



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
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- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3** BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential Subdistrict**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attached**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **13**

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **ZAPA Investmants LLC**

☒ APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St.**

ADDRESS **100 N. Cottonwood Drive
Suite 104**

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE **972.682.1435**

PHONE **214.810.4535**

E-MAIL **MZahm@zconstructors.com**

E-MAIL **tyler@gldevco.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt D. Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF December, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

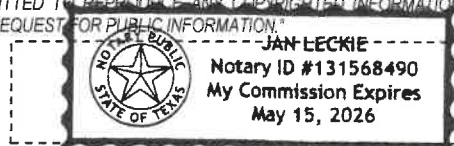
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OWNER'S SIGNATURE

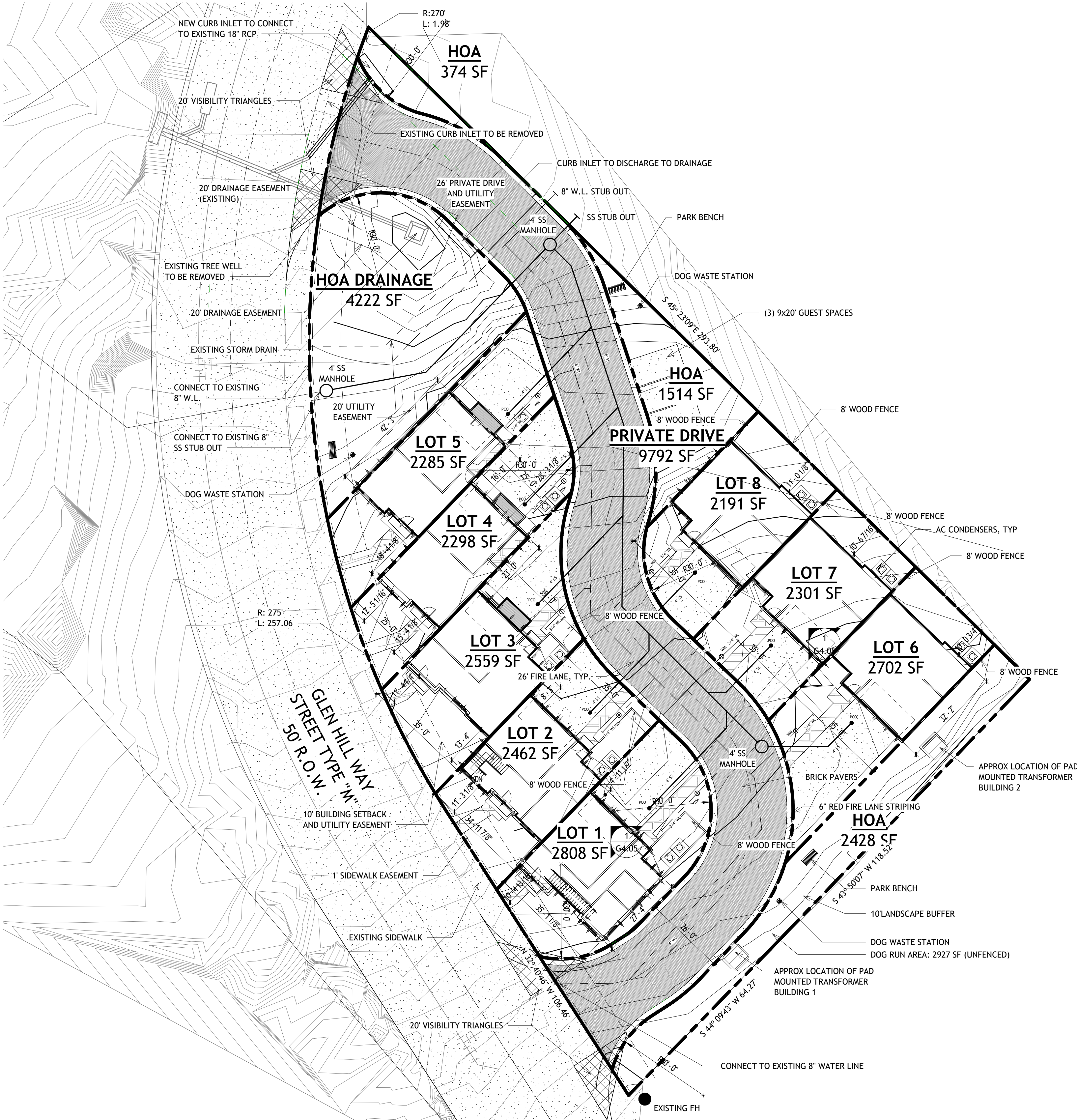
Matt D. Zahm

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie

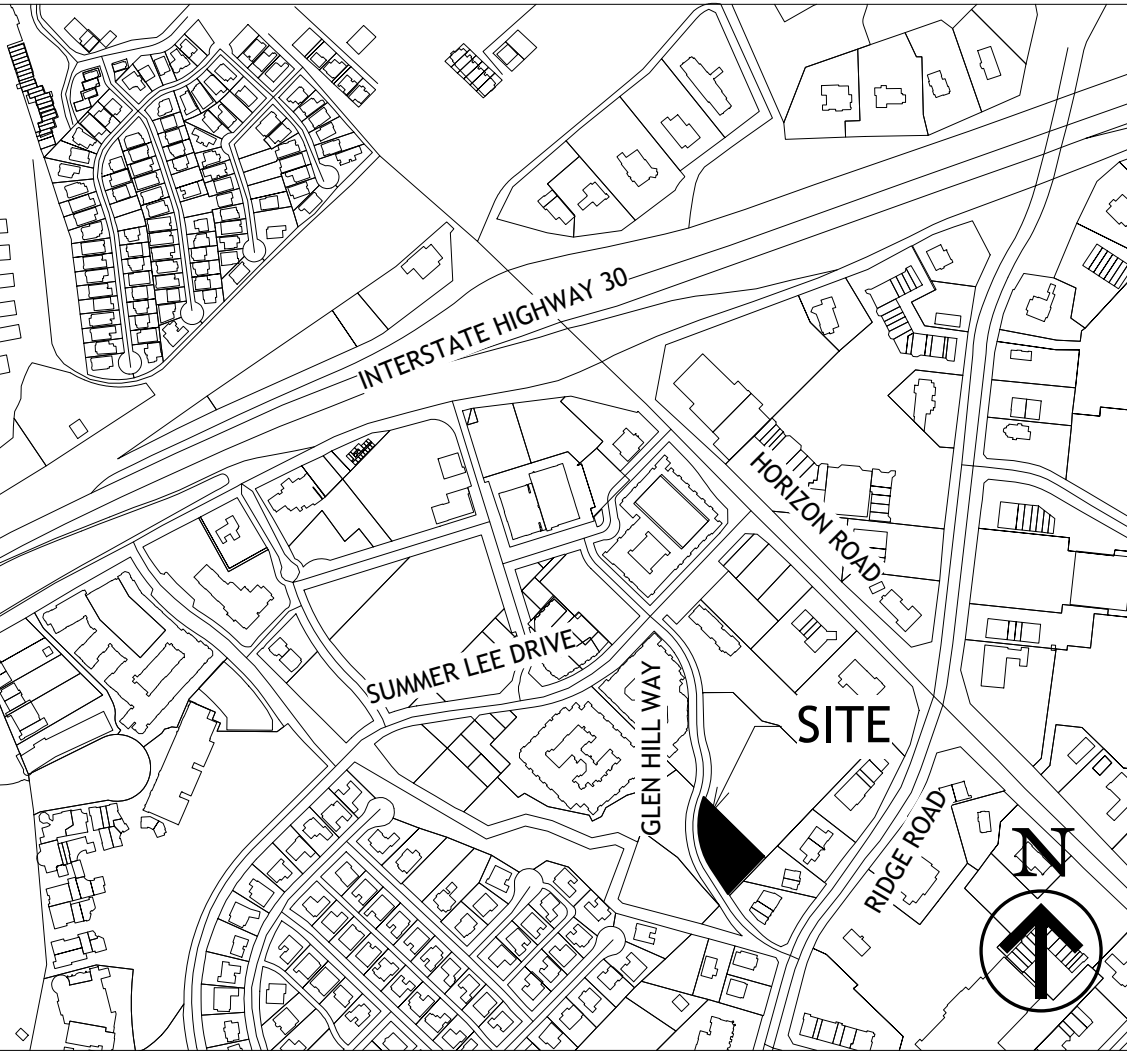


MY COMMISSION EXPIRES 05/15/2026



1 Site Plan Copy 1
1" = 20'-0"

VICINITY MAP



Property Schedule	
Name	Area
Total	37936 SF
PRIVATE DRIVE	9792 SF
LOT 5	2285 SF
LOT 4	2298 SF
LOT 3	2559 SF
LOT 2	2462 SF
LOT 6	2702 SF
LOT 7	2301 SF
LOT 8	2191 SF
HOA DRAINAGE	4222 SF
HOA	2428 SF
HOA	1514 SF
LOT 1	2808 SF
HOA	374 SF

- SITE PLAN GENERAL NOTES
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

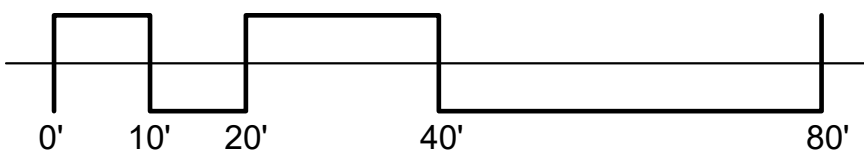
- LIFE SAFETY GENERAL NOTES
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

Site Data Summary Table	
General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441

Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

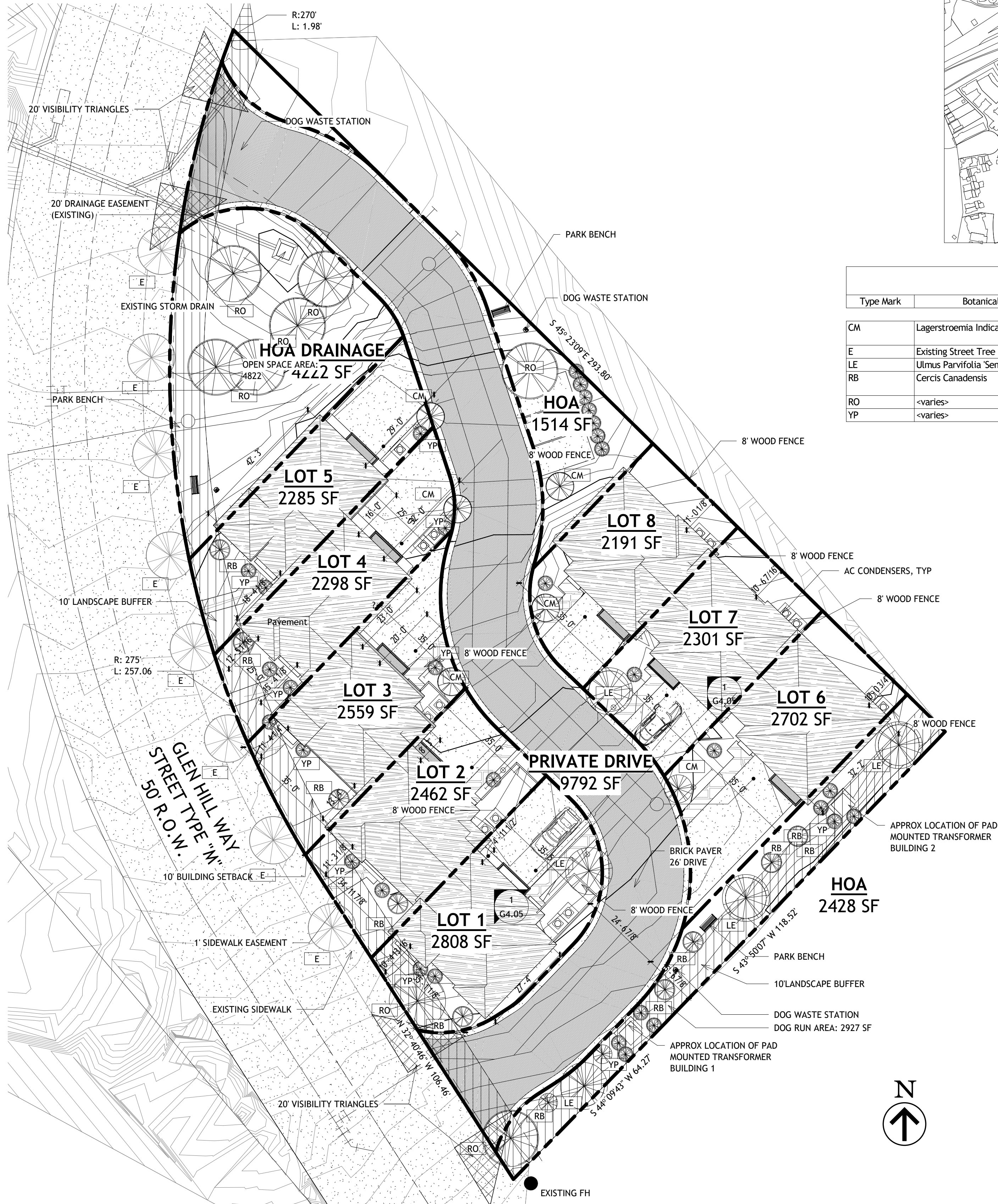
Zapa Investments, LLC
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PD Amendment Plan

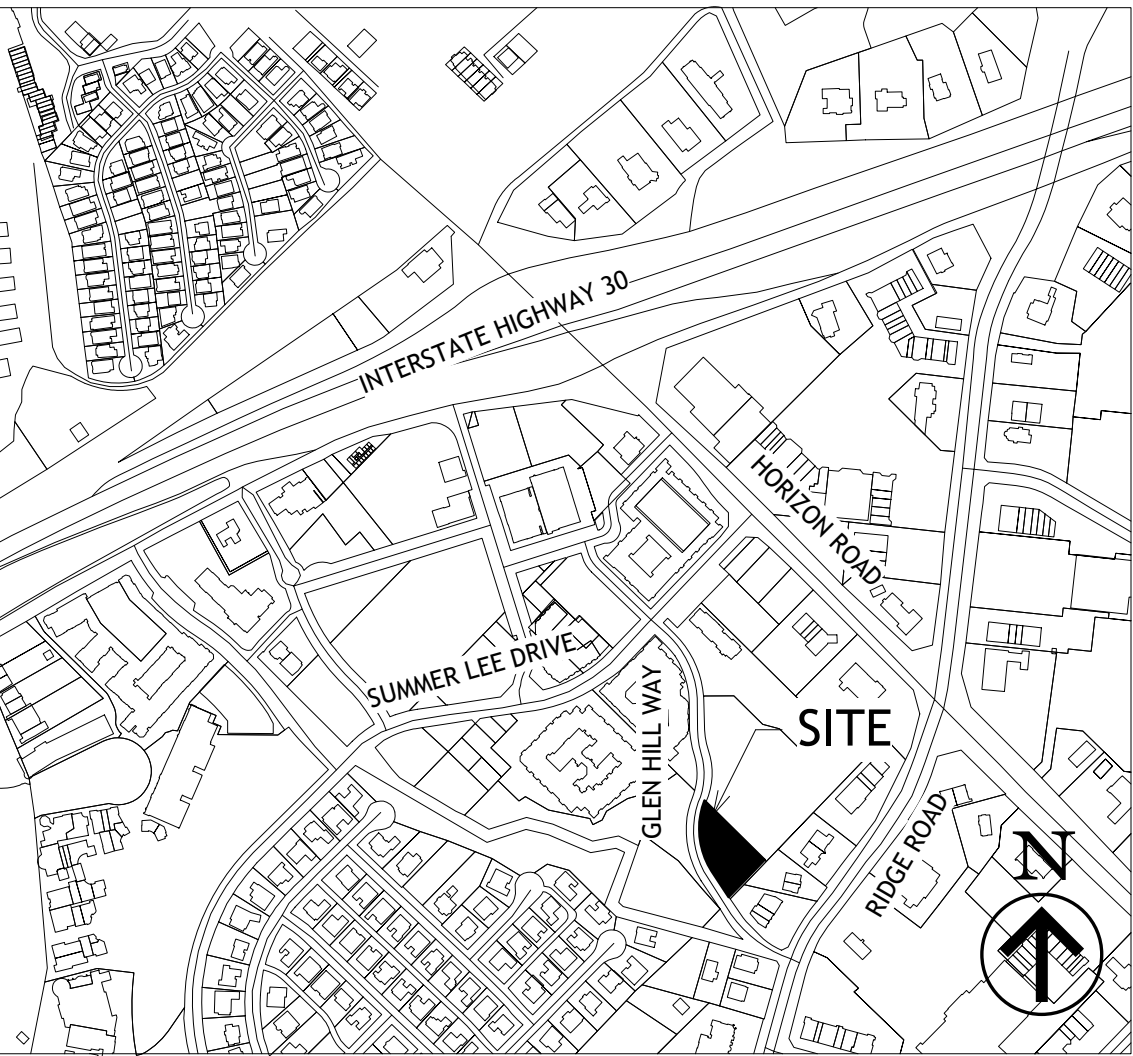
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Grape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4" Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TOT HE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY.
- ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

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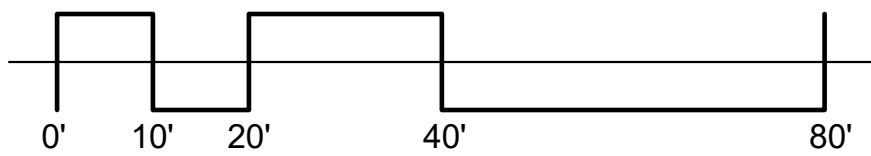
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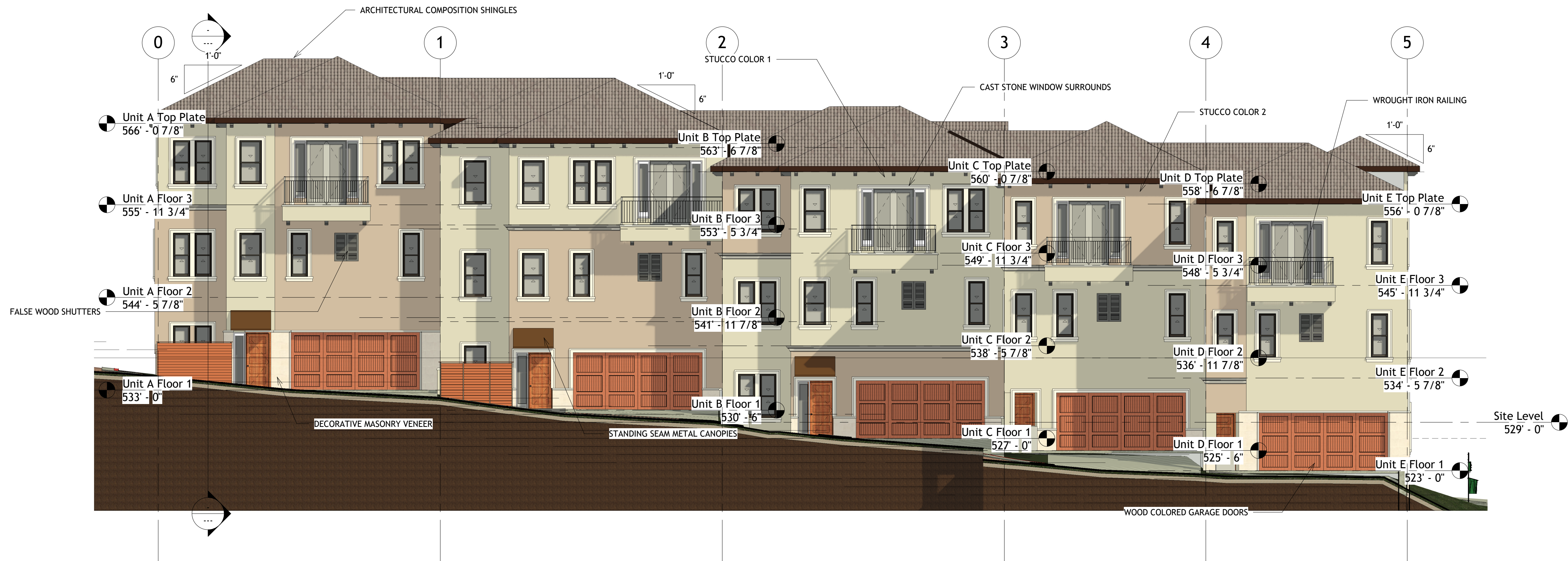
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Concept Landscape Plan

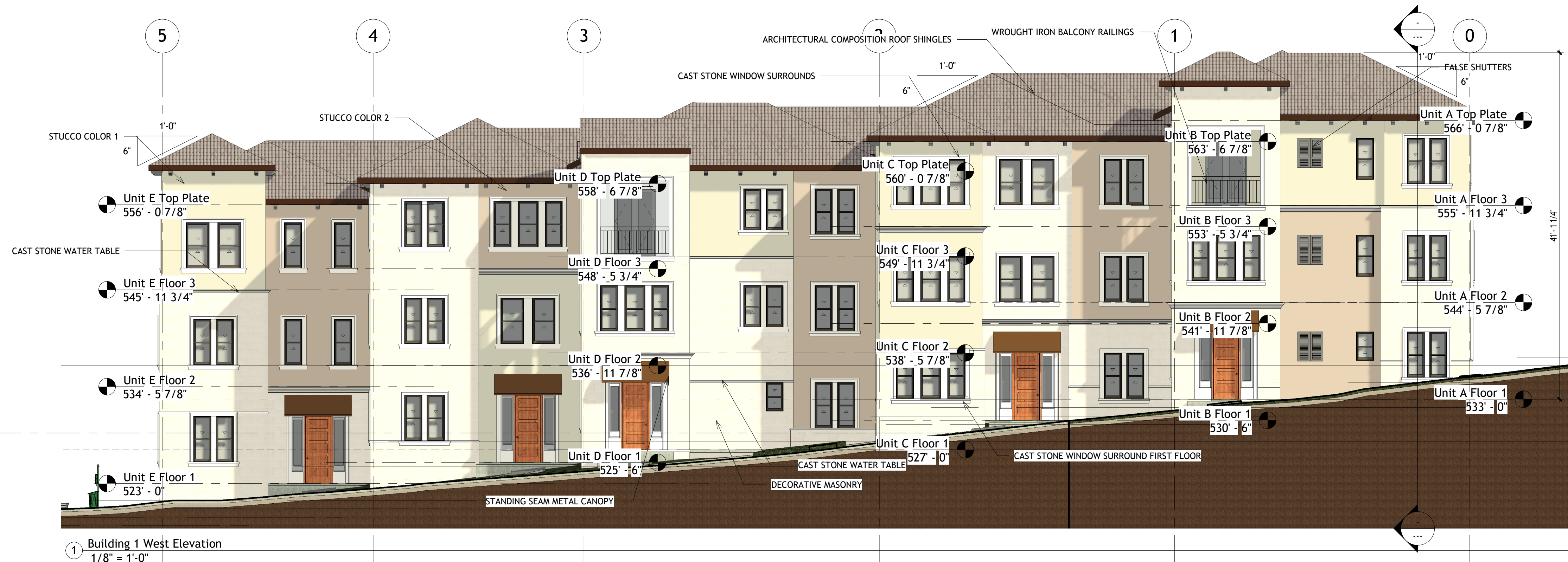
Rockwall Townhomes
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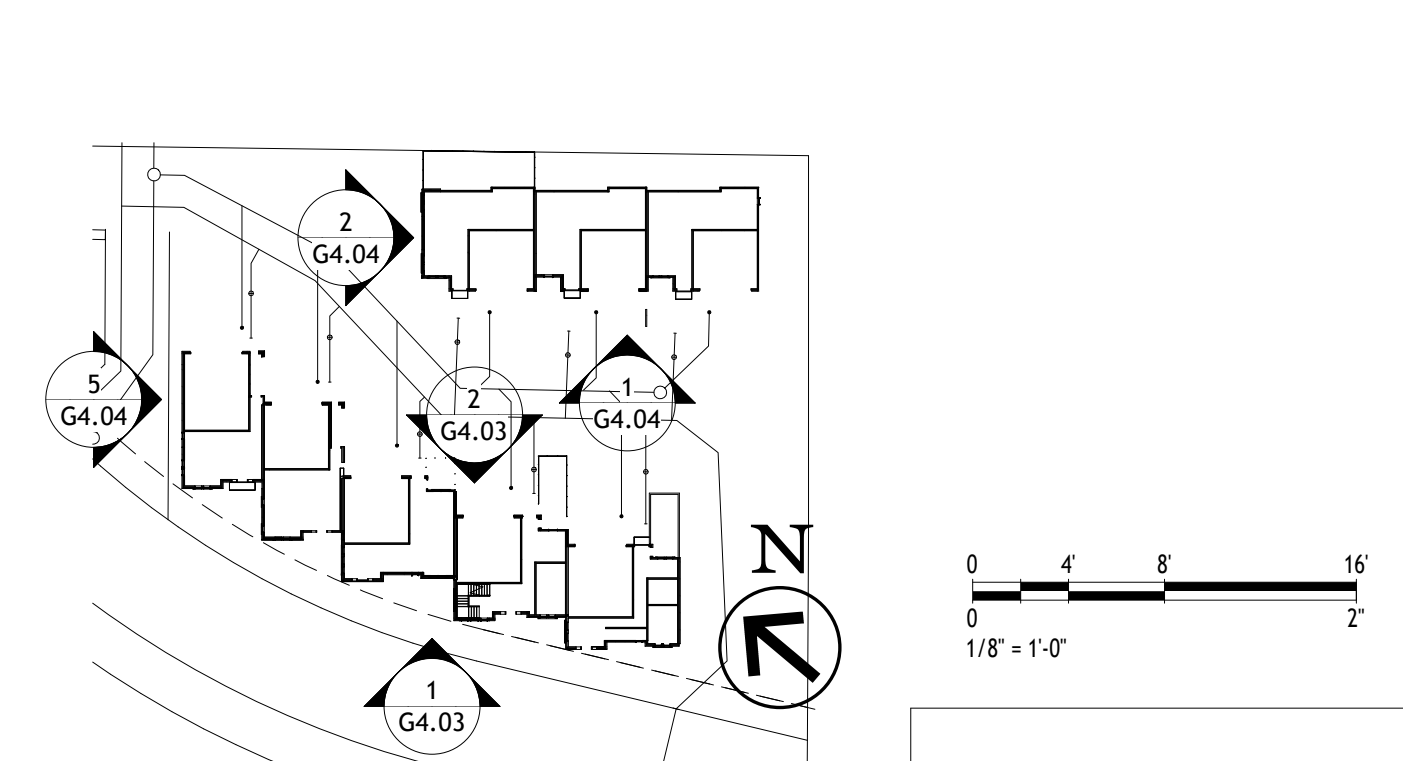
Prepared February 14, 2025



