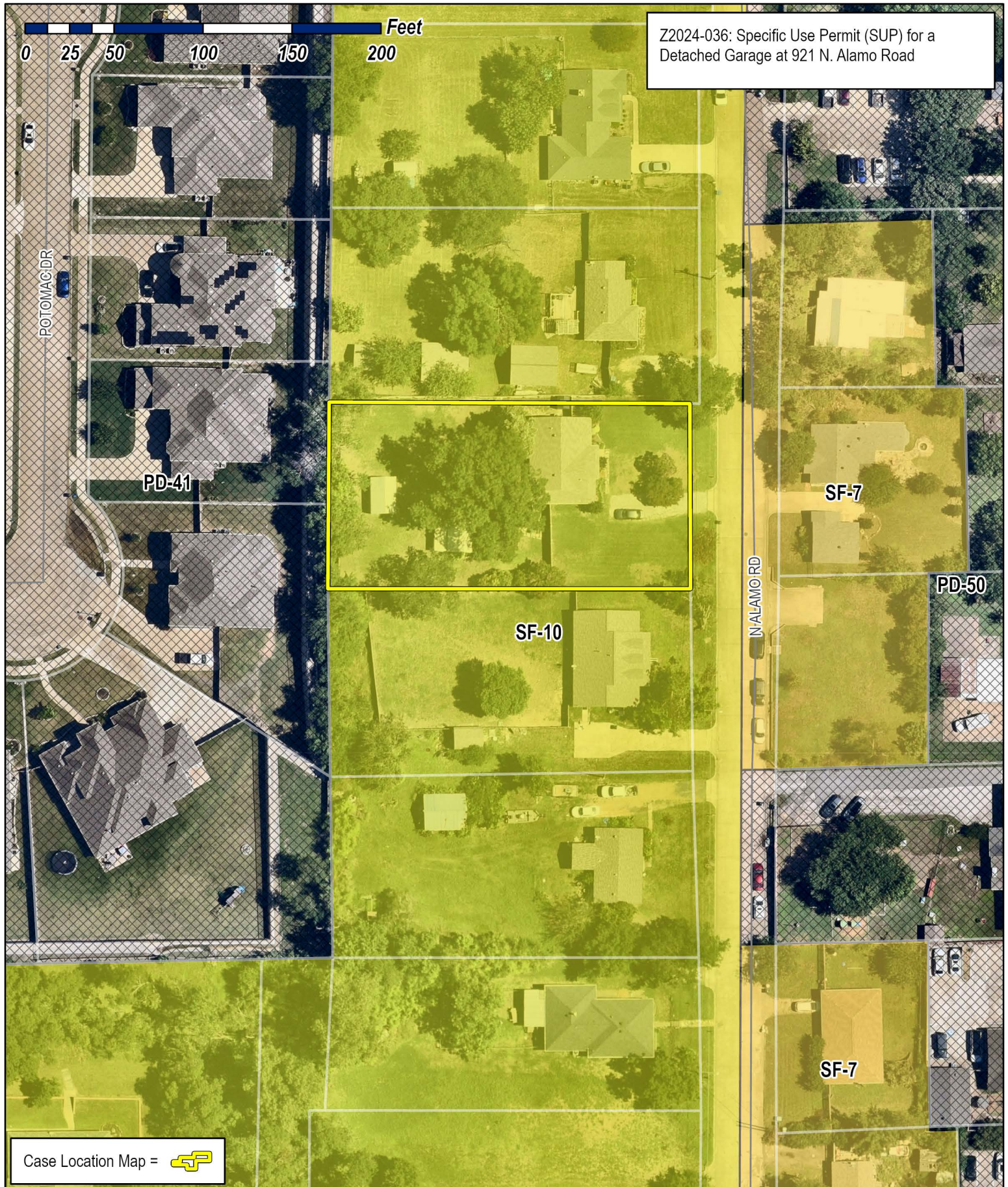
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Candas Yarbrough







# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



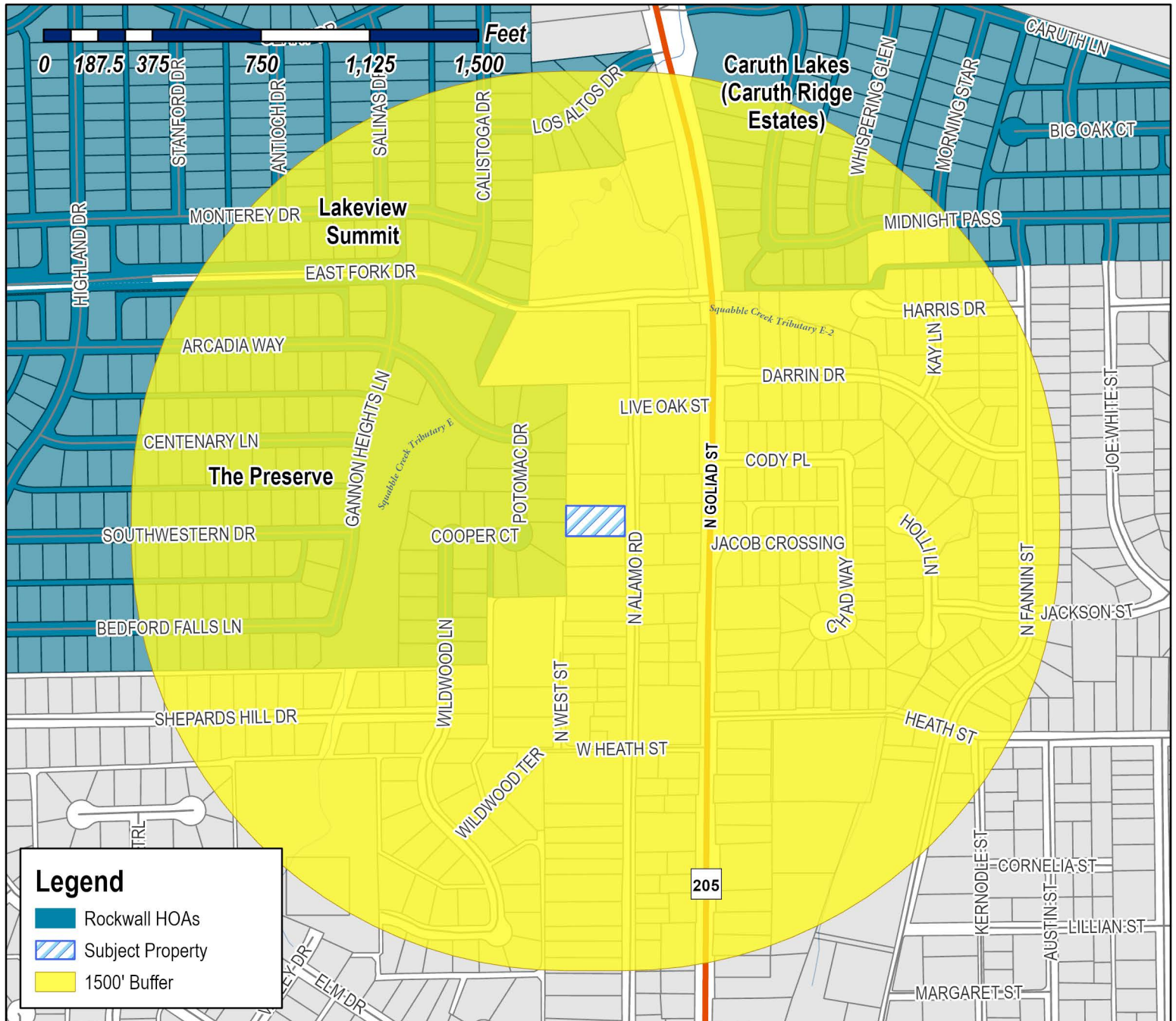




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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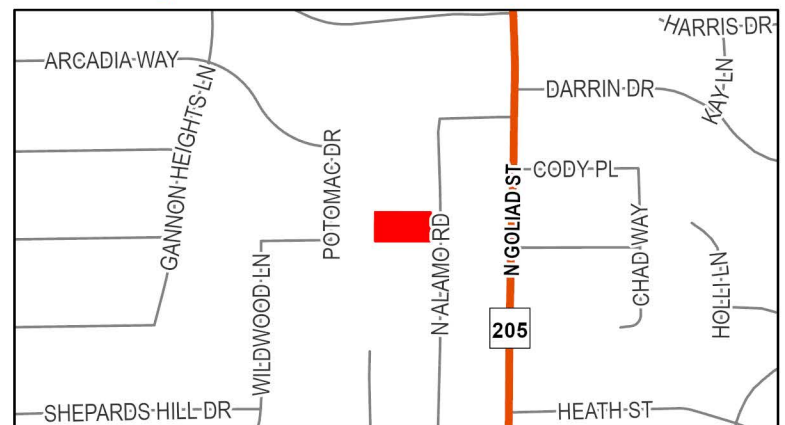
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**Case Number:** Z2024-036  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024

For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, August 21, 2024 2:54 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Email [Z2024-036]  
**Attachments:** HOA Map (08.15.2024).pdf; Public Notice (P&Z) (08.19.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 23, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2024-036: SUP for a Detached Garage**

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

Thank you,

***Melanie Zavala***

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](https://www.rockwalltx.gov/planning-zoning)  
972-771-7745 Ext. 6568

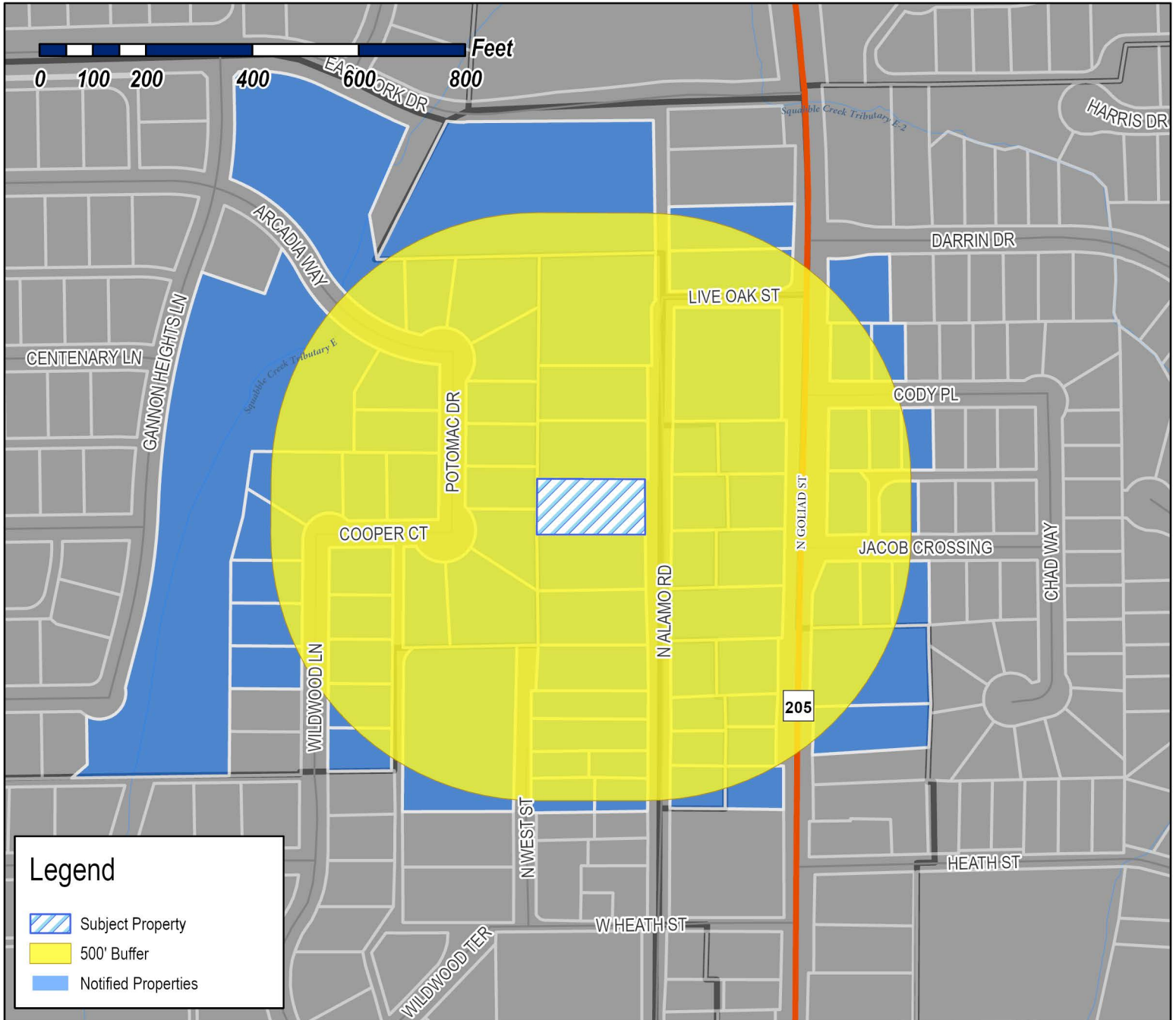




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

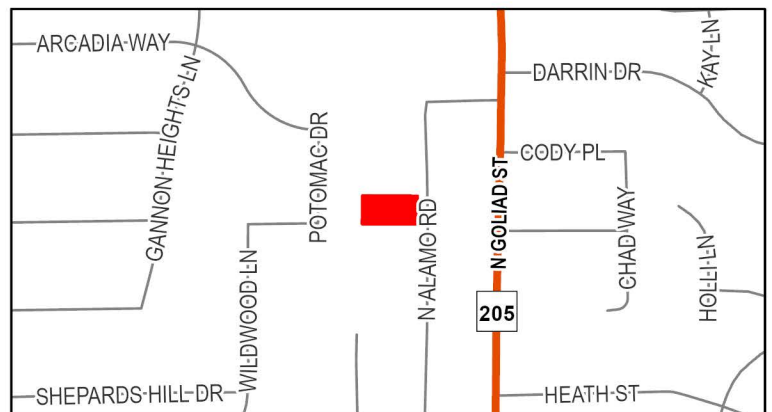
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-024  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT  
1001 N GOLIAD  
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN  
104 RUSH CREEK  
HEATH, TX 75032

CURANOVIC JOHN  
109 ELM CREST DR  
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST  
1150 CRESTCOVE DR  
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A  
12207 DARK HOLLOW RD  
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN  
1408 S LAKESHORE DR  
ROCKWALL, TX 75087

STRATEGIC MANAGEMNET SERVICES LLC  
14124 EDGECREST DR  
DALLAS, TX 75254

DOUBLE T VENTURES LLC  
1500 S KREYMER LN  
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA  
1855 HIDDEN HILLS  
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW  
192 JACOB CROSSING  
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S  
193 JACOB CROSSING  
ROCKWALL, TX 75087

RESIDENT  
194 CODY PLACE  
ROCKWALL, TX 75087

CROY DANNY L  
195 CODY PL  
ROCKWALL, TX 75087

RESIDENT  
196 JACOB CROSSING  
ROCKWALL, TX 75087

STEWART DEBORAH LYNN  
196 DARRIN DR  
ROCKWALL, TX 75087

RESIDENT  
198 CODY PLACE  
ROCKWALL, TX 75087

KEANE PARKER F  
199 CODY PL  
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST  
CHRISTOPHER CHARLES SIEBERT & JANE M  
SIEBERT - TRUSTEES  
199 JACOB XING  
ROCKWALL, TX 75087

917 PROPERTIES LLC  
2 MANOR COURT  
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
200 JACOB CROSSING  
ROCKWALL, TX 75087

MILLER ROBERT AND KATY  
202 CODY PL  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
208 SUMMIT RIDGE  
ROCKWALL, TX 75087

WEST MICHAEL  
299 SHENNENDOAH LANE  
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST  
301 COOPER COURT  
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S TRUSTEES  
2023 G J MATTINGLY REVOCABLE TRUST  
302 ARCADIA WAY  
ROCKWALL, TX 75087

HARKLAU CAROLINE  
312 DARTBROOK  
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M  
317 COOPER STREET  
ROCKWALL, TX 75087

WEAST BRIAN J AND  
CYNTHIA C BROWN  
318 ARCADIA WAY  
ROCKWALL, TX 75087

WEBER MARY JANE  
318 COOPER CT  
ROCKWALL, TX 75087

BOLER RICKY D JR AND  
NANCY L GUTIERREZ  
334 COOPER COURT  
ROCKWALL, TX 75087

RESIDENT  
348 COOPER CT  
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC  
400 CHIPPENDALE DRIVE  
HEATH, TX 75032

TURNER KYLE RADEY  
4002 BROWNSTONE CT  
DALLAS, TX 75204

ADAT ESTATE LLC  
482 ARCADIA WAY  
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA  
602 W RUSK ST  
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE  
702 WILDWOOD LANE  
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL  
DAWN  
718 WILDWOOD LANE  
ROCKWALL, TX 75087

MAYNARD JEREMY SHAME AND  
AMY ELIZABETH FLORES  
731 WILDWOOD LANE  
ROCKWALL, TX 75087

PHILIPS SHIBU & LEJI  
734 WILDWOOD LN  
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A  
747 WILDWOOD LANE  
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES  
750 JUSTIN RD  
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA  
752 WILDWOOD LN  
ROCKWALL, TX 75087

CRAWFORD HAROLD E JR  
763 WILDWOOD LANE  
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD  
768 WILDWOOD LN  
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P  
779 WILDWOOD LANE  
ROCKWALL, TX 75087

MASON MARK S & TAMARA M  
802 POTOMAC DRIVE  
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN  
818 POTOMAC DR  
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID  
834 POTOMAC DR  
ROCKWALL, TX 75087

MCCULLEY LIVING TRUST  
DARREN WAYNE MCCULLEY & MICHELE JUNE  
MCCULLEY - CO-TRUSTEES  
837 POTOMAC DR  
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU  
852 POTOMAC DRIVE  
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD  
853 POTOMAC DRIVE  
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L  
868 POTOMAC DRIVE  
ROCKWALL, TX 75087

RESIDENT  
905 N GOLIAD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
907 N GOLIAD ST  
ROCKWALL, TX 75087

JC GAERLAN LLC  
907 NORTH ALAMO ROAD  
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID  
908 N ALAMO RD  
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC  
908 N GOLIAD ST  
ROCKWALL, TX 75087



MARTINKUS NICOLE  
908 N WEST ST  
ROCKWALL, TX 75087

MOLINA JOE C II  
909 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
909 N GOLIAD  
ROCKWALL, TX 75087

MCFADIN SARA TERESA  
909 N WEST STREET  
ROCKWALL, TX 75087

ZAVALA VICTOR V  
910 N ALAMO RD  
ROCKWALL, TX 75087

PERRY RUBY DELL  
910 N WEST ST  
ROCKWALL, TX 75087

WHITE TIMOTHY E  
9104 PRIVATE ROAD 2325  
TERRELL, TX 75160

LEWIS BEN  
911 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
911 N GOLIAD  
ROCKWALL, TX 75087

JONES PAMELA J  
912 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
912 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
913 N ALAMO RD  
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE  
ELIZABETH  
915 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
915 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
917 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
917 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
918 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N GOLIAD  
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS  
921 N ALAMO RD  
ROCKWALL, TX 75087

BARRY BARBARA  
922 N ALAMO RD  
ROCKWALL, TX 75087

HUDSON SHEL I O  
923 N ALAMO  
ROCKWALL, TX 75087

CHAVEZ ENRIQUE  
923 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
924 N ALAMO  
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND  
MICHAEL CRAWFORD  
925 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
925 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
975 N ALAMO  
ROCKWALL, TX 75087

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

CFPC INVESTMENTS LLC  
PO BOX 1731  
MARBLE FALLS, TX 78654

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## **Z2024-036: SUP for a Detached Garage**

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10,, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## **Case No. Z2024-036: SUP for a Detached Garage**

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Ross, Bethany

---

**From:** Dyron M Durham <dyrondurham@yahoo.com>  
**Sent:** Monday, August 26, 2024 9:47 AM  
**To:** Planning; Hailey Hosak  
**Subject:** Case Number: Z2024-036

We are in favor of this request for a detached garage.

