



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2200 Ridge Road, Rockwall TX 75087

SUBDIVISION Sky Ridge Addition

LOT 8 BLOCK A

GENERAL LOCATION NW of YellowJacket & Ridge Road Intersection

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial District

CURRENT USE None

PROPOSED ZONING

PROPOSED USE Nail Salon & General Retail

ACREAGE 0.976

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Beauty Legacy, LLC

APPLICANT Henry Nguyen Consulting, LLC

CONTACT PERSON Lien Nguyen

CONTACT PERSON Henry Nguyen

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

NOTARY VERIFICATION [REQUIRED]

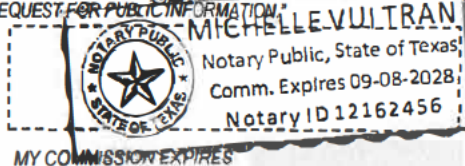
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Lien T. Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

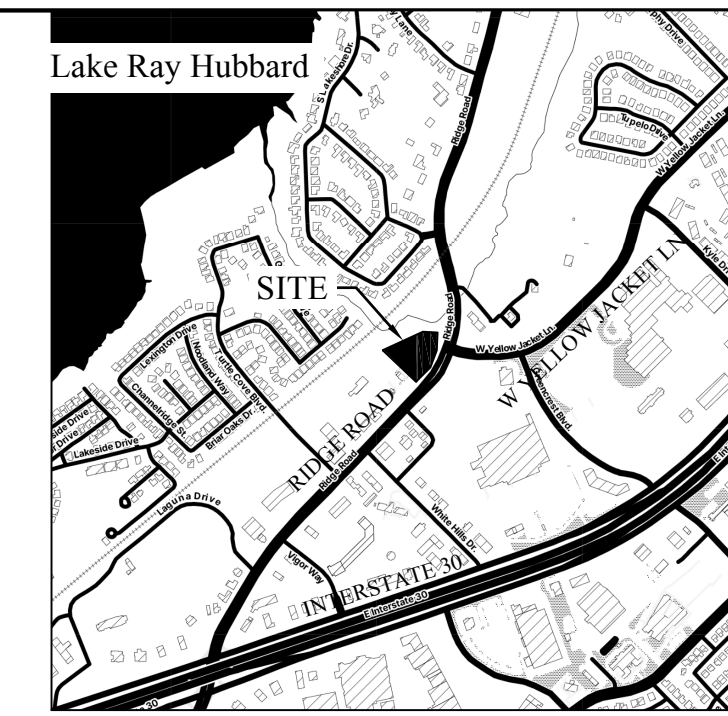
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF December, 2025

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





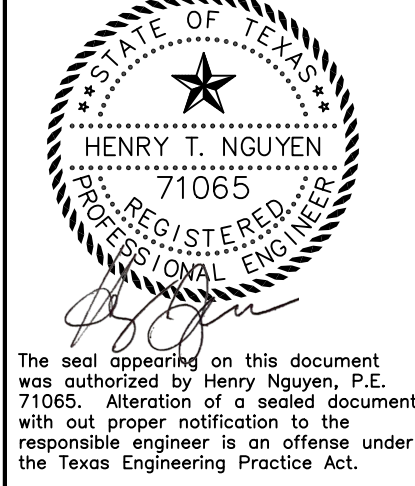
VICINITY MAP (NTS)

Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
 Texas Registered Engineering Firm F-16239

Approved	Date	Description

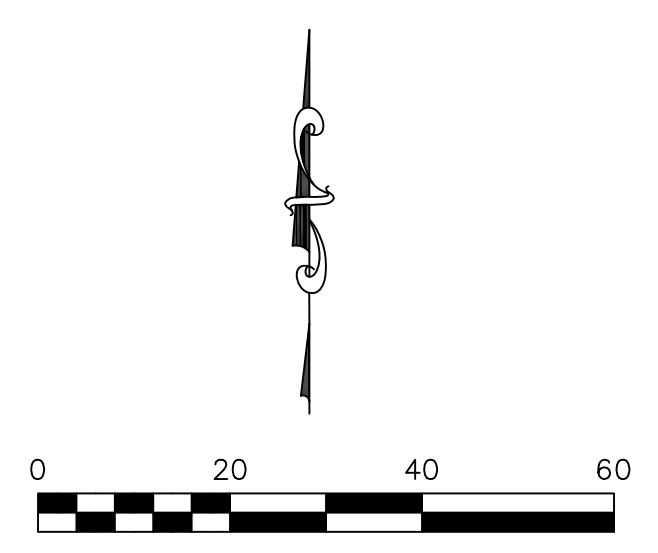
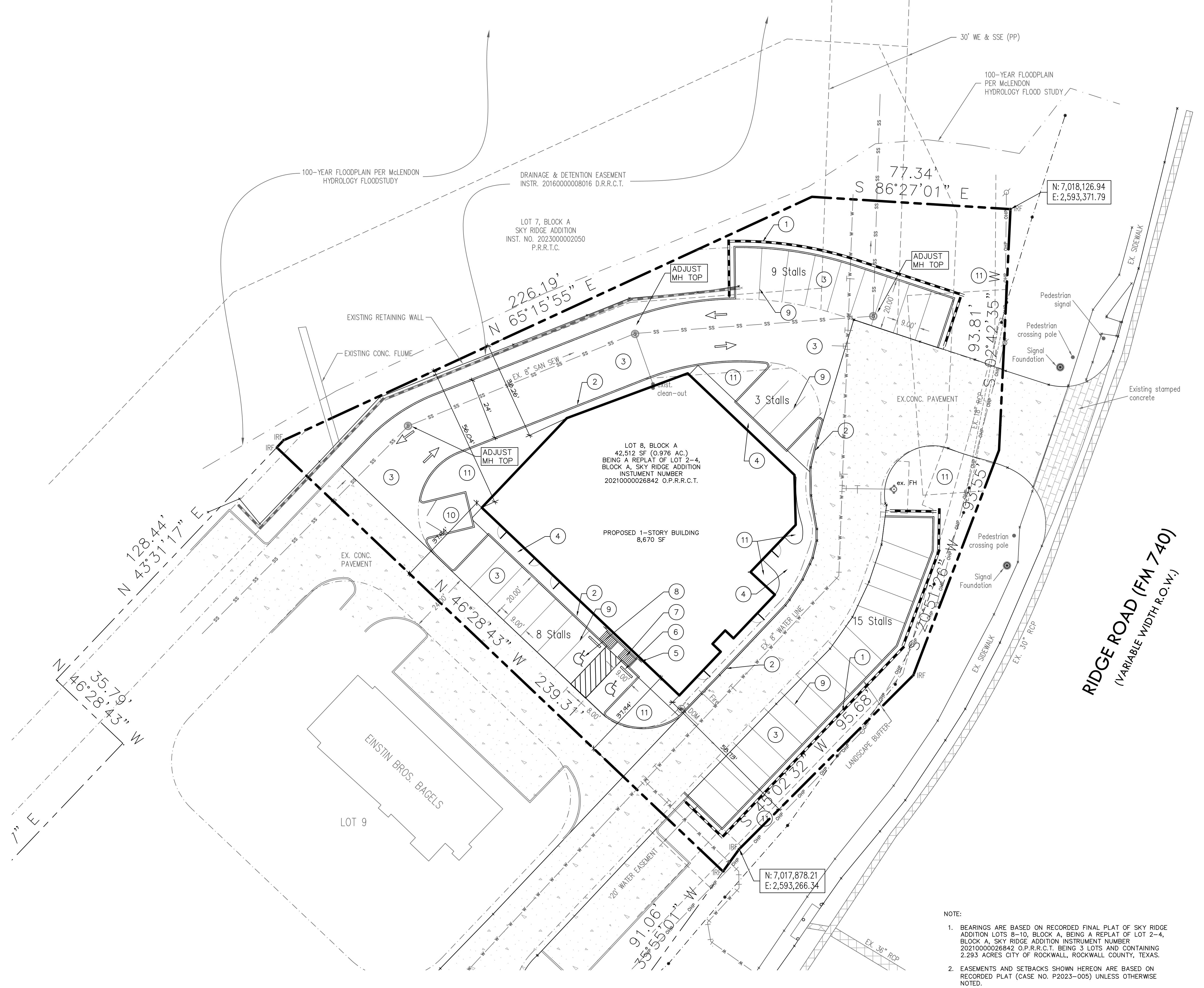
SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	Job#
			09/10/2025	25001



The seal appearing on this document was authorized by Henry Nguyen, P.E. 71065. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

SITE PLAN



SITE DATA

LOT AREA	42,512 SF
BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	8,670 SF
FLOOR AREA RATIO	0.2039
TOTAL IMPERVIOUS AREA	31,613 SF (74% COVERAGE)
LANDSCAPE AREA	10,899 SF (26% COVERAGE)
EXISTING ZONING	C - COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (8500/250=34 required)
PROVIDED PARKING	35 SPACES

KEYNOTES

- ① CONSTRUCT RETAINING WALL
- ② CONSTRUCT MONOLITHIC CONCRETE CURB
- ③ INSTALL CONCRETE PAVEMENT
- ④ CONSTRUCT 4" THICK CONCRETE SIDEWALK
- ⑤ INSTALL HANDICAP SIGN
- ⑥ INSTALL PRECAST CONCRETE WHEELSTOPS
- ⑦ CONSTRUCT STANDARD ADA RAMP
- ⑧ PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
- ⑨ PAINT 4" SOLID STRIPE - WHITE
- ⑩ CONSTRUCT 8' TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
- ⑪ LANDSCAPE AREA

LEGEND

- EXISTING SIGNAL FOUNDATION
- ◆ EXISTING FIRE HYDRANT
- ◇ EXISTING SANITARY CLEANOUT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING POWER POLE
- OHP — OHP — OHP — EXISTING OVERHEAD POWER LINE
- W — W — W — W — W — EXISTING WATER LINE
- SS — SS — SS — EXISTING SANITARY SEWER LINE
- ▨ EXISTING CONCRETE PAVEMENT

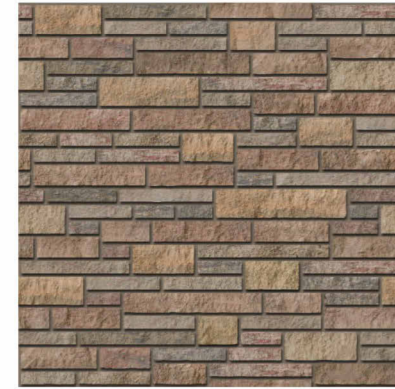
NOTE:

- BEARINGS ARE BASED ON RECORDED FINAL PLAT OF SKY RIDGE ADDITION LOTS 8-10, BLOCK A, BEING A REPLAT OF LOT 2-4, BLOCK A, SKY RIDGE ADDITION INSTRUMENT NUMBER 20210000026842, O.P.R.R.C.T. BEING 3 LOTS AND CONTAINING 2.293 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.
- EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED ON RECORDED PLAT (CASE NO. P2023-005) UNLESS OTHERWISE NOTED.
- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB.

Sep 10 2025 2:08pm hng
 C:\Users\hng\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKT RIDGE ADDITION\B-SHEET_SETS\CS-SITE PLAN.dwg

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKEY MOUNTAIN



STACKED STONE
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - SOUTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,361.15	66.64%
OPENINGS, WINDOWS	1	681.43	33.36%
TOTAL WALL AREA		2,042.58	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: TT, NH
DRAWN BY: NH
CHECKED BY: TT

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SCALES AS STATED HEREIN ARE VALID ON THE ORIGINAL DRAWING. ONLY CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION DISCOVERED.

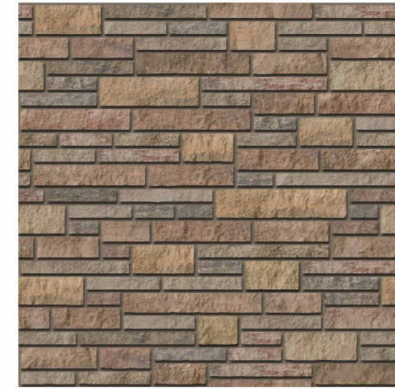
BUILDING ELEVATIONS
A200



1 SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



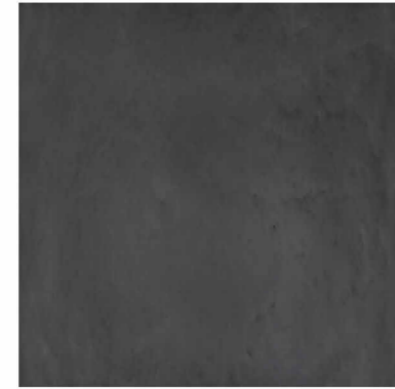
STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - EAST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,665.53	76.06%
OPENINGS, WINDOWS	1	524.28	23.94%
TOTAL WALL AREA		2,189.81	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VANEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VANEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHTECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100



1 EAST ELEVATION
1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

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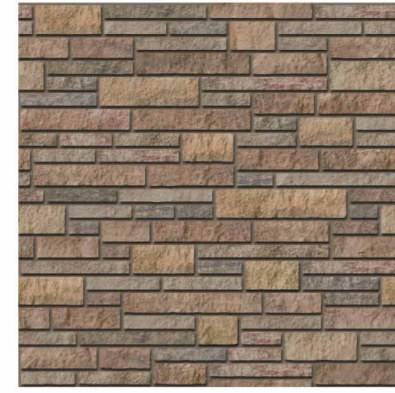
DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A201

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - WEST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,499.26	69.26%
WINDOWS, CLEAR GLASS	1	665.38	30.74%
TOTAL WALL AREA		2,164.64	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



1 WEST ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

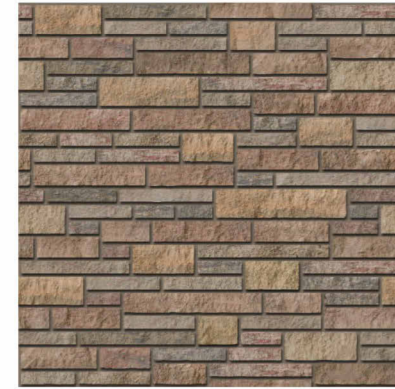
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BUILDING ELEVATIONS
A202

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN

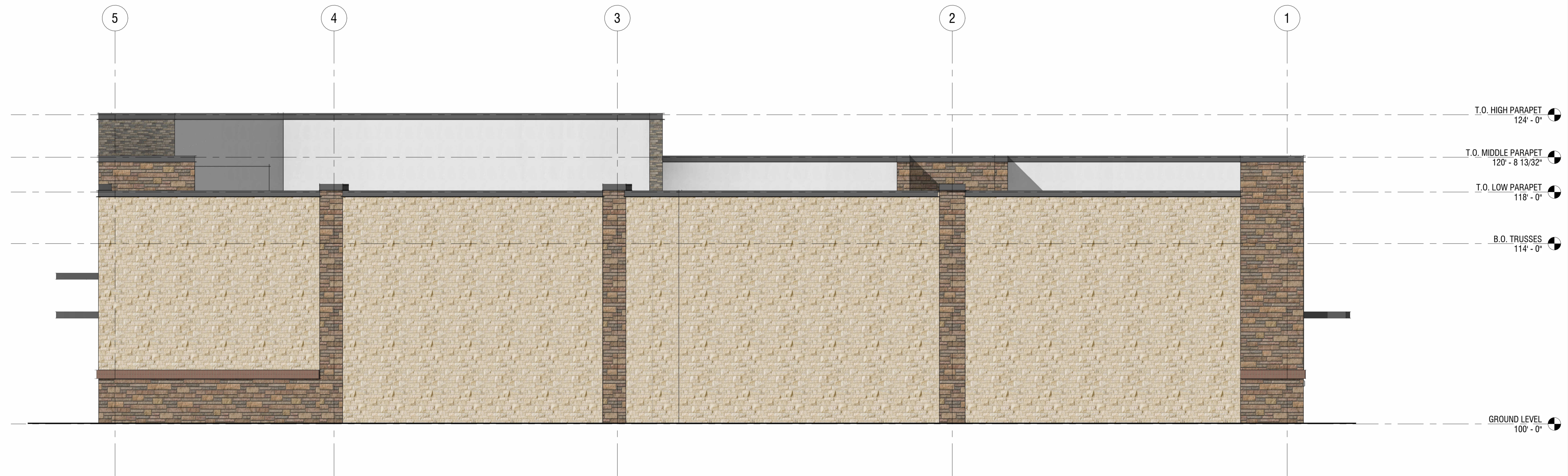


STONE VANEER
GEORGIA CITADEL
INDIANA

EXTERIOR MATERIALS - NORTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,648.32	100%
WINDOWS, CLEAR GLASS	1	0	0%
TOTAL WALL AREA		1,648.32	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VANEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VANEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



② NORTH ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A203



SKYRIDGE RETAIL BUILDING

LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

ARCHITECTURAL PRELIMINARY DESIGN

ARCHITECT
B + A ARCHITECTURE
100 W 31ST STREET, SUITE 100
KANSAS CITY, MISSOURI 64108
PH: 816-753-6100

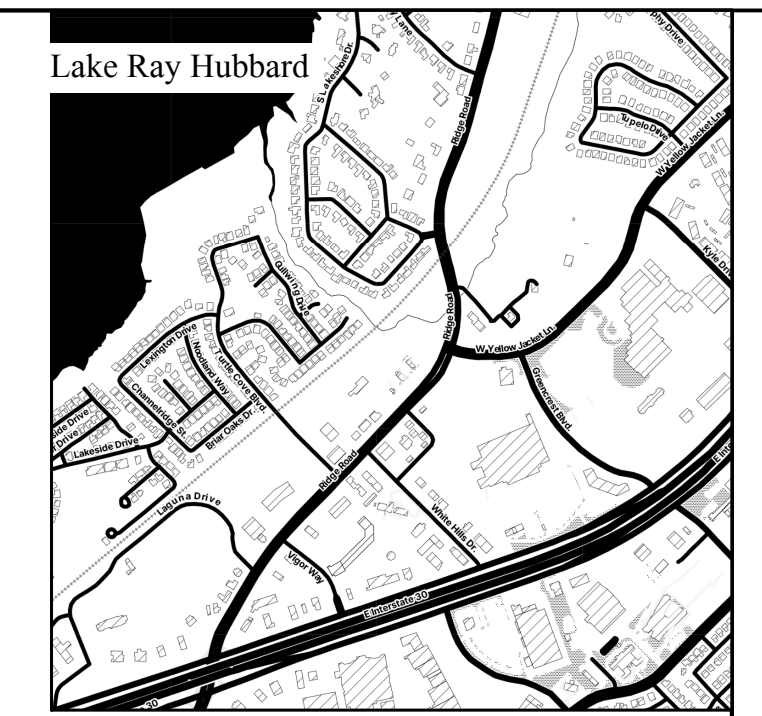


ISSUED DATE: WEDNESDAY, AUGUST 27TH 2025

DRAWINGS INDEX:

- A001: SITE PLAN
- A002: FLOOR PLAN
- A200-203: ELEVATIONS
- A700-704: RENDERINGS



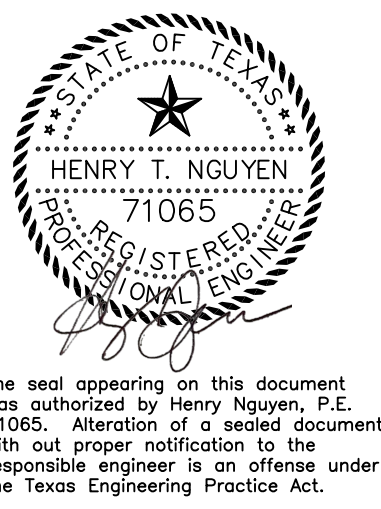


Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
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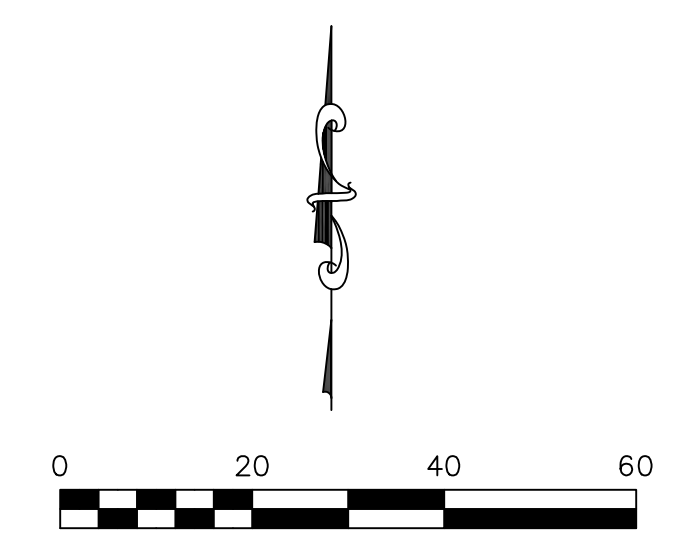
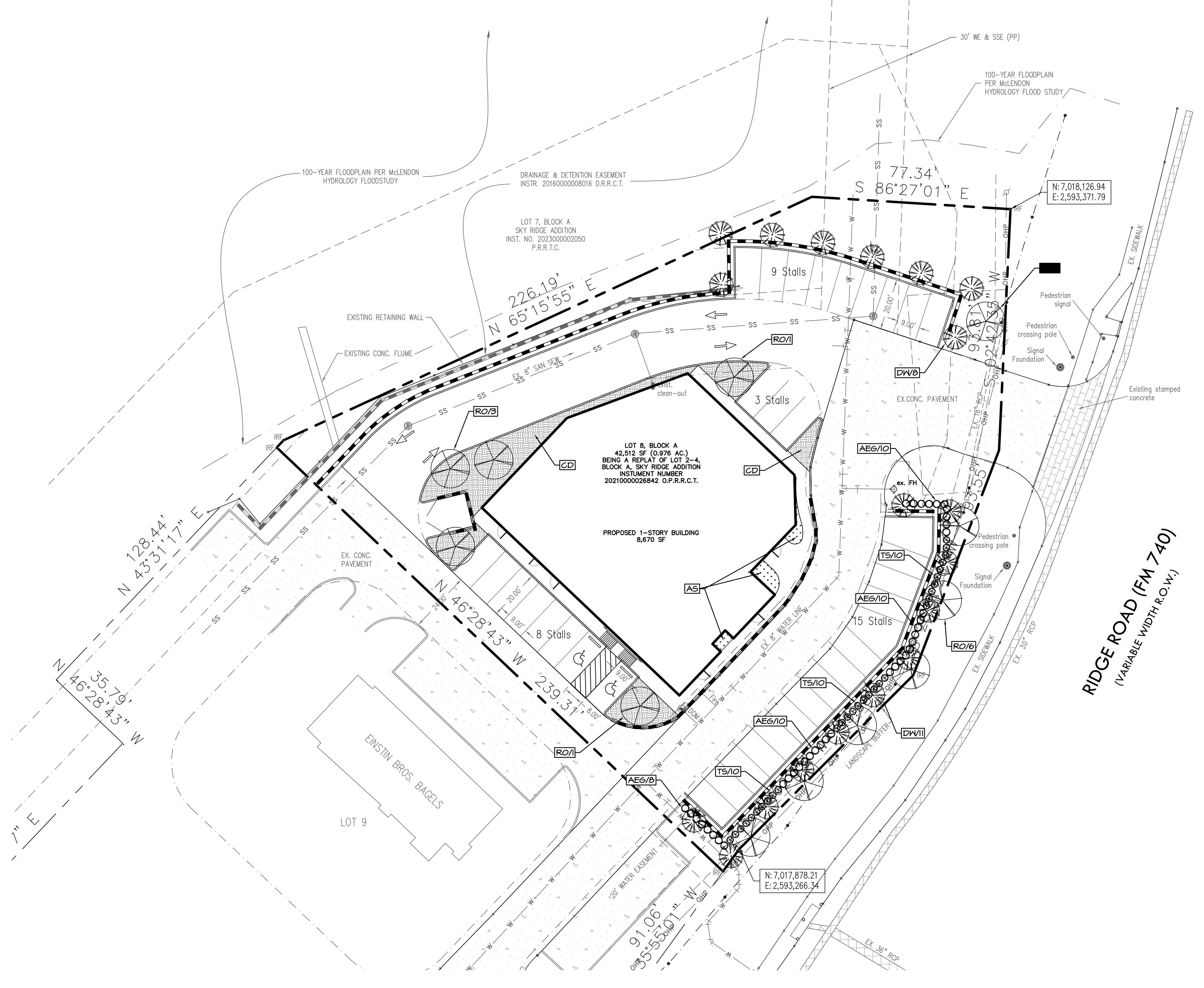
REVISIONS	Date	Description	Approved

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	
DRAWN			
DATE	08/28/2025		
			Job#: 25001



LANDSCAPE PLAN



1. Overall Site Landscaping Percentage

- For Commercial Districts, the required landscaping is 20% of the net lot area.

Required	Provided
20% x 42,512 sf = 8,502.40 sf	10,899 sf (26%)

2. Perimeter Landscaping (Buffers)

A. Street Frontage Landscaping:

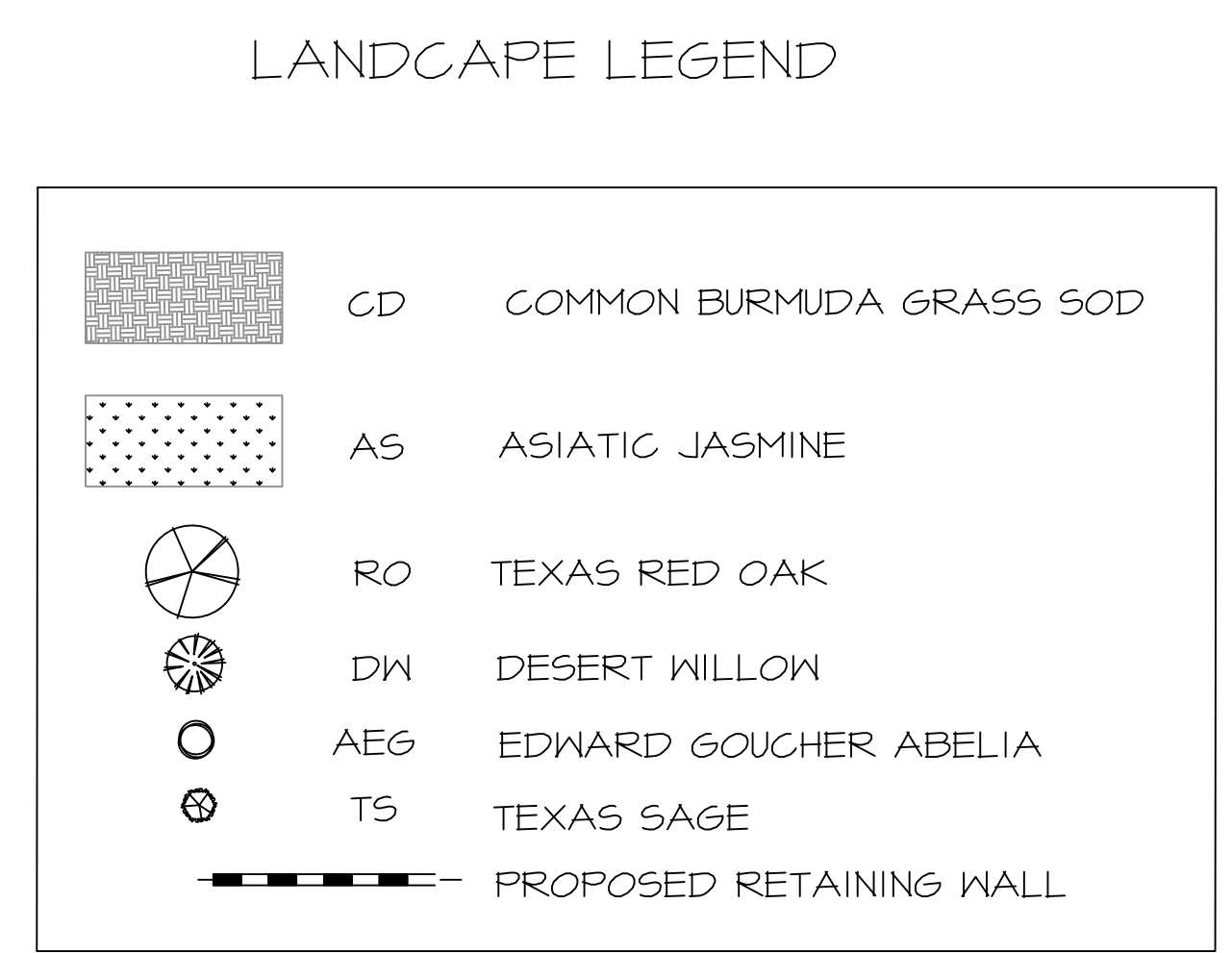
- Requirement: 10 feet along all public street frontages.
- Trees: Typically, one (1) large canopy tree per 50 linear feet of street frontage.
- Shrubs/Groundcover: The remaining area within the landscape strip must be covered with shrubs, groundcover, or turf.

Required	Provided
10'	10'
Frontage = 283.04 LF/50 = 6 Trees	26
3 shrubs/10 LF x 283.04 LF = 85 Shrubs	85

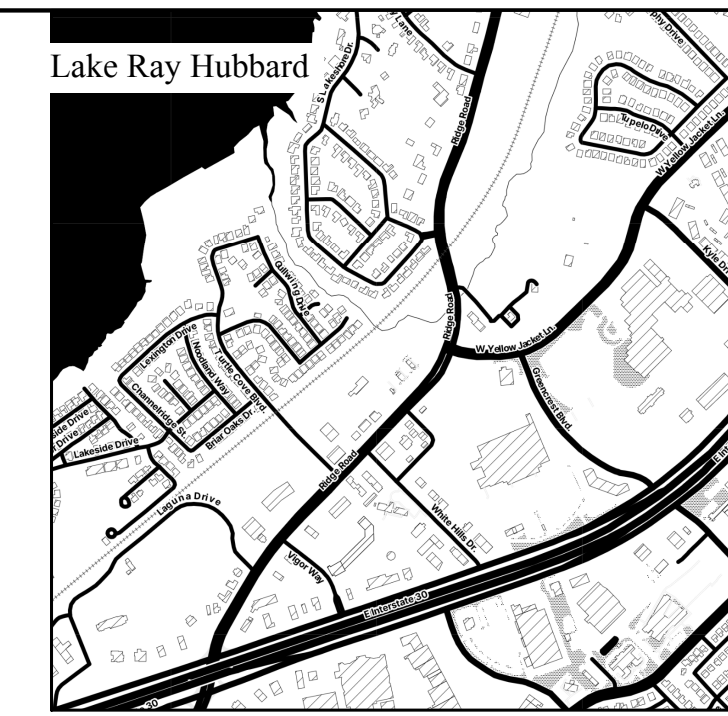
3. Interior Parking Lot Landscaping

- Trees:
 - Number/Coverage: one (1) shade tree per 10 number of parking spaces (1/10 x 35 spaces = 4 trees), or 20% of the parking lot area (20% x 5,760 sf = 1,152 sf).
 - Island Requirements: Landscaped islands are typically required at the end of every parking row and within longer rows (e.g., for every 10-15 spaces). These islands must accommodate at least one large canopy tree.
- Shrubs/Groundcover: All areas within interior landscape islands and strips must be fully planted with shrubs, groundcover, or turf.

Required	Provided
1 tree/10 parking spaces x 35 = 4 trees	5
5,760 sf x 20% = 1,152 sf	1,985 sf (34%)



AUG 28, 2025 10:16am hnguyen
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Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave., Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
 Texas Registered Engineering Firm F-16239

GENERAL LAWN NOTES

1. ALL LANDSCAPE/TURF AREAS TO BE INSTALLED WITH AUTOMATIC IRRIGATION SYSTEM MEETING CITY AND TCEQ STANDARD.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 4" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR TO APPLY 4" CLEAN TOPSOIL TO ALL TURF AREAS PRIOR TO INSTALLATION OF SOD OR HYDROMULCH.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDINGS AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
5. LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE.
6. REMOVE ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
7. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
8. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
9. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
10. WATER SOD THOROUGHLY AS SOD REESTABLISHMENT PROGRESSES.
11. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDA GRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

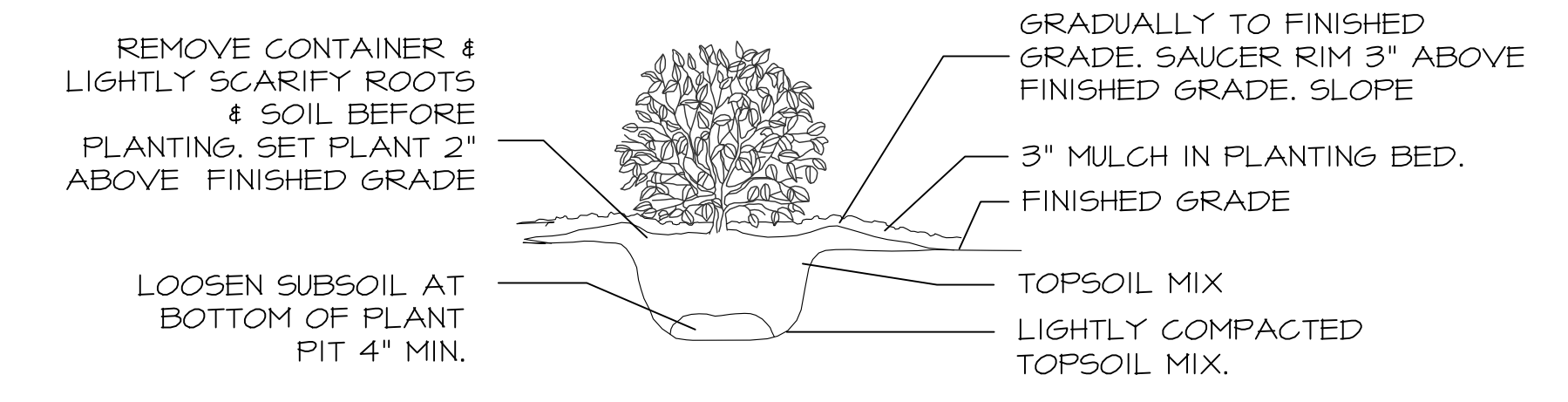
CUSTOM PLANTING SOIL:

AMENDED SOIL (IN SHRUB PLANTING BEDS & AT TREES)
 PRODUCT: LANDSCAPERS BLEND (50/50)
 DEPTH: 6" (TILLED INTO 6" OF EXISTING SOIL FOR A TOTAL DEPTH OF 12")
 SUPPLIER: SOIL BUILDING SYSTEMS
 CONTACT: 972-831-8181
 INSTALLATION: PER SOIL BUILDING SYSTEMS SPECIFICATIONS

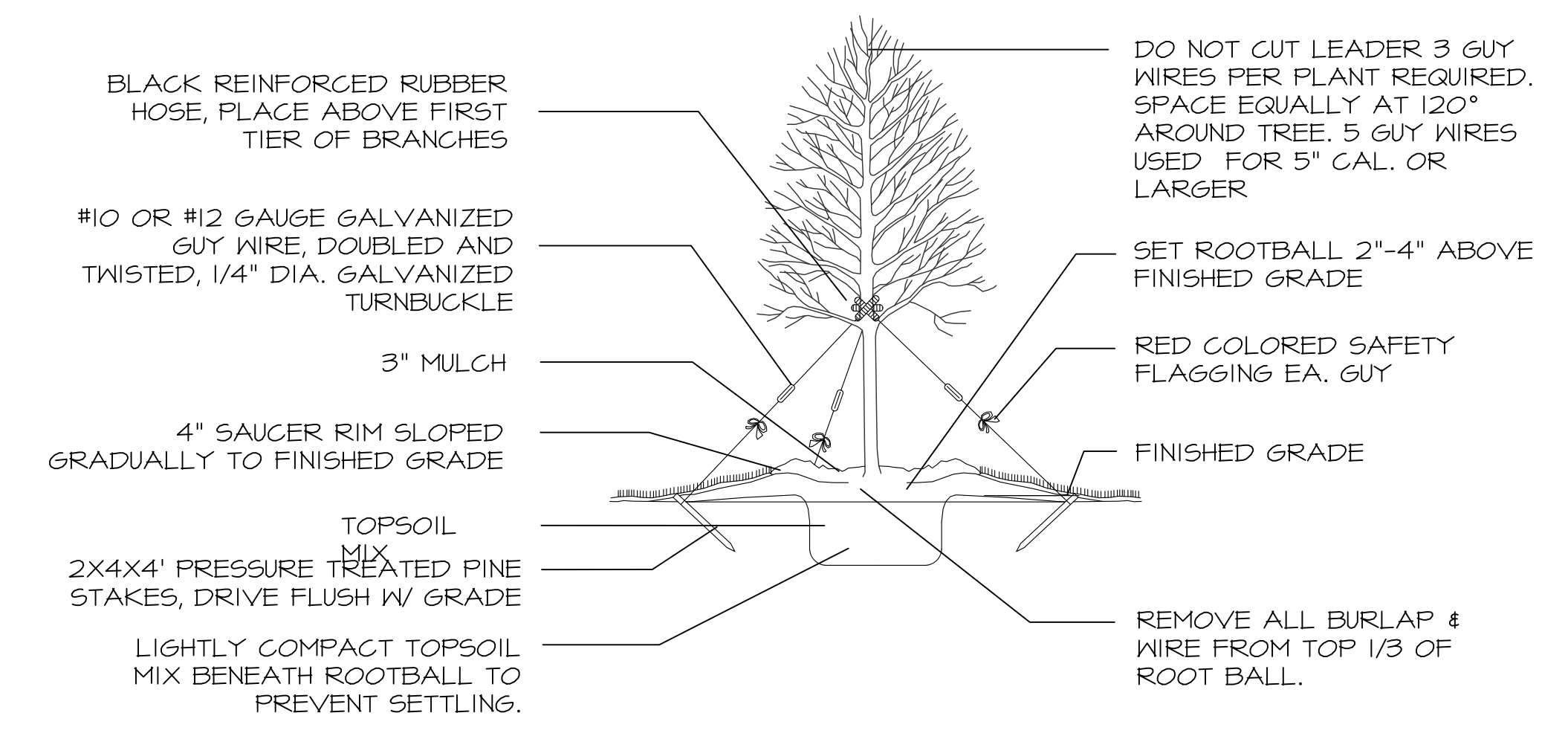
STEEL EDGING:

METAL EDGING TO SEPARATE PLANTING BEDS FROM ADJACENT TURF
 PRODUCT: DURAEEDGE
 SIZE: 3/16" THICK x 4" HEIGHT x 16' LENGTH
 NOTES: METAL EDGING SHALL NOT BE INSTALLED PARALLEL AGAINST CURBS AND SIDEWALKS. METAL EDGING SHALL BE TRIMMED WHERE IT ABUTS SIDEWALKS AND CURBS TO AVOID SHARP EDGES.

PLANT LIST						
SYMBOL	BOTANIC NAME	COMMON NAME	QTY.	UNIT	SIZE	NOTES
GROUND COVER						
GD	CYNODON DACTYLON	COMMON BERMUDA GRASS SOD	1820	SF		SOLID SOD PER INDUSTRY STANDARD
AS	TRACHELOSPERMUM	ASITIC JASMINE	165	SF		
TREES AND SHRUBS						
RO	QUERCUS BUCKLEYI	TEXAS RED OAK	12	EA	4" CAL	12' HEIGHT SPACING PER PLAN
DN	CHILOPSIS LINEARIS	DESERT WILLOW	14	EA	4" CAL	12' HEIGHT SPACING PER PLAN
AEG	ABELIA X EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	38	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.
TS	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	48	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.



A SHRUB PLANTING DETAIL
 SCALE: NONE

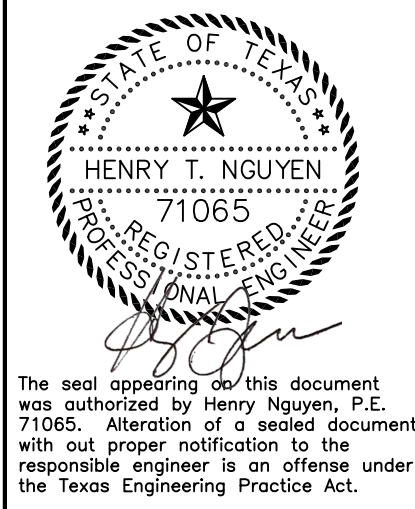


B TREE PLANTING DETAIL
 SCALE: NONE

REVISIONS	
Date	Description
Approved	

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	08/28/2025	Job#: 25001
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LANDSCAPE PLAN

AUG 28 2025 10:11am hnguyen
 C:\Users\hnguyen\OneDrive\My Documents\Projects\Active\25001-SKT RIDGE ADDITION\B-SHEET-SHETL-SETS\B2-LANDSCAPE.dwg

SELECTED OPTION: INCLUDING 43 PEDICURE CHAIRS & 24 MANICURE STATIONS



ARCHITECT
B + A ARCHITECTURE
 600 BROADWAY BLVD, SUITE 290
 KANSAS CITY, MO 64105
 PH: 816-753-6100



SKYRIDGE RETAIL BUILDING
 LOT 2 - 2200 RIDGE RD. ROCKWALL, TX 75087

SEAL

NOT FOR CONSTRUCTION

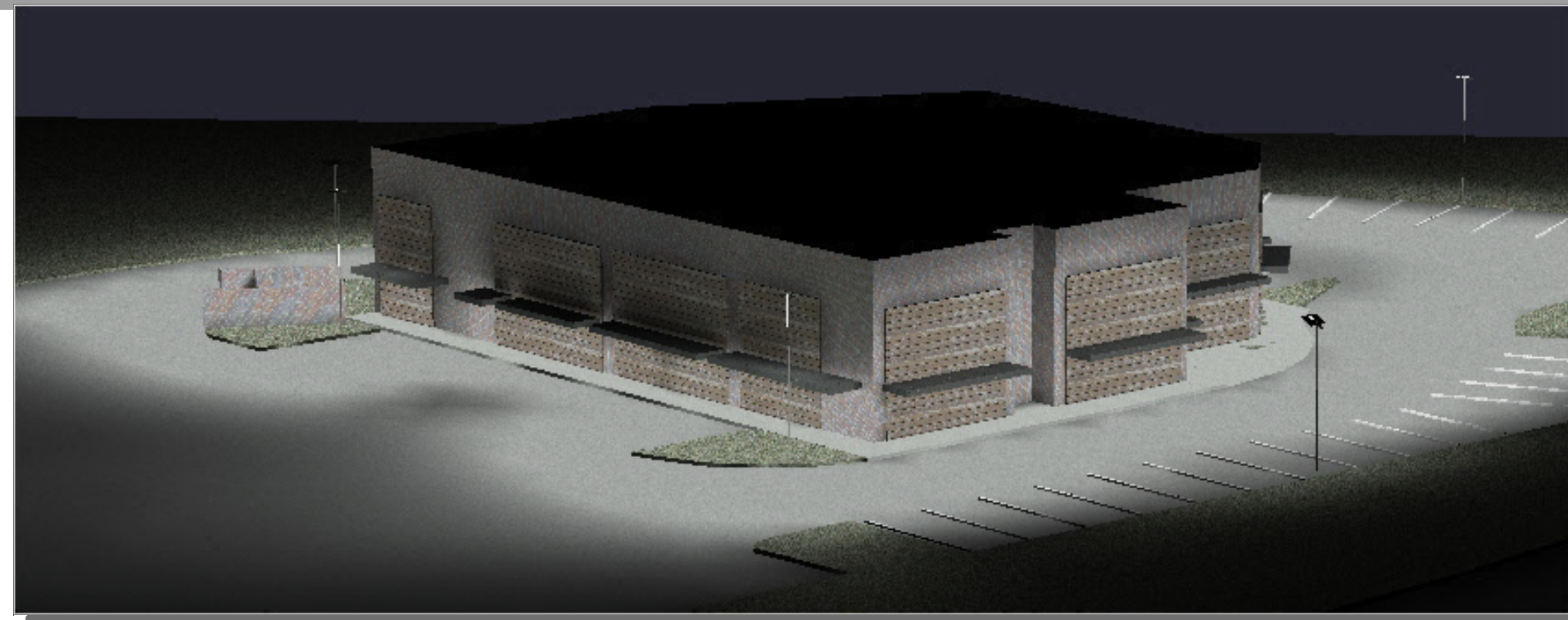
Issue Date: 08/27/2025

NO.	REVISION	DATE

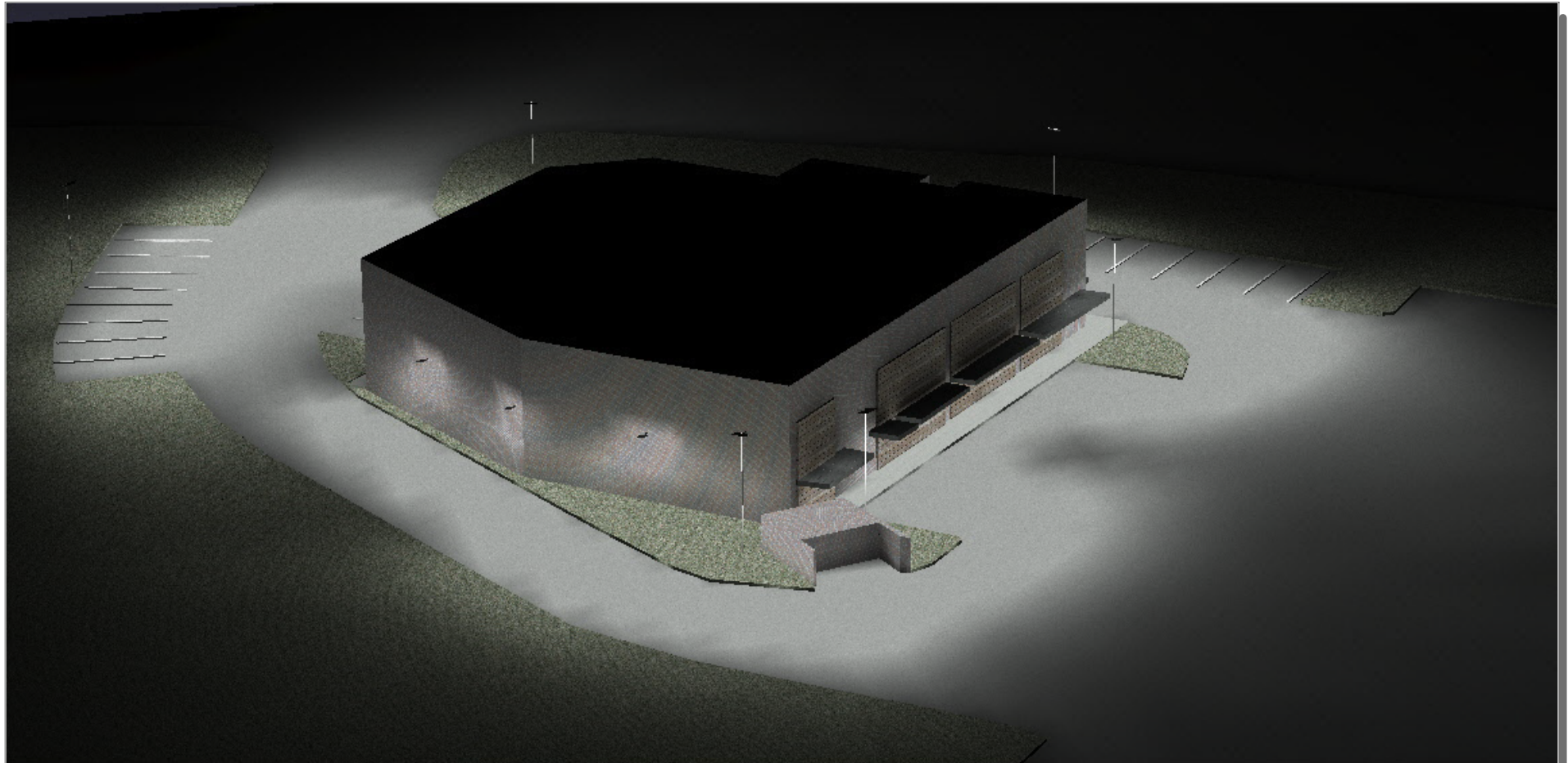
DESIGNED BY: NH,TT
 DRAWN BY: NH
 CHECKED BY: TT

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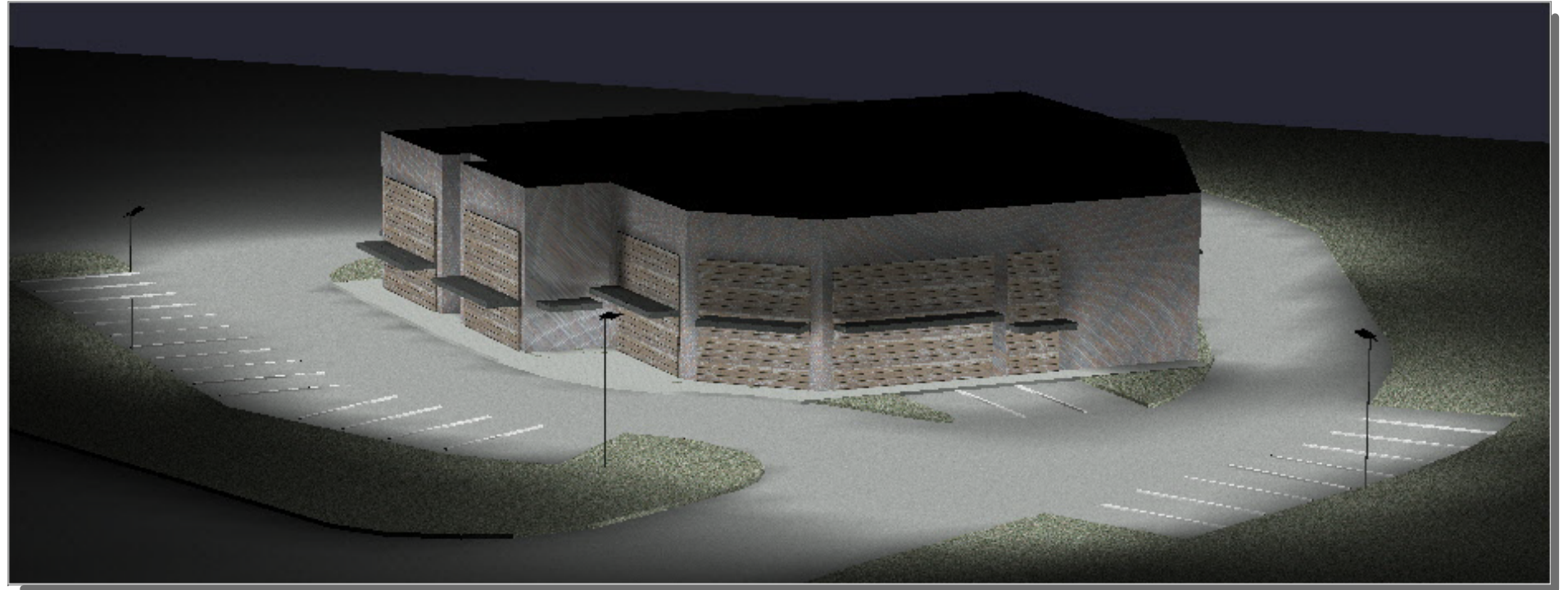
1 FLOOR PLAN
 3/16" = 1'-0"



RENDERED VIEW FROM THE SOUTH

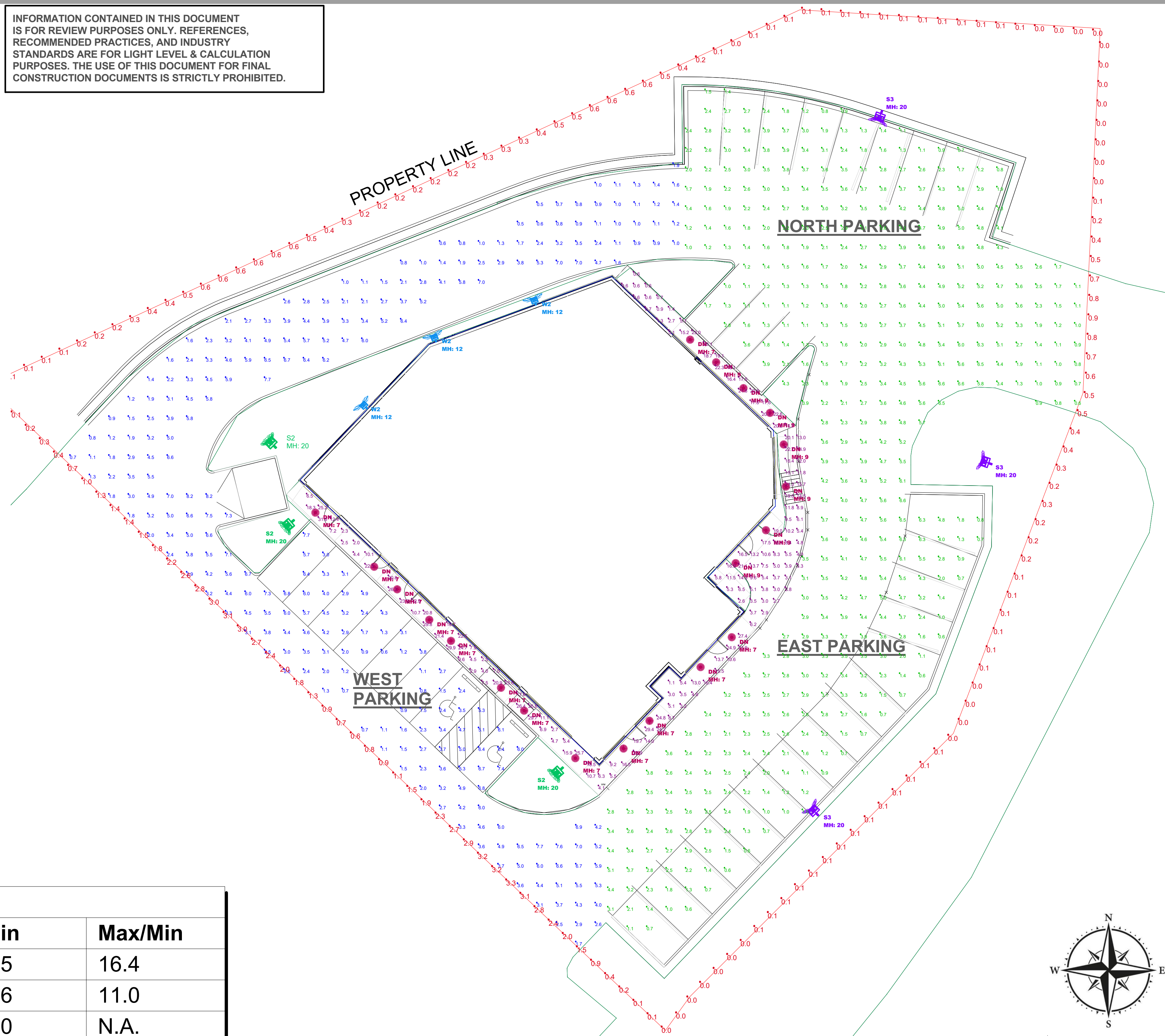


RENDERED VIEW FROM THE NORTH-WEST



RENDERING OF THE ENTRANCE, EAST SIDE

INFORMATION CONTAINED IN THIS DOCUMENT IS FOR REVIEW PURPOSES ONLY. REFERENCES, RECOMMENDED PRACTICES, AND INDUSTRY STANDARDS ARE FOR LIGHT LEVEL & CALCULATION PURPOSES. THE USE OF THIS DOCUMENT FOR FINAL CONSTRUCTION DOCUMENTS IS STRICTLY PROHIBITED.