② Building 1 East Elevation
1/8" = 1'-0"



① Building 1 West Elevation
1/8" = 1'-0"



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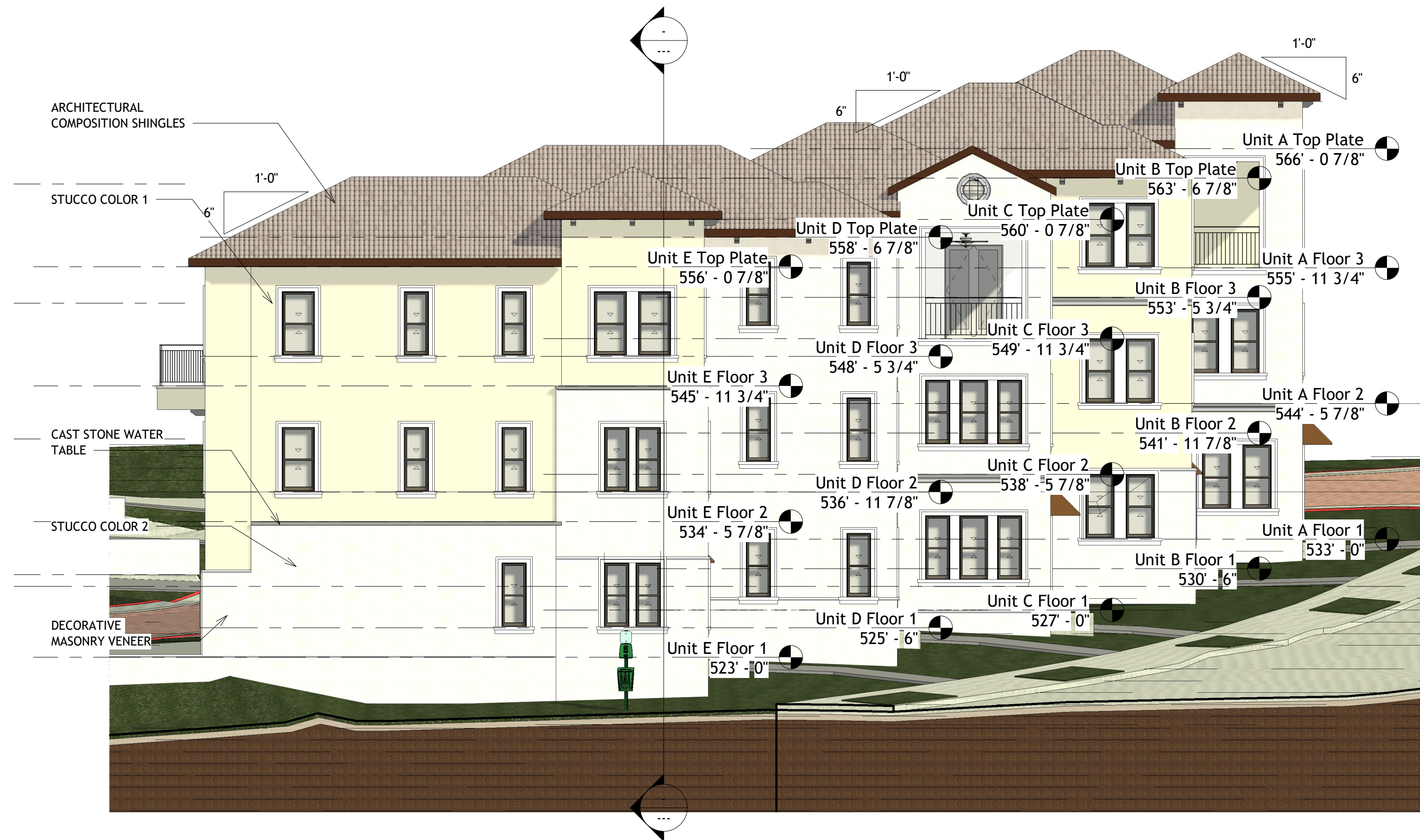
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Color Elevations

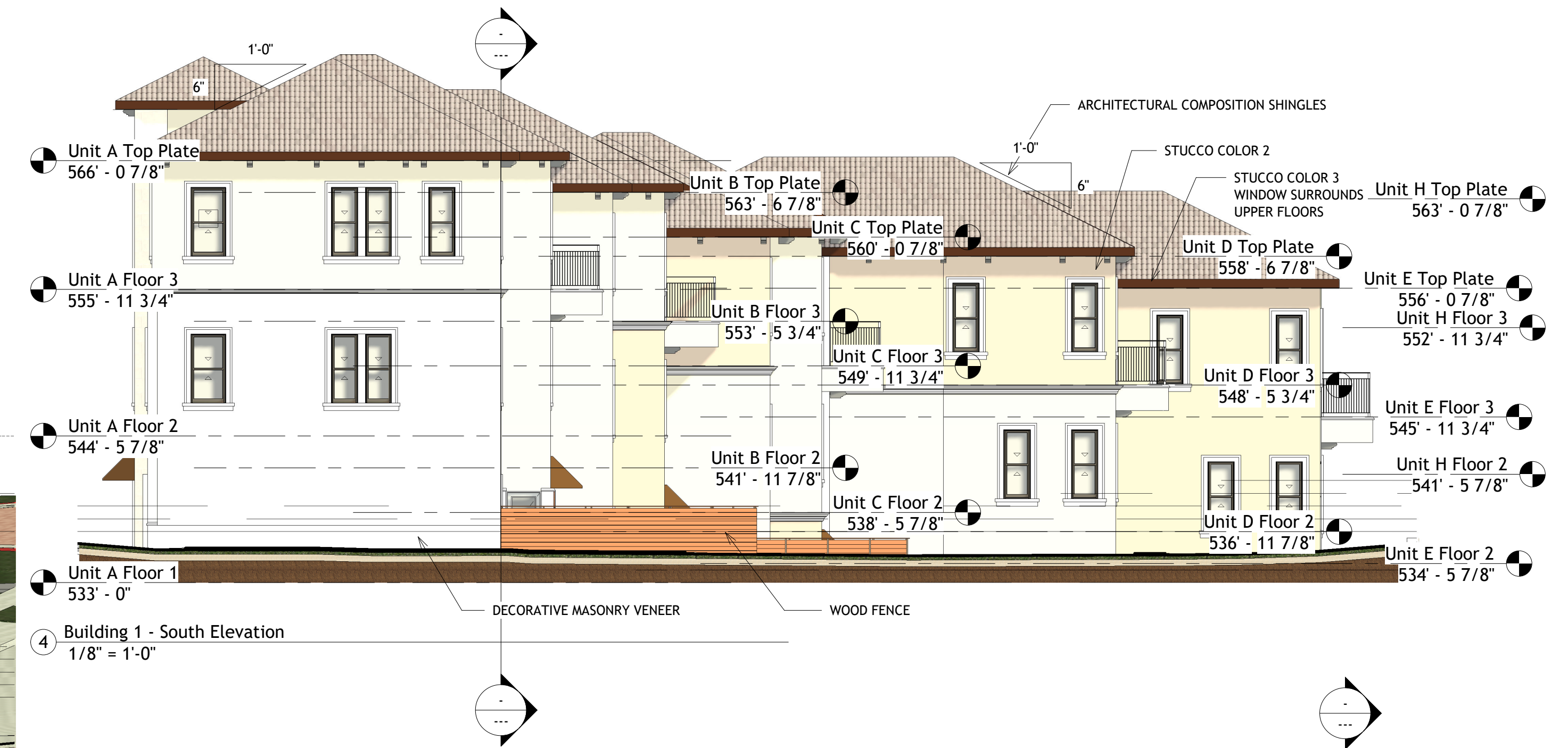
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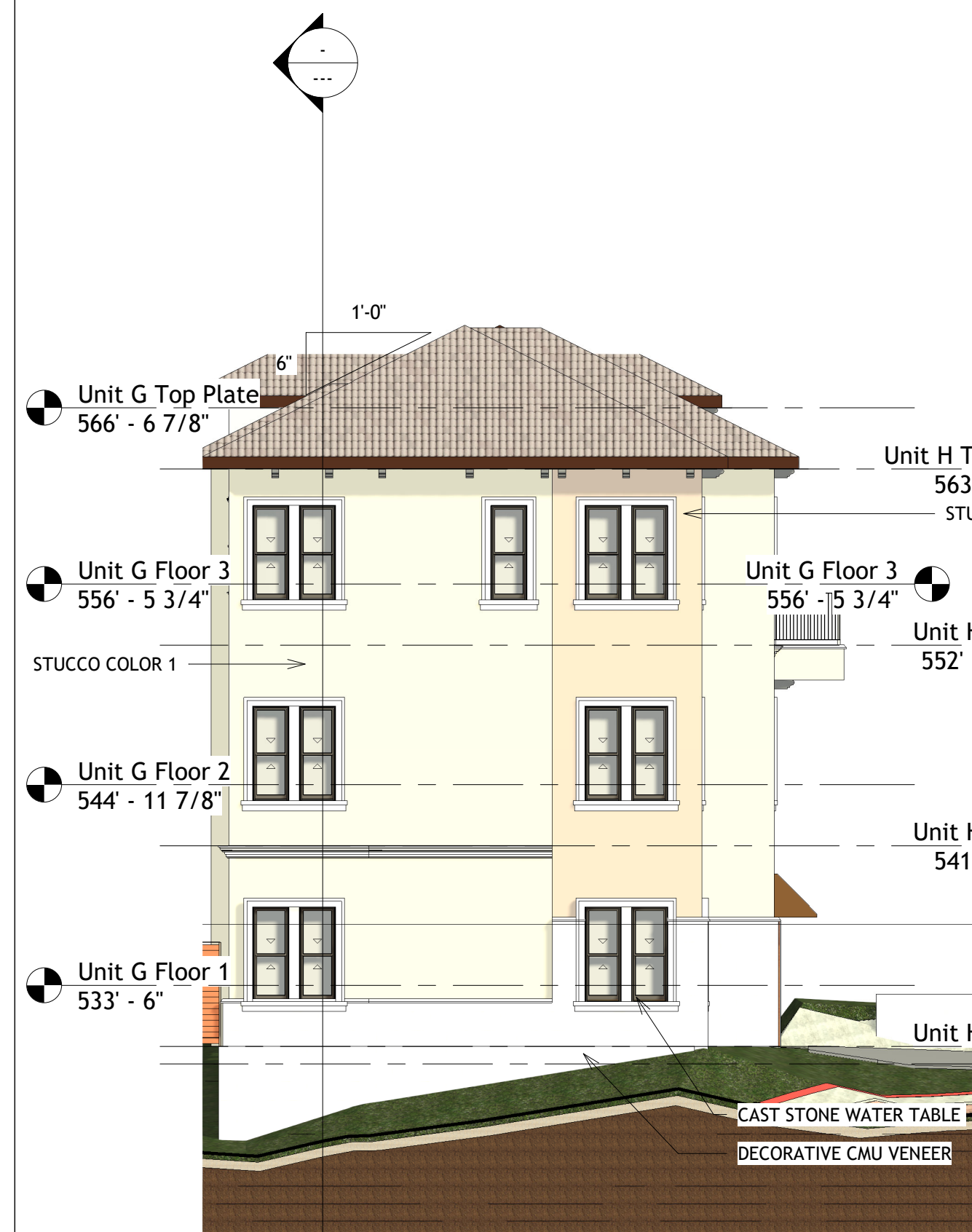
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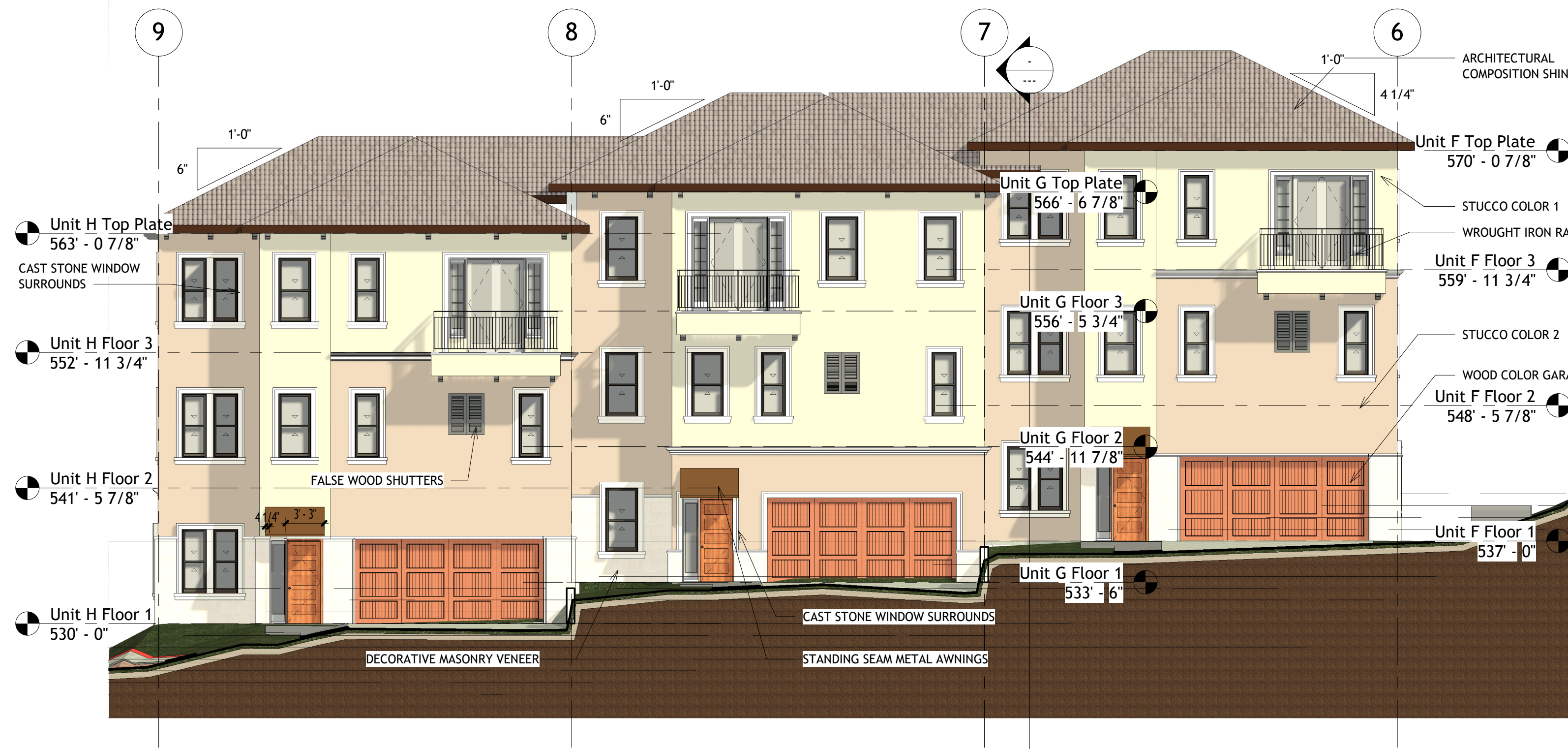
5 Building 1 North Elevation
1/8" = 1'-0"



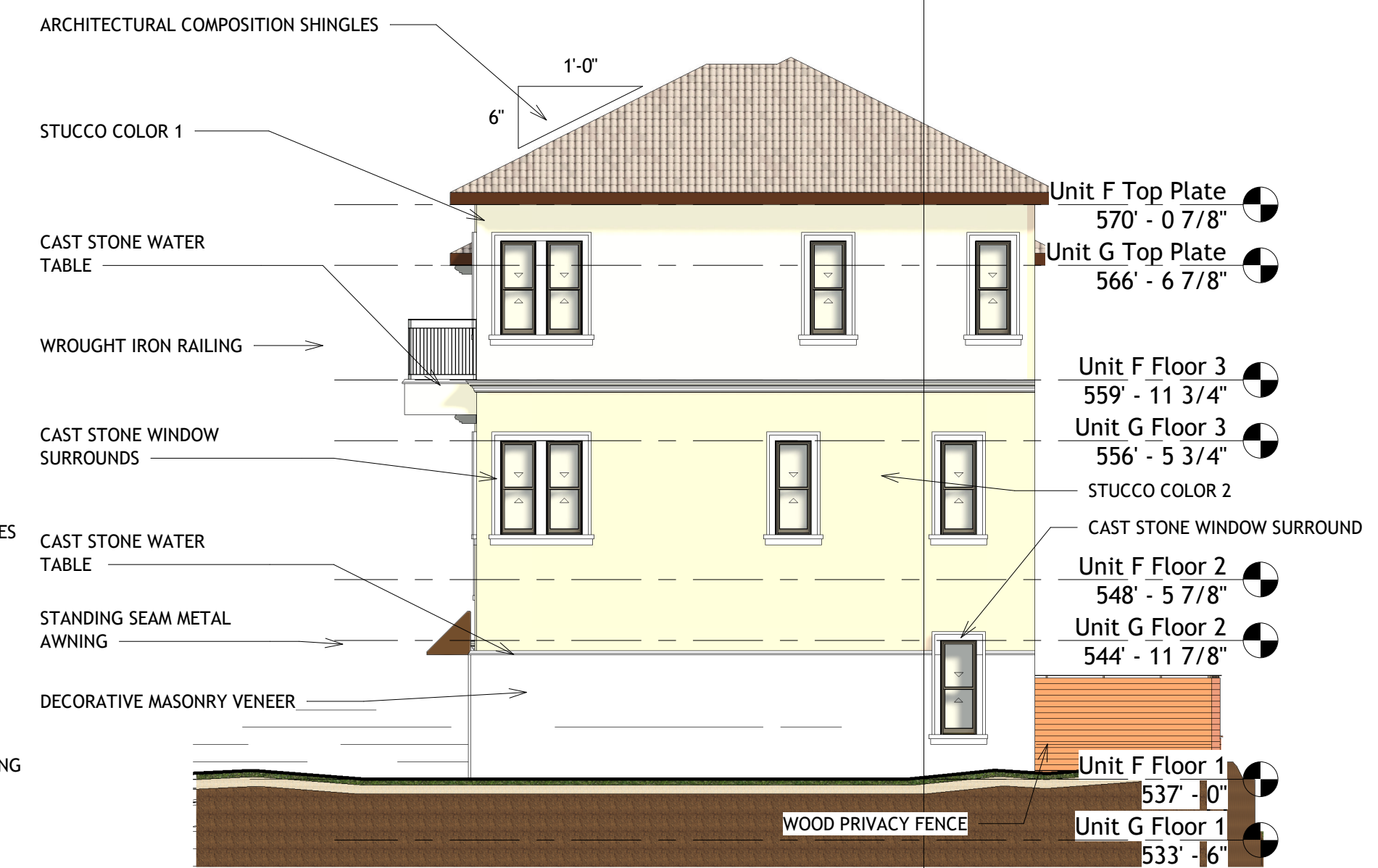
4 Building 1 - South Elevation
1/8" = 1'-0"



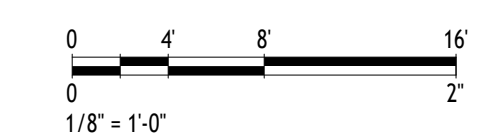
2 Building 2 North Elevation
1/8" = 1'-0"



1 Building 2 West Elevation
1/8" = 1'-0"



3 Building 2 South Elevation
1/8" = 1'-0"



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Color Elevations

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OVERALL VIEW



VIEW ALONG GLEN HILL WAY



INTERIOR ACCESS DRIVE

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Color Renderings

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VIEW FROM GLEN HILL WAY



INTERIOR ACCESS DRIVE

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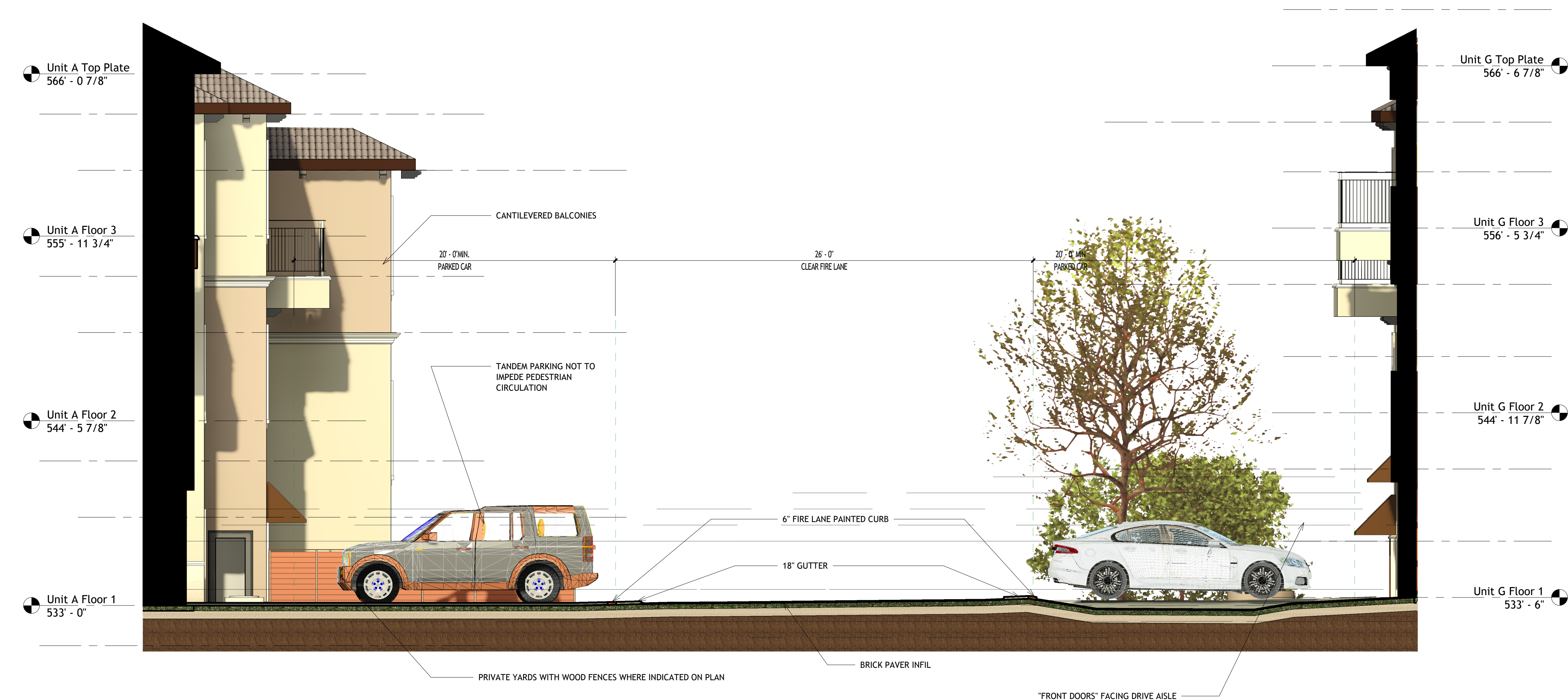
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Color Renderings

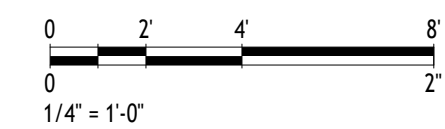
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① Drive Aisle Section
1/4" = 1'-0"



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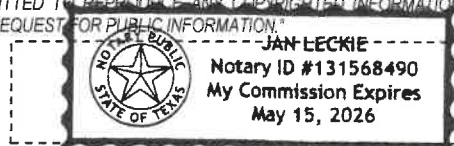
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OWNER'S SIGNATURE