Dyron Durham 975 N Alamo Dr Rockwall, TX 75087

[Yahoo Mail: Search, Organize, Conquer](#)

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**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-024

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Approve of detached garage built

## Respondent Information

Please provide your information.

## First Name \*

Lina

Last Name \*

Hilstad

Address \*

853 Potomac Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*



I live nearby the proposed Zoning or Specific Use Permit (SUP) request.



I work nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.



Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other: .....

This content is neither created nor endorsed by Google.

Google Forms



## Ross, Bethany

---

**From:** Sara McFadin <saramcfadin@gmail.com>  
**Sent:** Saturday, August 24, 2024 1:57 PM  
**To:** Planning  
**Subject:** Case #Z2024-036:SUP for a Detached Garage

My name is Sara McFadin  
909 N West St, Rockwall, TX 75087

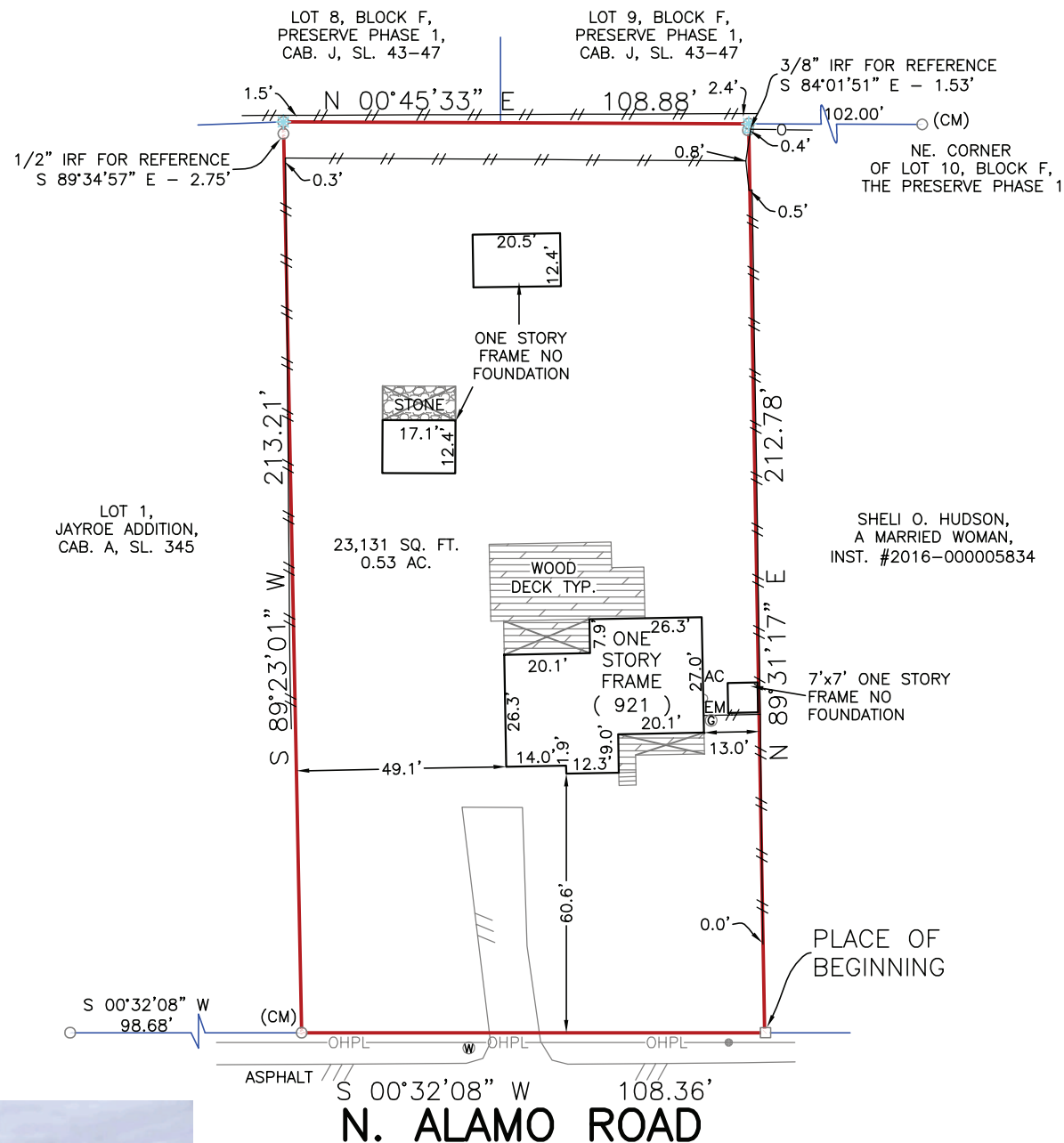
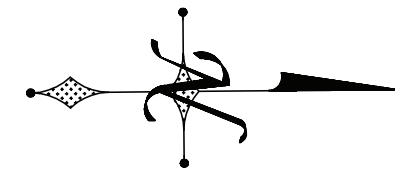
I am in favor of the request for detached garage. Its their property and they should be able to build what they need.

Regards,

Sara McFadin

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1529 E I-30, STE. 103  
GARLAND, TEXAS 75043

FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 357 N. ALAMO ROAD, in the city of ROCKWALL Texas.

## SURVEY PLAT



All that certain lot, tract or parcel of land situated in the J.H.B. SURVEY, Abstract No. 124, City of Rockwall, Rockwall County, Texas and being a tract of land described in deed to Corky Belanger, by deed recorded in Instrument Number 2020000030622, Deed Records, Rockwall County, Texas, (D.R.R.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at a railroad spike found for corner being in the West line of N. Alamo Road and being at the Southwest corner of a tract of land described in deed to Sheli O. Hudson, a married woman, by deed recorded in Instrument Number 2016-000005834, (D.R.R.C.T.) and being at the Northeast corner of that tract herein described;

THENCE South 00 degrees 32 minutes 08 seconds West, a distance of 108.36 feet to a 1/2 inch iron rod found for corner, being at the Northeast corner of Lot 1, of Jayroe Addition, an addition recorded in Cabinet A, Slide 346, of the Map or Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 23 minutes 01 seconds West, a distance of 213.21 feet to a point for corner, being in the East line of Lot 8, Block F, of Preserve Phase 1, an Addition recorded in Cabinet J, Slide 43-47, of the Map or Plat Records, Rockwall County, Texas, from which a 1/2 inch iron rod found bears South 89 degrees 34 minutes 57 seconds East, 2.75 feet for reference;

THENCE North 0 degrees 45 minutes 33 seconds East, a distance of 108.88 feet to a point for corner, being in the East line of Lot 9, of said Preserve Phase 1, from which a 3/8 inch iron rod found bears South 84 degrees 01 minutes 51 seconds East, 1.53 feet for reference;

THENCE North 89 degrees 31 minutes 17 seconds East, a distance of 212.78 feet to the PLACE OF BEGINNING and containing 23,131 square feet or 0.53 of an acre of land.

BEARINGS ARE BASED ON NAD 83  
DATUM, TEXAS STATE PLANE  
COORDINATE SYSTEM. NORTH  
CENTRAL ZONE

ACCEPTED BY: \_\_\_\_\_

Lawyers Title

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'

Date: 02/10/23

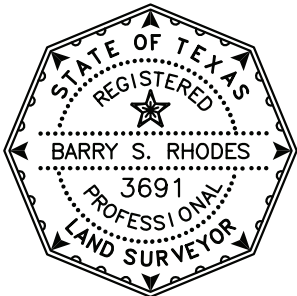
G. F. No.: 1901462300020

Job no.: 202300799

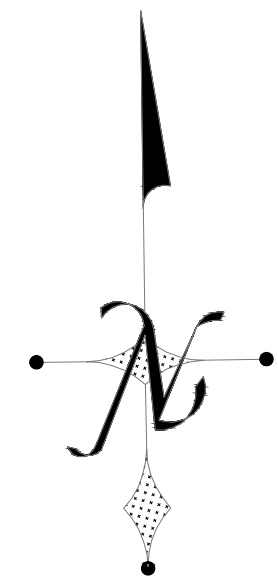
Drawn by: J.M.

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
CM - CONTROLLING MONUMENT	
MRD - MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
SET 'X' - RR. SPIKE FOUND	
3/8" IRON ROD FOUND	
5/8" IRON ROD FOUND	
POINT FOR CORNER	
C - CABLE	E - ELECTRIC
CL - CLEAN OUT	PE - POOL EQUIP
G - GAS METER	P - POWER POLE
F - FIRE HYDRANT	T - TELEPHONE
L - LIGHT POLE	W - WATER METER
M - MANHOLE	V - WATER VALVE
(UNLESS OTHERWISE NOTED)	

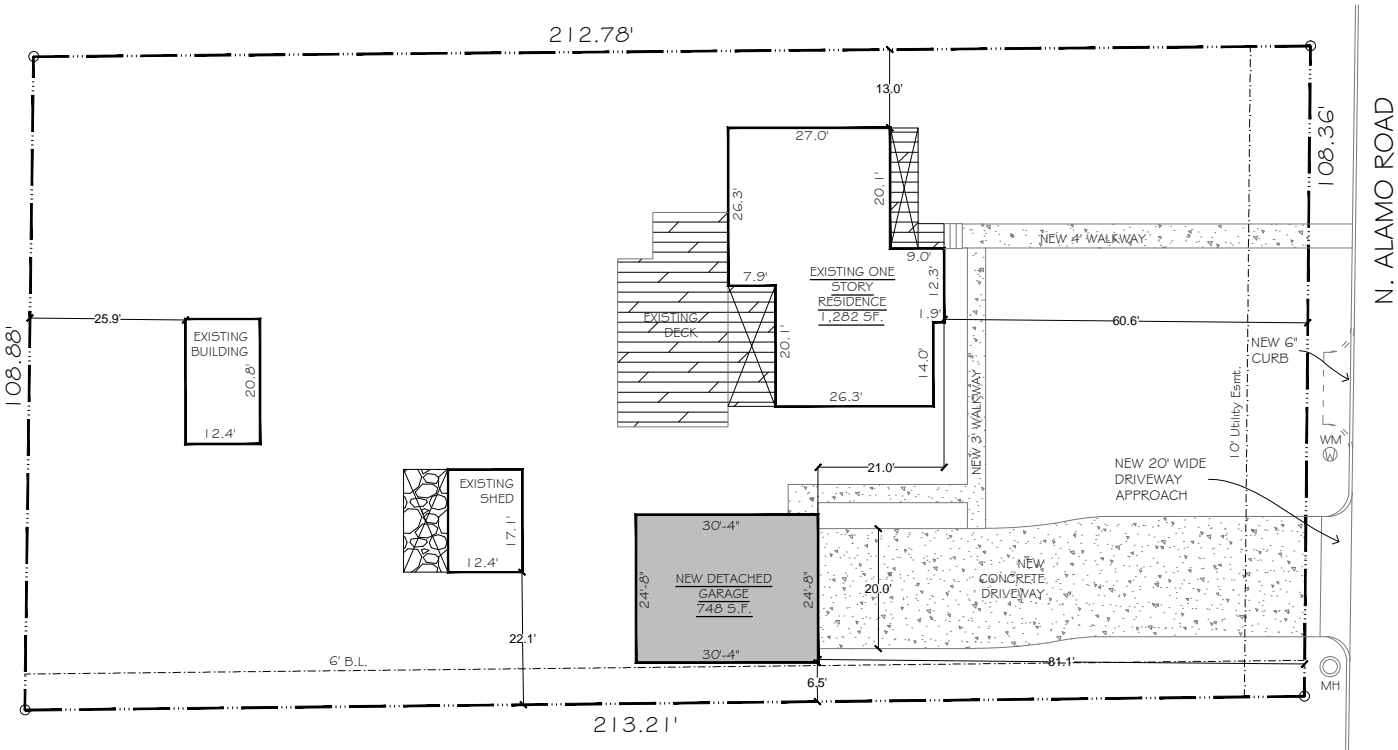


Signature of Barry S. Rhodes



SITE PLAN

SCALE: 1/32" = 1'-0"



SITE PLAN INFORMATION	
LOT SIZE	23,130 S.F.
BUILDING AREA	3,208 S.F.
PERCENT LOT COVERED	13.86%
A MINIMUM OF 70% OF THE NON-ROOF AREA OF THE LOT COVERED WILL HAVE LANDSCAPE (GRASS, TREES, ETC.)	

Vecinity Map



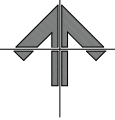
Applicable Codes

2021 IBC    2023 NEC  
2021 IRC  
2021 IECC  
2021 IPC

Project Description

This project is a new construction of a detached garage of 748 s.f. over reinforced concrete slab.

North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date

July 1, 2024

Sheet Title

SITE PLAN

Scale

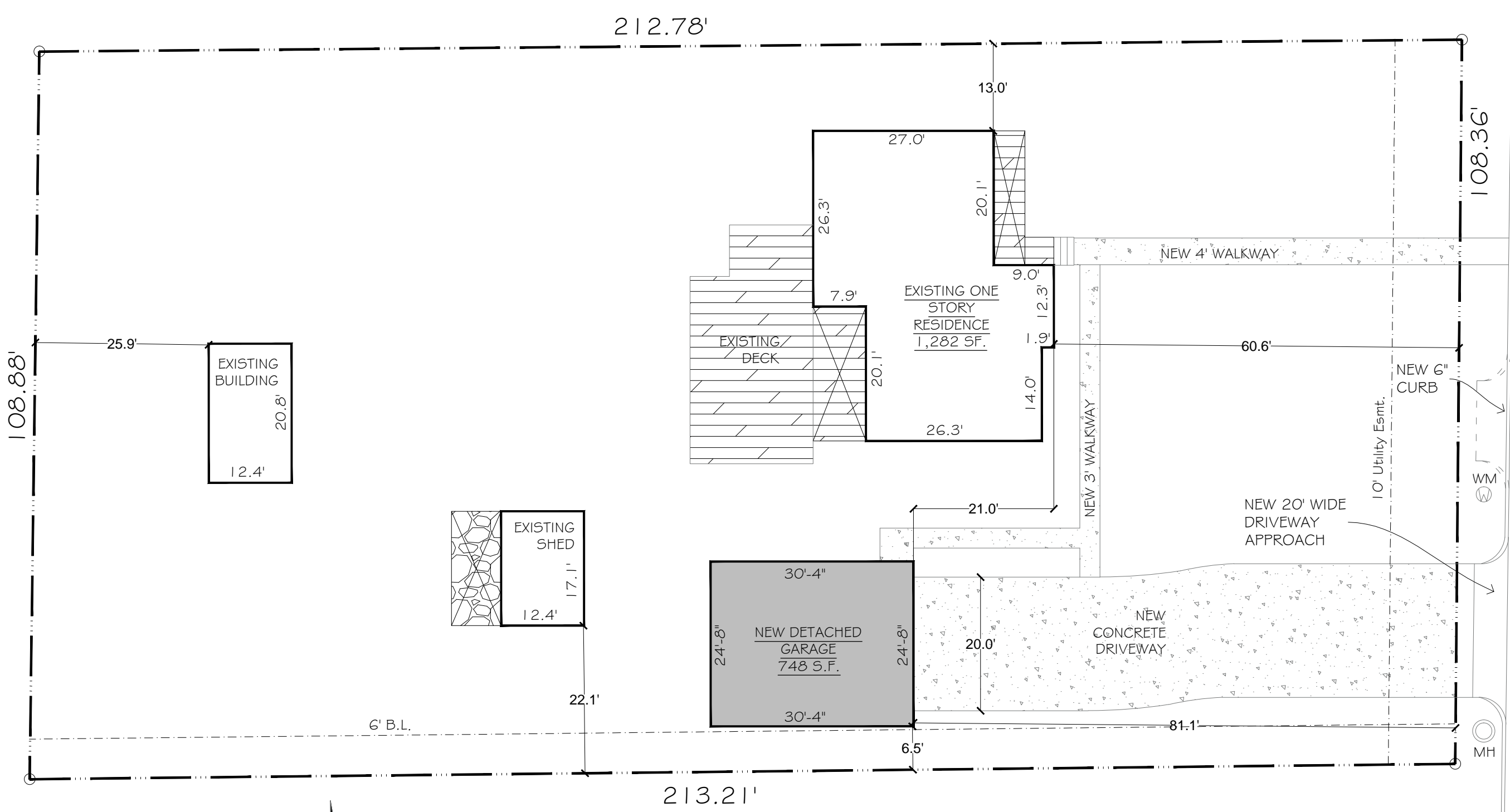
1/32" = 1'-0"

Sheet No.