SITE LIGHTING PHOTOMETRICS

CALCULATION SUMMARY IN FOOT-CANDLES				
AREA	Avg	Max	Min	Max/Min
NORTH & WEST PARKING	3.5	8.2	0.5	16.4
NORTH AND EAST PARKING	2.9	6.6	0.6	11.0
PROPERTY LINE	0.6	3.3	0.0	N.A.
SIDEWALK	12.1	31.6	0.6	52.7

LIGHTING FIXTURE SCHEDULE							
SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS
	DN	20	NU4-RD-SW-30LM-30K-LOPRO	ALPHABET-4 IN- ROUND-3000°K-LOW PROFILE HOUSING	0.900	26.72	2234
	S2	3	VP-2-320L-185-3K7-2-HSS-270-B	BEACON VIPER-MICROSTRIKE-3000°K-TYPE II OPTICS	0.900	185.9	13348
	S3	3	VP-2-320L-235-3K7-3-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE III -BACK CONTROL	0.900	238	18264
	W2	3	VPW2-18L-39-3K7-2	BEACON VIPER-WALL PACK-3000°K-TYPE II OPTICS	0.900	38.8	4683

ASSUMPTIONS:
 Illuminance:
 Parking Lot: 2-3 FC Avg.
 Min. 0.5
 Property Line: 1.0 or less
 Soffit Down Lights:
 Mount Centered in Canopy
 (estimated at 7'-0" & 9'-0")
 Wall Mounted:
 12'-0"
 Pole Mounted Fixtures:
 20'-0" Pole and Base
 Calculations Points @ Grade



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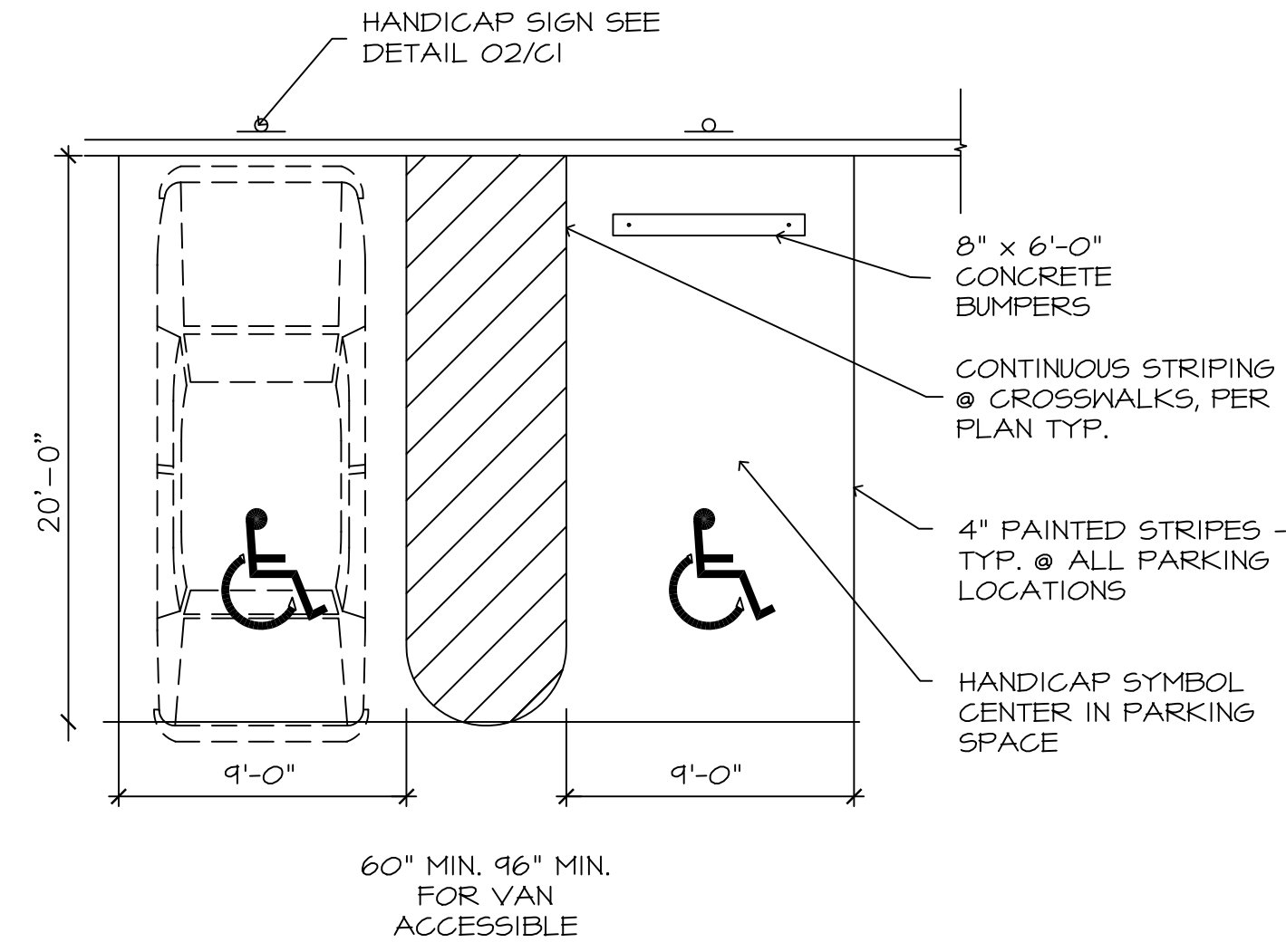


103 E 18th Avenue
 North Kansas City, MO 64116
 Phone: (816) 581-6300

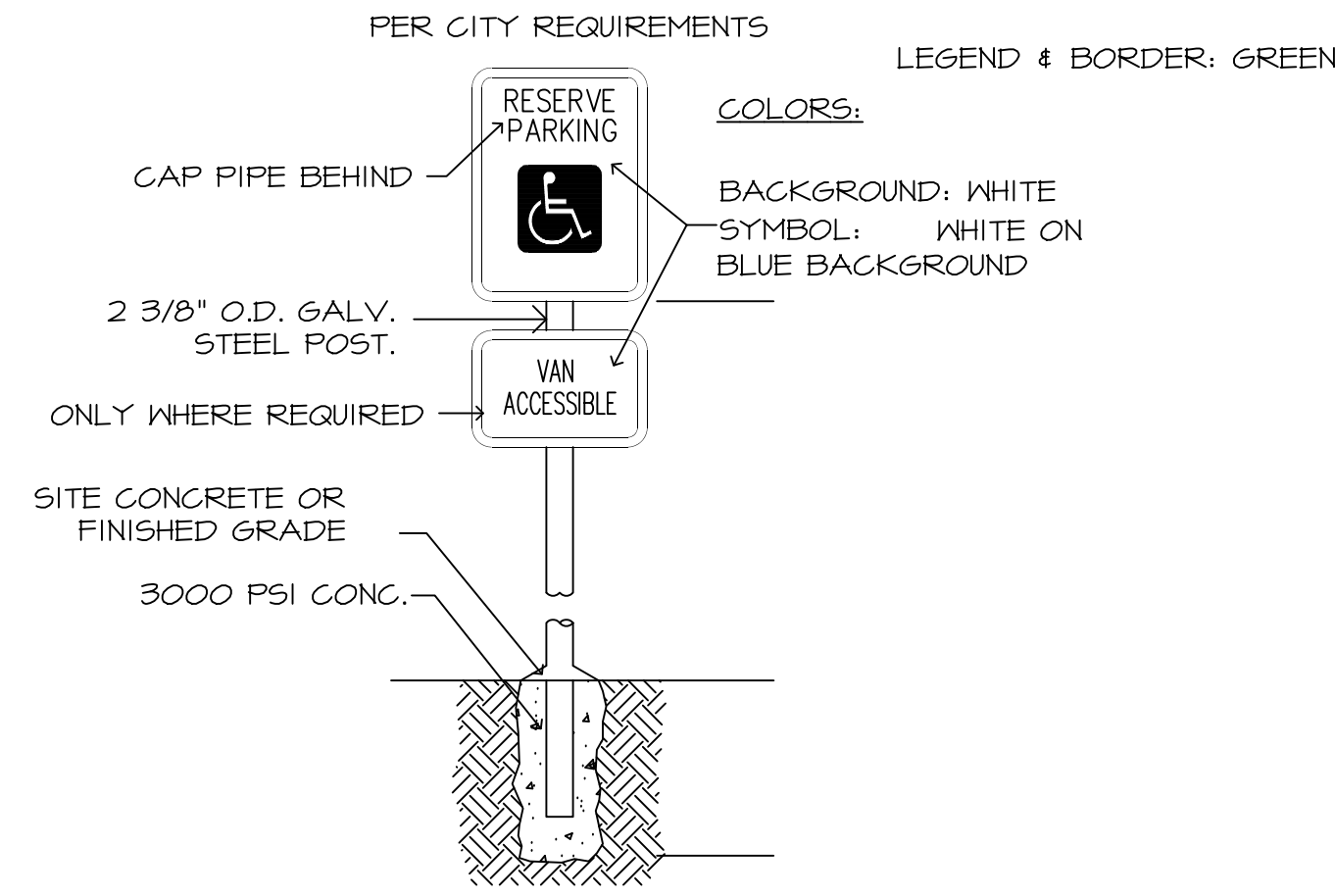
SKYRIDGE RETAIL
 LOT 2 - 2200 RIDGE RD,
 ROCKWALL, TX 75087

CALC-0242-SKYRIDGE RETAIL-ROCKWALL-TX

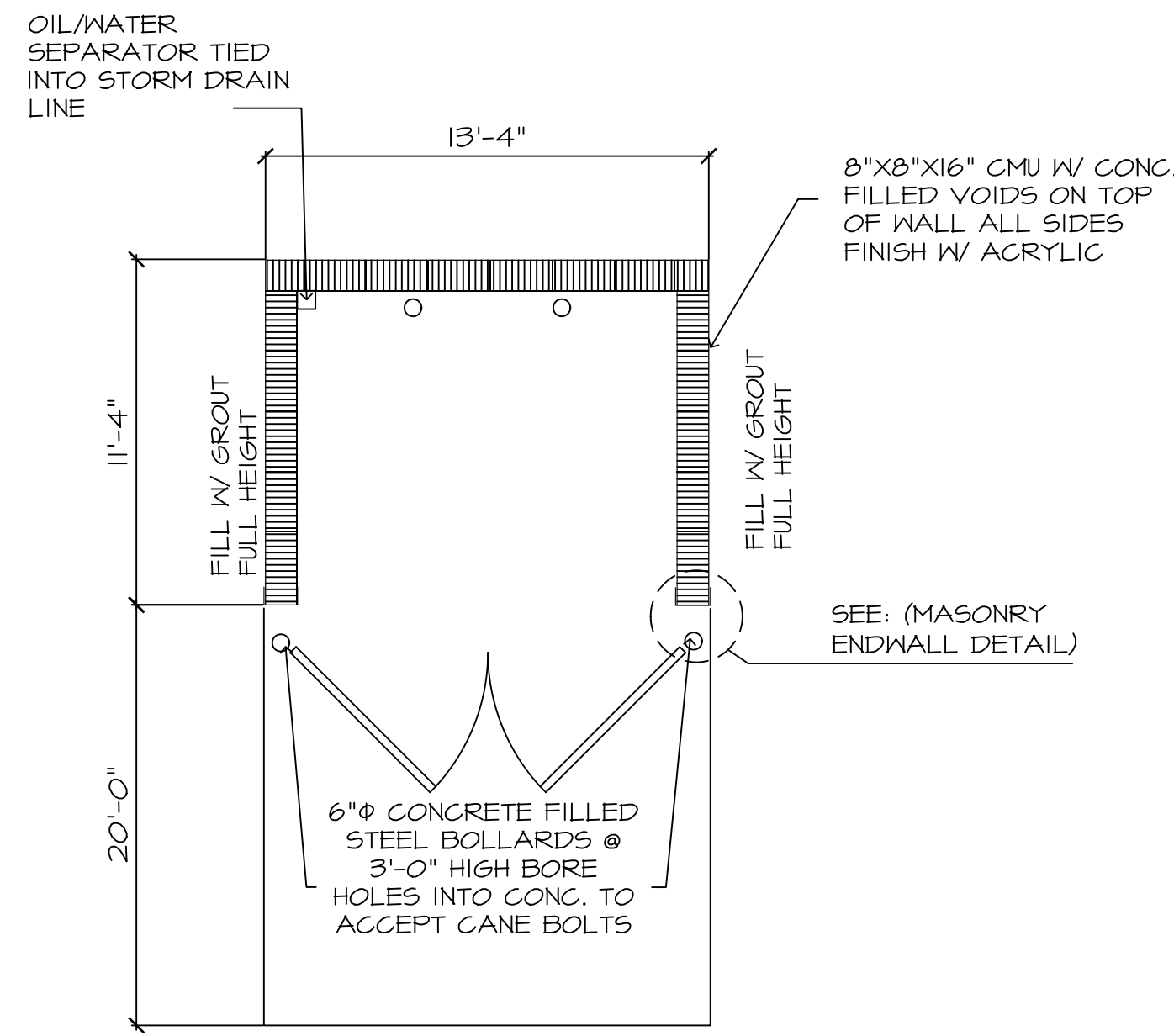
DESIGNED BY:	DJT
REVISIONS	
DATE:	8/27/2025



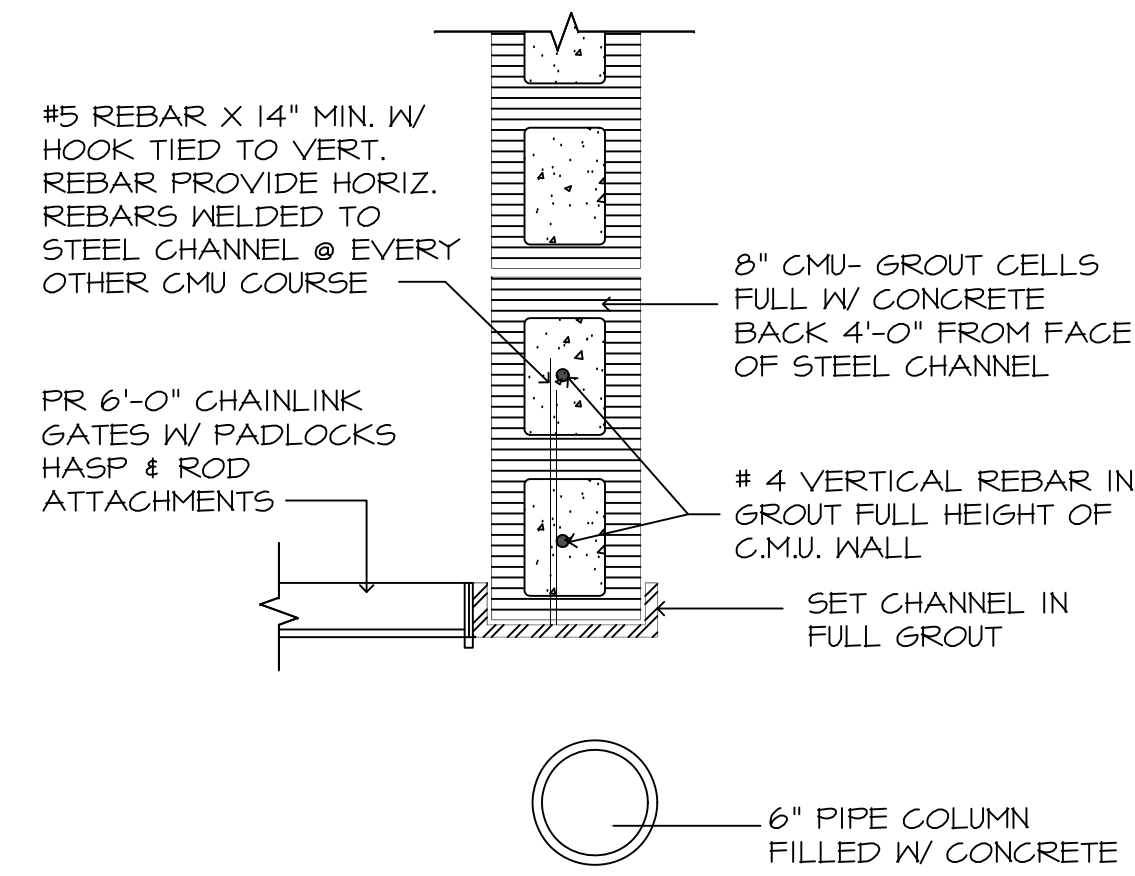
DETAIL - HANDICAP PARKING GRAPHICS
SCALE: NONE



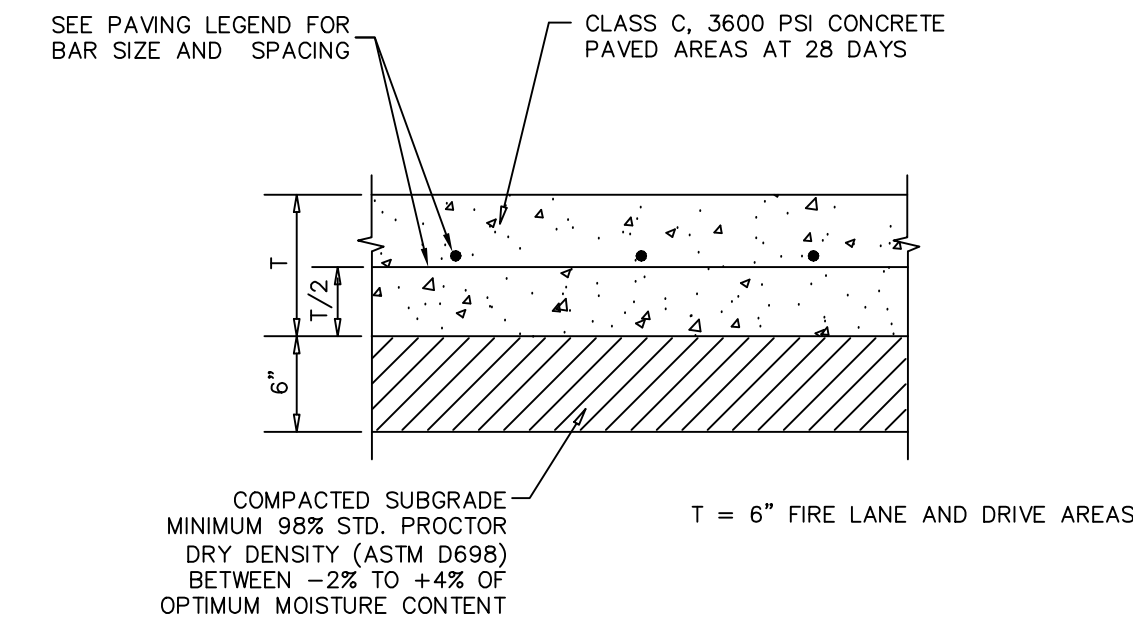
DETAIL - HANDICAP SIGN
SCALE: NONE



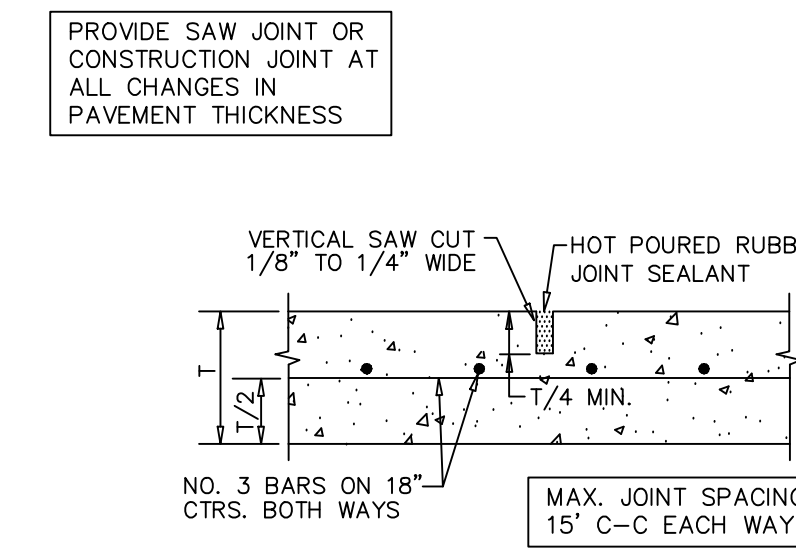
TRASH ENCLOSURE PLAN
SCALE: NONE



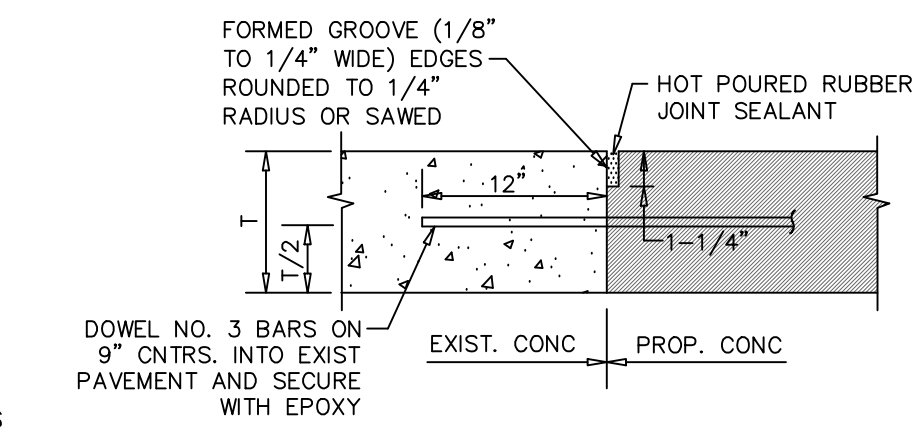
MASONRY ENDWALL DETAIL
SCALE: NONE



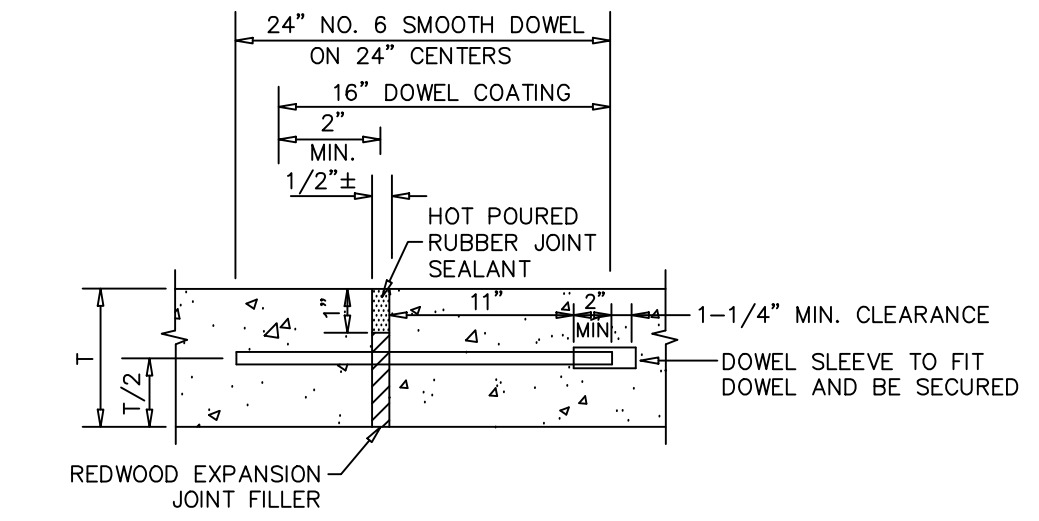
1 PAVEMENT SECTION
NOT TO SCALE



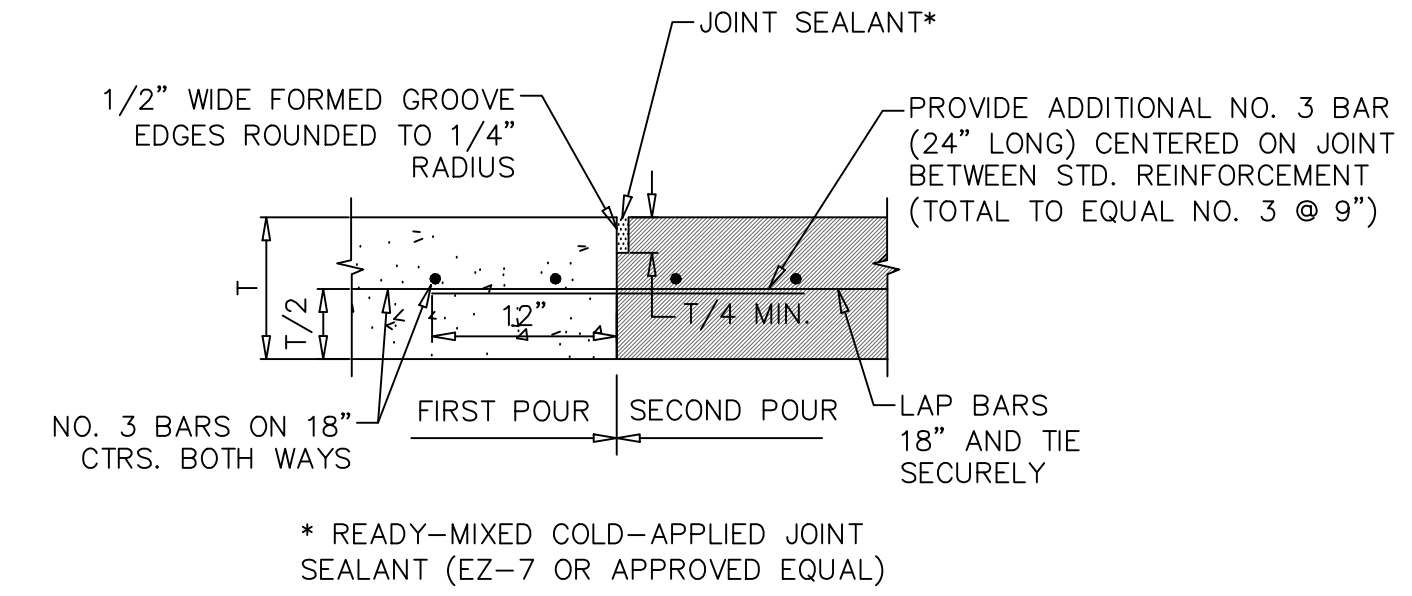
2 SAWED DUMMY JOINT
NOT TO SCALE



3 PAVEMENT CONNECTION
NOT TO SCALE



4 EXPANSION JOINT
NOT TO SCALE

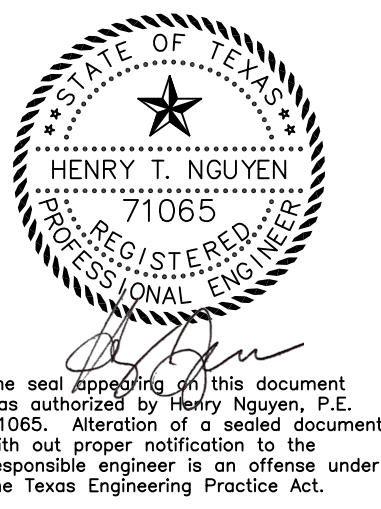


5 CONSTRUCTION JOINT
NOT TO SCALE

REVISIONS	
Date	Description

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC
DRAWN	HNC
DATE	08/28/2025
Job#:	25001



SITE DETAILS

AUG 28 2025 10:14am hng
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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2200 Ridge Road, Rockwall TX 75087

SUBDIVISION Sky Ridge Addition

LOT 8 BLOCK A

GENERAL LOCATION NW of YellowJacket & Ridge Road Intersection

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial District

CURRENT USE None

PROPOSED ZONING

PROPOSED USE Nail Salon & General Retail

ACREAGE 0.976

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Beauty Legacy, LLC

APPLICANT Henry Nguyen Consulting, LLC

CONTACT PERSON Lien Nguyen

CONTACT PERSON Henry Nguyen

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

NOTARY VERIFICATION [REQUIRED]

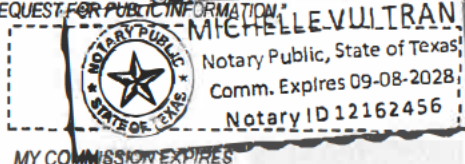
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Lien T. Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF December, 2025

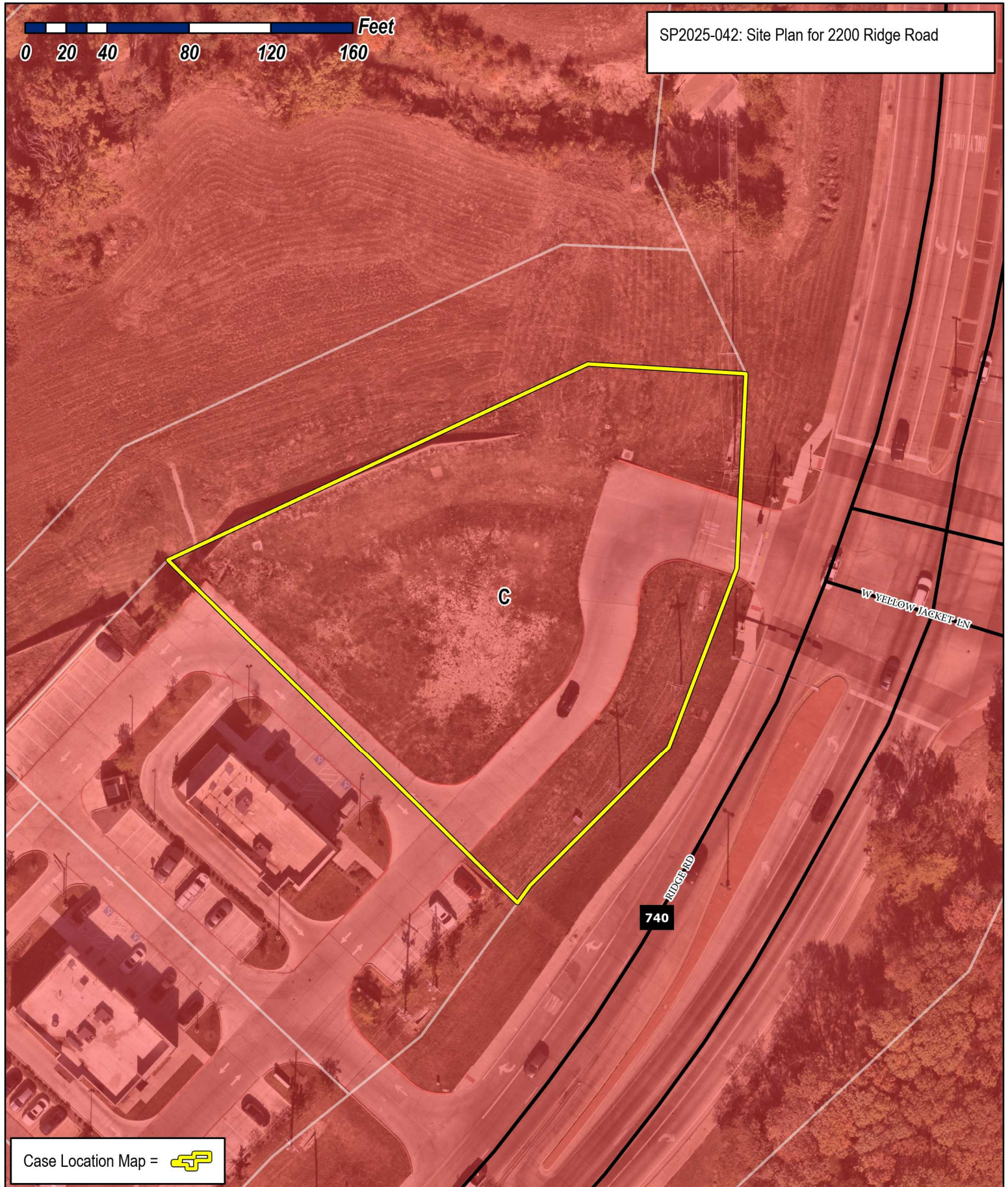
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-042: Site Plan for 2200 Ridge Road



Case Location Map = 

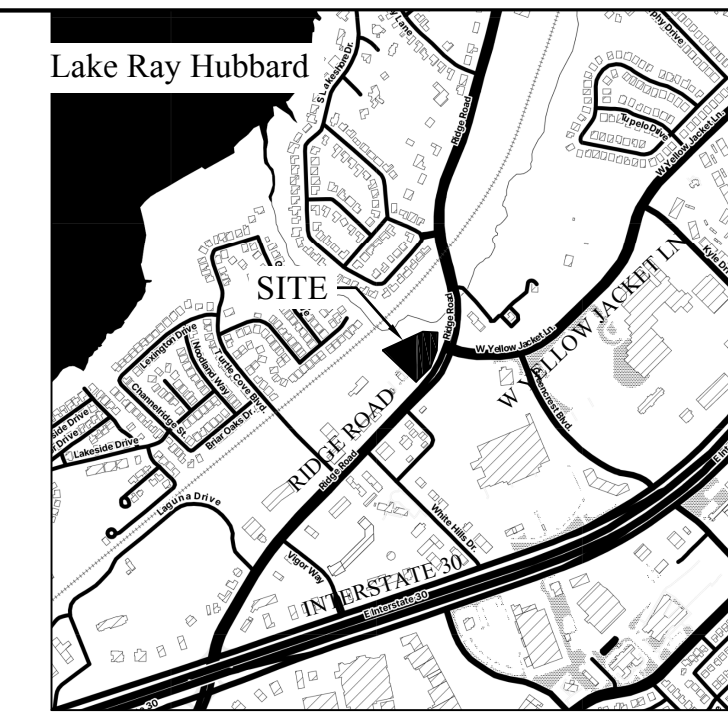


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





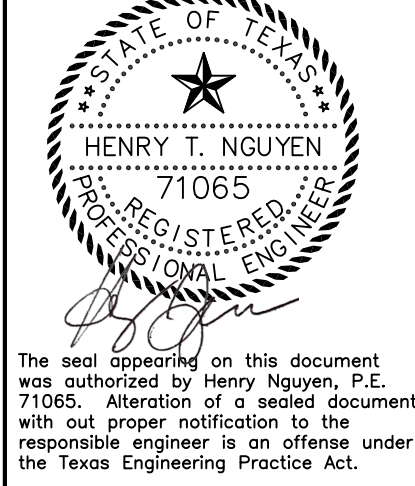
VICINITY MAP (NTS)

Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
 Texas Registered Engineering Firm F-16239

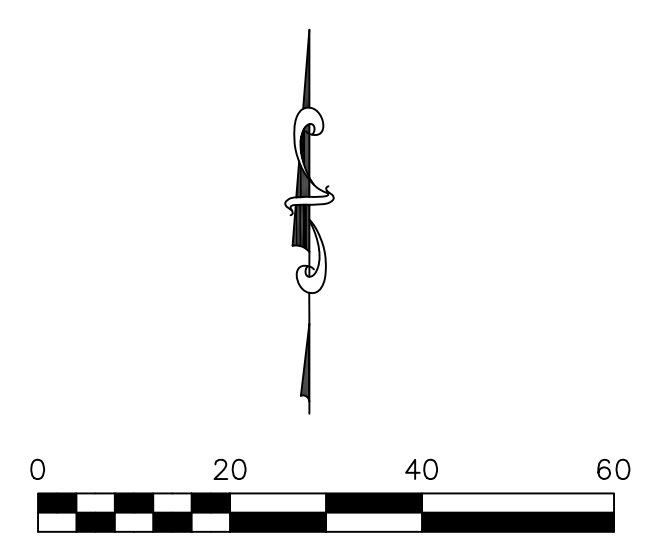
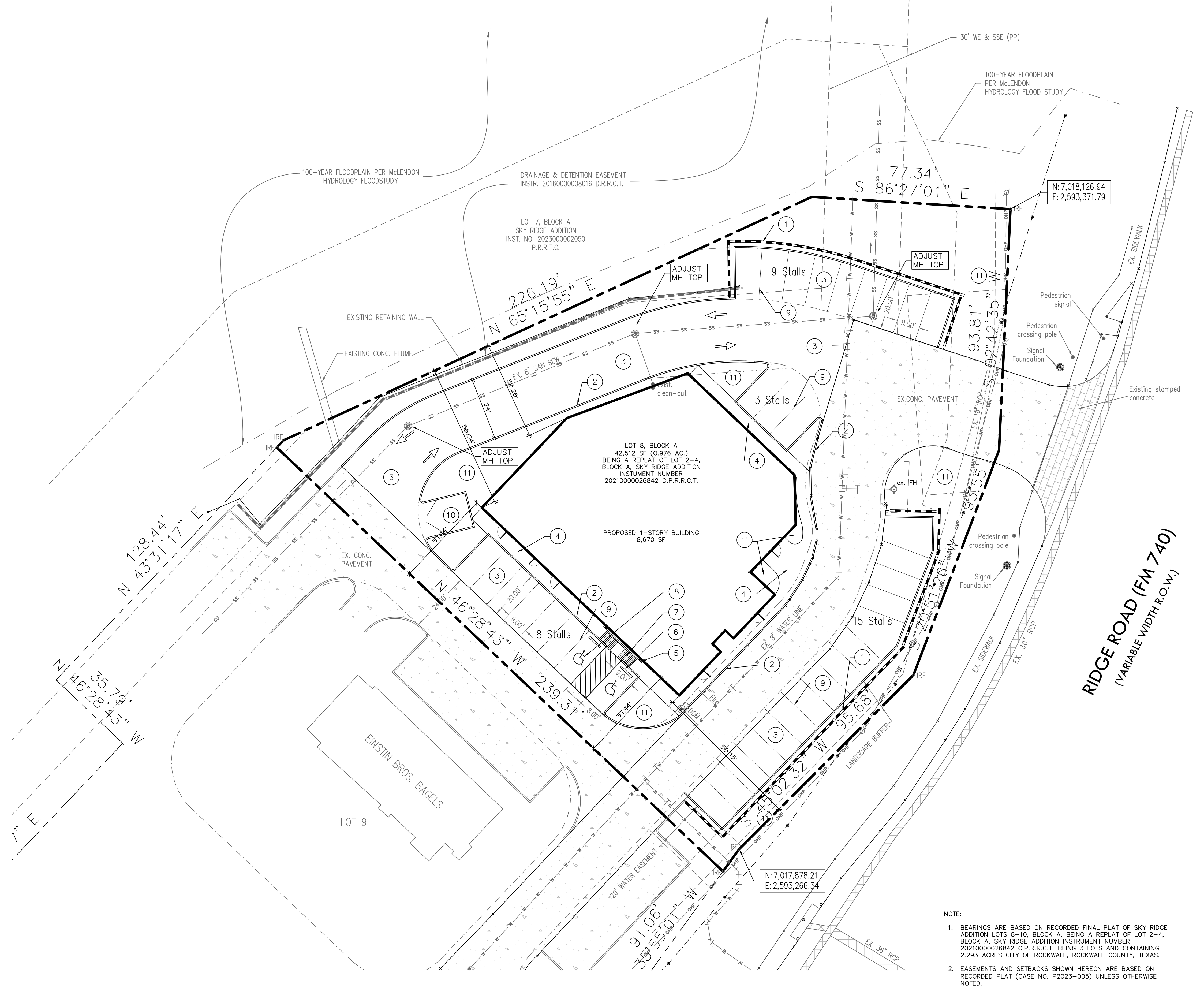
Approved	Date	Description

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	Job#
			09/10/2025	25001



SITE PLAN



SITE DATA

LOT AREA	42,512 SF
BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	8,670 SF
FLOOR AREA RATIO	0.2039
TOTAL IMPERVIOUS AREA	31,613 SF (74% COVERAGE)
LANDSCAPE AREA	10,899 SF (26% COVERAGE)
EXISTING ZONING	C - COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (8500/250=34 required)
PROVIDED PARKING	35 SPACES

KEYNOTES

- ① CONSTRUCT RETAINING WALL
- ② CONSTRUCT MONOLITHIC CONCRETE CURB
- ③ INSTALL CONCRETE PAVEMENT
- ④ CONSTRUCT 4" THICK CONCRETE SIDEWALK
- ⑤ INSTALL HANDICAP SIGN
- ⑥ INSTALL PRECAST CONCRETE WHEELSTOPS
- ⑦ CONSTRUCT STANDARD ADA RAMP
- ⑧ PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
- ⑨ PAINT 4" SOLID STRIPE - WHITE
- ⑩ CONSTRUCT 8' TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
- ⑪ LANDSCAPE AREA

LEGEND

- EXISTING SIGNAL FOUNDATION
- ◆ EXISTING FIRE HYDRANT
- ◇ EXISTING SANITARY CLEANOUT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING POWER POLE
- OHP — OHP — OHP — EXISTING OVERHEAD POWER LINE
- W — W — W — W — W — EXISTING WATER LINE
- SS — SS — SS — SS — SS — EXISTING SANITARY SEWER LINE
- ▨ EXISTING CONCRETE PAVEMENT

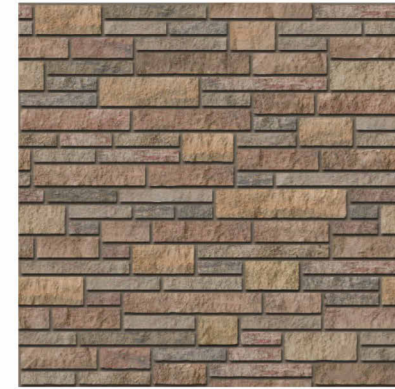
NOTE:

1. BEARINGS ARE BASED ON RECORDED FINAL PLAT OF SKY RIDGE ADDITION LOTS 8-10, BLOCK A, BEING A REPLAT OF LOT 2-4, BLOCK A, SKY RIDGE ADDITION INSTRUMENT NUMBER 2021000026842, O.P.R.R.C.T. BEING 3 LOTS AND CONTAINING 2.293 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.
2. EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED ON RECORDED PLAT (CASE NO. P2023-005) UNLESS OTHERWISE NOTED.
3. UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ARE TO FACE OF CURB.

Sep 02 2025 2:08pm hng
 C:\Users\hng\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKT RIDGE ADDITION\B-SHEET_SETS\25-SITE PLAN.dwg

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STACKED STONE
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - SOUTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,361.15	66.64%
OPENINGS, WINDOWS	1	681.43	33.36%
TOTAL WALL AREA		2,042.58	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025		
NO.	REVISION	DATE

DESIGNED BY: TT, NH
DRAWN BY: NH
CHECKED BY: TT

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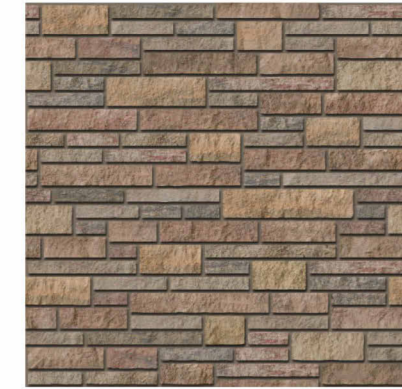
BUILDING ELEVATIONS
A200



1 SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - EAST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,665.53	76.06%
OPENINGS, WINDOWS	1	524.28	23.94%
TOTAL WALL AREA		2,189.81	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VANEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VANEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHTECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100



1 EAST ELEVATION
1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

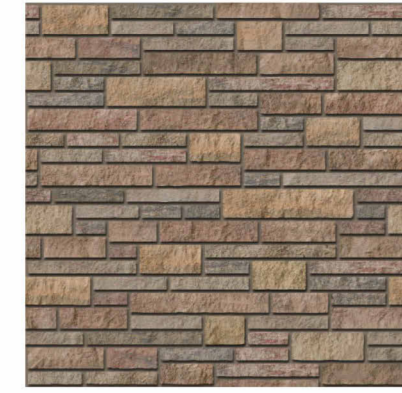
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BUILDING ELEVATIONS
A201

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - WEST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,499.26	69.26%
WINDOWS, CLEAR GLASS	1	665.38	30.74%
TOTAL WALL AREA		2,164.64	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



1 WEST ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

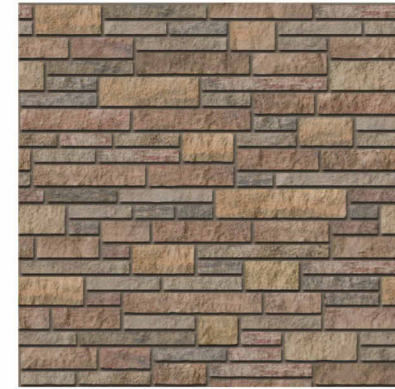
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BUILDING ELEVATIONS
A202

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
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4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN

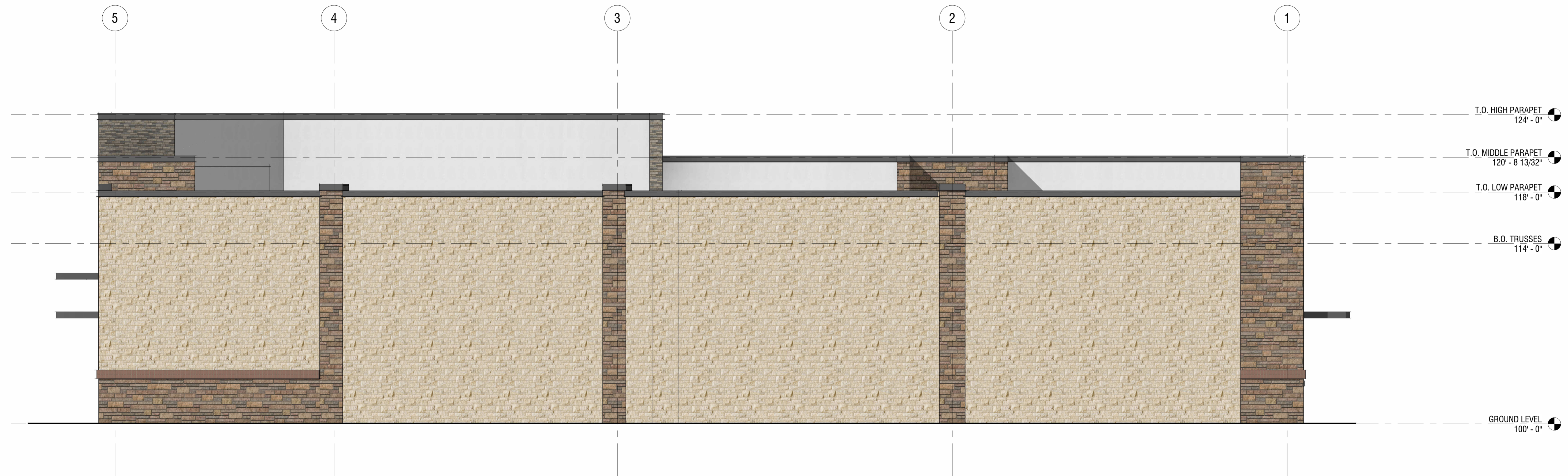


STONE VANEER
GEORGIA CITADEL
INDIANA

EXTERIOR MATERIALS - NORTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,648.32	100%
WINDOWS, CLEAR GLASS	1	0	0%
TOTAL WALL AREA		1,648.32	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VANEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VANEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



2 NORTH ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A203



SKYRIDGE RETAIL BUILDING

LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

ARCHITECTURAL PRELIMINARY DESIGN

ARCHITECT
B + A ARCHITECTURE
100 W 31ST STREET, SUITE 100
KANSAS CITY, MISSOURI 64108
PH: 816-753-6100



ISSUED DATE: WEDNESDAY, AUGUST 27TH 2025

DRAWINGS INDEX:

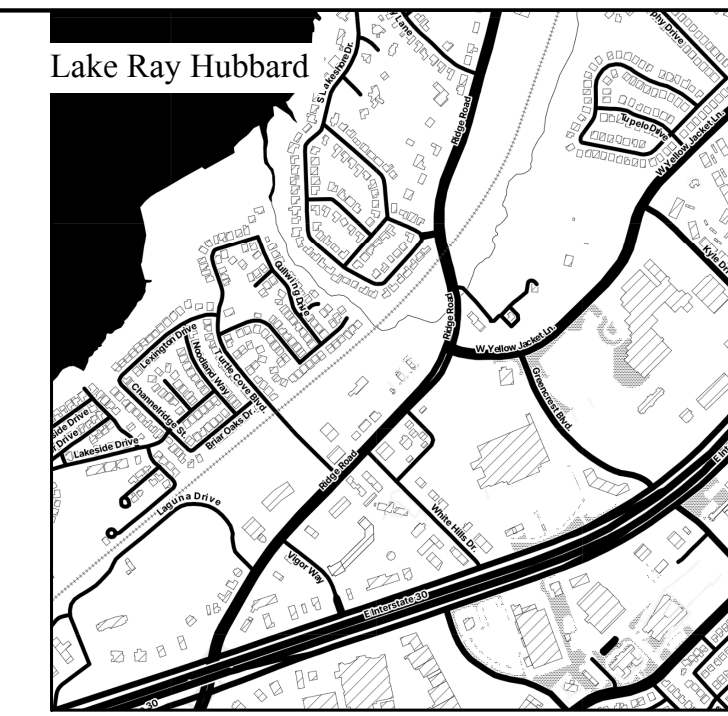
A001: SITE PLAN

A002: FLOOR PLAN

A200-203: ELEVATIONS

A700-704: RENDERINGS



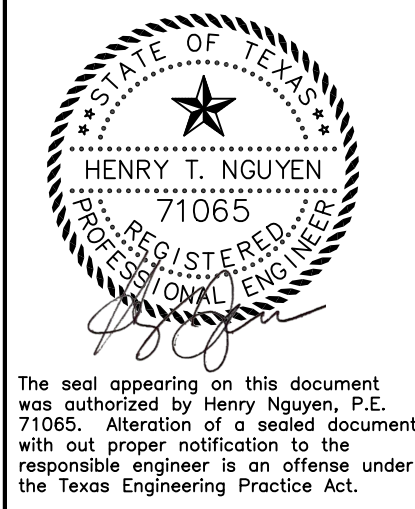


Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
 Texas Registered Engineering Firm F-16239

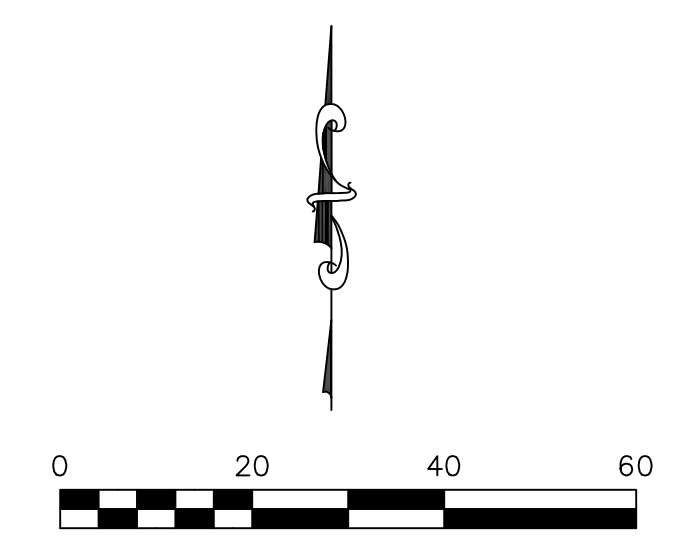
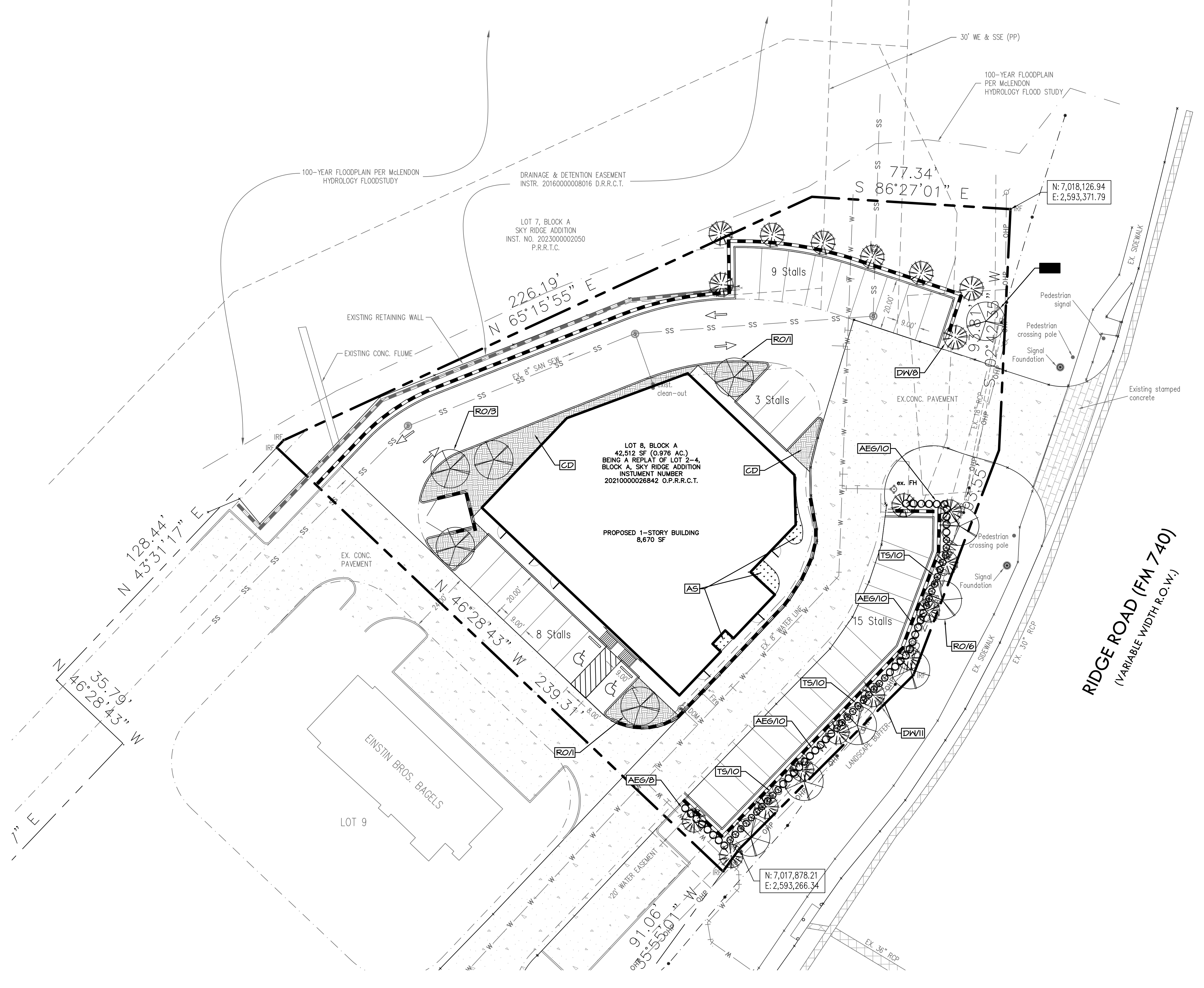
REVISIONS	
Date	Description

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	
DRAWN			
DATE	08/28/2025		
			Job#: 25001



LANDSCAPE PLAN



1. Overall Site Landscaping Percentage

- For Commercial Districts, the required landscaping is 20% of the net lot area.

Required	Provided
20% x 42,512 sf = 8,502.40 sf	10,899 sf (26%)

2. Perimeter Landscaping (Buffers)

A. Street Frontage Landscaping:

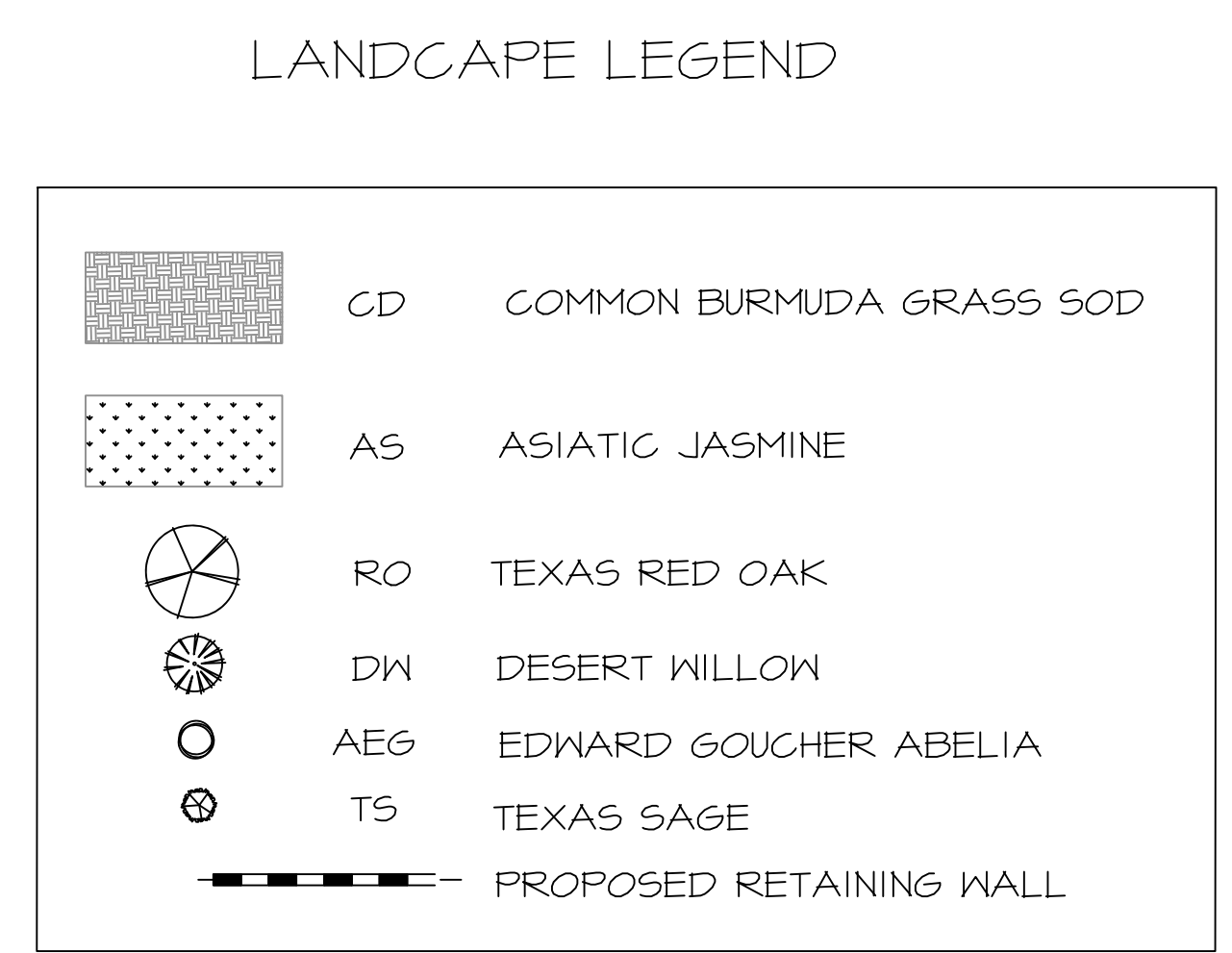
- Requirement: 10 feet along all public street frontages.
- Trees: Typically, one (1) large canopy tree per 50 linear feet of street frontage.
- Shrubs/Groundcover: The remaining area within the landscape strip must be covered with shrubs, groundcover, or turf.

Required	Provided
10'	10'
Frontage = 283.04 LF/50 = 6 Trees	26
3 shrubs/10 LF x 283.04 LF = 85 Shrubs	85

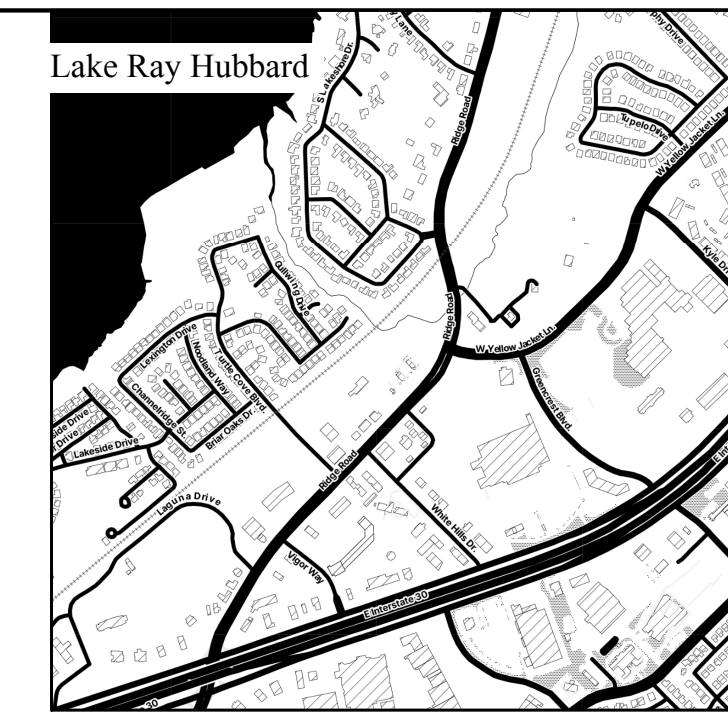
3. Interior Parking Lot Landscaping

- Trees:
 - Number/Coverage: one (1) shade tree per 10 number of parking spaces (1/10 x 35 spaces = 4 trees), or 20% of the parking lot area (20% x 5,760 sf = 1,152 sf).
 - Island Requirements: Landscaped islands are typically required at the end of every parking row and within longer rows (e.g., for every 10-15 spaces). These islands must accommodate at least one large canopy tree.
- Shrubs/Groundcover: All areas within interior landscape islands and strips must be fully planted with shrubs, groundcover, or turf.

Required	Provided
1 tree/10 parking spaces x 35 = 4 trees	5
5,760 sf x 20% = 1,152 sf	1,985 sf (34%)



AUG 28, 2025 10:16am hng
 C:\Users\hnguyen\OneDrive\My Documents\Projects\Active\25001-SKT RIDGE ADDITION\B-SHEET_SETS\LANDSCAPE.dwg



GENERAL LAWN NOTES

1. ALL LANDSCAPE/TURF AREAS TO BE INSTALLED WITH AUTOMATIC IRRIGATION SYSTEM MEETING CITY AND TCEQ STANDARD.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 4" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR TO APPLY 4" CLEAN TOPSOIL TO ALL TURF AREAS PRIOR TO INSTALLATION OF SOD OR HYDROMULCH.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDINGS AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
5. LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE.
6. REMOVE ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
7. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
8. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
9. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
10. WATER SOD THOROUGHLY AS SOD REESTABLISHMENT PROGRESSES.
11. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDA GRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

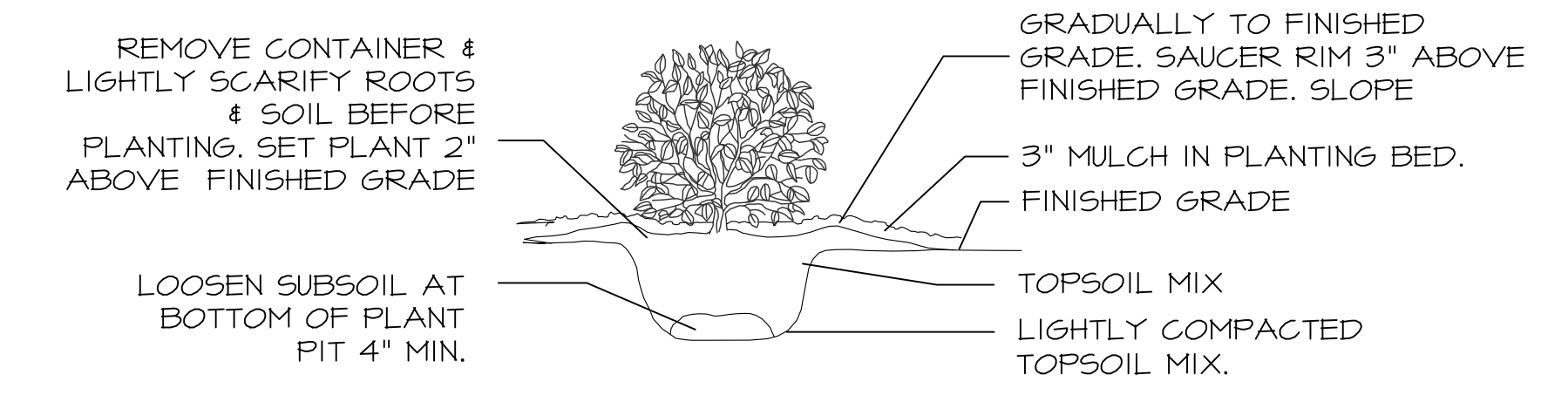
CUSTOM PLANTING SOIL:

AMENDED SOIL (IN SHRUB PLANTING BEDS & AT TREES)
 PRODUCT: LANDSCAPERS BLEND (50/50)
 DEPTH: 6" (TILLED INTO 6" OF EXISTING SOIL FOR A TOTAL DEPTH OF 12")
 SUPPLIER: SOIL BUILDING SYSTEMS
 CONTACT: 972-831-8181
 INSTALLATION: PER SOIL BUILDING SYSTEMS SPECIFICATIONS

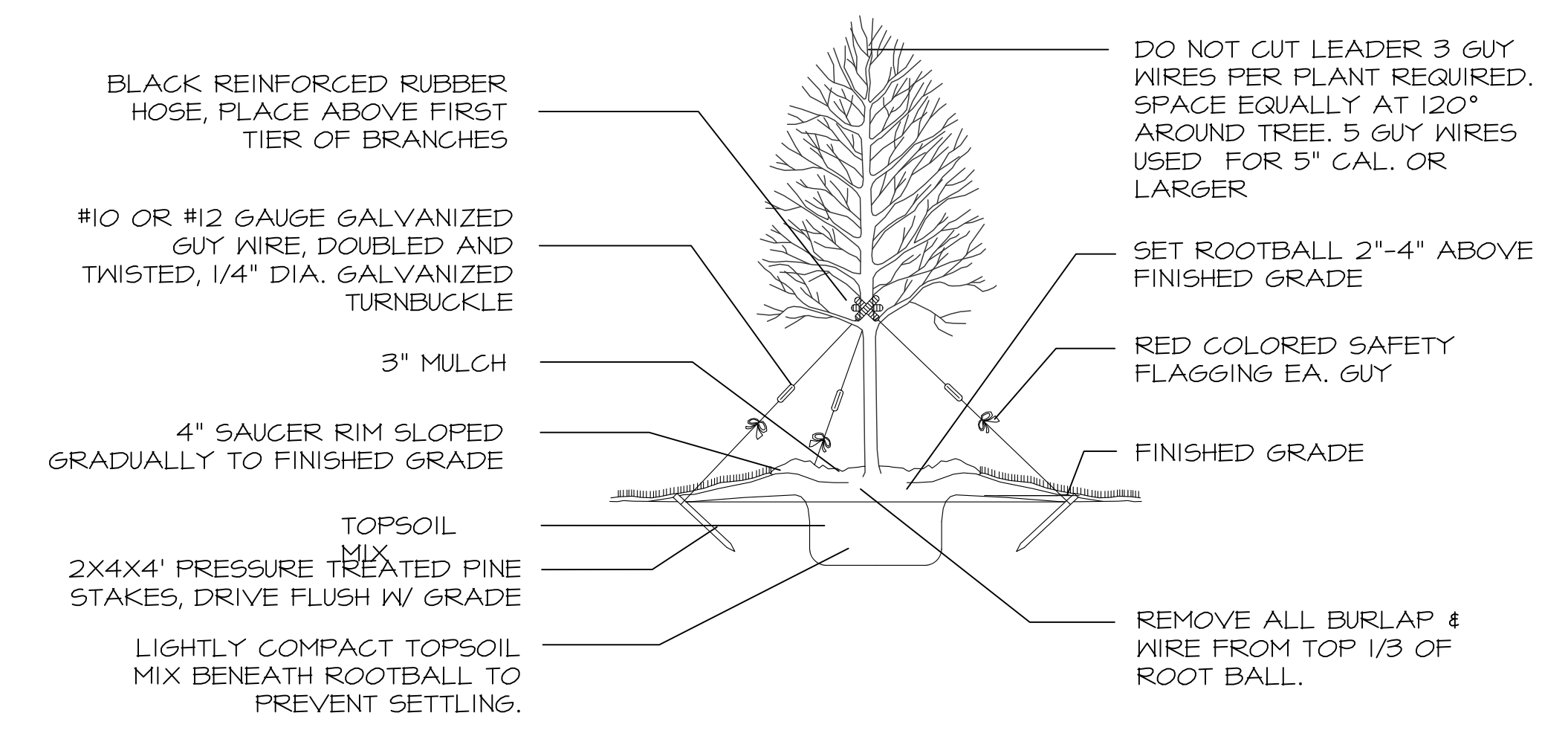
STEEL EDGING:

METAL EDGING TO SEPARATE PLANTING BEDS FROM ADJACENT TURF
 PRODUCT: DURAEEDGE
 SIZE: 3/16" THICK x 4" HEIGHT x 16' LENGTH
 NOTES: METAL EDGING SHALL NOT BE INSTALLED PARALLEL AGAINST CURBS AND SIDEWALKS. METAL EDGING SHALL BE TRIMMED WHERE IT ABUTTS SIDEWALKS AND CURBS TO AVOID SHARP EDGES.

PLANT LIST						
SYMBOL	BOTANIC NAME	COMMON NAME	QTY.	UNIT	SIZE	NOTES
GROUND COVER						
GD	CYNODON DACTYLON	COMMON BERMUDA GRASS SOD	1820	SF		SOLID SOD PER INDUSTRY STANDARD
AS	TRACHELOSPERMUM	ASITIC JASMINE	165	SF		
TREES AND SHRUBS						
RO	QUERCUS BUCKLEYI	TEXAS RED OAK	12	EA	4" CAL	12' HEIGHT SPACING PER PLAN
DN	CHILOPSIS LINEARIS	DESERT WILLOW	14	EA	4" CAL	12' HEIGHT SPACING PER PLAN
AEG	ABELIA X EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	38	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.
TS	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	48	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.