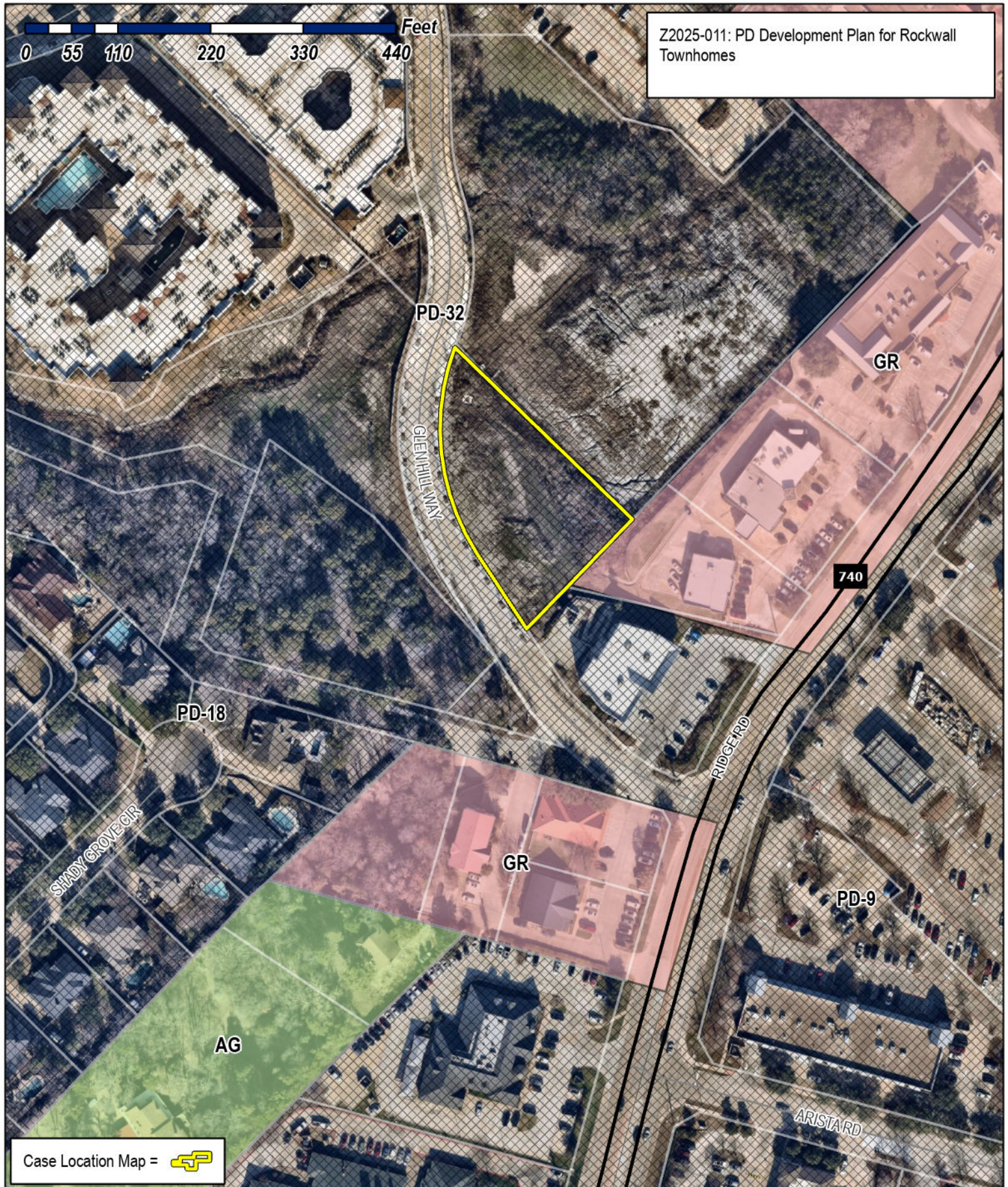
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NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie



MY COMMISSION EXPIRES 05/15/2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

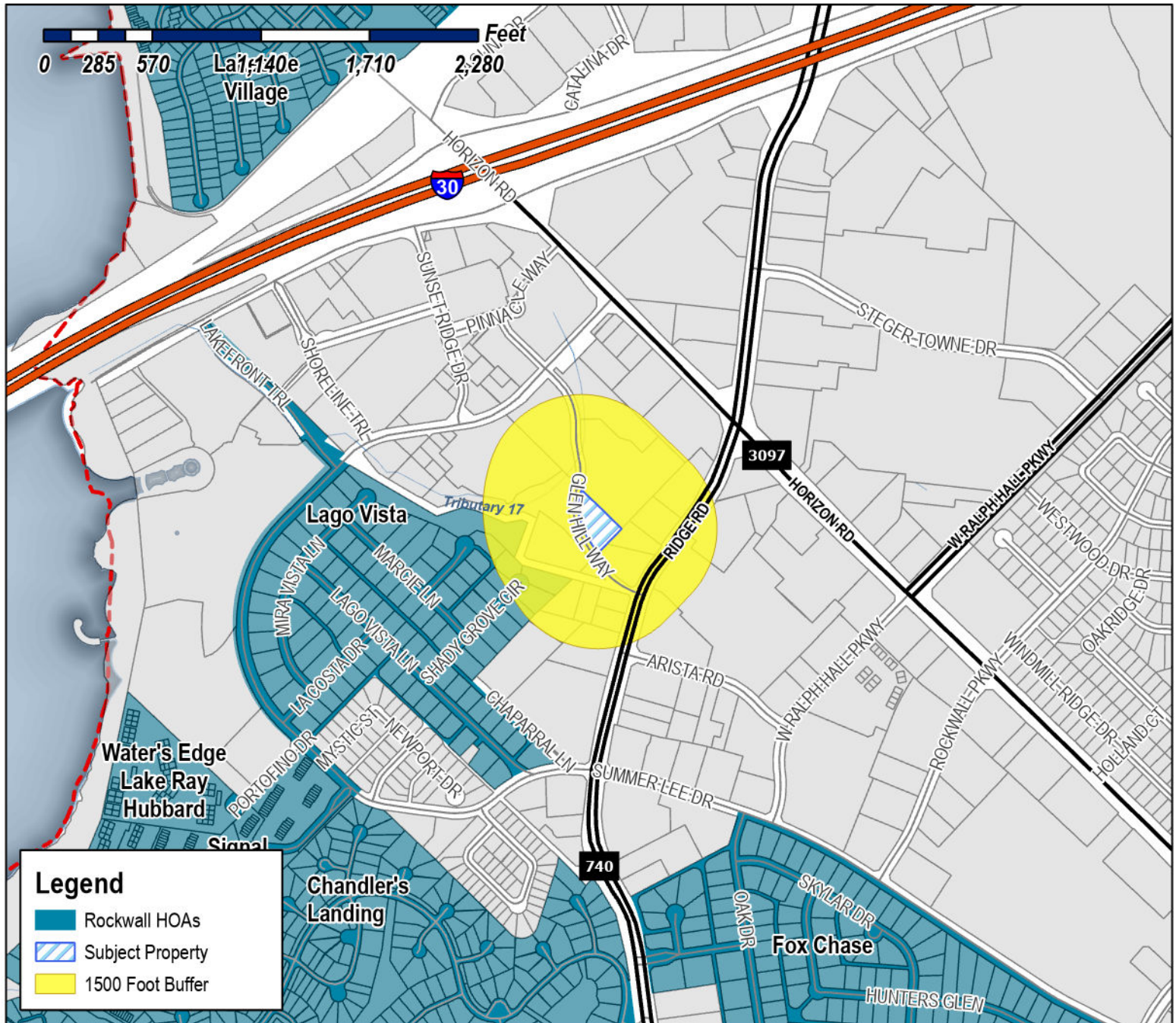




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Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/21/2025
For Questions on this Case Call (972) 771-7745

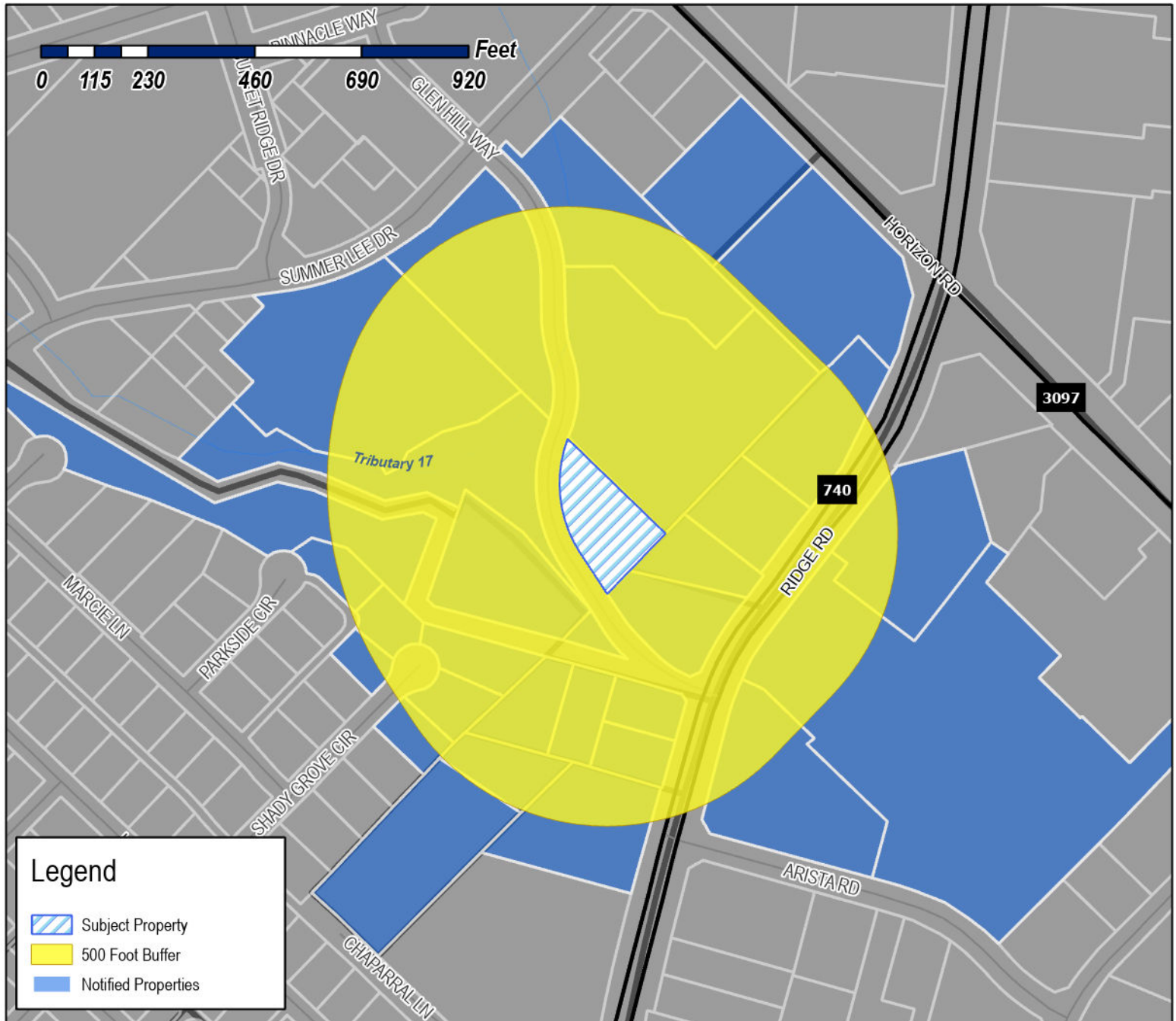




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KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

JAY & MALISHA LLC
1260 HERON LAKES CIR
MOBILE, AL 36693

NATIONAL TRANSFER SERVICES, LLC
1360 POST OAK BLVD STE 100 # 16-2
HOUSTON, TX 77056

RESIDENT
1489 SHADY GROVE CIR
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

DRAKE CARLA DEE & DENNIS HARTLINE
1501 SHADY GROVE CIR
ROCKWALL, TX 75032

HUBERT ROBIN AND MONICA A
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

RESIDENT
1513 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

CROCHERON AVENUE LLC
18 BEVERLY ROAD
DOUGLSTON, NY 11363

WHITNEY SARDIS LLC
2001 MARCUS AVENUE SUITE N118
LAKE SUCCESS, NY 11042

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

RESIDENT
2700 SUMMER LEE
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2918 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2930 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2951 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

RESIDENT
3014 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3016 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3018 RIDGE RD
ROCKWALL, TX 75032

HAYWOOD CHARLES E AND LISA K
36 IONA DRIVE RD3 TAURANGA
NEW ZEALAND 3173,

KRUGER KARIN
400 CHAPARRAL LN
ROCKWALL, TX 75032

C. REAL ESTATE, LLC
5 TERRABELLA LANE
HEATH, TX 75032

AJ SQUARED LLC
5 TERRABELLA LN
HEATH, TX 75032

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

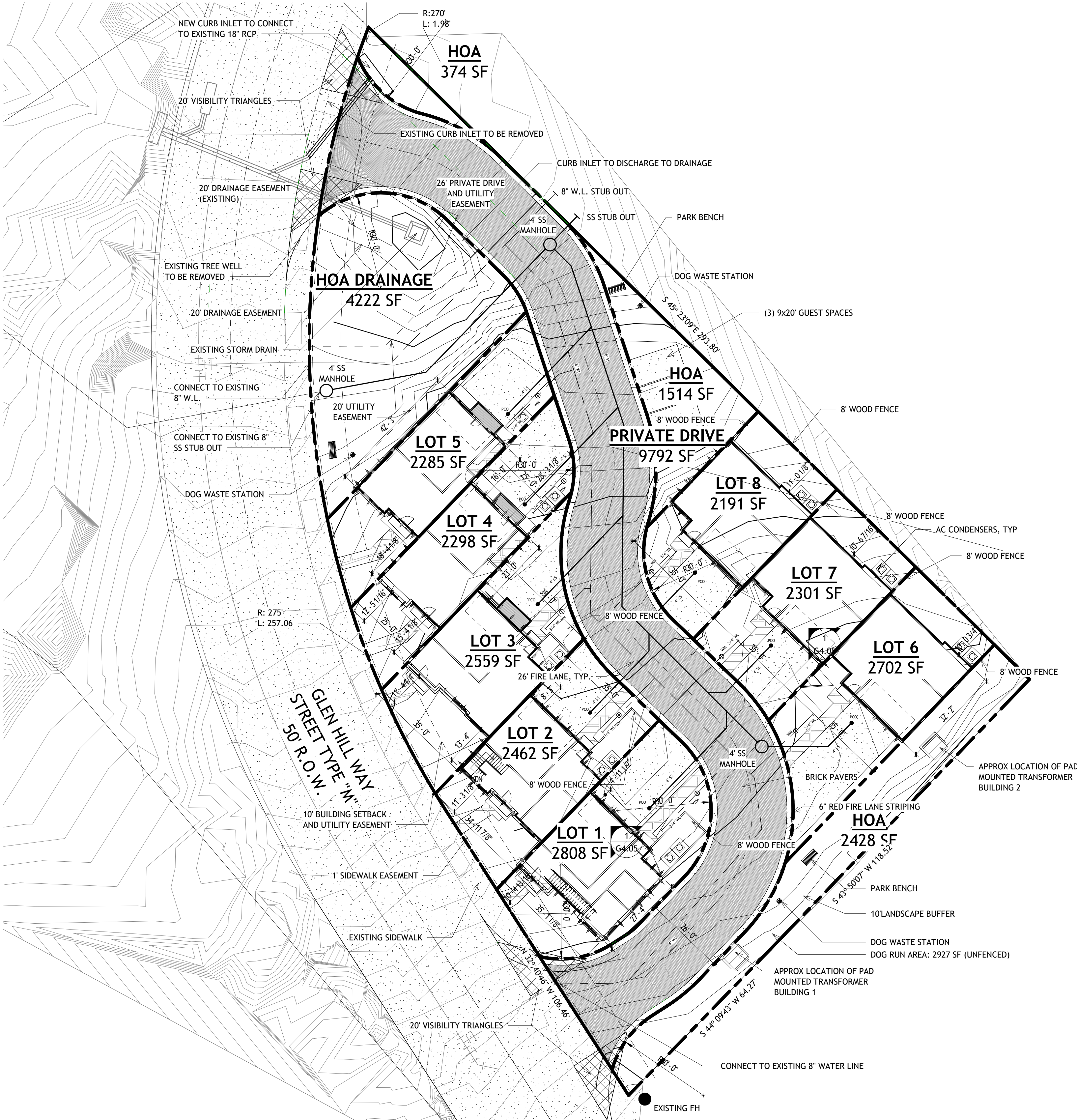
HP ROCKWALL 740 LTD
C/O GARY P HAMMER
7557 RAMBLER ROAD, SUITE 980
DALLAS, TX 75231

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

GLEN HILLS CEMETERY
C/O INEZ GIBSON 512 COOL MEADOW COURT
DESOTO, TX 75115

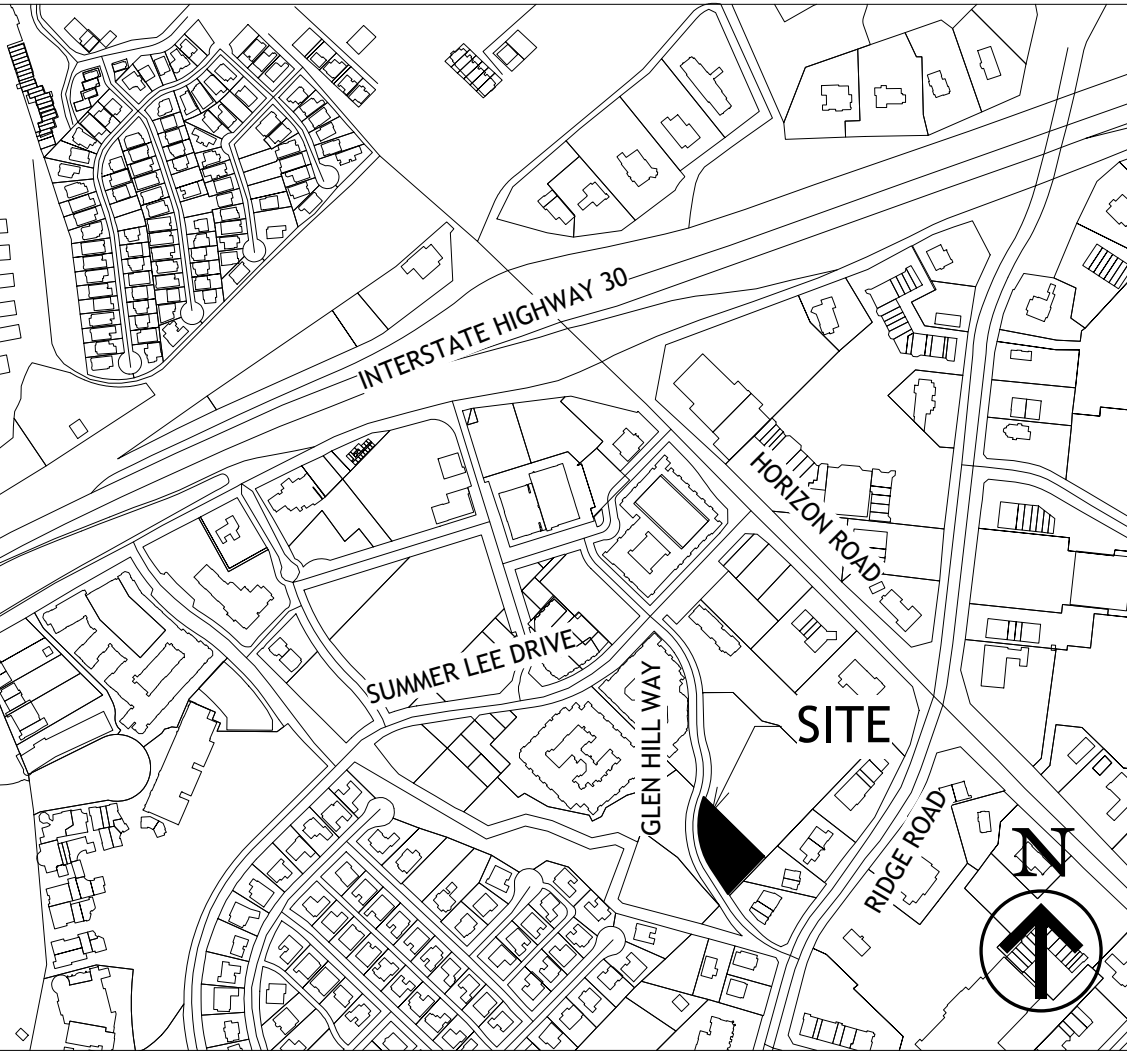
2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

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PO BOX 741209
HOUSTON, TX 77274



1 Site Plan Copy 1
1" = 20'-0"

VICINITY MAP



Property Schedule	
Name	Area
Total	37936 SF
PRIVATE DRIVE	9792 SF
LOT 5	2285 SF
LOT 4	2298 SF
LOT 3	2559 SF
LOT 2	2462 SF
LOT 6	2702 SF
LOT 7	2301 SF
LOT 8	2191 SF
HOA DRAINAGE	4222 SF
HOA	2428 SF
HOA	1514 SF
LOT 1	2808 SF
HOA	374 SF

- SITE PLAN GENERAL NOTES
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

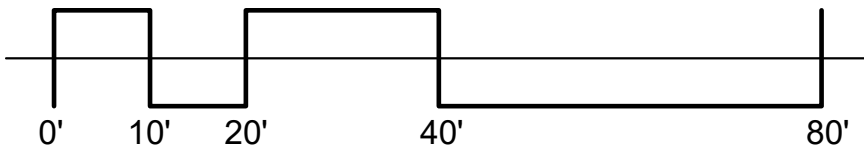
- LIFE SAFETY GENERAL NOTES
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

Site Data Summary Table	
General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441

Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

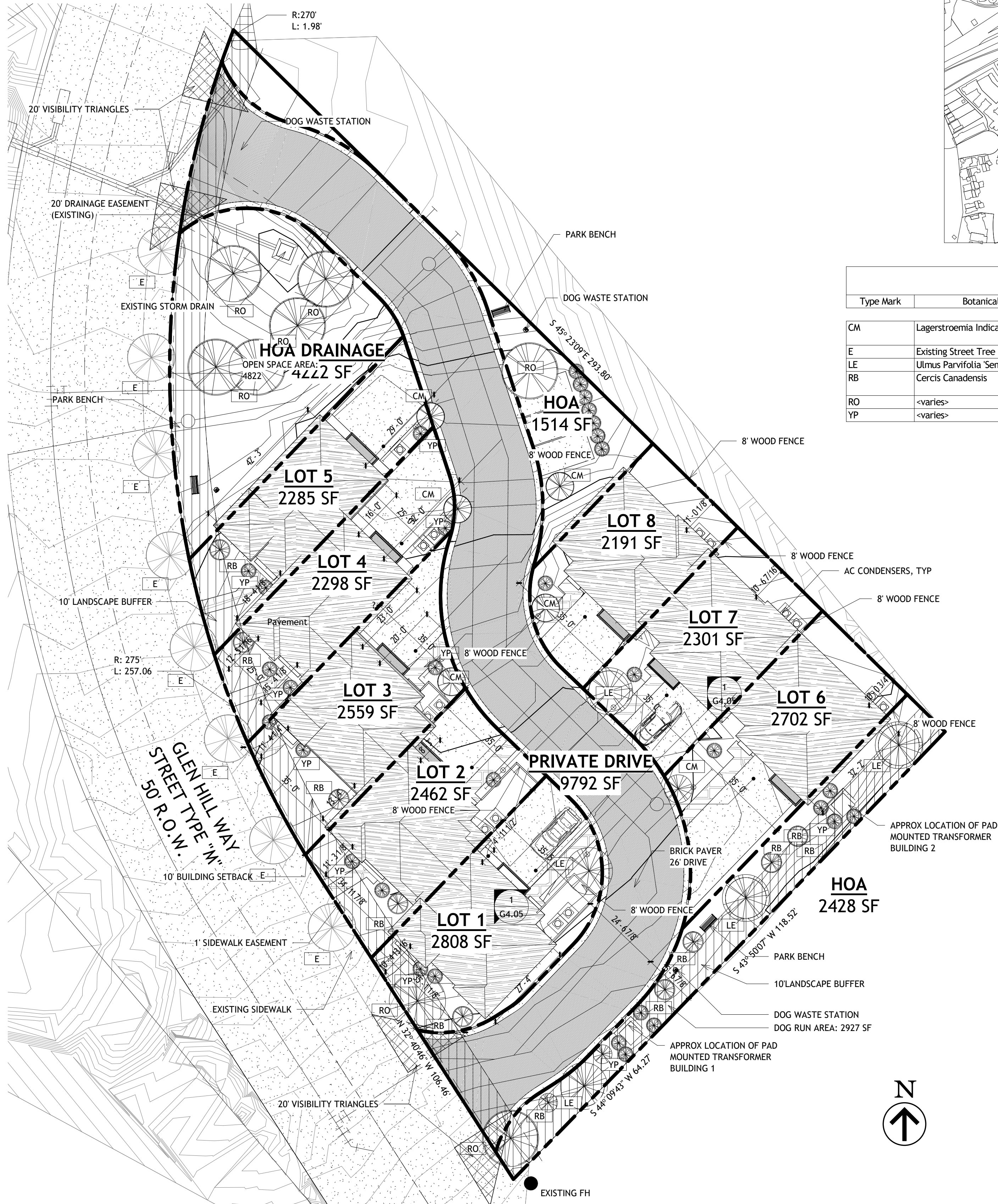
Zapa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.682.1435