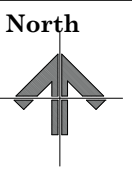
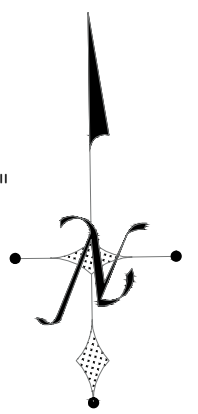
1

1 of 14





**SITE PLAN**  
SCALE: 1/16" = 1'-0"



N. ALAMO ROAD

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

**921 N. Alamo Rd.**  
**Rockwall, Texas 75087**

GARNER BLOCK PART 4

**Date**  
July 1, 2024

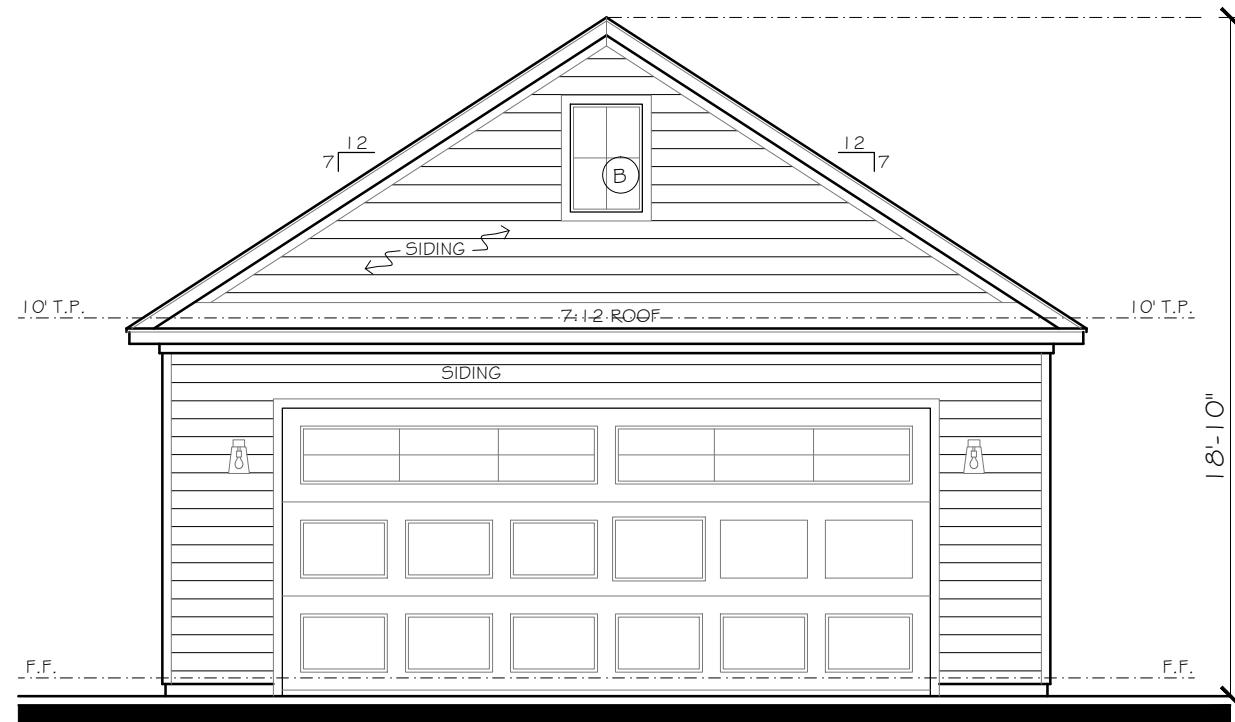
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SITE PLAN

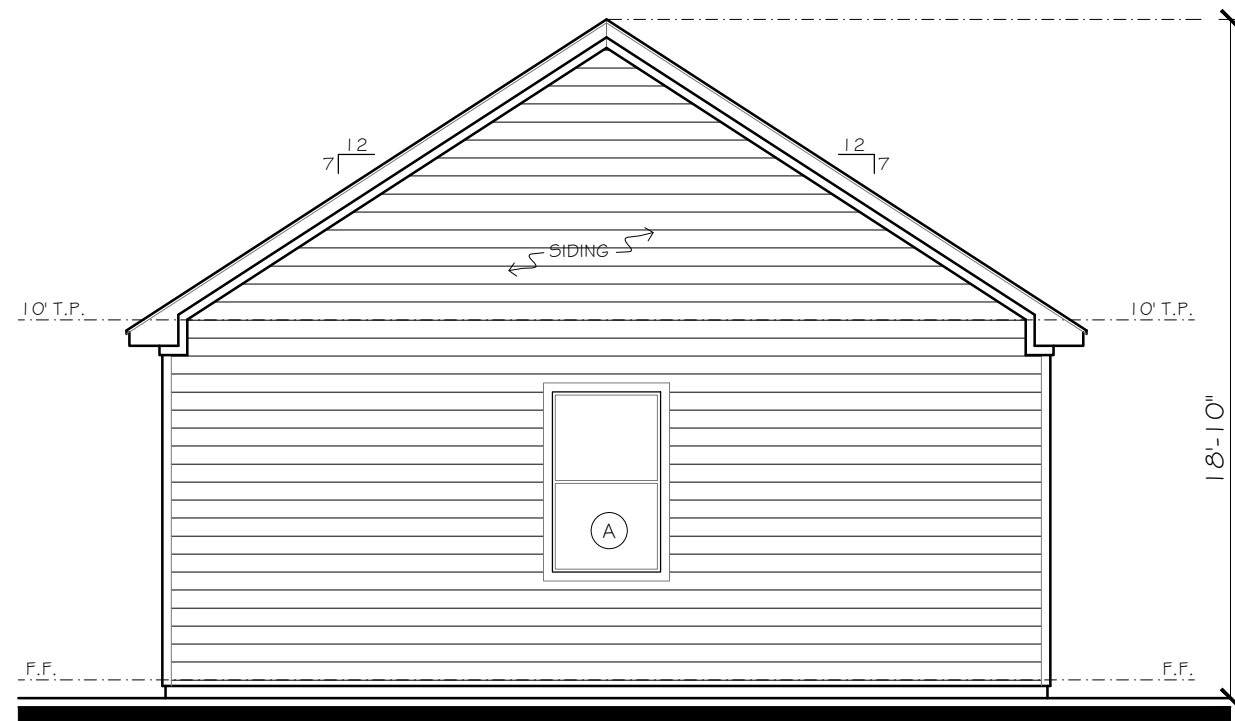
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1/16" = 1'-0"

**Sheet No.**

**2**  
1 of 14

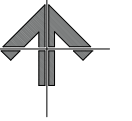


FRONT ELEVATION SCALE: 3/16" = 1'-0"



REAR ELEVATION SCALE: 3/16" = 1'-0"

North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date

July 1, 2024

Sheet Title

ELEVATIONS

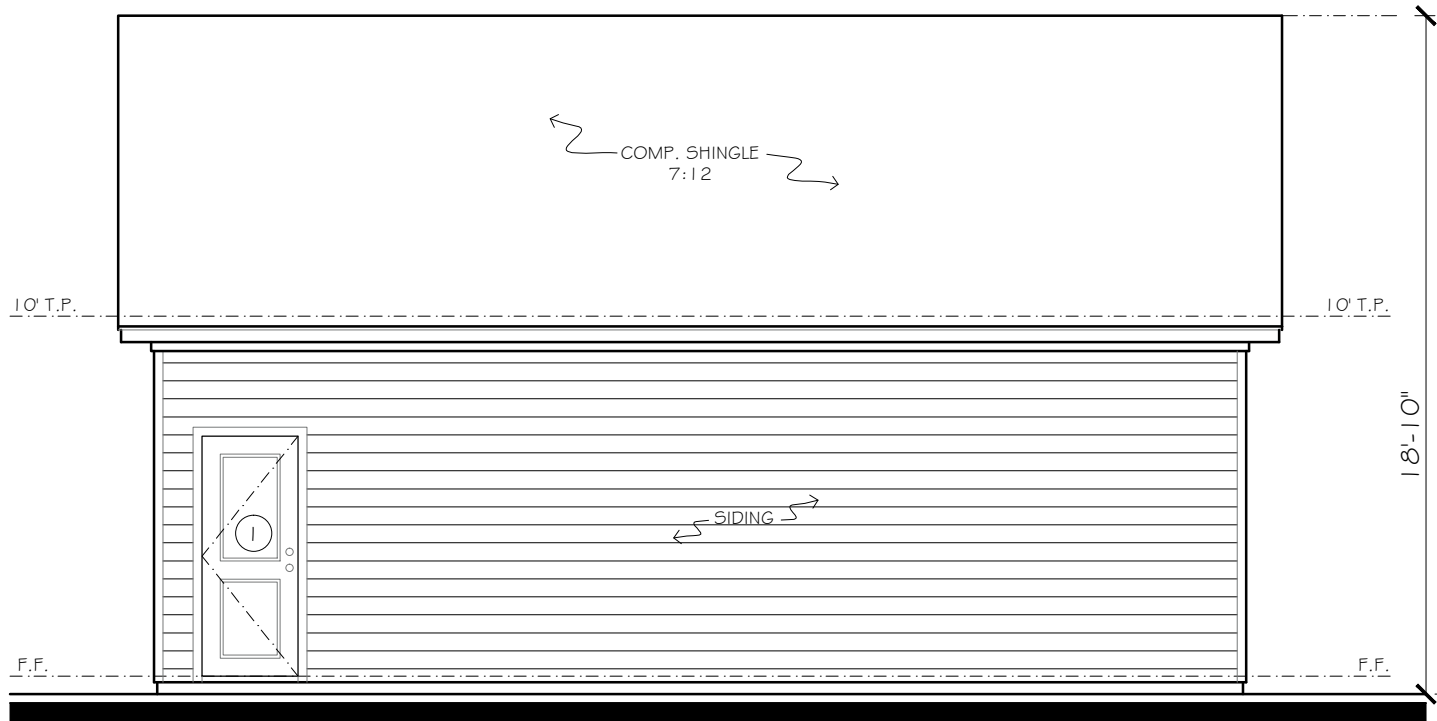
Scale

3/16" = 1'-0"

Sheet No.

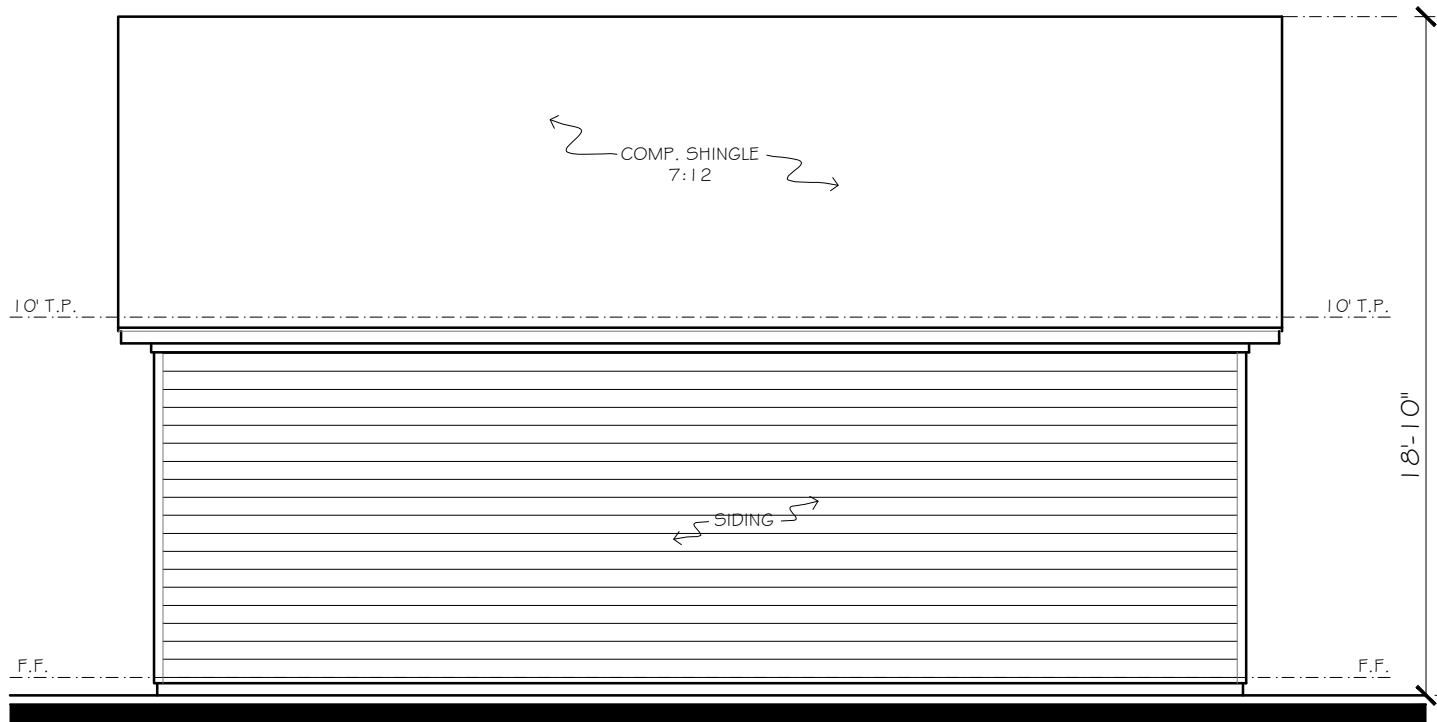
4

3 of 14



RIGHT ELEVATION

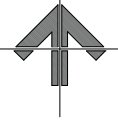
SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date

July 1, 2024

Sheet Title

ELEVATIONS

Scale

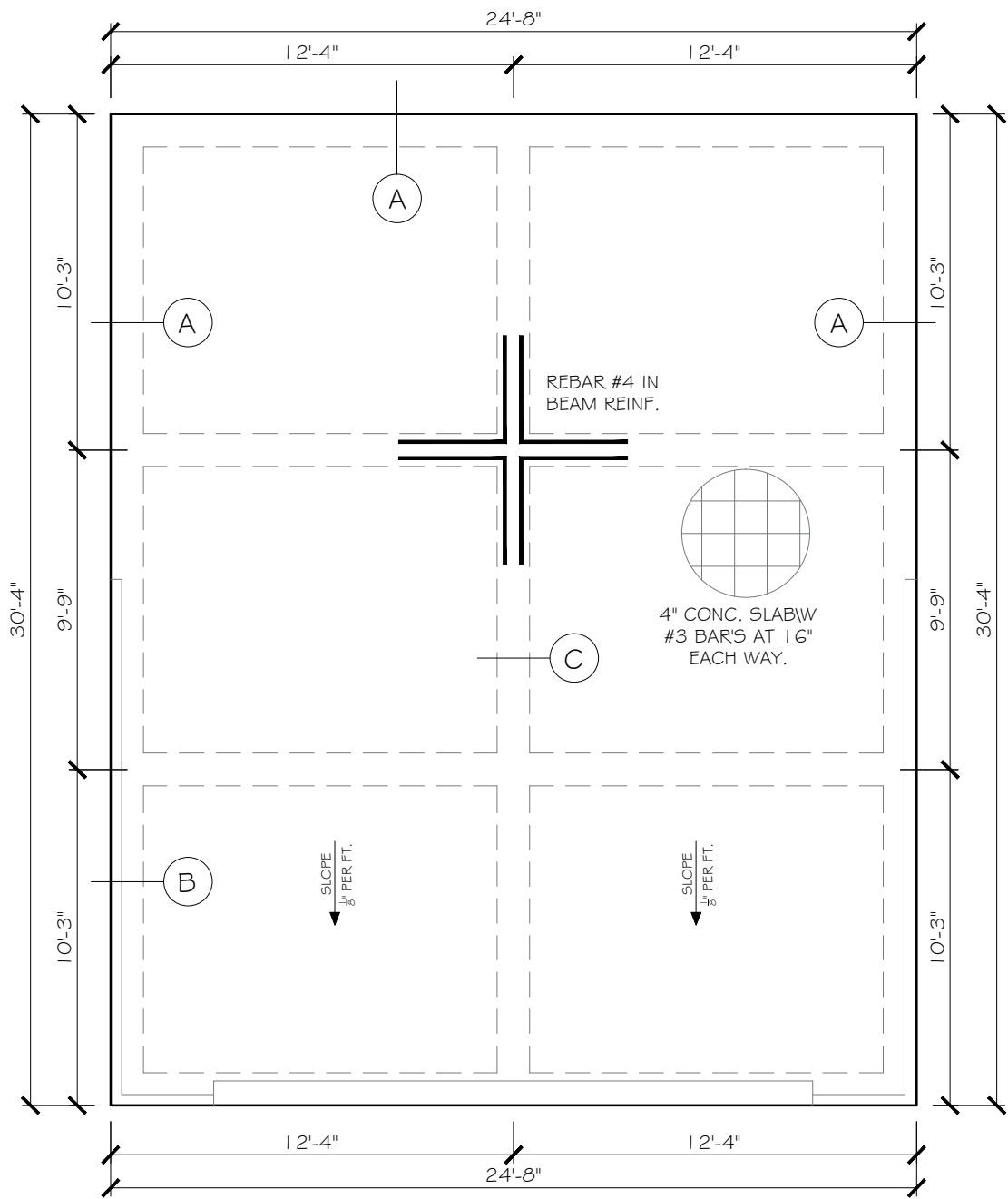
3/16" = 1'-0"

Sheet No.