A SHRUB PLANTING DETAIL
 SCALE: NONE

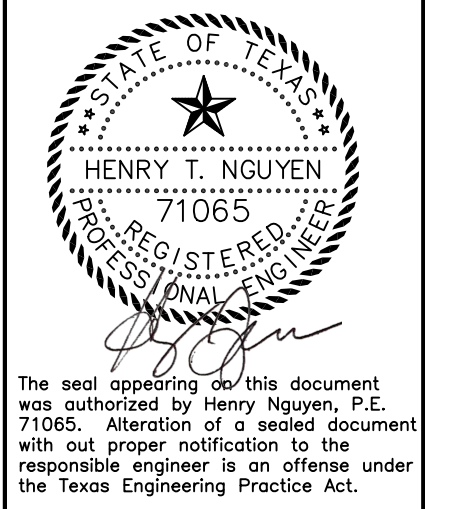


B TREE PLANTING DETAIL
 SCALE: NONE

REVISIONS	
Date	Description

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	08/28/2025	Job#: 25001
DRAWN					



LANDSCAPE PLAN

SELECTED OPTION: INCLUDING 43 PEDICURE CHAIRS & 24 MANICURE STATIONS



ARCHITECT
B + A ARCHITECTURE
 600 BROADWAY BLVD, SUITE 290
 KANSAS CITY, MO 64105
 PH: 816-753-6100



SKYRIDGE RETAIL BUILDING
 LOT 2 - 2200 RIDGE RD. ROCKWALL, TX 75087

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Issue Date: 08/27/2025

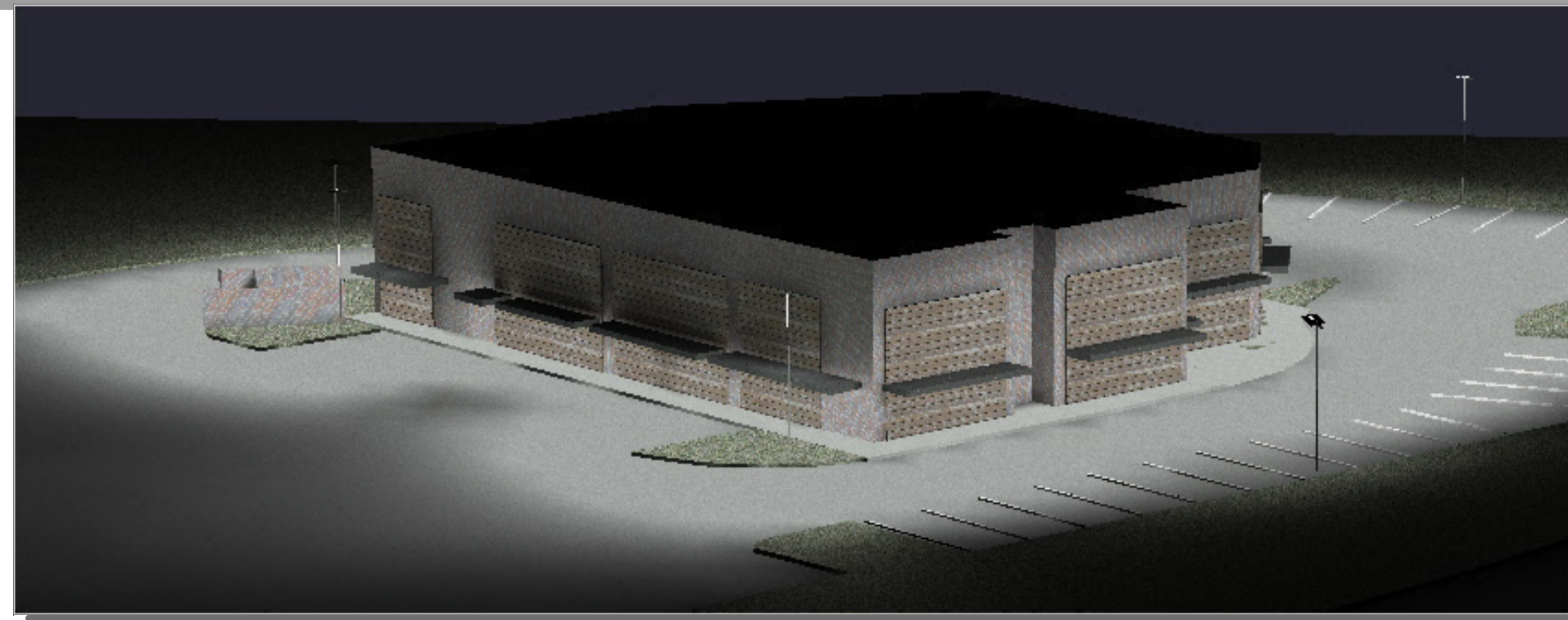
NO.	REVISION	DATE

DESIGNED BY: NH,TT
 DRAWN BY: NH
 CHECKED BY: TT

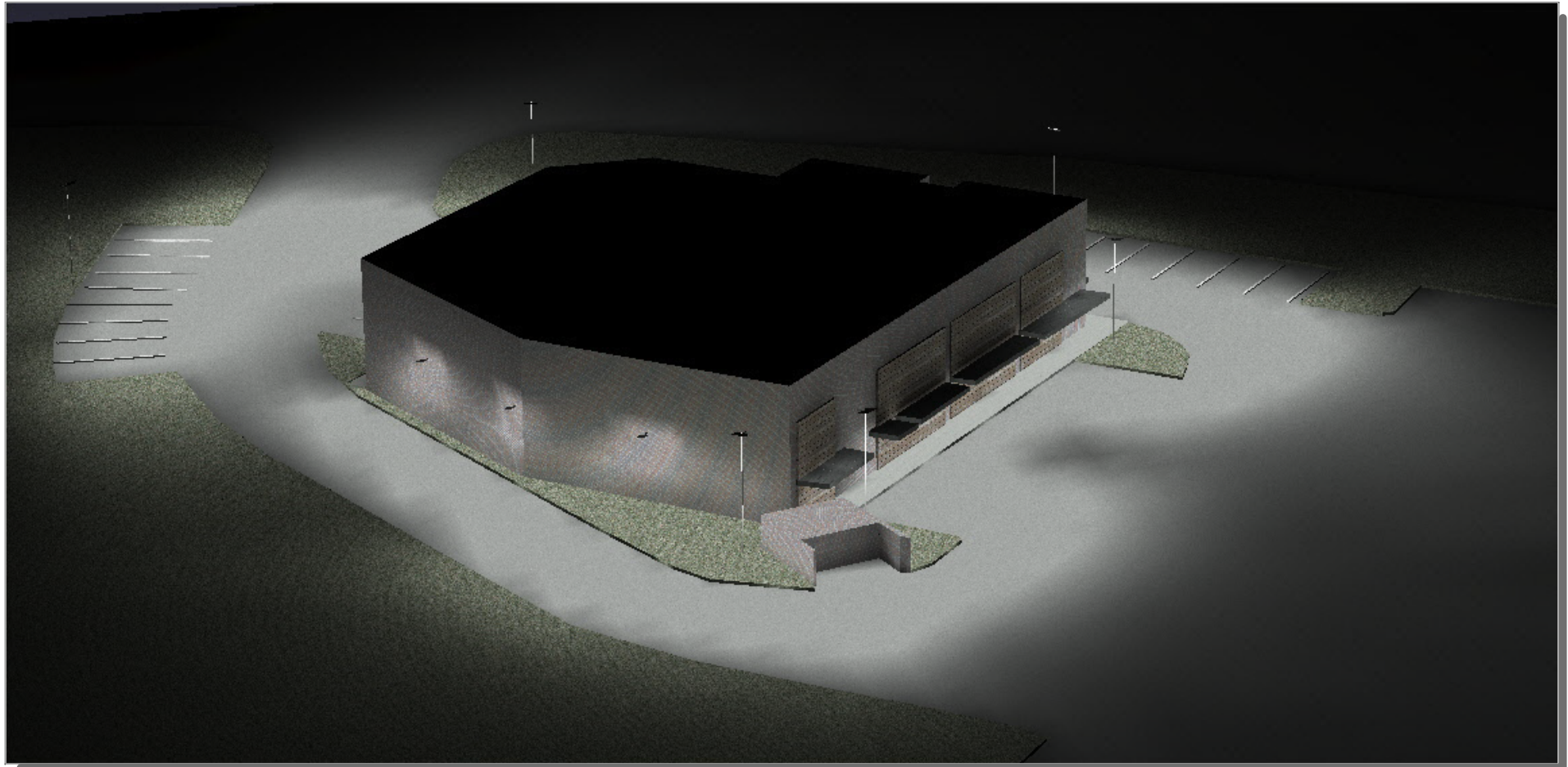
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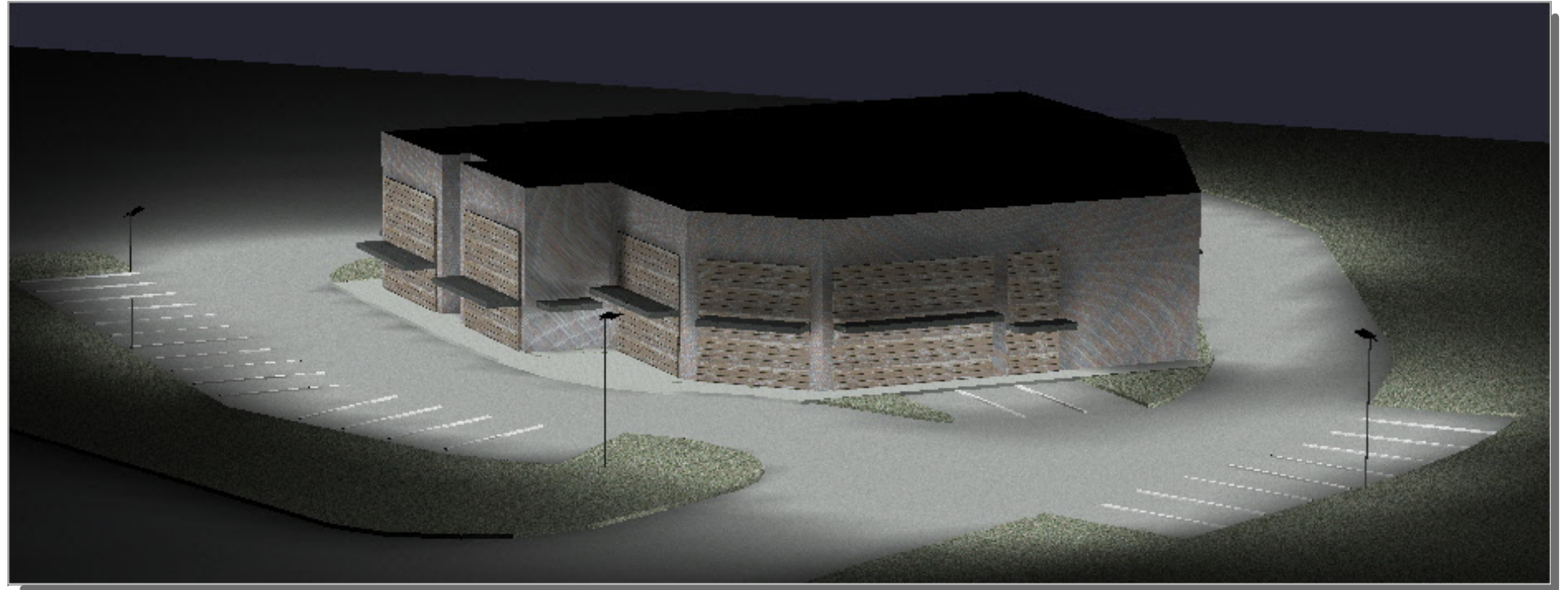
1 FLOOR PLAN
 3/16" = 1'-0"



RENDERED VIEW FROM THE SOUTH

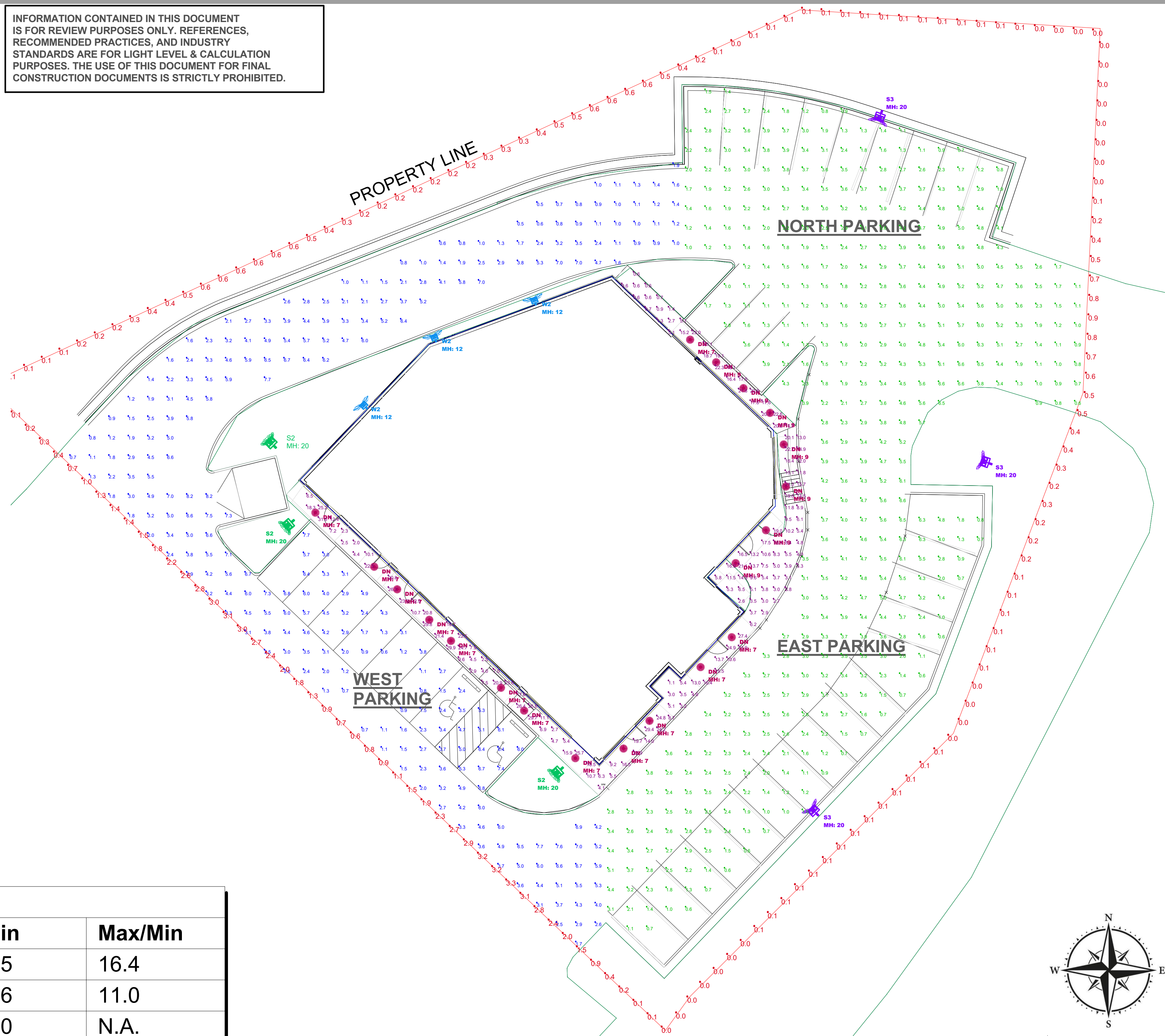


RENDERED VIEW FROM THE NORTH-WEST



RENDERING OF THE ENTRANCE, EAST SIDE

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SITE LIGHTING PHOTOMETRICS

CALCULATION SUMMARY IN FOOT-CANDLES				
AREA	Avg	Max	Min	Max/Min
NORTH & WEST PARKING	3.5	8.2	0.5	16.4
NORTH AND EAST PARKING	2.9	6.6	0.6	11.0
PROPERTY LINE	0.6	3.3	0.0	N.A.
SIDEWALK	12.1	31.6	0.6	52.7

LIGHTING FIXTURE SCHEDULE							
SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS
	DN	20	NU4-RD-SW-30LM-30K-LOPRO	ALPHABET-4 IN- ROUND-3000°K-LOW PROFILE HOUSING	0.900	26.72	2234
	S2	3	VP-2-320L-185-3K7-2-HSS-270-B	BEACON VIPER-MICROSTRIKE-3000°K-TYPE II OPTICS	0.900	185.9	13348
	S3	3	VP-2-320L-235-3K7-3-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE III -BACK CONTROL	0.900	238	18264
	W2	3	VPW2-18L-39-3K7-2	BEACON VIPER-WALL PACK-3000°K-TYPE II OPTICS	0.900	38.8	4683

ASSUMPTIONS:
 Illuminance:
 Parking Lot: 2-3 FC Avg.
 Min. 0.5
 Property Line: 1.0 or less
 Soffit Down Lights:
 Mount Centered in Canopy
 (estimated at 7'-0" & 9'-0")
 Wall Mounted:
 12'-0"
 Pole Mounted Fixtures:
 20'-0" Pole and Base
 Calculations Points @ Grade



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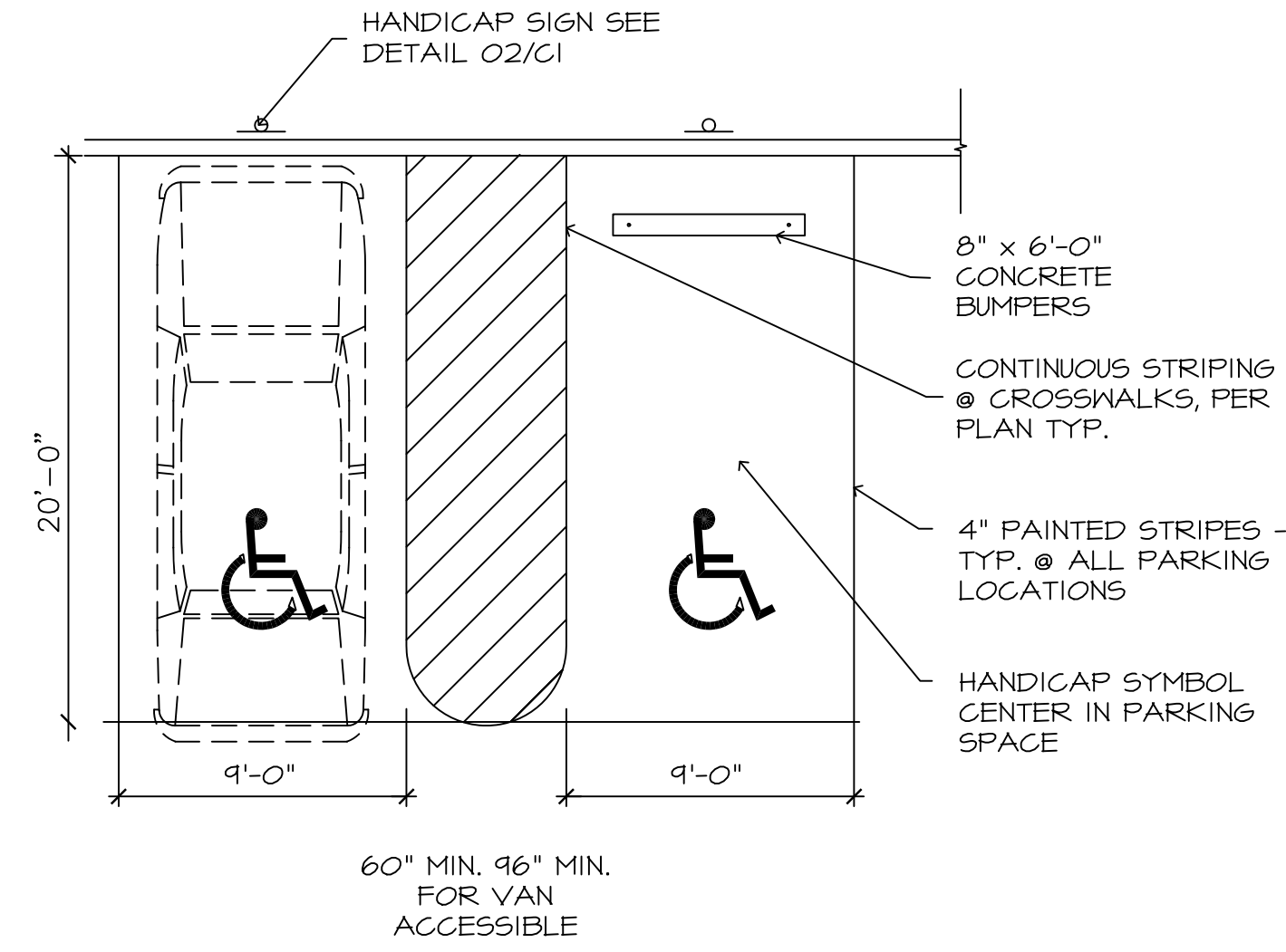


103 E 18th Avenue
 North Kansas City, MO 64116
 Phone: (816) 581-6300

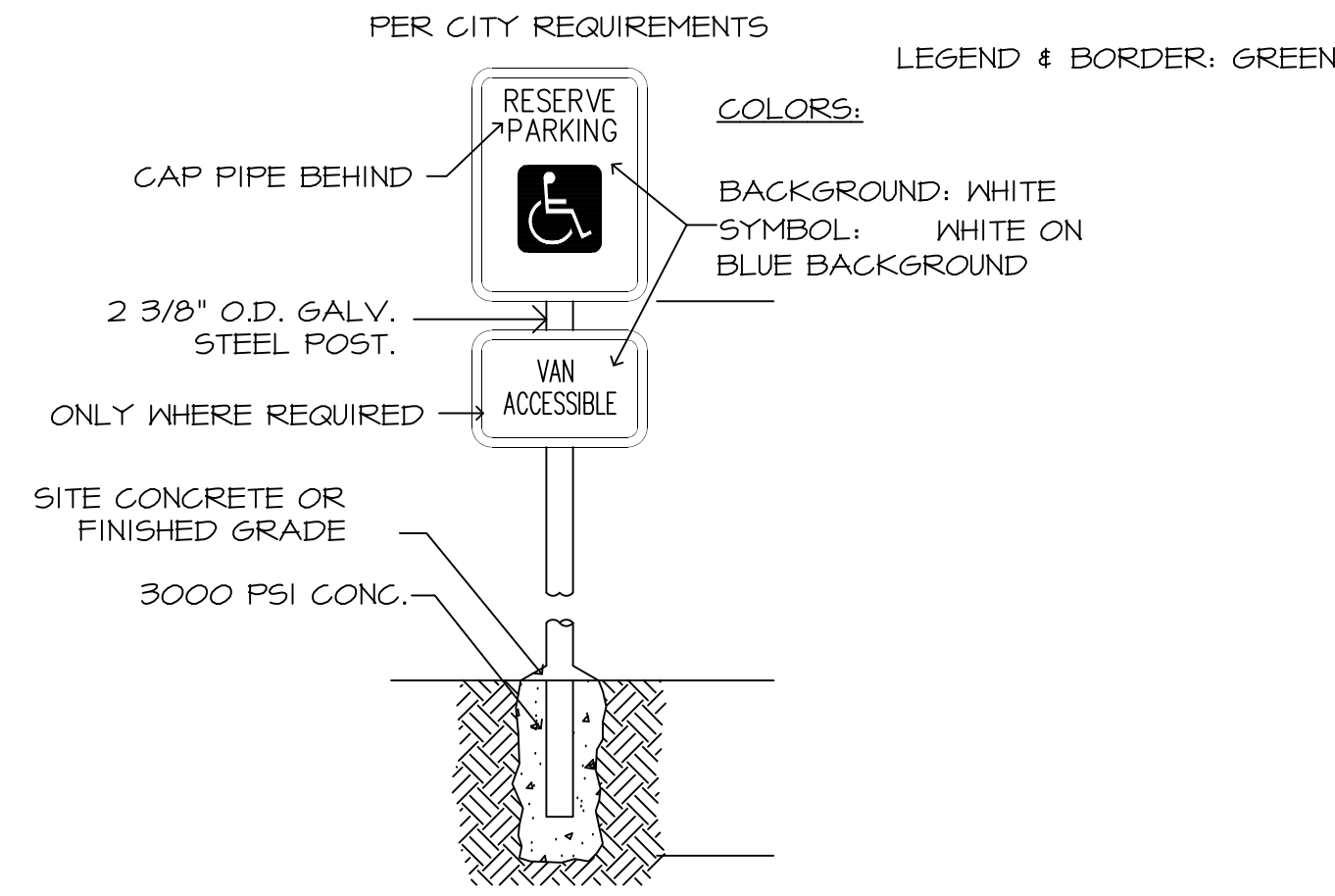
SKYRIDGE RETAIL
 LOT 2 - 2200 RIDGE RD,
 ROCKWALL, TX 75087

CALC-0242-SKYRIDGE RETAIL-ROCKWALL-TX

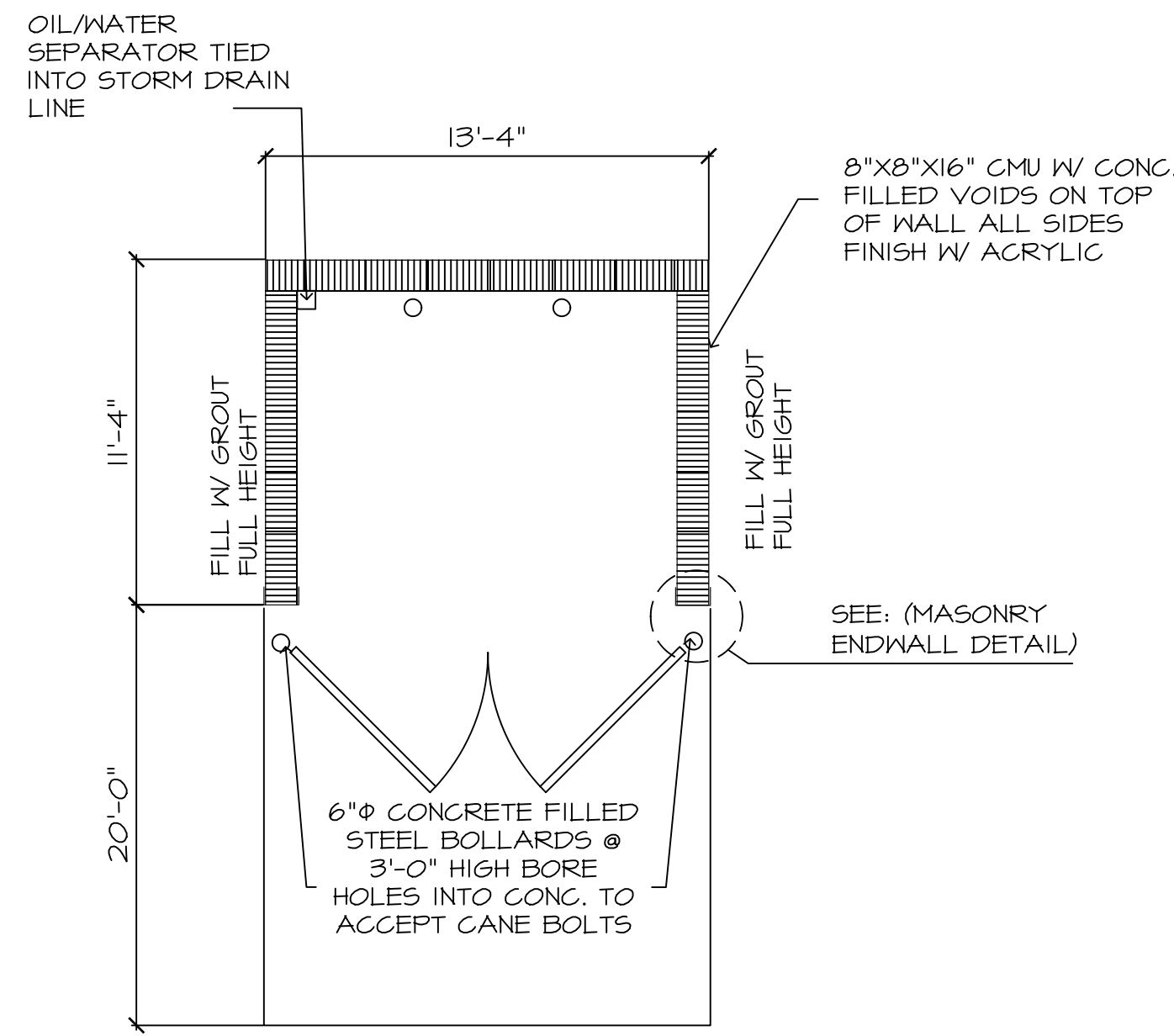
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REVISIONS	
DATE:	8/27/2025



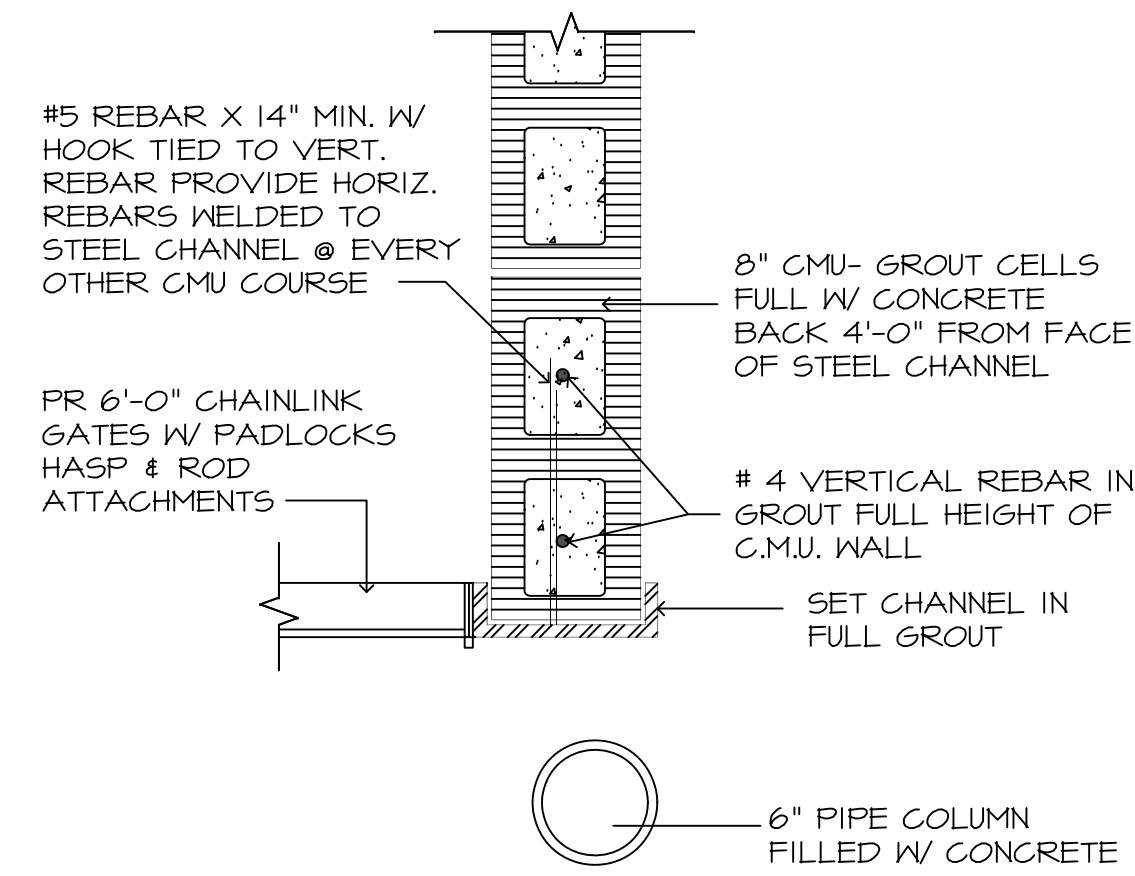
DETAIL - HANDICAP PARKING GRAPHICS
SCALE: NONE



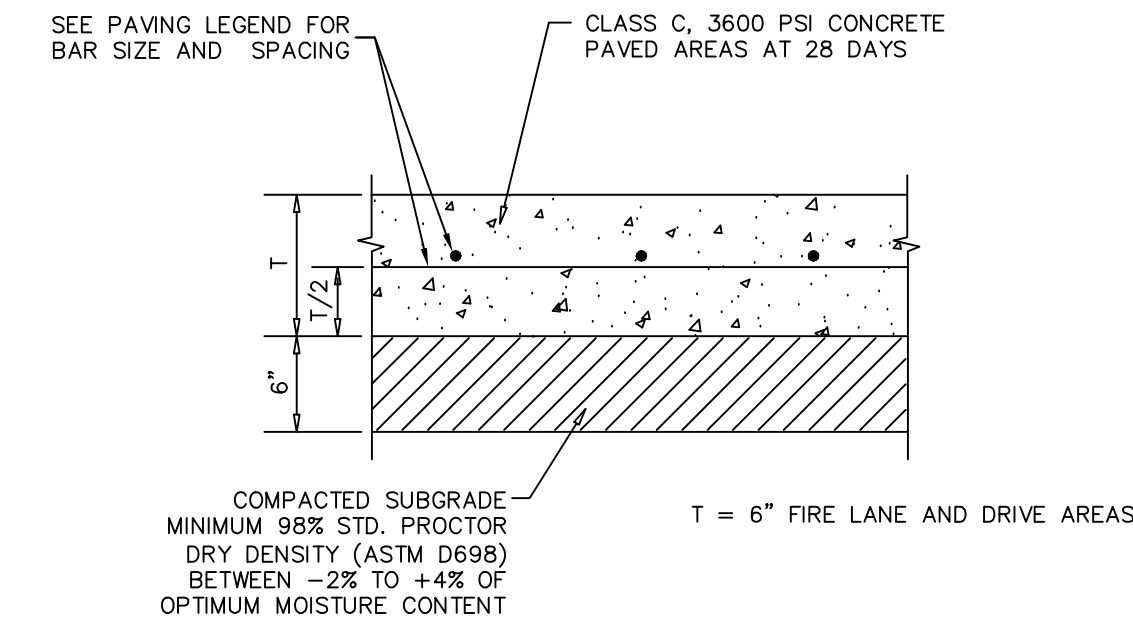
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SCALE: NONE



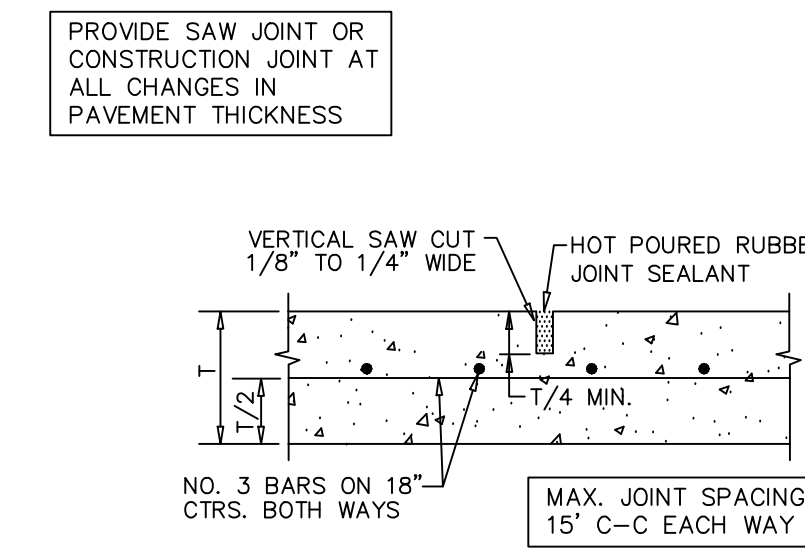
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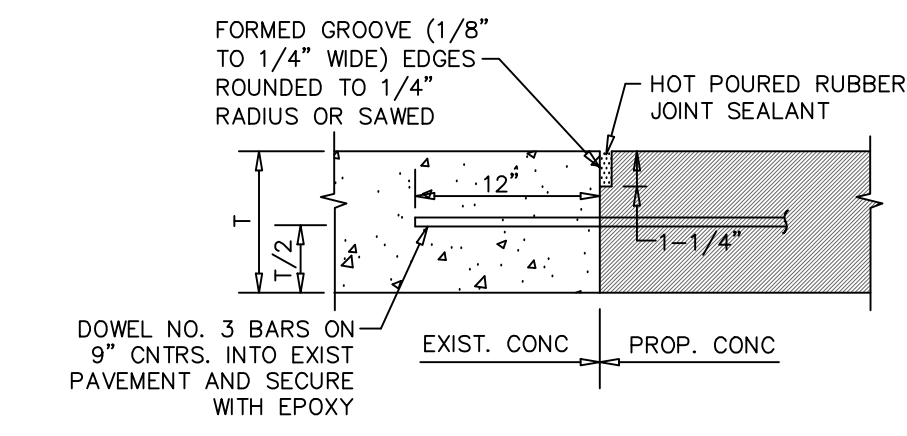
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SCALE: NONE



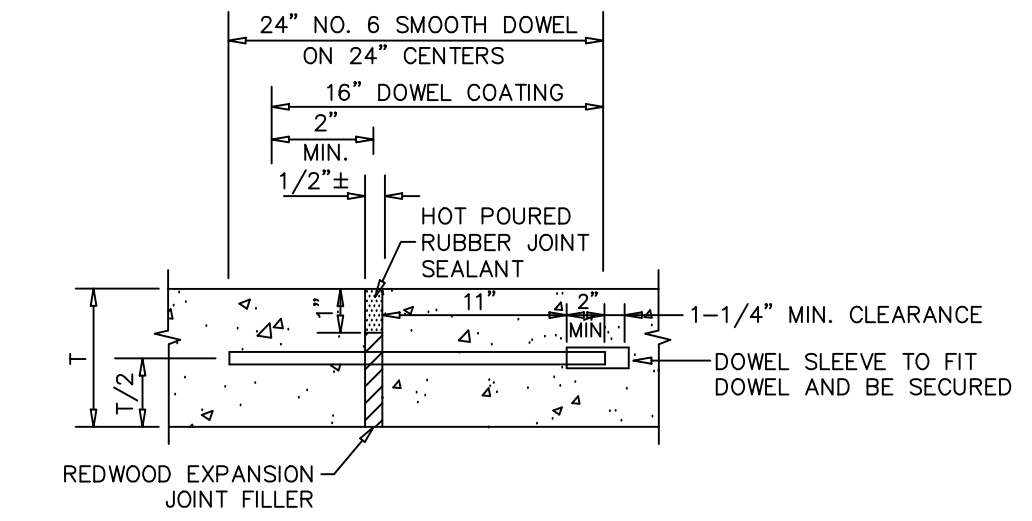
1 PAVEMENT SECTION
NOT TO SCALE



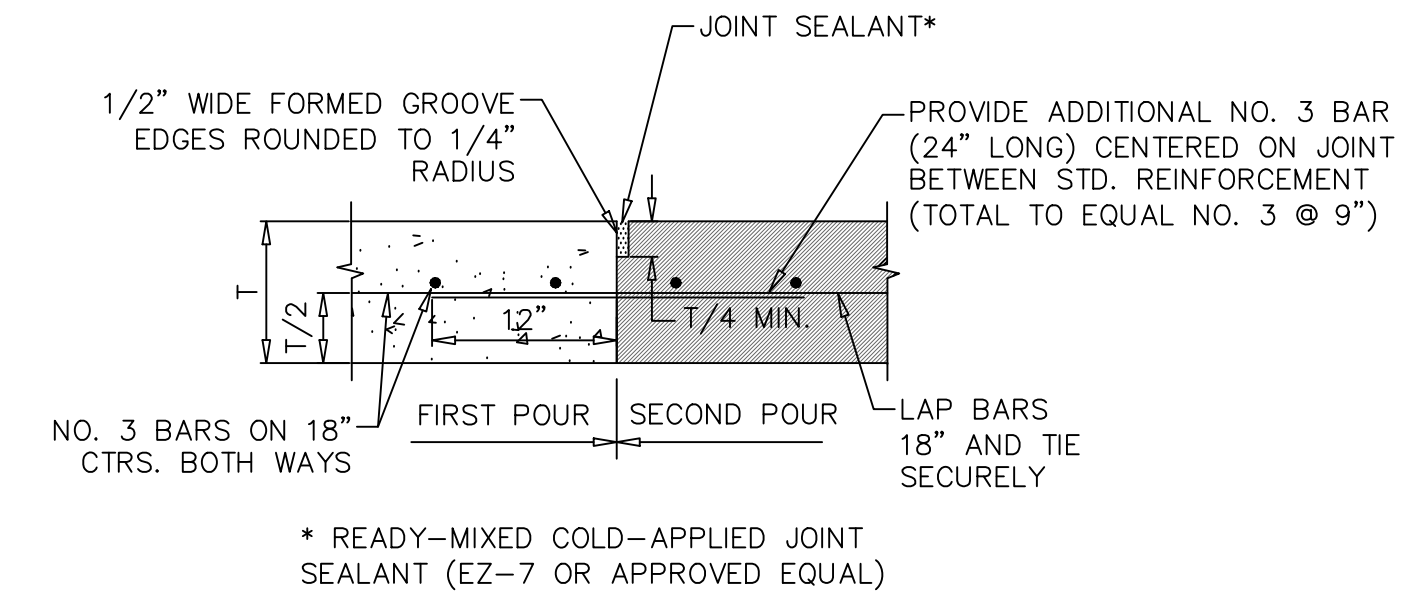
2 SAWED DUMMY JOINT
NOT TO SCALE



3 PAVEMENT CONNECTION
NOT TO SCALE



4 EXPANSION JOINT
NOT TO SCALE



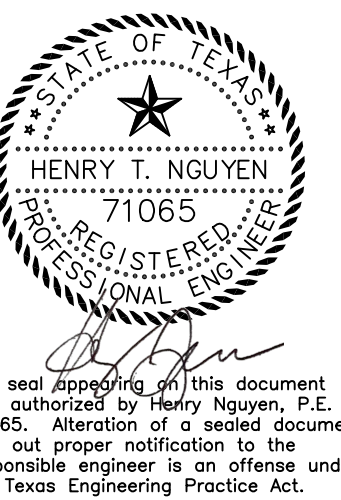
5 CONSTRUCTION JOINT
NOT TO SCALE

Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave., Dallas, Texas 75224
(214) 773-4075 Email: hnguyen@swbell.net
Texas Registered Engineering Firm F-16239

REVISIONS	Date	Description
Approved		

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC
DRAWN	HNC
DATE	08/28/2025
Job#:	25001



SITE DETAILS

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2025

PROJECT NUMBER: SP2025-042
PROJECT NAME: Site Plan for 2200 Ridge Road
SITE ADDRESS/LOCATIONS: 2200 Ridge Road

CASE CAPTION: Discuss and consider a request by Henry Nguyen of Henry Nguyen Consulting, LLC on behalf of Lien Nguyen of Beauty Legacy, LLC for the approval of a Site Plan for a Strip Retail Center on a 0.976-acre parcel of land identified as Lot 8, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2200 Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	12/19/2025	Needs Review

12/19/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Strip Retail Center on a 0.976-acre parcel of land identified as Lot 8, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2200 Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-042) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to any new establish easements or new lot lines.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Please provide a material sample board before the January 13, 2026 Architecture Review Board meeting. (Subsection 03.04. B, of Article 11, UDC)

M.7 Site Plan.

(1) Please provide a numeric scale. (Subsection 03.04. B, of Article 11, UDC)

- (2) Please indicate the perimeter dimensions of the building. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please delineate and label the 15-foot building setback along Ridge Road. (Subsection 03.04. B, of Article 11, UDC)
- (4) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (5) Please delineate and label the centerline for Ridge Road. (Subsection 03.04. B, of Article 11, UDC)
- (6) All parking spaces must be 20-feet by 9-feet. In addition, the parking spaces along Ridge Road appear to be encroaching into the fire lane. (Subsection 03.04. B, of Article 11, UDC)
- (7) Please update the parking table, as 36 parking spaces are required. (Subsection 03.04. B, of Article 11, UDC)
- (8) Please indicate the type and depth of all paving material. (Subsection 03.04. B, of Article 11, UDC)
- (9) Please note that all signage is handled through a separate building permit. (Subsection 03.04. B, of Article 11, UDC)
- (10) Please indicate any existing or proposed fencing. Please delineate the location and provide the material and height. (Subsection 08.02. F, of Article 08, UDC)
- (11) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened and not be visible from any direction. Please be cognizant that the subject property is at a low point and will have high visibility from the adjacent roadways. (Subsection 01.05.C, of Article 05, UDC)
- (12) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (13) Please provide a note that there shall no above ground storage tanks or outside storage, which includes vehicles. (Subsection 01.05. B, of Article 05, UDC)
- (14) Please provide a detail of the dumpster enclosure. In addition, the dumpster enclosure must be a minimum of eight (8) feet in height and use the same materials as the building. (Subsection 01.05. B, of Article 05, UDC)

M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please note that the UDC requires accent trees to be a minimum of 4-feet in height at the time of planting, not be 4-inch caliper. (Subsection 05.03.B, of Article 08, UDC)
- (3) Please delineate and label the landscape buffer along Ridge Road. (Subsection 05.01, of Article 08, UDC)
- (4) Per the General Overlay District Standards, there must be a row of canopy trees at the rear of the subject property. (Subsection 06.02, of Article 05, UDC)
- (5) Please provide a row of 5-gallon evergreen shrubs in front of the parking spaces that face onto Ridge Road and face northeast. (Subsection 05.03, of Article 08, UDC)
- (6) Per MIS2021-001, the landscape buffer along Ridge Road must incorporate 13 canopy trees and 21 accent trees. Please update the landscape plan to reflect this. (MIS2021-001)
- (7) Please provide a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Light levels shall not be greater than 0.2 FC at all property lines. Please correct the photometric plan to address this requirement. (Subsection 03.03, of Article 07, UDC)
- (3) Please provide the cut sheets for all of the proposed light fixtures. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations

- (1) Please remove the glass/glazing from the material percentages. (Subsection 04.01, of Article 05, UDC)
- (2) The building materials must match the materials on the adjacent buildings (i.e. Qdoba, Einstein Bagels, and Dutch Bros). The stone is Alamo Stone, Ledgestone Collection, Windsor Pewter Ledge. The brick is Thin Brick, Pacific Clay Products, Desert Gray. (Subsection 04.01, of Article 05, UDC)
- (3) Each façade of the building must incorporate 20% natural or quarried stone. (Subsection 06.02, of Article 05, UDC)
- (4) Please correct the callout for veneer as it is currently spelled vaneer. (Subsection 04.01, of Article 05, UDC)
- (5) Please indicate the roof line on the building elevations. Staff must confirm that the parapet continues around the entire building. Please indicate that the back side of the parapets must be finished with the same material as the exterior facing façade. (Subsection 02.01, of Article 05, UDC)
- (6) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)
- (7) The proposed building does not meet the four (4) sided architecture requirements. This requires the same "materials, detailing, articulation and features" on each façade. In this case the primary articulation requirements must be met on each side of the buildings, and the same architectural detail and features must be provided on each side of the buildings. (Subsection 06.02, of Article 05, UDC)

- (8) Please indicate the architectural elements on the building. Each building is required to incorporate four (4) architectural elements. (Subsection 06.02, of Article 05, UDC)
- (9) The subject property is located within the Scenic Overlay District and is required to provide primary articulation on each façade. In this case, the proposed building elevations do not meet any of the primary articulation standards. (Subsection 04.01, of Article 05, UDC)

M.11 At this time, based on the materials submitted, staff has identified several changes to the site, landscape, photometric, and building design that require changes. Any required changes that are not made will be an exception/variance. These exceptions/variances must be approved by the Planning and Zoning Commission.

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on January 6, 2026 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on January 13, 2026.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	12/18/2025	Approved w/ Comments

- 12/18/2025: 1. Retaining wall lot allowed within easements and on top of utilities.
 2. Water main loop must be completed. Must have 10' separation from sewer and have a minimum of 10' water easement on both sides of the water pipe.
 3. Retaining wall lot allowed within easements.
 4. Dimension parking 20'x9'
 5. Show ex. 8" water line
 6. No trees within 5'; of utilities.
 7. Remove

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements.
- No structures including walls and overhangs allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- All utilities must be underground.
- The property must be platted.
- Additional comments may be provided at time of Site Plan and Engineering.

Roadway Paving Items:

- All parking, storage, drive aisles must be steel reinforced concrete. No rock, gravel, or asphalt allowed.
- No gravel or asphalt allowed in any area.

- All Parking to be 20'x9' minimum.
- Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround. 15'x64' striped no parking.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- All commercial sewer connections must be made by a proposed or existing manhole.
- Min 20' utility easements. No structures allowed in easements
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in an easement.
- There is an existing 8" water main on site available for use.
- There is an existing 8" sewer main on site available for use.

Drainage/Floodplain/Lakes:

- Detention has already been provided for this site.
- Existing flow patterns must be maintained. Cannot increase runoff in any direction.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Dumpsters must drain to an oil/water separator and then back into the storm drainage system.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	12/18/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/17/2025	Needs Review

12/17/2025: Fire Lane

Show the location of existing and proposed fire lanes serving this property.

Fire department Connection (FDC)

- * FDC shall be facing and visible from the fire lane.
- * FDC must be within 100 feet of a fire hydrant and 50 feet of the fire lane.
- * The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/15/2025	Approved

12/15/2025: Future suite number should follow these standards: <https://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

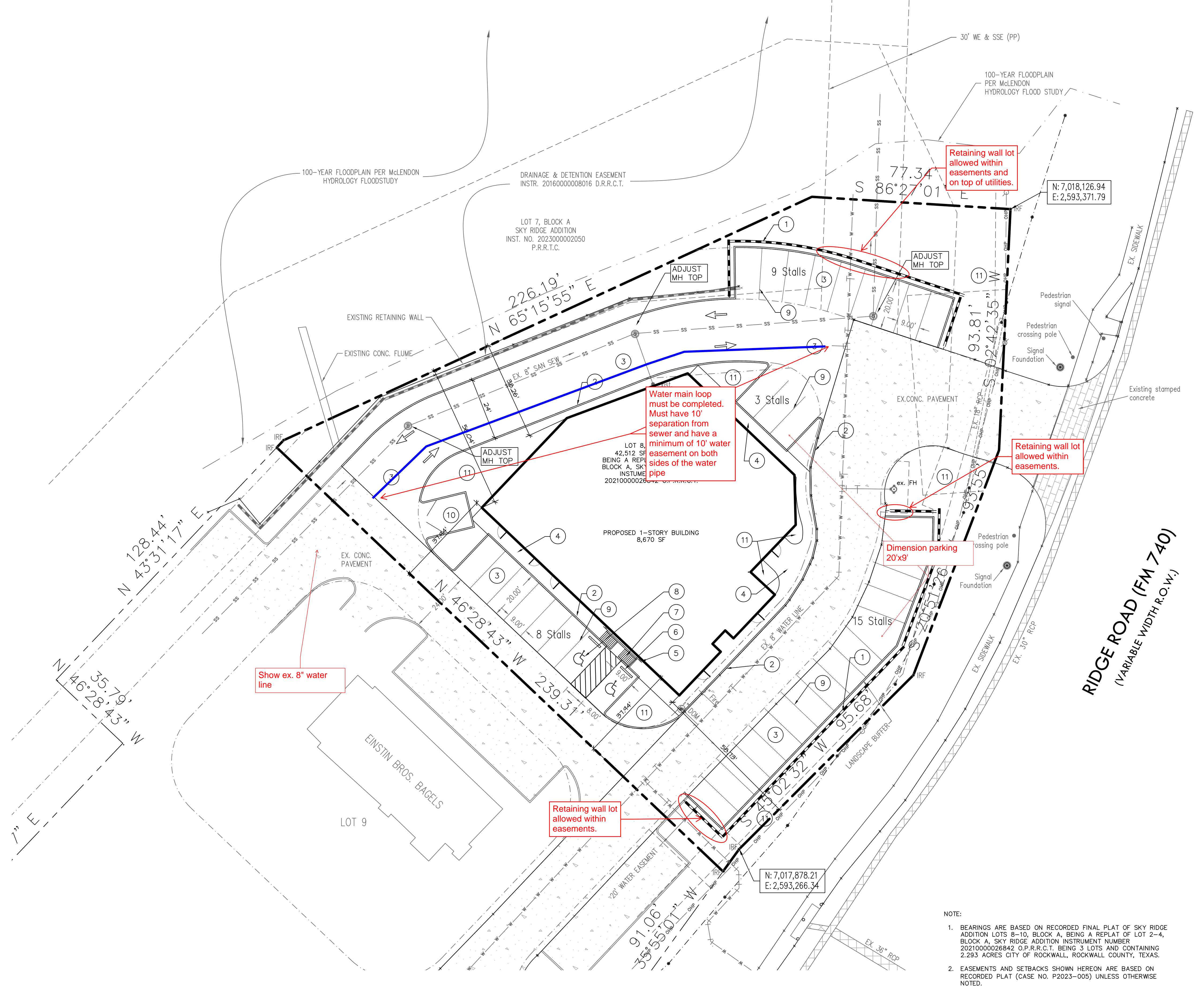
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	12/15/2025	Approved

No Comments

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- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements.
 - No structures including walls and overhangs allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
 - All utilities must be underground.
 - The property must be platted.
 - Additional comments may be provided at time of Site Plan and Engineering.
- Roadway Paving Items:**
- All parking, storage, drive aisles must be steel reinforced concrete. No rock, gravel, or asphalt allowed.
 - No gravel or asphalt allowed in any area.
 - All Parking to be 20'x9' minimum.
 - Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
 - No dead-end parking allowed without an City approved turnaround. 15'x64' striped no parking.
 - Drive isles to be 24' wide.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
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- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Only one "use" of a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - Min 20' utility easements. No structures allowed in easements
 - Water to be 10' separated from storm and sewer lines.
 - All public utilities must be centered in an easement.
 - There is an existing 8" water main on site available for use.
 - There is an existing 8" sewer main on site available for use.
- Drainage/Floodplain/Lakes:**
- Detention has already been provided for this site.
 - Existing flow patterns must be maintained. Cannot increase runoff in any direction.
 - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
 - No grate inlets allowed
 - Dumpsters must drain to an oil/water separator and then back into the storm drainage system.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.

REVISIONS

Date	Description	Approved

SITE DATA

LOT AREA	42,512 SF
BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	8,670 SF
FLOOR AREA RATIO	0.2039
TOTAL IMPERVIOUS AREA	31,613 SF (74% COVERAGE)
LANDSCAPE AREA	10,899 SF (26% COVERAGE)
EXISTING ZONING	C - COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (8500/250=34 required)
PROVIDED PARKING	35 SPACES

- KEYNOTES**
- 1 CONSTRUCT RETAINING WALL
 - 2 CONSTRUCT MONOLITHIC CONCRETE CURB
 - 3 INSTALL CONCRETE PAVEMENT
 - 4 CONSTRUCT 4" THICK CONCRETE SIDEWALK
 - 5 INSTALL HANDICAP SIGN
 - 6 INSTALL PRECAST CONCRETE WHEELSTOPS
 - 7 CONSTRUCT STANDARD ADA RAMP
 - 8 PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
 - 9 PAINT 4" SOLID STRIPE - WHITE
 - 10 CONSTRUCT 8' TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
 - 11 LANDSCAPE AREA

LEGEND

●	EXISTING SIGNAL FOUNDATION
◆	EXISTING FIRE HYDRANT
◇	EXISTING SANITARY CLEANOUT
⊙	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING POWER POLE
— OHP —	EXISTING OVERHEAD POWER LINE
— W —	EXISTING WATER LINE
— SS —	EXISTING SANITARY SEWER LINE
▨	EXISTING CONCRETE PAVEMENT

NOTE:

1. BEARINGS ARE BASED ON RECORDED FINAL PLAT OF SKY RIDGE ADDITION LOTS 8-10, BLOCK A, BEING A REPLAT OF LOT 2-4, BLOCK A, SKY RIDGE ADDITION INSTRUMENT NUMBER 202100002842, O.P.R.R.C.T. BEING 3 LOTS AND CONTAINING 2.293 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.
2. EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED ON RECORDED PLAT (CASE NO. P2023-005) UNLESS OTHERWISE NOTED.
3. UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ARE TO FACE OF CURB.

Henry Nguyen Consulting, LLC
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 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: henguyen@swbell.net
 Texas Registered Engineering Firm F-16239

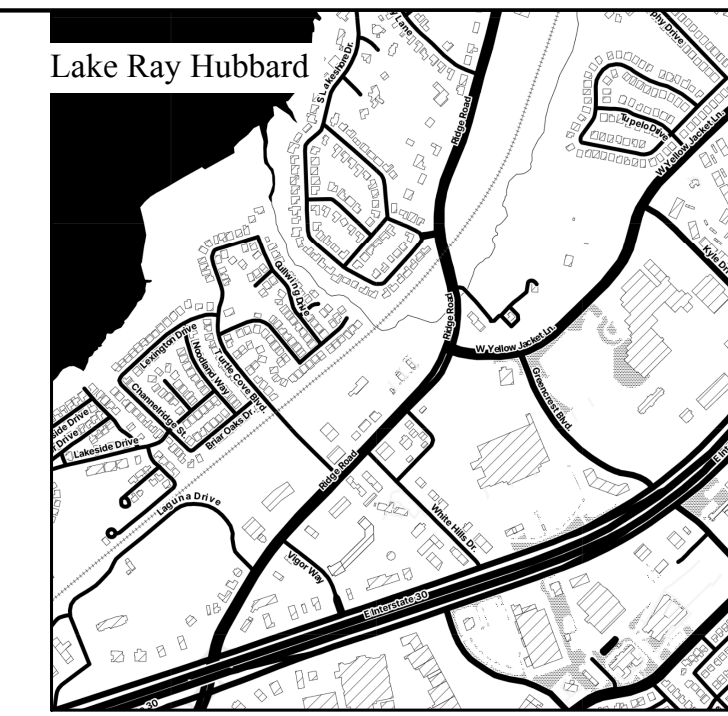
SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN HNC
 DRAWN HNC
 DATE 09/10/2025
 Job#: 25001

The seal appearing on this document was authorized by Henry Nguyen, P.E. 71065. Alteration of a sealed document with out proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

SITE PLAN

C1



Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
 Texas Registered Engineering Firm F-16239

REVISIONS	
Date	Description

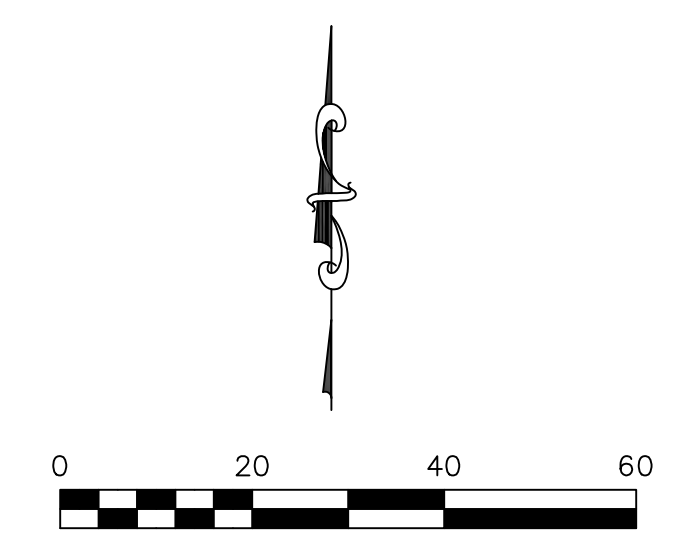
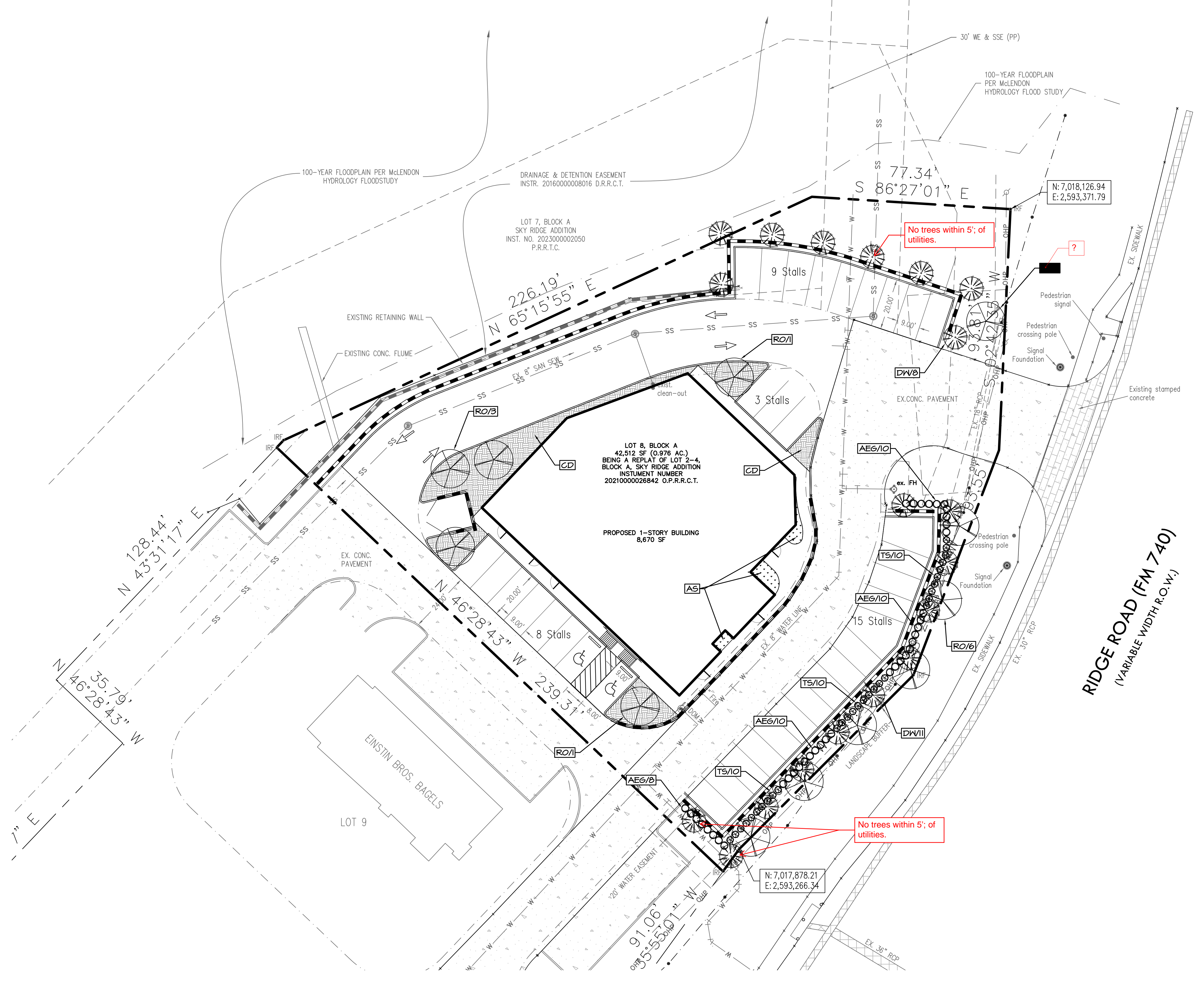
SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	Job#
DRAWN			08/28/2025	25001



The seal appearing on this document was authorized by Henry Nguyen, P.E. 71065. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

LANDSCAPE PLAN



1. Overall Site Landscaping Percentage

For Commercial Districts, the required landscaping is 20% of the net lot area.

Required	Provided
20% x 42,512 sf = 8,502.40 sf	10,899 sf (26%)

2. Perimeter Landscaping (Buffers)

A. Street Frontage Landscaping:

- Requirement: 10 feet along all public street frontages.
- Trees: Typically, one (1) large canopy tree per 50 linear feet of street frontage.
- Shrubs/Groundcover: The remaining area within the landscape strip must be covered with shrubs, groundcover, or turf.