PD Amendment Plan

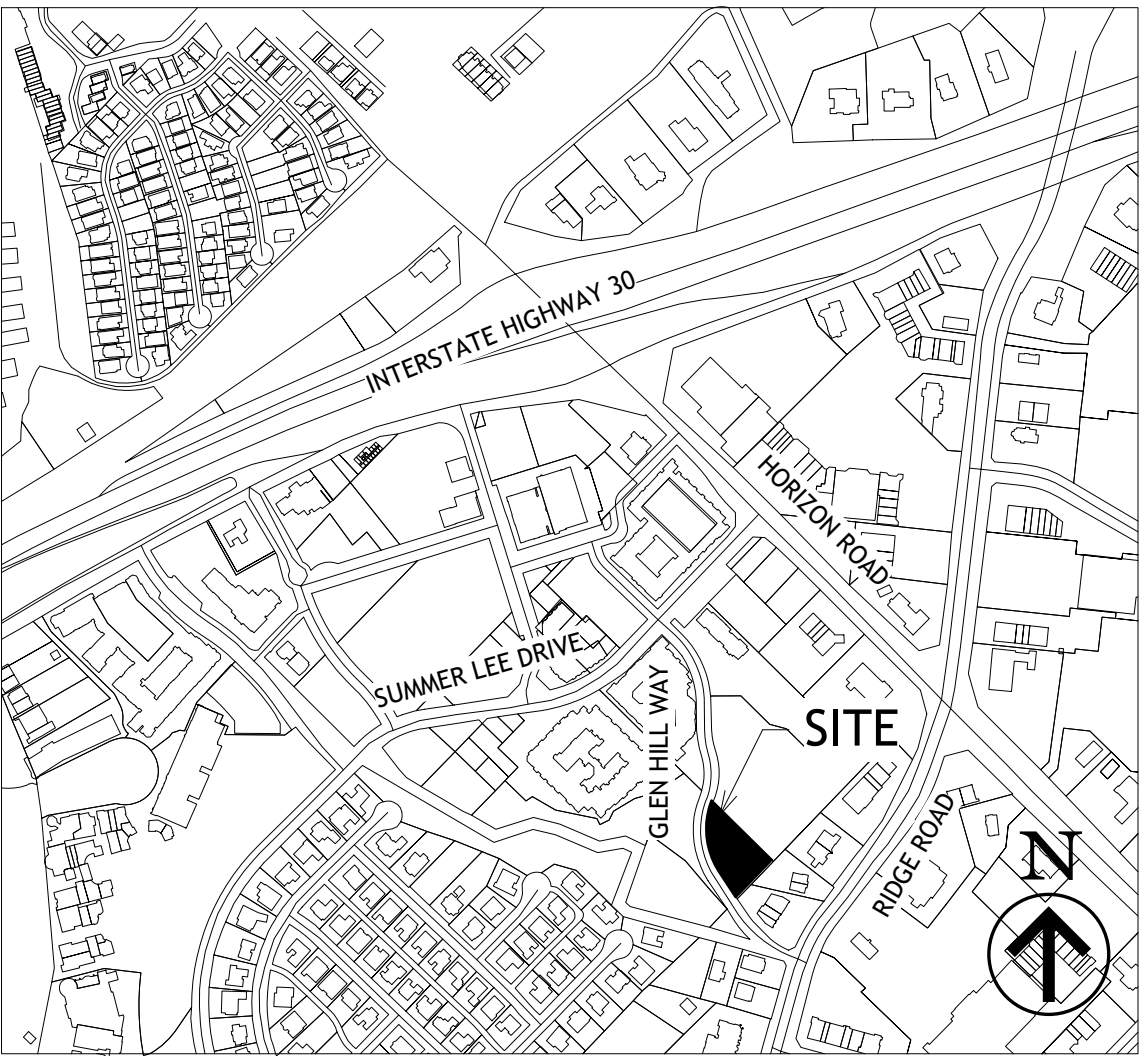
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Grape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4" Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TOT HE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY.
- ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

Site Data Summary Table

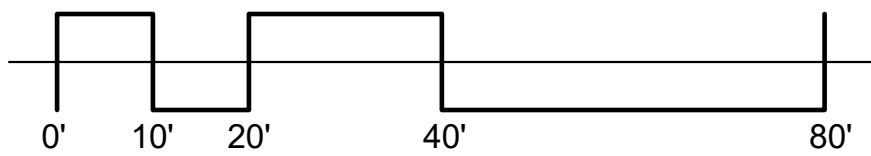
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100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

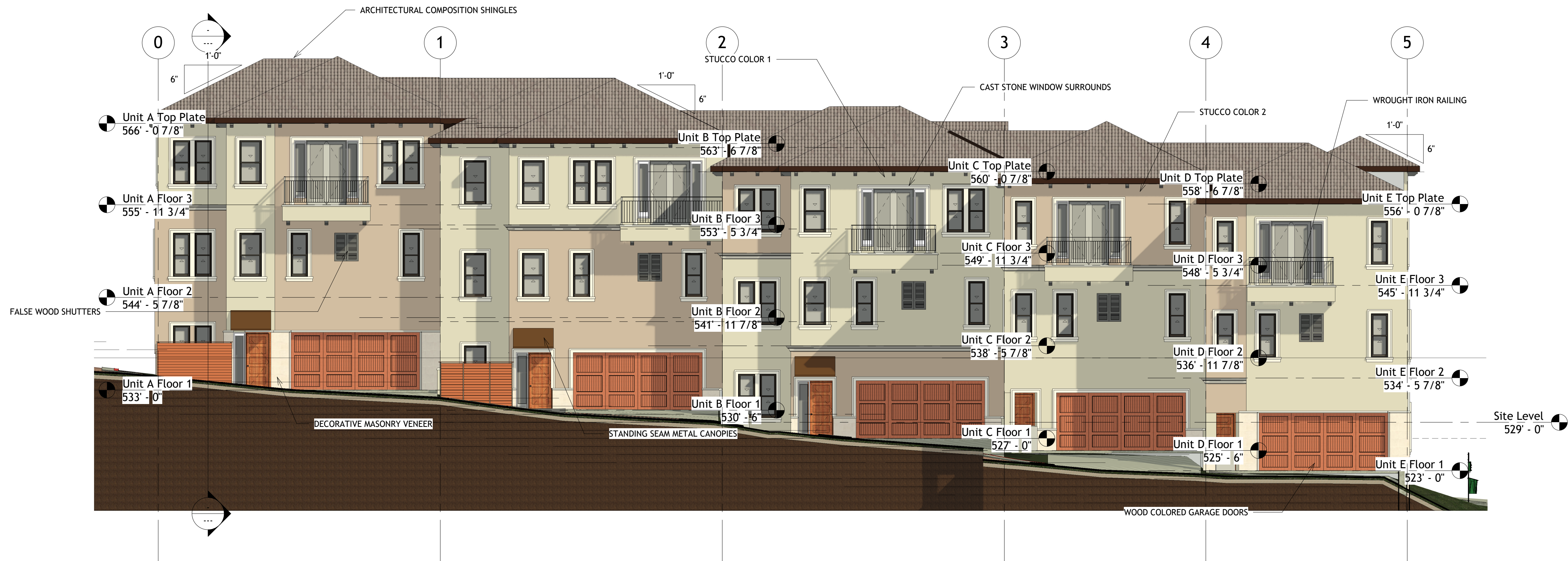
Zappa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.662.1435

Concept Landscape Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

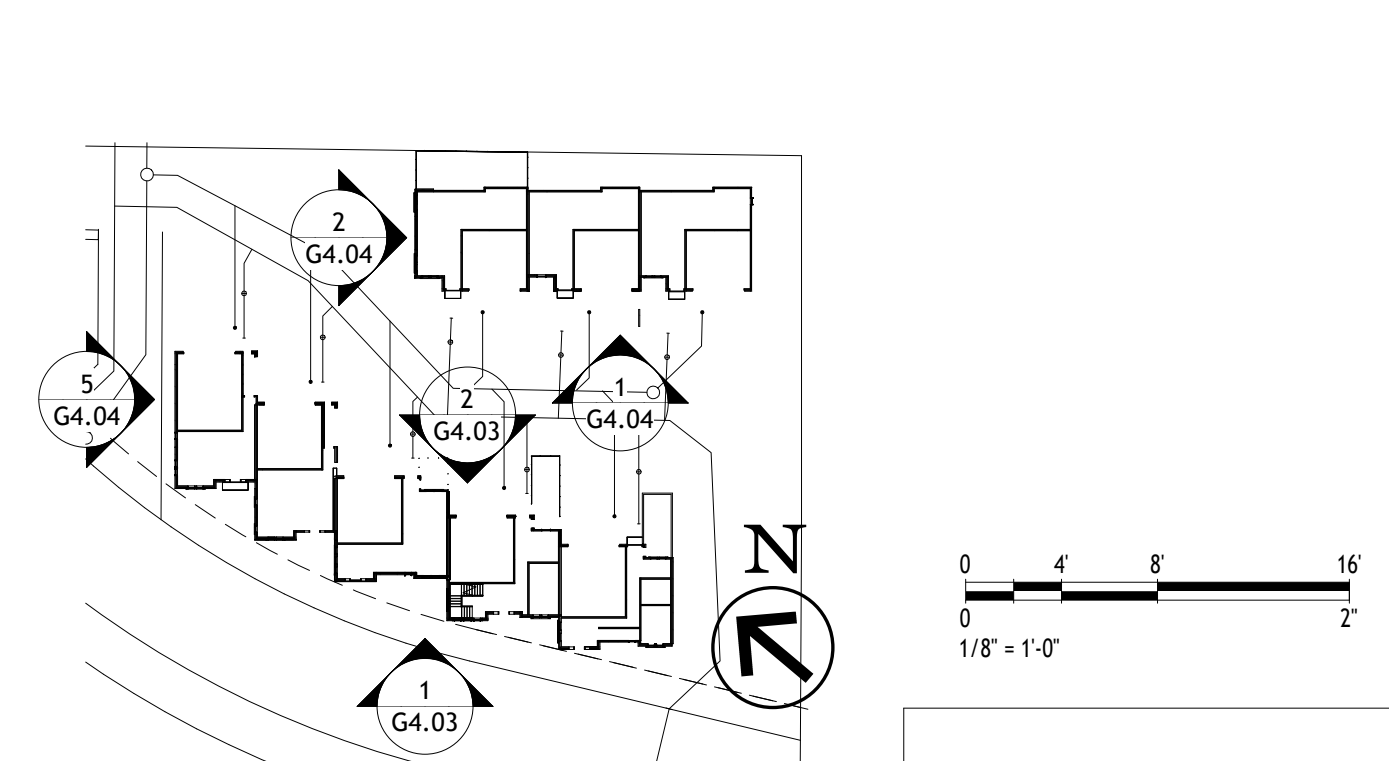
Prepared February 14, 2025



② Building 1 East Elevation
1/8" = 1'-0"



① Building 1 West Elevation
1/8" = 1'-0"



GREENLIGHT

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www.greenlightcompany

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100 N. Cottonwood Drive
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P: 214.6810.4335

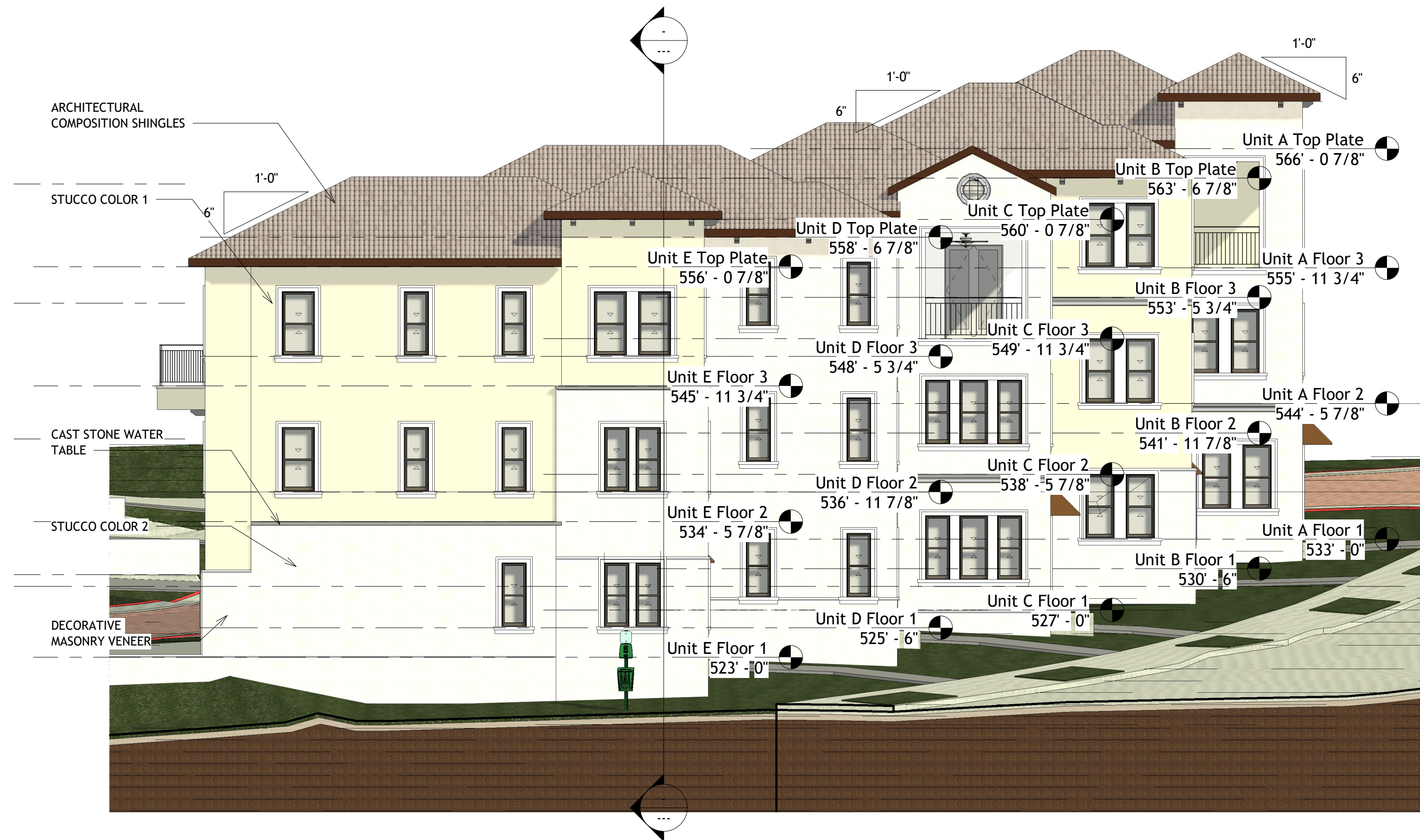
Owner:
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Color Elevations

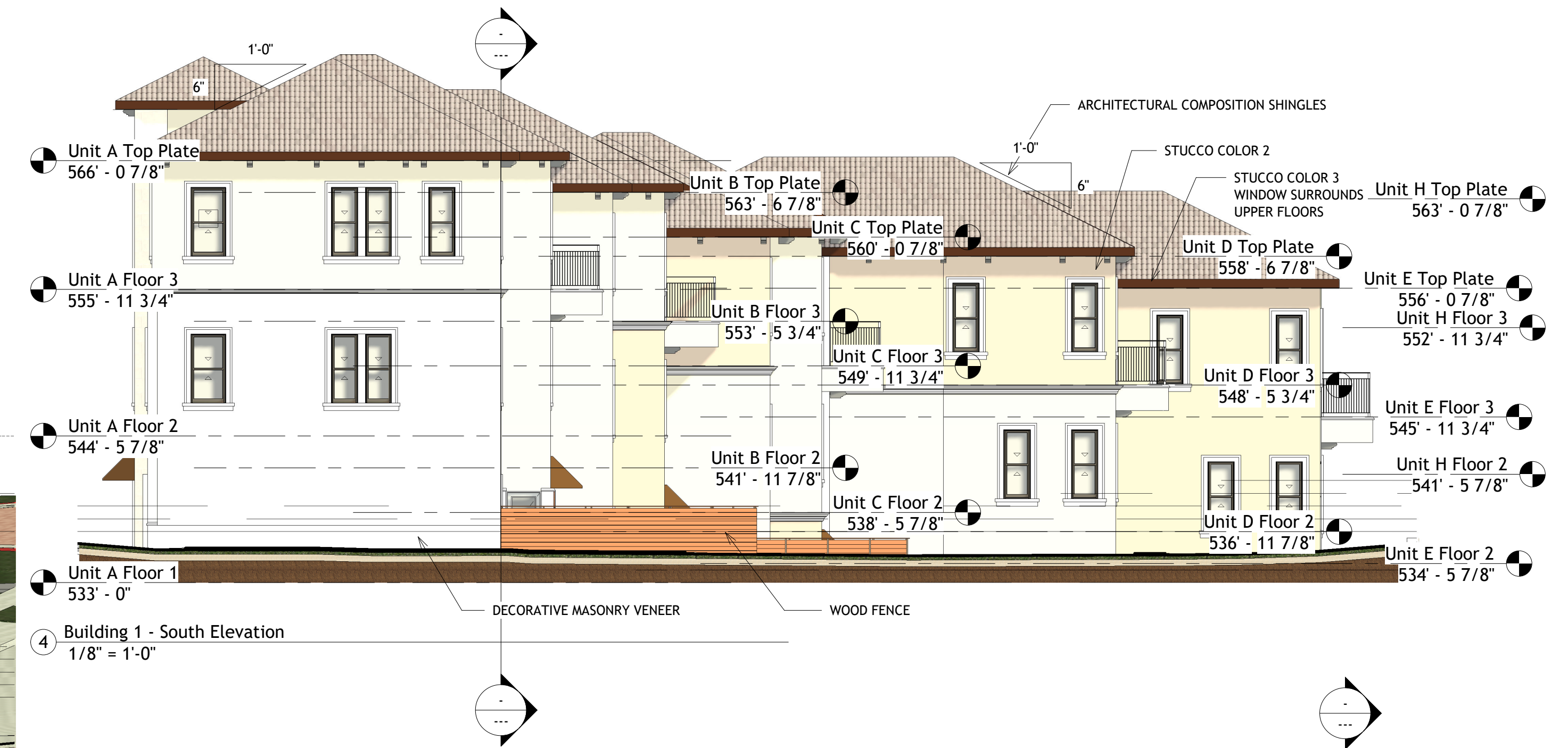
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Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

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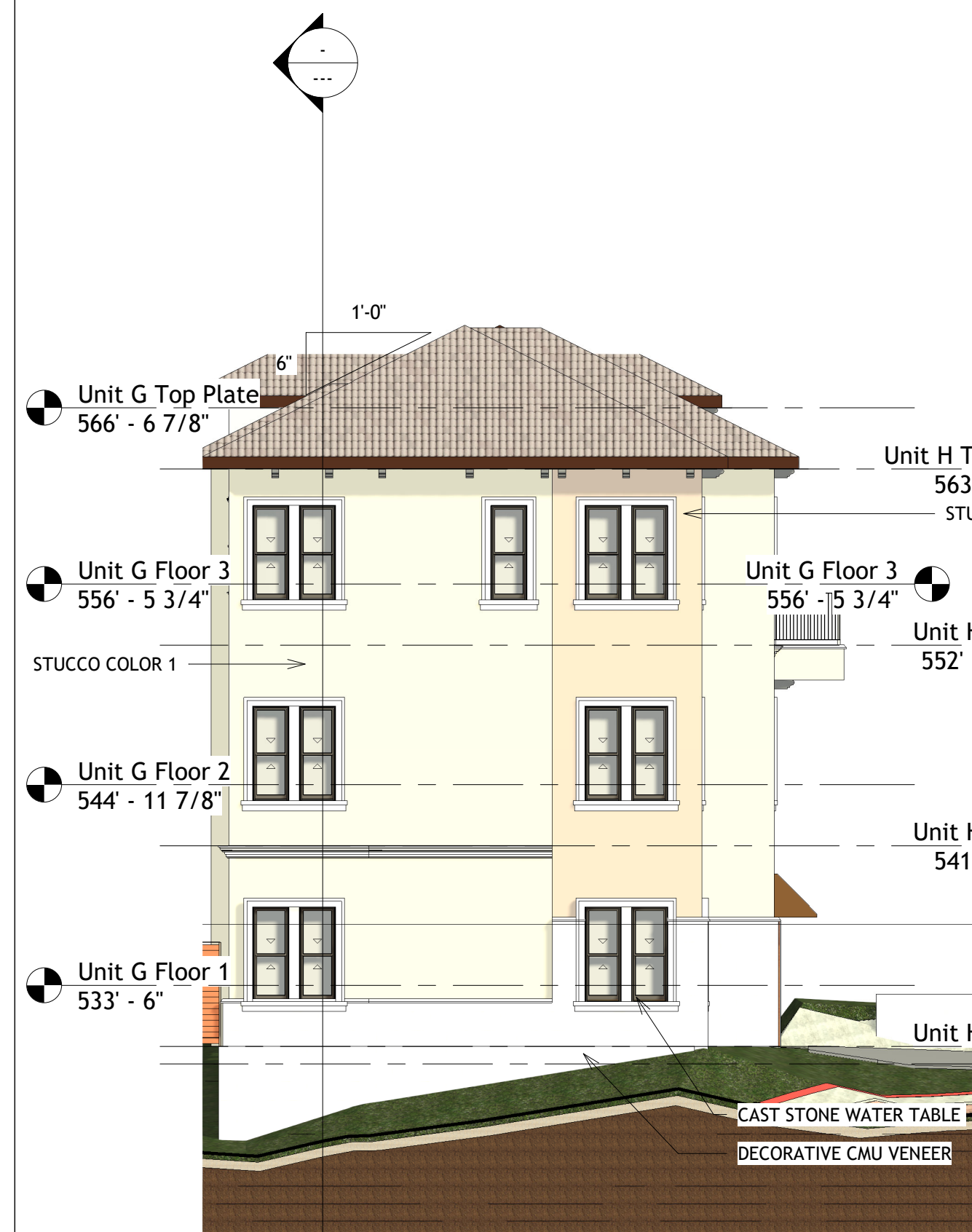
Prepared February 14, 2025



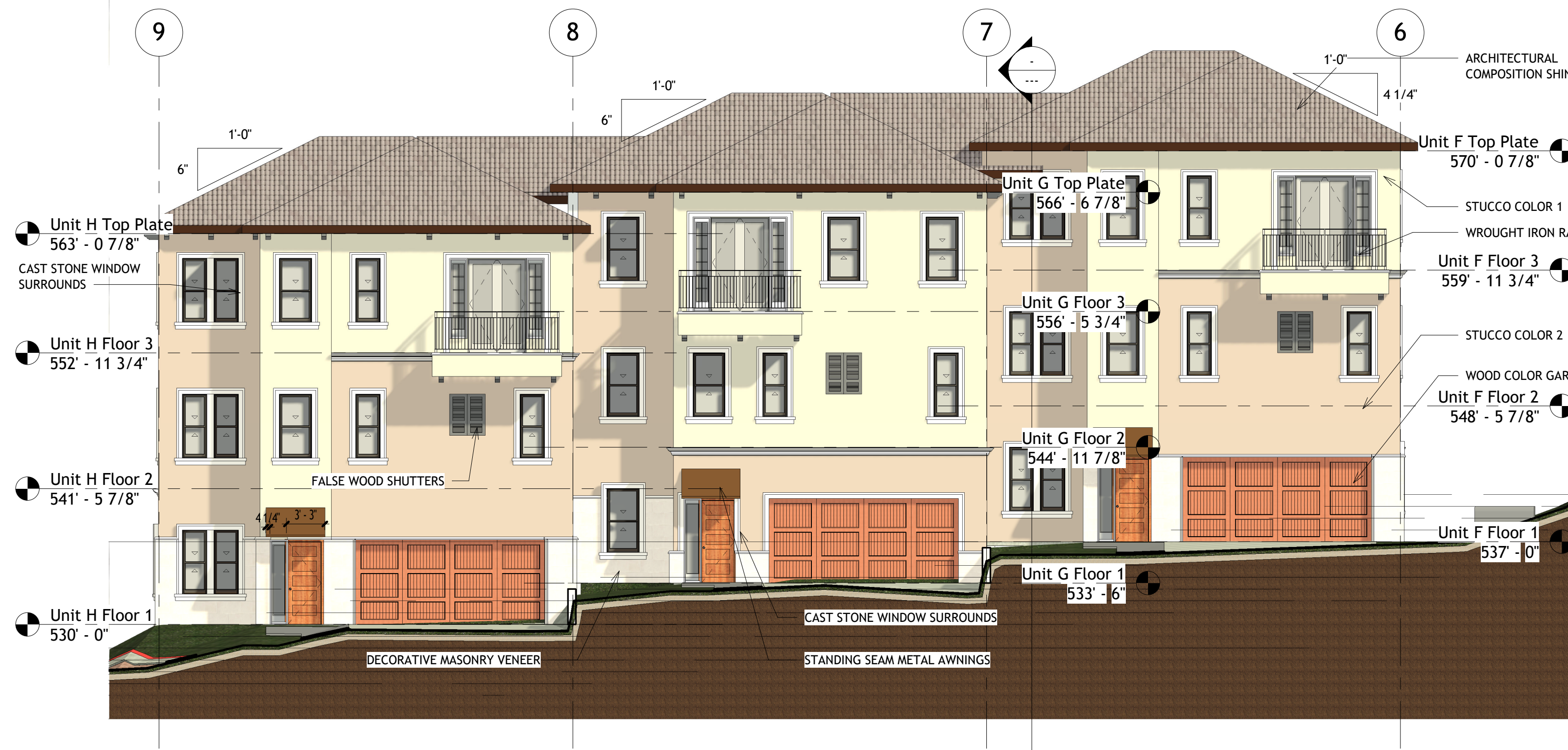
5 Building 1 North Elevation
1/8" = 1'-0"