5

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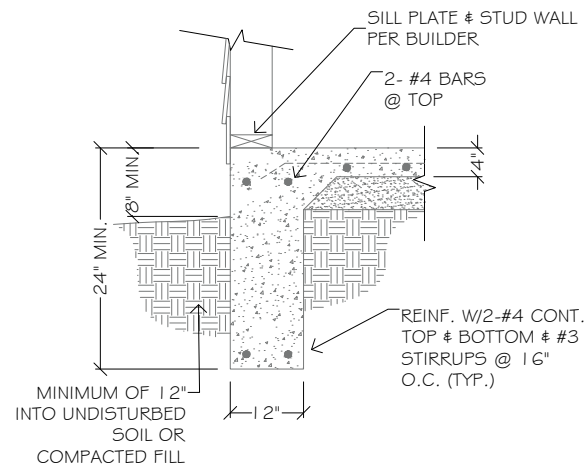
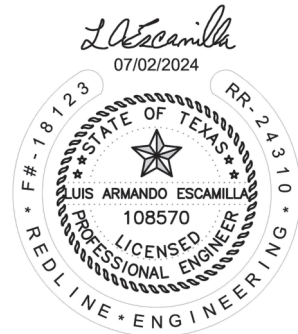


## FOUNDATION PLAN

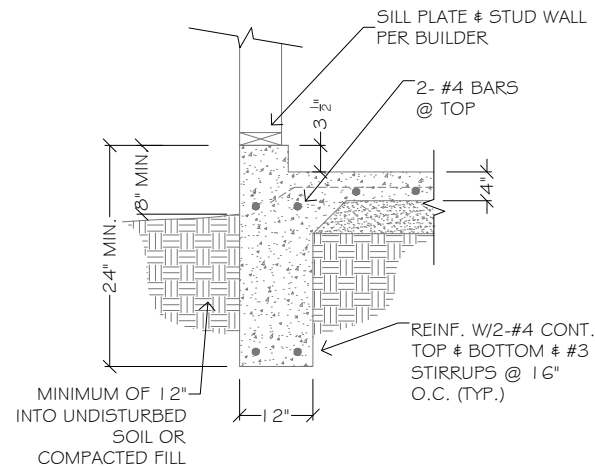
SCALE: 3/16" = 1'-0"

### CONCRETE NOTES

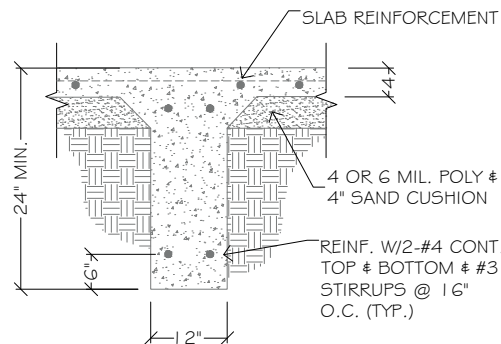
- EXCAVATE EXISTING SOIL +/- 6" DEEP TO 24" DEEP AND REMOVE TO OFF SITE LOCATION
- FOUNDATION SLAB SHALL BE 4" THICK OFF 3,000 PSI REINFORCED CONCRETE.
- CONCRETE SLAB SHALL BE PLACED OVER 4" THICK SAND AND GRAVEL CUSHION APPLY LAYER OF 4 MIL THICK VAPOR BARRIER OF POLYETHYLENE BELOW SLAB.
- UNDISTURBED SOIL SHALL BE COMPACTED TO 90% PROCTOR PRIOR TO PLACEMENT OF SAND CUSHION.
- ALL CONCRETE BEAM SHALL BE 12" WIDE AND 24" DEEP WITH REINFORCING AS INDICATED.
- AT ALL BEAM INTERSECTIONS, SHALL HAVE #3 CORNER BAR REINFORCING AND SHALL LAP BEAM REINFORCING NOT LESS THAN 18"
- ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY, 3,000 PSI COMPRESSIVE STRENGTH.
- ADMIXTURES CONTAINING CHLORIDES, SULPHATE, NITRATES AND FLY ASH ARE NOT PERMITTED.
- REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-65, GRADE 60, EXCEPT No. 3 BARS MAY BE GRADE 40.
- FURNISH AND INSTALL EXPANSION JOINT BETWEEN EXISTING CONCRETE SLAB AND NEW CONCRETE SLAB.
- NEW SLAB TO HAVE SMOOTH TOP FINISH
- REMOVE FORM BOARDS AND RUB OUT ANY HONEYCOMB AREAS.
- FILL IN AROUND NEW CONCRETE WITH NATIVE SOIL.



**A** EXTERIOR BEAM Siding  
N.T.S.

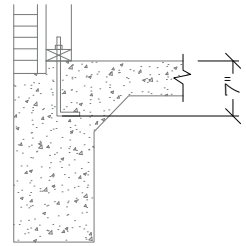


**B** EXTERIOR BEAM @ GARAGE  
N.T.S.

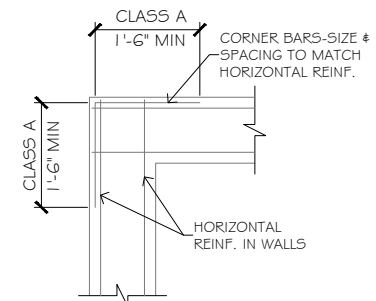
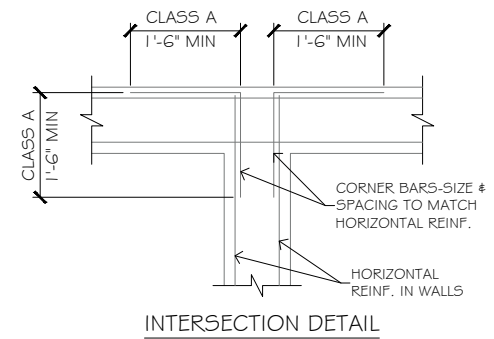


**C** INTERIOR BEAM  
N.T.S.

MINIMUM 1/2" DIAMETER ANCHOR BOLTS ARE TO BE INSTALLED EVERY 6'-0" O.C. MAX. AND WITHIN 12" OF EACH CORNER EMBEDDED MIN 7" INTO CONCRETE. ATTACHMENT IS REQUIRED WITHIN 4"-12" OF EACH BUTT JOINT IN THE BOTTOM PLATE OF ALL EXTERIOR WALLS NOT MORE THAN 12" OR 7 BOLT DIA. FROM EACH END OF EACH PLATE SECTION. REFER TO BRACED WALL PLAN FOR INTERIOR BRACED WALL ANCHORAGE TO SLAB.



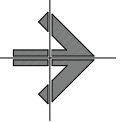
ANCHOR BOLT DETAIL WITH BRICK LEDGE  
(ONLY IF CODE REQUIRES ANCHOR BOLT)



TYP. CORNER BAR  
PLAN DETAIL @ WALLS  
& GRADE BEAM

**E** N.T.S.

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

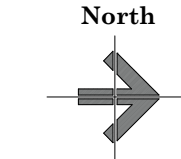
FOUNDATION

Scale  
3/16" = 1'-0"

Sheet No.

S7

7 of 7



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

ROOF PLAN

Scale  
1/8" = 1'-0"

Sheet No.

S1

1 of 7

RAFTER SPAN CHART (SLATE OR TILE ROOF)

REFERENCE=INTERNATIONAL RESIDENCIAL CODE 2021  
RAFTERS: CEILING NOT ATTACHED TO RAFTERS,  
DL = 20 PSF, LL = 20 PSF, Δ = 1/180  
RAFTERS: CEILING ATTACHED TO RAFTERS,  
DL = 20 PSF, LL = 20 PSF, Δ = 1/240

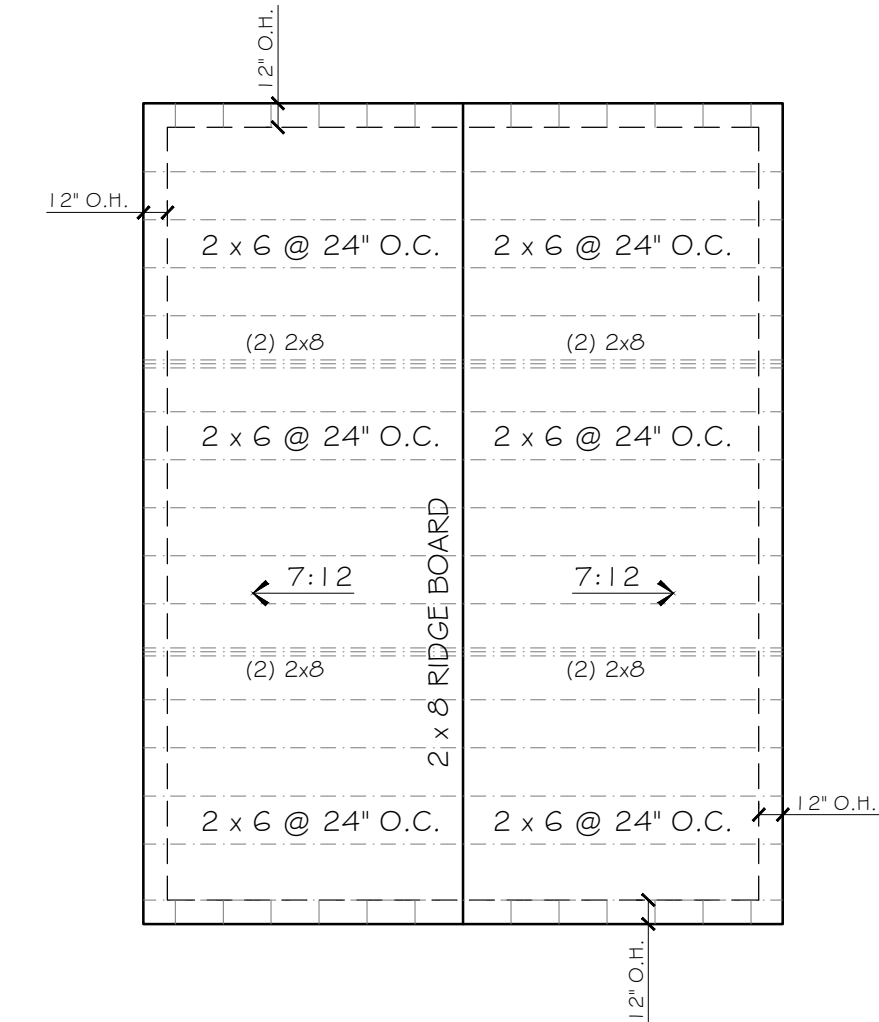
SPAN CHART FOR #2 SOUTHERN PINE

	RAFTERS, CEILING NOT ATTACHED TO RAFTERS				RAFTERS, CEILING ATTACHED TO RAFTERS			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	9'-0"	7'-9"	7'-1"	6'-4"	9'-0"	7'-9"	7'-1"	6'-4"
2 X 6	13'-6"	11'-8"	10'-8"	9'-6"	13'-6"	11'-8"	10'-8"	9'-6"
2 X 8	17'-1"	14'-9"	13'-6"	12'-1"	17'-1"	14'-9"	13'-6"	12'-1"
2 X 10	20'-3"	17'-6"	16'-0"	14'-4"	20'-3"	17'-6"	16'-0"	14'-4"
2 X 12	23'-10"	20'-8"	18'-10"	16'-10"	23'-10"	20'-8"	18'-10"	16'-10"

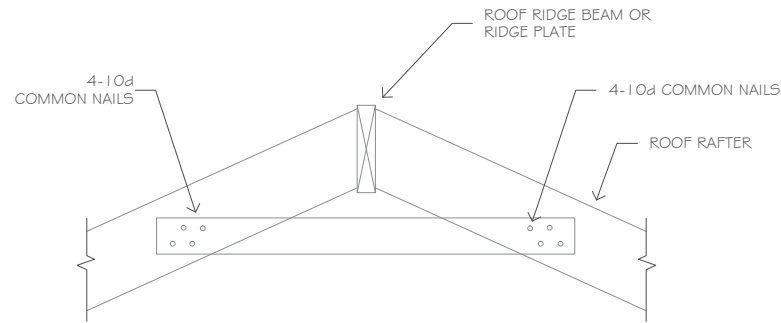
ROOF BRACING SCHEDULE			
	HT	REQUIREMENTS	SECTION
	1-8FT.	2X4 "T" BRACING	2X4
	9-16FT.	2X6/2X6 "T" BRACING	2X6
	17-25FT.	2X8/2X8 "T" BRACING	2X8

NOTES, ROOF BRACING

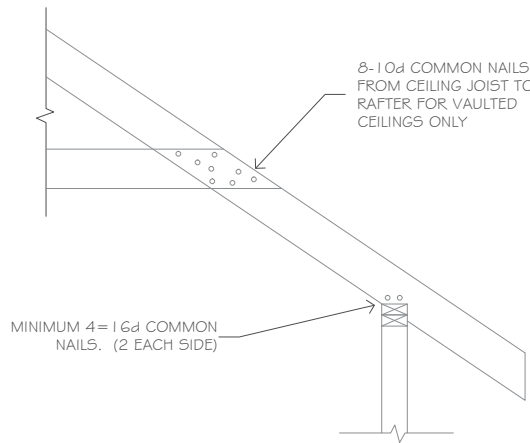
- RAFTERS, RIDGES, HIPs AND VALLEYS SHALL BE #2 SOUTHERN PINE OR EQUAL.
- RIDGE, HIP, VALLEYS, AND PURLIN LOADS SHALL BE DISTRIBUTED TO WALLS OR BEAMS BELOW BY "T" BRACES OF (2) 2X6'S. THE "T" BRACES SHALL BE INSTALLED AT AN ANGLE GREATER THAN 45 DEGREES WITH THE HORIZONTAL. BRACE PURLINS AT 4'-0" O.C.
- RAFTER SPANS EXCEEDING 11'-8" WITH THE HORIZONTAL SHALL BE BRACED WITH A 2X6 PURLIN.
- USE 2X6 RAFTERS @ 24" O.C. UNLESS NOTED OTHERWISE. ALTERNATELY, USE THE SPAN CHARTS PROVIDED.
- NAIL RAFTERS TO RIDGE, VALLEYS, AND HIP USING 4=16D COMMON TOE NAILED OR 3=16D COMMON FACE NAILED MINIMUM.
- TOE NAIL ALL CEILING JOISTS TO TOP PLATE USING 3 10D COMMON. NO MORE THAN 2 NAILS SHALL BE INSTALLED ON EACH SIDE OF A JOIST WITH 2X4 TOP PLATE AND NO MORE THAN 3 NAILS INSTALLED ON EACH OF JOIST WITH A 2X6 TOP PLATE.
- ALL SPLICED RAFTERS SHALL BE SPLICED AND BRACED AT PURLIN LOCATION.



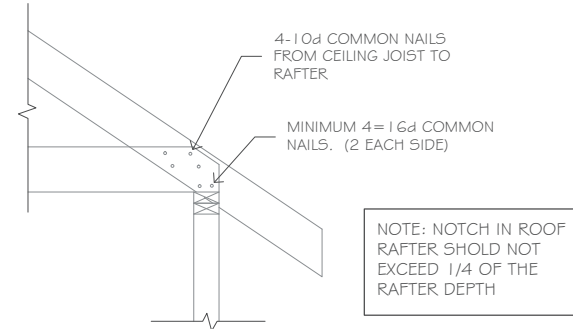
ROOF PLAN  
SCALE: 1/8" = 1'-0"



**A** TYPICAL COLLAR TIE CONNECTION DETAIL  
N.T.S.

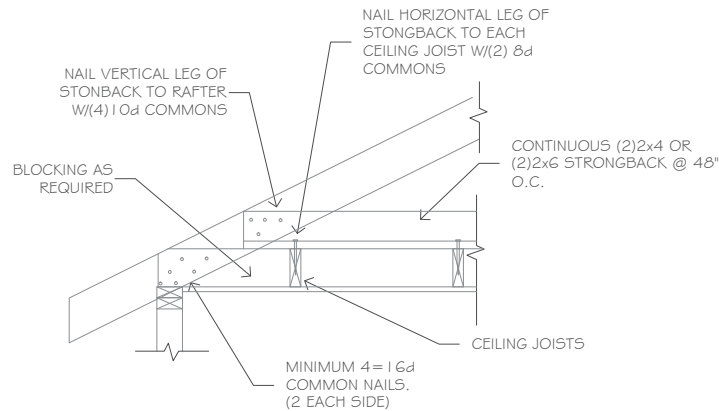


**B** TYPICAL DETAIL @ VAULTED CEILING  
N.T.S.

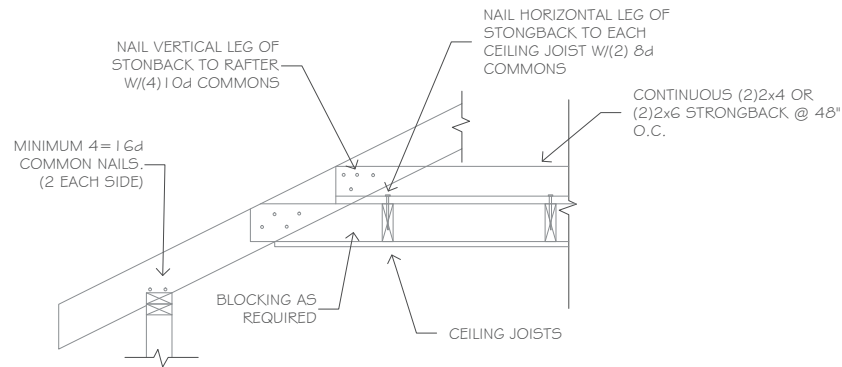


**C** TYPICAL ROOF RAFTER ATTACHMENT TO TOP PLATE  
N.T.S.

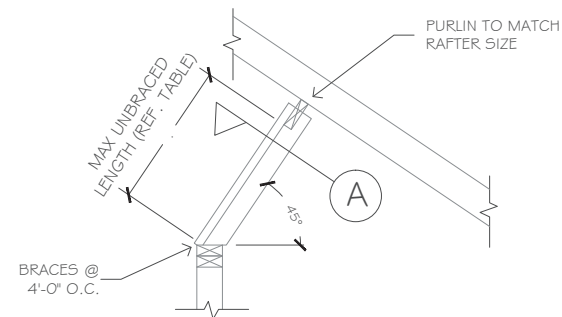
T-BRACE		
UNBRACED LENGTH	FLANGE SIZE	WEB SIZE
UP TO 6'-0"	---	2x4
UP TO 10'-0"	2x4	2x4
UP TO 16'-0"	2x4	2x6
UP TO 20'-0"	2x6	2x6
UP TO 26'-0"	2x6	(2)2x6



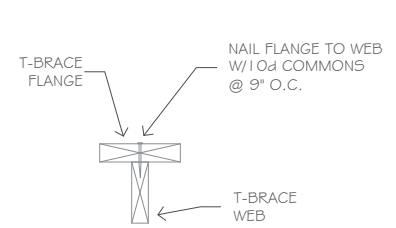
**D** CEILING JOIST PERPENDICULAR TO ROOF RAFTER  
N.T.S.



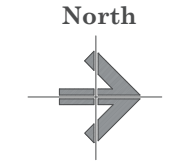
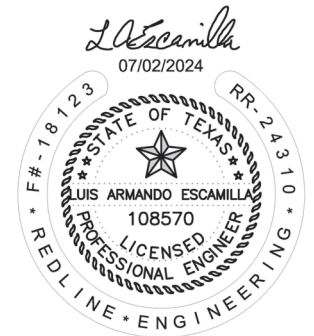
**E** VAULTED CLG. w/ CLG. JOIST PERPENDICULAR TO RAFTERS  
N.T.S.