Required	Provided
10'	10'
Frontage = 283.04 LF/50 = 6 Trees	26
3 shrubs/10 LF x 283.04 LF = 85 Shrubs	85

3. Interior Parking Lot Landscaping

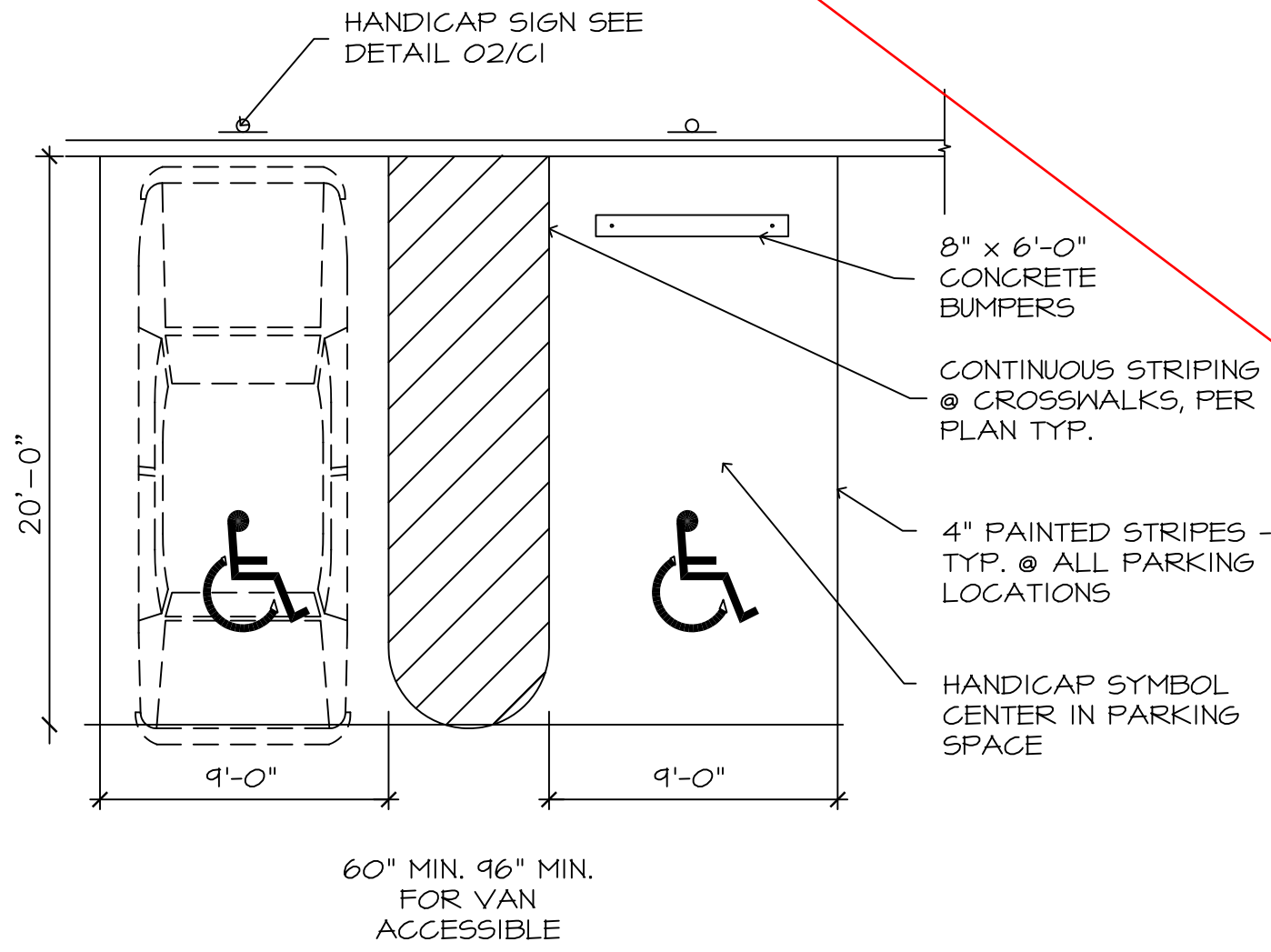
- Trees:
 - Number/Coverage: one (1) shade tree per 10 number of parking spaces (1/10 x 35 spaces = 4 trees), or 20% of the parking lot area (20% x 5,760 sf = 1,152 sf).
 - Island Requirements: Landscaped islands are typically required at the end of every parking row and within longer rows (e.g., for every 10-15 spaces). These islands must accommodate at least one large canopy tree.
- Shrubs/Groundcover: All areas within interior landscape islands and strips must be fully planted with shrubs, groundcover, or turf.

Required	Provided
1 tree/10 parking spaces x 35 = 4 trees	5
5,760 sf x 20% = 1,152 sf	1,985 sf (34%)

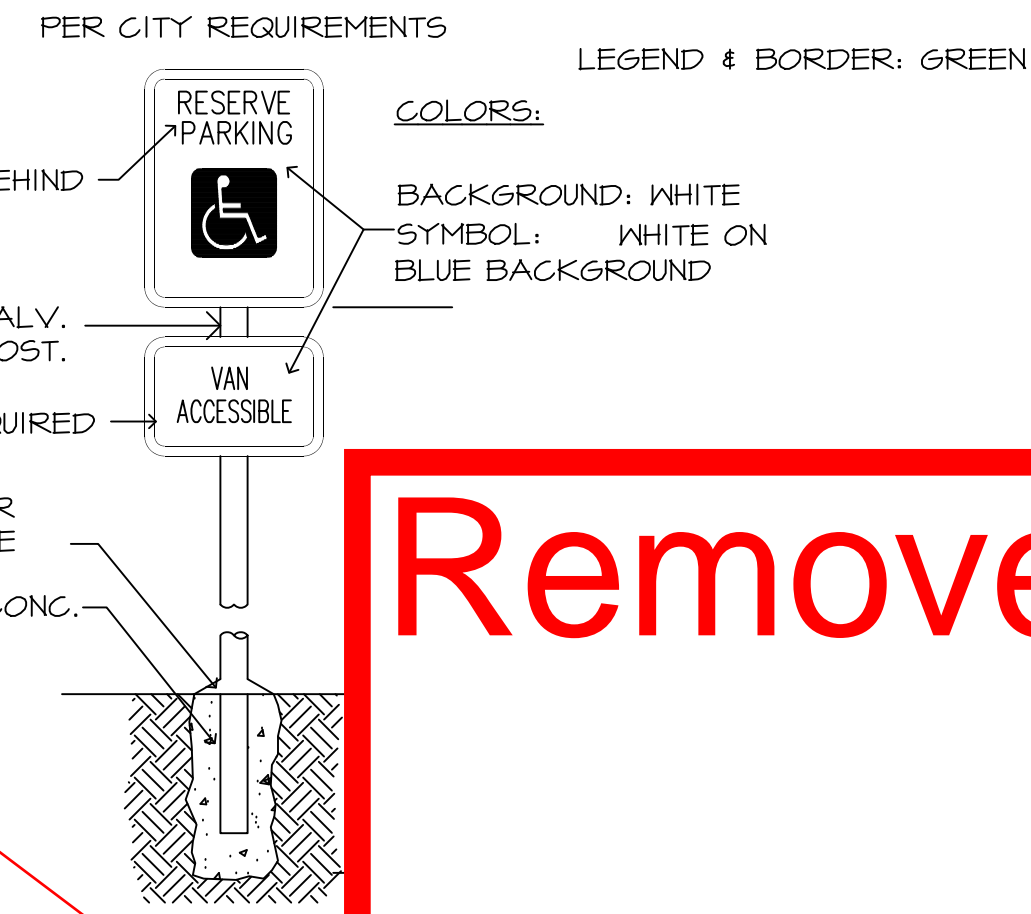
LANDSCAPE LEGEND

	CD	COMMON BURMUDA GRASS SOD
	AS	ASIATIC JASMINE
	RO	TEXAS RED OAK
	DW	DESERT WILLOW
	AEG	EDWARD GOUCHER ABELIA
	TS	TEXAS SAGE
		PROPOSED RETAINING WALL

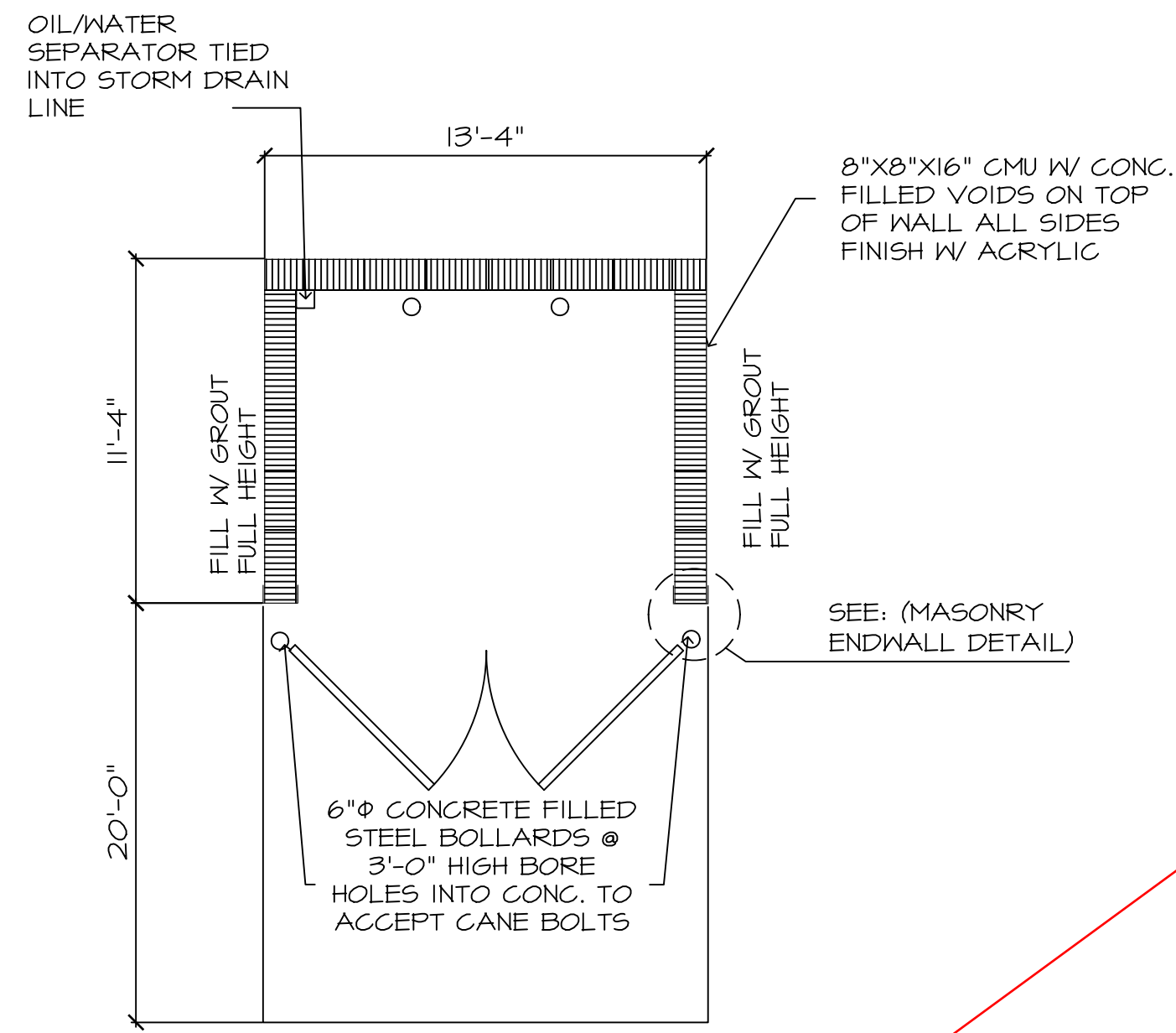
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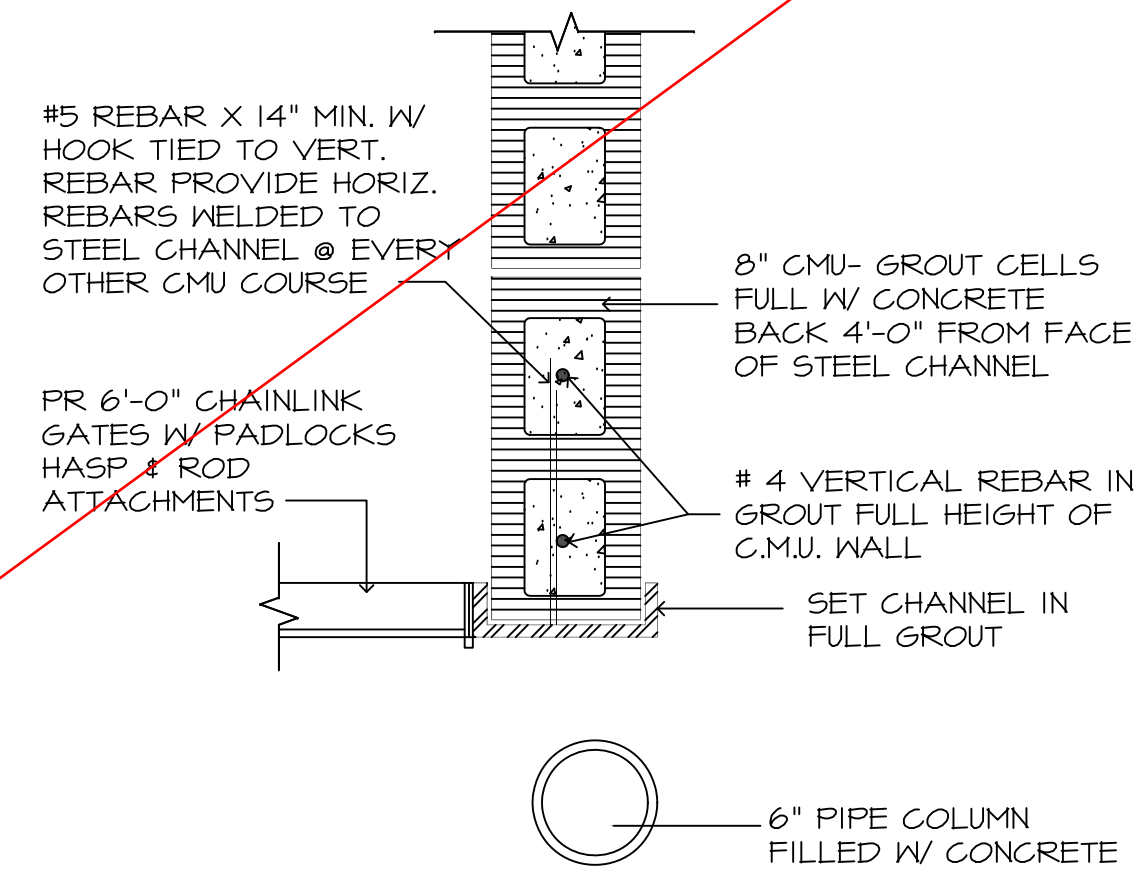
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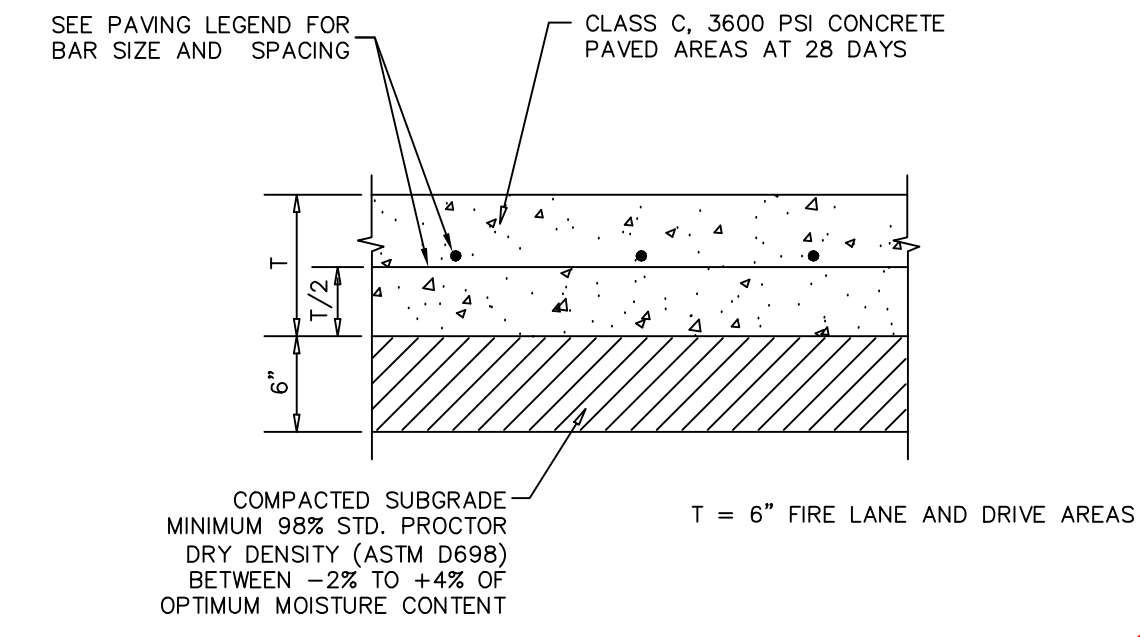
DETAIL - HANDICAP SIGN
SCALE: NONE



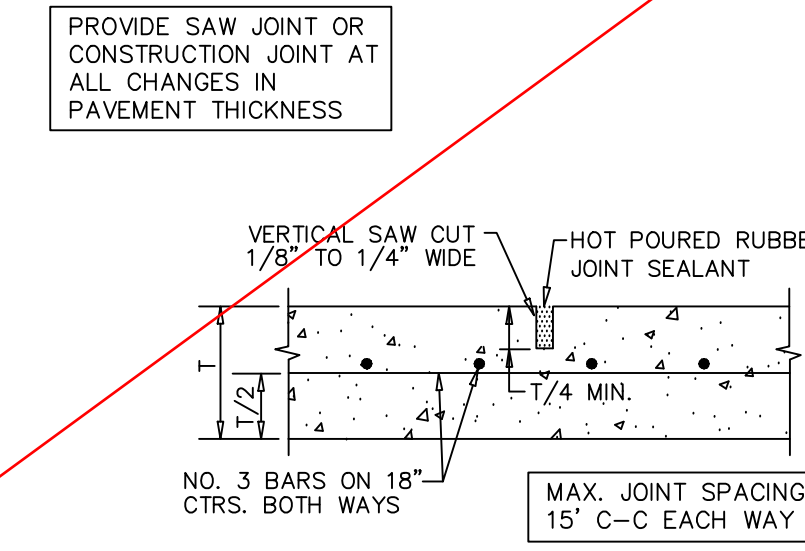
TRASH ENCLOSURE PLAN
SCALE: NONE



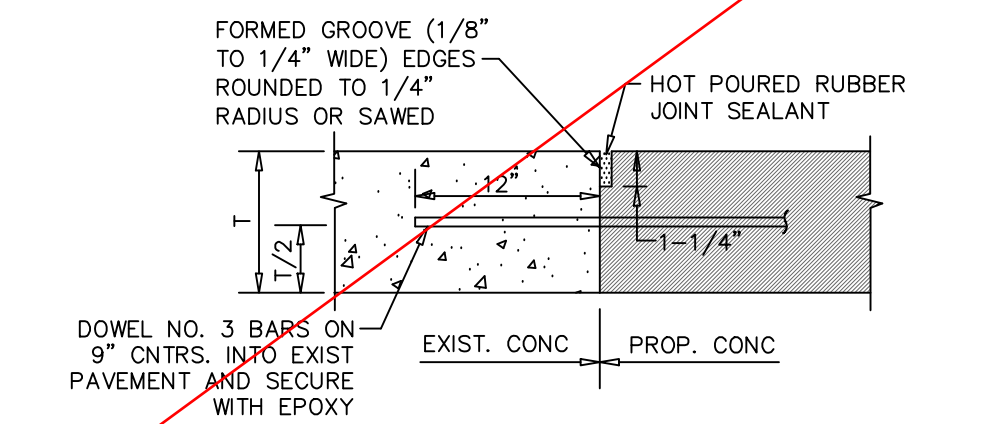
MASONRY ENDWALL DETAIL
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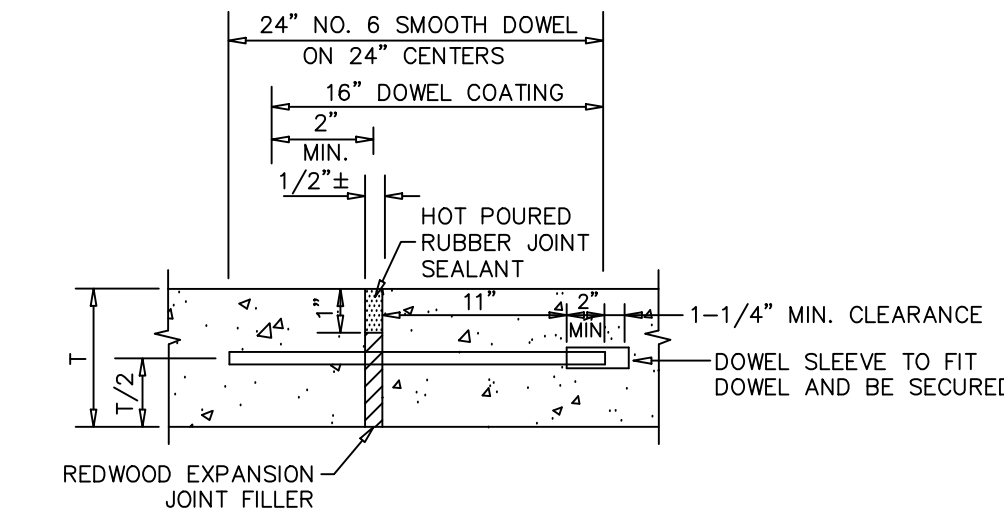
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NOT TO SCALE



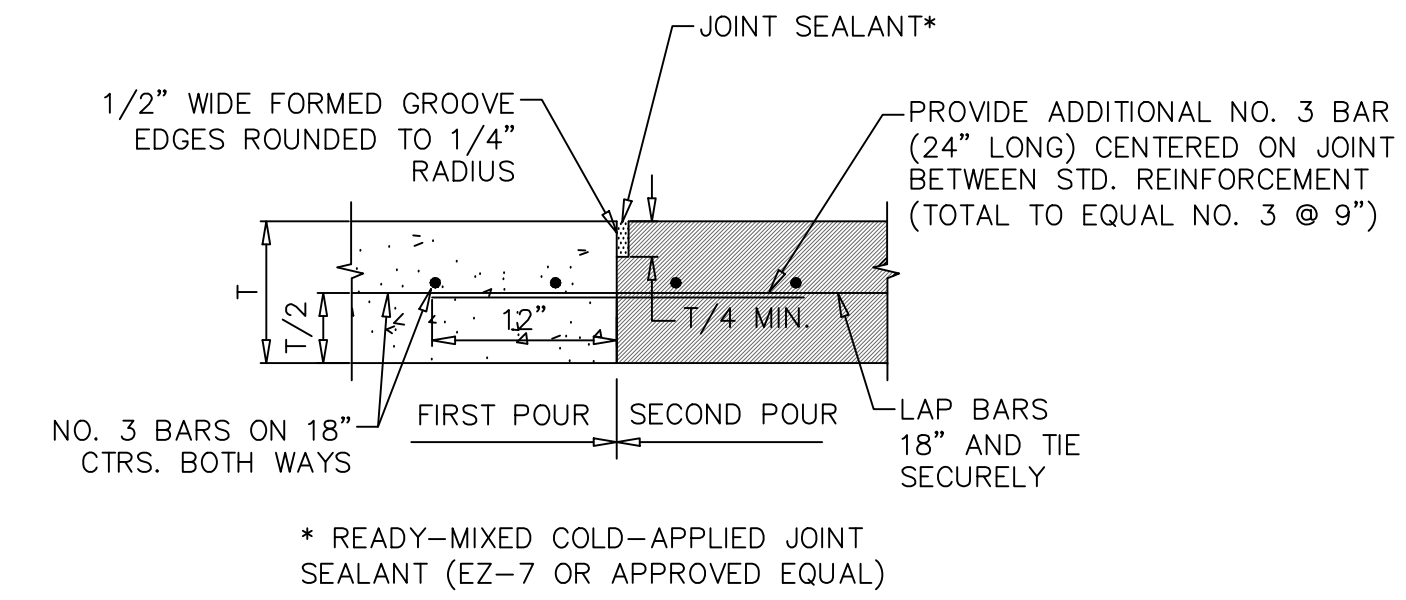
2 SAWED DUMMY JOINT
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3 PAVEMENT CONNECTION
NOT TO SCALE



4 EXPANSION JOINT
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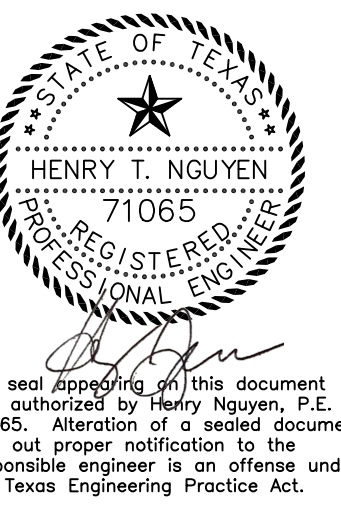


5 CONSTRUCTION JOINT
NOT TO SCALE

Approved	Description	Date

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	Job#
DRAWN			08/28/2025	25001



SITE DETAILS

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2200 Ridge Road, Rockwall TX 75087

SUBDIVISION Sky Ridge Addition

LOT 8 BLOCK A

GENERAL LOCATION NW of YellowJacket & Ridge Road Intersection

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial District

CURRENT USE None

PROPOSED ZONING

PROPOSED USE Nail Salon & General Retail

ACREAGE 0.976

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Beauty Legacy, LLC

APPLICANT Henry Nguyen Consulting, LLC

CONTACT PERSON Lien Nguyen

CONTACT PERSON Henry Nguyen

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

NOTARY VERIFICATION [REQUIRED]

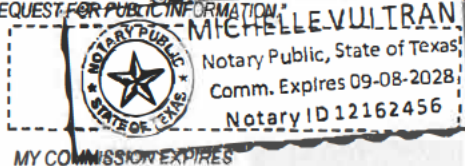
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Lien T. Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF December, 2025

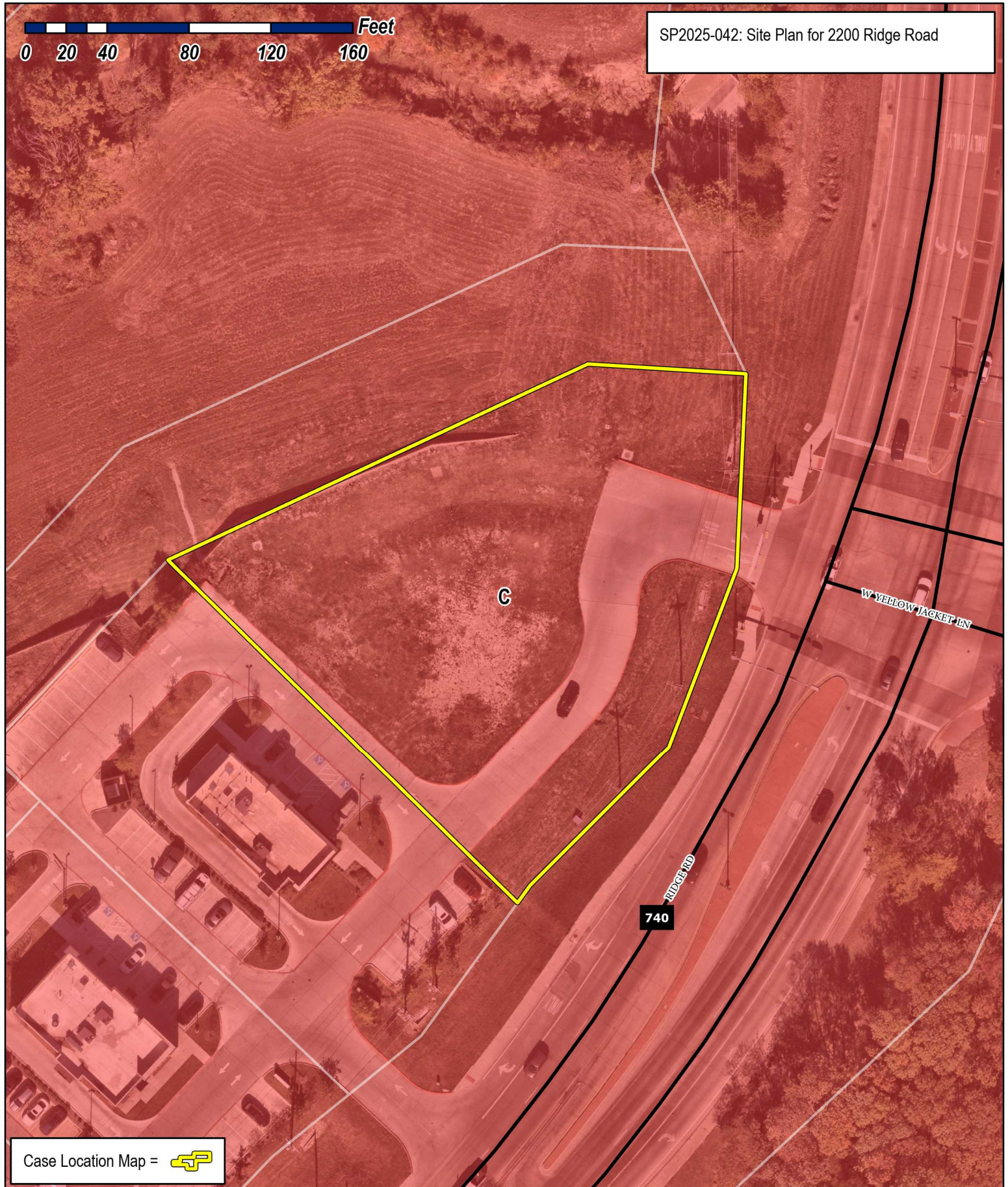
OWNER'S SIGNATURE [Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2025-042: Site Plan for 2200 Ridge Road



Case Location Map = 

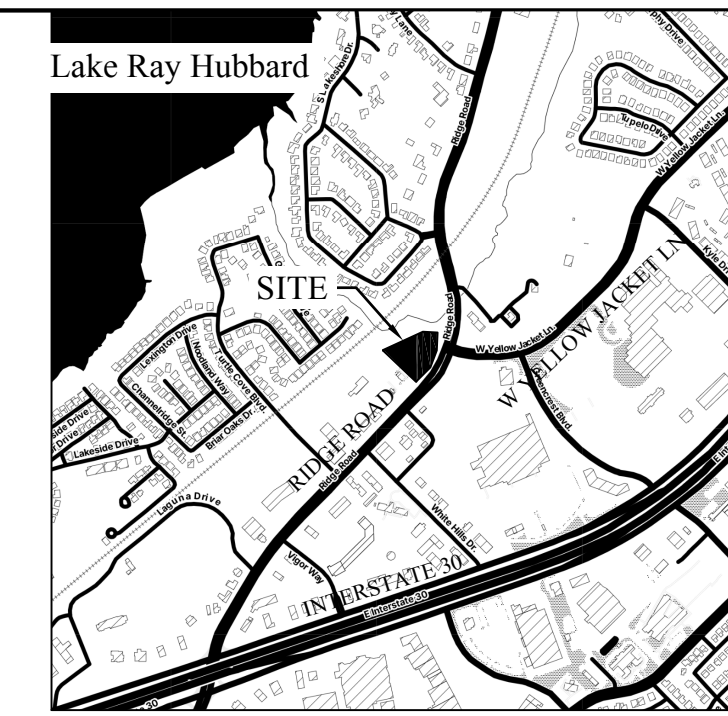


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





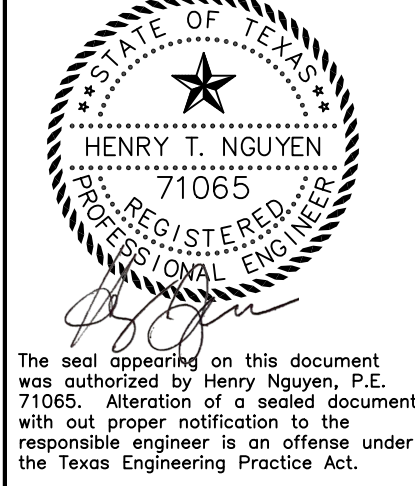
VICINITY MAP (NTS)

Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
 Texas Registered Engineering Firm F-16239

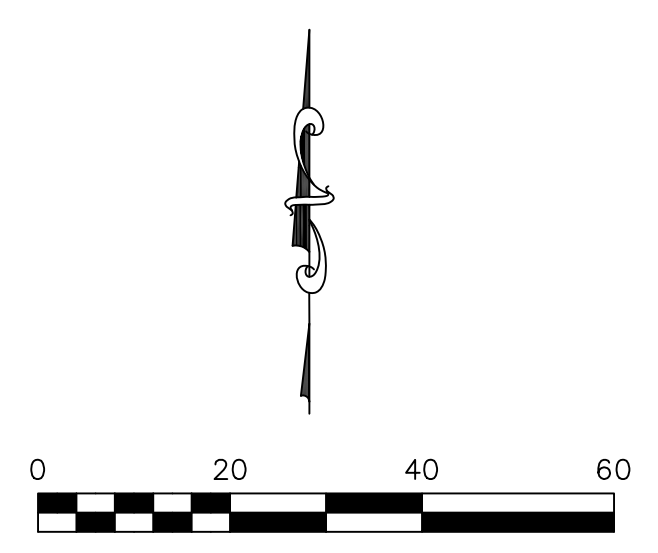
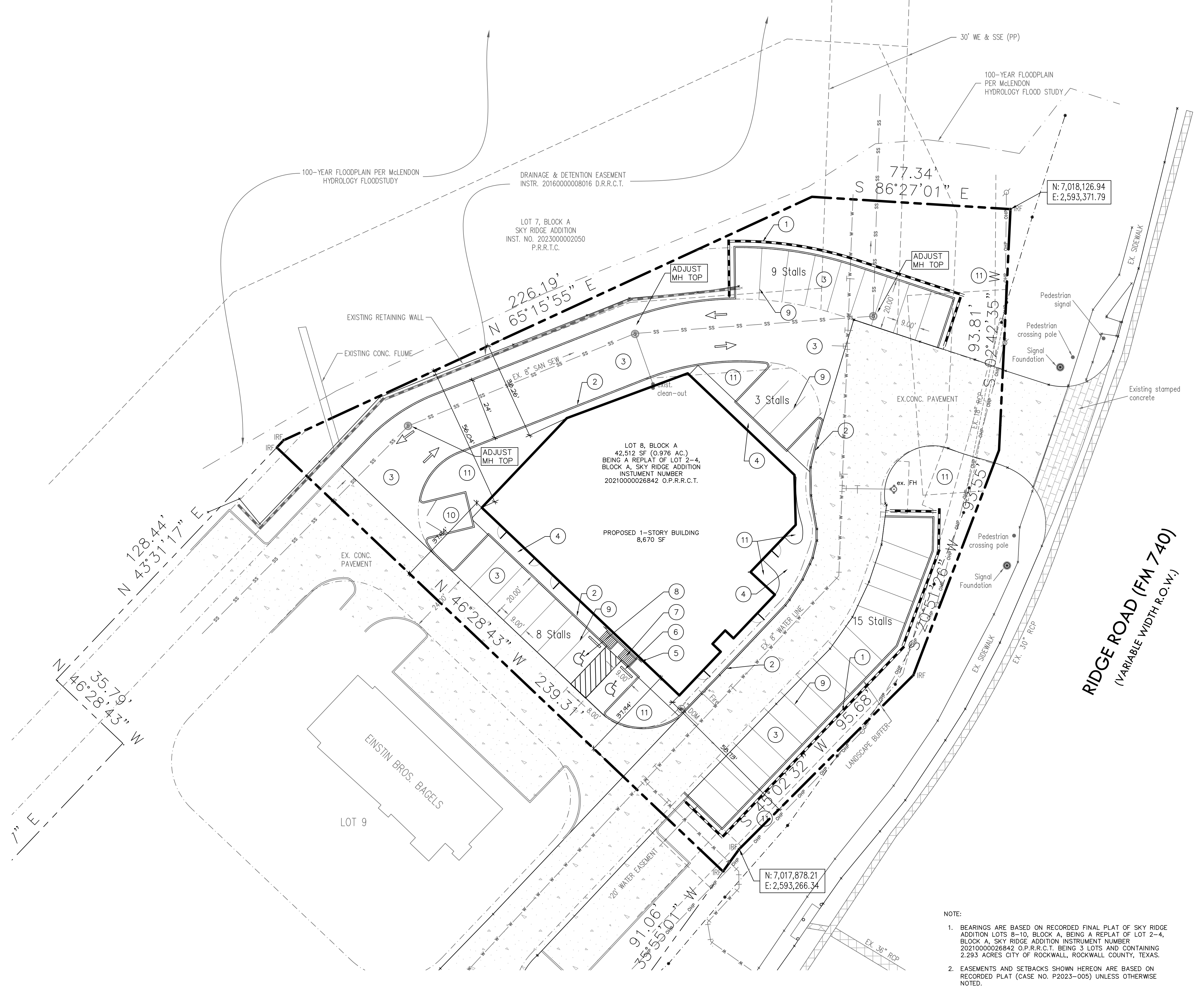
Approved	Date	Description

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	Job#
			09/10/2025	25001



SITE PLAN



SITE DATA

LOT AREA	42,512 SF
BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	8,670 SF
FLOOR AREA RATIO	0.2039
TOTAL IMPERVIOUS AREA	31,613 SF (74% COVERAGE)
LANDSCAPE AREA	10,899 SF (26% COVERAGE)
EXISTING ZONING	C - COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (8500/250=34 required)
PROVIDED PARKING	35 SPACES

KEYNOTES

- ① CONSTRUCT RETAINING WALL
- ② CONSTRUCT MONOLITHIC CONCRETE CURB
- ③ INSTALL CONCRETE PAVEMENT
- ④ CONSTRUCT 4" THICK CONCRETE SIDEWALK
- ⑤ INSTALL HANDICAP SIGN
- ⑥ INSTALL PRECAST CONCRETE WHEELSTOPS
- ⑦ CONSTRUCT STANDARD ADA RAMP
- ⑧ PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
- ⑨ PAINT 4" SOLID STRIPE - WHITE
- ⑩ CONSTRUCT 8' TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
- ⑪ LANDSCAPE AREA

LEGEND

- EXISTING SIGNAL FOUNDATION
- ◆ EXISTING FIRE HYDRANT
- ◇ EXISTING SANITARY CLEANOUT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING POWER POLE
- OHP — OHP — OHP — EXISTING OVERHEAD POWER LINE
- W — W — W — W — W — EXISTING WATER LINE
- SS — SS — SS — SS — SS — EXISTING SANITARY SEWER LINE
- ▨ EXISTING CONCRETE PAVEMENT

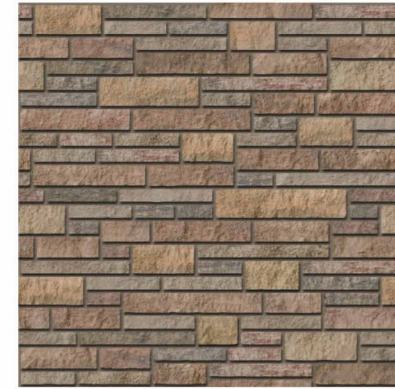
NOTE:

1. BEARINGS ARE BASED ON RECORDED FINAL PLAT OF SKY RIDGE ADDITION LOTS 8-10, BLOCK A, BEING A REPLAT OF LOT 2-4, BLOCK A, SKY RIDGE ADDITION INSTRUMENT NUMBER 20210000026842, O.P.R.R.C.T. BEING 3 LOTS AND CONTAINING 2.293 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.
2. EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED ON RECORDED PLAT (CASE NO. P2023-005) UNLESS OTHERWISE NOTED.
3. UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ARE TO FACE OF CURB.

Sep 02 2025 2:08pm hng
 C:\Users\hng\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKT RIDGE ADDITION\B-SHEET_SETS\25-SITE PLAN.dwg

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



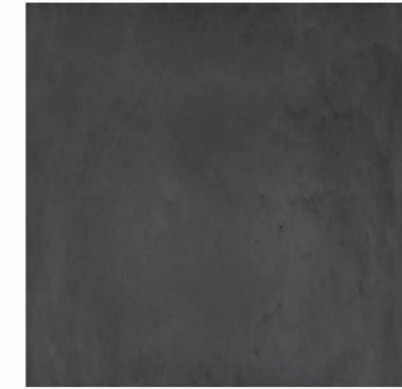
STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STACKED STONE
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - SOUTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,361.15	66.64%
OPENINGS, WINDOWS	1	681.43	33.36%
TOTAL WALL AREA		2,042.58	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: TT, NH
DRAWN BY: NH
CHECKED BY: TT

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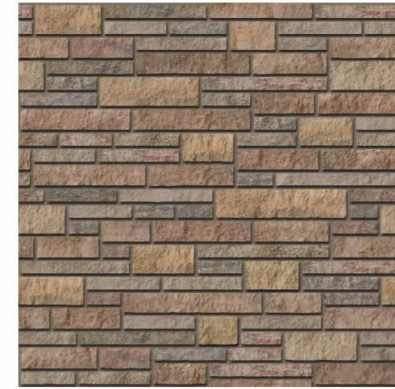
BUILDING ELEVATIONS
A200



1 SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



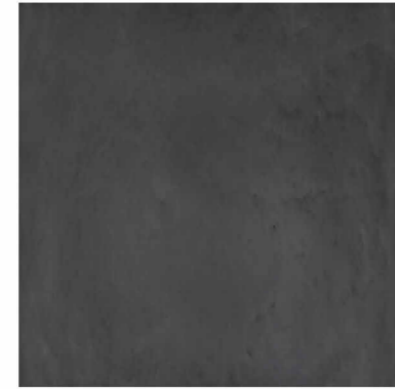
STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - EAST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,665.53	76.06%
OPENINGS, WINDOWS	1	524.28	23.94%
TOTAL WALL AREA		2,189.81	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VANEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VANEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHTECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



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B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100



1 EAST ELEVATION
1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

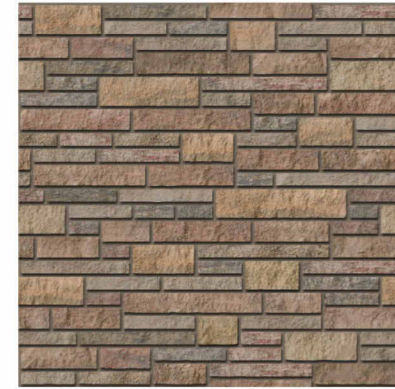
DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A201

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - WEST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,499.26	69.26%
WINDOWS, CLEAR GLASS	1	665.38	30.74%
TOTAL WALL AREA		2,164.64	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



1 WEST ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

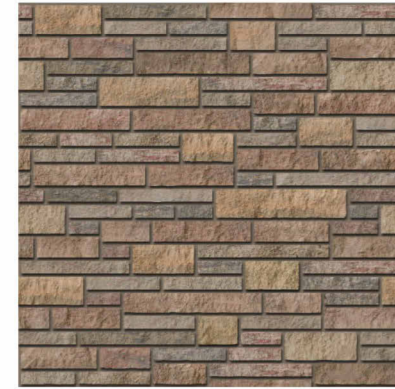
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BUILDING ELEVATIONS
A202

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE. VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN

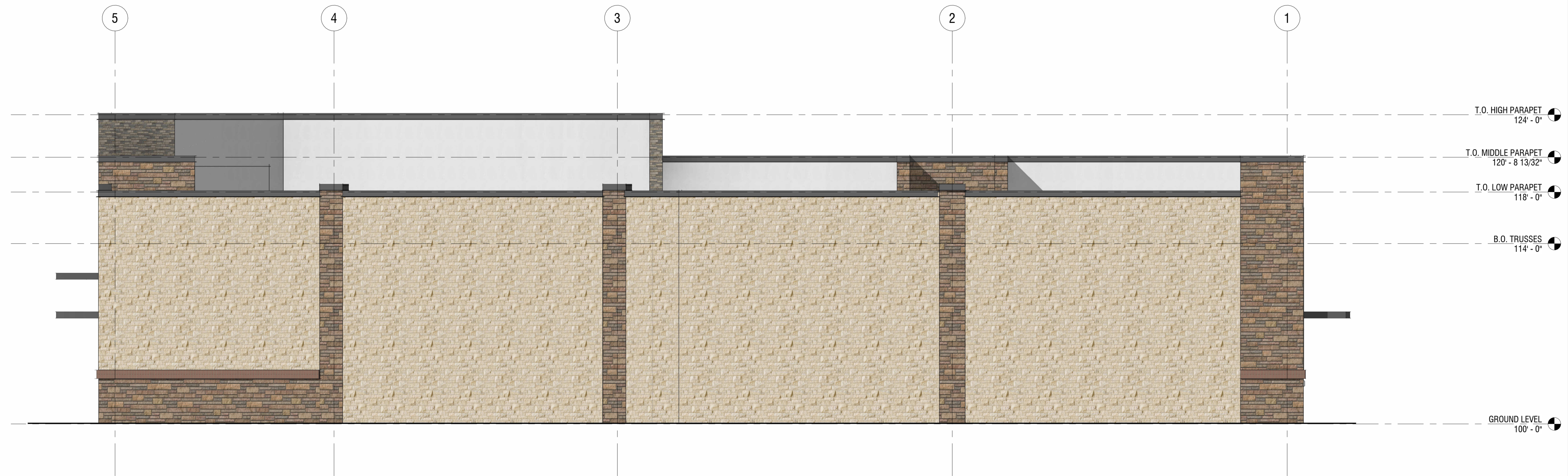


STONE VANEER
GEORGIA CITADEL
INDIANA

EXTERIOR MATERIALS - NORTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,648.32	100%
WINDOWS, CLEAR GLASS	1	0	0%
TOTAL WALL AREA		1,648.32	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



2 NORTH ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A203



SKYRIDGE RETAIL BUILDING

LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

ARCHITECTURAL PRELIMINARY DESIGN

ARCHITECT
B + A ARCHITECTURE
100 W 31ST STREET, SUITE 100
KANSAS CITY, MISSOURI 64108
PH: 816-753-6100



ISSUED DATE: WEDNESDAY, AUGUST 27TH 2025

DRAWINGS INDEX:

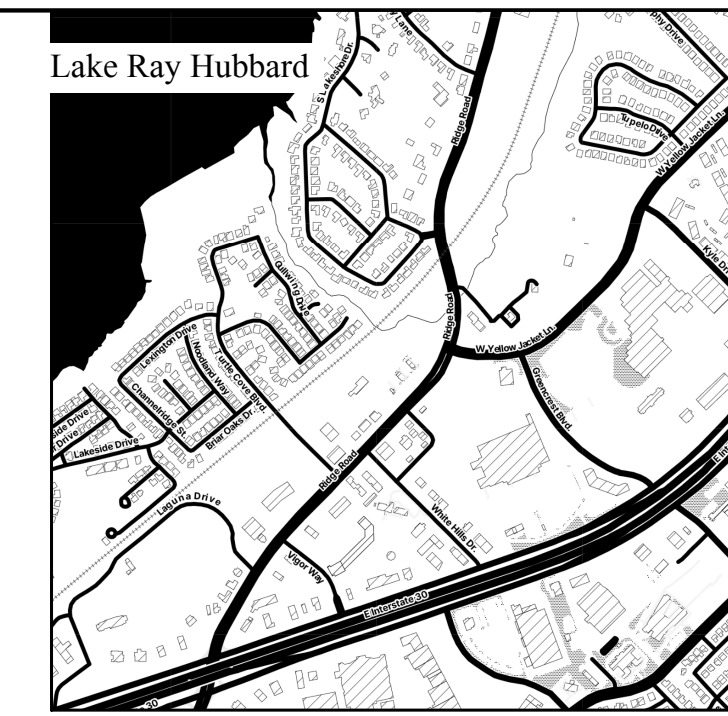
A001: SITE PLAN

A002: FLOOR PLAN

A200-203: ELEVATIONS

A700-704: RENDERINGS



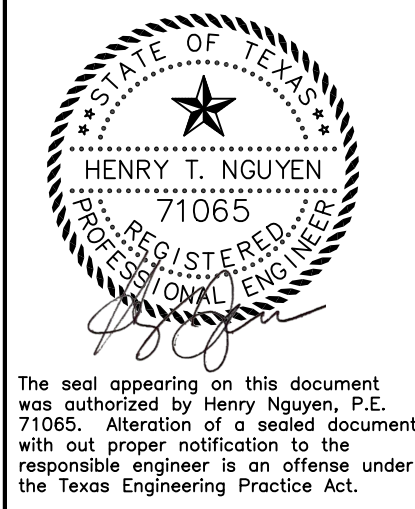


Henry Nguyen Consulting, LLC
 Civil Engineering
 1330 Glenfield Ave, Dallas, Texas 75224
 (214) 773-4075 Email: hnguyen@swbell.net
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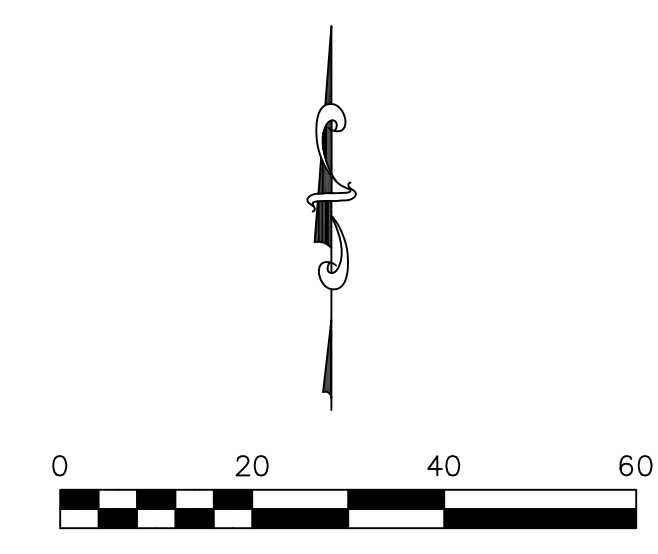
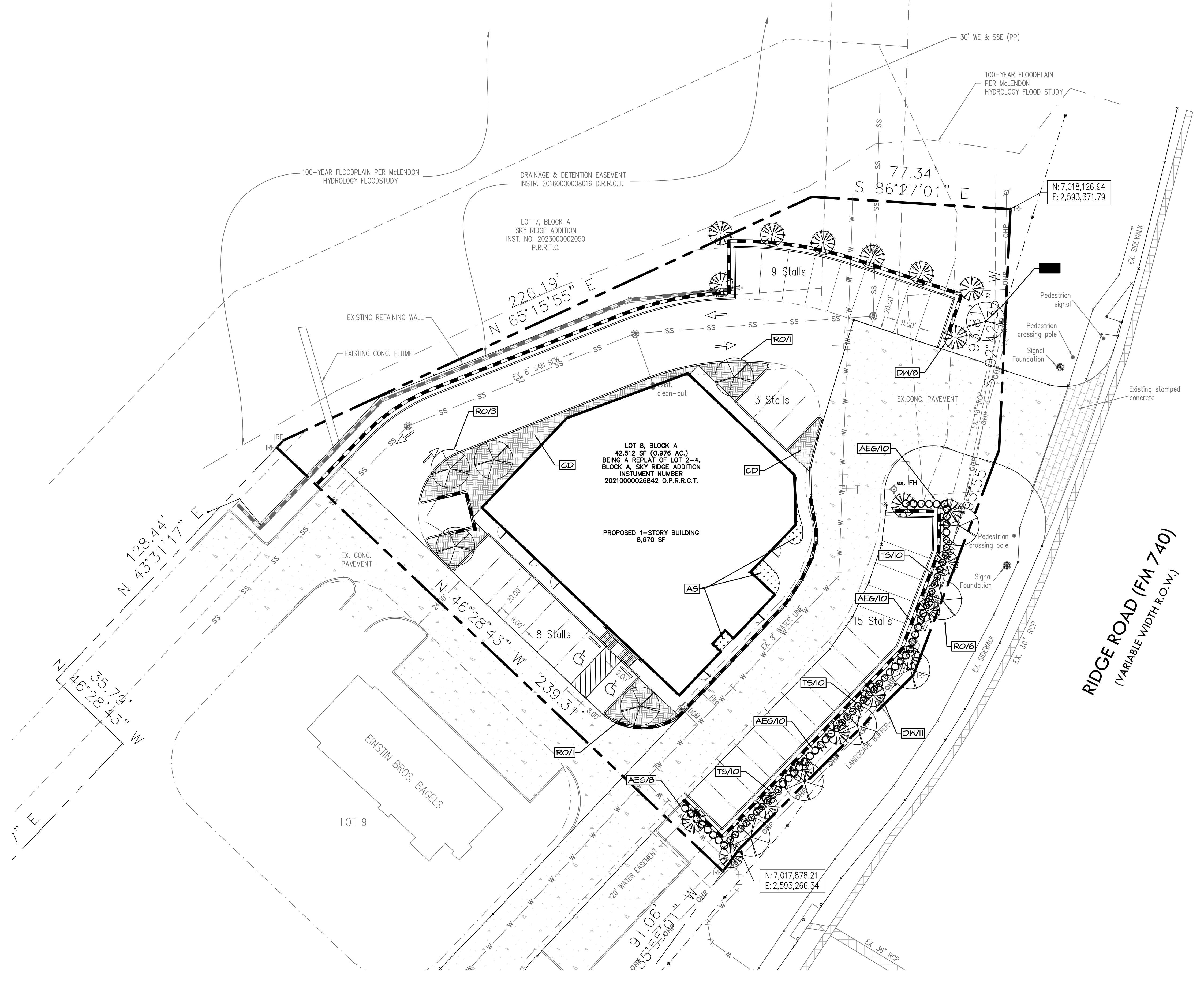
REVISIONS	
Date	Description

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	
DRAWN			
DATE	08/28/2025		
			Job#: 25001



LANDSCAPE PLAN



1. Overall Site Landscaping Percentage

- For Commercial Districts, the required landscaping is 20% of the net lot area.

Required	Provided
20% x 42,512 sf = 8,502.40 sf	10,899 sf (26%)

2. Perimeter Landscaping (Buffers)

A. Street Frontage Landscaping:

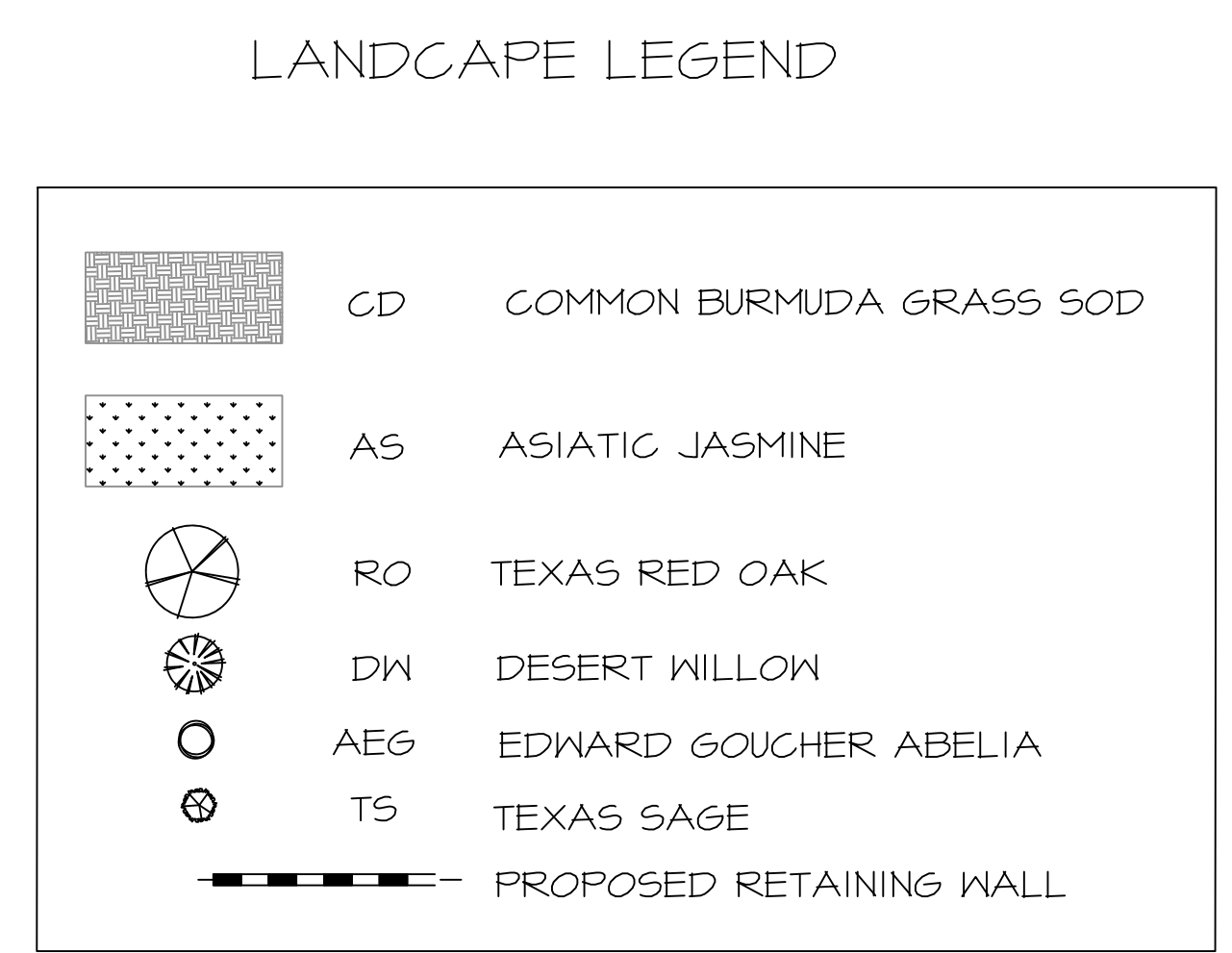
- Requirement: 10 feet along all public street frontages.
- Trees: Typically, one (1) large canopy tree per 50 linear feet of street frontage.
- Shrubs/Groundcover: The remaining area within the landscape strip must be covered with shrubs, groundcover, or turf.

Required	Provided
10'	10'
Frontage = 283.04 LF/50 = 6 Trees	26
3 shrubs/10 LF x 283.04 LF = 85 Shrubs	85

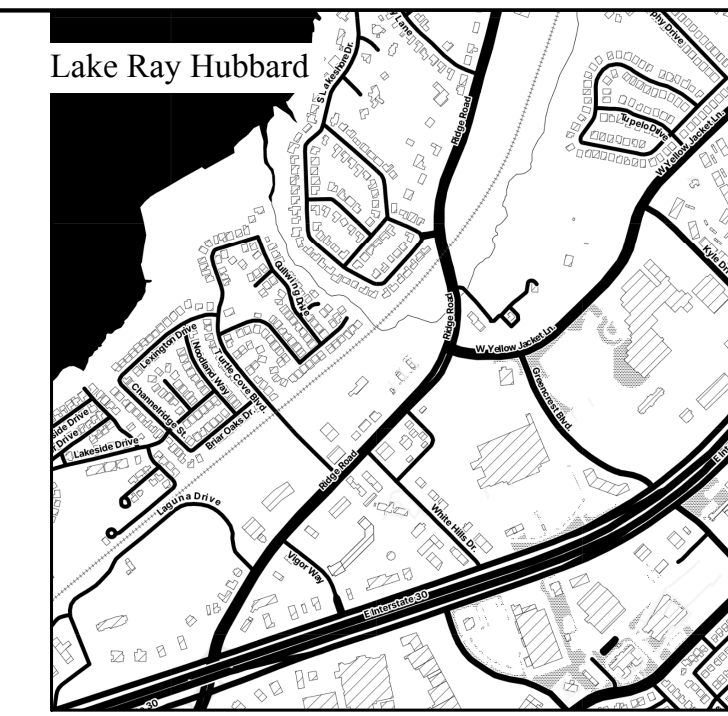
3. Interior Parking Lot Landscaping

- Trees:
 - Number/Coverage: one (1) shade tree per 10 number of parking spaces (1/10 x 35 spaces = 4 trees), or 20% of the parking lot area (20% x 5,760 sf = 1,152 sf).
 - Island Requirements: Landscaped islands are typically required at the end of every parking row and within longer rows (e.g., for every 10-15 spaces). These islands must accommodate at least one large canopy tree.
- Shrubs/Groundcover: All areas within interior landscape islands and strips must be fully planted with shrubs, groundcover, or turf.