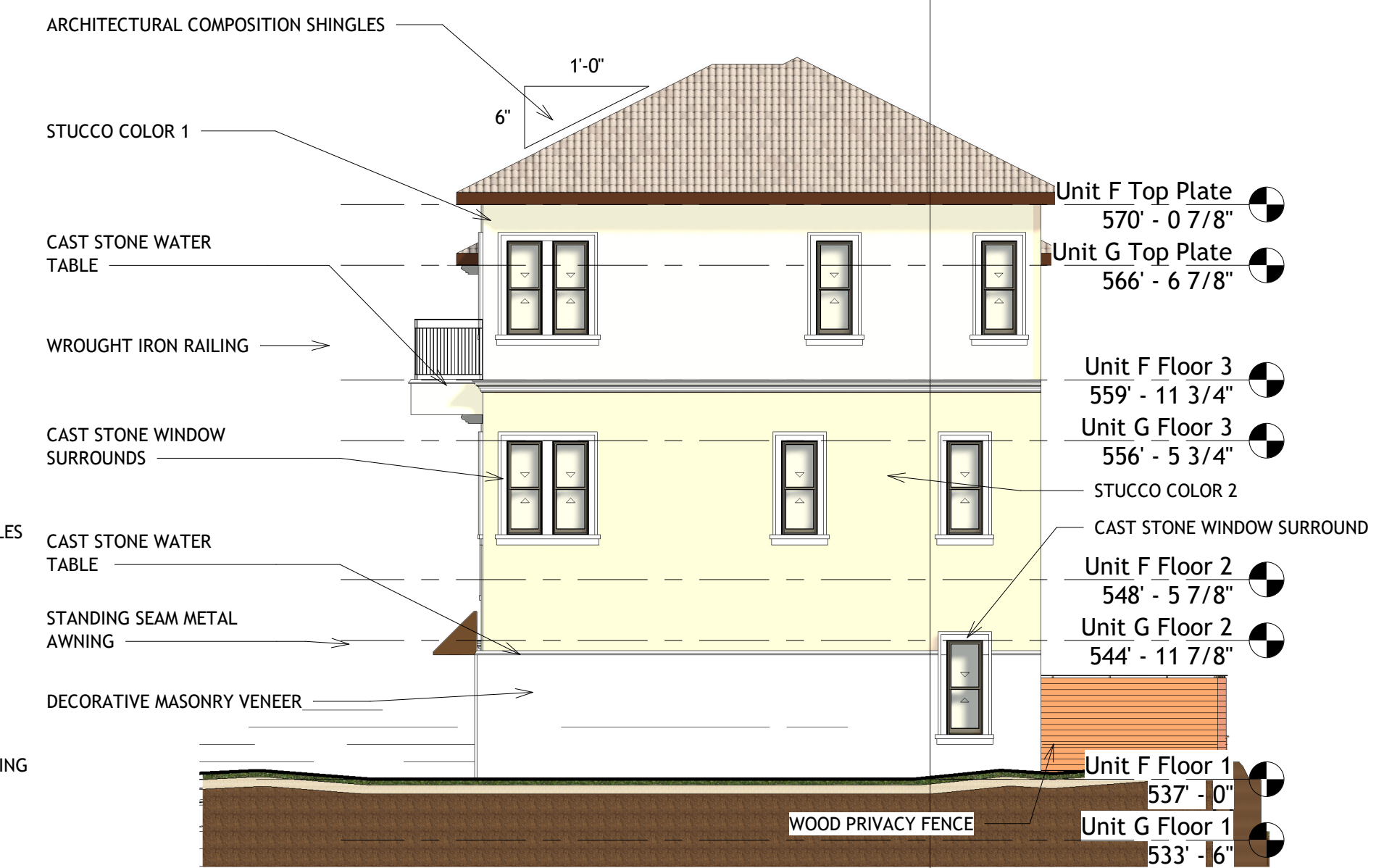
4 Building 1 - South Elevation
1/8" = 1'-0"



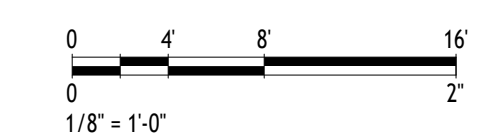
2 Building 2 North Elevation
1/8" = 1'-0"



1 Building 2 West Elevation
1/8" = 1'-0"



3 Building 2 South Elevation
1/8" = 1'-0"



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Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

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OVERALL VIEW



VIEW ALONG GLEN HILL WAY



INTERIOR ACCESS DRIVE

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Color Renderings

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
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Prepared February 14, 2025



VIEW FROM GLEN HILL WAY



INTERIOR ACCESS DRIVE

GREENLIGHT

STUDIO, LLC
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100 N. Cottonwood Drive
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Richardson, Texas 75080
v: 214.610.4335

Owner:

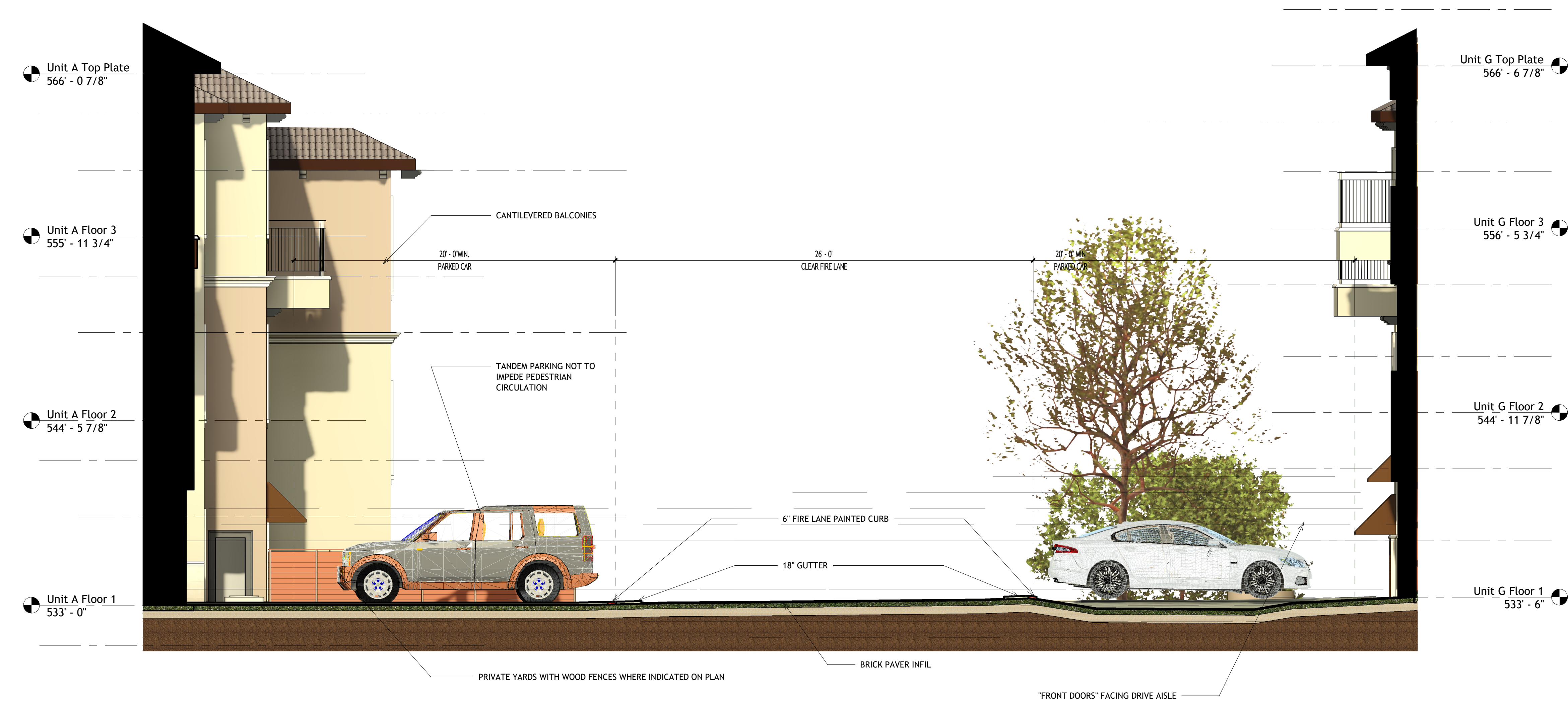
Zapa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.662.1435

Color Renderings

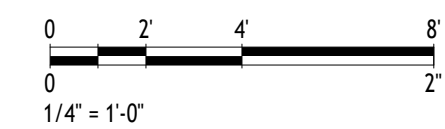
Rockwall Townhomes
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① Drive Aisle Section
1/4" = 1'-0"



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Owner:
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Richardson, Texas 75081
P: 972.662.1435

Drive Aisle Section

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: Z2025-011
PROJECT NAME: PD Development Plan for Rockwall Townhomes
SITE ADDRESS/LOCATIONS: Glen Hill Way

CASE CAPTION: Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	02/20/2025	Needs Review

02/20/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments).

I.1 This is a request for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, and northwest of the intersection of Glen Hill Way and Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 Planned Development District 32 (PD-32) only has seven (7) townhome units remaining for the District. Given this, as part of the PD Development Plan you are requesting the addition of one (1) townhome to the district.

I.4 Anti-Monotony. The front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least five (5) intervening homes of differing appearance. Identical building material blends and colors may not occur on adjacent (side by-side) properties. Homes are considered to differ in appearance if any three (3) elements are different:

- (a) The number of stories of the home.
- (b) The garage location/orientation on the home.
- (c) The roof type and layout of the home.
- (d) The articulation of the front façade of the home.

M.5 Based on comment I.4, the proposed townhomes do not meet the anti-monotony requirements. More specifically, adjacent townhomes use the same material blend and colors, and they do not vary in the number of stories or have different garage orientations

M.6 Planned Development District 32 (PD-32) provides an exhibit of a Mew street; however, dimensions are not provided. This is because the Mew must meet Engineering and Fire Department Standards. In this case, the Mew must be a minimum of 24-feet wide (i.e. minimum fire lane width) and have 30-foot radii (i.e. minimum radius for buildings over

30-feet in height). Included with a Mew street is an enhanced pedestrian walkway, which shall include enhanced paving, landscaping, and lighting. In this case, you appear to meet the minimum width and fire radii requirements, and do not provide the enhanced pedestrian walkway elements.

M.7 Within Planned Development District 32 (PD-32) the subject property is located in the Residential Sub-District. The Residential Sub-District has its own specific requirements and guidelines. The following comments detail how the proposed townhomes vary from these requirements and guidelines. Staff should note that as part of the PD Development Plan process you may vary these requirements, but staff will be obligated to inform the Planning and Zoning Commission and City Council how the plan varies.

- (1) A minimum of 65% if the front façade must be at the build line. In this case, given the curved street the lots do not have a square frontage, which makes this a difficult standard to meet and is not an unreasonable thing to vary from.
- (2) All lots shall be a minimum of 30' x 90'. In this case, not all of the lots are a minimum of 30-feet wide or 90-feet deep.
- (3) Garages must be rear loaded from an alley. In this case, the back building utilizes front entry garages.
- (4) Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition. In this case, the there does not appear to be a dominant architectural feature near the center of the buildings.

M.8 In addition to the Planned Development District 32 (PD-32) Ordinance that contains the form-based code, there is a separate resolution that contains the PD-32 Design Guidelines. The following comments relate to the proposed plans conformance to these guidelines.

- (1) Standard brick masonry units, non-standard size brick, native natural stone masonry shall be used on 60% or more on each façade. The proposed elevations do not meet this guideline.
- (2) Secondary (i.e. three-part stucco) materials shall be used on 35% or more of each façade. The proposed elevations meet this guideline; however, the amount of stucco proposed is too much to meet the other material guidelines contained in the PD.
- (3) By indicating "Decorative Masonry" you will be required to utilize natural/quarried stone or brick. In addition, CMU does not meet the material guidelines.

M.10 Please review the attached draft ordinance prior to the February 25, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by March 4, 2025.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 11, 2025 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 25, 2025.

I.12 The projected City Council meeting dates for this case will be March 17, 2025 (1st Reading) and April 7, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved w/ Comments

- 02/21/2025: 1. No trees within 5' of the water and sewer line
2. With water and sewer being ran along roadway, will have to have a minimum 30' utility easement
3. Utility easement a minimum of 10' wide required on both sides of utilities.
4. 20' minimum
5. Must be concrete meeting Fire Lane standards. Stamped and integral stain concrete...no pavers. Is the "brick pavers" note indicating the entire private road or theto be pavers?
- Also no pavers/decorative paving in utility easements.
6. Move trees away from water and sewer line

- General Comments:
- General Items:
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.

- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground.
- No structures or fences within easements.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Drainage Items:

- Glen Hill Way as-built flow patterns must be maintained.
- Drainage may not be increased towards any direction.
- Drainage calculations are based on property zoning, not land area use.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed
- Lot to Lot drainage is not allowed.
- Lakefront Trail Storm Sewer Pro-Rata must be paid (\$7,226.59/acre)

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Infrastructure study is required. Review fees apply.
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There are two existing 8" water main stub outs located along Gen Hill Way available for use, but it must be looped.
- There is an existing 8" sewer main located near the northern property line available for use, but will need to be extended in an easement along Glen Hill Way to the southern homes.
- Public sewer to be 8" minimum.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- All utility crossings must be by dry bore and steel encased.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- 10' utility easement required along all ROW.
- Possibly need additional fire hydrants
- All domestic water services are 1" with City Standard size meters (5/8", 1", 1 1/2", or 2")...No 3/4" services
- Sewer cleanouts are not to be in driveways and must be at the edge of private road.

Paving Items:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- City driveway spacing requirements must be met.
- All parking to be 20'x9' for 90 degree parking or 22'x9' for parallel.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved

02/19/2025: Not reviewed for fire code compliance.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved

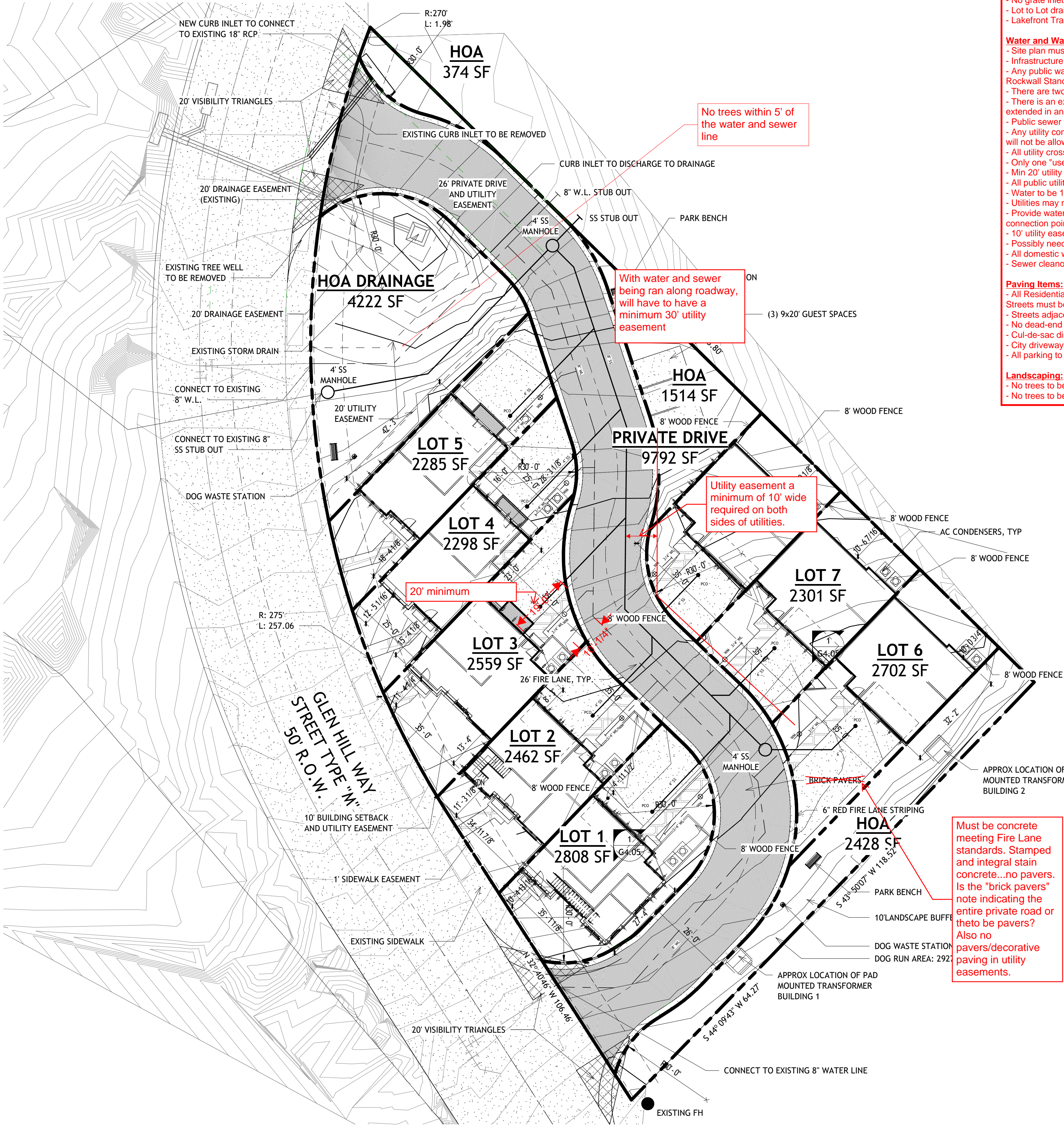
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved

No Comments



- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
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 - Cul-de-sac dimensions must meet City of Rockwall Standards.
 - City driveway spacing requirements must be met.
 - All parking to be 20'x9' for 90 degree parking or 22'x9' for parallel.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

- SITE PLAN GENERAL NOTES**
1. ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 2. RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 3. ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 4. ALL UTILITIES MUST BE UNDERGROUND.
 5. ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.
- DRAINAGE NOTES**
1. GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 2. PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.
- WATER AND WASTEWATER NOTES**
1. ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 2. ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 3. NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 4. NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 5. NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.
- LIFE SAFETY GENERAL NOTES**
1. EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 2. BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SINKLER SYSTEMS.

Must be concrete meeting Fire Lane standards. Stamped and integral stain concrete...no pavers. Is the "brick pavers" note indicating the entire private road or theto be pavers? Also no pavers/decorative paving in utility easements.

GREENLIGHT

STUDIO, LLC
www.greenlight-company

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

Zappa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.682.1435

Site Data Summary Table

General Site Data

Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

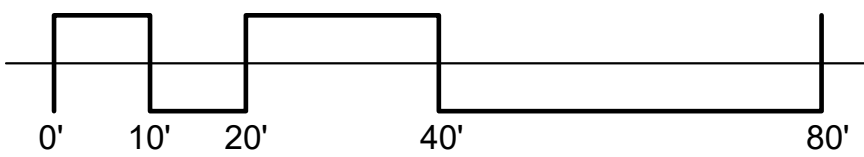
Parking

Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area

Open Space Required

Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



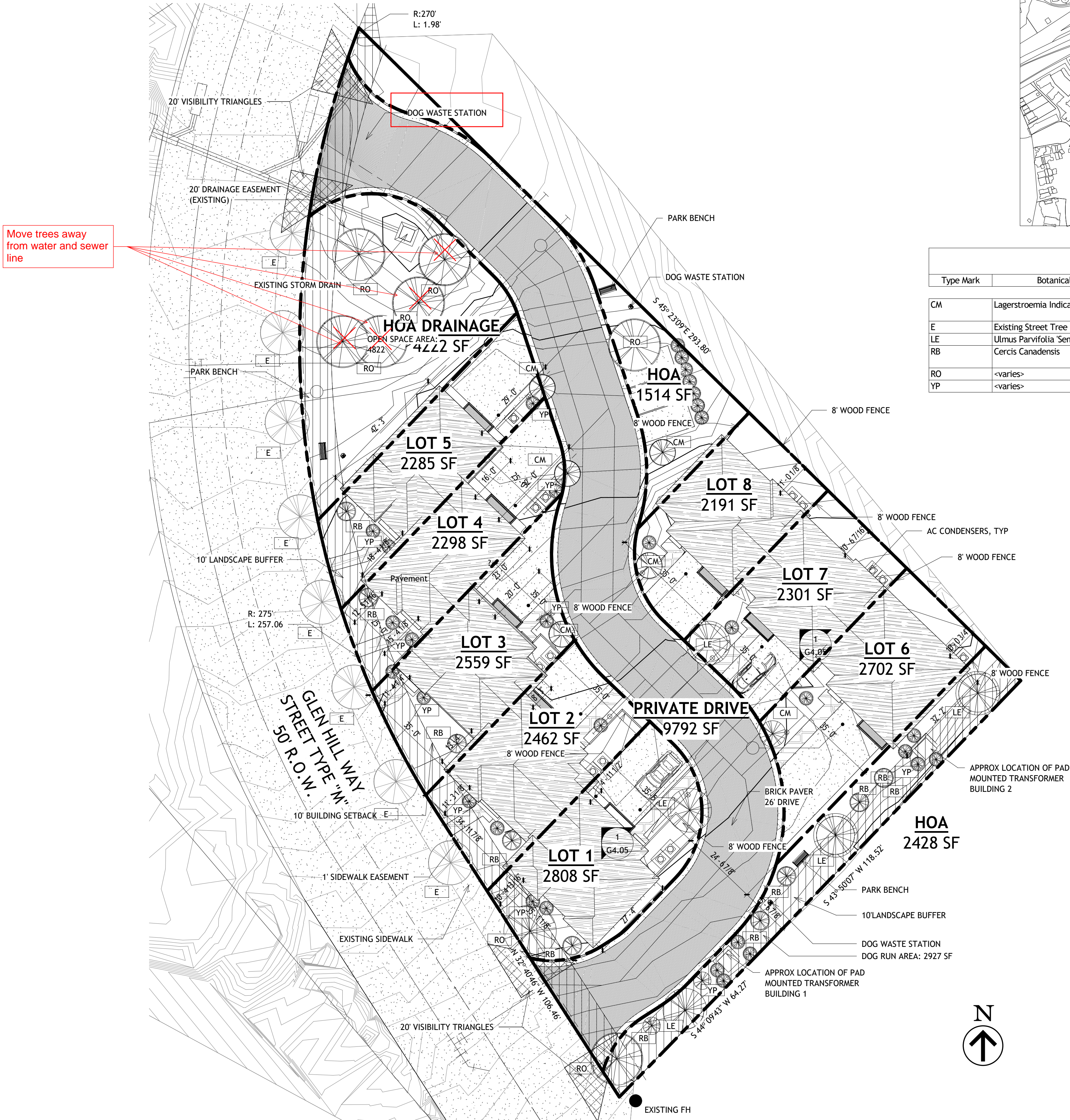
PD Amendment Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

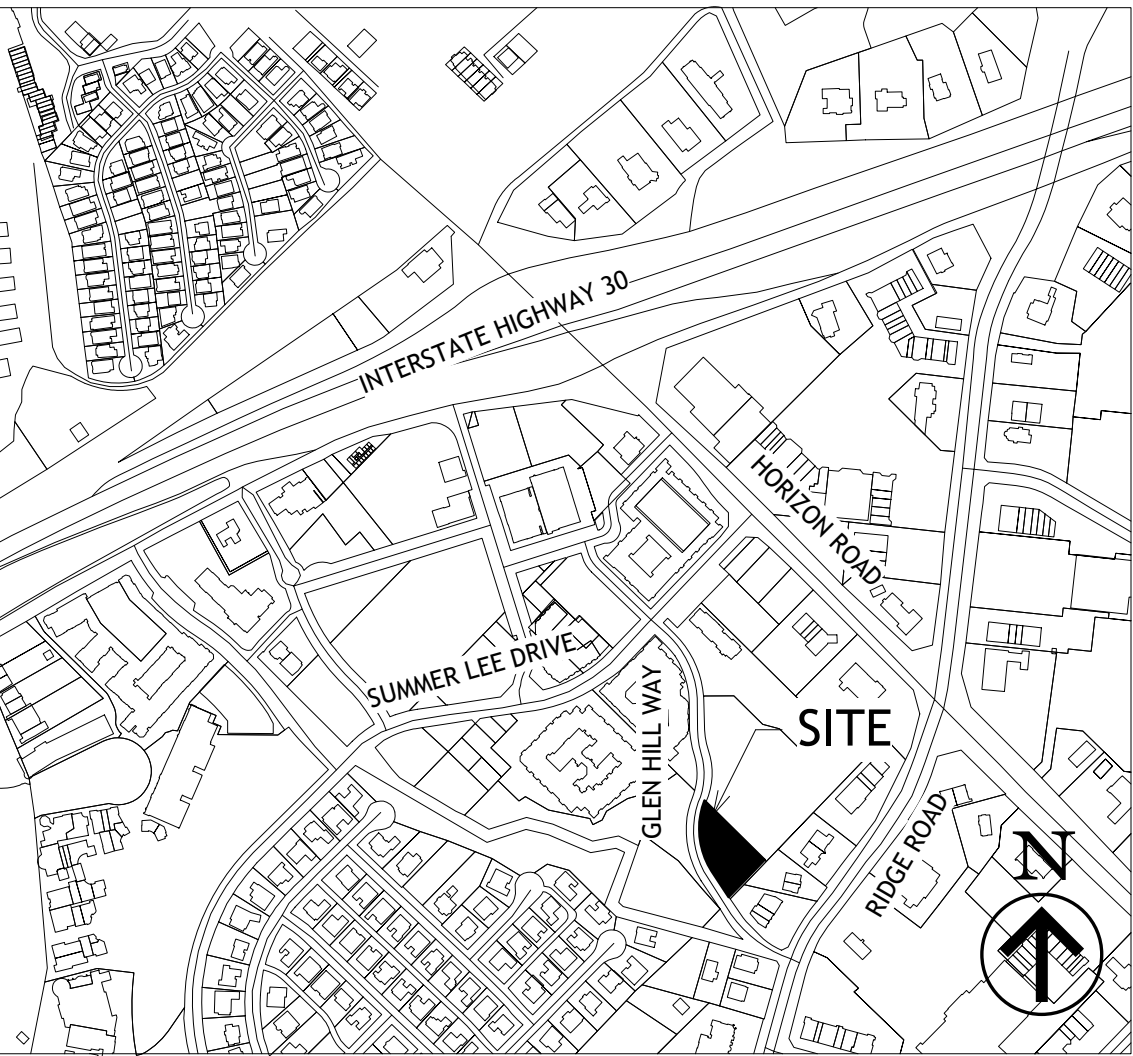
City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025

City of Rockwall Case Number: _____



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Grape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4" Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TOT HE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY.
- ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

Site Data Summary Table

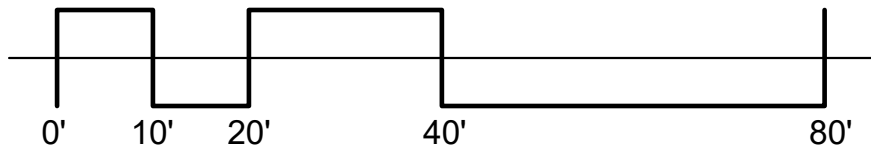
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Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Concept Landscape Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☒ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3** BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential Subdistrict**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attached**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **13**

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **ZAPA Investmants LLC**

☒ APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St.**

ADDRESS **100 N. Cottonwood Drive
Suite 104**

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE **972.682.1435**

PHONE **214.810.4535**

E-MAIL **MZahm@zconstructors.com**

E-MAIL **tyler@gldevco.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt D. Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF December, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

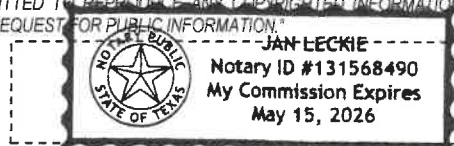
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF December, 2024.