**F** TYP. "T" BRACE ROOF PURLIN SUPPORT DET.  
N.T.S.



SECTION A-A



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

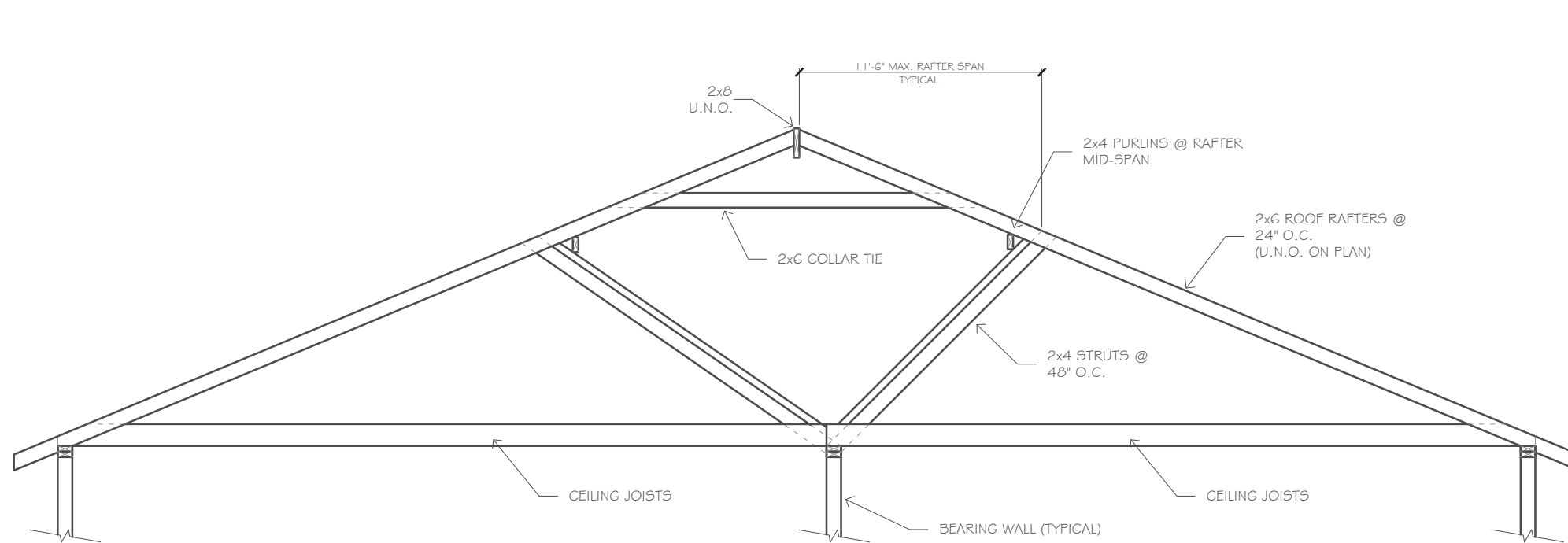
DETAILS

Scale  
1/8" = 1'-0"

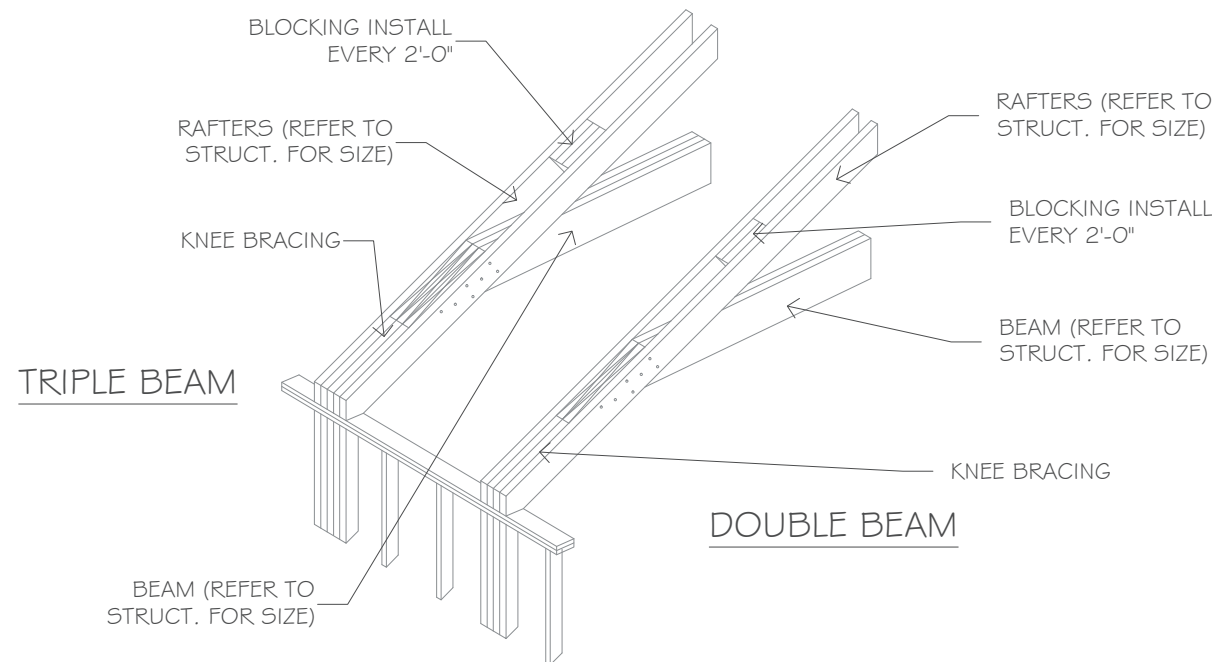
Sheet No.

S2  
2 of 7

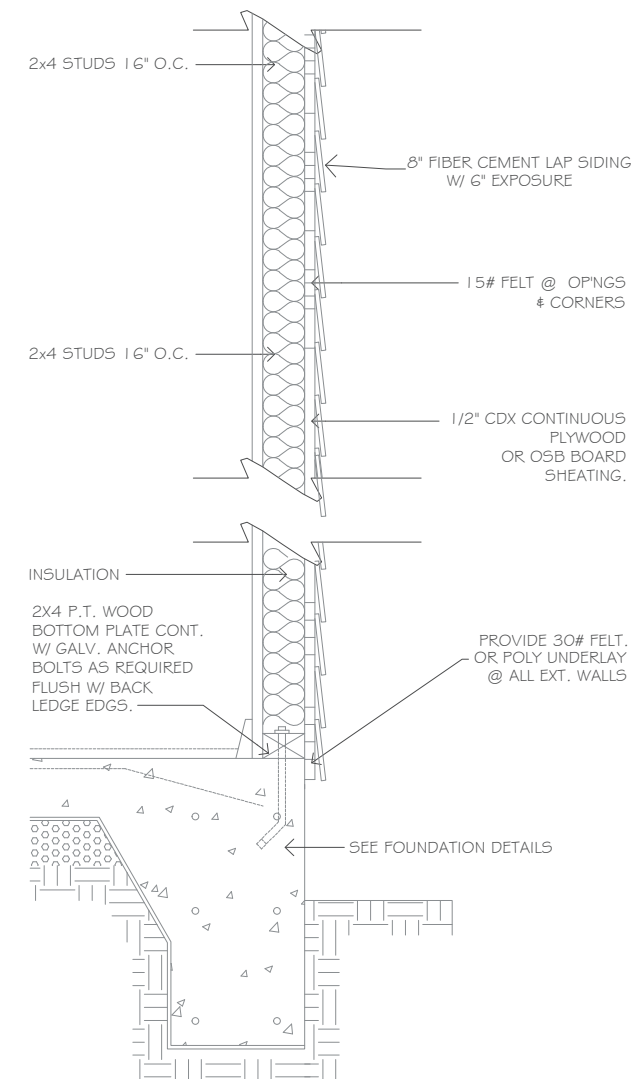
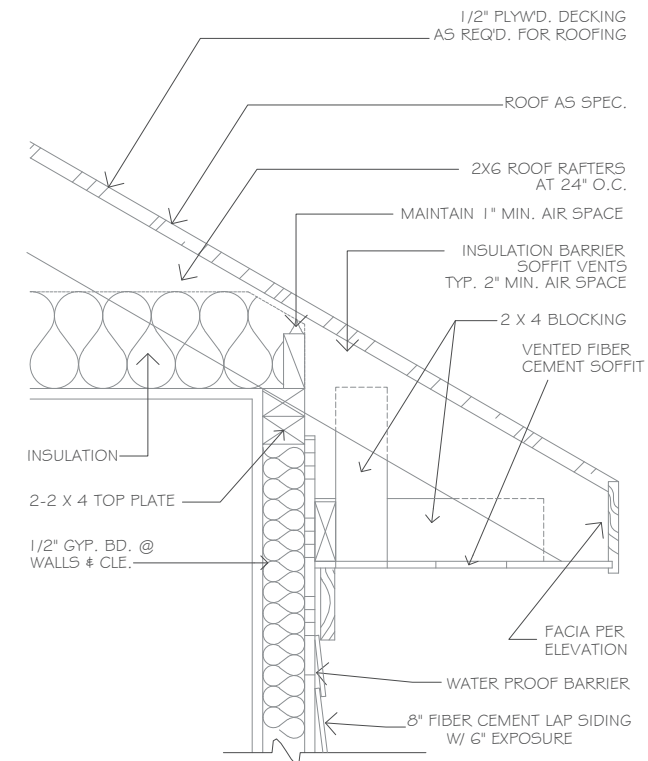




**A** TYP. RAFTER DETAIL  
N.T.S.

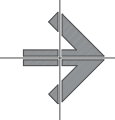


**D** TYP. BEAM SUPPORTED BY RAFTERS  
N.T.S.



WALL SECTION  
SCALE: n.t.s.

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

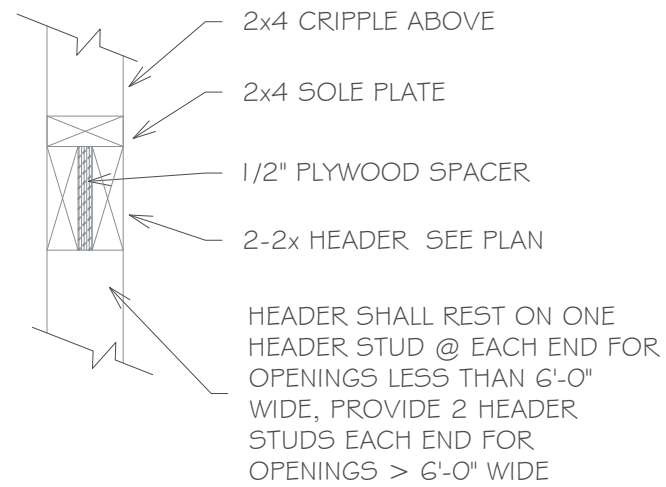
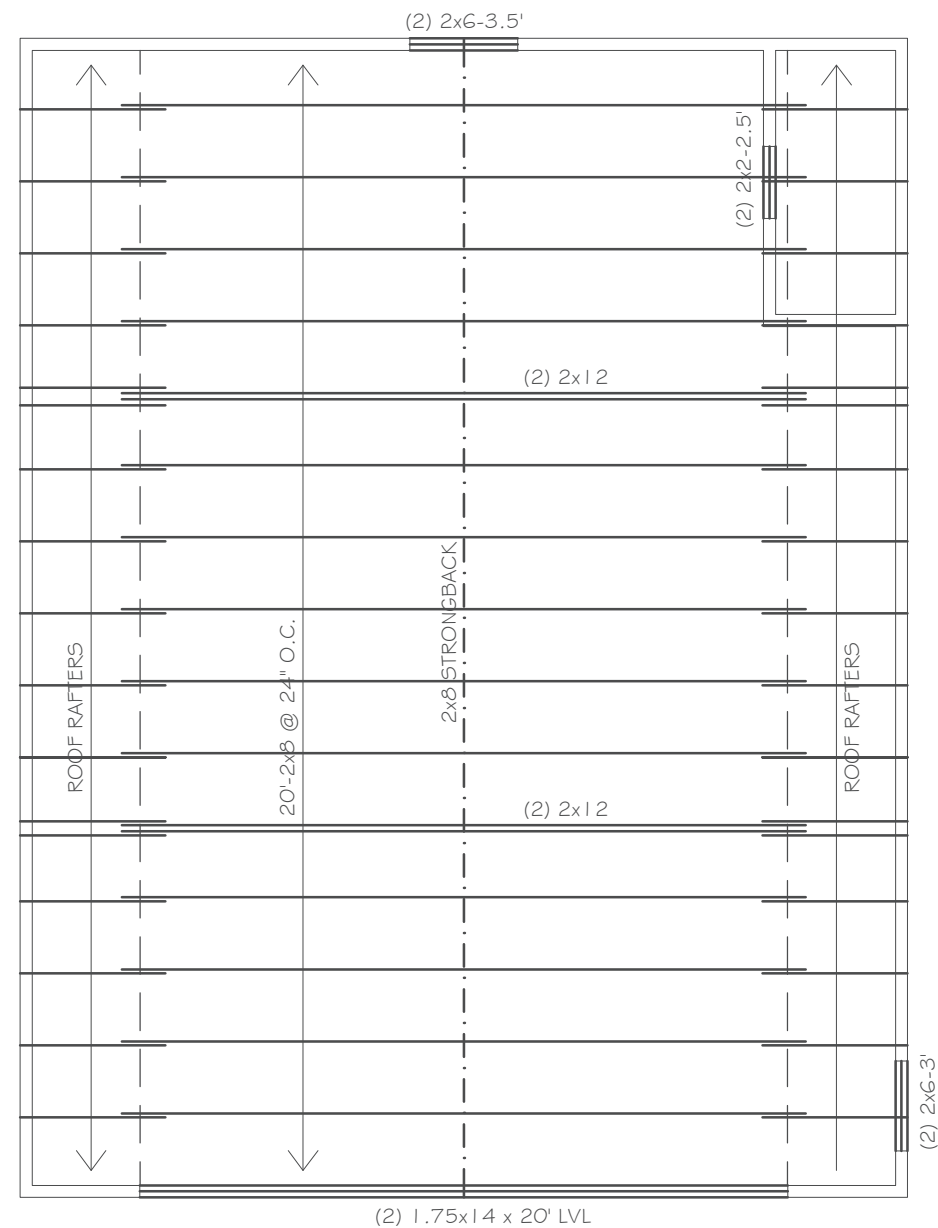
DETAILS

Scale  
1/8" = 1'-0"

Sheet No.

S3

3 of 7



A TYP. HEADER DETAIL  
N.T.S.

REF. INTERNATIONAL RESIDENTIAL CODE 2021

CEILING JOISTS: UNINHABITABLE ATTICS WITH LIMITED STORAGE,  
DL = 5psf LL = 10psf,  $\Delta = L/240$   
DL = 10psf LL = 20psf,  $\Delta = L/240$

## SPAN CHART FOR #2 SOUTHERN PINE

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	11'-10"	10'-9"	10'-2"	9'-3"	9'-3"	8'-0"	7'-4"	6'-7"
2 X 6	18'-8"	16'-11"	15'-7"	13'-11"	13'-11"	12'-0"	11'-0"	9'-10"
2 X 8	24'-7"	21'-7"	19'-8"	17'-7"	17'-7"	15'-3"	13'-11"	12'-6"
2 X 10	26'-0"	25'-7"	23'-5"	20'-11"	20'-11"	18'-1"	16'-6"	14'-9"
2 X 12	26'-0"	25'-4"	23'-0"	23'-0"	23'-0"	20'-3"	18'-8"	16'-10"

HEADER SPAN ALLOWANCE (MAXIMUM)		
(PLY) SIZE	LOAD BEARING	NON-LOAD BEARING
(2) 2X6's	-	4 FT
(2) 2X8's	4 FT	6 FT
(2) 2X10's	6 FT	8 FT
(2) 2X12's	8 FT	10 FT
LOAD BEARING HEADERS GREATER THAN 8'-0" NEED TO BE SIZED		

## NOTES

1. ALL CEILING JOISTS TO BE #2 SOUTHERN PINE.
2. ALL CEILING JOISTS MUST BE NAILED TO TOP PLATE W/3=8D COMMON NAILS.
3. ALL CEILING JOISTS MUST BE NAILED TO RAFTER W/9=16D COMMON NAILS.
4. JOISTS AND BEAM HANGERS, WHERE SPECIFIED, SHALL BE FULLY NAILED PER MANUFACTURER'S CATALOG SPECIFICATIONS.
5. DECKING FOR UNINHABITABLE ATTICS WITH LIMITED STORAGE SHALL BE MINIMUM 7/16" PLYWOOD OR OSB, WITH A SPAN RATING THAT MEETS OR EXCEEDS THE CEILING JOIST SPACING.
6. MULTIPLE-PLY BEAMS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 2 ROWS OF 16D COMMONS @ 12" O.C. (3 ROWS OF NAILS REQUIRED FOR BEAMS EXCEEDING 12" MIN. DEPTH)
7. ALL MULTIPLE-PLY BEAM CALLOUTS ON PLANS SHALL BE #2 SOUTHERN PINE UNLESS NOTED OTHERWISE.



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921 N. Alamo Rd.  
Rockwall, Texas 75087

<b>Date</b>	July 1, 2024
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**Sheet Title**

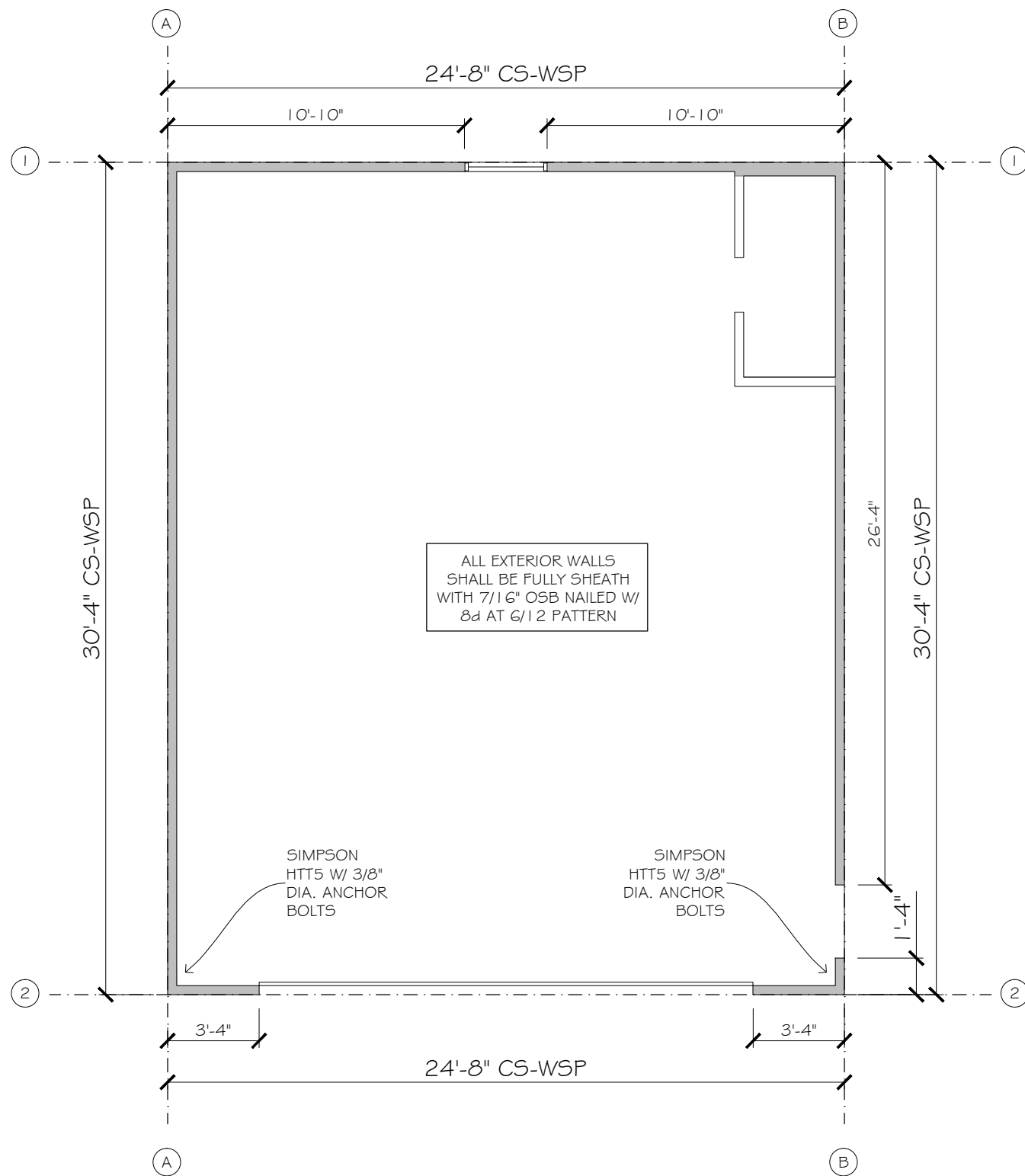
CEILING  
FRAMING

Scale  
1/8" = 1'-0"

Sheet No.