Required	Provided
1 tree/10 parking spaces x 35 = 4 trees	5
5,760 sf x 20% = 1,152 sf	1,985 sf (34%)



AUG 28, 2025 10:16am hng
 C:\Users\hnguyen\OneDrive\My Documents\Projects\25001-SKT RIDGE ADDITION\B-SHEET_SETS\LI_LANDSCAPE.dwg



GENERAL LAWN NOTES

1. ALL LANDSCAPE/TURF AREAS TO BE INSTALLED WITH AUTOMATIC IRRIGATION SYSTEM MEETING CITY AND TCEQ STANDARD.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 4" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR TO APPLY 4" CLEAN TOPSOIL TO ALL TURF AREAS PRIOR TO INSTALLATION OF SOD OR HYDROMULCH.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDINGS AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
5. LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE.
6. REMOVE ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
7. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
8. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
9. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
10. WATER SOD THOROUGHLY AS SOD REESTABLISHMENT PROGRESSES.
11. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDA GRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

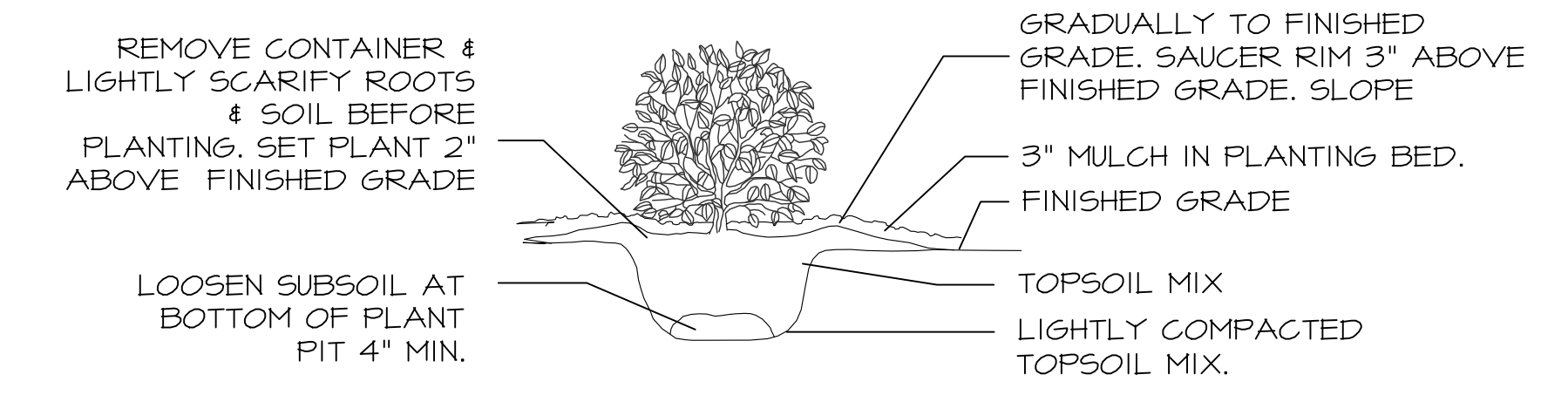
CUSTOM PLANTING SOIL:

AMENDED SOIL (IN SHRUB PLANTING BEDS & AT TREES)
 PRODUCT: LANDSCAPERS BLEND (50/50)
 DEPTH: 6" (TILLED INTO 6" OF EXISTING SOIL FOR A TOTAL DEPTH OF 12")
 SUPPLIER: SOIL BUILDING SYSTEMS
 CONTACT: 972-831-8181
 INSTALLATION: PER SOIL BUILDING SYSTEMS SPECIFICATIONS

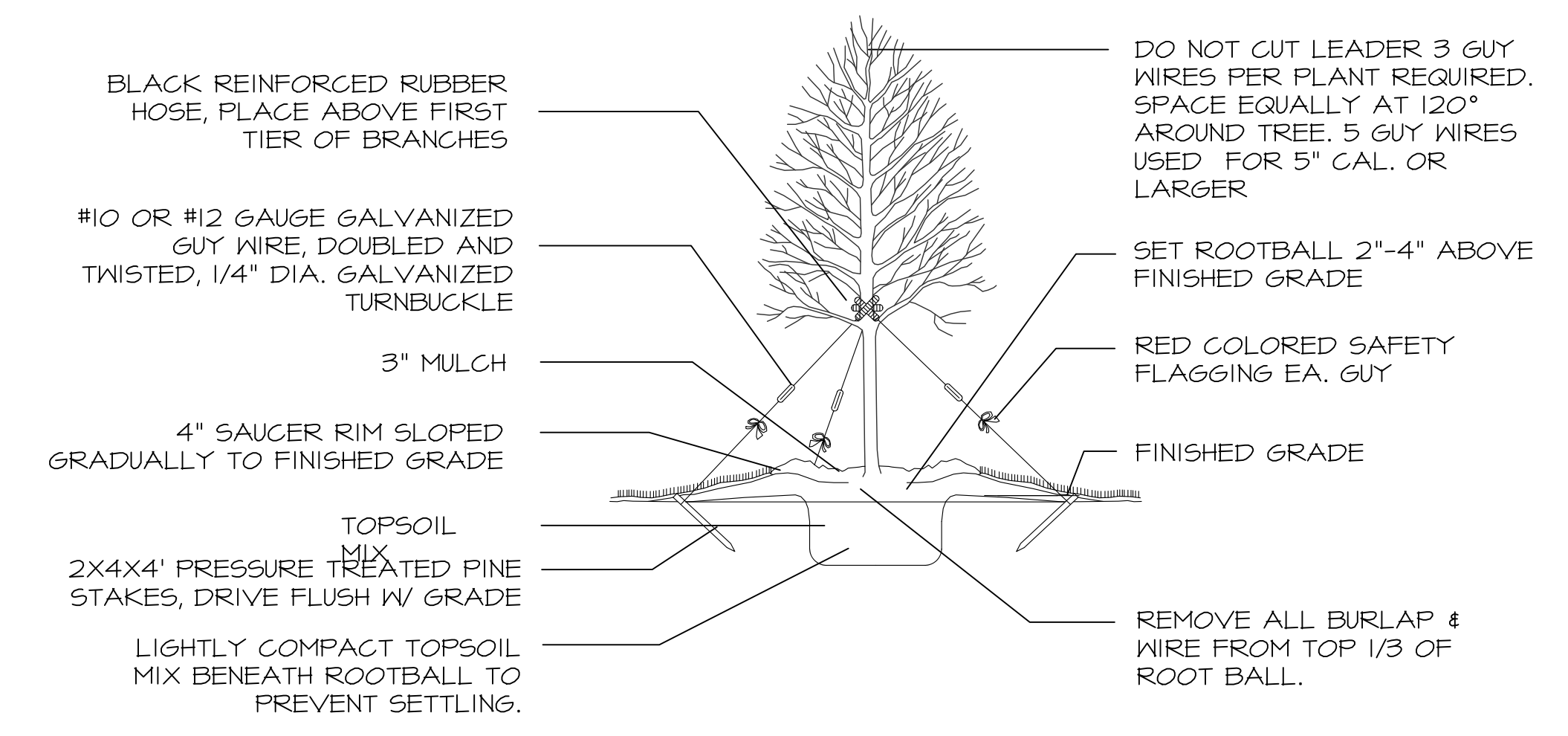
STEEL EDGING:

METAL EDGING TO SEPARATE PLANTING BEDS FROM ADJACENT TURF
 PRODUCT: DURAEEDGE
 SIZE: 3/16" THICK x 4" HEIGHT x 16' LENGTH
 NOTES: METAL EDGING SHALL NOT BE INSTALLED PARALLEL AGAINST CURBS AND SIDEWALKS. METAL EDGING SHALL BE TRIMMED WHERE IT ABUTS SIDEWALKS AND CURBS TO AVOID SHARP EDGES.

PLANT LIST						
SYMBOL	BOTANIC NAME	COMMON NAME	QTY.	UNIT	SIZE	NOTES
★						
GROUND COVER						
GD	CYNODON DACTYLON	COMMON BERMUDA GRASS SOD	1820	SF		SOLID SOD PER INDUSTRY STANDARD
AS	TRACHELOSPERMUM	ASITIC JASMINE	165	SF		
★						
TREES AND SHRUBS						
RO	QUERCUS BUCKLEYI	TEXAS RED OAK	12	EA	4" CAL	12' HEIGHT SPACING PER PLAN
DN	CHILOPSIS LINEARIS	DESERT WILLOW	14	EA	4" CAL	12' HEIGHT SPACING PER PLAN
AEG	ABELIA X EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	38	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.
TS	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	48	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.



A SHRUB PLANTING DETAIL
 SCALE: NONE

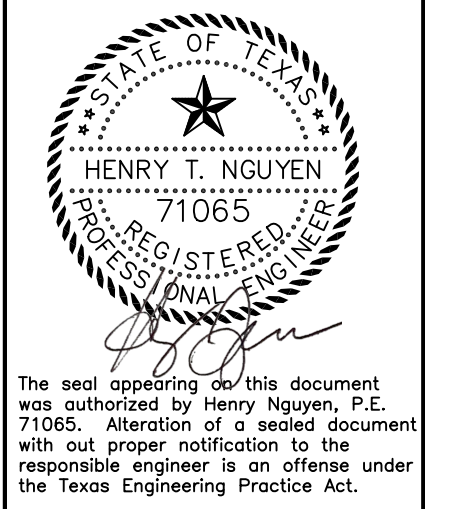


B TREE PLANTING DETAIL
 SCALE: NONE

REVISIONS	
Date	Description
Approved	

SKYRIDGE RETAIL BUILDING
 2200 RIDGE ROAD
 ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	08/28/2025	Job#: 25001
DRAWN					



LANDSCAPE PLAN

SELECTED OPTION: INCLUDING 43 PEDICURE CHAIRS & 24 MANICURE STATIONS



ARCHITECT
B + A ARCHITECTURE
 600 BROADWAY BLVD, SUITE 290
 KANSAS CITY, MO 64105
 PH: 816-753-6100



SKYRIDGE RETAIL BUILDING
 LOT 2 - 2200 RIDGE RD. ROCKWALL, TX 75087

SEAL

NOT FOR CONSTRUCTION

Issue Date: 08/27/2025

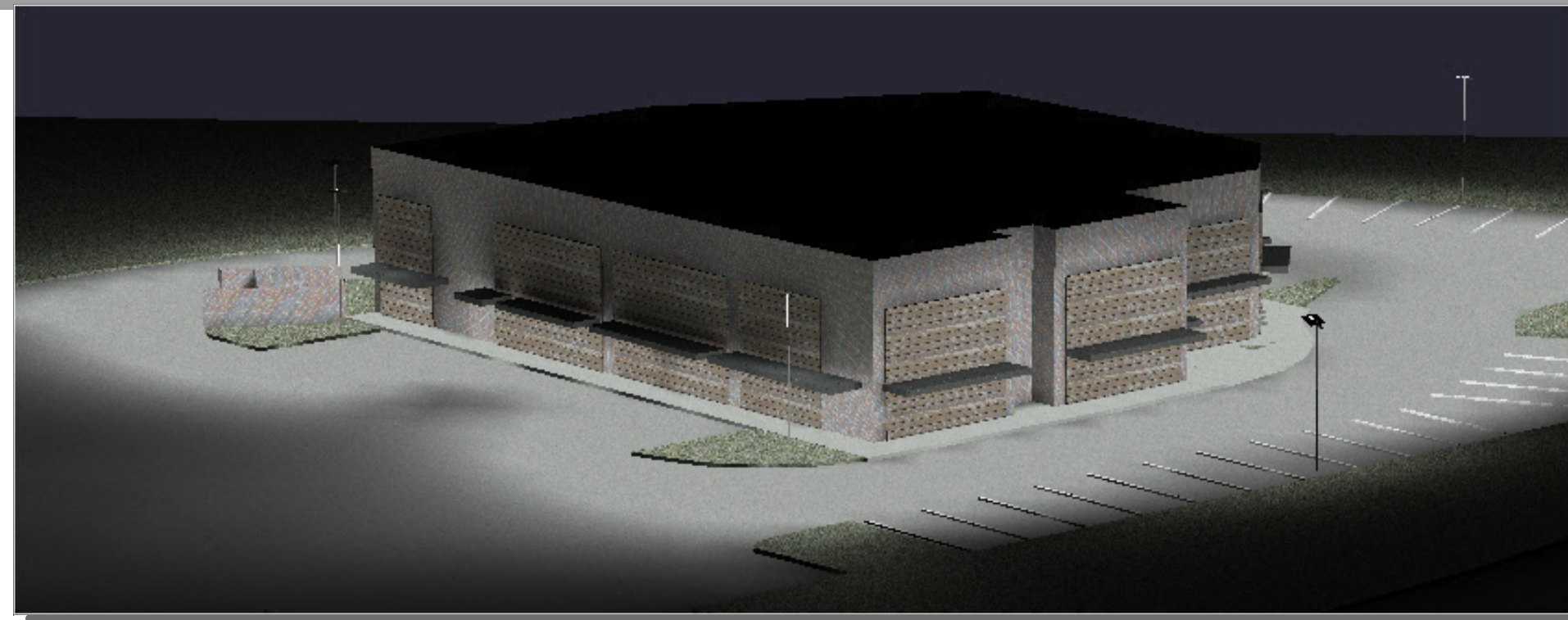
NO.	REVISION	DATE

DESIGNED BY: NH,TT
 DRAWN BY: NH
 CHECKED BY: TT

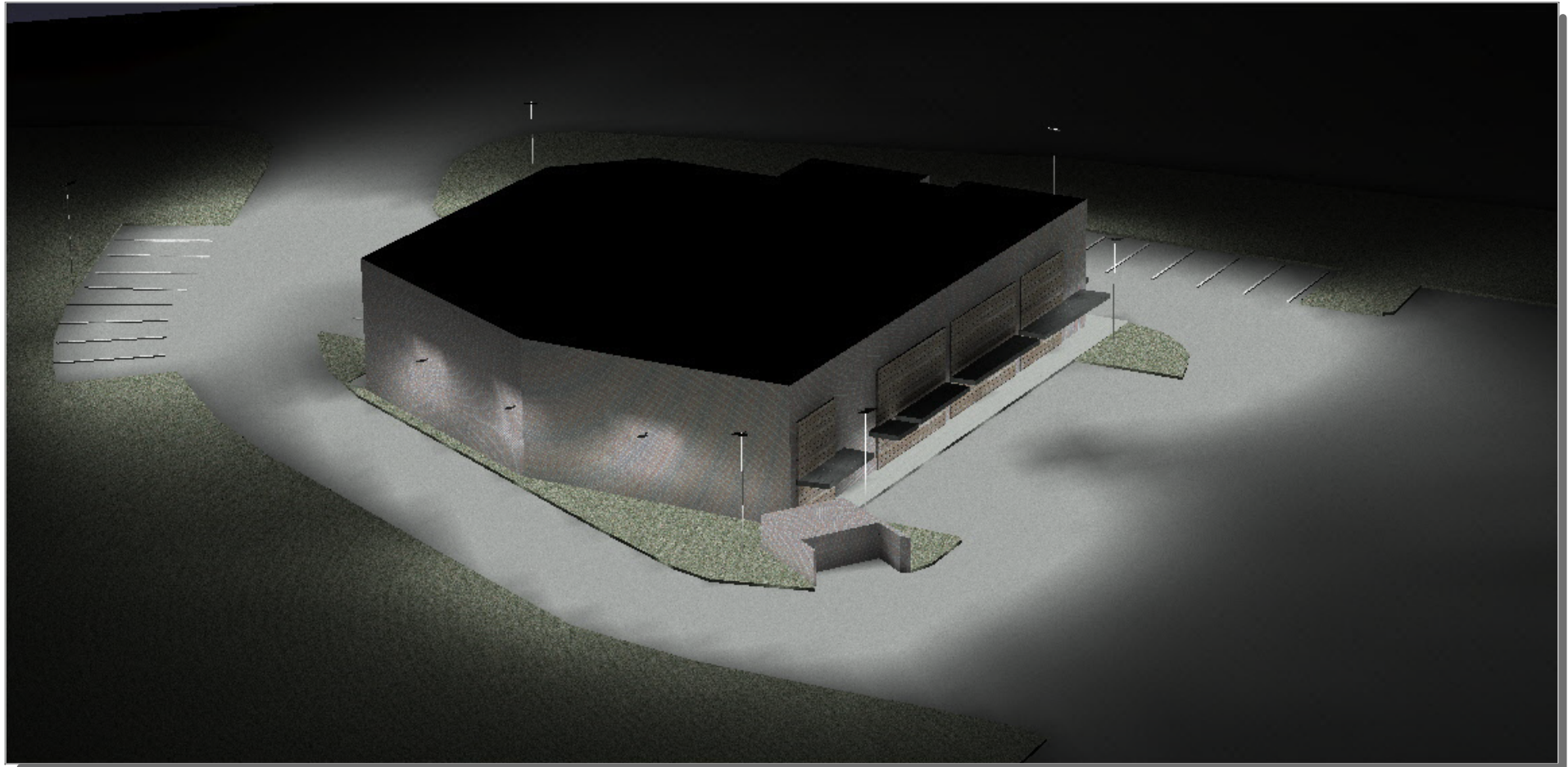
THIS DRAWING IS THE PROPERTY OF B+A ARCHITECTURE AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT.
 SCALES AS STATED HEREIN ARE VALID ON THE ORIGINAL DRAWING. ONLY CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION DISCOVERED.

1 FLOOR PLAN
 3/16" = 1'-0"

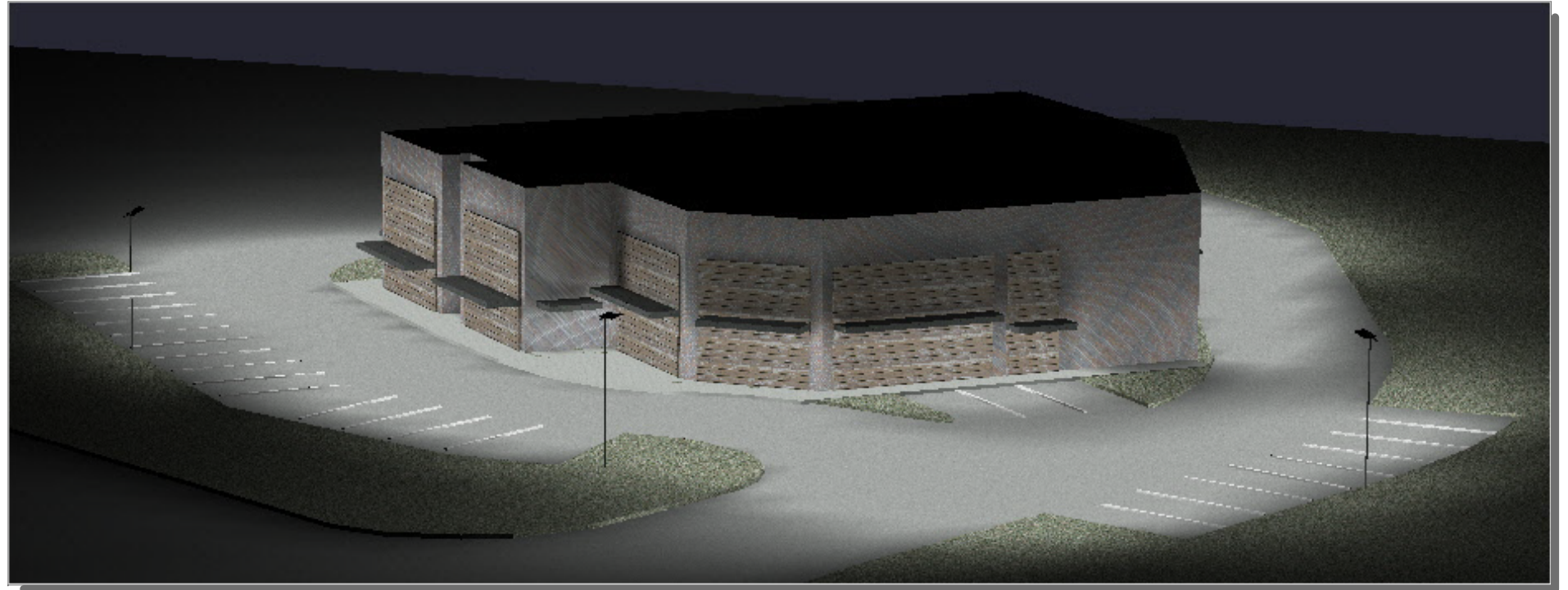
FLOOR PLAN
A100



RENDERED VIEW FROM THE SOUTH

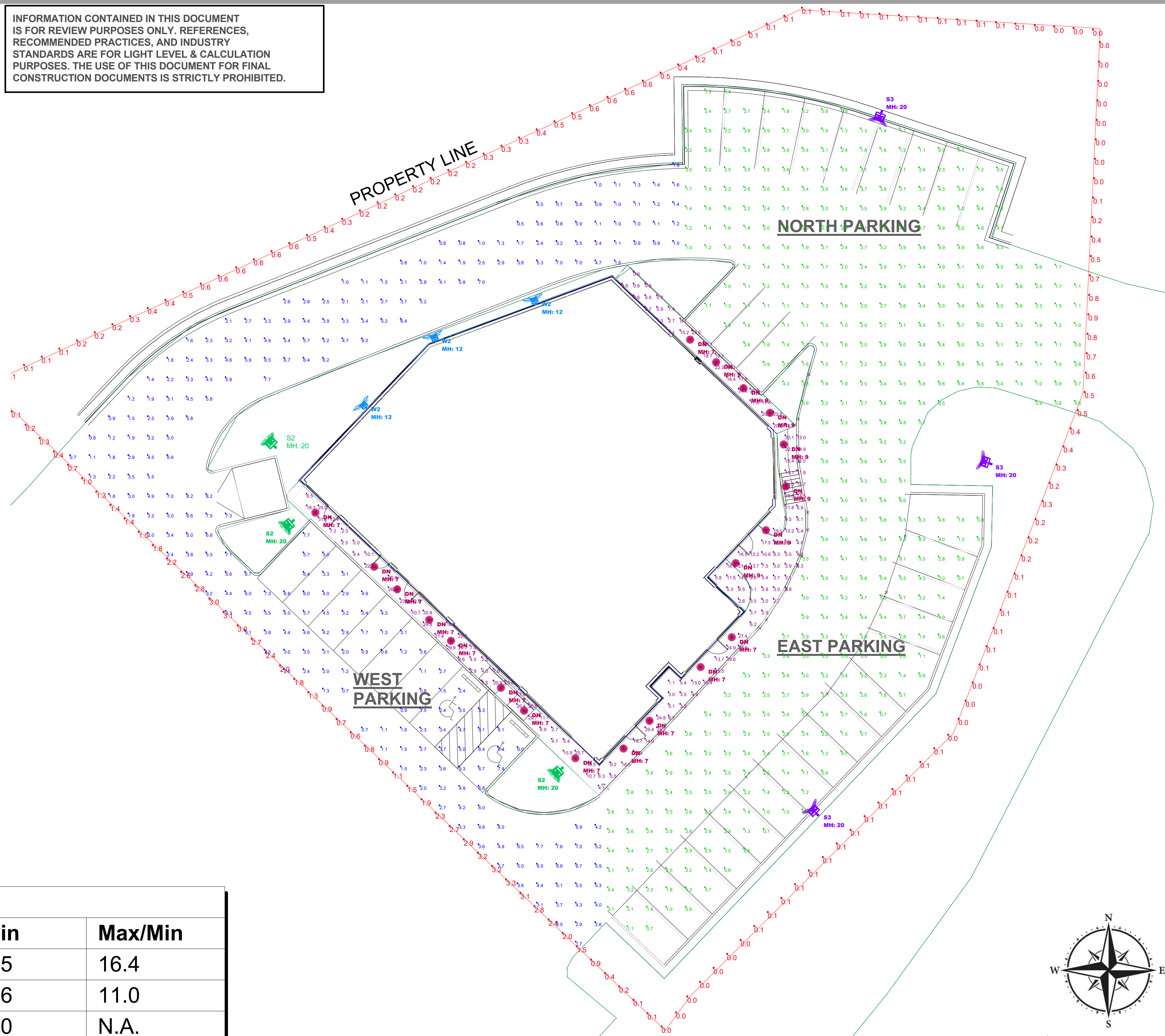


RENDERED VIEW FROM THE NORTH-WEST



RENDERING OF THE ENTRANCE, EAST SIDE

INFORMATION CONTAINED IN THIS DOCUMENT IS FOR REVIEW PURPOSES ONLY. REFERENCES, RECOMMENDED PRACTICES, AND INDUSTRY STANDARDS ARE FOR LIGHT LEVEL & CALCULATION PURPOSES. THE USE OF THIS DOCUMENT FOR FINAL CONSTRUCTION DOCUMENTS IS STRICTLY PROHIBITED.



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103 E 18th Avenue
North Kansas City, MO 64116
Phone: (816) 581-6300

SKYRIDGE RETAIL
LOT 2 - 2200 RIDGE RD,
ROCKWALL, TX 75087

CALC-0242-SKYRIDGE RETAIL-ROCKWALL-TX

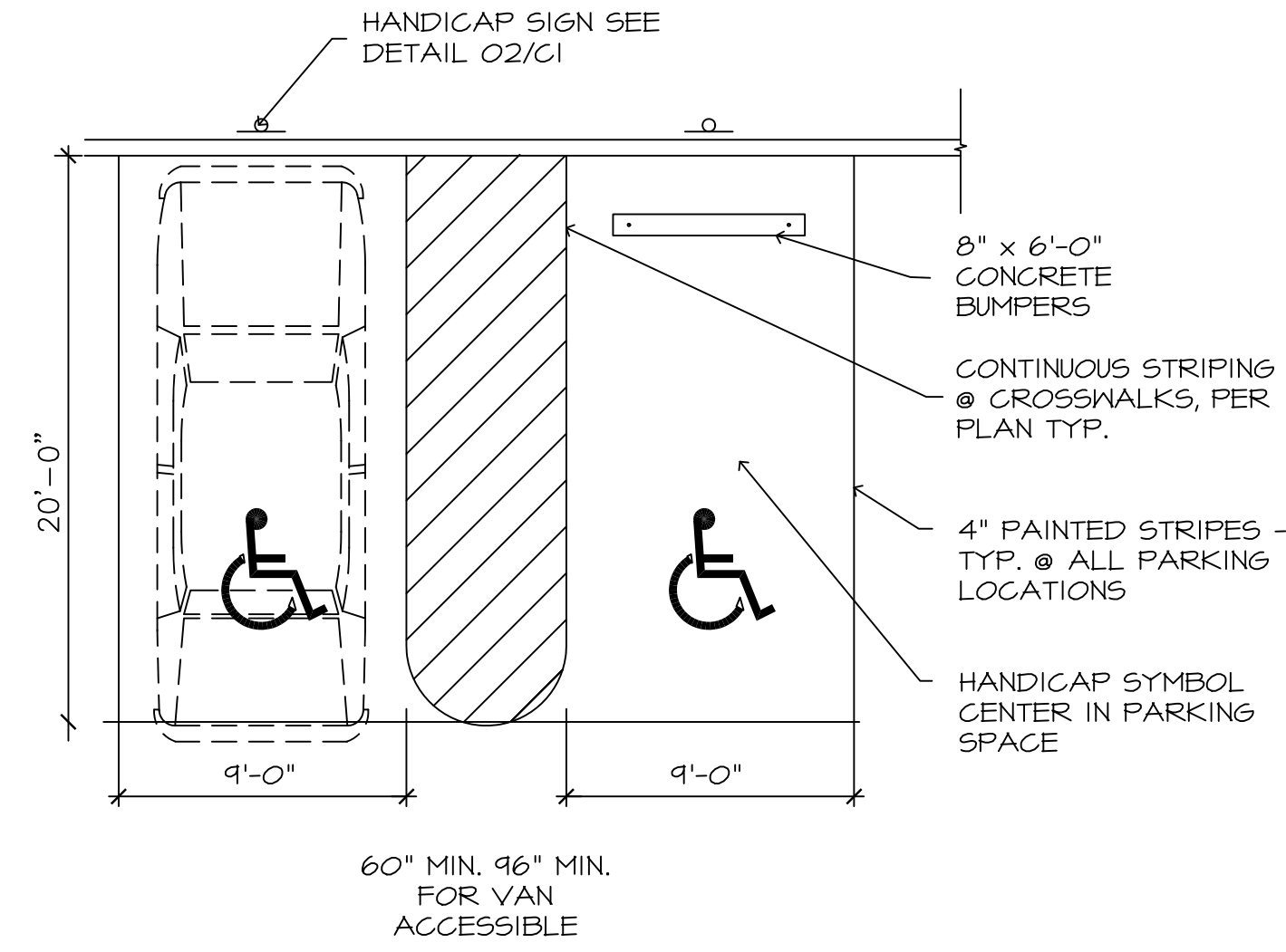
CALCULATION SUMMARY IN FOOT-CANDLES				
AREA	Avg	Max	Min	Max/Min
NORTH & WEST PARKING	3.5	8.2	0.5	16.4
NORTH AND EAST PARKING	2.9	6.6	0.6	11.0
PROPERTY LINE	0.6	3.3	0.0	N.A.
SIDEWALK	12.1	31.6	0.6	52.7

SITE LIGHTING PHOTOMETRICS

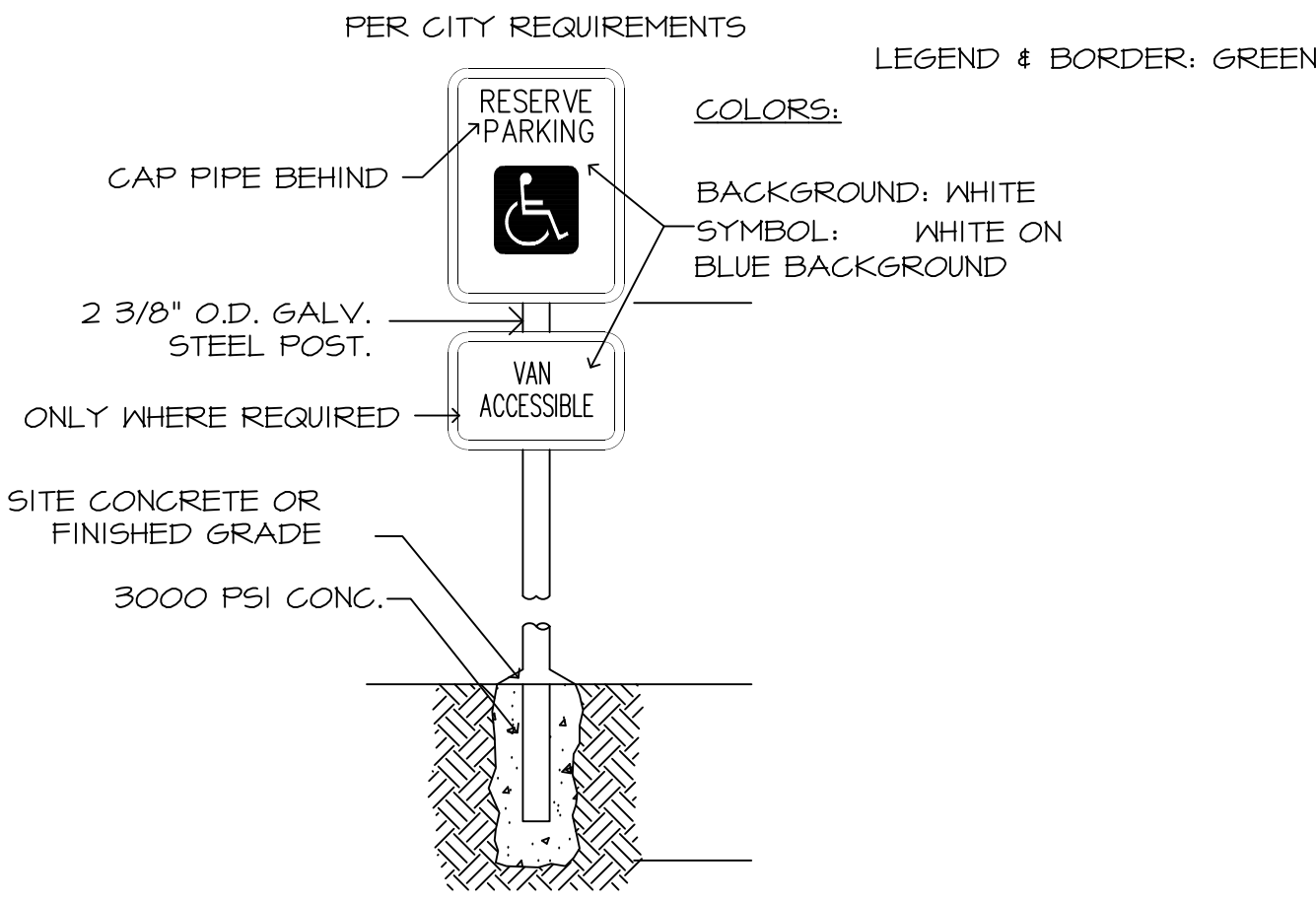
LIGHTING FIXTURE SCHEDULE							
SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS
	DN	20	NU4-RD-SW-30LM-30K-LOPRO	ALPHABET-4 IN- ROUND-3000°K-LOW PROFILE HOUSING	0.900	26.72	2234
	S2	3	VP-2-320L-185-3K7-2-HSS-270-B	BEACON VIPER-MICROSTRIKE-3000°K-TYPE II OPTICS	0.900	185.9	13348
	S3	3	VP-2-320L-235-3K7-3-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE III -BACK CONTROL	0.900	238	18264
	W2	3	VPW2-18L-39-3K7-2	BEACON VIPER-WALL PACK-3000°K-TYPE II OPTICS	0.900	38.8	4683

ASSUMPTIONS:
 Illuminance:
 Parking Lot: 2-3 FC Avg.
 Min. 0.5
 Property Line: 1.0 or less
 Soffit Down Lights:
 Mount Centered in Canopy
 (estimated at 7'-0" & 9'-0")
 Wall Mounted:
 12'-0"
 Pole Mounted Fixtures:
 20'-0" Pole and Base
 Calculations Points @ Grade

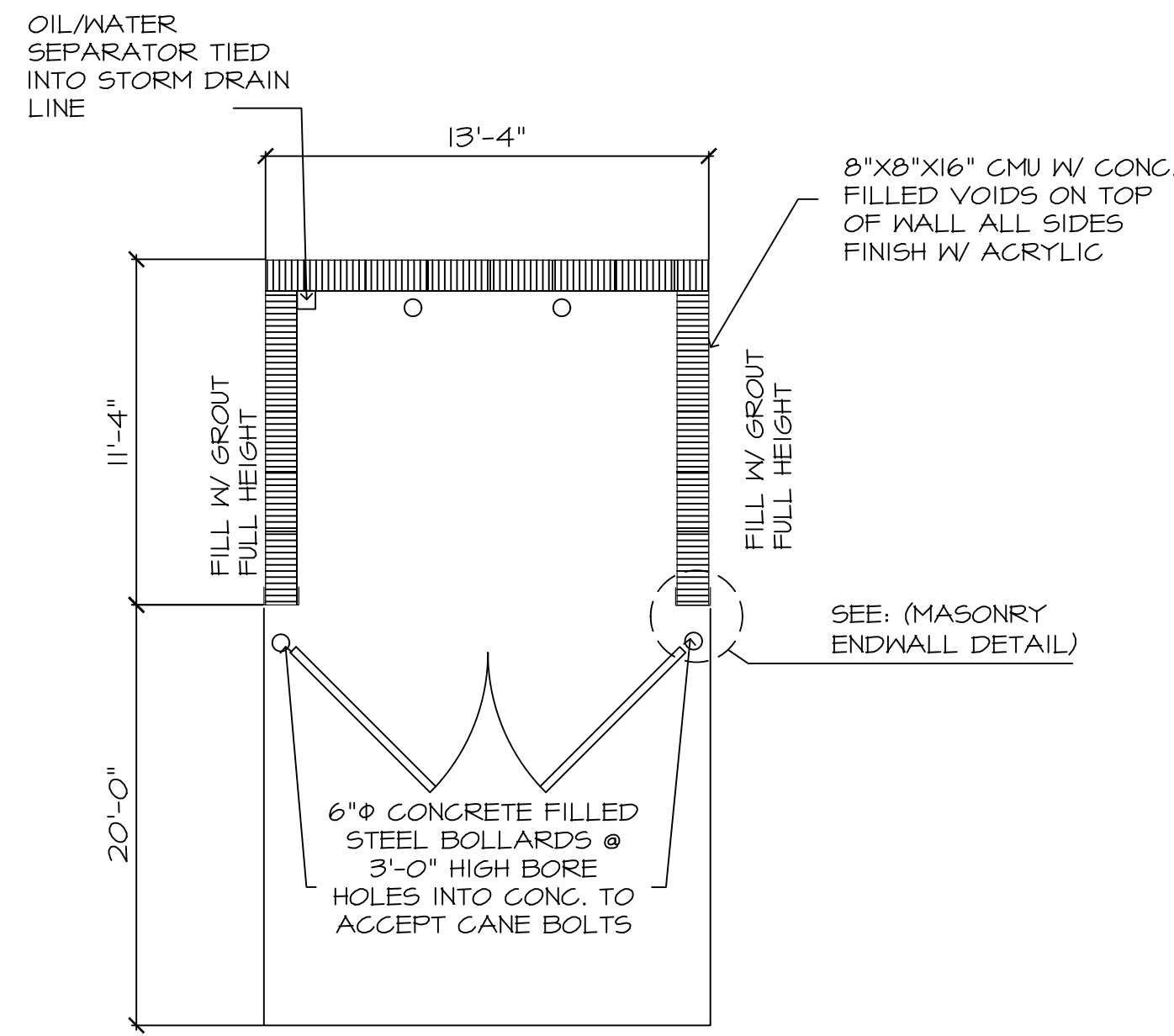
DESIGNED BY:	DJT
REVISIONS	
DATE:	8/27/2025



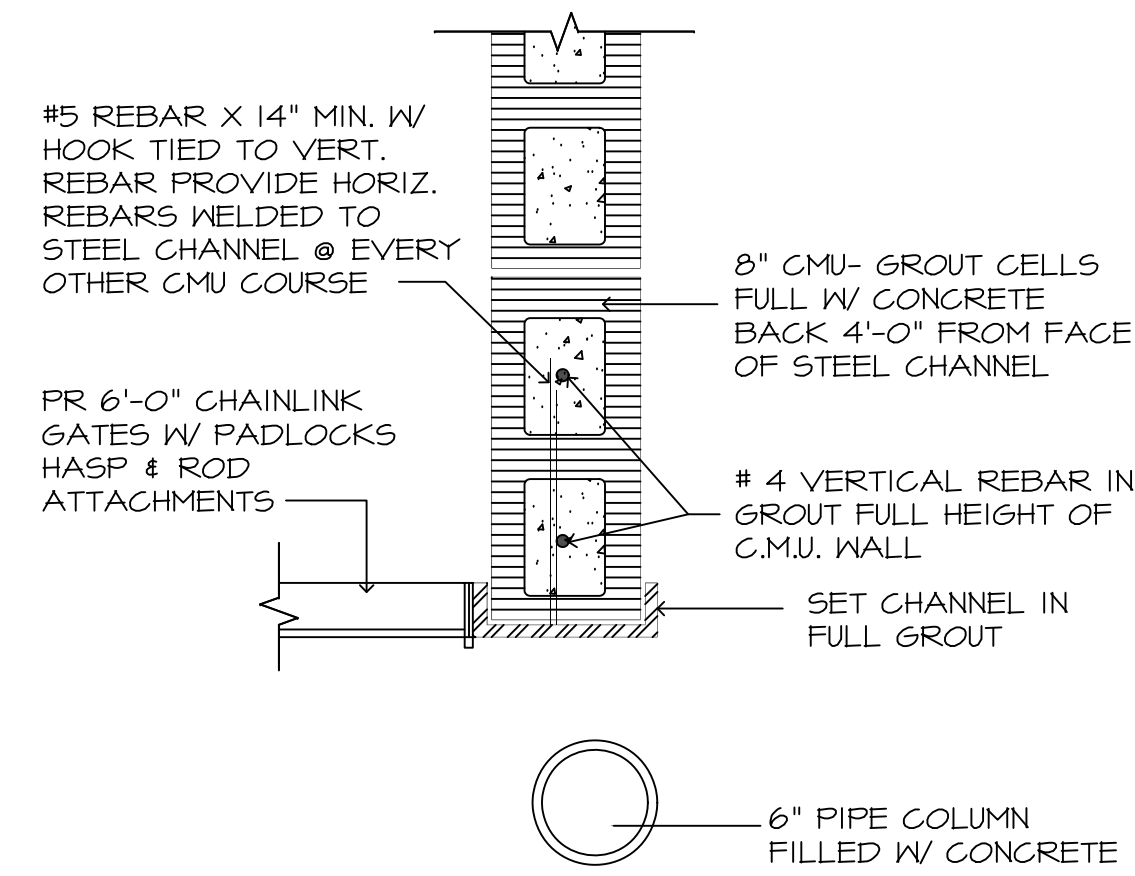
DETAIL - HANDICAP PARKING GRAPHICS
SCALE: NONE



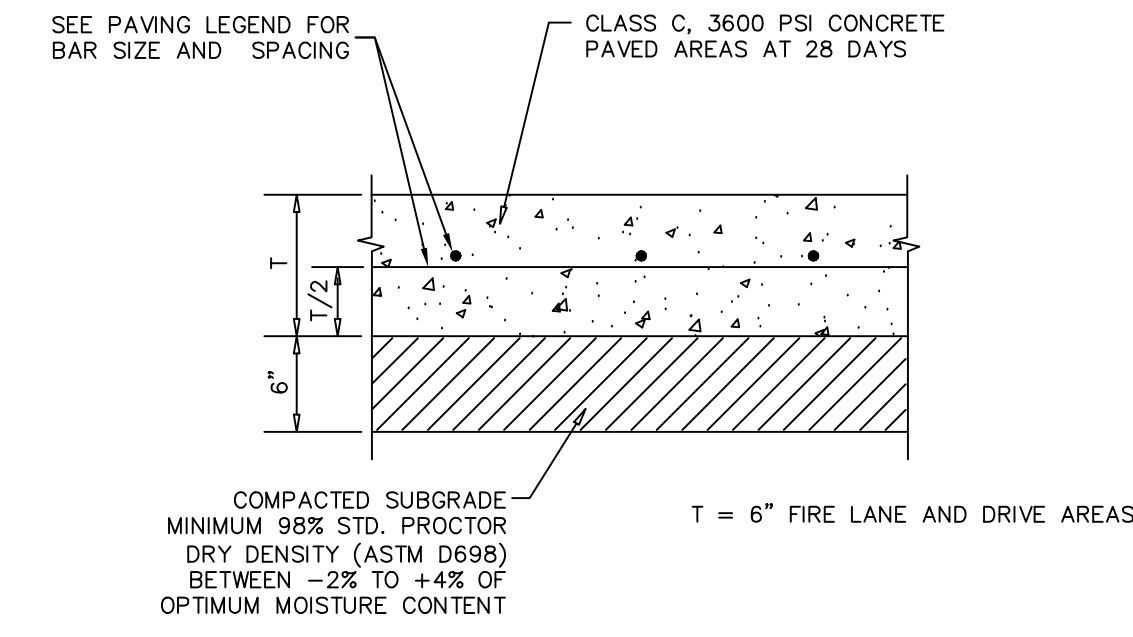
DETAIL - HANDICAP SIGN
SCALE: NONE



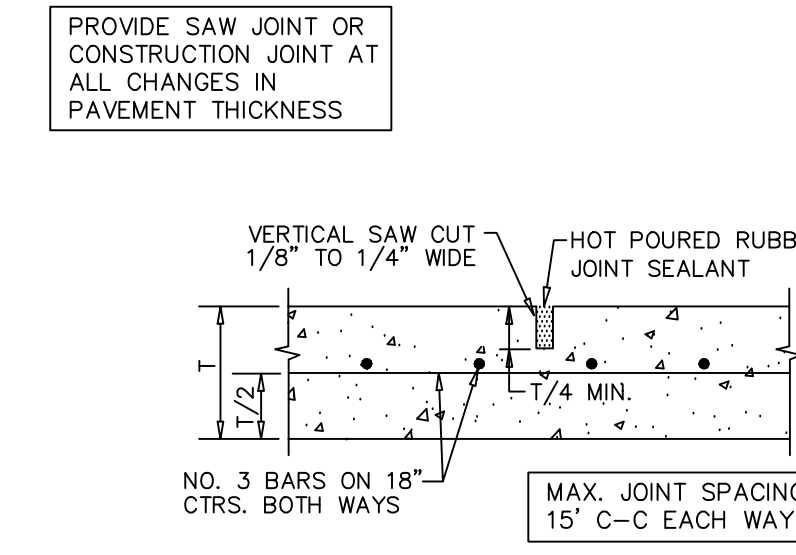
TRASH ENCLOSURE PLAN
SCALE: NONE



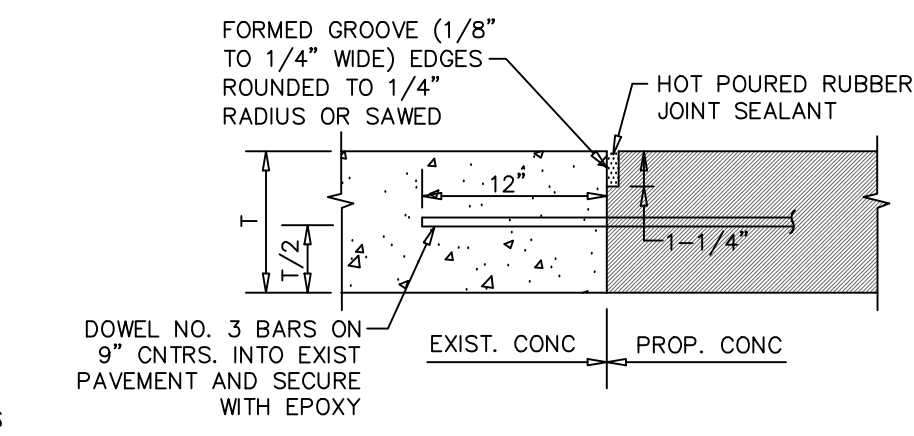
MASONRY ENDWALL DETAIL
SCALE: NONE



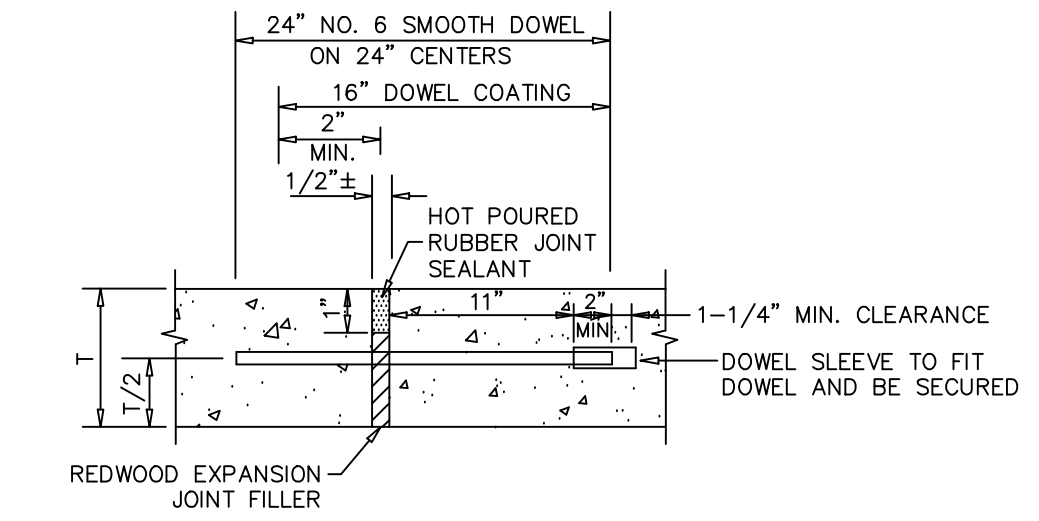
1 PAVEMENT SECTION
NOT TO SCALE



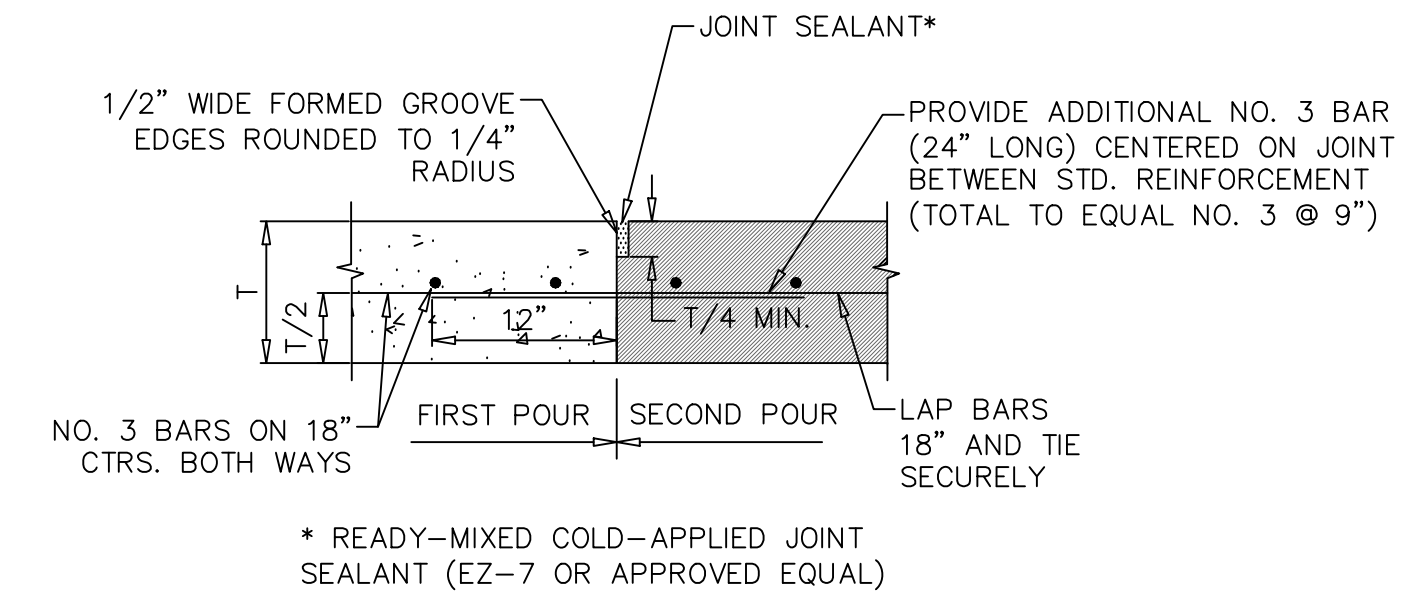
2 SAWED DUMMY JOINT
NOT TO SCALE



3 PAVEMENT CONNECTION
NOT TO SCALE



4 EXPANSION JOINT
NOT TO SCALE



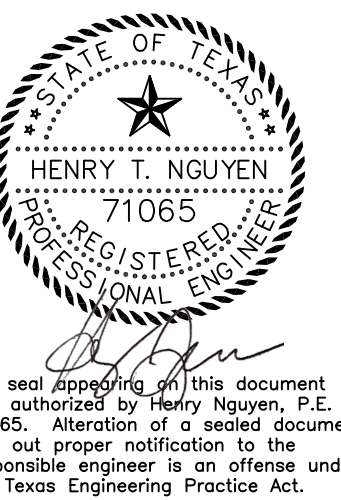
5 CONSTRUCTION JOINT
NOT TO SCALE

Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave., Dallas, Texas 75224
(214) 773-4075 Email: hnguyen@swbell.net
Texas Registered Engineering Firm F-16239

REVISIONS	Description	Date
Approved		

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC
DRAWN	HNC
DATE	08/28/2025
Job#:	25001



SITE DETAILS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 10, 2026
APPLICANT: Henry Nguyen; *Henry Nguyen Consulting, LLC*
CASE NUMBER: SP2025-042; *Site Plan for 2200 Ridge Road*

SUMMARY

Discuss and consider a request by Henry Nguyen of Henry Nguyen Consulting, LLC on behalf of Lien Nguyen of Beauty Legacy, LLC for the approval of a Site Plan for a *Strip Retail Center* on a 0.976-acre parcel of land identified as Lot 8, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2200 Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on November 7, 1960 by *Ordinance No. 60-04*. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 3, 1972. On January 20, 2015, the City Council approved a miscellaneous case [Case No. MIS2014-018] to allow an *Alternative Tree Mitigation Plan* for an 8.60-acre tract of land that included the subject property. On August 7, 2017, the City Council approved a final plat case [Case No. P2017-037] for an 8.583-acre tract of land (*which included the subject property*) creating Lot 1, Block A, Sky Ridge Addition. On January 26, 2021, the Planning and Zoning Commission approved a miscellaneous case [Case No. MIS2021-001] to allow for a variable width landscape buffer with alternative tree planting requirements within the landscape buffer. Following this approval, the City Council approved a preliminary plat [Case No. P2021-001] proposing the creation of Lots 1-7, Block A, Sky Ridge Addition on March 1, 2021. On August 2, 2021, the City Council approved a replat [Case No. P2021-038] that established the subject property as Lot 8, Block A, Sky Ridge Addition.

On December 12, 2025, the applicant submitted their application for the proposed site plan. Following the applicant's original submittal, they have requested to table three (3) times (*i.e. January 6, 2026, February 3, 2026, and February 16, 2026*). The applicant is now returning to the Planning and Zoning Commission for action.

PURPOSE

On December 12, 2025, the applicant -- *Henry Nguyen of Henry Nguyen Consulting LLC* -- submitted an application requesting the approval of a site plan for the purpose of constructing a ~7,873 SF multi-tenant retail building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

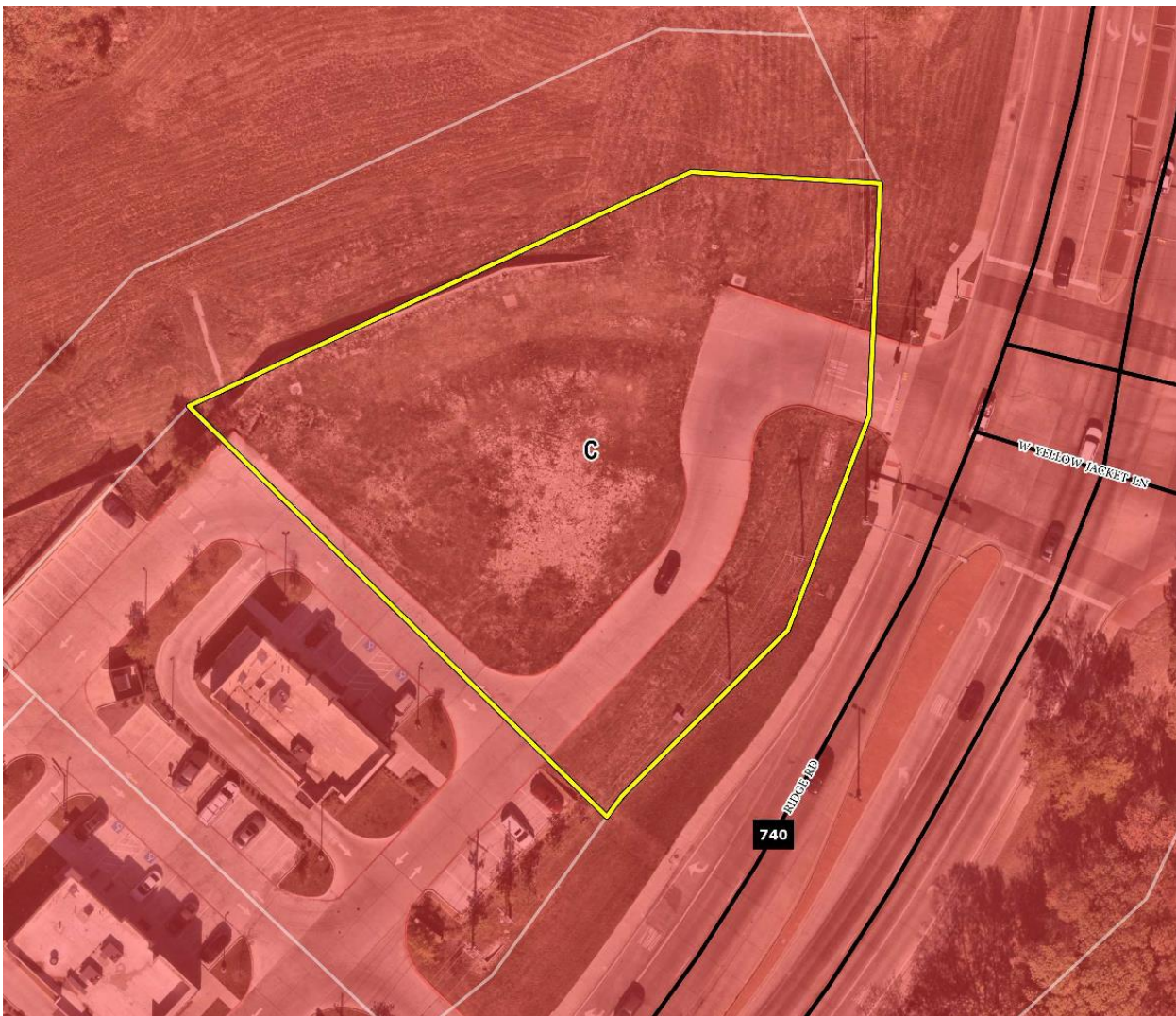
North: Directly north of the subject property is a 1.868-acre parcel of land (*i.e. Lot 6, Block A, Sky Ridge Addition*), which is zoned Commercial (C) District. Beyond this is a 3.853-acre parcel of land (*i.e. Lot 7, Block A, Sky Ridge Addition*), which is zoned Commercial (C) District. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is Phase 2 of the Turtle Cove Subdivision, which consists of 55 single-family residential lots that were established on February 17, 1998. This subdivision is zoned Planned Development District 2 (PD-2) for single-family residential land uses.

South: Directly south of the subject property is Ridge Road [FM 740], which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is are two (2) vacant parcels of land (i.e. part of Lot 1 & Lot 3, Block A, The Woods at Rockwall Addition). Following this is a 0.2755-acre parcel of land (i.e. Lot 3, Block A, Rockwall High School Addition) developed with a Minor Auto Repair Garage (i.e. Big D Auto Care). All of these properties are zoned Commercial (C) District and are situated within the Scenic Overlay (SOV) District.

East: Directly east of the subject property the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, which are both identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.129-acre parcel of land (i.e. Lot 1, Block A, Yellow Jacket Addition) developed with a multi-tenant commercial building (e.g. Little Caesar's, Nail Luxe, etc.), zoned Commercial (C) District and are situated within the Scenic Overlay (SOV) District.

West: Directly west of the subject property is a 0.6150-acre parcel of land (i.e. Lot 4, Block A, Sky Ridge Addition) developed with a Restaurant with Drive-Through (i.e. Einstein Bro Bagels). Beyond this are two (2) vacant parcels of land (i.e. Lots 6 & 7, Block A, Sky Ridge Addition). All of these properties are zoned Commercial (C) District and are situated within the Scenic Overlay (SOV) District. Following this is a 100-foot right-of-way owned by the Union Pacific/Dallas Garland NE Railroad.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



DENSITY AND DIMENSIONAL REQUIREMENTS

Based on the provided building elevations the applicant is proposing a multi-tenant retail building. According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a Commercial (C) District permits a wide variety of retail land uses including but not limited to a *General Retail Store, Manicurist, Hair Salon, and Massage Therapist*. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items listed in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=42,512-acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>X= 283.04-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=239.31-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X>15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X=26.5-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=18.44%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space/250 SF (32Required)</i>	<i>X=32; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=29%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=71%; In Conformance</i>

TREESCAPE PLAN

No trees are being removed from the subject property. Based on this no *Treescape Plan* is required.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Commercial (C) District is the proper zoning classification for most types of commercial development (e.g. *larger shopping centers at major intersections, commercial strips along arterial roadways, etc.*). The land uses specified for the Commercial (C) District include most types of office and retail activity ...” and should be “...located on or close to an arterial or major collector that is capable of carrying the additional traffic generated by land uses in this district.” In this case, the applicant is proposing a multi-tenant retail building at the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane. Based on staff’s review of the applicant’s project compared to the City’s codes, the request does appear to meet the City’s requirements.

The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District; however, there are a number of non-conformities identified that will be detailed in the *VariANCES and Exceptions by the Applicant* portion of this case memo. In addition, the applicant failed to address all of staff’s comments on the site plan, landscape plan, photometric plan, and building elevations. Based on this, staff has included *Conditions of Approval* that require corrected plans be provided to staff that address the comments, before civil plans may be submit.

VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variances:

- (1) Architectural Standards.
 - (a) Architectural Elements. According to Subsection 06.02 (C), *Required Architectural Elements*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings that are less than 50,000 SF shall

be designed to incorporate a minimum of four (4) architectural elements...” In this case, the applicant is proposing three (3) (*i.e. canopies, display window, & articulated cornice*) of the four (4) required architectural elements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (b) Articulation. According to Subsection 06.02 (C), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the proposed building elevations do not meet the primary articulation requirements on all sides of the building. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) Landscape Standards.

- (a) Headlight Screening. According to Subsection 05.02 (C), *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), all head in parking adjacent to a street must incorporate headlight screening with either the use of a berm with evergreen shrubs or a masonry wall with evergreen shrubs. In this case, the head in parking adjacent to the street is on top of a retaining wall, where the applicant is not providing any headlight screening. This will require an exception from the Planning and Zoning Commission.
- (b) Landscape Standards. According to Subsection 06.02 (C), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “... a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building.” In this case, the applicant is not providing a row of trees along the rear of the subject property. This will require a variance from the Planning and Zoning Commission.
- (c) Landscape Buffers. According to Subsection 05.01 (C), *Landscape Buffers*, Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(b)uildings and paving (e.g. parking lots) shall not be permitted within any required landscape buffer; however, sidewalks and trails shall be permitted.” In this case, the head in parking along Ridge Road [FM-740] encroaches into the landscape buffer. This will require an exception from the Planning and Zoning Commission.

(3) Photometric Standards.