OWNER'S SIGNATURE

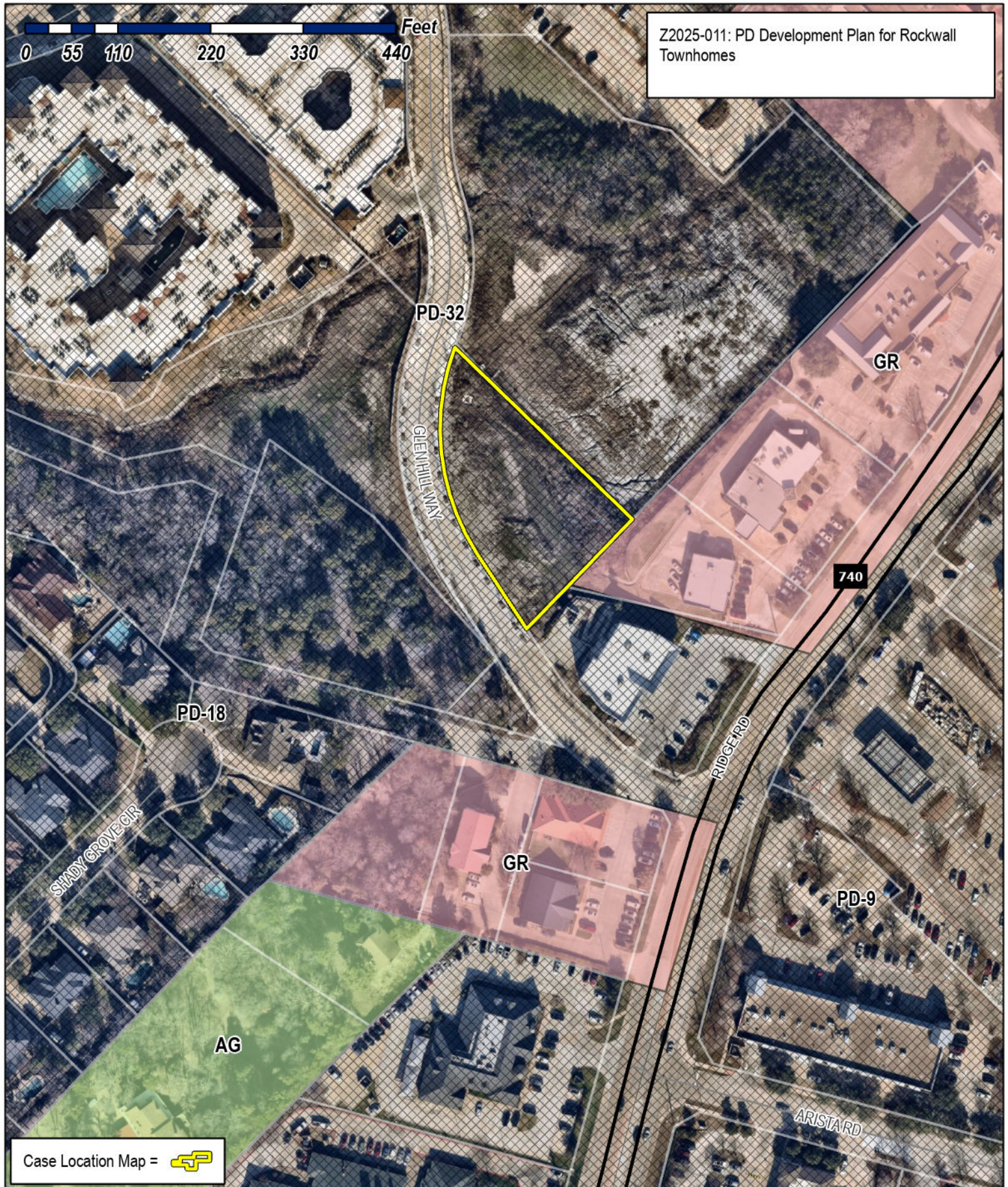
Matt D. Zahm

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie



MY COMMISSION EXPIRES 05/15/2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program {Z2025-011}
Date: Thursday, February 20, 2025 3:31:43 PM
Attachments: [Public Notice \(02.18.2025\).pdf](#)
[HOA Map \(02.20.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, February 21, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

Thank you,

Melanie Zavala

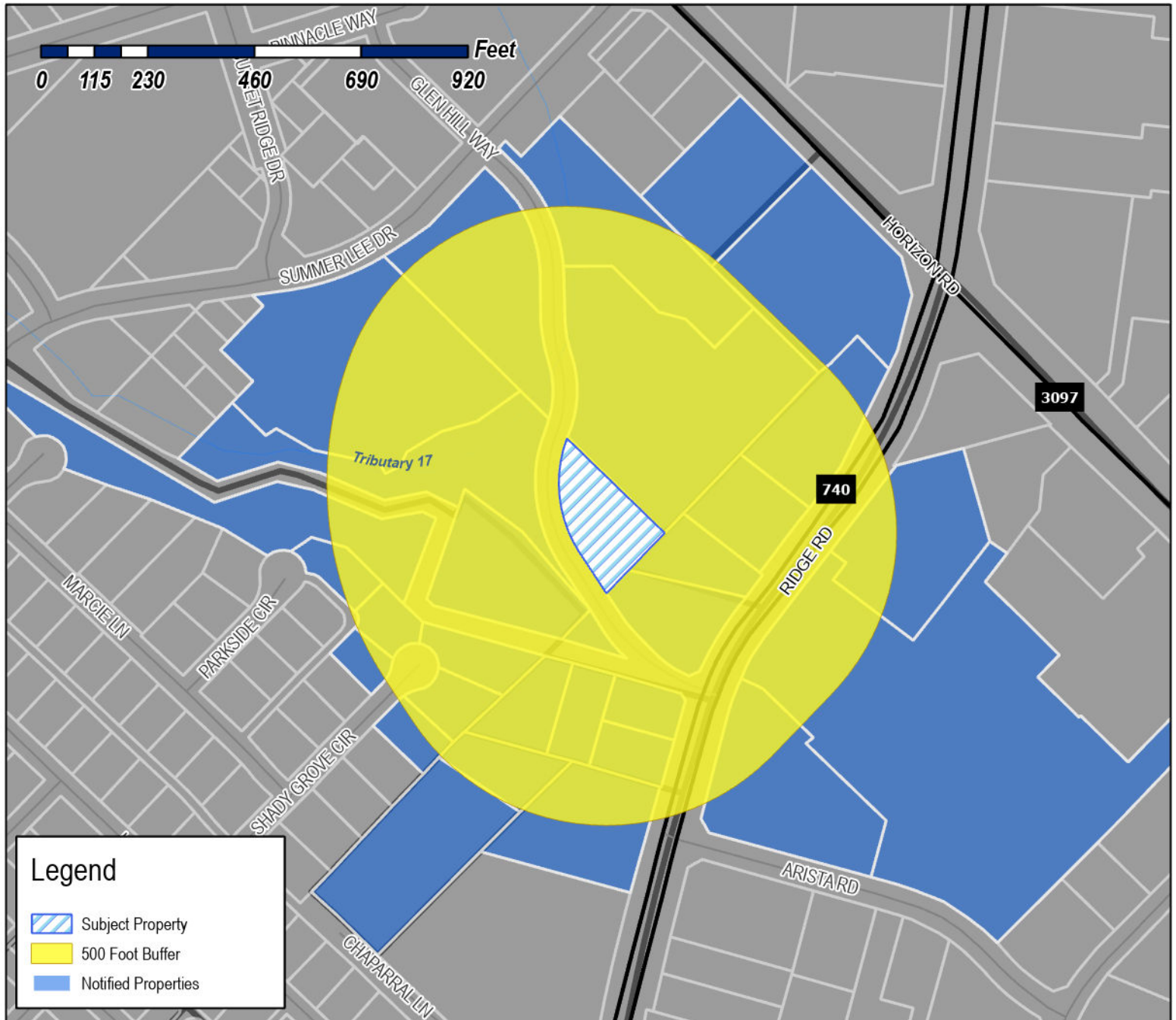
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/21/2025

For Questions on this Case Call: (972) 771-7745



KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

JAY & MALISHA LLC
1260 HERON LAKES CIR
MOBILE, AL 36693

NATIONAL TRANSFER SERVICES, LLC
1360 POST OAK BLVD STE 100 # 16-2
HOUSTON, TX 77056

RESIDENT
1489 SHADY GROVE CIR
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

DRAKE CARLA DEE & DENNIS HARTLINE
1501 SHADY GROVE CIR
ROCKWALL, TX 75032

HUBERT ROBIN AND MONICA A
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

RESIDENT
1513 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

CROCHERON AVENUE LLC
18 BEVERLY ROAD
DOUGLSTON, NY 11363

WHITNEY SARDIS LLC
2001 MARCUS AVENUE SUITE N118
LAKE SUCCESS, NY 11042

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

RESIDENT
2700 SUMMER LEE
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2918 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2930 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2951 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

RESIDENT
3014 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3016 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3018 RIDGE RD
ROCKWALL, TX 75032

HAYWOOD CHARLES E AND LISA K
36 IONA DRIVE RD3 TAURANGA
NEW ZEALAND 3173,

KRUGER KARIN
400 CHAPARRAL LN
ROCKWALL, TX 75032

C. REAL ESTATE, LLC
5 TERRABELLA LANE
HEATH, TX 75032

AJ SQUARED LLC
5 TERRABELLA LN
HEATH, TX 75032

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

HP ROCKWALL 740 LTD
C/O GARY P HAMMER
7557 RAMBLER ROAD, SUITE 980
DALLAS, TX 75231

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

GLEN HILLS CEMETERY
C/O INEZ GIBSON 512 COOL MEADOW COURT
DESOTO, TX 75115

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

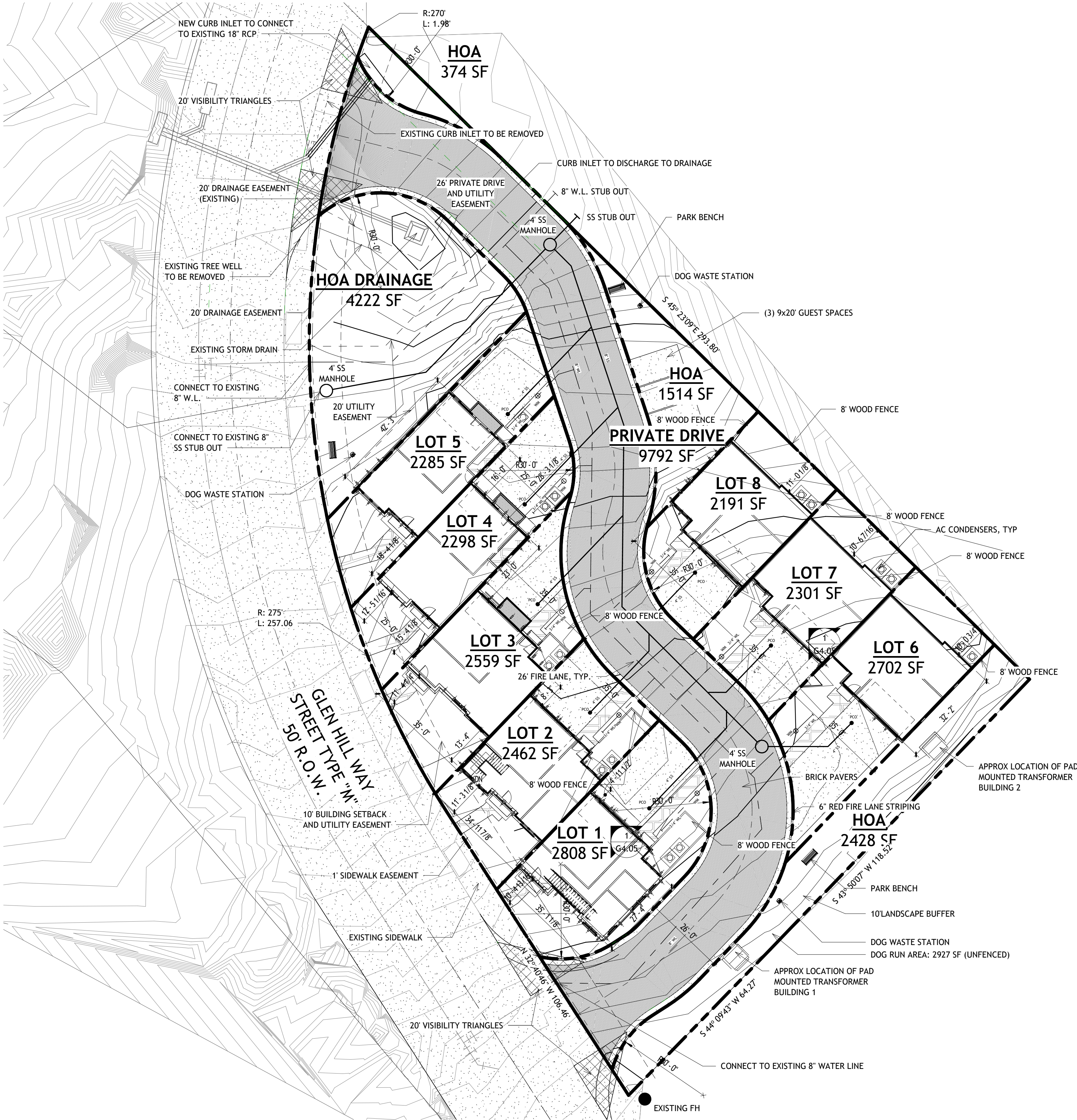
☐ I am opposed to the request for the reasons listed below.

Name:

Address:

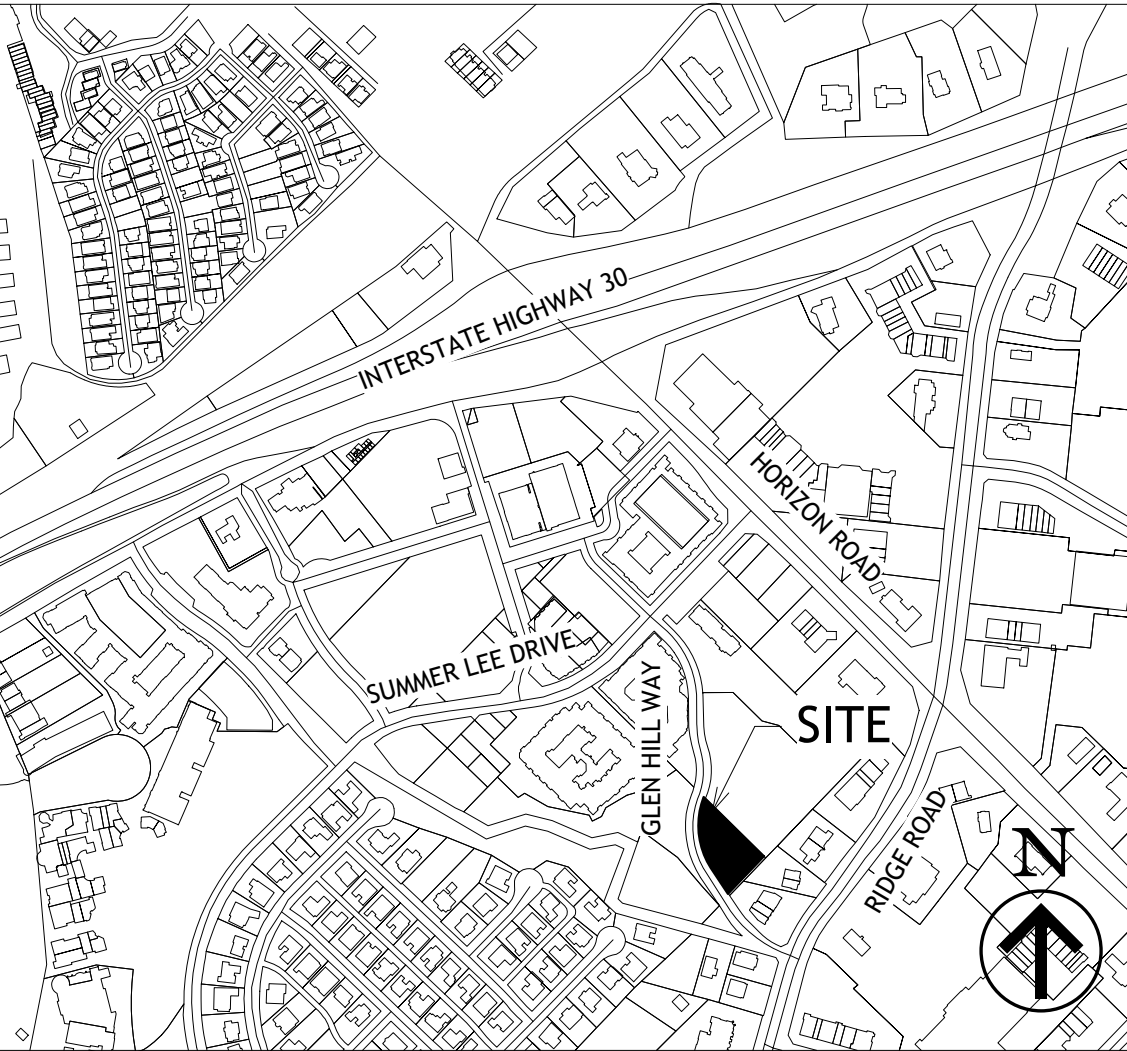
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



N
↑
1 Site Plan Copy 1
1" = 20'-0"

VICINITY MAP



Property Schedule	
Name	Area
Total	37936 SF
PRIVATE DRIVE	9792 SF
LOT 5	2285 SF
LOT 4	2298 SF
LOT 3	2559 SF
LOT 2	2462 SF
LOT 6	2702 SF
LOT 7	2301 SF
LOT 8	2191 SF
HOA DRAINAGE	4222 SF
HOA	2428 SF
HOA	1514 SF
LOT 1	2808 SF
HOA	374 SF

- SITE PLAN GENERAL NOTES
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

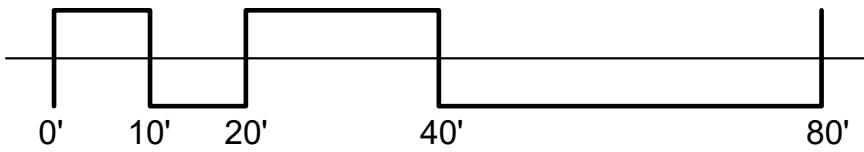
- WATER AND WASTEWATER NOTES
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

- LIFE SAFETY GENERAL NOTES
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

Site Data Summary Table	
General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

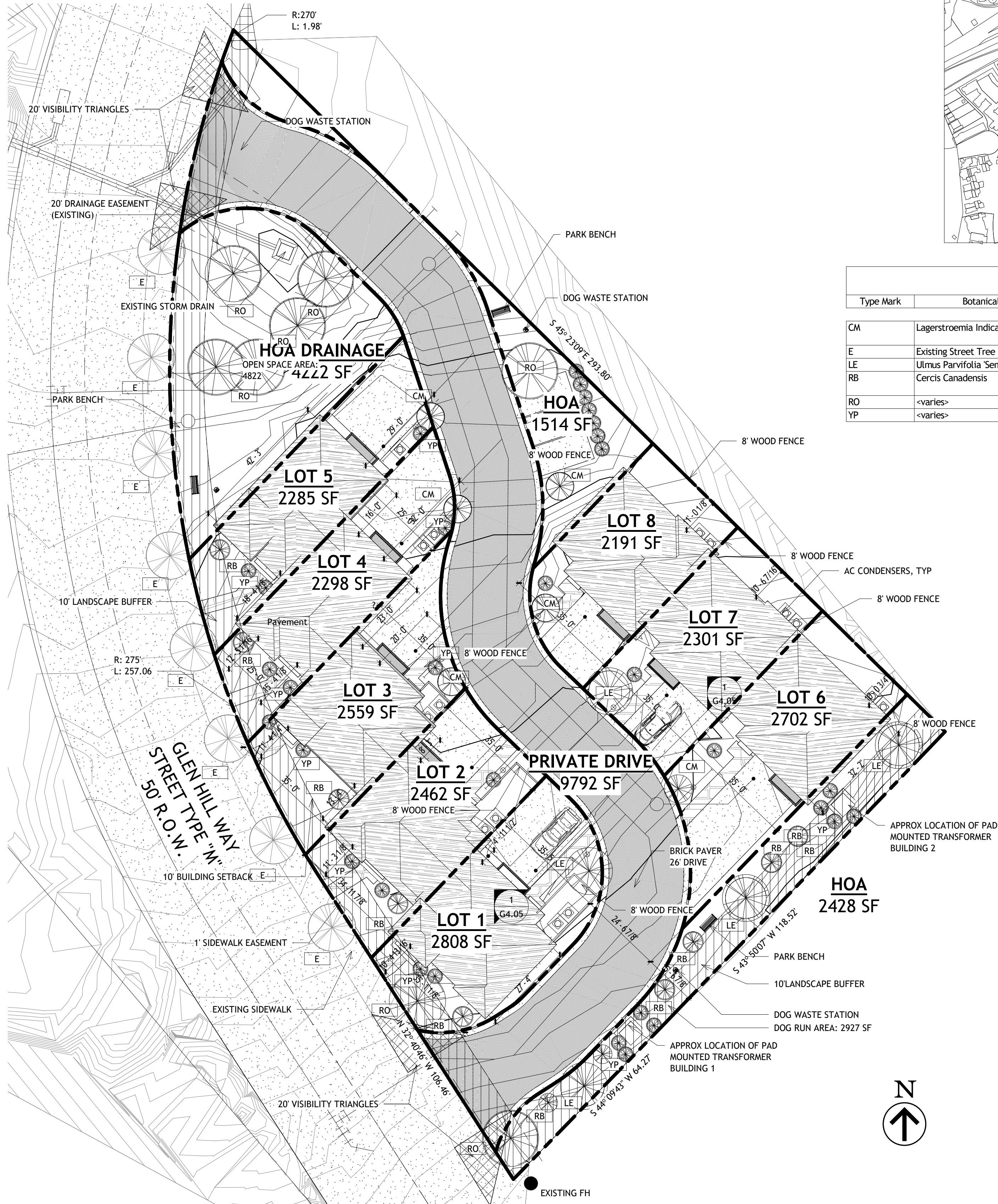
Zapa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.682.1435

PD Amendment Plan

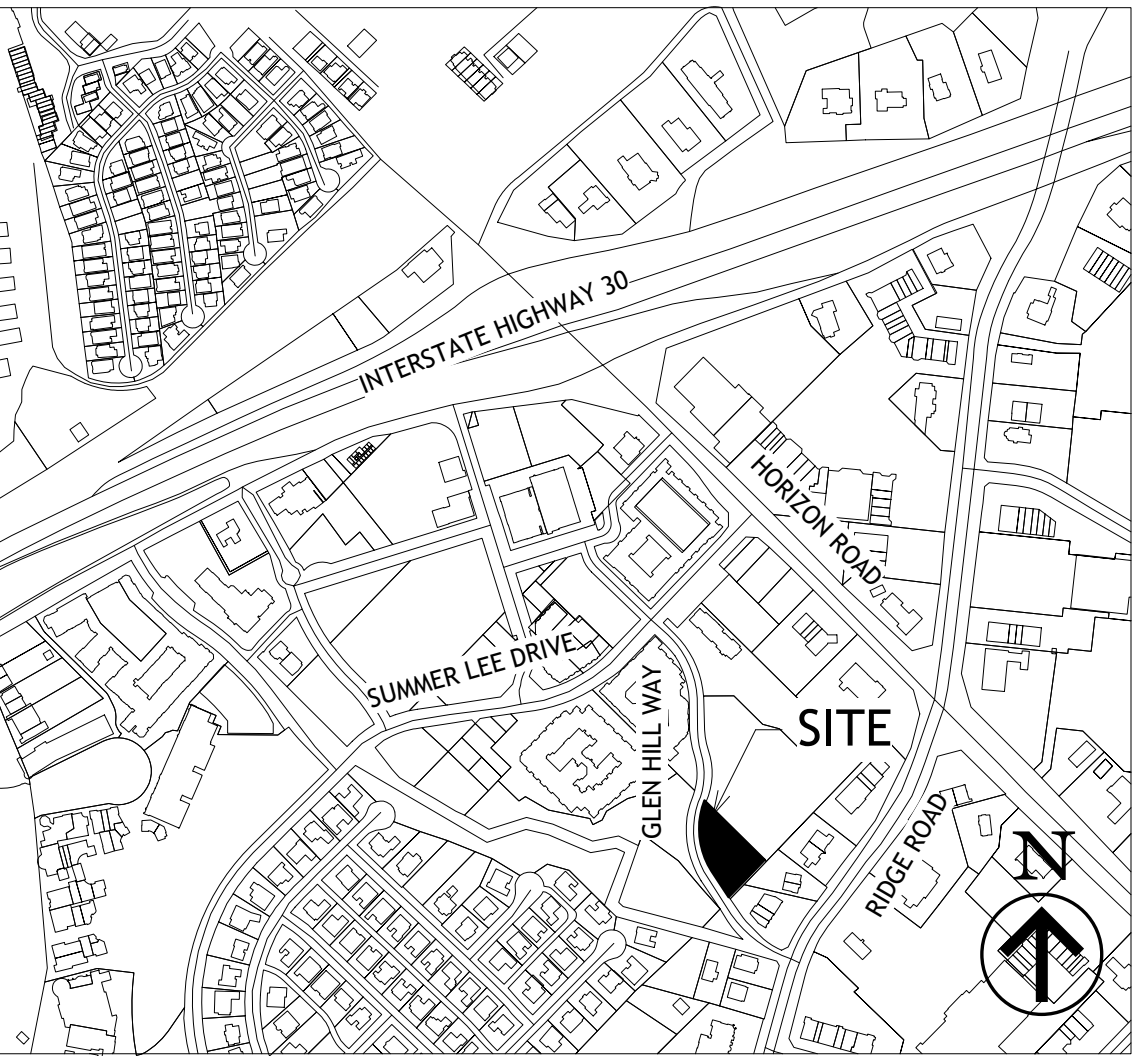
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Grape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4" Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TOT HE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY. ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