# S4

4 of 7



WIND BRACING PLAN  
SCALE: 3/16" = 1'-0"



WALL BRACING NOTES

- 1. ALL WALL BRACING TO COMPLY WITH 2018 IRC OR NEWER BUILDING CODE CURRENTLY ADOPTED BY CITY OF LANCASTER.
- 2. NAIL "RED" THERMAPLY WITH 1 1/4" GALVANIZED ROOFING NAILS OR 16 GA. 7/16" MIN. CROWN STAPLES SPACED 3" O.C. ON ALL PANEL EDGES AND 6" O.C. IN THE FIELD.

ALTERNATE TIE DOWN ANCHORS  
(USE THESE ANCHORS AFTER THE SLAB IS CURED)

- 1. LOCATE HTT5 SIMPSON TIES AT CORNERS OF THE "A" WALL BRACING PANELS AS NOTED ON WALL BRACING PLANS.
- 2. DRILL INTO SLAB WITH 3/4" DIA. DRILL BIT. HOLES SHOULD BE DRILLED 4" DEEP MIN.
- 3. HOLES SHOULD BE CLEANED WITH COMPRESSED AIR AND BRUSH IN EACH HOLE. ALL CONCRETE DUST MUST BE REMOVED FROM HOLES
- 4. IN EACH HOLE, INJECT SIMPSON ACRYLIC-TIE ADHESIVE PER MANUFACTURER'S REQUIREMENTS.
- 5. INSTALL 5/8" X 12" THREADED ROD INTO EACH HOLE (SIMPSON RB#5X12). DO NOT DISTURB THREADED ROD FOR AT LEAST TWO HOURS TO ALLOW GLUE TO CURE.
- 6. AFTER WAITING FOR GLUE TO CURE, INSTALL SIMPSON HTT5 TIES AND NAIL TO STUDS WITH 32, 16D NAILS.

CS-WSP
DENOTES METHOD CS-WSP (CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING). 4X8 WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 3/8 INCH OSB FOR 16-INCH STUD SPACING. NAILING: 6d COMMON @ 6" O.C. ALL EDGES @ 12" O.C. IN FIELD. FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AND 3" O.C. IN ALL FRAMING (STUDS AND SILLS) TYP.

North

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Rockwall, Texas 75087

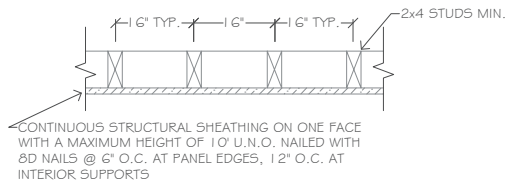
Date  
July 1, 2024

Sheet Title  
WIND BRACING

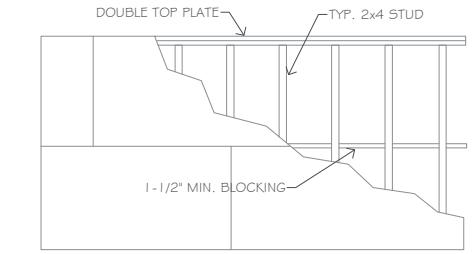
Scale  
3/16" = 1'-0"

Sheet No.  
**S5**  
5 of 7

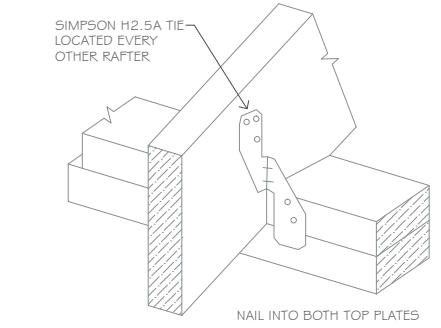




1 SECTION DETAIL  
N.T.S.

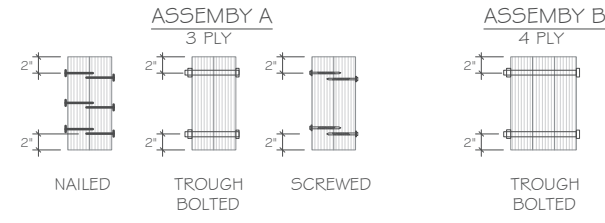


PANEL BLOCKING DETAIL  
N.T.S.

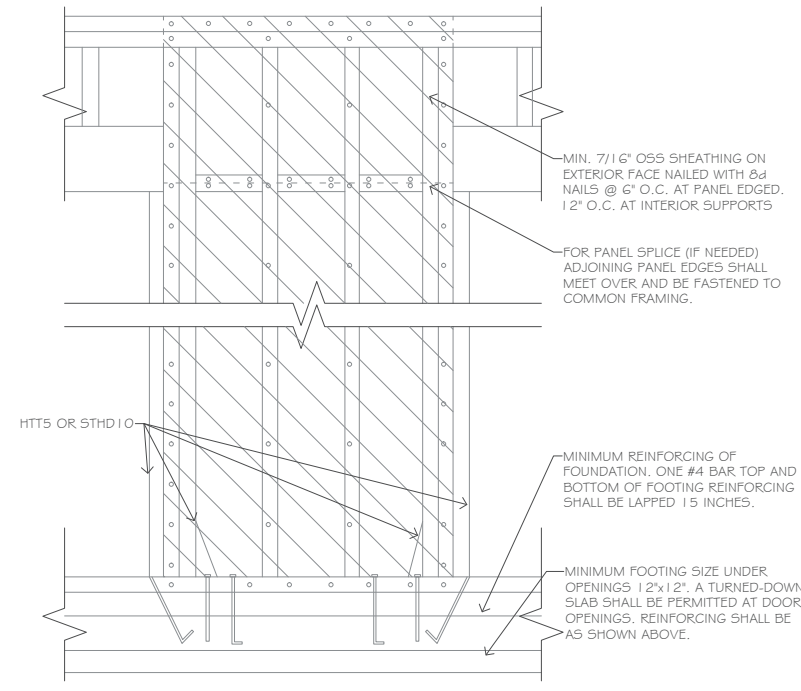


RAFTER TO TOP PLATE DETAIL  
N.T.S.

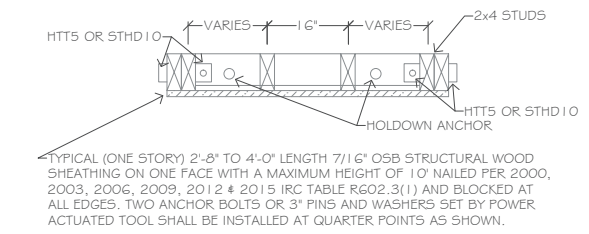
SIDE-LOADED MULTIPLE MEMBER CONNECTION SCHEDULE			
ASSEMBY TYPE	NAILED CONN.	THROUGH-BOLTED CONN.	STRUCTURAL WOOD SCREW CONN.
ASSEMBLY A	3 ROWS 12d COMMON WIRE NAILS AT 12" O.C.	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	2 ROWS 1/4" DIA. x 3 1/2" LONG SCREWS AT 12" O.C.
ASSEMBLY B	NOT APPLICABLE	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	NOT APPLICABLE



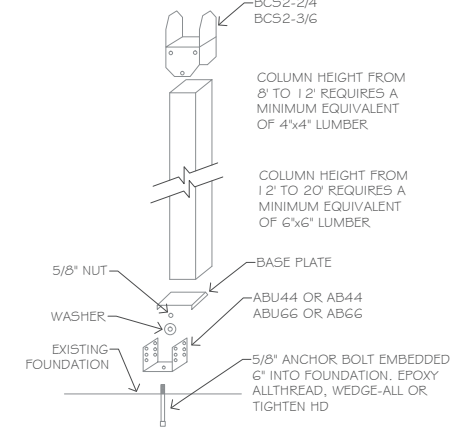
LVL BEAM ASSEMBLY  
N.T.S.



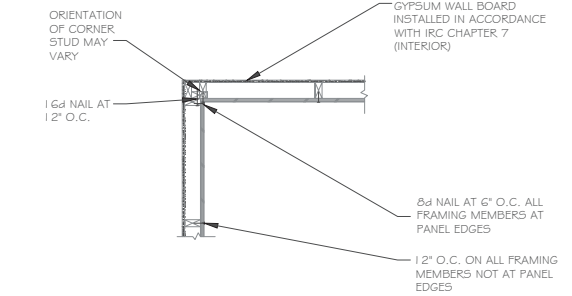
2 SECTION DETAIL (EXTERIOR ELEVATION)  
N.T.S.



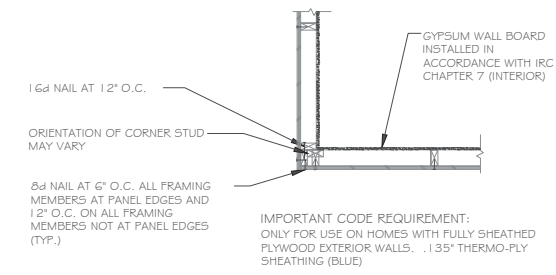
2 SECTION DETAIL (PLAN VIEW)  
N.T.S.



STANDARD COLUMN DETAIL  
N.T.S.



EXAMPLE OF INSIDE CORNER DETAIL  
N.T.S.



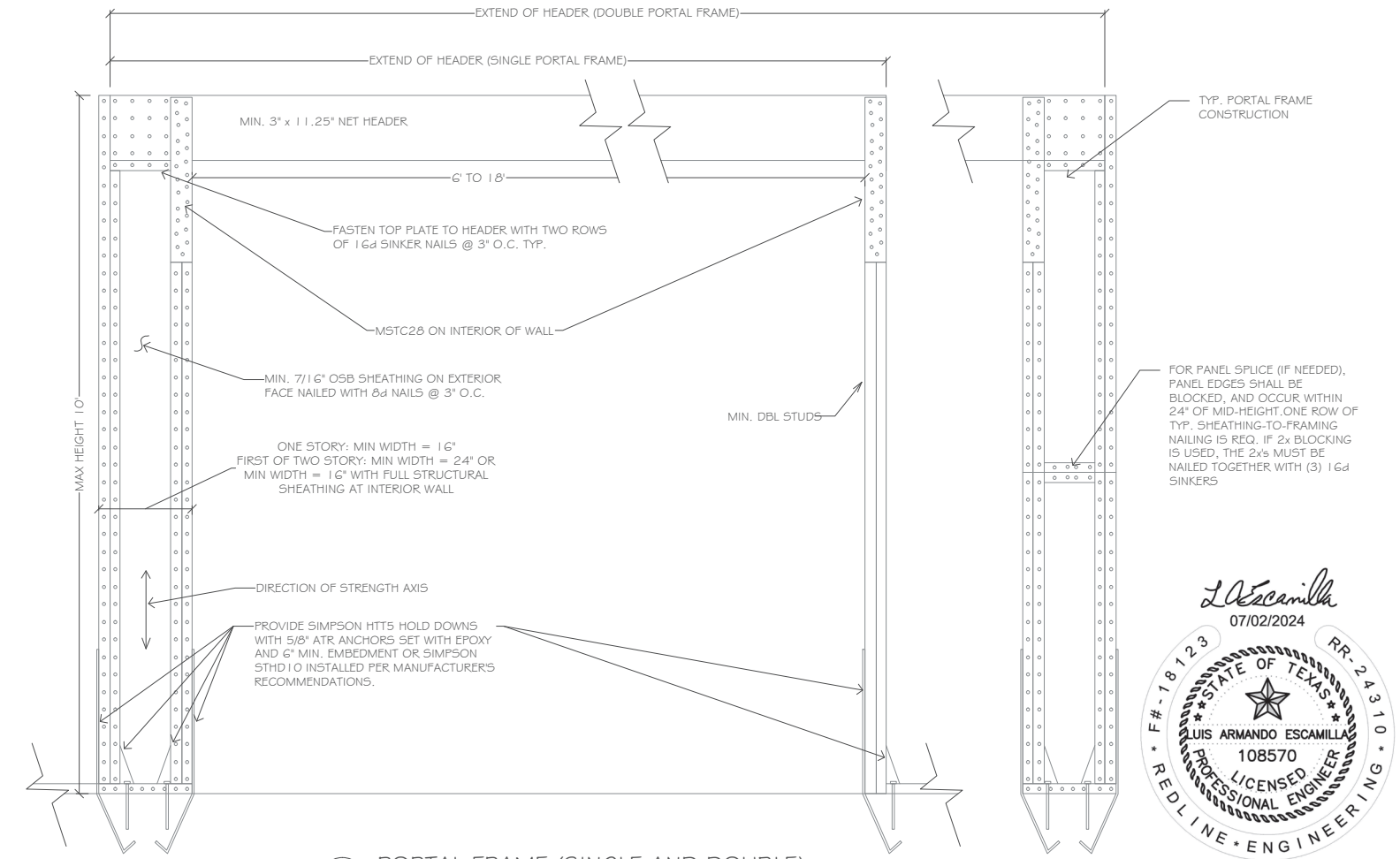
EXAMPLE OF OUTSIDE CORNER DETAIL  
N.T.S.

## GENERAL NOTES

- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2021 IRC TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SEAWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSLIDE THROUGH THE DOUBLE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
- MUDSLIDE AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSLIDE ANCHORS @ 6'-0" O.C.
- WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
- ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2000, 2003, 2006, 2009, 2012 & 2015 IRC.
- LET-IN BRACING MAY BE SUBSTITUTED WITH 4x8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR C516 X-BRACING.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
  - INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
  - MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



2 PORTAL FRAME (SINGLE AND DOUBLE)  
N.T.S.



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

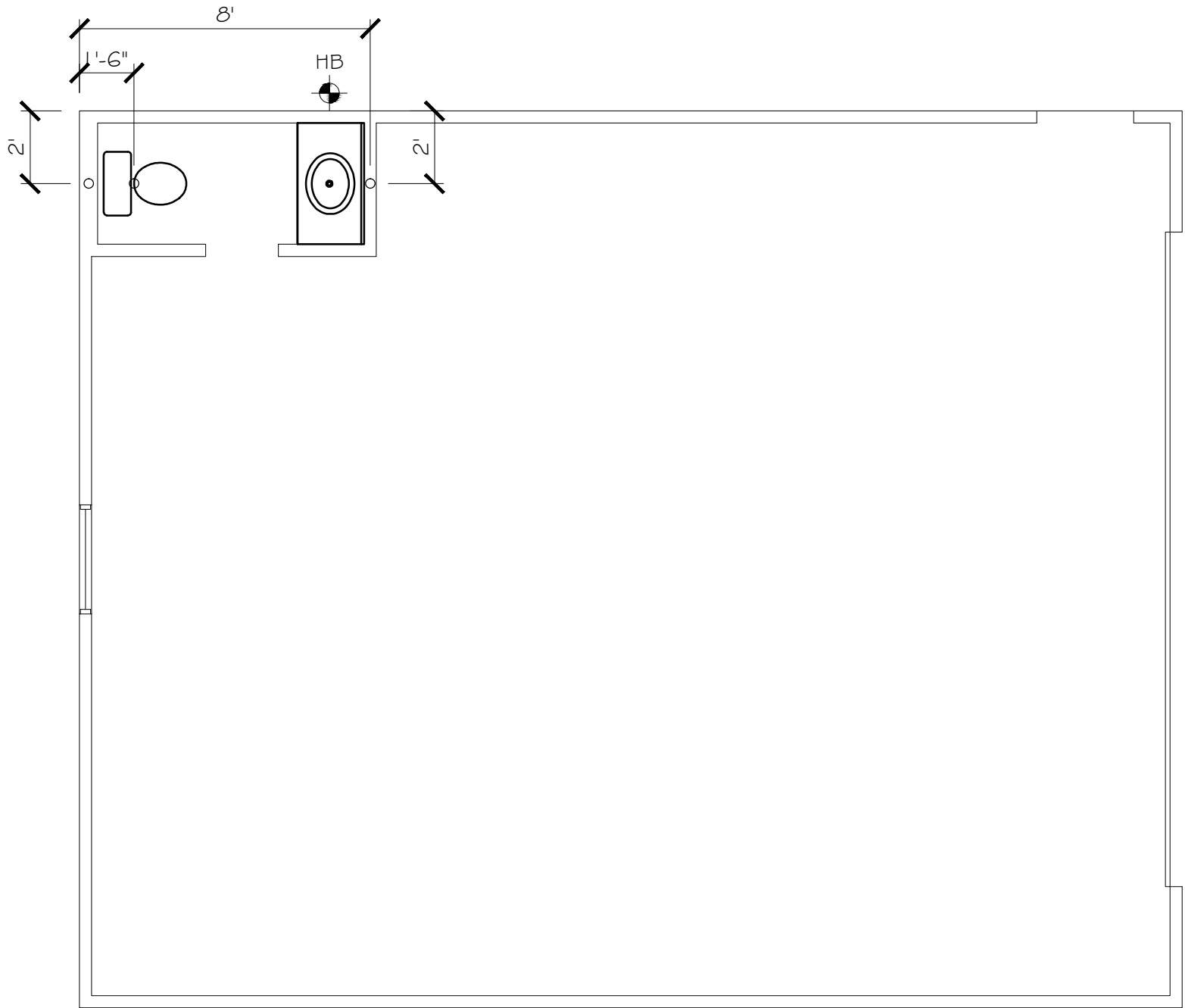
WIND BRACING

Scale  
N.T.S.