- (a) Spill Over Lighting. According to Subsection 03.03 (C), *Outdoor Lighting for Non-Residential Properties*, of Article 07, *Environmental Performance*, of the Unified Development Code (UDC), “(t)he allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) foot-candle or 0.2 FC.” In this case, the proposed photometric plan indicates light levels up to 3.6 FC along the southwest property line. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship.” This section of the code also includes the same language for variances to the *General Overlay District Standards*. In addition, the code requires that applicant’s provide compensatory measures that directly offset the requested variances. In this case, the applicant is required to provide 12 compensatory measure; however, the applicant did not provide a variance letter that outlines the provided compensatory measure. Requests for variances to the *General Overlay District Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the South Lakeshore District. The South Lakeshore District is an established district that is significantly

developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. As a result, the majority of commercial development in the area is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. Strategy #2 in the South Lakeshore District states that "...commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In addition, according to Goal 04, *Commercial Building Design*, of Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan "(a)ll non-residential buildings should be designed and constructed in unity with the community's existing commercial and residential buildings..." In this case, the applicant is utilizing the same building materials as the adjacent non-residential development (*i.e. Dutch Bros, Qdoba, Einstein Bagel Bros*); however, the number of requested variances to the building and site design is inconsistent and does not appear to meet the intent of Chapter 09, *Commercial Building Design*, of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On January 13, 2026, the Architectural Review Board (ARB) reviewed the proposed building elevations, and recommended that the applicant meet the *General Overlay District Standards*. The applicant has since made changes to the building elevations and before action is taken, the ARB will review the applicant's revised building elevations and provide a recommendation to the Planning and Zoning Commission at the March 10, 2026 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the multi-tenant retail building on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) The applicant must provide staff with a site plan that meets the requirements of the Unified Development Code (UDC) before submitting Engineering plans; and,
- (3) The applicant must provide staff with a landscape plan that meets the requirements of the Unified Development Code (UDC) before submitting Engineering plans; and,
- (4) The applicant must provide staff with a photometric plan that meets the requirements of the Unified Development Code (UDC) before submitting Engineering plans; and,
- (5) The applicant must provide staff with a building elevations that meets the requirements of the Unified Development Code (UDC) before submitting Engineering plans; and,
- (6) Any RTUs that are visible over the parapet shall be screened with either the parapet or a louver system; and,
- (7) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2200 Ridge Road, Rockwall TX 75087

SUBDIVISION Sky Ridge Addition

LOT 8 BLOCK A

GENERAL LOCATION NW of YellowJacket & Ridge Road Intersection

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial District

CURRENT USE None

PROPOSED ZONING

PROPOSED USE Nail Salon & General Retail

ACREAGE 0.976

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Beauty Legacy, LLC

APPLICANT Henry Nguyen Consulting, LLC

CONTACT PERSON Lien Nguyen

CONTACT PERSON Henry Nguyen

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

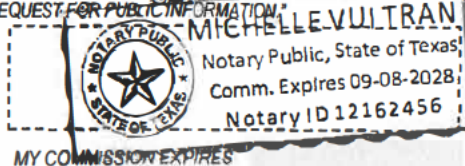
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Lien T. Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF December, 2025

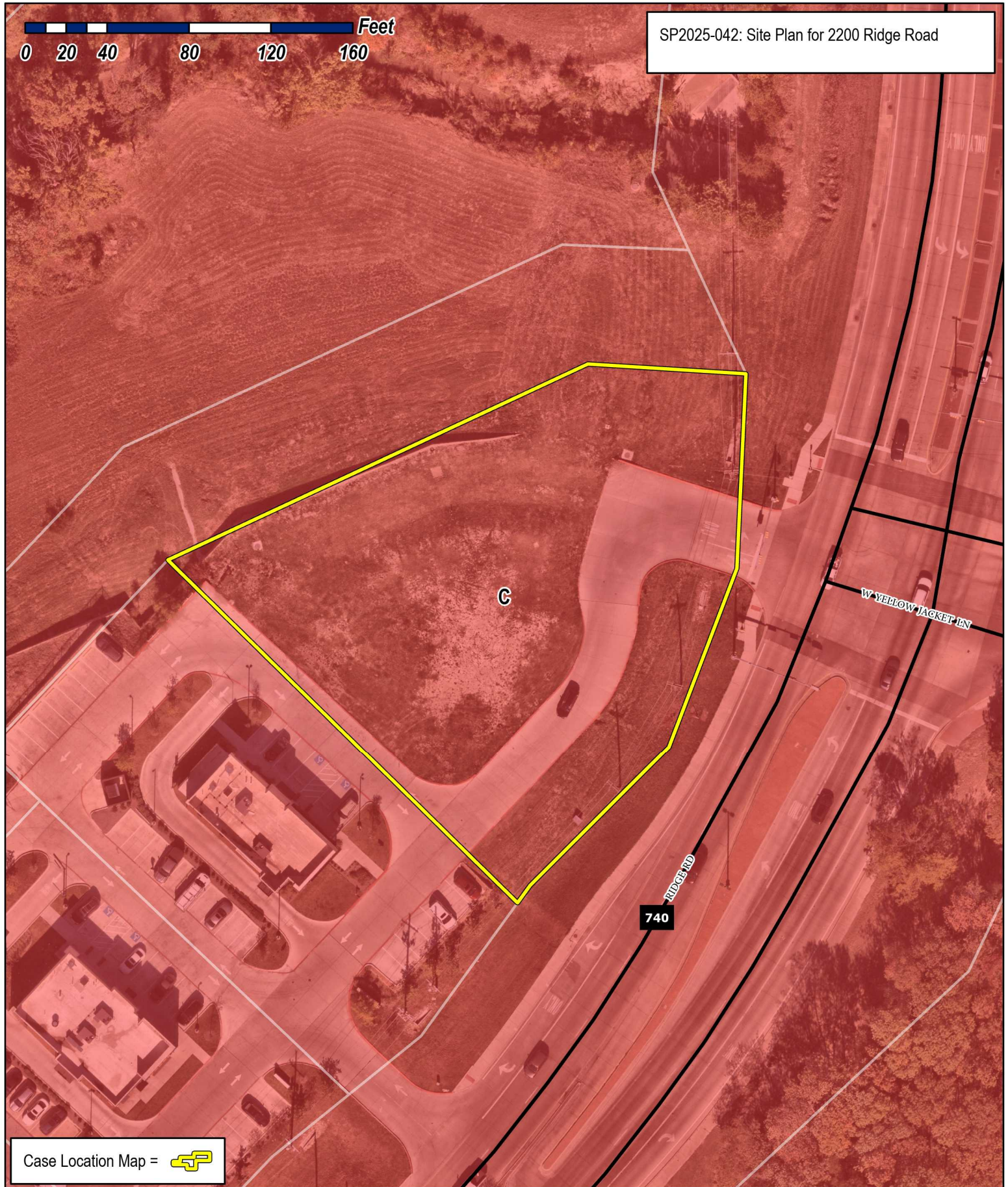
OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-042: Site Plan for 2200 Ridge Road



Case Location Map = 

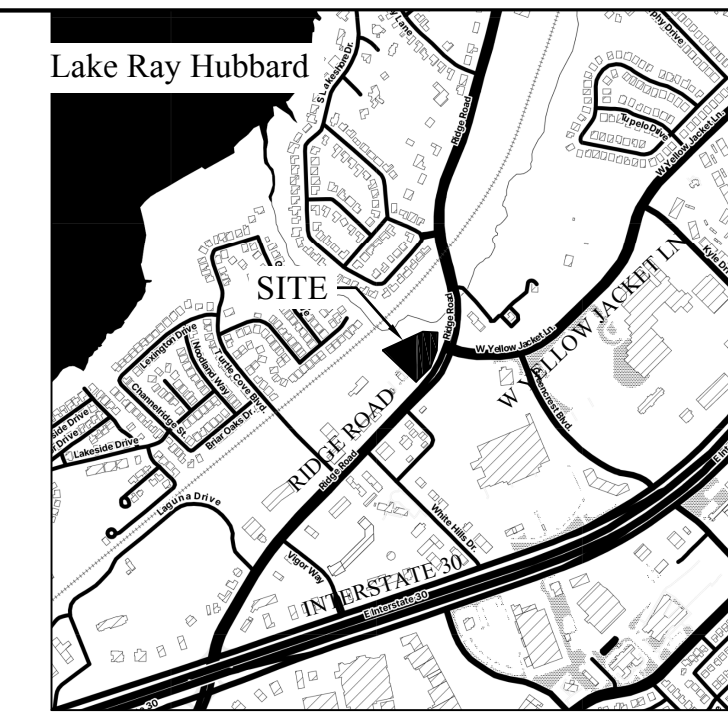


City of Rockwall

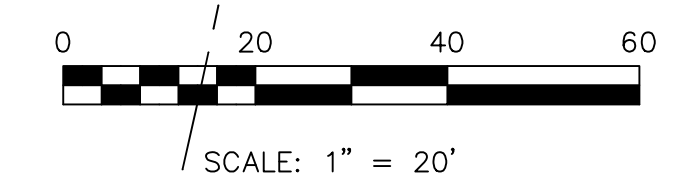
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: hnguyen@swbell.net
Texas Registered Engineering Firm F-16239



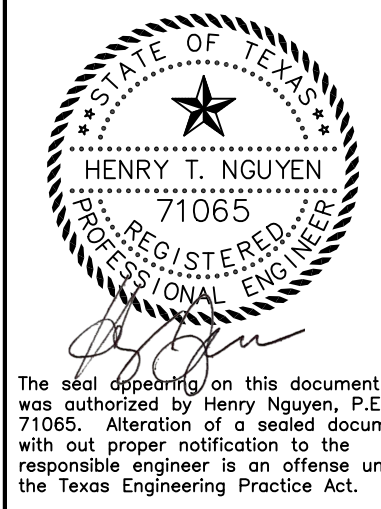
SITE DATA

LOT AREA	42,512 SF
BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	7,837 SF
FLOOR AREA RATIO	0.1844
TOTAL IMPERVIOUS AREA	30,086 SF (71% COVERAGE)
LANDSCAPE AREA	12,426 SF (29% COVERAGE)
EXISTING ZONING	C - COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (7837 x 1/250=31 required)
PROVIDED PARKING	32 SPACES

REVISIONS	Date	Description	Approved

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

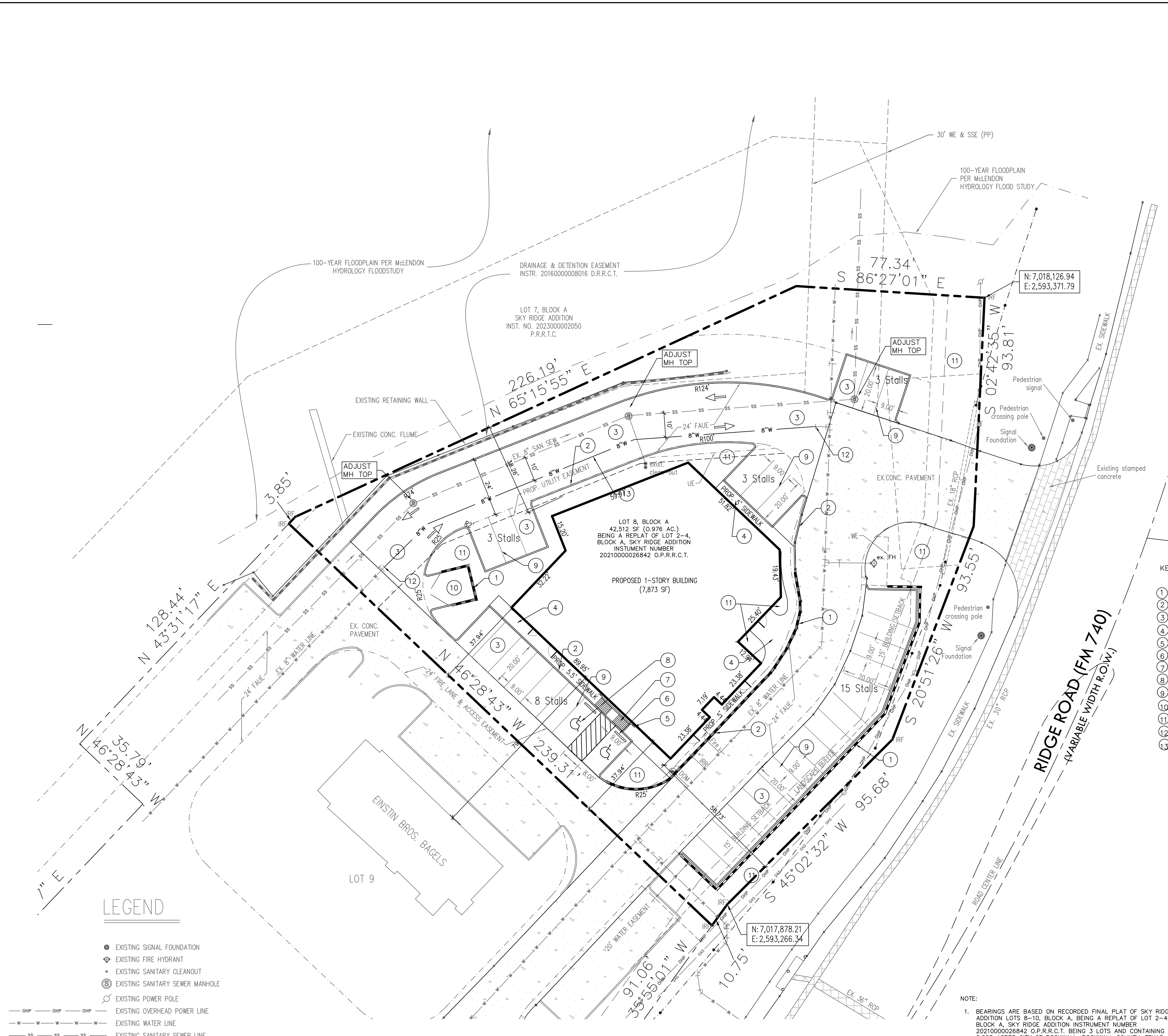
DESIGN	HNC
DRAWN	HNC
DATE	02/26/2026
Job#	25001



The seal appearing on this document was authorized by Henry Nguyen, P.E. 71065. Alteration of a sealed document with out proper modification to the responsible engineer is an offense under the Texas Engineering Practice Act.

SITE PLAN

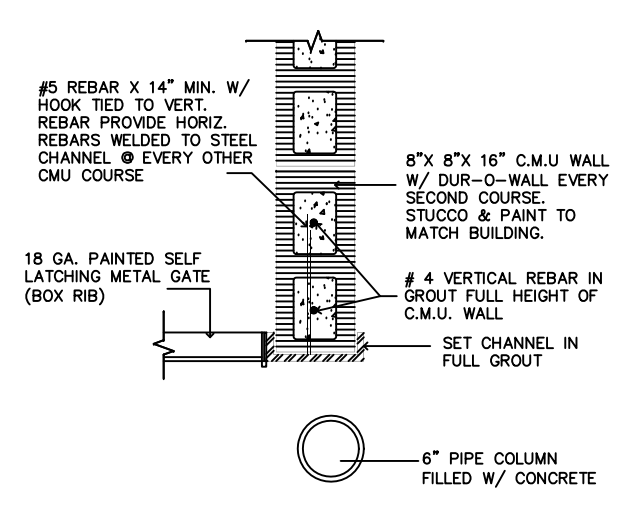
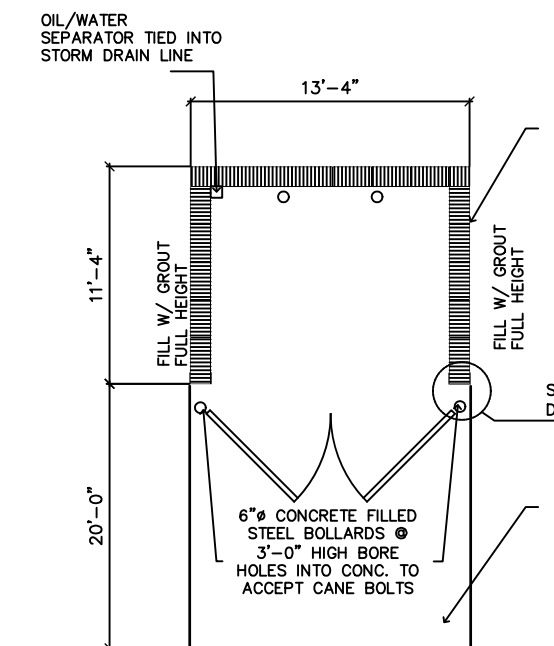
C1



YELLOW JACKET LANE
(90' R.O.W.)

KEYNOTES

- CONSTRUCT RETAINING WALL
- CONSTRUCT MONOLITHIC CONCRETE CURB
- CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE PAVEMENT PER PAVING PLAN
- CONSTRUCT 4" THICK CONCRETE SIDEWALK
- INSTALL HANDICAP SIGN
- INSTALL PRECAST CONCRETE WHEELSTOPS
- CONSTRUCT STANDARD ADA RAMP
- PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
- PAINT 4" SOLID STRIPE - WHITE
- CONSTRUCT 8" THICK PCC SLAB TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
- LANDSCAPE AREA
- REMOVE PLUG AND CONNECT PROP. 8" WATER LINE TO EX. 8" WATER LINE
- INSTALL 8" WATER LINE



DUMPSTER ENCLOSURE DETAIL

- NOTE:**
- BEARINGS ARE BASED ON RECORDED FINAL PLAT OF SKY RIDGE ADDITION LOTS 8-10, BLOCK A, BEING A REPLAT OF LOT 2-4, BLOCK A, SKY RIDGE ADDITION INSTRUMENT NUMBER 20210000026842 O.P.R.R.C.T. BEING 3 LOTS AND CONTAINING 2.293 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.
 - EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED ON RECORDED PLAT (CASE NO. P2023-005) UNLESS OTHERWISE NOTED.
 - UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE OF CURB.
 - THERE SHALL BE NO ABOVE GROUND STORAGE TANKS OR OUTSIDE STORAGE, WHICH INCLUDES VEHICLES.

SP2025-042

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

LEGEND

- EXISTING SIGNAL FOUNDATION
- ◆ EXISTING FIRE HYDRANT
- EXISTING SANITARY CLEANOUT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER POLE
- OHP — OHP — OHP — EXISTING OVERHEAD POWER LINE
- W — W — W — W — EXISTING WATER LINE
- SS — SS — SS — SS — EXISTING SANITARY SEWER LINE
- ▨ EXISTING CONCRETE PAVEMENT
- FAUE FIRE LANE ACCESS & UTILITY EASEMENT
- UE UTILITY EASEMENT
- WE WATER LINE EASEMENT

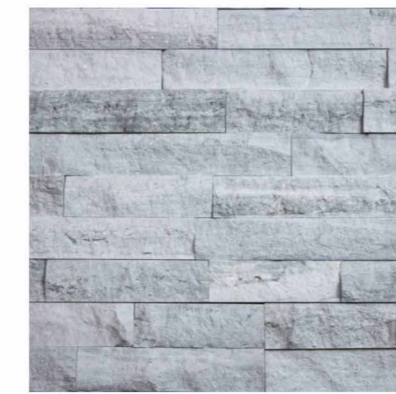
Feb. 26, 2026 4:02pm hngul
C:\Users\hngul\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKY RIDGE ADDITION\18-SHEET\SETS\C3-SITE PLAN.dwg

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
2. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
3. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE TRIM
 OLD COUNTRY
 BIGHORN



STONE VENEER
 LEDGESTONE STYLE
 WINDSOR PEWTER
 LEDGE



STONE VENEER
 THIN BRICK
 DESERT GRAY



ACM PANEL
 ALUCOBOND
 STATUARY BRONZE

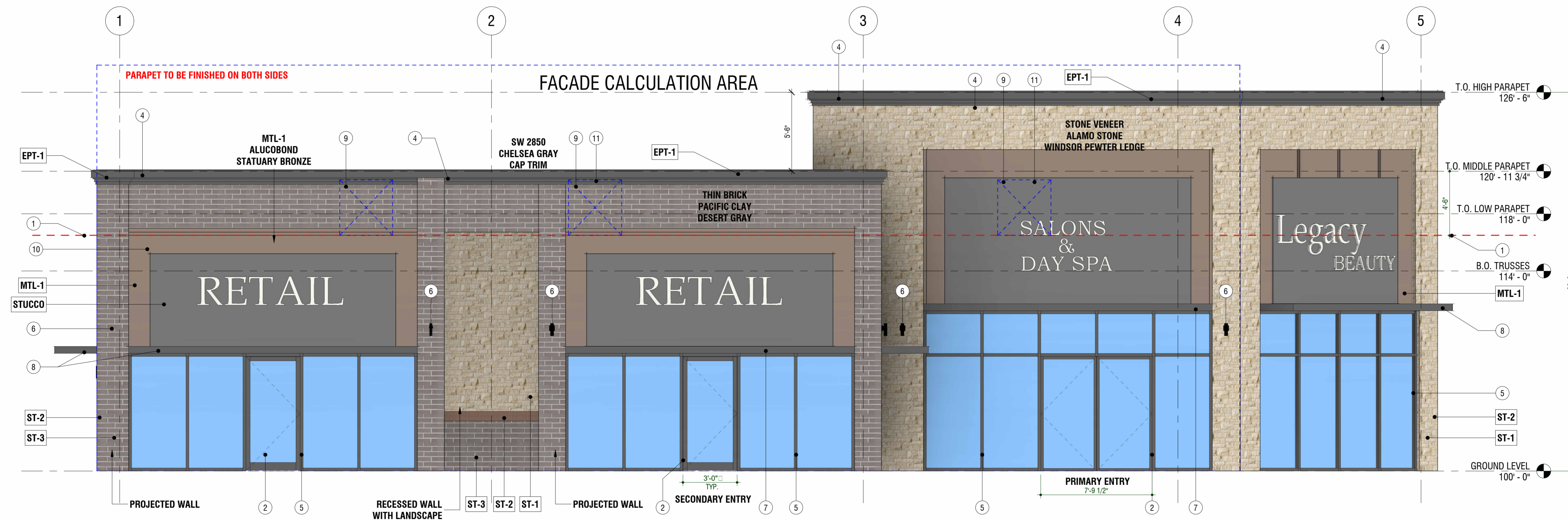
EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	ALAMO STONE - LEDGESTONE	WINDSOR PEWTER LEDGE
2	STACKED STONE	OLD COUNTRY OR EQUAL	BIGHORN
3	STONE VENEER	PACIFIC CLAY PRODUCTS	THIN BRICK - DESERT GRAY
4	METAL PANEL	ALUCOBOND ACM OR EQUAL	STATUARY BRONZE
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE

KEYNOTES

1	LINE OF ROOF BEYOND
2	TENANT MAIN ENTRY
3	STONE VENEER. INSTALL PER MANUFACTURER SPECIFICATIONS
4	CORNICE LINE TO BE PAINTED EPT-1 GRAY
5	ANODIZED ALUMINUM STORE FRONT SYSTEM DOOR AND GLAZING
6	EXTERIOR LIGHTING
7	BREAK METAL TO MATCH STOREFRONT SYSTEM
8	METAL AWING. INSTALL PER MANUFACTURER SPECIFICATIONS
9	RTU/HVAC SYSTEM. INSTALL PER MANUFACTURER SPECIFICATIONS
10	SIGNAGE. INSTALL PER MANUFACTURER SPECIFICATIONS
11	RTU SCREENING SYSTEM TO MEET CITY REQUIREMENT. INSTALL PER MANUFACTURER SPECIFICATIONS

SOUTH		
EXTERIOR MATERIALS PERCENTAGES		
TOTAL FACADE AREA	1614.99 SF	
WINDOWS	412.61	
DOORS		
AREA BALANCE	1202.38 SF	
MATERIAL	AREA	PERCENTAGE
STONE	460.22 SF	38%
METAL	105.06 SF	9%
BRICK	251.60 SF	21%
STUCCO	385.50 SF	32%
TOTAL	1202.38 SF	100%



1 SOUTH ELEVATION
 1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING
 LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR
 CONSTRUCTION

NO.	REVISION	DATE
1	REV-DEVELOPMENT	03.03.26

DESIGNED BY: TT, NH
 DRAWN BY: NH
 CHECKED BY: TT

THIS DRAWING IS THE PROPERTY OF B+A ARCHITECTURE AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT.

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APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

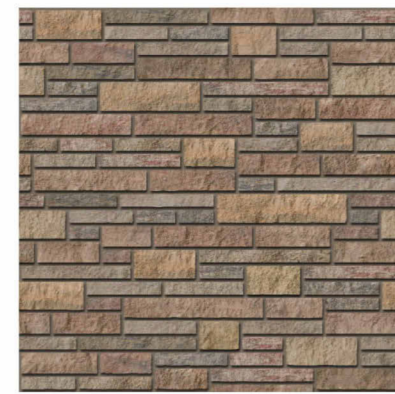
WITNESS OUR HANDS, this ____ day of _____, ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE TRIM
OLDCOUNTRY
BIGHORN



STONE VENEER
LEDGESTONE STYLE
WINDSOR PEWTER
LEDGE



STONE VENEER
THIN BRICK
DESERT GRAY



ACM PANEL
ALUCOBOND
STATUARY BRONZE

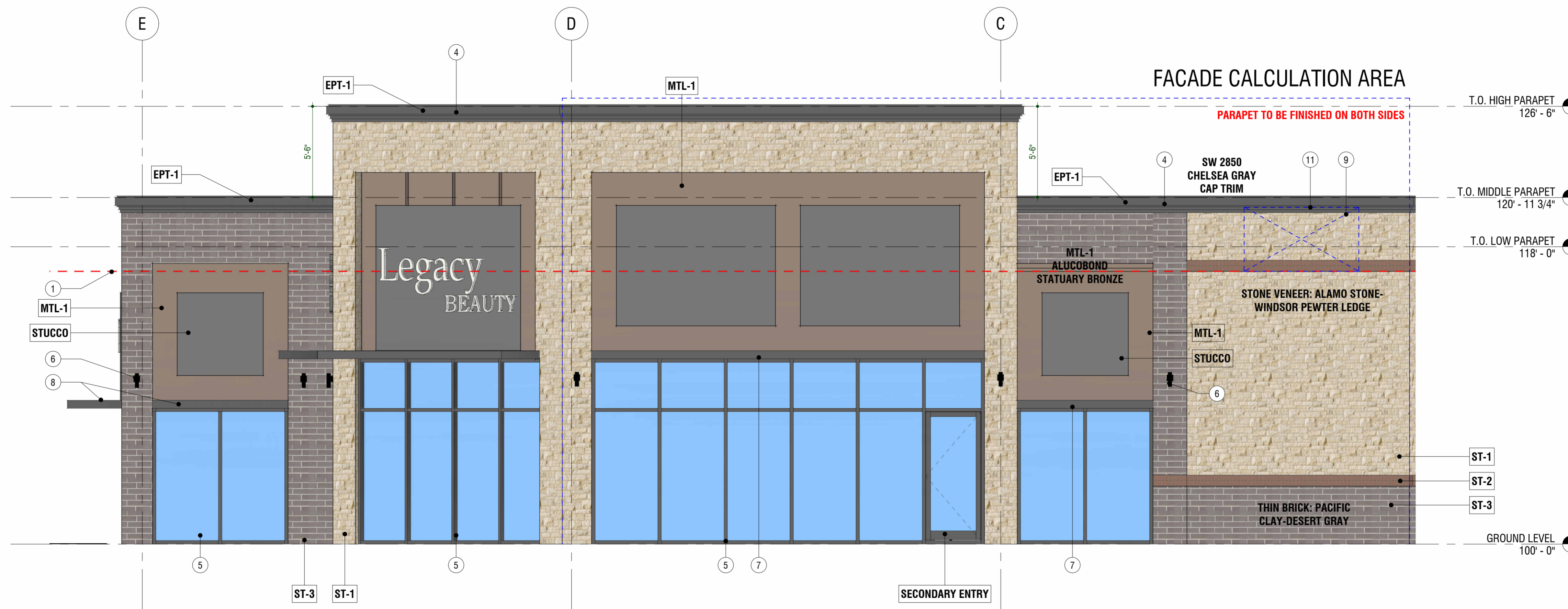
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2	STACKED STONE	OLD COUNTRY OR EQUAL	BIGHORN
3	STONE VENEER	PACIFIC CLAY PRODUCTS	THIN BRICK - DESERT GRAY
4	METAL PANEL	ALUCOBOND ACM OR EQUAL	STATUARY BRONZE
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE

KEYNOTES

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EAST		
EXTERIOR MATERIALS PERCENTAGES		
TOTAL FACADE AREA	1800.85 SF	
WINDOWS	349.35 SF	
DOORS		
AREA BALANCE	1451.50 SF	
MATERIAL	AREA	PERCENTAGE
STONE	884.95 SF	60%
METAL	96.28 SF	7%
BRICK	323.77 SF	22%
STUCCO	166.50 SF	11%
TOTAL	1451.50 SF	100%



1 EAST ELEVATION
1/4" = 1'-0"

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	REV-DEVELOPMENT	03.03.26

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A201

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STONE TRIM
 OLD COUNTRY
 BIGHORN



STONE VENEER
 LEDGESTONE STYLE
 WINDSOR PEWTER
 LEDGE



STONE VENEER
 THIN BRICK
 DESERT GRAY



ACM PANEL
 ALUCOBOND
 STATUARY BRONZE

EXTERIOR FINISHING SCHEDULE

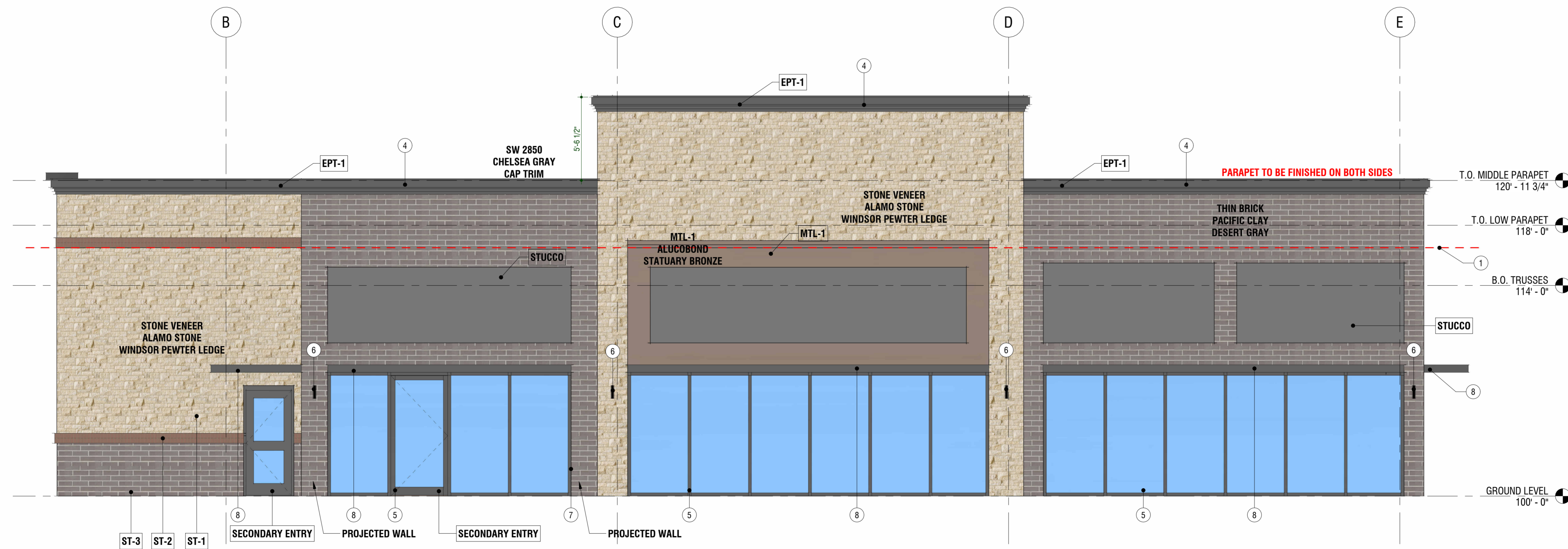
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WEST

EXTERIOR MATERIALS PERCENTAGES		
TOTAL FACADE AREA	1950.52 SF	
WINDOWS	551.32 SF	
DOORS		
AREA BALANCE	1399.20 SF	
MATERIAL	AREA	PERCENTAGE
STONE	577.08 SF	41%
BRICK	436.40 SF	32%
METAL	86.54 SF	6%
STUCCO	299.18 SF	21%
TOTAL	1399.20 SF	100%



1 WEST ELEVATION
 1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING
 LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

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 CONSTRUCTION

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 DRAWN BY: NH
 CHECKED BY: TT

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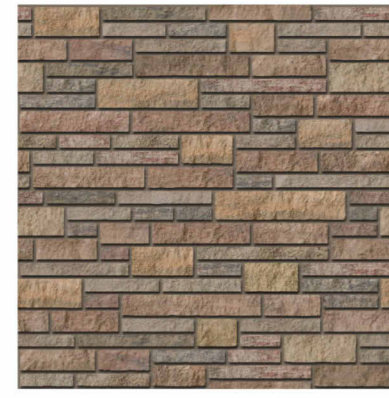
WITNESS OUR HANDS, this ____ day of _____, ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

GENERAL NOTES

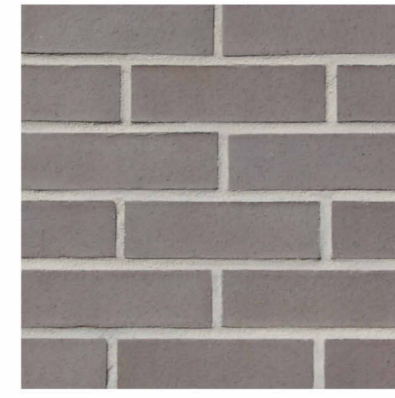
1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL, TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING.
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE TRIM
OLDCOUNTRY
BIGHORN



STONE VENEER
LEDGESTONE STYLE
WINDSOR PEWTER
LEDGE



STONE VENEER
THIN BRICK
DESERT GRAY



ACM PANEL
ALUCOBOND
STATUARY BRONZE

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	ALAMO STONE - LEDGESTONE	WINDSOR PEWTER LEDGE
2	STACKED STONE	OLD COUNTRY OR EQUAL	BIGHORN
3	STONE VENEER	PACIFIC CLAY PRODUCTS	THIN BRICK - DESERT GRAY
4	METAL PANEL	ALUCOBOND ACM OR EQUAL	STATUARY BRONZE
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE

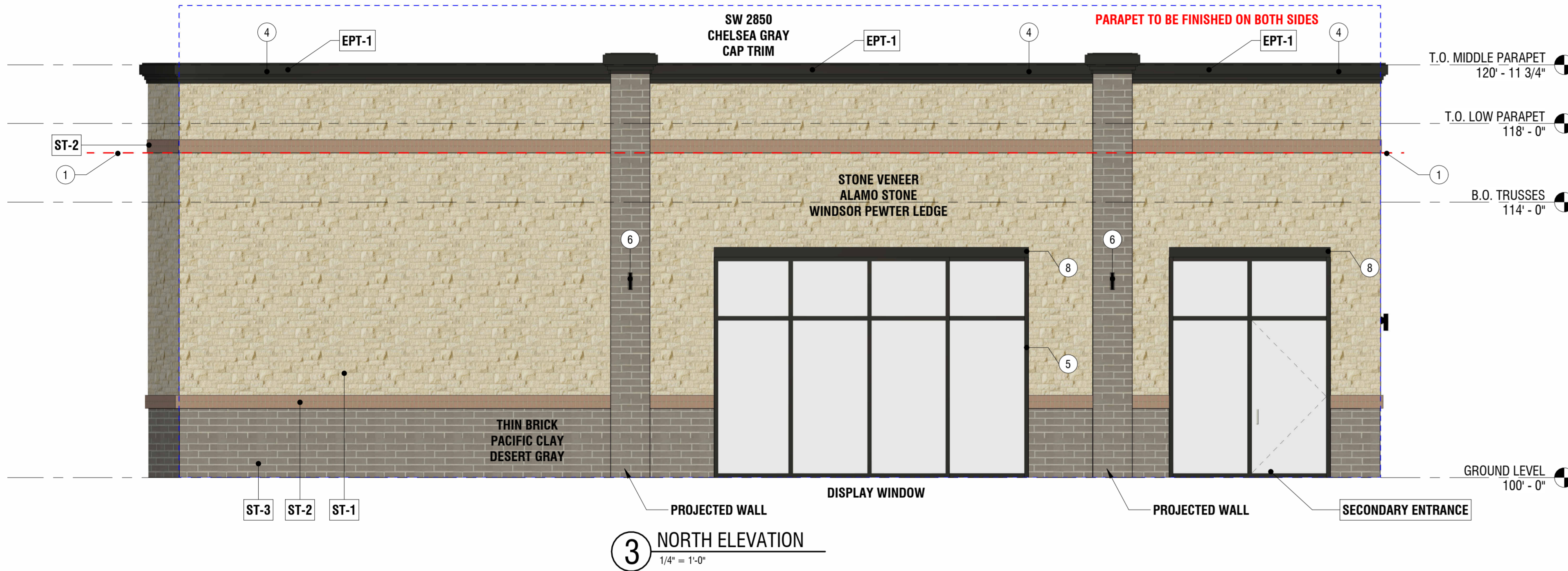
NORTH		
EXTERIOR MATERIALS PERCENTAGES		
TOTAL FACADE AREA	1208.88 SF	
WINDOWS	271.31 SF	
DOORS		
AREA BALANCE	937.57 SF	
MATERIAL	AREA	PERCENTAGE
STONE	741.56 SF	79%
METAL	N/A	-
BRICK	196.01 SF	21%
STUCCO	N/A	-
TOTAL	937.57 SF	100%

NORTHWEST		
EXTERIOR MATERIALS PERCENTAGES		
TOTAL FACADE AREA	962.82 SF	
WINDOWS	100.65 SF	
DOORS		
AREA BALANCE	862.17 SF	
MATERIAL	AREA	PERCENTAGE
STONE	503.98 SF	58%
METAL	N/A	-
BRICK	284.73 SF	33%
STUCCO	73.46 SF	9%
TOTAL	862.17 SF	100%

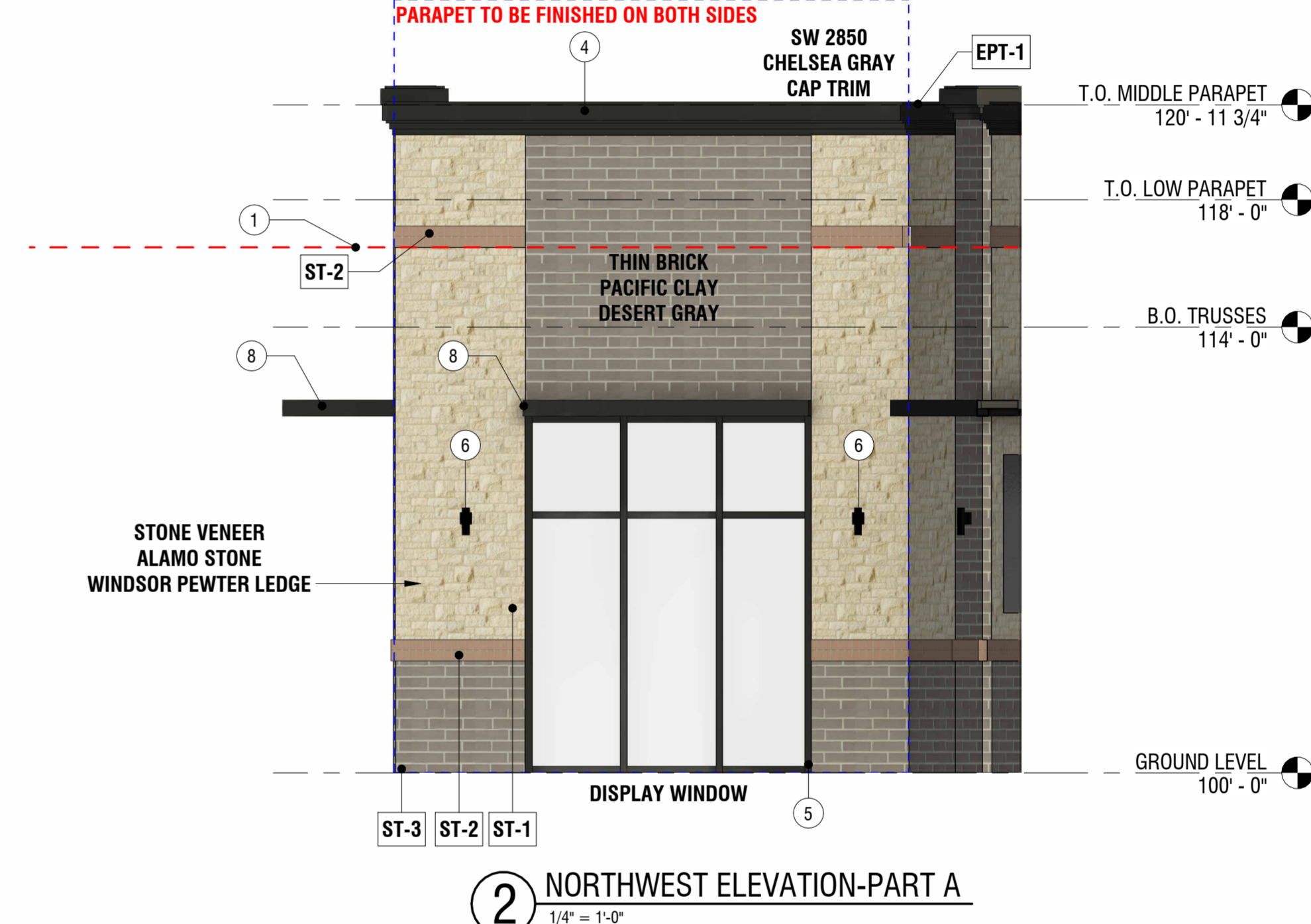
KEYNOTES

1. LINE OF ROOF BEYOND
2. TENANT MAIN ENTRY
3. STONE VENEER, INSTALL PER MANUFACTURER SPECIFICATIONS
4. CORNICE LINE TO BE PAINTED EPT-1 GRAY
5. ANODIZED ALUMINUM STORE FRONT SYSTEM DOOR AND GLAZING
6. EXTERIOR LIGHTING
7. BREAK METAL TO MATCH STOREFRONT SYSTEM
8. METAL AWING, INSTALL PER MANUFACTURER SPECIFICATIONS
9. RTU/HVAC SYSTEM, INSTALL PER MANUFACTURER SPECIFICATIONS
10. SIGNAGE, INSTALL PER MANUFACTURER SPECIFICATIONS
11. RTU SCREENING SYSTEM TO MEET CITY REQUIREMENT, INSTALL PER MANUFACTURER SPECIFICATIONS

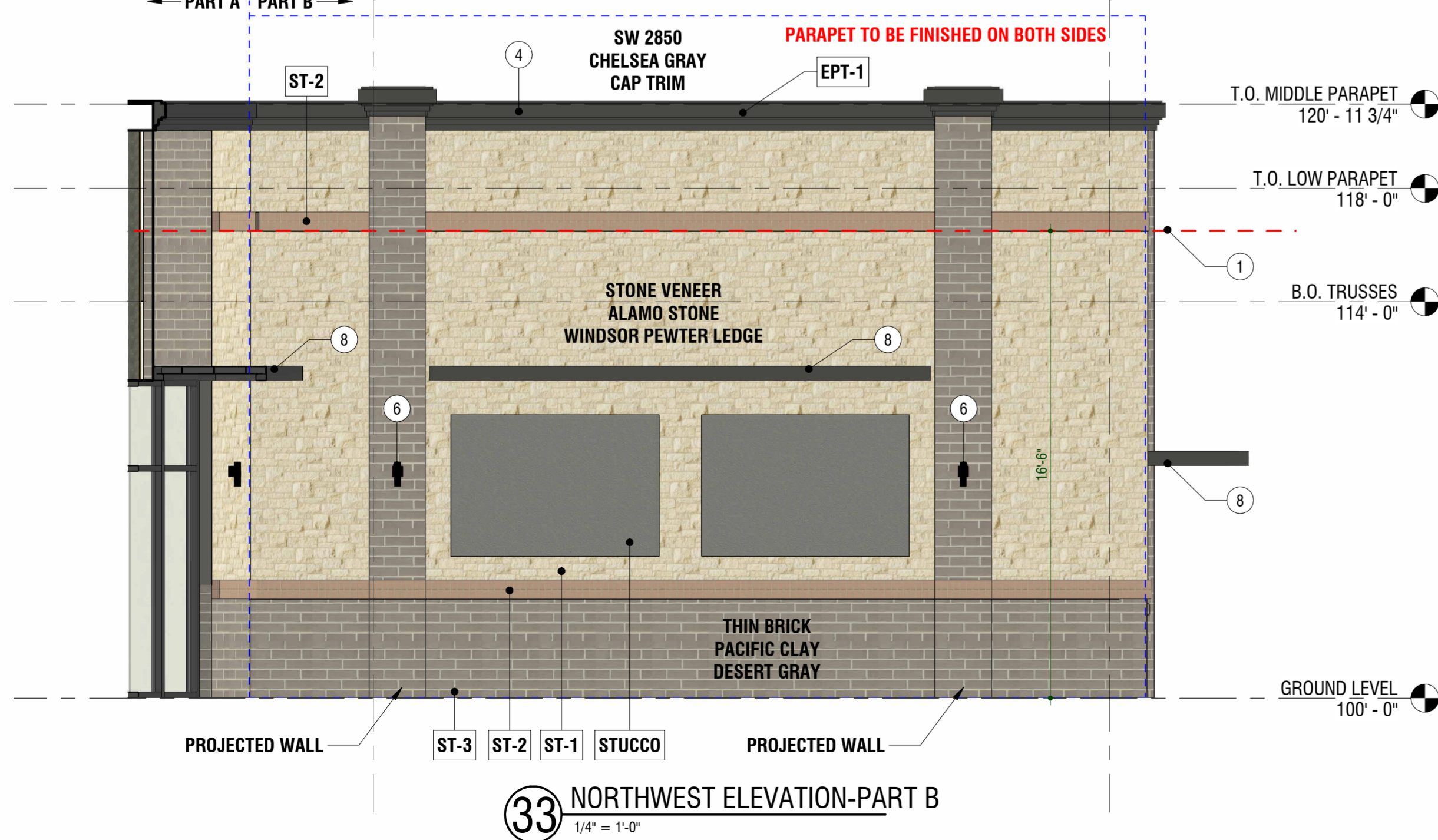
FACADE CALCULATION AREA



FACADE CALCULATION AREA



FACADE CALCULATION AREA



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD., ROCKWALL, TX 75087

SEAL

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	REV-DEVELOPMENT	03.03.26

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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SCALES AS STATED HEREIN ARE VALID ON THE ORIGINAL DRAWING. ONLY CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION DISCOVERED.

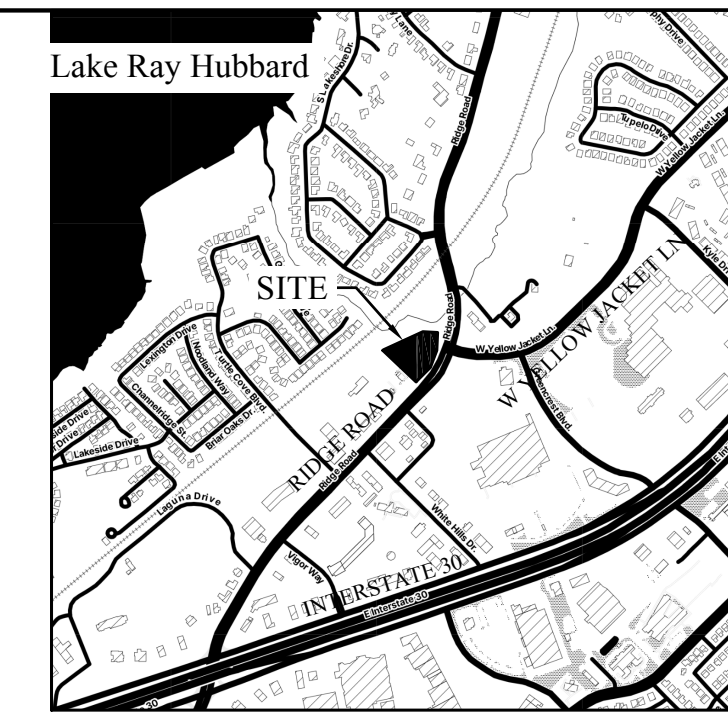
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

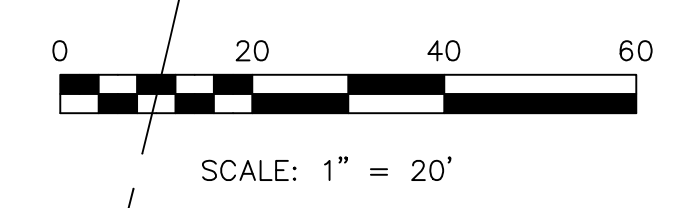
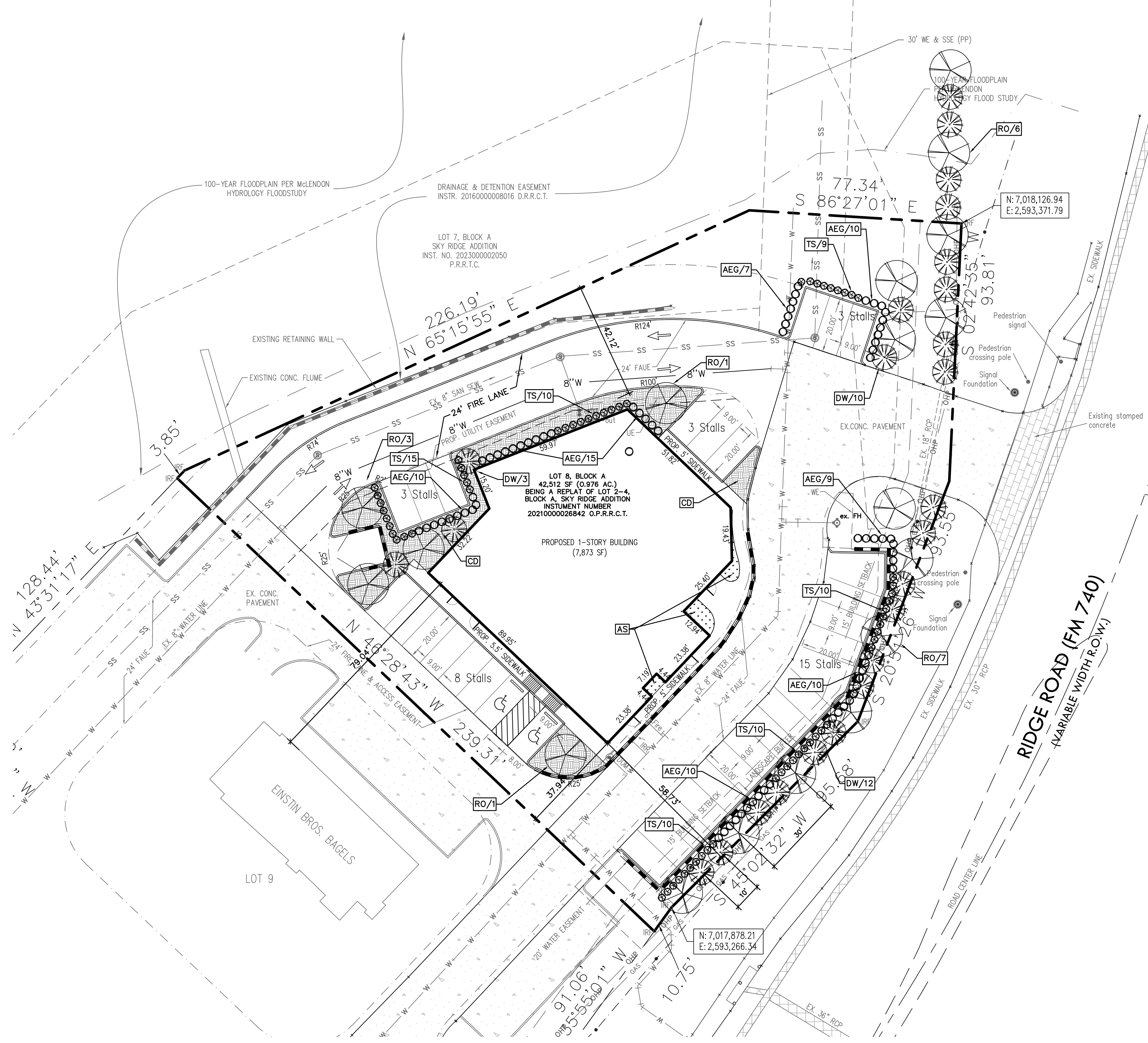
Director of Planning and Zoning





VICINITY MAP (NTS)

Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: hnguyen@swbell.net
Texas Registered Engineering Firm F-16239



1. Overall Site Landscaping Percentage

- For Commercial Districts, the required landscaping is 20% of the net lot area.

Required	Provided
20% x 42,512 sf = 8,502.40 sf	10,899 sf (26%)

2. Perimeter Landscaping (Buffers)

A. Street Frontage Landscaping:

- Requirement: 10 feet along all public street frontages.
- Canopy Trees: 3 canopy trees per 100 linear feet of street frontage.
- Accent Trees: 4 accent trees per 100 linear feet of street frontage.
- Shrubs/Groundcover: The remaining area within the landscape strip must be covered with shrubs, groundcover, or turf.

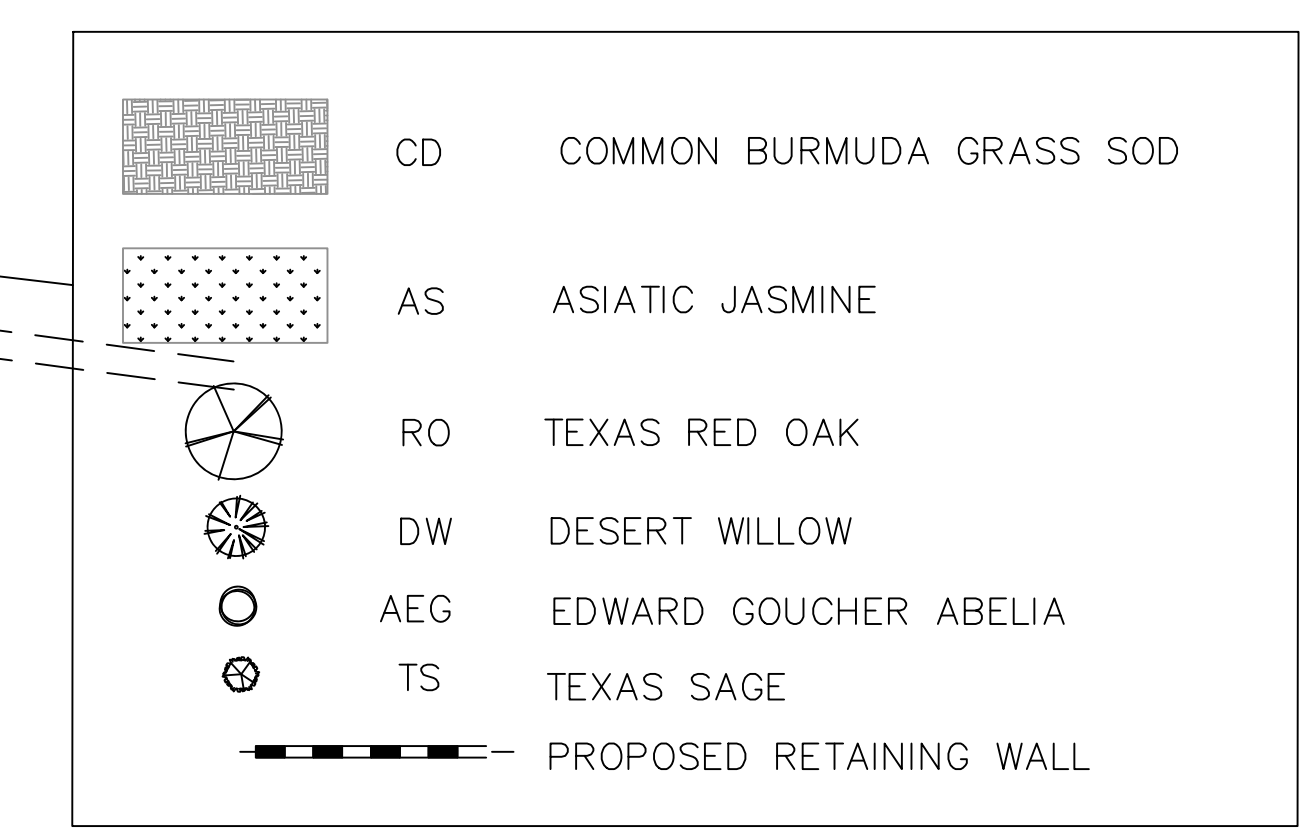
Required	Provided
10' buffer	10'
Canopy trees = 293.79 LF * 3/100 = 9	13
Accent trees = 293.79 LF * 4/100 = 12	22
3 shrubs/10 LF x 283.04 LF = 85 Shrubs	85

3. Interior Parking Lot Landscaping

- Trees:**
 - Number/Coverage: one (1) shade tree per 10 number of parking spaces (1/10 x 35 spaces = 4 trees), or 20% of the parking lot area (20% x 5,760 sf = 1,152 sf).
 - Island Requirements: Landscaped islands are typically required at the end of every parking row and within longer rows (e.g., for every 10-15 spaces). These islands must accommodate at least one large canopy tree.
- Shrubs/Groundcover:** All areas within interior landscape islands and strips must be fully planted with shrubs, groundcover, or turf.

Required	Provided
1 canopy tree/10 parking spaces x 32 = 3 trees	5
Accent trees	3
Shrubs	50
5,760 sf x 20% = 1,152 sf	1,985 sf (34%)

LANDSCAPE LEGEND



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Planning & Zoning Commission, Chairman

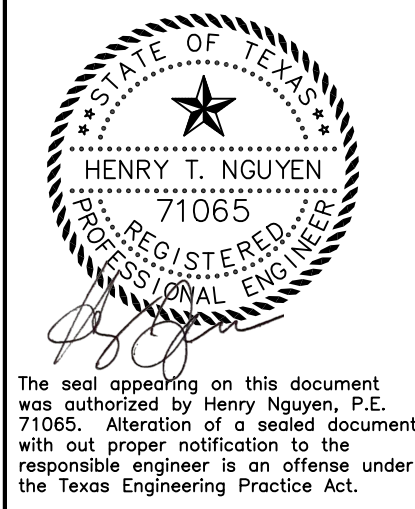
Director of Planning and Zoning

REVISIONS

Date	Description	Approved

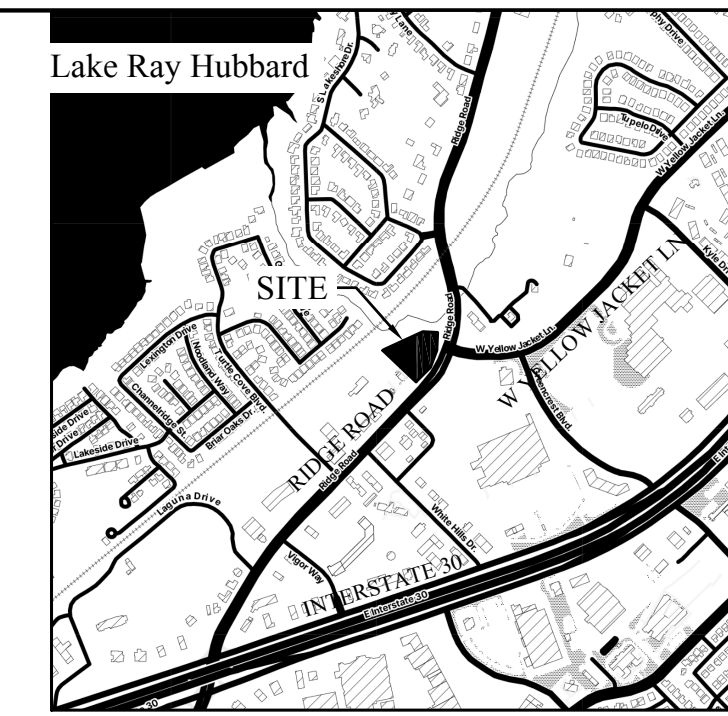
SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC
DRAWN	02/13/2026	
DATE		
		Job#: 25001



LANDSCAPE PLAN

Feb 13, 2026 4:47pm hnga
C:\Users\hnga\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKY RIDGE ADDITION\18-SHEET\SETS\L1-LANDSCAPE.dwg



VICINITY MAP (NTS)

Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave., Dallas, Texas 75224
(214) 773-4075 Email: hnguyen@swbell.net
Texas Registered Engineering Firm F-16239

GENERAL LAWN NOTES

1. ALL LANDSCAPE/TURF AREAS TO BE INSTALLED WITH AUTOMATIC IRRIGATION SYSTEM MEETING CITY AND TCEQ STANDARD.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 4" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR TO APPLY 4" CLEAN TOPSOIL TO ALL TURF AREAS PRIOR TO INSTALLATION OF SOD OR HYDROMULCH
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
5. LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE
6. REMOVE ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
7. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
8. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
9. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
10. WATER SOD THOROUGHLY AS SOD REESTABLISHMENT PROGRESSES.
11. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDA GRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

CUSTOM PLANTING SOIL:

AMENDED SOIL (IN SHRUB PLANTING BEDS & AT TREES)
PRODUCT: LANDSCAPERS BLEND (50/50)
DEPTH: 6" (TILLED INTO 6" OF EXISTING SOIL FOR A TOTAL DEPTH OF 12")
SUPPLIER: SOIL BUILDING SYSTEMS
CONTACT: 972-831-8181
INSTALLATION: PER SOIL BUILDING SYSTEMS SPECIFICATIONS

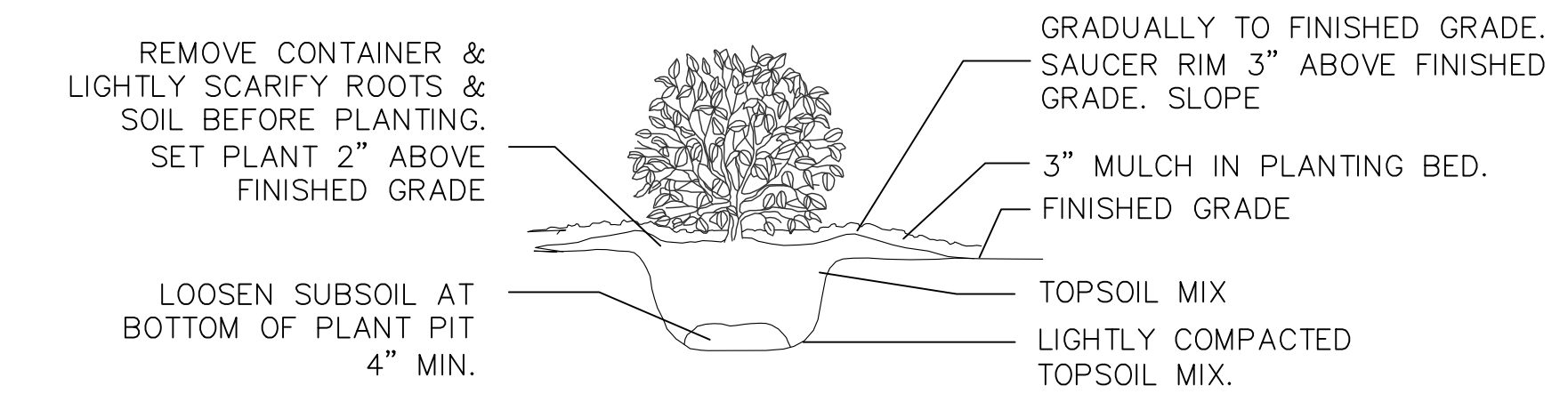
STEEL EDGING:

METAL EDGING TO SEPARATE PLANTING BEDS FROM ADJACENT TURF
PRODUCT: DURAEDGE
SIZE: 3/16" THICK x 4" HEIGHT x 16' LENGTH
NOTES: METAL EDGING SHALL NOT BE INSTALLED PARALLEL AGAINST CURBS AND SIDEWALKS. METAL EDGING SHALL BE TRIMMED WHERE IT ABUTTS SIDEWALKS AND CURBS TO AVOID SHARP EDGES.

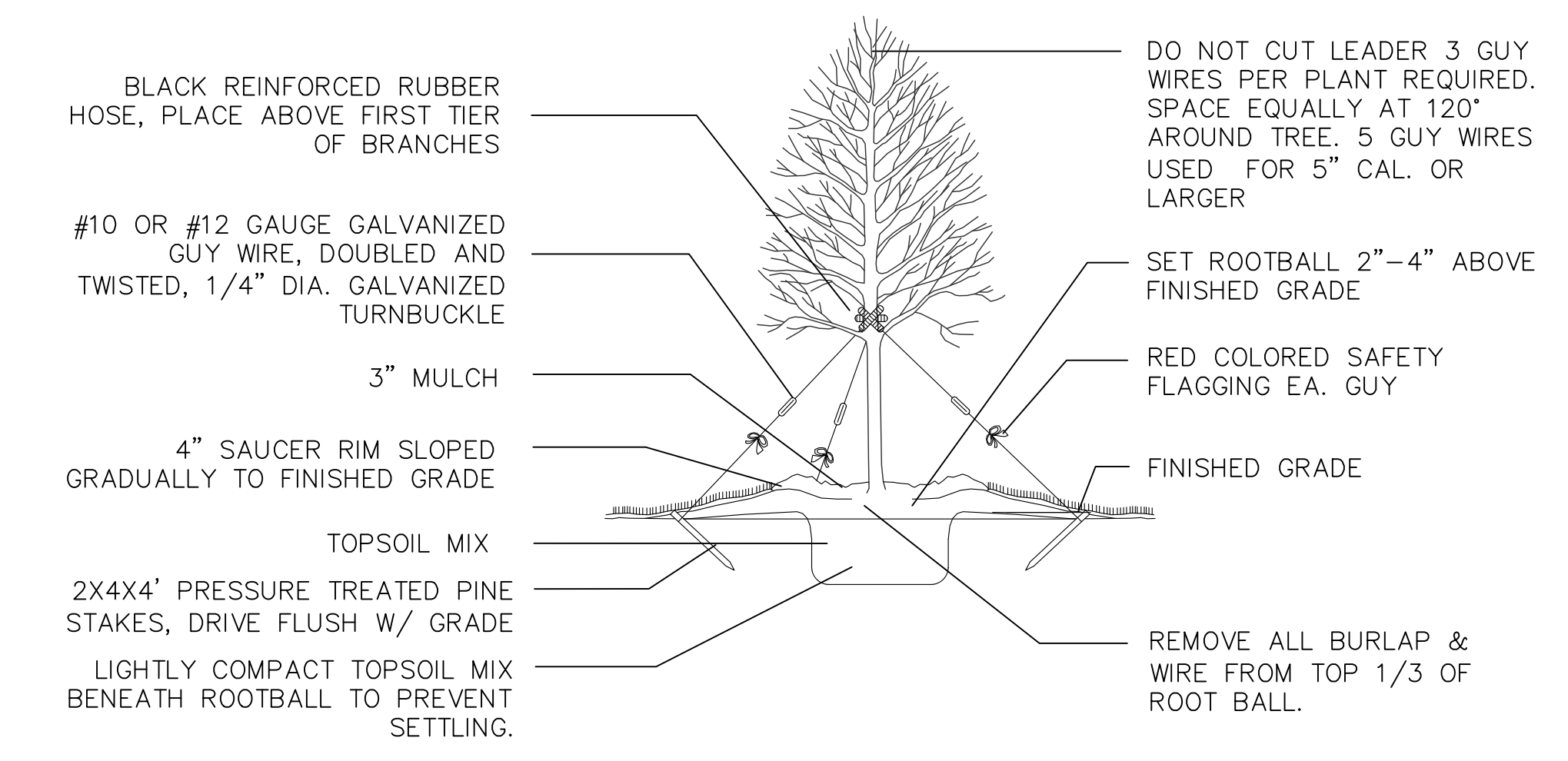
IRRIGATION:

ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR. THE IRRIGATION WILL MEET THE REQUIREMENT OF THE UDC.