Site Data Summary Table

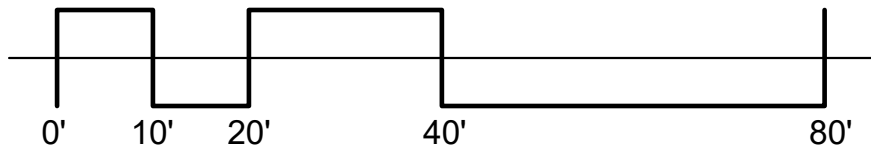
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Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

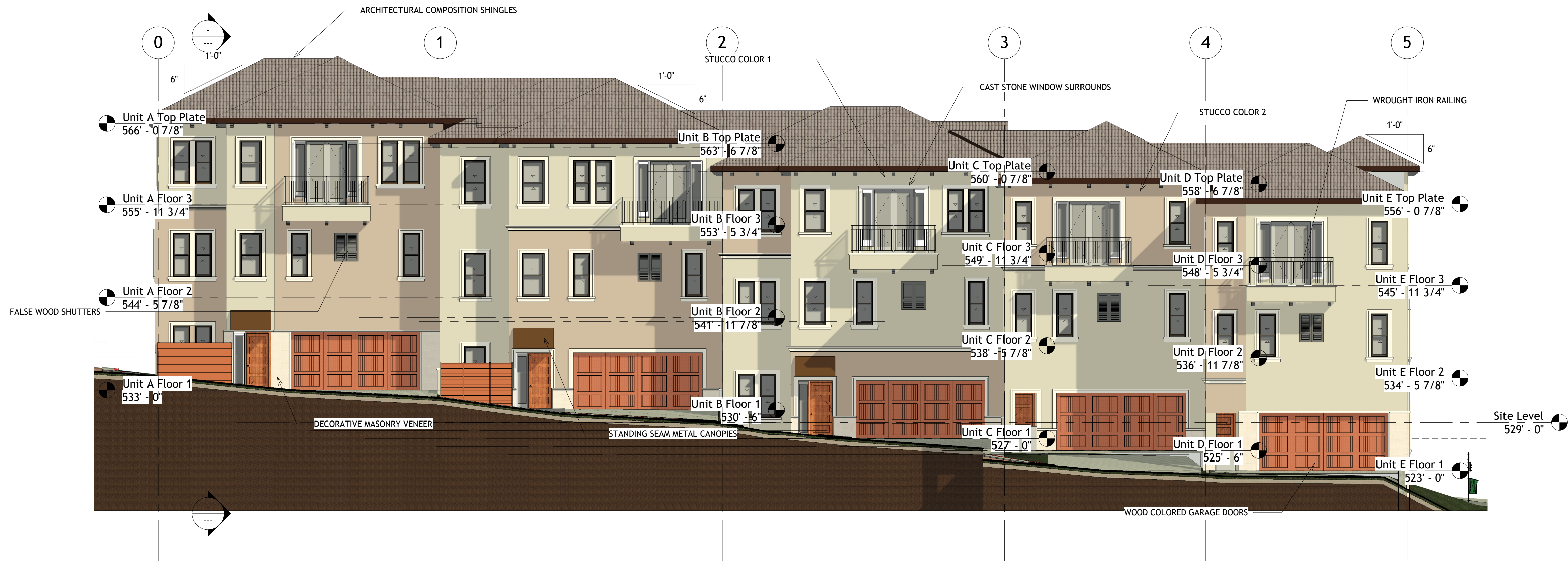
Zappa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.662.1435

Concept Landscape Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

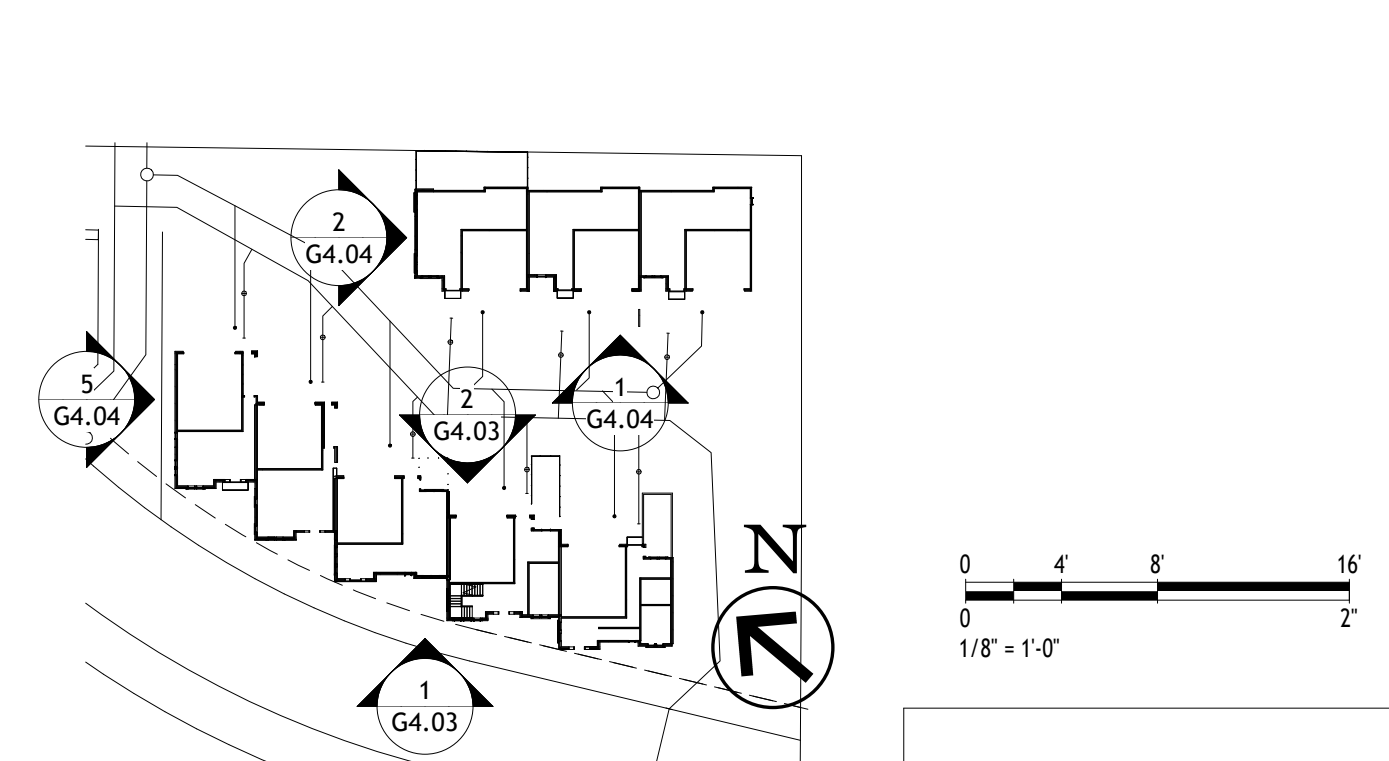
Prepared February 14, 2025



② Building 1 East Elevation
1/8" = 1'-0"



① Building 1 West Elevation
1/8" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

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100 N. Cottonwood Drive
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v: 214.810.4335

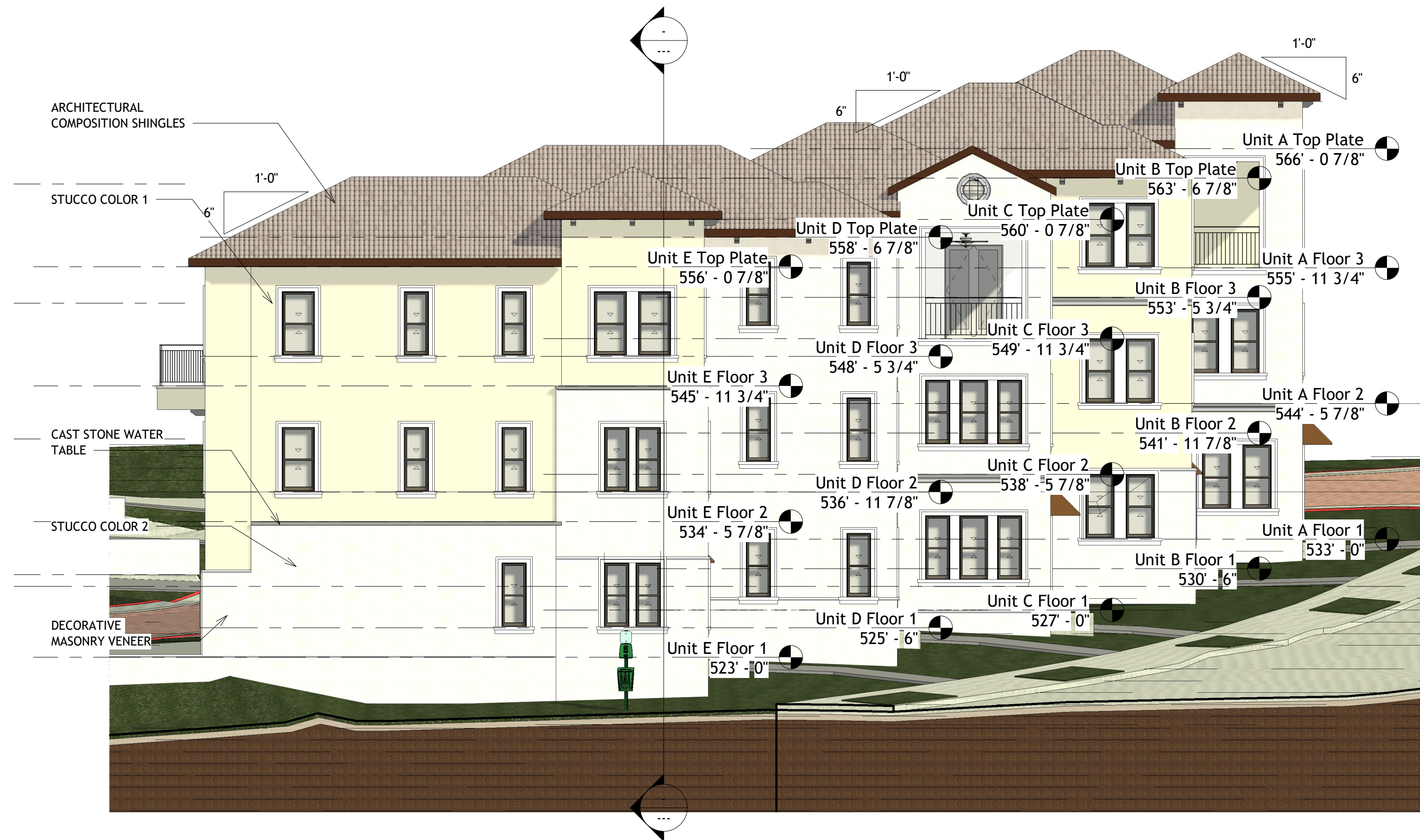
Owner:
Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

Color Elevations

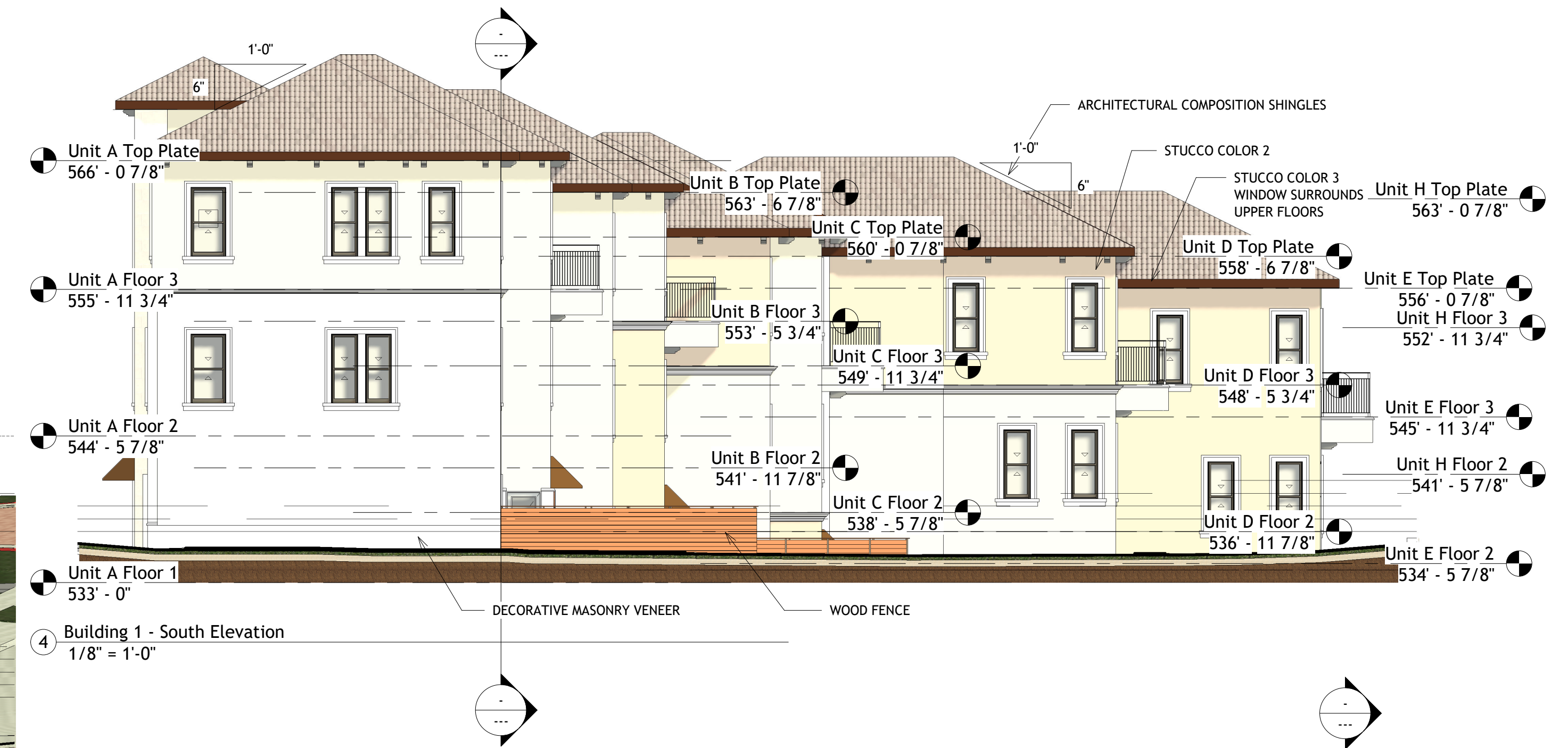
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

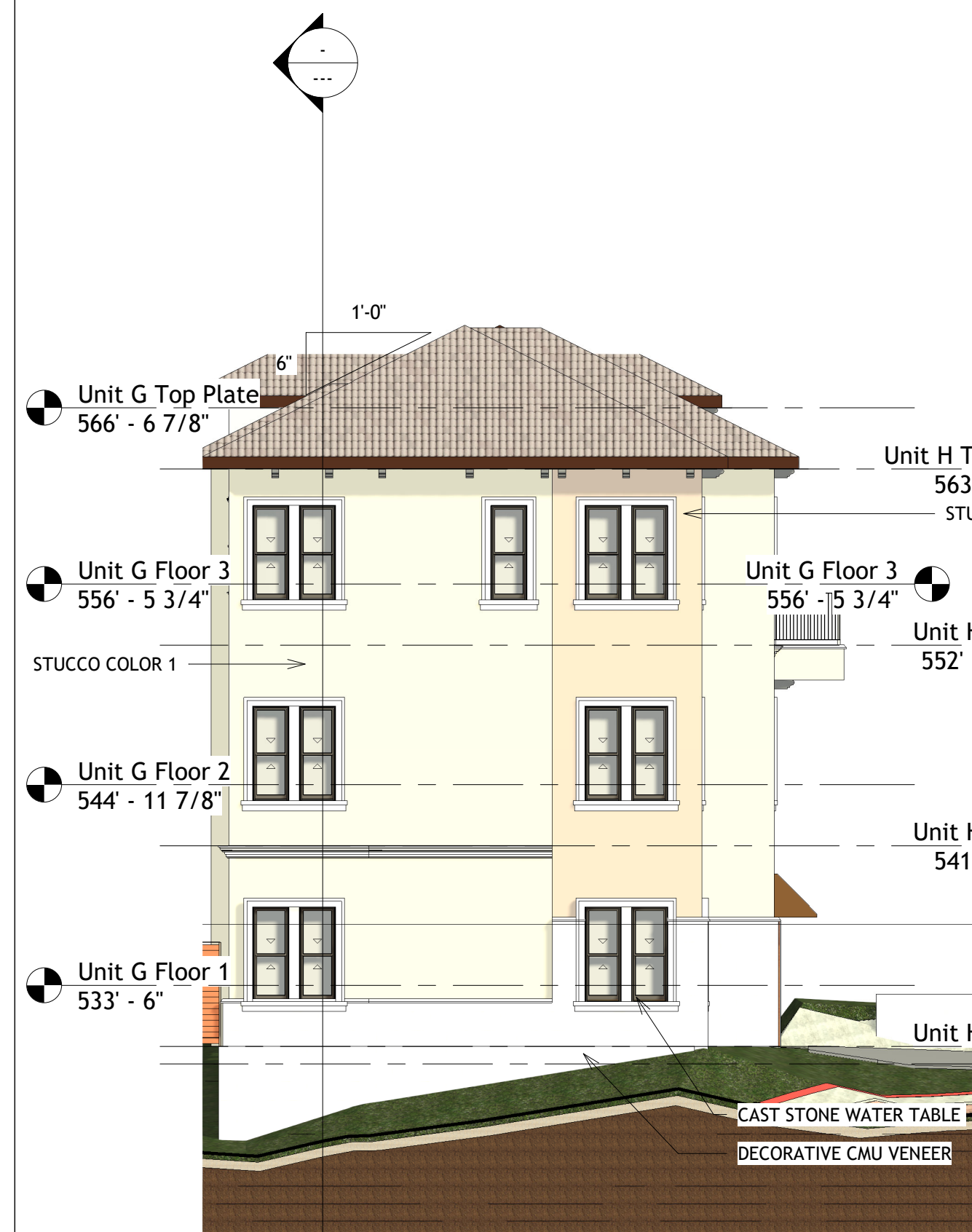
Prepared February 14, 2025



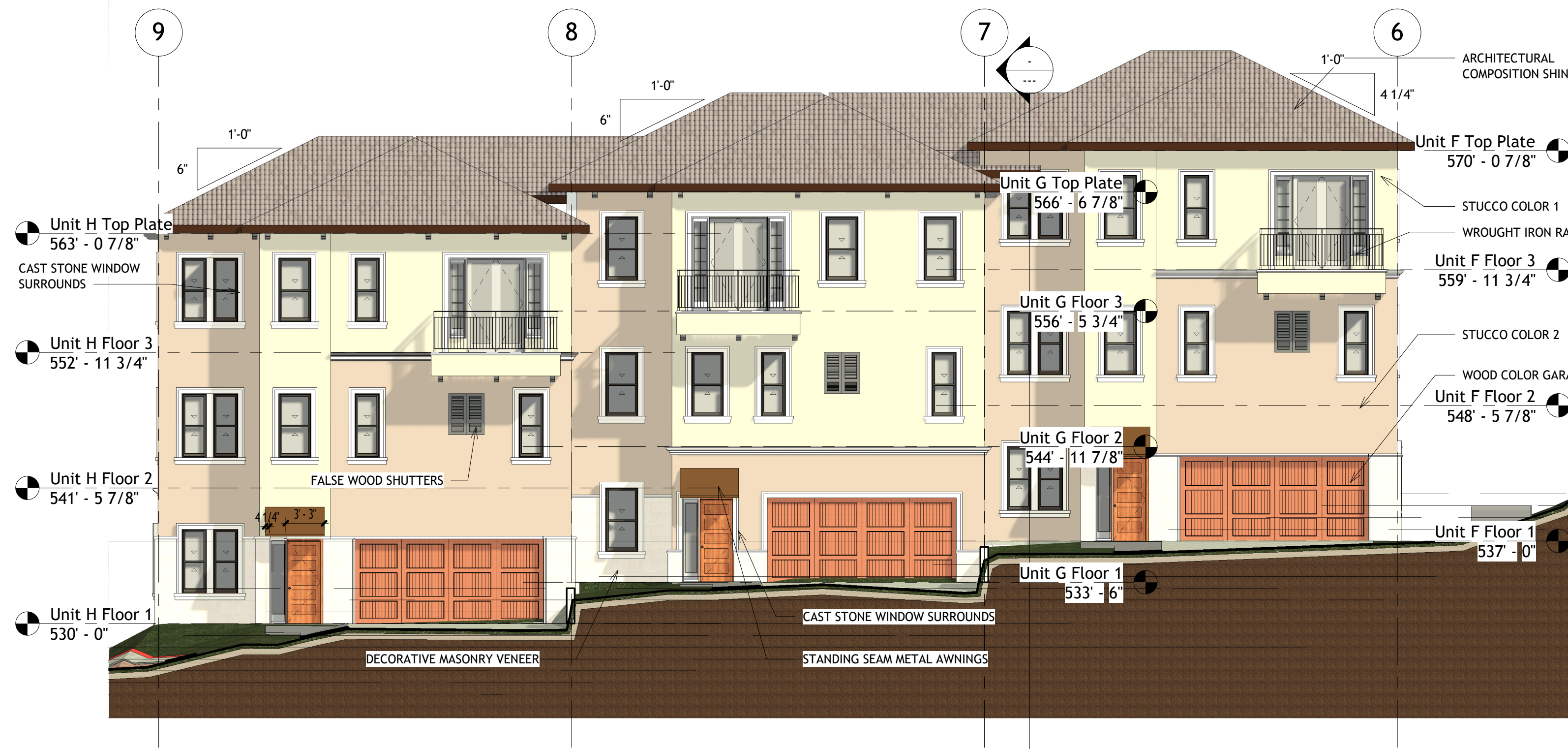
5 Building 1 North Elevation
1/8" = 1'-0"



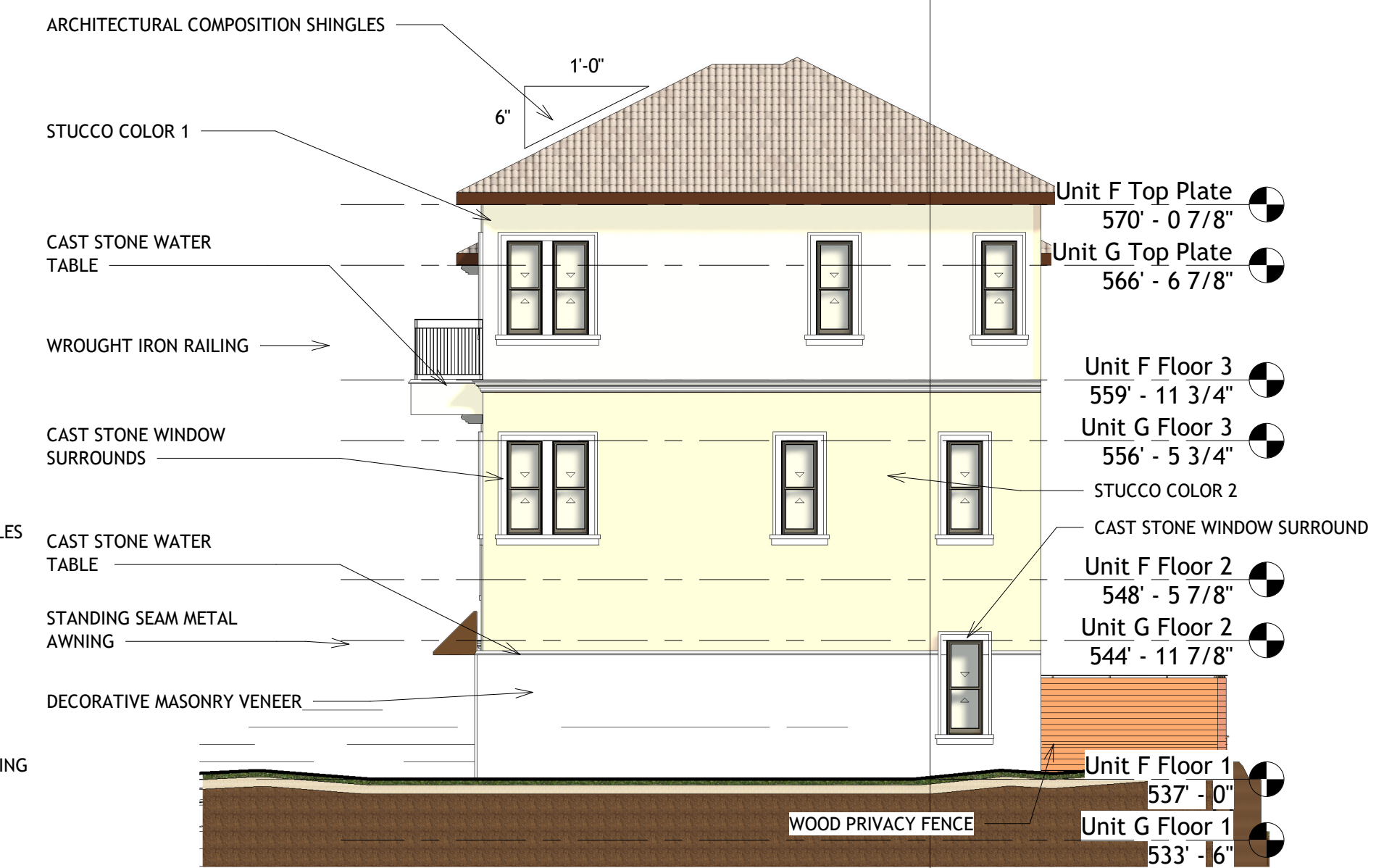
4 Building 1 - South Elevation
1/8" = 1'-0"