Sheet No.

S6  
6 of 7

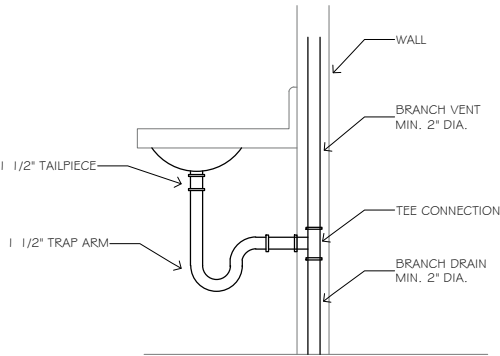




PLUMBING PLAN  
SCALE: 1/4" = 1'-0"

PLUMBING NOTES

- A. CONTRACTOR TO VISIT SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS, TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED TO FACILITATE NEW CONSTRUCTION AND INCLUDE ALL SUCH WORK IN HIS/HER BID.
- B. ALL ITEMS TO BE DEMOLISHED NOT SCHEDULED FOR REUSE SHALL BE TURNED OVER TO OWNER FOR SALVAGE AT HIS/ HER DECISION. ANY ITEMS NOT RETAINED BY OWNER SHALL BE DISPOSED OF AT CONTRACTOR'S EXPENSE.
- C. COORDINATE ALL DEMOLITION WITH ARCHITECT AND BUILDING MANAGEMENT.
- D. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- E. REFER TO ARCHITECTURAL DRAWING FOR PLUMBING FIXTURE TYPES AND SPECIFICATIONS. PROVIDE ALL STOP VALVES SHUT-OFF VALVES, P-TRAPS, TAIL PIECES, TRAP PRIMERS, PISTON-TYPE WATER HAMMER ARRESTORS, ETC. AS REQUIRED FOR COMPLETE INSTALLATION. INSULATE ALL EXPOSED WASTE AND WATER LINES WITH 'PLUMBEREX PRO SERIES 2000' INSULATION KIT.
- F. CORE-DRILL ALL HOLES ON SLAB AS REQUIRED FOR NEW PIPING. VERIFY ALLOWABLE CORE SIZE(S) AND EXACT LOCATION OF STRUCTURE BELOW FLOOR WITH STRUCTURAL ENGINEER BEFORE CORING FLOOR. DO NOT CUT ANY STRUCTURAL SUPPORTS. FLOOR MUST BE SEALED TO A WATER TIGHT CONDITION. IF THE EXISTING FLOOR SLAB IS A POST-TENSION TYPE SLAB, THE FLOOR SHALL BE X-RAYED PRIOR TO CORING ANY HOLES THROUGH FLOOR. DO NOT CUT ANY POST-TENSION CABLES WHEN CORING HOLES THROUGH FLOOR.



FIXTURE CONNECTION					
MARK	FIXTURE	WASTE	VENT	CW	HW
WC	WATER CLOSET	4"	2"	3/4"	—
HS	HAND SINK	2"	1 1/2"	3/4"	3/4"
WH	WATER HEATER	—	—	3/4"	3/4"
<div>NOTES: 1. SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARM &amp; ROUGH-IN CONNECTION. 2. WASTE AND VENT PIPES SHALL BE 2" MIN. 3. PEX TUBING TO BE USED TO COLD AND HOT WATER. 4. PEX BARS BRASS FITTINGS TO BE USED FOR POTABLE WATER. 5. SEWER PVC TO BE USED FOR WASTE WATER</div>					

North

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date  
July 21, 2024

Sheet Title  
PLUMBING

Scale  
1/4" = 1'-0"

Sheet No.  
7

6 of 14







CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *DETACHED GARAGE* ON A 0.530-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF BLOCK 4, GARNER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 921 N. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

**2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan and Survey* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- (3) The *Detached Garage* shall not exceed a maximum size of 750 SF.
- (4) The Detached Garage shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
- (5) The subject property shall be limited to a maximum of three (3) accessory structures.
- (6) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
- (7) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.**

---

Trace Johannessen, *Mayor*

**ATTEST:**

---

Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 16, 2024

2<sup>nd</sup> Reading: October 7, 2024



Exhibit 'A'  
Survey and Legal Description

Address: 921 N Alamo Road

Legal Description: A portion of Block 4 of the Gardener Addition

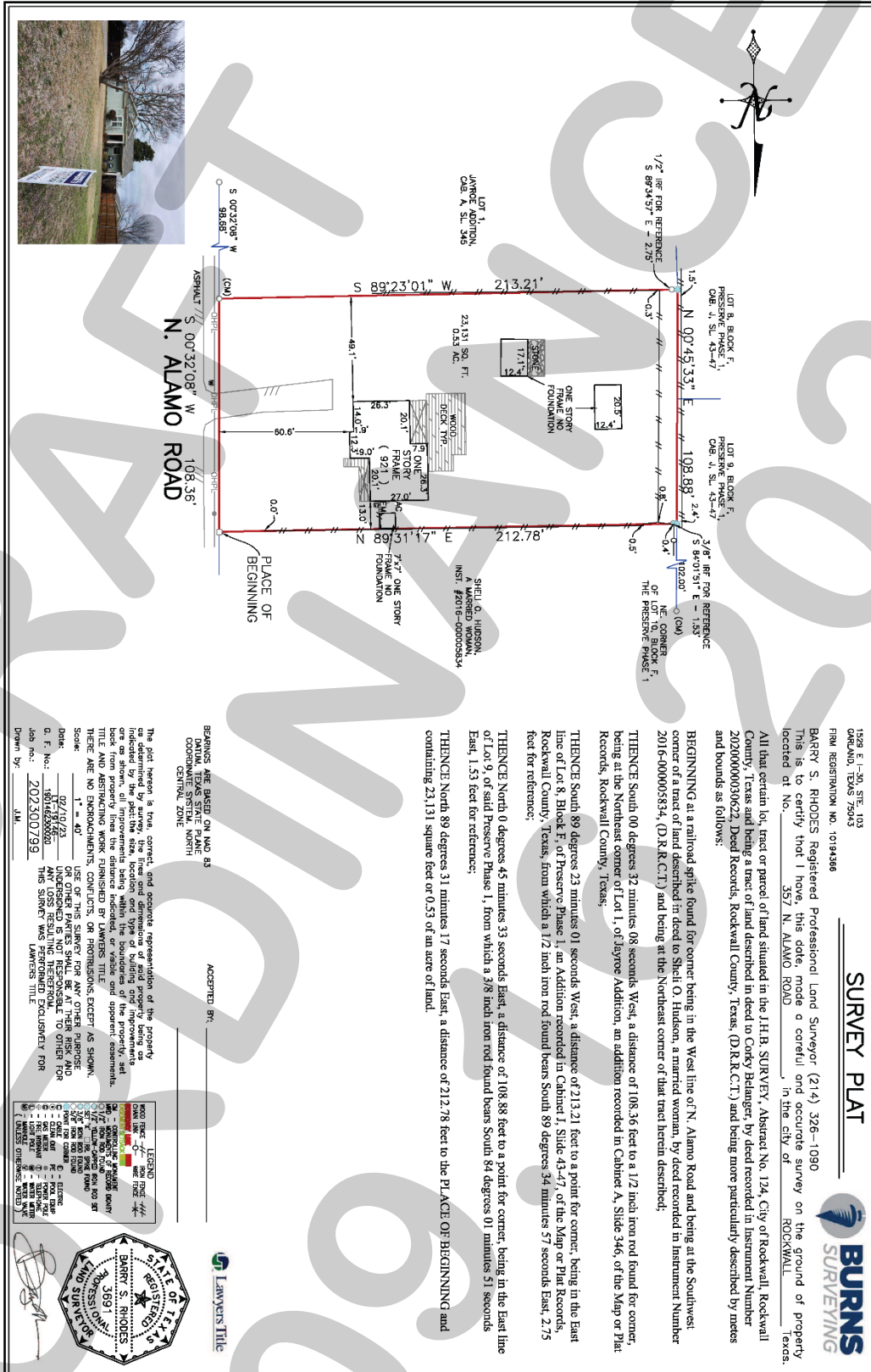
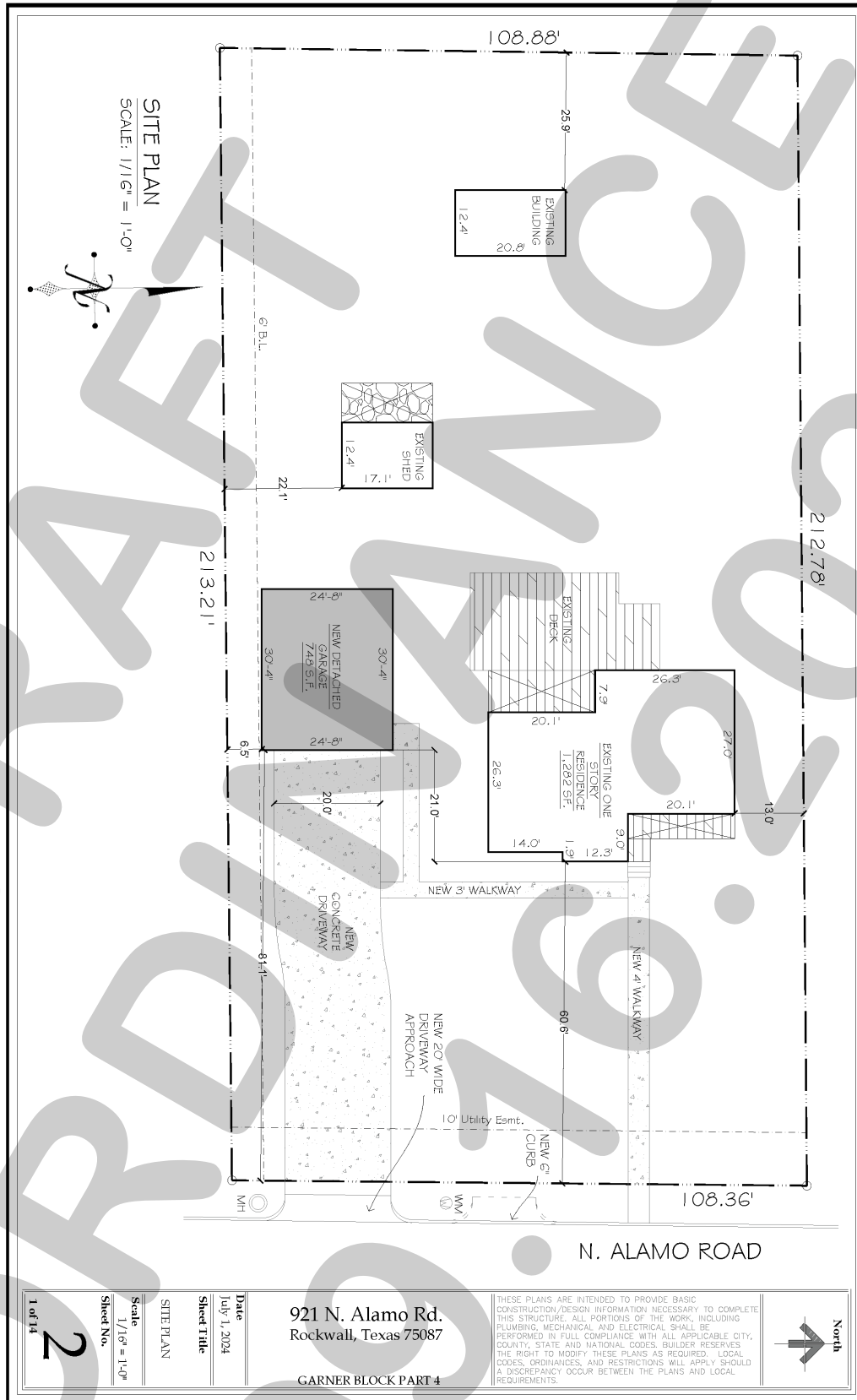
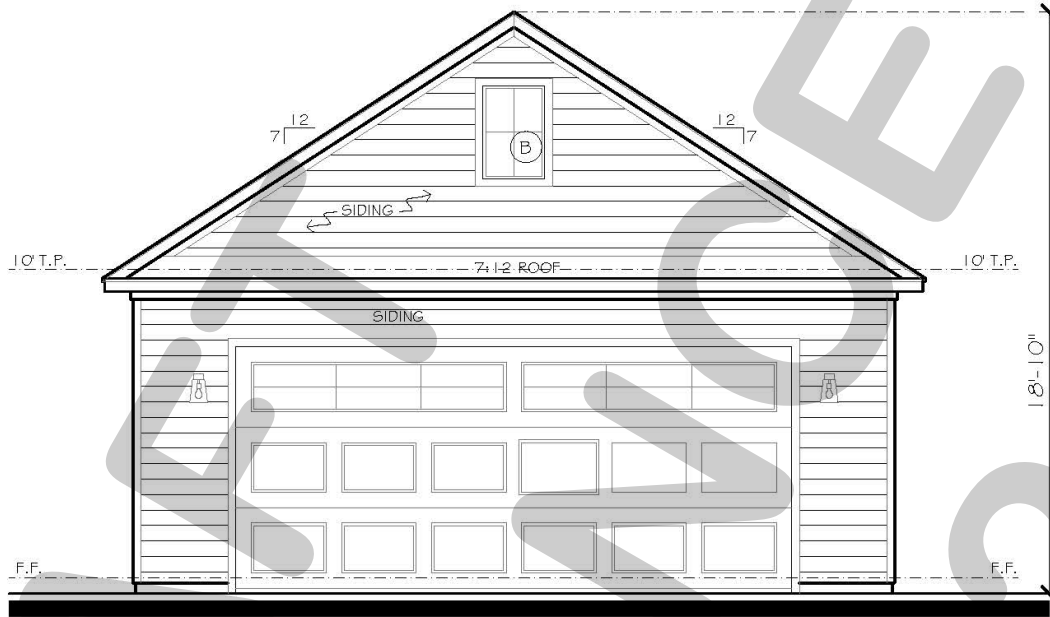


Exhibit 'B':  
Residential Plot Plan

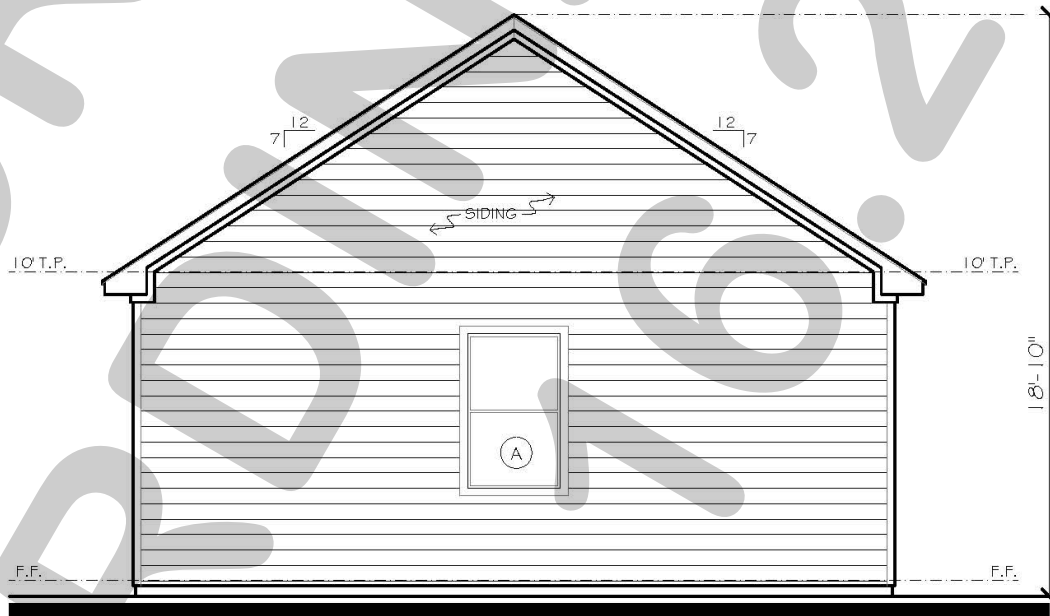


**Exhibit 'C':**  
**Building Elevations**



**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

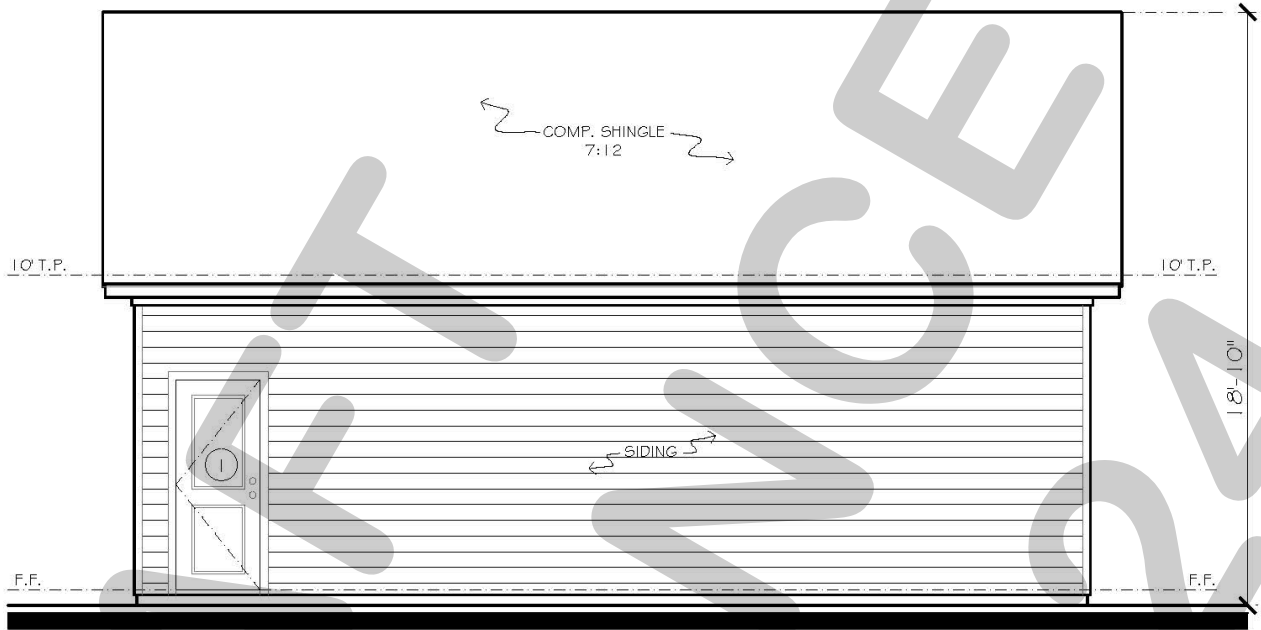


**REAR ELEVATION**

SCALE: 3/16" = 1'-0"