PLANT LIST						
SYMBOL	BOTANIC NAME	COMMON NAME	QTY.	UNIT	SIZE	NOTES
* GROUND COVER						
CD	CYNODON DACTYLON	COMMON BURMUDA GRASS SOD	1820	SF		SOLID SOD PER INDUSTRY STANDARD
AS	TRACHELOSPERMUM	ASITIC JASMINE	165	SF		
* TREES AND SHRUBS						
RO	QUERCUS BUCKLEYI	TEXAS RED OAK	18	EA	4" CALIPER	SPACING PER PLAN
DW	CHILOPSIS LINEARIS	DESERT WILLOW	25	EA	4' HEIGHT	SPACING PER PLAN
AEG	ABELIA X 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	71	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.
TS	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	64	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.



A SHRUB PLANTING DETAIL
SCALE: NONE



B TREE PLANTING DETAIL
SCALE: NONE

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WITNESS OUR HANDS, this ____ day of _____, _____.

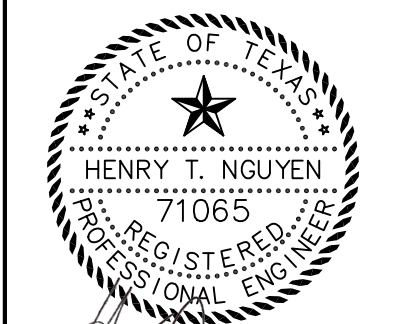
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REVISIONS	
Date	Description
Approved	

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC	HNC	DATE	02/13/2026	Job#:	25001
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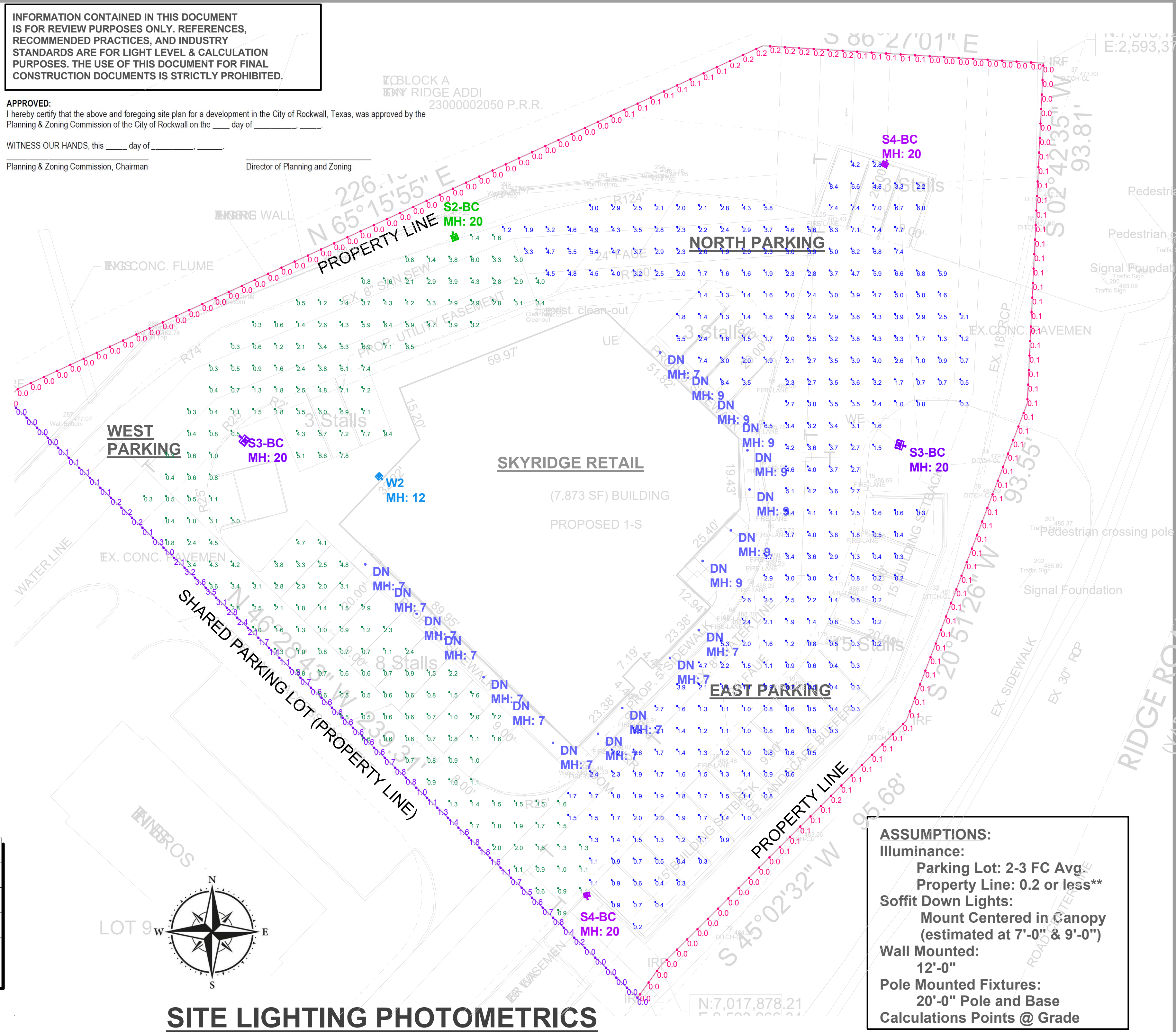


The seal appearing on this document was authorized by Henry Nguyen, P.E. 71065. Alteration of a sealed document with out proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

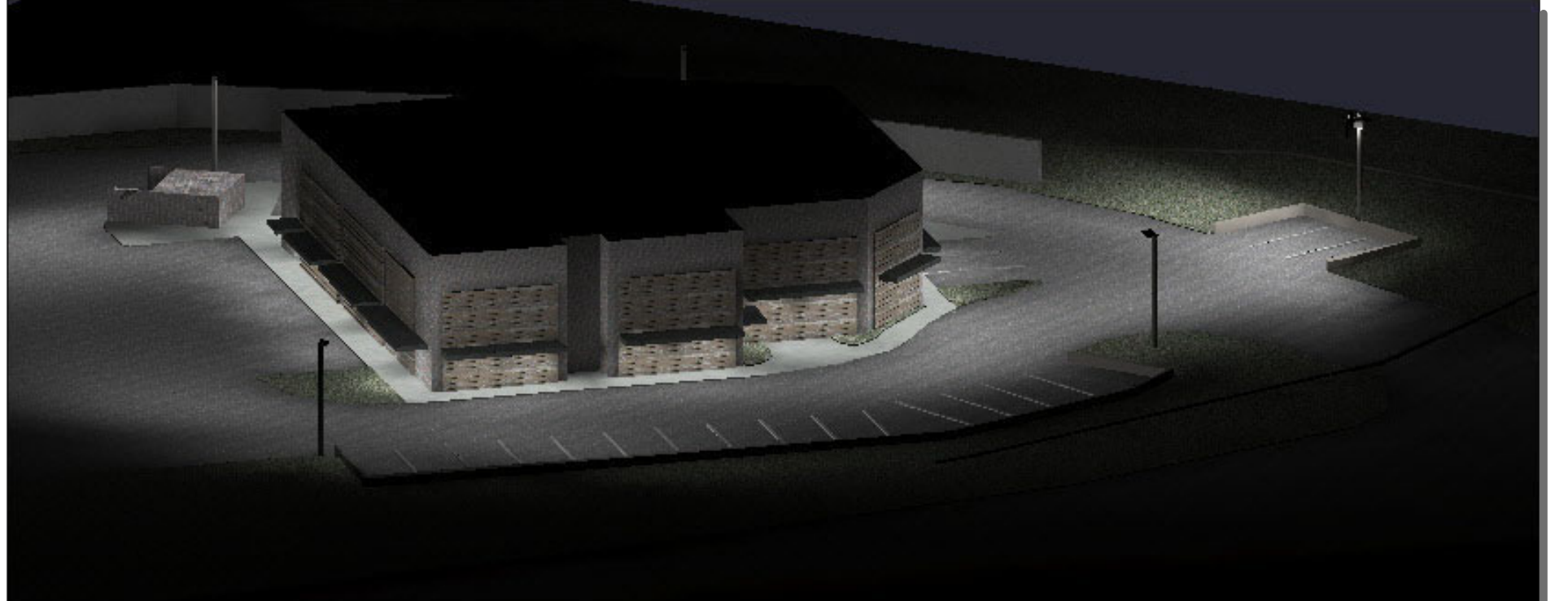
LANDSCAPE PLAN

INFORMATION CONTAINED IN THIS DOCUMENT IS FOR REVIEW PURPOSES ONLY. REFERENCES, RECOMMENDED PRACTICES, AND INDUSTRY STANDARDS ARE FOR LIGHT LEVEL & CALCULATION PURPOSES. THE USE OF THIS DOCUMENT FOR FINAL CONSTRUCTION DOCUMENTS IS STRICTLY PROHIBITED.

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 WITNESS OUR HANDS, this ___ day of _____.
 Planning & Zoning Commission, Chairman Director of Planning and Zoning



BIRD'S EYE VIEW



RENDERING FROM SOUTH-EAST

CALCULATION SUMMARY IN FOOT-CANDLES				
AREA	Avg	Max	Min	Max/Min
PROPERTY LINE	0.1	0.2	0.0	N.A.
SHARED PARKING LOT	0.9	3.6	0.0	N.A.
SOUTH-WEST PARKING	2.4	9.4	0.3	31.3
NORTH- EAST PARKING	2.5	8.4	0.2	42.0

**The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle.



SITE LIGHTING PHOTOMETRICS

ASSUMPTIONS:
 Illuminance:
 Parking Lot: 2-3 FC Avg.
 Property Line: 0.2 or less**
 Soffit Down Lights:
 Mount Centered in Canopy
 (estimated at 7'-0" & 9'-0")
 Wall Mounted:
 12'-0"
 Pole Mounted Fixtures:
 20'-0" Pole and Base
 Calculations Points @ Grade

LIGHTING FIXTURE SCHEDULE								
SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS	
+	DN	19	NU4-RD-SW-30LM-30K-LOPRO	ALPHABET-4 IN- ROUND-3000°K-LOW PROFILE HOUSING	0.900	26.72	2234	
VP	S2-BC	1	VP-2-320L-235-3K7-2-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE II -BACK CONTROL	0.900	238	16185	
VP	S3-BC	2	VP-2-320L-235-3K7-3-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE III -BACK CONTROL	0.900	238	18264	
VP	S4-BC	2	VP-2-320L-210-3K7-4W-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE IV -BACK CONTROL	0.900	213.9	15600	
VP	W2	1	VPW2-18L-39-3K7-2	BEACON VIPER-WALL PACK-3000°K-TYPE II OPTICS	0.900	38.8	4683	

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103 E 18th Avenue
 North Kansas City, MO 64116
 Phone: (816) 581-6300

SKYRIDGE RETAIL
 LOT 2 - 2200 RIDGE RD,
 ROCKWALL, TX 75087

CALC-0242-SKYRIDGE RETAIL-ROCKWALL-TX-REV-02

DESIGNED BY:	DJT
REVISIONS	
REV-01: NEW PLAN & PL REQ.	
REV-02: ADD NEW CIVIL DWG	
DATE:	3/2/2026

VIPER Area/Site

VIPER LUMINAIRE

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY



SERVICE PROGRAMS



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Silicone Strike Optics (40, 80, 120, or 180 LED counts) maximize uniformity in applications and provides the highest LPW. These include an integral gasket allowing for IP66 rating. Catalog logic found on page 4.
- All optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included

INSTALLATION (CONTINUED)

- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

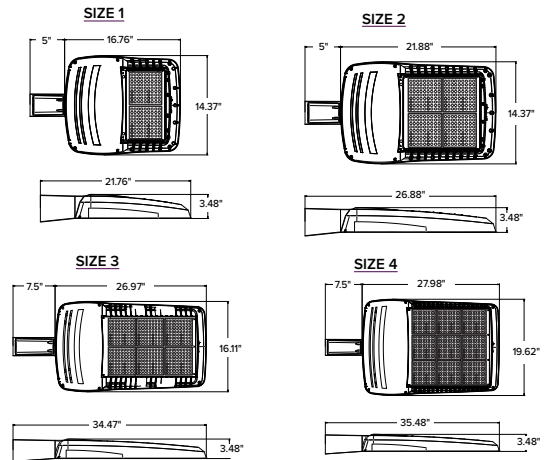
ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V Dimming Drivers are standard. Select CD option to have dimming leads extended outside the luminaire. Must specify if wiring leads are to be greater than the 6" standard.

SILICONE STRIKE | OPTICS STRIKE



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

CONTROLS (CONTINUED)

- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated with Strike and Microstrike optics. Fixture is IP66 rated with Silicone Strike optics.
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>).
- FCC CFR Title 47 Part 15, Class A

WARRANTY

- 5 year warranty

VIPER Area/Site

VIPER LUMINAIRE

MICROSTRIKE OPTICS – ORDERING GUIDE

Gray Shading = Service Program Limit of 15 luminaires



Example: VP-2-320L-145-3K7-2-R-UNV-A3-BLT

CATALOG # _____

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	Micro Strike	1 Size 1	160L-35 ⁶ 5500 lumens 160L-50 ⁶ 7500 lumens 160L-75 10000 lumens 160L-100 12500 lumens 160L-115 15000 lumens 160L-135 18000 lumens 160L-160 21000 lumens 320L-145 21000 lumens 320L-170 24000 lumens 320L-185 27000 lumens 320L-210 30000 lumens 320L-235 33000 lumens 320L-255 36000 lumens 320L-315 ⁶ 40000 lumens 480L-285 40000 lumens 480L-320 44000 lumens 480L-340 48000 lumens 480L-390 52000 lumens 480L-425 55000 lumens 480L-470 60000 lumens 720L-435 60000 lumens 720L-475 65000 lumens 720L-515 70000 lumens 720L-565 ⁶ 75000 lumens 720L-600 ⁶ 80000 lumens CLO Custom Lumen Output ¹	AP AP-Amber Phosphor Converted 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 35K8 3500K, 80 CRI 3K9 3000K, 90 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI 4K9 4000K, 90 CRI 5K7 5000K, 70 CRI 5K8 5000K, 80 CRI	2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide 5QW Type 5 Square Wide	BLANK No Rotation L Optic rotation left R Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
		2 Size 2					
		3 Size 3					
		4 Size 4					

Mounting	Color	Options	Network Control Options
A Arm mount for square pole/flat surface (B3 Drill Pattern) (Does not include round pole adapter) A_ Arm mount for round pole ² ASQU Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern A_U Universal arm mount for round pole ² AAU Adjustable arm for pole mounting (universal drill pattern) AA_U Adjustable arm mount for round pole ² ADU Decorative upswept Arm (universal drill pattern) AD_U Decorative upswept arm mount for round pole ² MAF Mast arm fitter for 2-3/8" OD horizontal arm K Knuckle T Trunnion WB Wall Bracket, horizontal tenon with MAF WM Wall mount bracket with decorative upswept arm WA Wall mount bracket with adjustable arm	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth LGT Light Grey Gloss Textured PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	F Fusing 2PF Dual Power Feed 2DR Dual Driver TE Tooless Entry BC Backlight Control ⁸ TB Terminal Block CD Customer Dimming	NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4} NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4} NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{3,4} WIR LightGRID+ In-Fixture Module ^{3,4} WIRSC LightGRID+ Module and Occupancy Sensor ^{3,4} Stand Alone Sensors BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens BTS-40F Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens 7PR 7-Pin Receptacle ⁴ 7PR-SC 7-Pin Receptacle with shorting cap ⁴ 7PR-TL 7-Pin PCR with photocontrol 3PR 3-Pin twist lock ⁴ 3PR-SC 3-Pin receptacle with shorting cap ⁴ 3PR-TL 3-Pin PCR with photocontrol ⁴ Programmed Controls SCP_F Sensor Control Programmable, 8F or 40F ⁹ ADD AutoDim Timer Based Dimming ¹⁰ ADT AutoDim Time of Day Dimming ¹⁰

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information

2 – Replace “_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole

3 – Networked Controls cannot be combined with other control options

4 – Not available with 2PF option

5 – Not available with Dual Driver option

6 – Some voltage restrictions may apply when combined with controls

7 – Not available with 480V

8 – BC not available on 4F and type 5 distributions

9 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

10 – Please refer to page 8 for AutoDim ordering guide

VIPER Area/Site

VIPER LUMINAIRE

STRIKE OPTIC – ORDERING GUIDE

Example: VP-ST-1-36L-39-3K7-2-UNV-A-BLT

CATALOG # _____

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	ST Strike	1 Size 1	36L-39 ⁸ 5500 lumens 36L-55 ⁸ 7500 lumens 36L-85 10000 lumens 36L-105 12500 lumens 36L-120 14000 lumens	AM monochromatic amber, 595nm 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 3K9 3000K, 90 CRI 35K8 3500K, 80 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI 4K9 4000K, 90 CRI 5K7 5000K, 70 CRI 5K8 5000K, 80 CRI	FR Auto Front Row 2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide 5QN Type 5 Square Narrow 5QW Type 5 Square Wide 5QM Type 5 Square Medium 5W Type 5 Wide (Round) 5RW Type 5 Rectangular C Corner Optic TC Tennis Court Optic	BLANK No Rotation L Optic rotation left R Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
		2 Size 2	72L-115 15000 lumens 72L-145 18000 lumens 72L-180 21000 lumens 72L-210 24000 lumens 72L-240 27000 lumens				
		3 Size 3	108L-215 ⁸ 27000 lumens 108L-250 30000 lumens 108L-280 33000 lumens 108L-325 36000 lumens 108L-365 40000 lumens				
		4 Size 4	162L-320 40000 lumens 162L-365 ¹⁰ 44000 lumens 162L-405 48000 lumens 162L-445 52000 lumens 162L-485 55000 lumens 162L-545 ⁸ 60000 lumens CLO Custom Lumen Output ¹				

Mounting	
A	Arm mount for square pole/flat surface
A_	Arm mount for round pole ³
ASQU	Universal arm mount for square pole
A_U	Universal arm mount for round pole ³
AAU	Adjustable arm for pole mounting (universal drill pattern)
AA_U	Adjustable arm mount for round pole ³
ADU	Decorative upswept Arm (universal drill pattern)
AD_U	Decorative upswept arm mount for round pole ³
MAF	Mast arm fitter for 2-3/8" OD horizontal arm
K	Knuckle
T	Trunnion
WB	Wall Bracket, horizontal tenon with MAF
WM	Wall mount bracket with decorative upswept arm
WA	Wall mount bracket with adjustable arm

Color	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Bronze Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
LGT	Light Grey Gloss Textured
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color Option	
CC	Custom Color

Options	
F	Fusing
E	Battery Backup ^{1,2,7,9}
2PF	Dual Power Feed
2DR	Dual Driver
TE	Toolless Entry
BC	Backlight Control
TB	Terminal Block
CD	Customer Dimming

Network Control Options	
NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{14,5}
NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{14,5}
NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{4,5}
WIR	LightGRID+ In-Fixture Module ^{4,5}
WIRSC	LightGRID+ Module and Occupancy Sensor ^{4,5}
Stand Alone Sensors	
BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming® Photocell and 360° Lens
BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
7PR	7-Pin Receptacle ⁴
7PR-SC	7-Pin Receptacle with shunting cap ⁴
7PR-TL	7-Pin PCR with photocontrol
3PR	3-Pin twist lock ⁴
3PR-SC	3-Pin receptacle with shunting cap ⁴
3PR-TL	3-Pin PCR with photocontrol ⁴
Programmed Controls	
SCP_F	Sensor Control Programmable, 8F or 40F ¹¹
ADD	AutoDim Timer Based Dimming ¹²
ADT	AutoDim Time of Day Dimming ¹²

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information.
 2 – Battery temperature rating -20C to 55C
 3 – Replace “_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole
 4 – Networked Controls cannot be combined with other control options
 5 – Not available with 2PF option
 6 – Not available with 480V
 7 – Not available with 347 or 480V
 8 – Not available with Dual Driver option

9 – Only available in Size 1 housing, up to 105 Watts
 10 – Some voltage restrictions may apply when combined with controls
 11 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.
 12 – Please refer to page 8 for AutoDim ordering guide

VIPER Area/Site

VIPER LUMINAIRE

SILICONE STRIKE OPTIC – ORDERING GUIDE

Example: VP-SS-1-40L-75-4K7-4W-UNV-ASQU-BLT

CATALOG # _____

VP	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	SS Strike Silicone	1 Size 1	40L-35 35W, 5,500 Lumens 40L-55 55W, 7,500 Lumens 40L-65 65W, 10,000 Lumens 40L-80 80W, 12,500 Lumens 40L-100 100W, 15,000 Lumens 40L-120 120W, 17,500 Lumens 40L-140 140W, 20,000 Lumens 40L-170 170W, 22,500 Lumens 40L-195 195W, 25,000 Lumens	22K7 2200K, 70 CRI 27K7 2700K, 70 CRI 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 35K8 3500K, 80 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI	2 Type 2 3 Type 3 4W Type 4 Wide 4F Type 4 Forward 5QM Type 5 Square Medium 5QW Type 5 Square Wide	BLANK No Rotation L Optic rotation left R Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
		2 Size 2	80L-75 75W, 12,500 Lumens 80L-90 90W, 15,000 Lumens 80L-105 105W, 17,500 Lumens 80L-130 130W, 21,000 Lumens 80L-155 155W, 24,000 Lumens 80L-175 175W, 27,000 Lumens 80L-205 205W, 30,000 Lumens 80L-225 225W, 33,000 Lumens 80L-250 250W, 36,000 Lumens 80L-280 280W, 40,000 Lumens	5K7 5000K, 70 CRI 5K8 5000K, 80 CRI			
		3 Size 3	120L-190 190W, 30,000 Lumens 120L-205 205W, 33,000 Lumens 120L-230 230W, 36,000 Lumens 120L-265 265W, 40,000 Lumens 120L-295 295W, 44,000 Lumens 120L-320 320W, 48,000 Lumens 120L-355 355W, 52,000 Lumens 120L-380 380W, 55,000 Lumens 120L-420 420W, 60,000 Lumens				
		4 Size 4	180L-275 275W, 44,000 Lumens 180L-295 295W, 48,000 Lumens 180L-335 335W, 52,000 Lumens 180L-360 360W, 55,000 Lumens 180L-395 395W, 60,000 Lumens 180L-435 435W, 65,000 Lumens 180L-470 470W, 70,000 Lumens 180L-510 510W, 75,000 Lumens 180L-550 550W, 80,000 Lumens				

VIPER Area/Site

VIPER LUMINAIRE

SILICONE STRIKE OPTIC – ORDERING GUIDE (CONTINUED)

Mounting		Color		Options		Network Control Options	
A	Arm mount for square pole/flat surface	BLT	Black Matte Textured	BC	Backlight Control (3%)	NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,4,5}
A_	Arm mount for round pole ³	BLS	Black Gloss Smooth	MBC	Max Backlight Control (1.5%)	NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,4,5}
ASQU	Universal arm mount for square pole	DBT	Dark Bronze Matte Textured	LCC	Left Corner Control	NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{4,5}
A_U	Universal arm mount for round pole ³	DBS	Dark Bronze Gloss Smooth	RCC	Right Corner Control	WIR	LightGRID+ In-Fixture Module ^{4,5}
AAU	Adjustable arm for pole mounting (universal drill pattern)	GTT	Graphite Matte Textured	F	Fusing	WIRSC	LightGRID+ Module and Occupancy Sensor ^{4,5}
AA_U	Adjustable arm mount for round pole ³	LGS	Light Grey Gloss Smooth	E	Battery Backup ^{1,2,7,8,9}	Stand Alone Sensors	
ADU	Decorative upswept Arm (universal drill pattern)	LGT	Light Grey Gloss Textured	2PF	Dual Power Feed	BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
AD_U	Decorative upswept arm mount for round pole ³	PSS	Platinum Silver Smooth	2DR	Dual Driver	BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming® Photocell and 360° Lens
MAF	Mast arm fitter for 2-3/8" OD horizontal arm	WHT	White Matte Textured	TE	Toolless Entry	BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
K	Knuckle	WHS	White Gloss Smooth	TB	Terminal Block	7PR	7-Pin Receptacle ⁴
T	Trunion	VG	Verde Green Textured	CD	Customer Dimming	7PR-SC	7-Pin Receptacle with shorting cap ⁴
WB	Wall Bracket, horizontal tenon with MAF	Color Option				7PR-TL	7-Pin PCR with photocontrol
WM	Wall mount bracket with decorative upswept arm	CC	Custom Color			3PR	3-Pin twist lock ⁴
WA	Wall mount bracket with adjustable arm					3PR-SC	3-Pin receptacle with shorting cap ⁴
						3PR-TL	3-Pin PCR with photocontrol ⁴
						Programmed Controls	
						SCP_F	Sensor Control Programmable, 8F or 40F ¹¹
						ADD	AutoDim Timer Based Dimming ¹²
						ADT	AutoDim Time of Day Dimming ¹²

¹ – Items with a grey background can be done as a custom order. Contact brand representative for more information

² – Battery temperature rating -20C to 55C

³ – Replace “_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole

⁴ – Networked Controls cannot be combined with other control options

⁵ – Not available with 2PF option

⁶ – Not available with 480V

⁷ – Not available with 347 or 480V

⁸ – Not available with Dual Driver option

⁹ – Only available in Size 1 housing, up to 105 Watts

¹⁰ – Some voltage restrictions may apply when combined with controls

¹¹ – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

¹² – Please refer to page 8 for AutoDim ordering guide

VIPER Area/Site

VIPER LUMINAIRE

ORDERING GUIDE (CONT'D)

CATALOG # _____

Accessory Type	Size	Option	Color		
SHD Shield	1 Size 1	HSS-90-B House Side Shield 90° Back	BLS Black Gloss Smooth BLT Black Matte Textured DBS Dark Bronze Gloss Smooth DBT Dark Bronze Matte Textured GTT Graphite Matte Textured LGS Light Gray Gloss Smooth PSS Platinum Silver Smooth WHS White Gloss Smooth WHT White Matte Textured VGT Green Landscape Decorative LEG Legacy Colors		
	2 Size 2	HSS-90-F House Side Shield 90° Front			
	3 Size 3	HSS-90-S House Side Shield 90° Side			
	4 Size 4	HSS-270-BSS House Side Shield 270° Back/Side/Side			
		HSS-270-FSS House Side Shield 270° Front/Side/Side			
		HSS-270-FSB House Side Shield 270° Front/Side/Back			
		HSS-360 House Side Shield 360°			
	MTG Mounting			BC Back Light Control	Color Option CC Custom Color
				A Arm Mount for square pole/flat surface	
				ASQU Universal Arm Mount for square pole	
		AAU Adjustable Arm for pole mounting			
		ADU Decorative upswept Arm			
		RPA Round Pole Adapter			
		MAF Mast Arm Fitter for 2-3/8" OD horizontal arm			
		K Knuckle			
		T Trunnion			
		WB Wall Bracket (compatible with universal arm mounts)			
Accessory Type	Option				
MSC Miscellaneous	BIRD SPK Bird Spike				

Current Control Solutions — Accessories (Sold Separately)

NX Lighting Controls

NXOFM2-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with NX Radio and Bluetooth® Radio, 120–480VAC

LightGRID+ Lighting Control

WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with LightGRID+ Radio, 110–480VAC

SCP-REMOTE Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor

For additional information related to these accessories please visit currentlighting.com/beacon. Options provided for use with integrated sensor, please view specification sheet ordering information table for details.

VIPER Area/Site

VIPER LUMINAIRE

VIPER POLE EXPRESS COMBO – ORDERING GUIDE



Catalog Number	Pole	Single or Double Head	Fixture	Lumens*	Wattage	Distribution	CCT/CRI	Mounting	Finish
VP-1-160-4K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured

VIPER POLE EXPRESS COMBO – STOCK LUMINAIRE SKUS

Catalog Number	Lumens	LPW	Distribution	Wattage	CCT/CRI	Voltage	Mounting	Finish
VP-1-160-4K-3-LS	19584	123.9	3	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-4K-4F-LS	19426	122.9	4F	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-3-LS	19499	123.4	3	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-4F-LS	19186	121.4	4F	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured

VIPER POLE EXPRESS COMBO – ACCESSORIES











Catalog Number	Description
VM14DB	Vibration Dampener, mounts to top of pole for reduced vibration



VIPER Area/Site

VIPER LUMINAIRE

OUTDOOR LIGHTING CONTROLS OPTIONS CONTROLS FUNCTIONALITY LIGHT GRID⁺

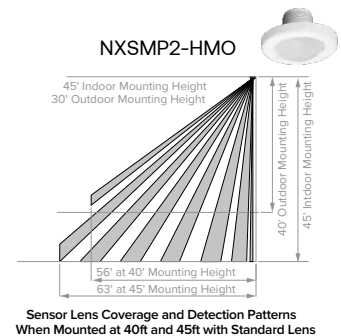
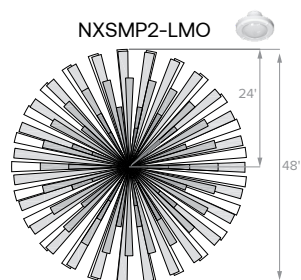
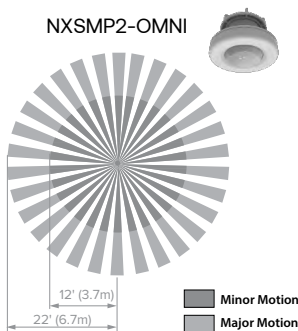
Control Option Ordering Logic & Description	Control Option Functionality										Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
NXOFM2-1RID-UNV NX 7-Pin Twist-Lock® with NX Networked Wireless Radio, Integral Automatic Dimming Photocell, Integral Single Pole Relay with Dimming, and Bluetooth Programming	✓	✓	✓	Paired with external control	✓	✓	✓	✓	-		NXOFM-1RID-UV
NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓	-		NXRM2-H
NXWS12F NX Networked Wireless Enabled Integral NXSMP2-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	12ft		NXSMP2-OMNI-O
NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft		NXSMP2-LMO
NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft		NXSMP2-HMO
WIR LightGRID+ In-Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-		WIR
WIR-RME-L LightGRID+ On Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-		WIR-RME-L
WIRSC LightGRID+ Module and Occupancy Sensor	✓	✓	✓	✓	✓	✓	✓	Gateway	14ft - 40ft		BTMSP
BTSO-12F Bluetooth® Programmable, BTSMO-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft		BTSMO-OMNI-O
BTS-14F Bluetooth® Programmable, BTSMO-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	14ft		BTSMO-LMO
BTS-40F Bluetooth® Programmable, BTSMO-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	40ft		BTSMO-HMO

DEFAULT SETTINGS

NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
	*Passcode Factory Passcode: HubbN3T!	Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



VIPER Area/Site

VIPER LUMINAIRE

NX LIGHTING CONTROLS FREE APP

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&q=US



Apple App

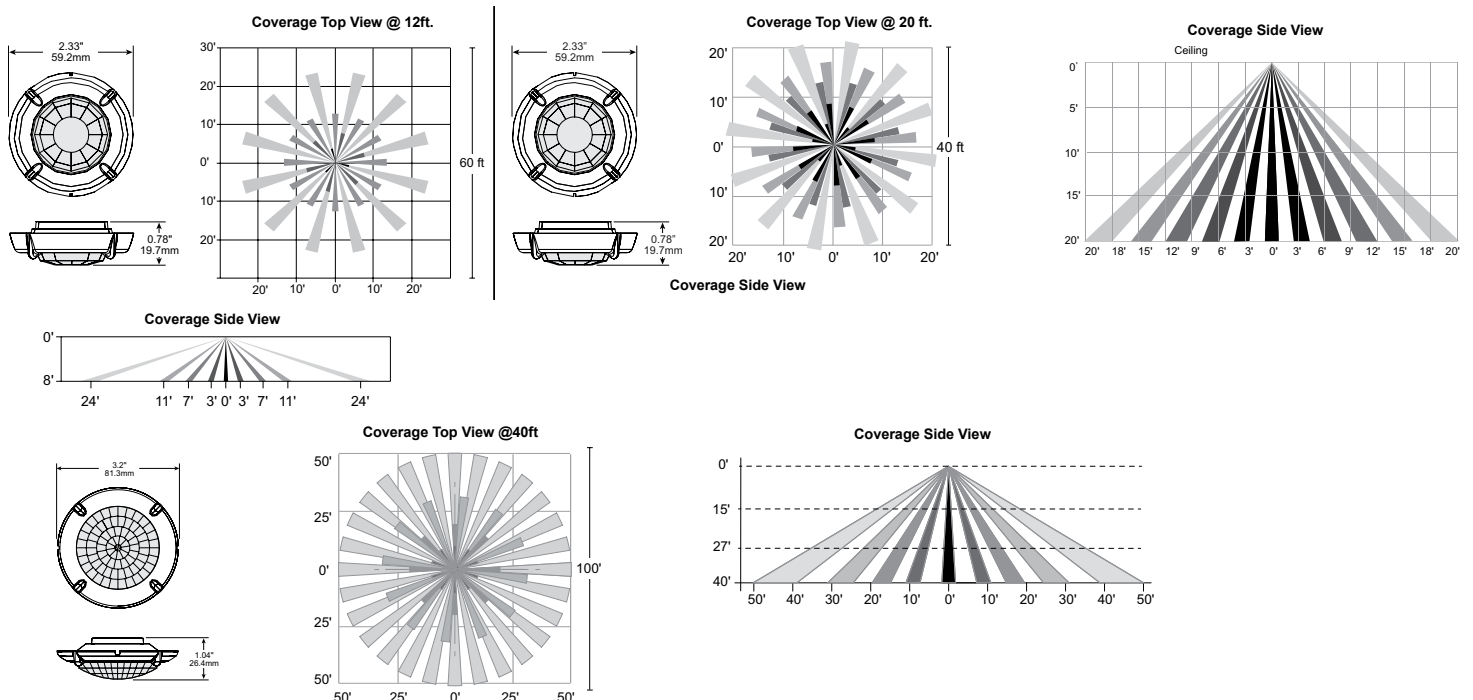


Google Play

OUTDOOR LIGHTING CONTROLS OPTIONS CONTROLS FUNCTIONALITY

Control Option Ordering Logic & Description	Control Option Functionality										Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
SCP_F Sensor Control Programmable, 8F or 40F	-	-	-	✓	✓	✓	✓	-	8ft or 40ft		SCP_F
ADD AutoDIM Timer Based Dimming	-	-	✓	-	-	-	✓	-	-		ADD
ADT AutoDIM Time of Day Dimming	-	-	✓	-	-	-	✓	-	-		ADT
7PR 7-Pin Receptacle	-	-	Paired with external control	-	Paired with external control	-	Paired with external control	-	-		7PR
7PR-SC 7-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-		7PR-SC
3PR 3-Pin twist lock	-	-	-	-	-	-	Paired with external control	-	-		3PR
3PR-SC 3-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-		3PR-SC
3PR-TL 3-Pin with photocontrol	-	-	-	-	✓	-	✓	-	-		3PR-TL

COVERAGE PATTERNS FOR SCP_F



VIPER Area/Site

VIPER LUMINAIRE

PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6 - Delay 6 hours
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50% brightness
Auto-Dim Return	Delay 0-9 Hours	R6 - Return to full output after 6 hours

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6 - Dim at 6PM
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50%
Auto-Dim Return	12-6 AM and 9-11P	R6 - Return to full output at 6AM

ORDERING GUIDE

Auto Dim Code	Timer Base (ADD) Auto-Dim Options		Auto Dim Cod	Time of Day (ADT) Auto-Dim Options	Code	Auto-Dim Brightness	Code	Auto-Dim Return Options	Code	Auto-Dim Brightness
D1	Delay 1 hour	OR	T0	Delay Midnight	0	100% Brightness	R1	Delay 1 hour or 1 AM	0	100% Brightness
D2	Delay 2 hours		T1	Delay 1 AM	1	10% Brightness	R2	Delay 2 hours or 2 AM	1	10% Brightness
D3	Delay 3 hours		T2	Delay 2 AM	2	20% Brightness	R3	Delay 3 hours or 3 AM	2	20% Brightness
D4	Delay 4 hours		T3	Delay 3 AM	3	30% Brightness	R4	Delay 4 hours or 4 AM	3	30% Brightness
D5	Delay 5 hours		T4	Delay 10 PM	4	40% Brightness	R5	Delay 5 hours or 5 AM	4	40% Brightness
D6	Delay 6 hours		T5	Delay 11 PM	5	50% Brightness	R6	Delay 6 hours or 6 AM	5	50% Brightness
D7	Delay 7 hours		T6	Delay 6 PM	6	60% Brightness	R7	Delay 7 hours or 7 AM	6	60% Brightness
D8	Delay 8 hours		T7	Delay 7 PM	7	70% Brightness	R8	Delay 8 hours or 8 AM	7	70% Brightness
D9	Delay 9 hours		T8	Delay 8 PM	8	80% Brightness	R9	Delay 9 hours or 9 AM	8	80% Brightness
D0	Delay 0 hours		T9	Delay 9 PM	9	90% Brightness	R0	Delay 0 hours or 12 AM	9	90% Brightness

DELIVERED LUMENS

For delivered lumens, please see Lumens Data PDF on www.Currentlighting.com

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	*TM-21-11 36,000	50,000	100,000	Calculated L ₇₀ (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier	Micro Strike Lumen Multiplier				Strike Lumen Multiplier			
°C	°F		CCT	70 CRI	80 CRI	90 CRI	CCT	70 CRI	80 CRI	90 CRI
0°C	32°F	1.03	2700K	-	0.841	-	2700K	0.9	0.81	0.62
10°C	50°F	1.01	3000K	0.977	0.861	0.647	3000K	0.933	0.853	0.659
20°C	68°F	1.00	3500K	-	0.900	-	3500K	0.959	0.894	0.711
25°C	77°F	1.00	4000K	1	0.926	0.699	4000K	1	0.9	0.732
30°C	86°F	0.99	5000K	1	0.937	0.791	5000K	1	0.9	0.732
40°C	104°F	0.98	AP-Amber Phosphor Converted Multiplier				Monochromatic Amber Multiplier			
			Amber	0.710			Amber	See Amber Spec Sheet		

VIPER Area/Site

VIPER LUMINAIRE

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ELECTRICAL DATA: MICRO STRIKE

# OF LEDS	160						
NOMINAL WATTAGE	35	50	75	100	115	135	160
SYSTEM POWER (W)	34.9	50.5	72.1	97.2	111.9	132.2	157.8
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	0.29	0.42	0.63	0.83	0.96	1.13	1.33
208	0.17	0.24	0.36	0.48	0.55	0.65	0.77
240	0.15	0.21	0.31	0.42	0.48	0.56	0.67
277	0.13	0.18	0.27	0.36	0.42	0.49	0.58
347	0.10	0.14	0.22	0.29	0.33	0.39	0.46
480	0.07	0.10	0.16	0.21	0.24	0.28	0.33

# OF LEDS	320						
NOMINAL WATTAGE	145	170	185	210	235	255	315
SYSTEM POWER (W)	150	166.8	185.7	216.2	240.9	261.5	312
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	1.21	1.42	1.54	1.75	1.96	2.13	2.63
208	0.70	0.82	0.89	1.01	1.13	1.23	1.51
240	0.60	0.71	0.77	0.88	0.98	1.06	1.31
277	0.52	0.61	0.67	0.76	0.85	0.92	1.14
347	0.42	0.49	0.53	0.61	0.68	0.73	0.91
480	0.30	0.35	0.39	0.44	0.49	0.53	0.66

# OF LEDS	480					
NOMINAL WATTAGE	285	320	340	390	425	470
SYSTEM POWER (W)	286.2	316.7	338.4	392.2	423.2	468
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.38	2.67	2.83	3.25	3.54	3.92
208	1.37	1.54	1.63	1.88	2.04	2.26
240	1.19	1.33	1.42	1.63	1.77	1.96
277	1.03	1.16	1.23	1.41	1.53	1.70
347	0.82	0.92	0.98	1.12	1.22	1.35
480	0.59	0.67	0.71	0.81	0.89	0.98

# OF LEDS	720				
NOMINAL WATTAGE	435	475	515	565	600
SYSTEM POWER (W)	429.3	475	519.1	565.2	599.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	3.63	3.96	4.29	4.71	5.00
208	2.09	2.28	2.48	2.72	2.88
240	1.81	1.98	2.15	2.35	2.50
277	1.57	1.71	1.86	2.04	2.17
347	1.25	1.37	1.48	1.63	1.73
480	0.91	0.99	1.07	1.18	1.25

VIPER Area/Site

VIPER LUMINAIRE

ELECTRICAL DATA: STRIKE

# OF LEDS	36				
NOMINAL WATTAGE	39	55	85	105	120
SYSTEM POWER (W)	39.6	56.8	83.6	108.2	120.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	0.33	0.46	0.71	0.88	0.96
208	0.19	0.26	0.41	0.50	0.55
240	0.16	0.23	0.35	0.44	0.48
277	0.14	0.20	0.31	0.38	0.42
347	0.11	0.16	0.24	0.30	0.33
480	0.08	0.11	0.18	0.22	0.24

# OF LEDS	72				
NOMINAL WATTAGE	115	145	180	210	240
SYSTEM POWER (W)	113.7	143.2	179.4	210.2	241.7
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	1.00	1.21	1.50	1.75	1.79
208	0.58	0.70	0.87	1.01	1.03
240	0.50	0.60	0.75	0.88	0.90
277	0.43	0.52	0.65	0.76	0.78
347	0.35	0.42	0.52	0.61	0.62
480	0.25	0.30	0.38	0.44	0.45

# OF LEDS	108				
NOMINAL WATTAGE	215	250	280	325	365
SYSTEM POWER (W)	214.8	250.8	278.3	324.7	362.6
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	2.00	2.08	2.33	3.04	2.67
208	1.15	1.20	1.35	1.75	1.54
240	1.00	1.04	1.17	1.52	1.33
277	0.87	0.90	1.01	1.32	1.16
347	0.69	0.72	0.81	1.05	0.92
480	0.50	0.52	0.58	0.76	0.67

# OF LEDS	162					
NOMINAL WATTAGE	320	365	405	445	485	545
SYSTEM POWER (W)	322.1	362.6	403.6	445.1	487.1	543.9
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.71	2.67	3.38	3.71	4.04	4.54
208	1.56	1.54	1.95	2.14	2.33	2.62
240	1.35	1.33	1.69	1.85	2.02	2.27
277	1.17	1.16	1.46	1.61	1.75	1.97
347	0.94	0.92	1.17	1.28	1.40	1.57
480	0.68	0.67	0.84	0.93	1.01	1.14

VIPER Area/Site

VIPER LUMINAIRE

ELECTRICAL DATA: SILICONE STRIKE

# OF LEDS	40								
NOMINAL WATTAGE (W)	35	55	65	80	100	120	140	170	195
SYSTEM POWER (W)	34.4	47.4	63.3	82.2	101.7	121.6	141.4	168.8	193.0
INPUT VOLTAGE (V)	CURRENT (A)								
120	0.29	0.40	0.53	0.69	0.85	1.01	1.18	1.41	1.61
208	0.17	0.23	0.30	0.40	0.49	0.58	0.68	0.81	0.93
240	0.14	0.20	0.26	0.34	0.42	0.51	0.59	0.70	0.80
277	0.12	0.17	0.23	0.30	0.37	0.44	0.51	0.61	0.70
347	0.10	0.14	0.18	0.24	0.29	0.35	0.41	0.49	0.56
480	0.07	0.10	0.13	0.17	0.21	0.25	0.29	0.35	0.40

# OF LEDS	80									
NOMINAL WATTAGE (W)	75	90	105	130	155	175	205	225	250	280
SYSTEM POWER (W)	74.0	87.0	105.3	131.9	153.5	175.4	203.4	226.1	249.0	281.0
INPUT VOLTAGE (V)	CURRENT (A)									
120	0.62	0.73	0.88	1.10	1.28	1.46	1.70	1.88	2.08	2.34
208	0.36	0.42	0.51	0.63	0.74	0.84	0.98	1.09	1.20	1.35
240	0.31	0.36	0.44	0.55	0.64	0.73	0.85	0.94	1.04	1.17
277	0.27	0.31	0.38	0.48	0.55	0.63	0.73	0.82	0.90	1.01
347	0.36	0.42	0.51	0.63	0.74	0.84	0.98	1.09	1.20	1.35
480	0.15	0.18	0.22	0.27	0.32	0.37	0.42	0.47	0.52	0.59

# OF LEDS	120									
NOMINAL WATTAGE (W)	190	205	230	265	295	320	355	380	420	
SYSTEM POWER (W)	189.8	206.0	230.3	263.2	296.5	322.0	356.3	382.3	421.6	
INPUT VOLTAGE (V)	CURRENT (A)									
120	1.58	1.72	1.92	2.19	2.47	2.68	2.97	3.19	3.51	
208	0.91	0.99	1.11	1.27	1.43	1.55	1.71	1.84	2.03	
240	0.79	0.86	0.96	1.10	1.24	1.34	1.48	1.59	1.76	
277	0.69	0.74	0.83	0.95	1.07	1.16	1.29	1.38	1.52	
347	0.55	0.59	0.66	0.76	0.85	0.93	1.03	1.10	1.21	
480	0.40	0.43	0.48	0.55	0.62	0.67	0.74	0.80	0.88	

# OF LEDS	180									
NOMINAL WATTAGE (W)	275	295	335	360	395	435	470	510	550	
SYSTEM POWER (W)	272.7	296.8	333.2	357.8	394.7	432.4	470.2	508.7	547.4	
INPUT VOLTAGE (V)	CURRENT (A)									
120	2.27	2.47	2.78	2.98	3.29	3.60	3.92	4.24	4.56	
208	1.31	1.43	1.60	1.72	1.90	2.08	2.26	2.45	2.63	
240	1.14	1.24	1.39	1.49	1.64	1.80	1.96	2.12	2.28	
277	0.98	1.07	1.20	1.29	1.42	1.56	1.70	1.84	1.98	
347	0.79	0.86	0.96	1.03	1.14	1.25	1.36	1.47	1.58	
480	0.57	0.62	0.69	0.75	0.82	0.90	0.98	1.06	1.14	

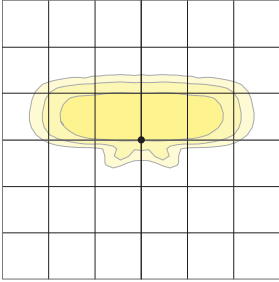
VIPER Area/Site

VIPER LUMINAIRE

MICRO STRIKE PHOTOMETRY

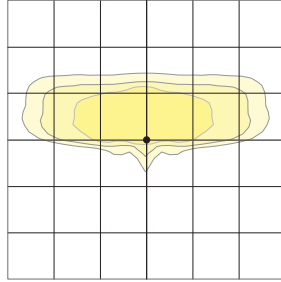
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

Type 2



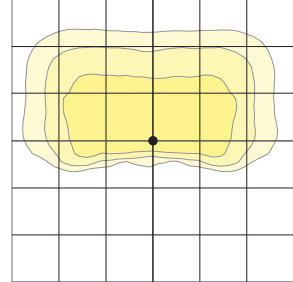
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Type 3



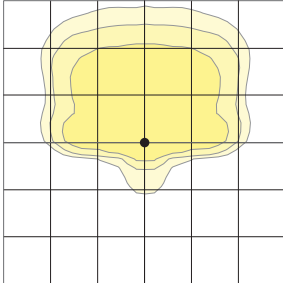
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Type 4 Wide



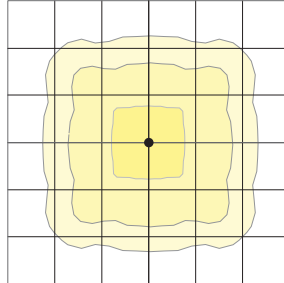
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Type 4F



Mounting Height: 20 ft
Scale: 1 inch = 20 ft

Type 5QW



Mounting Height: 20 ft
Scale: 1 inch = 20 ft

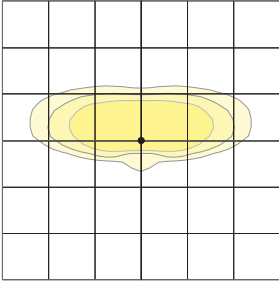
VIPER Area/Site

VIPER LUMINAIRE

OPTIC STRIKE PHOTOMETRY

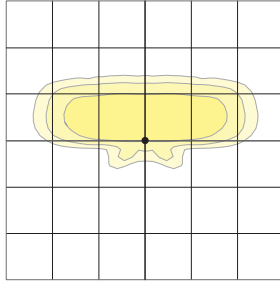
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

Type FR – Front Row/Auto Optic



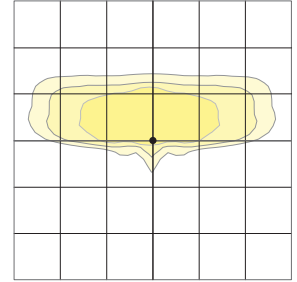
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Type 2



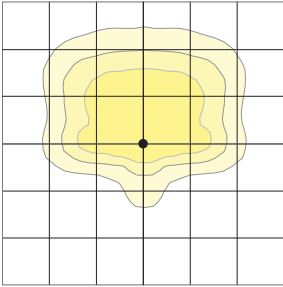
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Type 3



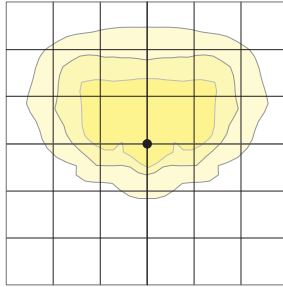
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Type 4 Forward



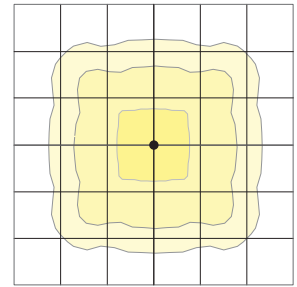
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Type 4 Wide



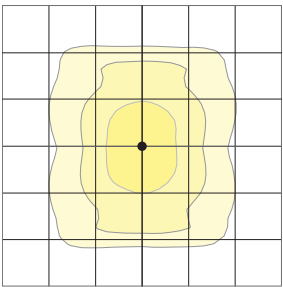
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Type 5QM



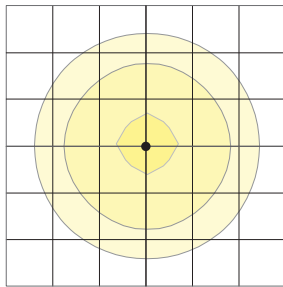
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Type 5RW (rectangular)



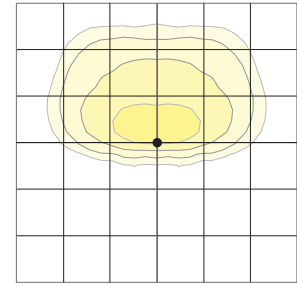
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Type 5W (round wide)



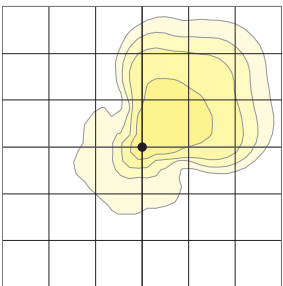
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Type TC



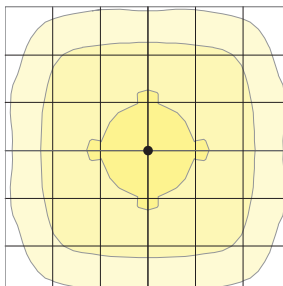
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Type Corner



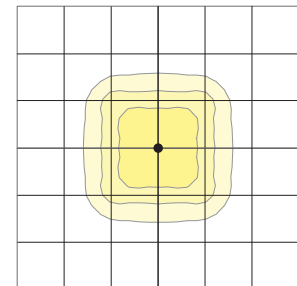
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Type 5QW



Mounting Height: 20 ft
Scale: 1 inch = 20 ft

Type 5QN



Mounting Height: 20 ft
Scale: 1 inch = 20 ft

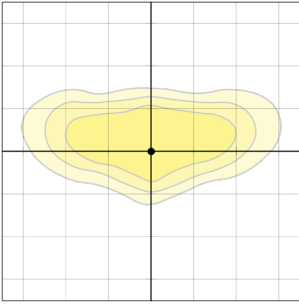
VIPER Area/Site

VIPER LUMINAIRE

SILICONE OPTIC STRIKE PHOTOMETRY

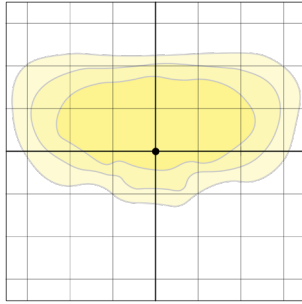
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

Type 2



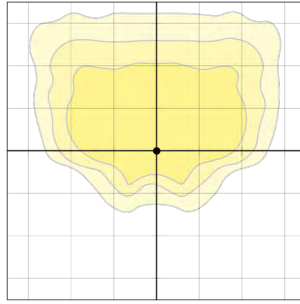
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Type 3



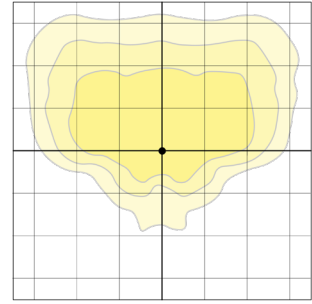
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Scale: 1 inch = 25 ft

Type 4 Forward



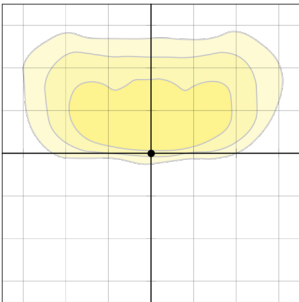
Mounting Height: 20 ft
Scale: 1 inch = 25 ft

Type 4 Wide



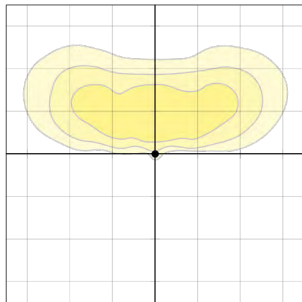
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Type 4WBC



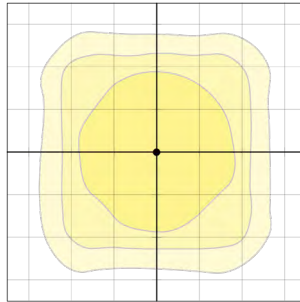
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Type 4WMBC



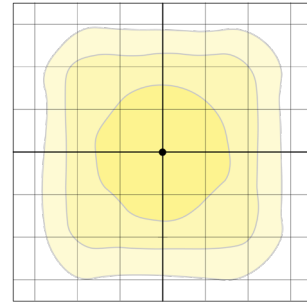
Mounting Height: 20 ft
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Type 5QM



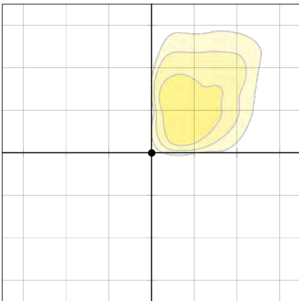
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Type 5QW



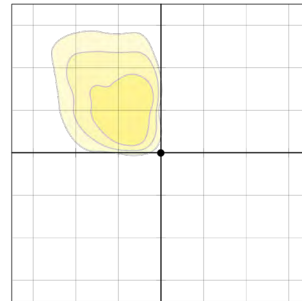
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Scale: 1 inch = 25 ft

Type LCC



Mounting Height: 20 ft
Scale: 1 inch = 25 ft

Type RCC



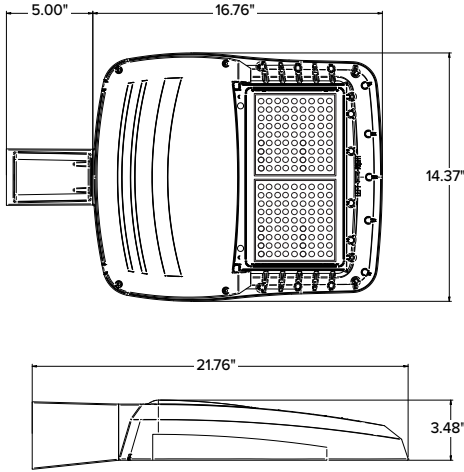
Mounting Height: 20 ft
Scale: 1 inch = 25 ft

VIPER Area/Site

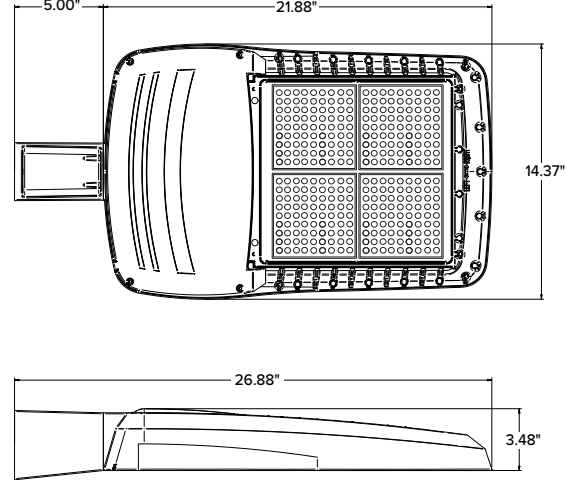
VIPER LUMINAIRE

DIMENSIONS

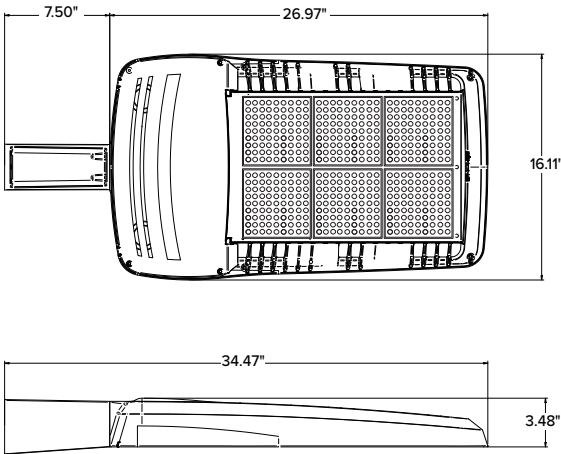
SIZE 1



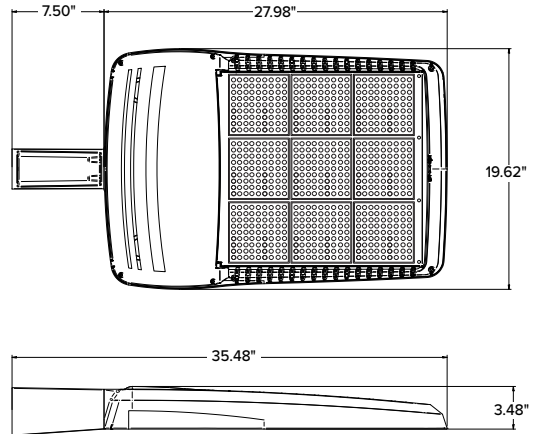
SIZE 2









SIZE 3



SIZE 4



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9

VIPER Area/Site

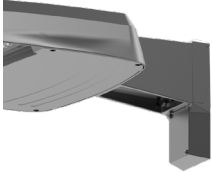
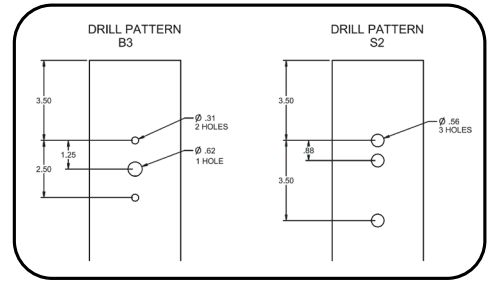
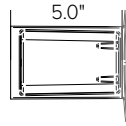
VIPER LUMINAIRE

MOUNTING



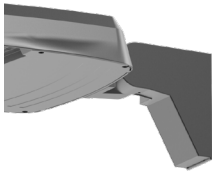
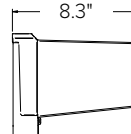
A-STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)



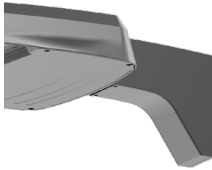
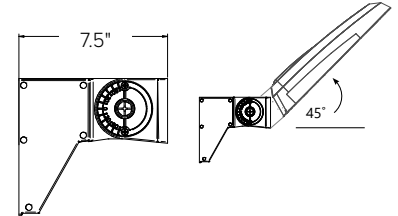
ASQU-UNIVERSAL ARM MOUNT

Universal mounting block for ease of installation. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



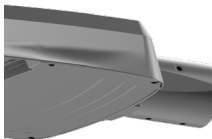
AAU-ADJUSTABLE ARM FOR POLE MOUNTING

Rotatable arm mounts directly to pole. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 5° aiming angle increments. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



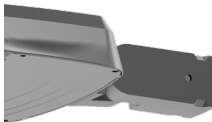
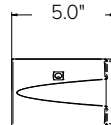
ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).



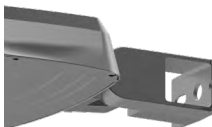
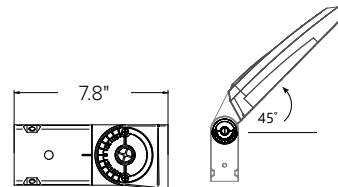
MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons.



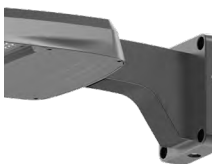
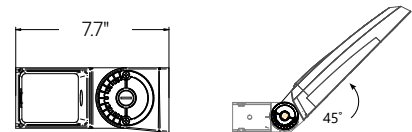
K-KNUCKLE

Rotatable in 5-degree aiming angle increments, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



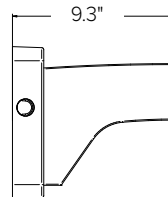
T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



VIPER Area/Site

VIPER LUMINAIRE

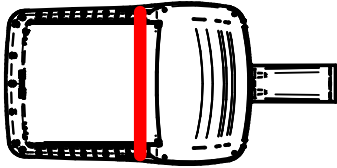
ADDITIONAL INFORMATION (CONTINUED)

HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

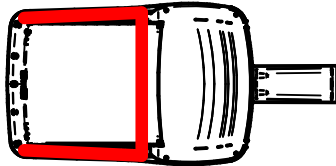
HSS has a depth of 5" for all Viper sizes

Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

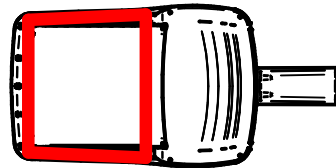
VPR2x HSS-90-B-xx



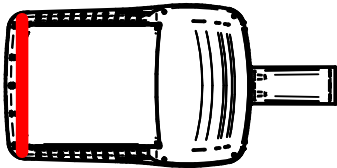
VPR2x HSS-270-BSS-xx



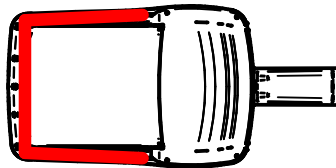
VPR2x HSS-360-xx



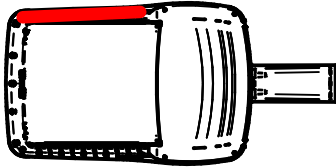
VPR2x HSS-90-F-xx



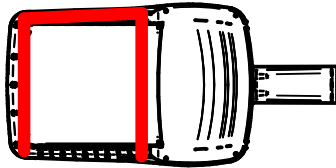
VPR2x HSS-270-FSS-xx



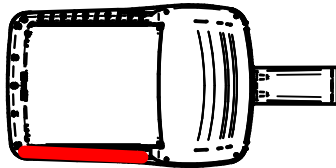
VPR2x HSS-90-S-xx



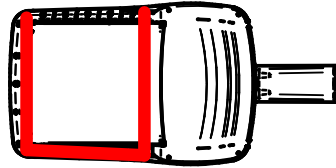
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx



VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Strike and Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual Comfort - Option for Size 2 and Size 3
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, and LightGRID+.
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 2700K, 3000K, 3500K, 4000K and 5000K CCTs
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions.

INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.

ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V input is available in most wattage, 480V is available for 55W and above.
- Ambient operating temperature -40°C to 40°C
- Driver RoHS and IP66
- 10kV Surge Protector optional
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options can not be included in one same fixture.
- Dimming drivers are standard. Select CD (Customer Dimming) for the dimming wires to be extended outside the fixture.

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocontrol is suitable for 120-277V operation
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor

CONTROLS CONTINUED

- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for operating temperatures -20°C to 40°C.
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application.
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor.

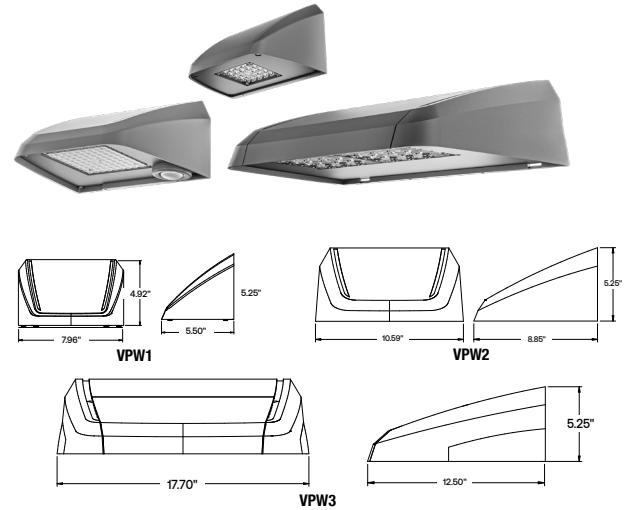
CERTIFICATIONS

- Certified to UL 1598 and CSA 22.2#250.0-24
- IP65 rated housing
- Emergency battery backup options are California Energy Commission (CEC) Title 20 Compliant
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225- 11). See Buy America(n) Solutions (link to <https://http://www.currentlighting.com/resources/americasolutions>).
- DarkSky approved with 3000K CCT or warmer

WARRANTY

- 5 year limited warranty

MICRO STRIKE | OPTICS STRIKE



	Weight
VPW1	4.1 lbs / 1.86 kg
VPW2	7.15 lbs / 3.24 kg
VPW3	17.1 lbs / 7.80 kg



DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

ORDERING GUIDE

Example: VPW1-24L-10-3K7-2-UNV-BLS

CATALOG #

Series	Optic Platform	# LEDs - Wattage	CCT/CRI	Distribution	Voltage	Color
VPW1 Viper Wall 1	(blank) Microstrike ST Strike	24L-10 1,000 Lumens	27K8 2700K, 80 CRI ¹⁶	FR Auto Front Row ^{7,15}	UNV 120-277V	BLT Black Matte Textured
		24L-15 2,000 Lumens	3K7 3000K, 70 CRI ¹⁶	2 IES TYPE 2	120 120V	BLS Black Gloss Smooth
		24L-25 3,000 Lumens	4K7 4000K, 70 CRI	3 IES TYPE 3	208 208V	DBT Dark Bronze Matte Textured
		48L-15 2,000 Lumens	5K7 5000K, 70 CRI	4F IES TYPE 4 Forward	240 240V	DBS Dark Bronze Gloss Smooth
		48L-20 3,000 Lumens	3K8 3000K, 80 CRI	4W IES TYPE 4W	277 277V	GTT Graphite Matte Textured
		48L-30 4,000 Lumens	35K8 3500K, 80 CRI		347 347V	LGS Light Grey Gloss Smooth
		48L-35 5,000 Lumens	4K8 4000K, 80 CRI		480 480V	LGTT Light Grey Matte Textured
		48L-45 6,000 Lumens	5K8 5000K, 80 CRI			PSS Platinum Silver Smooth
		80L-20 3,000 Lumens	AP Phosphor Converted Amber ¹			WHT White Matte Textured
		80L-25 4,000 Lumens				WHS White Gloss Smooth
VPW2 Viper Wall 2		80L-35 5,000 Lumens				VGTT Verde Green Textured
		80L-45 6,000 Lumens				Color Option
		80L-55 7,000 Lumens				CC Custom Color
		80L-65 8,000 Lumens				
		80L-70 8,500 Lumens				
		18L-25 3,000 Lumens, Strike Optics				
		18L-30 4,000 Lumens, Strike Optics				
		18L-39 4,750 Lumens, Strike Optics				
		18L-50 6,000 Lumens, Strike Optics				
		18L-60 6,500 Lumens, Strike Optics				
VPW3 Viper Wall 3		160L-45 7,000 Lumens				
		160L-70 10,000 Lumens				
		160L-95 12,500 Lumens				
		160L-105 15,000 Lumens				
		160L-135 17,500 Lumens				
		160L-155 20,000 Lumens				
		36L-55 7,000 Lumens, Strike Optics				
		36L-80 9,500 Lumens, Strike Optics				
		36L-100 11,500 Lumens, Strike Optics				
		36L-120 13,000 Lumens, Strike Optics				

Control Options Network ^{3,7,11,13}	
NXWS12F	NX Networked Wireless Enabled Integral NXSMP2-OMNI PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ¹⁴
NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ⁹
NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ⁹
NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor
WIR	LightGRID+ In-Fixture Module ⁹
WIRSC	LightGRID+ In-Fixture Module with BTS occupancy ⁹
Stand Alone Sensors ^{7,11,13}	
BTS-14F	Bluetooth® Programmable, PIR Occupancy/Daylight Sensor ^{4,9}
BTS-40F	Bluetooth® Programmable, PIR Occupancy/Daylight Sensor ^{4,9}
BTSO-12F	Bluetooth® Programmable, PIR Occupancy/Daylight Sensor, up to 12' mounting height ¹⁴
Photocontrol ¹³	
PC	Button Photocontrol 120-277V

Options	
F	Fusing ^{5,7}
E	Battery ^{6,7,8}
EH	Battery with Heater ^{6,7,8}
CS	Comfort Shield ^{7,10}
SP	10kA Surge Protector
2PF	Dual Power Feed ^{2,7,8,17}
2DR	Dual Driver ^{2,7,8,17}
CD	Customer Dimming ¹²
DTS	Dimming Transfer Switch ⁷

Notes:

- 1 Available with Micro Strike Optics only
- 2 Not available with 480V in Size 1 and Size 2
- 3 Networked controls cannot be combined with other control options
- 4 Not available with VPW1 or with 2PF or 2DR options
- 5 Must specify voltage (VPW1 & VPW2: 120V, 277V or 347V; VPW3: 120V, 208V, 240V, 277V, 347V or 480V)
- 6 See page 10 for detail Battery configurations
- 7 Not available in VPW1
- 8 2PF can't be combined with E or EH; 2DR can't be combined with E or EH in VPW2
- 9 Not available in VPW1 and VPW2
- 10 Not available with Micro Strike 24L and 48L. Not available with Strike 18L and 36L
- 11 Not available with 2PF
- 12 Not available with Network Control options or Stand Alone Sensors. Can be ordered with PC
- 13 Not available in 480V in VPW2; Only available in 480V in VPW3 in 80W, 100W, 120W, 135W and 155W
- 14 NXWS12F and BTSO-12F are the only sensors available in VPW2
- 15 Available with Strike Optics only (18L or 36L)
- 16 DarkSky approved with 3000K CCT or warmer
- 17 Not available in Size 2 80L

VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> WP-BB-XXX	Back Box Accessory for conduit entry ¹
<input type="checkbox"/> CS	Comfort Shield ²

Notes:

- replace "xxx" with color option
- Not available with Micro Strike 24L and 48L or Strike 18L and 36L

CONTROLS FUNCTIONALITY

OUTDOOR LIGHTING CONTROLS OPTIONS



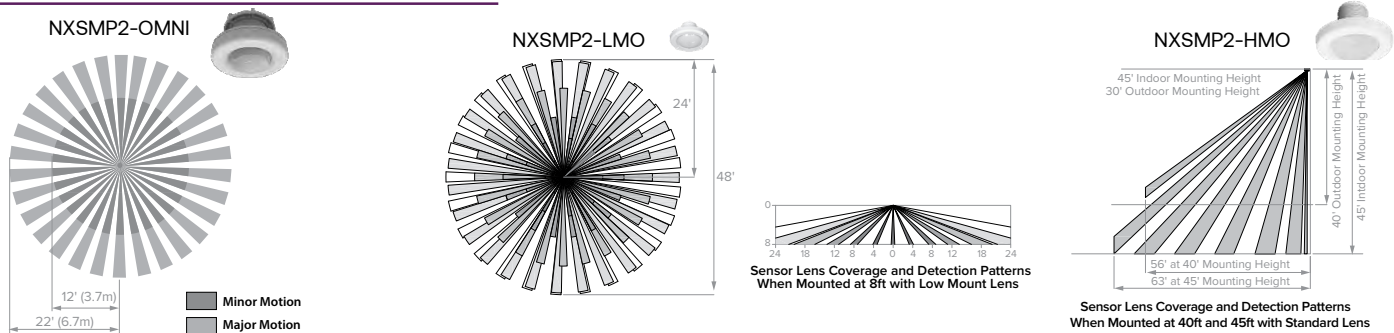
	Control Option Ordering Logic & Description	Control Option Functionality									Control Option Components
		Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height	
NX Wireless	NXW NX Networked Wireless Radio Module NXR2 and Bluetooth Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓	-	NXR2-H
	NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft	NXSMP2-LMO
	NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft	NXSMP2-HMO
LightGRID+	WIR LightGRID+ In-Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-	WIR
Independent	BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft	BTSMP-OMNI-O
	BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	14ft	BTSMP-LMO
	BTS-40F Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	40ft	BTSMP-HMO

DEFAULT SETTINGS

NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	Off
	*Passcode Factory Passcode: HubbN3T!	Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0% (Off)
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

NX LIGHTING CONTROLS FREE APP

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&gl=US



Apple App



Google Play

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98
50°C	122°F	0.97

Ambient Temp.	OPERATING HOURS		
	0	25,000	TM-21-22 60,000
25°C / 77°F	1.00	0.91	0.83
40°C / 104°F	0.99	0.90	0.82

Lumen maintenance values calculated per TM-21 using six times the LM-80 test time for the LED and in-situ thermal testing of the luminaire.

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

MULTIPLIER

Micro Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	-	0.841	-
3000K	0.977	0.861	0.647
3500K	-	0.900	-
4000K	1	0.926	0.699
5000K	1	0.937	0.791
Monochromatic Amber Multiplier			
Amber	0.710		

Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	0.9	0.81	0.62
3000K	0.933	0.853	0.659
3500K	0.959	0.894	0.711
4000K	1	0.9	0.732
5000K	1	0.9	0.732
Monochromatic Amber Multiplier			
Amber	See Amber Spec Sheet		

PERFORMANCE DATA: MICROSTRIKE

Description	# of LEDs	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)					
					Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	
VPW1	24L	10	6.6	2	1068	141	0	0	0	1068	141	0	0	0	989	131	0	0	0	
				3	1076	142	0	0	1	1076	142	0	0	1	997	131	0	0	1	
				4F	1052	139	0	0	1	1052	139	0	0	1	974	129	0	0	1	
				4W	1041	137	0	0	1	1041	137	0	0	1	964	127	0	0	1	
	24L	15	14	14	2	1993	129	1	0	0	1993	129	1	0	0	1845	119	1	0	0
					3	2008	130	1	0	1	2008	130	1	0	1	1859	120	0	0	1
					4F	1964	127	0	0	1	1964	127	0	0	1	1818	117	0	0	1
					4W	1943	125	1	0	1	1943	125	1	0	1	1799	116	0	0	1
	24L	25	23.0	23.0	2	3055	125	1	0	1	3055	125	1	0	1	2828	116	1	0	1
					3	3078	126	1	0	1	3078	126	1	0	1	2850	117	1	0	1
					4F	3010	123	1	0	1	3010	123	1	0	1	2787	114	1	0	1
					4W	2978	122	1	0	1	2978	122	1	0	1	2757	113	1	0	1



DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

PERFORMANCE DATA: MICROSTRIKE CONT'D

Description	# of LEDs	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
					Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
48L	15	13.1	2	2139	145	1	0	1	2139	145	1	0	1	1981	134	1	0	1	
			3	2163	146	1	0	1	2163	146	1	0	1	2003	135	1	0	1	
			4F	2097	143	0	0	1	2097	143	0	0	1	1942	132	0	0	1	
			4W	2101	143	1	0	1	2101	143	1	0	1	1946	132	0	0	1	
	20	20.5	2	2973	141	1	0	1	2973	141	1	0	1	2753	130	1	0	1	
			3	3007	142	1	0	1	3007	142	1	0	1	2784	132	1	0	1	
			4F	2915	138	1	0	1	2915	138	1	0	1	2699	128	1	0	1	
			4W	2921	138	1	0	1	2921	138	1	0	1	2705	128	1	0	1	
	30	28.8	2	4000	137	1	0	1	4000	137	1	0	1	3704	126	1	0	1	
			3	4045	138	1	0	1	4045	138	1	0	1	3745	128	1	0	1	
			4F	3922	134	1	0	1	3922	134	1	0	1	3631	124	1	0	1	
			4W	3930	134	1	0	2	3930	134	1	0	2	3638	124	1	0	1	
	35	37.3	2	4997	134	1	0	1	4997	134	1	0	1	4627	124	1	0	1	
			3	5053	135	1	0	2	5053	135	1	0	2	4679	125	1	0	1	
			4F	4899	131	1	0	1	4899	131	1	0	1	4536	122	1	0	1	
			4W	4909	132	1	0	2	4909	132	1	0	2	4545	122	1	0	2	
	45	45.9	2	5990	127	1	0	1	5990	127	1	0	1	5546	118	1	0	1	
			3	6057	128	1	0	2	6057	128	1	0	2	5608	119	1	0	2	
			4F	5872	124	1	0	2	5872	124	1	0	2	5437	115	1	0	1	
			4W	5884	125	1	0	2	5884	125	1	0	2	5448	115	1	0	2	
	VPW2	20	19.4	2	3485	161	1	0	1	3485	161	1	0	1	3200	147	1	0	1
				3	3516	162	1	0	1	3516	162	1	0	1	3229	149	1	0	1
				4F	3485	161	1	0	1	3485	161	1	0	1	3200	147	1	0	1
				4W	3535	163	1	0	1	3535	163	1	0	1	3246	150	1	0	1
25		26.7	2	4443	154	1	0	1	4443	154	1	0	1	4080	141	1	0	1	
			3	4483	155	1	0	1	4483	155	1	0	1	4117	142	1	0	1	
			4F	4443	154	1	0	1	4443	154	1	0	1	4080	141	1	0	1	
			4W	4507	156	1	0	1	4507	156	1	0	1	4139	143	1	0	1	
35		34.2	2	5438	147	1	0	1	5438	147	1	0	1	4994	135	1	0	1	
			3	5488	148	1	0	1	5488	148	1	0	1	5039	136	1	0	1	
			4F	5438	147	1	0	1	5438	147	1	0	1	4994	135	1	0	1	
			4W	5516	149	1	0	2	5516	149	1	0	2	5066	137	1	0	1	
45		41.7	2	6369	145	1	0	1	6369	145	1	0	1	5848	133	1	0	1	
			3	6427	146	2	0	2	6427	146	2	0	2	5901	134	1	0	1	
			4F	6369	145	1	0	1	6369	145	1	0	1	5848	133	1	0	1	
			4W	6460	147	1	0	2	6460	147	1	0	2	5933	135	1	0	2	
55		50.6	2	7209	137	2	0	2	7209	137	2	0	2	6620	126	1	0	1	
			3	7275	139	2	0	2	7275	139	2	0	2	6680	127	2	0	2	
			4F	7209	137	1	0	1	7209	137	1	0	1	6620	126	1	0	1	
			4W	7313	139	1	0	2	7313	139	1	0	2	6715	128	1	0	2	
65		58.3	2	7781	130	2	0	2	7781	130	2	0	2	7145	119	2	0	2	
			3	7852	131	2	0	2	7852	131	2	0	2	7210	120	2	0	2	
			4F	7781	130	2	0	1	7781	130	2	0	1	7145	119	1	0	1	
			4W	7893	132	1	0	2	7893	132	1	0	2	7248	121	1	0	2	
70	63.5	2	8367	128	2	0	2	8367	128	2	0	2	7683	117	2	0	2		
		3	8443	129	2	0	2	8443	129	2	0	2	7753	119	2	0	2		
		4F	8367	128	2	0	1	8367	128	2	0	1	7683	117	2	0	1		
		4W	8487	130	1	0	2	8487	130	1	0	2	7794	119	1	0	2		

VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

PERFORMANCE DATA: MICROSTRIKE CONT'D

Description	# of LEDs	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
					Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
VPW3	160L	45	46.2	2	7623	148	1	0	2	7623	148	1	0	2	7000	136	1	0	1
				3	7626	148	2	0	2	7626	148	2	0	2	7003	136	2	0	2
				4F	7590	147	2	0	1	7590	147	2	0	1	6970	135	1	0	1
				4W	7715	150	1	0	2	7715	150	1	0	2	7084	138	1	0	2
		70	68.3	2	10322	139	2	0	2	10322	139	2	0	2	9478	128	2	0	2
				3	10326	140	2	0	2	10326	140	2	0	2	9482	128	2	0	2
				4F	10277	139	2	0	2	10277	139	2	0	2	9437	128	2	0	2
				4W	10446	141	2	0	2	10446	141	2	0	2	9592	130	1	0	2
		95	91	2	12929	132	2	0	2	12929	132	2	0	2	11872	121	2	0	2
				3	12934	132	3	0	3	12934	132	3	0	3	11877	121	3	0	3
				4F	12873	131	2	0	2	12873	131	2	0	2	11821	120	2	0	2
				4W	13084	133	2	0	3	13084	133	2	0	3	12015	122	2	0	3
		105	106.3	2	15055	138	2	0	2	15055	138	2	0	2	13825	127	2	0	2
				3	15062	138	3	0	3	15062	138	3	0	3	13831	127	3	0	3
				4F	14991	138	2	0	2	14991	138	2	0	2	13766	127	2	0	2
				4W	15236	140	2	0	3	15236	140	2	0	3	13991	129	2	0	3
		135	134.8	2	17533	127	3	0	3	17533	127	3	0	3	16100	116	3	0	3
				3	17541	127	3	0	3	17541	127	3	0	3	16107	116	3	0	3
				4F	17457	126	2	0	2	17457	126	2	0	2	16031	116	2	0	2
				4W	17744	128	2	0	4	17744	128	2	0	4	16294	118	2	0	3
		155	158.3	2	20066	123	3	0	3	20066	123	3	0	3	18426	113	3	0	3
				3	20075	123	3	0	3	20075	123	3	0	3	18434	113	3	0	3
				4F	19980	123	3	0	3	19980	123	3	0	3	18347	113	2	0	2
				4W	20307	125	2	0	4	20307	125	2	0	4	18648	115	2	0	4

PERFORMANCE DATA: STRIKE

Description	# of LEDs	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
					Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
VPW2	18L	25	22.6	2	3314	147	1	0	1	3298	146	1	0	G1	3171	140	1	0	1
				3	3356	148	1	0	1	3340	148	1	0	G1	3212	142	1	0	1
				4F	3367	149	0	0	1	3351	148	0	0	G1	3222	143	0	0	1
				4W	3361	149	1	0	2	3345	148	1	0	G2	3216	142	1	0	2
		30	31.3	2	4124	132	1	0	1	4104	131	1	0	G1	3946	126	1	0	1
				3	4176	133	1	0	2	4156	133	1	0	G2	3996	128	1	0	1
				4F	4189	134	1	0	1	4169	133	1	0	G1	4009	128	1	0	1
				4W	4182	134	1	0	2	4162	133	1	0	G2	4002	128	1	0	2
		39	38.8	2	4894	126	1	0	1	4870	126	1	0	G1	4683	121	1	0	1
				3	4956	128	1	0	2	4932	127	1	0	G2	4742	122	1	0	2
				4F	4972	128	1	0	2	4948	128	1	0	G2	4758	123	1	0	2
				4W	4963	128	1	0	2	4939	127	1	0	G2	4749	122	1	0	2
		50	52.6	2	6325	120	1	0	1	6295	120	1	0	G1	6052	115	1	0	1
				3	6405	122	1	0	2	6374	121	1	0	G2	6129	117	1	0	2
				4F	6426	122	1	0	2	6395	122	1	0	G2	6149	117	1	0	2
				4W	6414	122	1	0	3	6384	121	1	0	G3	6138	117	1	0	3
		60	60.4	2	6865	114	1	0	2	6832	113	1	0	G2	6569	109	1	0	2
				3	6952	115	1	0	2	6919	115	1	0	G2	6652	110	1	0	2
				4F	6974	115	1	0	2	6941	115	1	0	G2	6674	110	1	0	2
				4W	6962	115	1	0	3	6929	115	1	0	G3	6662	110	1	0	3

VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

PERFORMANCE DATA: STRIKE CONT'D

Description	# of LEDs	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
					Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
VPW3	36L	55	63.1	2	7284	135	1	0	2	7249	134	1	0	G2	6970	129	1	0	2
				3	7376	137	1	0	2	7341	136	1	0	G2	7058	131	1	0	2
				4F	7400	137	1	0	2	7364	137	1	0	G2	7081	131	1	0	2
				4W	7387	137	1	0	3	7351	136	1	0	G3	7069	131	1	0	3
		80	77.6	2	9788	126	2	0	2	9741	126	2	0	G2	9366	121	2	0	2
				3	9912	128	1	0	3	9864	127	1	0	G3	9485	122	1	0	3
				4F	9944	128	1	0	2	9896	128	1	0	G2	9516	123	1	0	2
				4W	9926	128	1	0	3	9879	127	1	0	G3	9499	122	1	0	3
		105	108.2	2	12650	128	2	0	2	12589	127	2	0	G2	12105	122	2	0	2
				3	12810	130	2	0	3	12748	129	2	0	G3	12258	124	2	0	3
				4F	12851	130	1	0	3	12790	129	1	0	G3	12298	124	1	0	3
				4W	12829	130	2	0	3	12767	129	2	0	G3	12276	124	2	0	3
	120	120.9	2	13730	114	2	0	2	13664	113	2	0	G2	13138	109	2	0	2	
			3	13904	115	2	0	3	13837	114	2	0	G3	13305	110	2	0	3	
			4F	13949	115	1	0	3	13882	115	1	0	G3	13348	110	1	0	3	
			4W	13924	115	2	0	4	13857	115	2	0	G4	13324	110	2	0	3	

ELECTRICAL DATA: STRIKE

# OF LEDs	18L				
NOMINAL WATTAGE	25	30	39	50	60
SYSTEM POWER (W)	22.6	31.3	38.8	52.6	60.4
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	0.21	0.26	0.32	0.44	0.50
208	0.12	0.15	0.19	0.25	0.29
240	0.10	0.13	0.16	0.22	0.25
277	0.09	0.11	0.14	0.19	0.22
347	0.07	0.09	0.11	0.15	0.17
480	0.05	0.07	0.08	0.11	0.13

# OF LEDs	36L			
NOMINAL WATTAGE	55	80	100	120
SYSTEM POWER (W)	53.9	77.6	98.9	120.9
INPUT VOLTAGE (V)	CURRENT (Amps)			
120	0.45	0.65	0.82	1.01
208	0.26	0.37	0.48	0.58
240	0.22	0.32	0.41	0.50
277	0.19	0.28	0.36	0.44
347	0.16	0.22	0.29	0.35
480	0.11	0.16	0.21	0.25



DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

ELECTRICAL DATA: MICROSTRIKE

# OF LEDS	24L		
NOMINAL WATTAGE	10	15	25
SYSTEM POWER (W)	6.6	14.0	23.0
INPUT VOLTAGE (V)	CURRENT (Amps)		
120	0.06	0.12	0.19
208	0.03	0.07	0.11
240	0.03	0.06	0.10
277	0.02	0.05	0.08
347	0.02	0.04	0.07
480	0.01	0.03	0.05

# OF LEDS	48L				
NOMINAL WATTAGE	15	20	30	35	45
SYSTEM POWER (W)	13.1	20.5	28.8	37.3	45.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	0.11	0.17	0.24	0.31	0.38
208	0.06	0.10	0.14	0.18	0.22
240	0.05	0.09	0.12	0.16	0.19
277	0.05	0.07	0.10	0.13	0.17
347	0.04	0.06	0.08	0.11	0.13
480	0.03	0.04	0.06	0.08	0.10

# OF LEDS	80L						
NOMINAL WATTAGE	20	25	35	45	55	65	70
SYSTEM POWER (W)	19.4	26.7	34.2	41.7	50.6	58.3	63.5
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	0.16	0.22	0.29	0.35	0.42	0.49	0.53
208	0.10	0.13	0.18	0.22	0.27	0.28	0.31
240	0.08	0.12	0.15	0.19	0.24	0.24	0.26
277	0.07	0.10	0.13	0.17	0.21	0.21	0.23
347	0.06	0.08	0.11	0.13	0.16	0.17	0.18
480	0.04	0.06	0.08	0.10	0.12	0.12	0.13

# OF LEDS	160L					
NOMINAL WATTAGE	45	70	95	105	135	155
SYSTEM POWER (W)	46.2	68.3	91	106.3	134.8	158.3
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	0.39	0.57	0.76	0.89	1.12	1.32
208	0.22	0.33	0.44	0.51	0.65	0.76
240	0.19	0.28	0.38	0.44	0.56	0.66
277	0.17	0.25	0.33	0.38	0.49	0.57
347	0.13	0.20	0.26	0.31	0.39	0.46
480	0.10	0.14	0.19	0.22	0.28	0.33

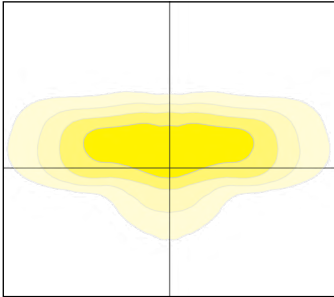
VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

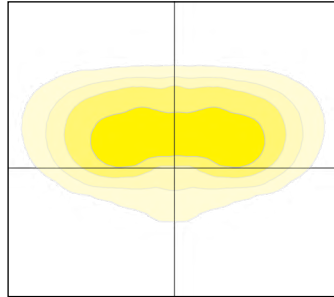
PHOTOMETRY

Mounting Height: 10ft

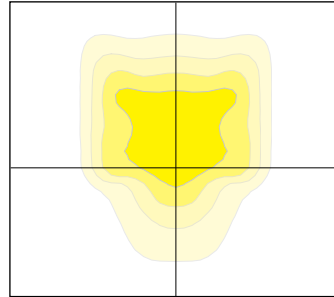
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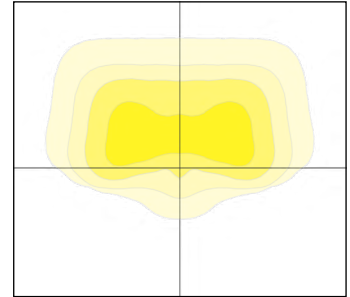
Type 3



Type 4F

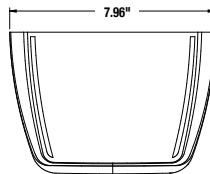
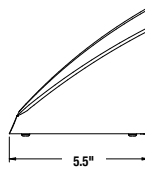
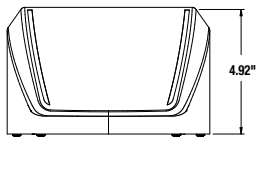


Type 4W

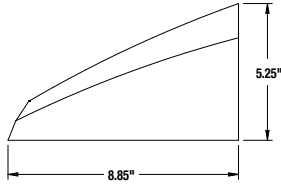
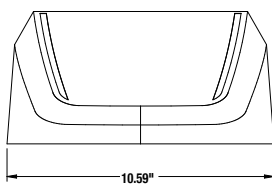


DIMENSIONS

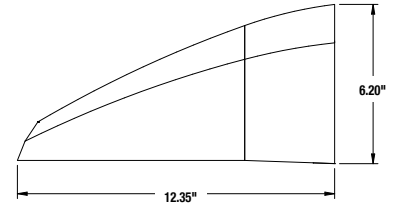
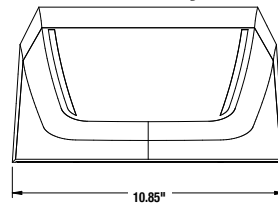
VPW1



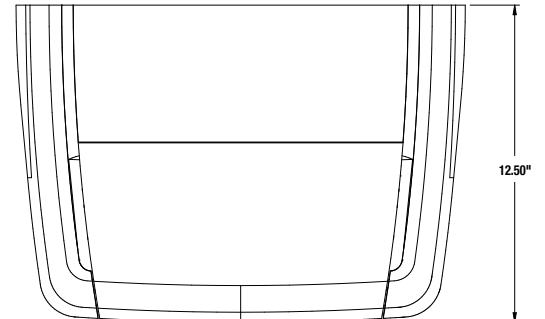
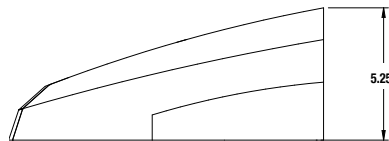
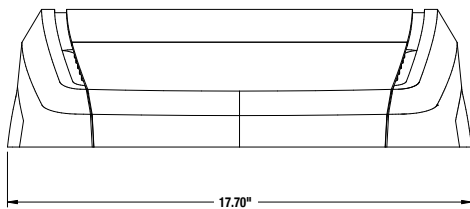
VPW2



VPW2 with Battery Back Box



VPW3



VIPER Wall

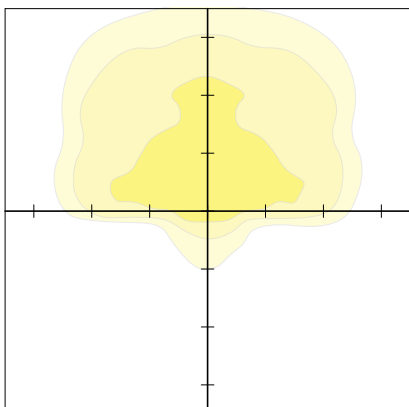
VPW1/VPW2/VPW3 LED WALLPACK

BATTERY OPTIONS & HOUSING SIZES

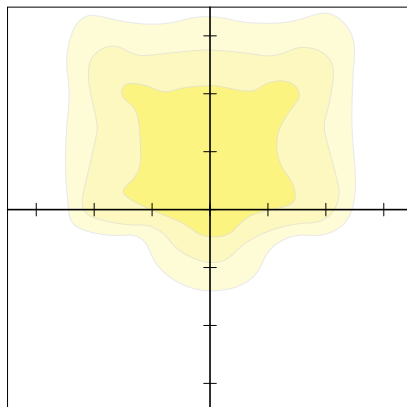
Size	Optics	# LEDs	Fixture Wattage	Battery (E)		Battery with Heater (EH)	
				E (10W)	Housing	EH (13W)	Housing
VPW1	Micro Strike	24L	10W	N/A	Not Available	N/A	Not Available
			15W				
			25W				
VPW2	Micro Strike	48L	15W	Y	Standard Housing	Y	Includes Integrated Back Box
			20W	Y	Standard Housing	Y	Includes Integrated Back Box
			30W	N/A	Not Available	Y	Includes Integrated Back Box
			35W	N/A	Not Available	Y	Includes Integrated Back Box
			45W	N/A	Not Available	Y	Includes Integrated Back Box
	Micro Strike	80L	20W	N/A	Not Available	Y	Includes Integrated Back Box
			25W			Y	Includes Integrated Back Box
			35W			Y	Includes Integrated Back Box
			45W			Y	Includes Integrated Back Box
			55W			Y	Includes Integrated Back Box
			65W			Y	Includes Integrated Back Box
			70W			Y	Includes Integrated Back Box
	Strike	18L	25W	N/A	Not Available	Y	Includes Integrated Back Box
			30W			Y	Includes Integrated Back Box
			39W			Y	Includes Integrated Back Box
50W			Y			Includes Integrated Back Box	
VPW3	Micro Strike	160L	45W	N/A	Not Available	Yes	Standard Housing
			70W			Yes	Standard Housing
			95W			Yes	Standard Housing
			105W			N/A	Not Available
			135W			N/A	Not Available
			155W			N/A	Not Available
	Strike	36L	55W	N/A	Not Available	Yes	Standard Housing
			80W			Yes	Standard Housing
			100W			Yes	Standard Housing
			120W			N/A	Not Available

PHOTOMETRY - BATTERY

18L BATTERY PHOTOMETRY



80L BATTERY PHOTOMETRY



Mounting Height: 12ft
Scale: 10ft

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

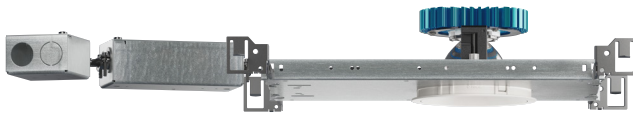
NU4 LOPRO

4" Round Downlight Standard White

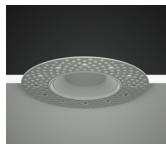


20° - 65° BEAM (Note: Specifications are subject to change without notice)		
14mm COB PERFORMANCE DATA		
LED LIGHT ENGINE	NOMINAL DELIVERED LUMENS	SYSTEM WATTAGE
10LM	990LM @30K/80CRI	9W
15LM	1485LM @30K/80CRI	12W
20LM	2095LM @30K/80CRI	17W
25LM	2540LM @30K/80CRI	21W
30LM	3090LM @30K/80CRI	26W
10LM	840LM @30K/90/CRI	9W
15LM	1260LM @30K/90/CRI	12W
20LM	1780LM @30K/90/CRI	17W
25LM	2160LM @30K/90/CRI	21W
30LM	2620LM @30K/90/CRI	26W
Notes	Delivered lumens based on WH70 optic with no lens, (see page 2)	

8 - 12° BEAM (Note: Specifications are subject to change without notice)		
6mm COB PERFORMANCE DATA		
LED LIGHT ENGINE	NOMINAL DELIVERED LUMENS	SYSTEM WATTAGE
10LM	990LM @30K/80CRI	10W
15LM	1460LM @30K/80CRI	15W
10LM	840LM @30K/90CRI	10W
15LM	1240LM @30K/90CRI	15W
Notes	Delivered lumens based on S10 optic with no lens, (see page 2)	



Trim



Trimless



Trimless Millwork

FEATURES

- 3/4" bezel regress with 1/16" micro flange
- 8° - 65° optical beam control
- UGR < 19
- 110 LPW average
- Glare control, specialty optics, trim options, and custom finishes available
- Microban® antimicrobial finish available on all exposed painted surfaces

DIMMING AND CONTROLS

- 0-10V dimming to 1%
- Leading & trailing edge (Triac / ELV) dimming to 1%

CONSTRUCTION

- Lexan™ (PC) highly resistant to impact and heat (240°F)
- Optimal material for wireless signal connectivity
- Shatter proof acrylic bezel lens
- Electrocoated 16-gauge cold-rolled steel construction
- Accommodates ceiling thickness from 1/8" to 1-5/8"

LED

- 90 CRI: SDCM = 2-step MacAdam Ellipse, Lumen Maintenance: L₇₀ > 66,000 hrs
- 80 CRI: SDCM = 3-step MacAdam Ellipse, Lumen Maintenance: L₇₀ > 66,000 hrs

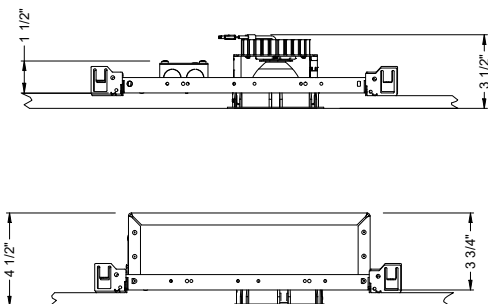
LISTING

- ULus Listed to UL1598 & UL2108; cUL Listed to CSA C22.2 #250.0
- IP65 with lens - Suitable for wet locations with lens - Suitable for damp locations without lens
- Non-conductive, dead-front construction (shower approved)
- NSF/ANSI-2 with lens (Non-Food and Splash Zones)
- Declare.** - LBC Red List Approved
- 5 Year Limited warranty

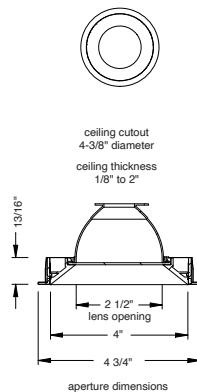
ELECTRICAL

- 120V-277V, 120 only Triac / ELV
- Power factor ≥ 0.9
- 2kV driver input surge protection
- Remote emergency test switch
- 7W, 10W (T20 CEC) and 12W EM 90min battery
- Max. ambient installation temperature 95°F (35°C)

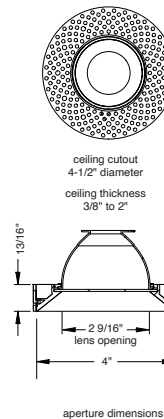
FIXTURE HEIGHT



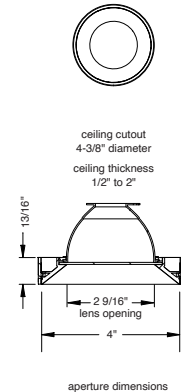
TRIMMED



TRIMLESS



MILLWORK



alphabet

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

8° - 65° BEAM ORDERING CODE

SERIES	NU4	NU4									
TYPE	RDLP	round downlight lopro									
	RDTLP	round downlight trimless lopro									
	RDTMWLP	round downlight trimless millwork lopro									
LED	SW	standard white									
DELIVERED LUMENS	10LM	990 lm									
	15LM	1485 lm									
	20LM	2095 lm									
	25LM	2540 lm									
	30LM	3090 lm									
	Standard Configuration: 3000K 80CRI WH70 Calculated Delivered Lumens = [Delivered Lumen Value] x [CCT Multiplier] x [Reflector Multiplier]										
CCT	27K	2700K	CCT	2700K	3000K	3500K	4000K				
	30K	3000K	CRI	80+	90+	80+	90+	80+	90+		
	35K	3500K	CCT MULTIPLIER FOR LUMEN OUTPUT	0.96	0.81	1.00	0.85	1.03	0.88	1.06	0.91
	40K	4000K									
CRI	80	80 CRI									
	90	90 CRI									
OPTIC & LM MULTIPLIER SEE PAGE 5, 6	8D ¹	8 degrees	(1.00)								
	12D ¹	12 degrees	(1.00)								
	20D	20 degrees	(0.99)								
	25D	25 degrees	(1.00)								
	35D	35 degrees	(0.99)								
	50D	50 degrees	(0.99)								
	65D	65 degrees	(0.99)								
BEZEL LENS SEE PAGE 3, 4	NL ²	no lens	(1.00)								
	CL	clear lens	(0.98)								
	DL	diffused lens	(0.91)								
	E ³	elliptical beam spread	(0.92)								
	HCL ⁴	honeycomb louver	(0.85)								
	HET	high efficiency textured lens, similar to Solite™	(0.92)								
	SBL	smoothing beam lens	(0.92)								
Color lenses (amber, blue, green, red) see page 4.											
TRIM COLOR SEE PAGE 3, 4	BK	black									
	WH	white									
	MC	matte chrome									
	BZ	bronze									
	WT	wheat									
	CC ⁵	custom color, consult factory for details									
Antimicrobial finish, add AM to black, white or matte chrome i.e. BKAM. Not applicable to trimless option. Do not include in trimless ordering code.											
BEZEL COLOR SEE PAGE 3, 4	BK	black	(0.98)								
	WH	white	(1.00)								
	MC	matte chrome	(0.99)								
	BZ	bronze	(0.98)								
	WT	wheat	(0.99)								
	CC ⁵	custom color, consult factory for details									
Antimicrobial finish, add AM to black, white or matte chrome i.e. BKAM.											

8° - 65° BEAM ORDERING CODE

MOUNTING OPTIONS SEE PAGE 2, 8	NC	new construction with ceiling fitting plate
	IC ⁶	insulation contact housing
	RET	retrofit, no ceiling fitting plate
VOLTAGE	120	120V
	UNV	120V-277V
DIMMING	ELV ⁷	leading & trailing edge (Triac/ELV) dimming to 1%
	DIM10	0-10V dimming to 1%
ELECTRICAL OPTIONS	EM7	emergency battery backup, 90 minutes at 7W to LED
	EM12	emergency battery backup, 90 minutes at 12W to LED
	EM10CA20	remote emergency battery backup, 90 minutes at 10W to LED, CA title 20

ADDITIONAL MOUNTING INFO

New Construction Bar Hangers (included)	Mounting Length: 14-3/4" to 26"
Extension Kit p/n: K20266 (ordered separately, 1 per fixture)	Extends a pair of Bar Hangers Total Mounting Length: 29" to 48"

YOUR COMPLETED ORDERING CODE

Follow the steps to specify your fixture, example:
NU4 - RDLP - SW - 20LM - 35K - 90 - 25D - NL - WH - WH - NC - UNV - DIM10 - EM7

NOTES

- 8D/12D available in 10LM/15LM.
- NL option does not meet requirements for AT/DF/WET/NSF listings. Lensing cannot be added in the field.
- Elliptical lens not available with 8D/12D optic options. Actual beam distributions [20D= 35° x 60°, 25D= 40° x 65°, 35D= 45° x 70°, 55D= 55° x 80°]
- HCL not available with lens.
- Custom set up fee plus minimum quantity required per color.
- IC not available in 30LM.
- ELV1 (120V) not available in 10LM.

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PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

TRIM OPTIONS

TRIM/BEZEL COLORS



OPTICAL OPTIONS

- UGR calculation based on CIE 117-1995; room size: 4H X 8H, reflectance: 70/50/20;
- UGR calculation based on 15LM fixtures, unless otherwise noted.

REFLECTOR OPTIC ACCESSORY Honeycomb Louver



OPTIC	BEAM ANGLE	UGR
8D	7.8	10.9
12D	11.3	23.5
20D	17.4	12.5
25D	22.2	13.9
35D	32.4	16.5
50D	44.9	13.4
65D	52	15.5

NL No Lens



OPTIC	BEAM ANGLE	UGR
8D	7.8	14.2
12D	11.9	13.8
20D	18	13.6
25D	22.8	13.1
35D	36.2	14.5
50D	49.2	18.3
65D	64.5	18.8

CL Clear Lens



OPTIC	BEAM ANGLE	UGR
8D	7.9	13.7
12D	12.1	13.3
20D	18	13.3
25D	22.8	12.8
35D	36.2	14.2
50D	49.2	18.1
65D	64.6	18.5

DL Diffused Lens



OPTIC	BEAM ANGLE	UGR
20D	39.4	19.5
25D	42.4	19.8
35D	50.6	20.8
50D	56.7	21.4
65D	66.7	23.3

HET

High Efficiency Textured Lens



OPTIC	BEAM ANGLE	UGR
20D	22.5	13.8
25D	27	14
35D	38.8	15.8
50D	49.8	16.5
65D	60.4	19.5

SBL

Smoothing Beam Lens



OPTIC	BEAM ANGLE	UGR
8D	10.2	12.8
12D	13.2	12.9
20D	19.3	13
25D	24.3	13.1
35D	37.2	14.8
50D	51.2	15.6
65D	62.2	18.8

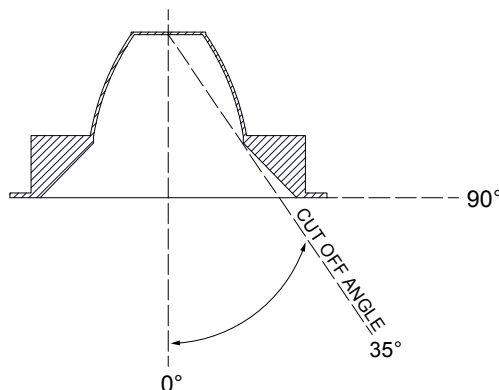
GLARE CONTROL

CUT-OFF ANGLE

Visual comfort is achieved with a lower cut-off angle due to improved glare control. The smaller the cut-off angle, the easier it is on the eye.

Alphabet downlights have been thoughtfully engineered to eliminate glare while still delivering functional illumination.

- Cutoff angle of CL is 35 degrees;



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PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

TRIM OPTIONS

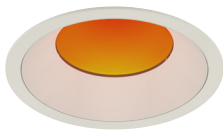
TRIM/BEZEL COLORS



OPTICAL OPTIONS

- UGR calculation based on CIE 117-1995; room size: 4H X 8H, reflectance: 70/50/20;
- UGR calculation based on 15LM fixtures, unless otherwise noted.

AMBER



OPTIC	MULTIPLIER	BEAM SPREAD
20D	0.485	18°
25D	0.484	22°
35D	0.485	35°
50D	0.48	50°
65D	0.473	60°

AVERAGE LUMENS: 2000LM 1880 CCT

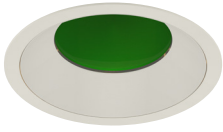
RED



OPTIC	MULTIPLIER	BEAM SPREAD
20D	0.04	18°
25D	0.04	22°
35D	0.04	35°
50D	0.04	50°
65D	0.038	60°

AVERAGE LUMENS: 168LM

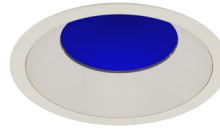
GREEN



OPTIC	MULTIPLIER	BEAM SPREAD
20D	0.202	18°
25D	0.202	22°
35D	0.204	35°
50D	0.2	50°
65D	0.196	60°

AVERAGE LUMENS: 850LM

BLUE



OPTIC	MULTIPLIER	BEAM SPREAD
20D	0.051	18°
25D	0.051	22°
35D	0.053	35°
50D	0.05	50°
65D	0.049	60°

AVERAGE LUMENS: 210LM

Add AM / BL / GR / RD to bezel lens ordering code section.

Example: NU4 - RD - SW - 10LM - 30K - 80 - 35D - BL - WH - WH - NC - UNV - DIM

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PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

PHOTOMETRIC DATA

20LM CCT MULTIPLIERS		
	80CRI	90CRI
2700K	0.96	0.81
3000K	1	0.85
3500K	1.03	0.88
4000K	1.06	0.91
FC Formula = CBCP / Distance ²		

20D 18° NO LENS	
Throw Distance (ft)	Beam Diameter (ft)
6	1.9
8	2.5
10	3.2
12	3.8
14	4.4
Illuminance at Center (fc)	
323	
182	
116	
81	
59	
WATTS: 17.2	LPW: 121.4
LUMENS: 2088	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	11622
5	10517
15	2170
25	862
35	401
45	3

25D 23° NO LENS	
Throw Distance (ft)	Beam Diameter (ft)
6	2.4
8	3.2
10	4
12	4.8
14	5.6
Illuminance at Center (fc)	
244	
137	
88	
61	
45	
WATTS: 17.2	LPW: 122.1
LUMENS: 2099	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	8779
5	7589
15	2759
25	940
35	372
45	2

35D 36° NO LENS	
Throw Distance (ft)	Beam Diameter (ft)
6	3.9
8	5.2
10	6.5
12	7.8
14	9.1
Illuminance at Center (fc)	
128	
72	
46	
32	
23	
WATTS: 17.2	LPW: 120.6
LUMENS: 2074	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	4594
5	4283
15	2845
25	1317
35	435
45	10

20LM CCT MULTIPLIERS		
	80CRI	90CRI
2700K	0.96	0.81
3000K	1	0.85
3500K	1.03	0.88
4000K	1.06	0.91
FC Formula = CBCP / Distance ²		

50D 49° NO LENS	
Throw Distance (ft)	Beam Diameter (ft)
6	5.5
8	7.4
10	9.2
12	11
14	12.9
Illuminance at Center (fc)	
90	
51	
33	
23	
17	
WATTS: 17.2	LPW: 121.2
LUMENS: 2085	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	3253
5	3231
15	2606
25	1591
35	450
45	13

65D 65° NO LENS	
Throw Distance (ft)	Beam Diameter (ft)
6	7.6
8	10.1
10	12.6
12	15.2
14	17.7
Illuminance at Center (fc)	
59	
33	
21	
15	
11	
WATTS: 17.2	LPW: 120.9
LUMENS: 2080	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	2103
5	2101
15	1990
25	1520
35	779
45	144

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PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

PHOTOMETRIC DATA

10LM CCT MULTIPLIERS		
	80CRI	90CRI
2700K	0.96	0.81
3000K	1	0.85
3500K	1.03	0.88
4000K	1.06	0.91
FC Formula = CBCP / Distance ²		

8D 7.8° NO LENS																
<p>Throw Distance (ft) Beam Diameter (ft)</p> <table border="1"> <tr><td>6</td><td>708</td><td>0.8</td></tr> <tr><td>8</td><td>398</td><td>1.1</td></tr> <tr><td>10</td><td>255</td><td>1.4</td></tr> <tr><td>12</td><td>177</td><td>1.6</td></tr> <tr><td>14</td><td>130</td><td>1.9</td></tr> </table> <p>Illuminance at Center (fc)</p>		6	708	0.8	8	398	1.1	10	255	1.4	12	177	1.6	14	130	1.9
6	708	0.8														
8	398	1.1														
10	255	1.4														
12	177	1.6														
14	130	1.9														
WATTS: 10.2	LPW: 97.9															
LUMENS: 998	CCT: 3000K															
INTENSITY																
DEGREE	CANDELA															
0	25483															
5	8161															
15	463															
25	362															
35	215															
45	0.5															

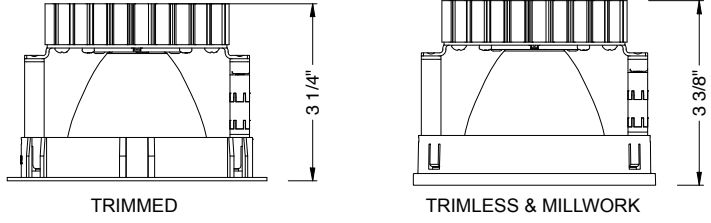
12D 12° NO LENS																
<p>Throw Distance (ft) Beam Diameter (ft)</p> <table border="1"> <tr><td>6</td><td>330</td><td>1.3</td></tr> <tr><td>8</td><td>185</td><td>1.7</td></tr> <tr><td>10</td><td>119</td><td>2.1</td></tr> <tr><td>12</td><td>82</td><td>2.5</td></tr> <tr><td>14</td><td>61</td><td>2.9</td></tr> </table> <p>Illuminance at Center (fc)</p>		6	330	1.3	8	185	1.7	10	119	2.1	12	82	2.5	14	61	2.9
6	330	1.3														
8	185	1.7														
10	119	2.1														
12	82	2.5														
14	61	2.9														
WATTS: 8.7	LPW: 115															
LUMENS: 1001	CCT: 3000K															
INTENSITY																
DEGREE	CANDELA															
0	11863															
5	7515															
15	660															
25	371															
35	192															
45	0.3															

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PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

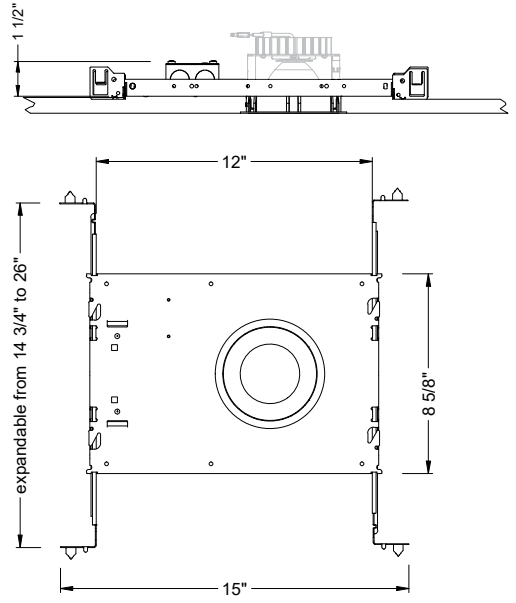
MOUNTING OPTIONS

FIXTURE HEIGHT 10M - 30LM CONFIGURATION

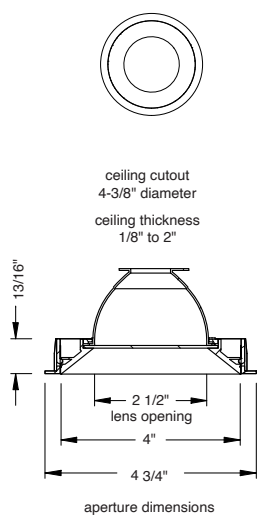


NC - NEW CONSTRUCTION

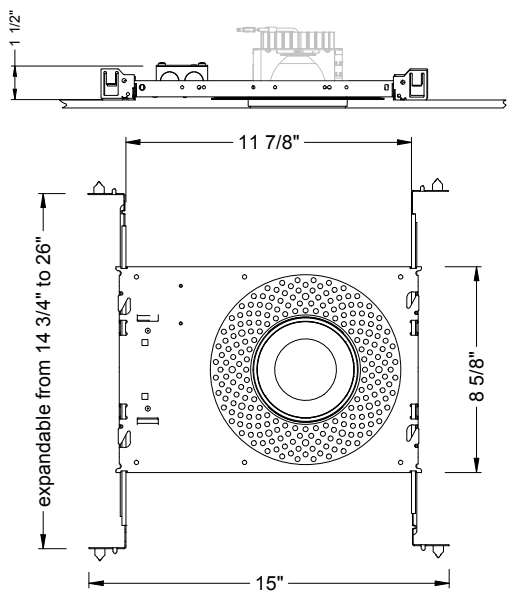
TRIM



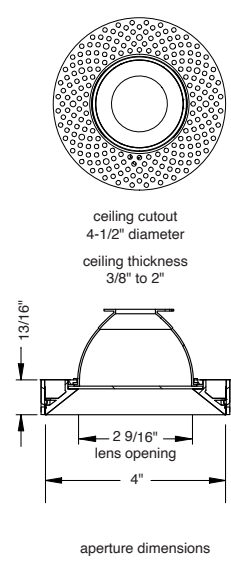
TRIM



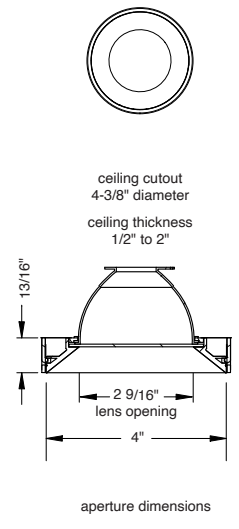
TRIMLESS



TRIMLESS



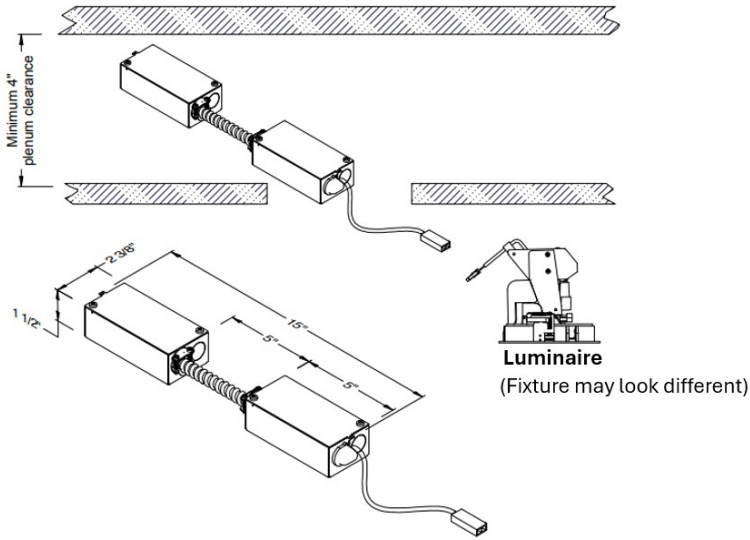
TRIMLESS/MILLWORK



PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

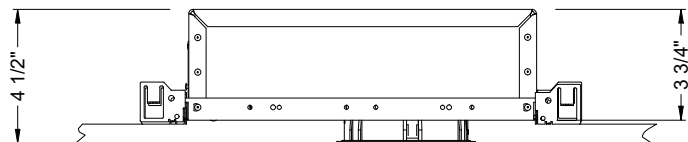
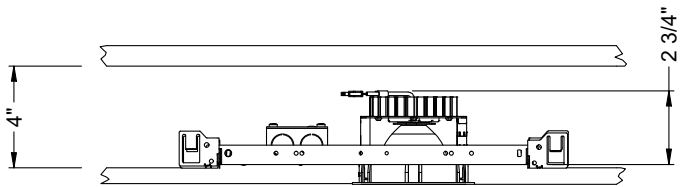
MOUNTING OPTIONS (CONTINUED)

RET - RETRO TRIM/TRIMLESS

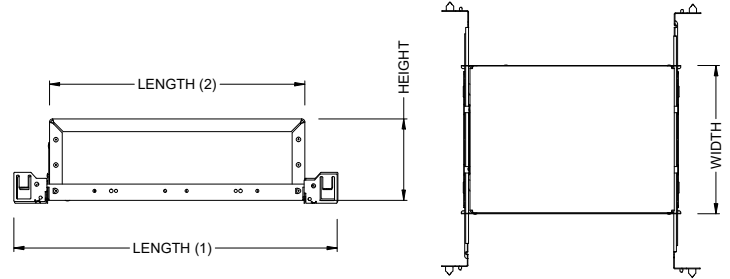


RATINGS / CERTIFICATIONS	NC	RET	IC
TYPE NON-IC	✓	✓	
TYPE IC			✓
CHICAGO PLENUM (CCEA)			
SUITABLE FOR AIR HANDLING PLENUMS	✓	✓	✓
REDUCED AIRFLOW (WITH LENS) ASTM E283	✓	✓	✓

CEILING THICKNESS	
FIXTURE TYPE	MOUNTING TYPE
	STANDARD CEILING THICKNESS
TRIM	1/8" to 2"
TRIMLESS	3/8" to 2"
MILLWORK (TRIMLESS)	1/2" to 2"



IC - INSULATION CONTACT HOUSING



BOX SIZE	L1	L2	W	H
A	15 - 7/16"	11 - 3/4"	8 - 1/2"	3 - 3/4"

BOX TYPE / LUMEN OUTPUT - NARROW BEAM (8° - 12°)	
LUMEN OUTPUT	IC
10LM	✓
15LM	✓

BOX TYPE / LUMEN OUTPUT - STANDARD BEAMS (20° - 65°)	
LUMEN OUTPUT	IC
10LM	✓
15LM	✓
20LM	✓
25LM	✓
30LM	

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

BATTERY OPTIONS

EMERGENCY BATTERY

IOTA's ILB Battery Backups are UL Listed LED emergency drivers that allow the same LED fixture to be used for both normal and emergency operation. In the event of a power failure, the ILB switches to the emergency mode and operates the existing fixture for 90 minutes. The unit contains a battery, charger, and converter circuit in a single can. The Constant Power design of the ILB maintains the output wattage to the LED array even as the system voltage diminishes. UL 924 Listed for U.S. and Canada. UL 1310 Certified, Output Class 2 Compliant. Includes single-piece TBTS test switch and charge indicator accessory kit. For use with switched and unswitched electric fixtures, and includes Two-wire universal AC input. Meets or exceeds all National Electric Code and Life Safety Code Emergency Lighting Requirements. Rated for use in Plenum, Damp Location, Recessed Type IC, and Enclosed and Gasketed Luminares.

REMOTE TEST SWITCH

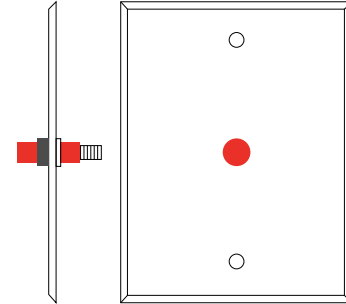
The Remote Test Switch may be mounted adjacent to the LED Fixture by others.

EMERGENCY BATTERY ACCESS

Above ceiling access is required for service. An access panel in the ceiling (or other form of access) adjacent to the installation location of the Emergency Battery is required.

REMOTE LOCATION

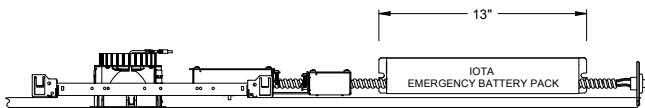
Maximum remote mounting distance of the emergency driver shall be 50 feet. Remote location wiring provided by others. Follow all Local and National Electric/Building Codes.



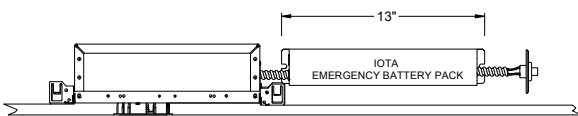
Remote Test Switch

EM MODE OUTPUT (DELIVERED LUMENS)			
LUMEN ORDERING CODE	EM7	EM10	EM12
ALL OPTIONS (10LM TO 30LM)	700LM	1000LM	1200LM
Notes: Based on 30K, 80CRI			

NC - NEW CONSTRUCTION WITH EM BATTERY (REMOTE TEST SWITCH)

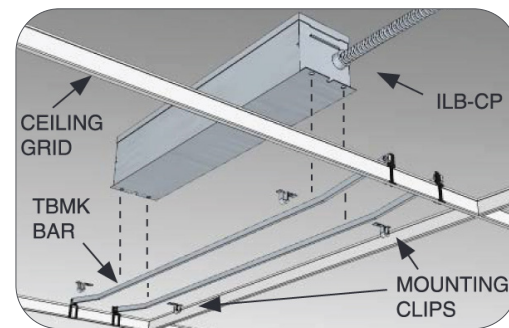


IC - INSULATION CONTACT HOUSING WITH EM BATTERY (REMOTE TEST SWITCH)



Accessory

76066 Optional T-Grid Mounting Kit²



2. Can be used with any of the Emergency Battery Backups. Must be ordered as a separate line item.



DATE: March 24, 2026

TO: Henry Nguyen
Henry Nguyen Consulting, LLC
1330 Glenfield Avenue
Dallas, TX 75224

CC: Lien Nguyen
Beauty Legacy, LLC
5115 Lacey Circle
Sachse, TX 75048

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2025-042; *Site Plan for 2200 Ridge Road*

Henry Nguyen:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was denied by the Planning and Zoning Commission on March 10, 2026. The following is a record of all recommendations and voting records:

Planning and Zoning Commission

On March 10, 2026, the Planning and Zoning Commission approved a motion to deny the site plan without prejudice by a vote of 5-0, with Commissioners Brock and Bentley absent.

Based on Section 212.0093 of the Texas Local Government Code (TLGC), you have the ability to provide a written response and corrected site plan package (*i.e. site plan*) that remedies each reason for the disapproval provided. While no timeline may be established for the applicant to submit the response, please note that since the case was denied a new development application and application fee will be required to be submitted along with the written response and corrected site plan package. Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a faint, larger version of the same signature.

Henry Lee, AICP, Senior Planner
City of Rockwall Planning and Zoning Department