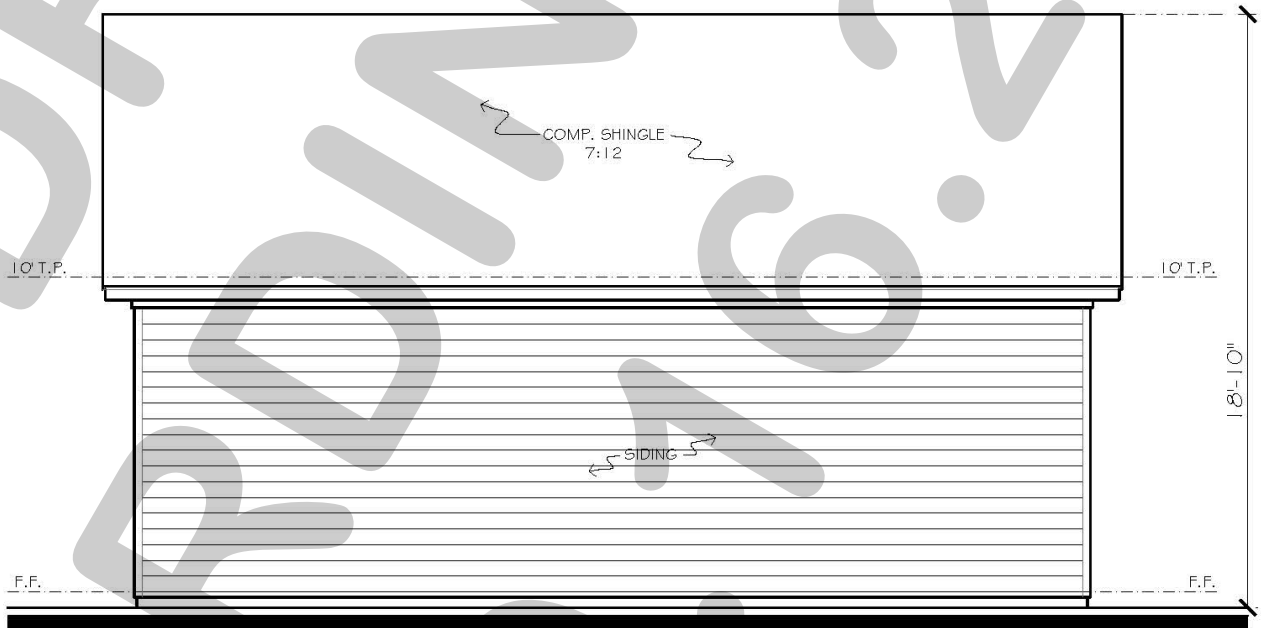


**Exhibit 'C':**  
**Building Elevations**



**RIGHT ELEVATION**

SCALE: 3/16" = 1'-0"



**LEFT ELEVATION**

SCALE: 3/16" = 1'-0"



DATE: October 14, 2024

TO: Travis Block  
921 N. Alamo Road  
Rockwall, TX 75087

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2024-036; *Specific Use Permit (SUP) for 921 N. Alamo Road*

Travis:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on October 7, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (A) The development of the *Subject Property* shall generally conform to the Site Plan and Survey as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (B) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
  - (C) The *Detached Garage* shall not exceed a maximum size of 750 SF.
  - (D) The *Detached Garage* shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
  - (E) The subject property shall be limited to a maximum of three (3) accessory structures.
  - (F) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
  - (G) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On September 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

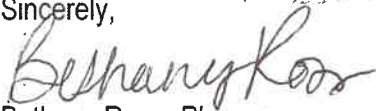
City Council

On September 16, 2024, the City Council approved a motion to approve the SUP by a vote of 4-1, with Council Member Jorif dissenting and Council Members Johannesen and Campbell absent.

On October 7, 2024, the City Council approved a motion to approve the SUP by a vote of 6-1, with Council Member Jorif dissenting.

Included with this letter is a copy of *Ordinance No. 24-39, S-342*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,

A handwritten signature in cursive script that reads "Bethany Ross".

Bethany Ross, *Planner*

City of Rockwall Planning and Zoning Department



CITY OF ROCKWALL

ORDINANCE NO. 24-39  
SPECIFIC USE PERMIT NO. S-342

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *DETACHED GARAGE* ON A 0.530-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF BLOCK 4, GARNER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Travis Block for the approval of a *Specific Use Permit (SUP)* for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 921 N. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

**2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property*

Z2024-036: SUP for a Detached Garage at  
921 N Alamo Road  
Ordinance No. 24-39; SUP # S-342

and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan and Survey* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- (3) The *Detached Garage* shall not exceed a maximum size of 750 SF.
- (4) The Detached Garage shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
- (5) The subject property shall be limited to a maximum of three (3) accessory structures.
- (6) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
- (7) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

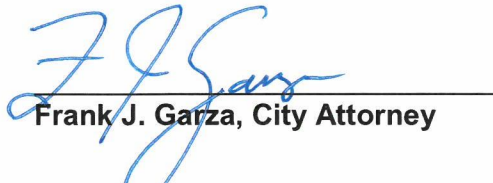
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.**

  
Trace Johannessen, Mayor

**ATTEST:**

  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

  
Frank J. Garza, City Attorney

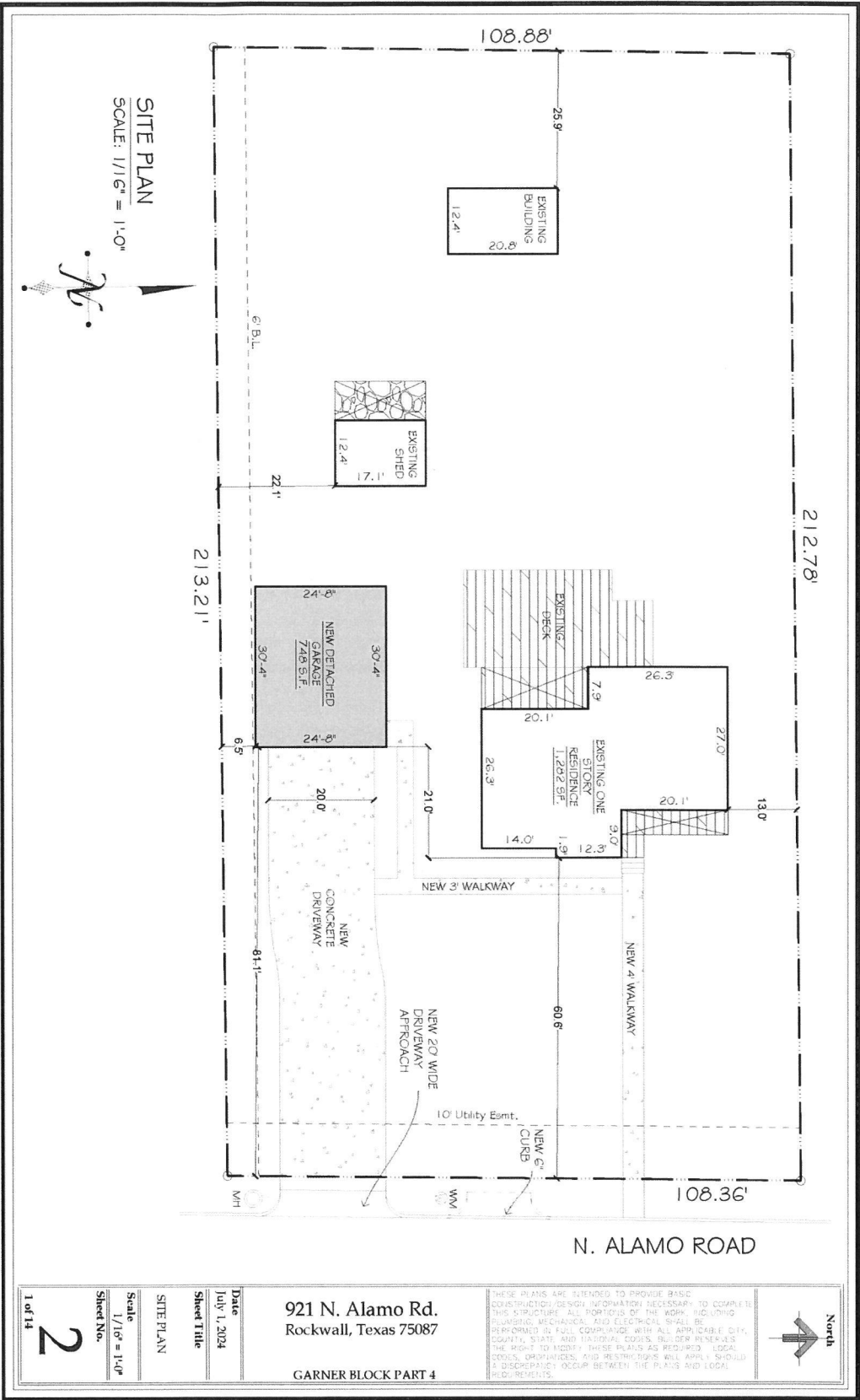
**1<sup>st</sup> Reading:** September 16, 2024

**2<sup>nd</sup> Reading:** October 7, 2024

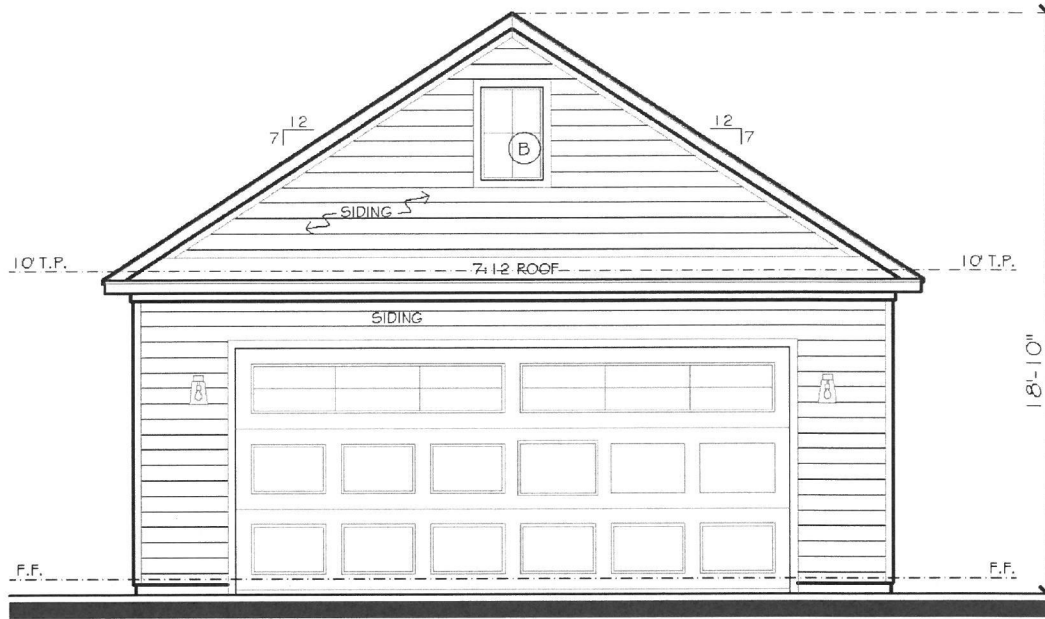




# Exhibit 'B': Residential Plot Plan

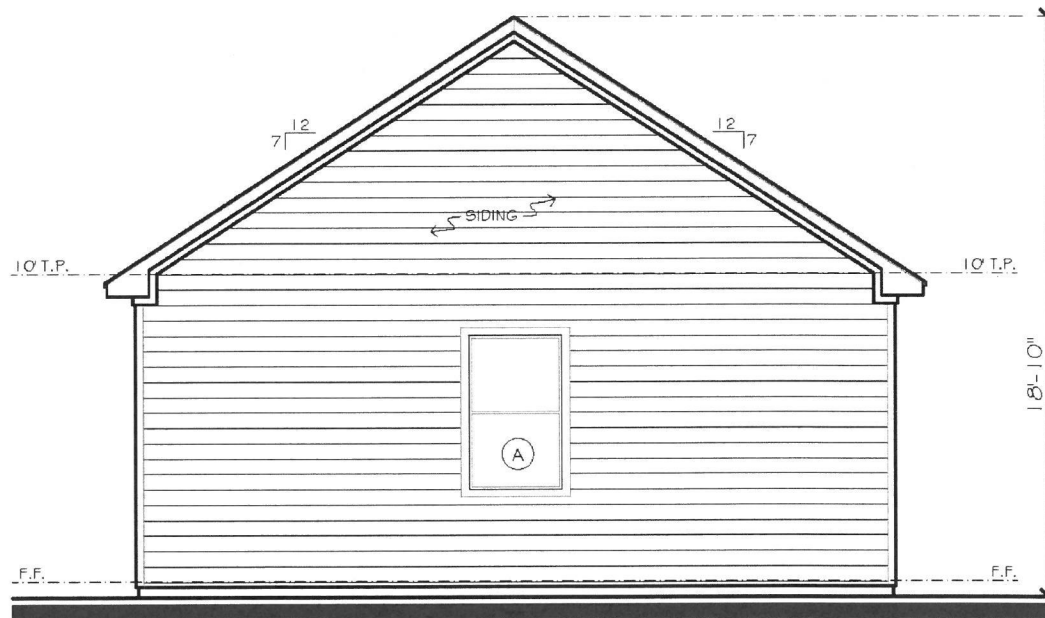


**Exhibit 'C':**  
*Building Elevations*



**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

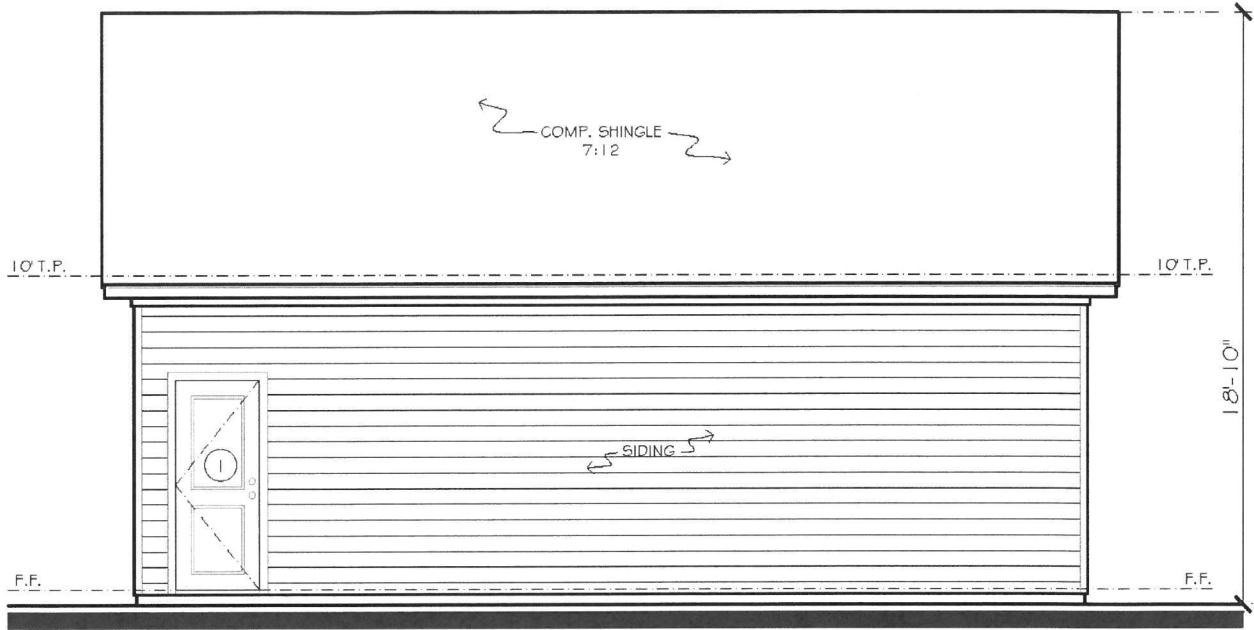


**REAR ELEVATION**

SCALE: 3/16" = 1'-0"

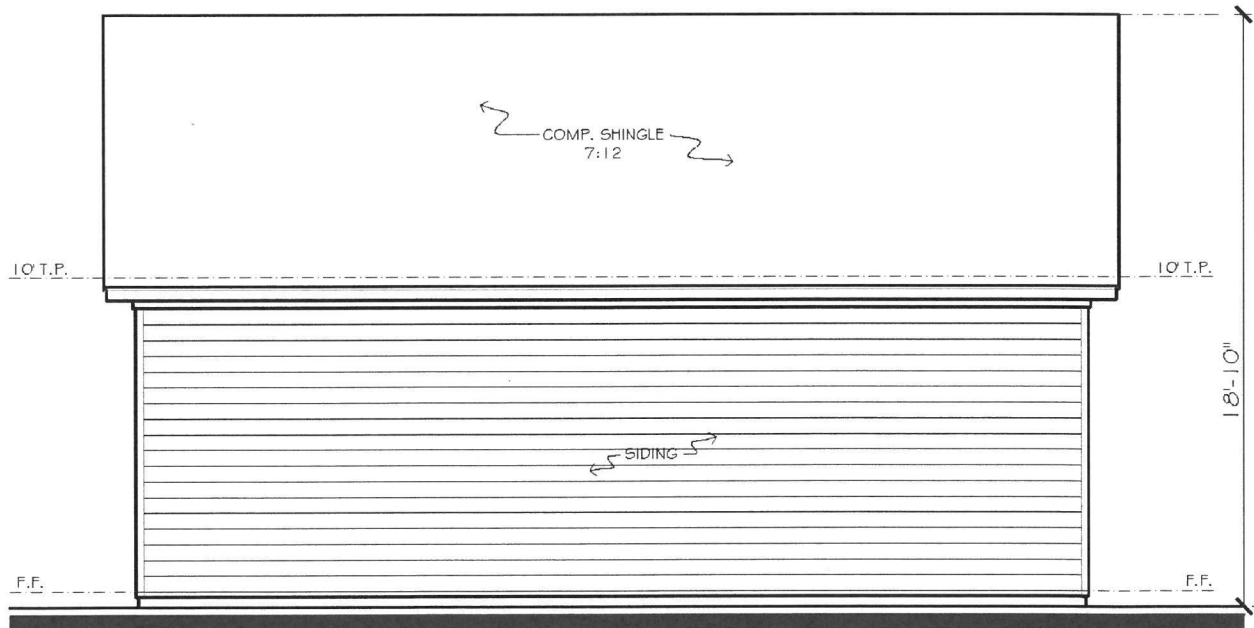


**Exhibit 'C':**  
*Building Elevations*



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"