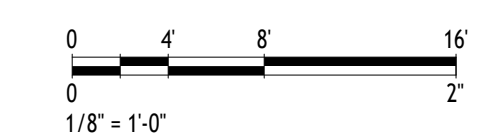
2 Building 2 North Elevation
1/8" = 1'-0"



1 Building 2 West Elevation
1/8" = 1'-0"



3 Building 2 South Elevation
1/8" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4355

Owner:
Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025



OVERALL VIEW



VIEW ALONG GLEN HILL WAY



INTERIOR ACCESS DRIVE

GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Color Renderings

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025



VIEW FROM GLEN HILL WAY



INTERIOR ACCESS DRIVE

GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.610.4335

Owner:

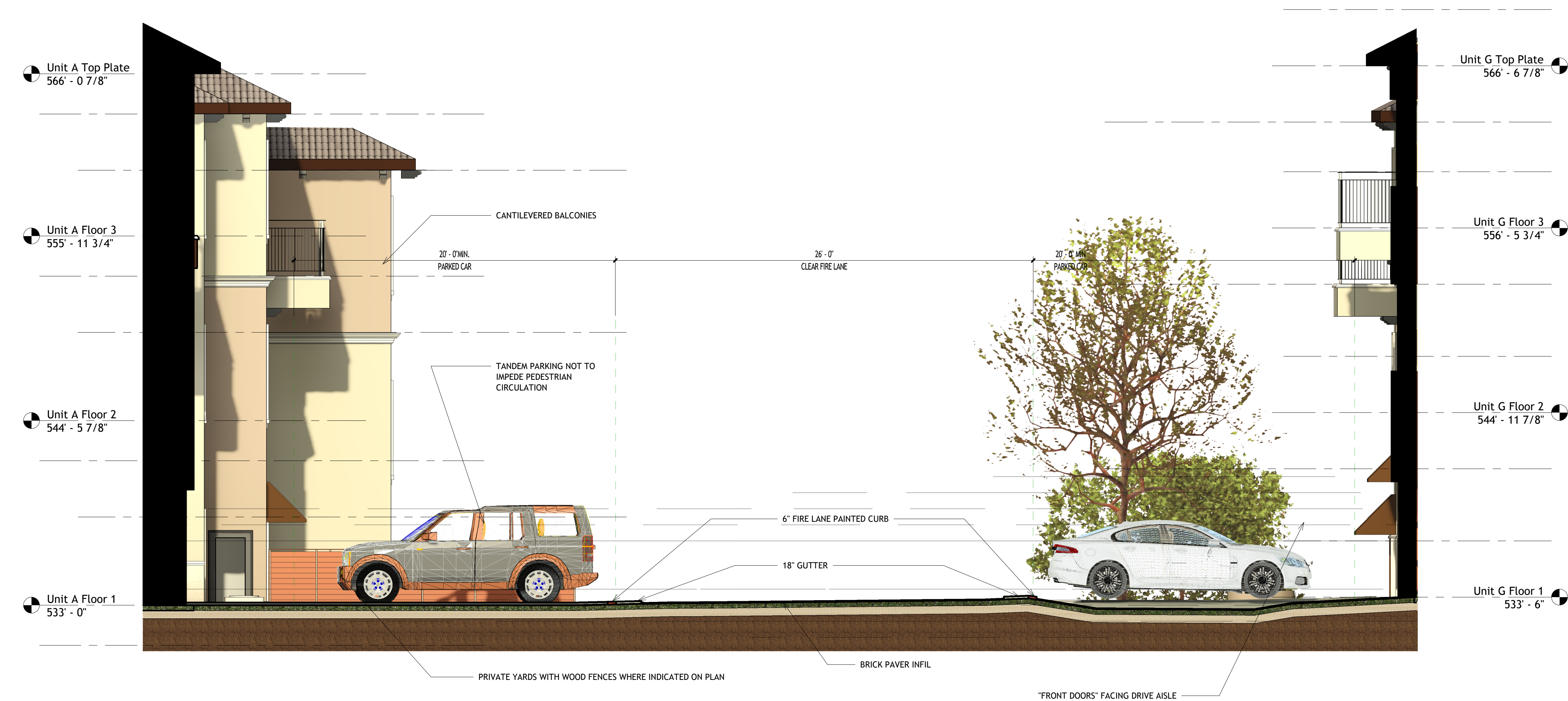
Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Color Renderings

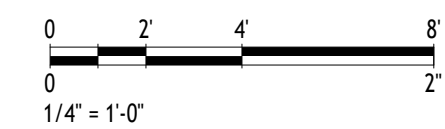
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025



① Drive Aisle Section
1/4" = 1'-0"



GREENLIGHT

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Owner:
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Drive Aisle Section

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared February 14, 2025

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR EIGHT (8) TOWNHOMES ON A 0.871-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, HARBOR HILLS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) townhomes to be situated within the *Residential Subdistrict*, on a 0.871-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed townhome development shall not contain more than eight (8) townhomes.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF APRIL, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

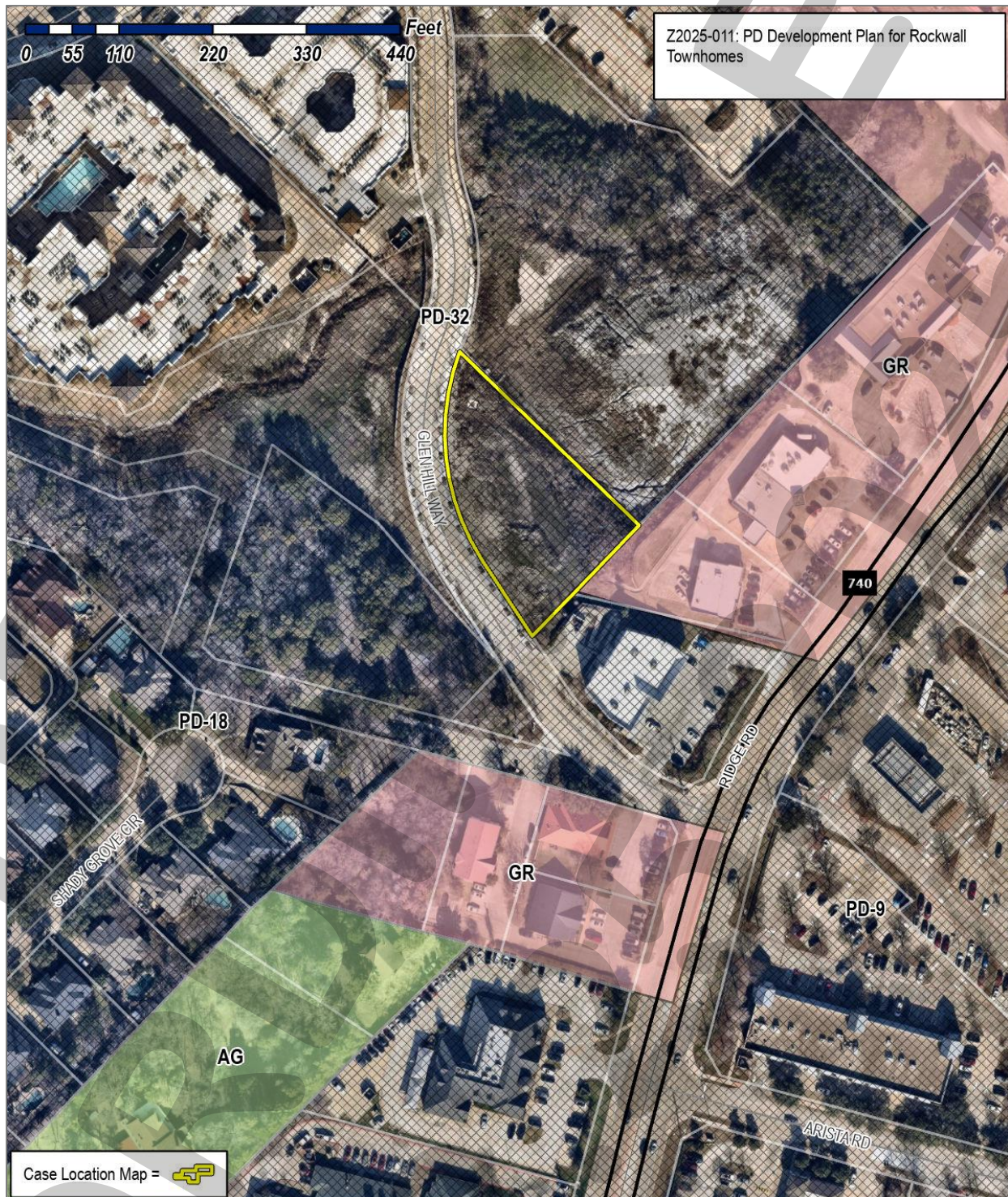
Frank J. Garza, *City Attorney*

1st Reading: March 17, 2025

2nd Reading: April 7, 2025

Exhibit 'A':
Location Map

Legal Description: Lot 3, Block A, Harbor Hills Addition



This is a detailed site plan for a residential development. The plan shows eight individual lots, each with a specific area in square feet (SF). The lots are arranged around a central area labeled 'PRIVATE DRIVE' and 'HOA DRAINAGE'. The lots are numbered 1 through 8, with their respective areas: LOT 1 (2808 SF), LOT 2 (2462 SF), LOT 3 (2559 SF), LOT 4 (2298 SF), LOT 5 (2285 SF), LOT 6 (2702 SF), LOT 7 (2301 SF), and LOT 8 (2191 SF). There are also three Homeowners Association (HOA) areas: HOA 374 SF, HOA 4222 SF, and HOA 1514 SF. The plan includes various infrastructure details such as drainage systems (e.g., 'NEW CURB INLET TO CONNECT TO EXISTING 18" RCP', 'EXISTING STORM DRAIN'), fences (e.g., '8" WOOD FENCE'), utilities (e.g., 'CONNECT TO EXISTING 8" W.L.', 'EXISTING 8" W.L. STUB OUT'), and other features like 'PARK BENCH', 'DOG WASTE STATION', and 'APPROX LOCATION OF PAD MOUNTED TRANSFORMER BUILDING 1' and '2'. The plan also shows 'GLEN HILL WAY STREET TYPE "M" 50' R.O.W.' and '20' VISIBILITY TRIANGLES' at the bottom. The overall layout is a complex arrangement of lots and infrastructure, with a large 'PRIVATE DRIVE' running through the center.

Z2025-011: PD Development Plan for PD-32
Ordinance No. 25-XX; PD-32

Page 6

City of Rockwall, Texas

Exhibit 'C': **Conceptual Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 11, 2025
APPLICANT: Tyler Adams; *Greenlight Studio*
CASE NUMBER: Z2025-011; *PD Development Plan for Rockwall Townhomes*

SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The City Council annexed the subject property into the City of Rockwall on January 9, 1984 through the adoption of *Ordinance No. 84-05*. Upon annexation, the subject property was zoned Agricultural (AG) District. On June 19, 1989, the subject property was rezoned to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] for Commercial (C) District land uses. On December 2, 2002, the City Council approved an amendment to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] that changed the underlying zoning to the General Retail (GR) District. This Planned Development District was again amended on February 4, 2008 by *Ordinance No. 08-11*. This ordinance increased the boundaries of the district, and established a limited set of land uses for the district.

On September 20, 2010, the City Council passed *Ordinance No. 10-21*, which superseded all previous ordinances associated with Planned Development District 32 (PD-32) and established a concept plan and development standards for an approximate 78.89-acre tract of land that included the subject property. Today, this land is now commonly referred to as PD-32 or the *Harbor District*. Included within this ordinance was a concept plan that divided the district into ten (10) subdistrict, each of which contained its own set of development and land use standards. In addition, a pool of 1,161 *urban residential units* (i.e. *condominiums and/or townhomes*) and 49 *single-family residential units* (i.e. *zero-lot-line or patio homes*) was created. These units could then be allocated to properties within the district by the City Council -- *in accordance with the land use charts in the ordinance* -- on a *first-come-first-serve* basis through an interim zoning step called a *PD Development Plan*. According to Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC), "(a) *PD Development Plan* constitutes an amendment to the approved *PD Concept Plan* and *PD Ordinance* ... The purposes of a *PD Development Plan* are to allow flexibility in the development process by deferring specification of all development standards at the time of *PD District* creation and to enable developers to satisfy conditions imposed on creation of the *District* prior to the submittal of a *PD Site Plan*." In addition, *Ordinance No. 17-22* [i.e. *the regulating ordinance for Planned Development District 32 (PD-32)*] states that the purpose of a *PD Development Plan* in Planned Development District 32 (PD-32) is to ensure that a proposed development meets the intent of the subdistrict and/or to address any waivers required by the development.

Currently, the City Council has approved *PD Development Plans* allocating all of the 1,161 *urban residential units* and all but seven (7) of the 49 *single-family residential units*. A summary of the unit allocations is as follows:

TABLE 1: URBAN RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Summer Lee Condominiums (i.e. Harbor Hill) ¹	265	Condominiums	SP2015-004 ²	N/A
Harbor Urban Condominiums (i.e. the Florence)	228	Condominiums	Z2018-001	18-16 ⁴
Harbor Village Building 1 (i.e. Adjacent to Lakefront Trail)	375	Condominiums	Z2019-008	19-21 ⁵
Harbor Village Building 2 (i.e. Adjacent to Harbor Fountain) ³	75	Condominiums	Z2019-008	19-21 ⁵
Harbor Residences (i.e. WC of Summer Lee and Horizon Road)	176	Condominiums	Z2022-058	23-05 ⁶
Sunset Ridge Residences (i.e. Adjacent to Harbor Residences)	42	Condominiums	Z2022-002	22-11
Total Allocated:		1,161		
Permitted in District:		1,161		
Units Remaining:		0		

NOTES:

- ¹: This case was determined to be conforming to the *Concept Plan* originally approved with Ordinance No. 10-21, and was determined to not require a *PD Development Plan* at that time (i.e. the approval of the site plan allocated the units to this project).
- ²: Case No. SP2015-004 was amended by Case No. SP2018-037 & SP2020-018.
- ³: Ordinance No. 19-21 contains conditions that allow the City Council to claw back 25 of the 75 allocated units pending a building permit has not been issued by June 1, 2020. This project currently has not been issued a building permit.
- ⁴: This ordinance superseded Ordinance No. 16-54 (Case No. Z2016-025), which originally allocated the units for this project.
- ⁵: This ordinance superseded Ordinance No. 13-16 (Case No. Z2013-011); however, the units for this project were originally allocated with Ordinance No. 11-43 (i.e. Case No. Z2011-020).
- ⁶: This ordinance superseded Ordinance No. 22-10 (Case No. Z2022-001) and Ordinance No. 22-36 (Case No. Z2022-024).

TABLE 2: SINGLE-FAMILY RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Harbor Urban Townhomes ¹	42	Townhomes	Z2018-001	18-16 ²
Total Allocated:		42		
Permitted in District:		49		
Units Remaining:		7		

NOTES:

- ¹: This *PD Development Plan* only affected the *Residential Subdistrict*, which was the only district that allowed the *single-family residential units*. The approval of Ordinance No. 18-16 amended the district to allow the 42 townhomes in lieu of the 49 zero-lot-line or patio homes.
- ²: This ordinance superseded Ordinance No. 16-48 (Case No. Z2016-026), which originally allocated the units for this project.

On October 19, 2020, the City Council approved a final plat [Case No. P2020-036] establishing the subject property as Lot 3, Block A, Harbor Hills Addition. On January 17, 2025, the applicant submitted a *PD Development Plan* request; however, due to the applicant's failure to attend the Planning and Zoning Commission work session meeting, the applicant requested to withdraw the case. On February 11, 2025, the Planning and Zoning Commission approved the withdrawal request by a vote of 7-0.

PURPOSE

On January 17, 2025, the applicant -- Tyler Adams of Greenlight Studio -- submitted an application requesting the approval of a *PD Development Plan* to allow the development of eight (8) townhomes on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northwest of the intersection of Ridge Road and Glen Hill Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 4.076-acre parcel of land (i.e. Lot 4, Block A, Harbor Village Addition). Beyond this is a 2.12-acre parcel of land (i.e. Lot 5, Block 5, Harbor Village Addition) developed with a *Limited Service Hotel* (i.e. Tru Hilton). These properties are situated within the *Residential and Interior Subdistricts* of Planned Development District 32 (PD-32). Following this is Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8320-acre parcel of land (i.e. Lot 1, Block A, Lakeridge Est Addition) developed with a multi-tenant retail building (i.e. Feng Cha, Athletico, & Hollywood Feed) located within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32). Beyond this is Glen Hill Way, which is identified

as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are three (3) parcels of land (*i.e. Lots 1-3, Block A, Willis-Sealock Addition*) developed with retail buildings (*i.e. Family Dentistry Rockwall & Ridge Road Animal Hospital*) zoned General Retail (GR) District. South of this is a 1.46-acre parcel of land (*i.e. Lot 1, Block A, AJ Squared Addition*) developed with a multi-tenant *Medical Office Building*, zoned Planned Development District 18 (PD-18).

East: Directly east of the subject property are two (2) parcel of land (*i.e. Lot 1, Block A, Murphy Plaza No. 2 Addition & Lot 1, Block A, Murphy Plaza*) developed with multi-tenant *Office Buildings*, zoned General Retail (GR) District. Beyond this is Ridge Road [SH-740], which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 2.0034-acre parcel of land (*i.e. Lot 1, Block A, RDI Retail Addition*) developed with a *General Retail Building* (*i.e. Walgreens*) zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses.

West: Directly west of the subject property is Glen Hill Way, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 2.1690-acre parcel of land (*i.e. Lot 2, Block A, Harbor Hills Addition*) situated within the *Interior Subdistrict* of Planned Development District 32 (PD-32). Following this is a 1.25-acre tract of land (*i.e. Tract 137 of the E. Teal Survey, Abstract No. 207*) that serves as the Glen Hills Cemetery. West of this is the Lago Vista Subdivision, which contains 92 single-family homes and is zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan showing the establishment of eight (8) townhomes northwest of the intersection of Glen Hill Way and Ridge Road [SH-740] across the street from the Glen Hills Cemetery. Based on the proposed concept plan,

the townhomes are split into two (2) building, with five (5) townhomes facing directly onto Glen Hill Way and the remaining three (3) townhomes facing onto an internal mew street. In addition, there will be three (3) guest parking spaces, two (2) park benches, and two (2) dog waste stations. The townhomes incorporate elements of the Tuscan architectural style and utilize earth tones. The internal mew street will be constructed of brick pavers and incorporate pedestrian lighting.

CONFORMANCE WITH PLANNED DEVELOPMENT DISTRICT 32 (PD-32)

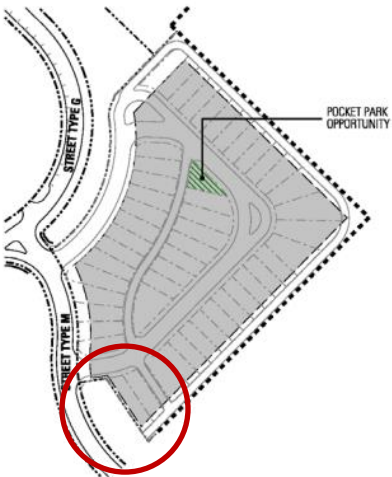
According to the *Subdistrict Plan* contained in Planned Development District 32 (PD-32) [Ordinance No. 17-22] the subject property is situated within the *Residential Subdistrict*, which -- according to Ordinance No. 17-22 -- is intended "...for zero lot line single-family residential housing." In this case, the applicant is proposing to change the zero lot homes into townhomes. This inherently changes the intent of the district, where the proposed townhomes do not meet the requirements stipulated for the *Residential Subdistrict*. Based on this, staff has requested that the applicant submit a *PD Development Plan* for the project. According to Ordinance No. 17-22, "(a) [PD] development plan shall be required if a proposed development within any *Subdistrict* that does not meet the intent of the *PD Concept Plan* or the *Subdistrict Plan*, or requires waivers not provided for in Section 9.3 [Waivers of Design Standards] of this ordinance." The following is a summary of the form-based code requirements for the *Residential Subdistrict*, and how the proposed project conforms to these requirements:

TABLE 1: BUILDING PLACEMENT AND PARKING COMPLIANCE THE RESIDENTIAL SUBDISTRICT

ORDINANCE PROVISIONS		RESIDNETIAL SUBDISTRICT	CONFORMANCE TO THE STANDARDS
BUILD TO LINE:		10-Feet	~10-Feet; <i>IN CONFORMANCE</i>
BUILDING FORM:		Side Yard Setback 8-Feet and 0-Feet.	No Side Setbacks Between Townhomes; <i>NOT IN CONFORMANCE</i>
		65% of the Façade must be at the Build to Line.	The Units Front Curved Streets and Do Not Meet This Requirement; <i>NOT IN CONFORMANCE</i>
		Minimum Lot Size is 30' x 90'	The Lots Vary from 25'-35' Wide and are as Short as 49-Feet; <i>NOT IN CONFORMANCE</i>
MAXIMUM LOT COVERAGE		61%	<61%; <i>IN CONFORMANCE</i>
LAND USE:			
	GROUND FLOOR	Residential	Residential; <i>IN CONFORMANCE</i>
	UPPER FLOORS	Residential	Residential; <i>IN CONFORMANCE</i>
BUILDING HEIGHT:			
	MAXIMUM BUILDING HEIGHT	3-Stories and 36-Feet	3-Stories and 33-Feet; <i>IN CONFORMANCE</i>
	ENCROACHMENTS	5-Feet	No Encroachments; <i>IN CONFORMANCE</i>
GARAGE LOCATION		Garages Must be Rear Loaded	Three (3) Units are Front Loaded; <i>NOT IN CONFORMANCE</i>

Staff has also provided the concept plan for the *Residential Subdistrict* in Figure 1. Staff reviewed the proposed building elevations, perspectives, and renderings for conformance to the *Design Guidelines* contained in Resolution 10-40 and found that the proposed elevations generally conform to the *Tuscan* architectural style. That being said, the building elevations deviate from the *Design Guidelines* in three (3) important ways. First, the *Design Guidelines* stipulate that standard brick masonry units, non-standard size brick, native natural stone masonry shall be used on 60% or more on each façade. In this case, the applicant indicates *Decorative Masonry Veneer*, and does not indicate the intended material or provide a percentage of the use of the material on each façade; however, it appears to be less than 60%. Second, the *Design Guidelines* stipulate that secondary materials (*i.e. three-part stucco*) shall be used on 35% or more of each façade. The proposed elevations meet this guideline; however, the amount of stucco proposed exceeds the other material guidelines contained in the PD. Third, based on the proposed concept plan, a mew street will run between the two (2) townhome buildings. The *Design Guidelines* detail that mew streets should include "...enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and may also include enhanced vehicular pavement." In this case,

FIGURE 1: RESIDENTIAL SUBDISTRICT CONCEPT PLAN
RED CIRCLE = APPROXIMATE LOCATION OF SUBJECT PROPERTY



there are no proposed sidewalks, but the street will be made of brick pavers, and there will be decorative lighting. The landscape plan also delineates plantings along the mew both in open space and townhome lots. Staff should note, per the Chapter 2, *Streets*, of the Engineering Standards of Design and Construction, pavers or stamped concrete may not be utilized in utility easements.

In addition to the *Residential Subdistrict* requirements of Planned Development District 32 (PD-32) and the *Design Guidelines*, the applicant's request fails to meet the anti-monotony requirements of the Unified Development Code (UDC). According to Subsection 03.01(D), *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street ... (i)dentical building material blends and colors may not occur on adjacent (*side-by-side*) properties." This section continues with "(h)omes are considered to differ in appearance if any three (3) elements are different: (a) The number of stories of the home ... (b) The garage location/orientation on the home ... (c) The roof type and layout of the home ... [and] (d) The articulation of the front façade of the home." In this case, the proposed townhomes have the same number of stories, incorporate the same garage location/orientation, and utilizes the same color and material blends. Given this, the proposed building elevations do not meet the anti-monotony standards.

Finally, the applicant is requesting to entitle the subject property with eight (8) townhome units. As shown in *Table 2 (above)*, there are seven (7) remaining single-family residential units (*i.e. zero-lot-line or patio homes*) within Planned Development District 32 (PD-32). The concept plan for PD-32 – *established with Ordinance No. 10-21* – allocated a pool of 1,161 *urban residential units (i.e. condominiums and/or townhomes)* and 49 *single-family residential units (i.e. zero-lot-line or patio homes)*. On September 19, 2016, the City Council approved a PD Development Plan [Case No. Z2016-026; Ordinance No. 16-48] that converted 36 of the *single-family residential units* to townhome units. Following this approval, the PD Development Plan was amended [Case No. Z2018-001; Ordinance No. 18-16] to include an additional six (6) townhome units, for a total of 42 townhomes. The remaining seven (7) single-family residential units have yet to be allocated to a project, and previous requests to increase the number of units in the Planned Development District 32 (PD-32) have not been approved. In this case, the applicant is requesting to convert the remaining single-family residential units (*i.e. zero-lot-line or patio homes*) into townhomes and add one (1) additional unit to PD-32.

With all this being said, a *PD Development Plan* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. Until the completion of an infrastructure study the level of roadway improvements cannot be determined. The proposed mew street cannot utilize stamped concrete or pavers if the street will act as a utility easement as well. A *Streetscape Plan* showing how the sidewalks and pedestrian areas will be designed will be required to be submitted with the site plan. In addition, the applicant will be required to update the Traffic Impact Analysis (TIA) for the *Harbor District* per the City Council's direction from the November 5, 2018 City Council meeting.
- (2) Wastewater and Water. An infrastructure study will be required to determine the necessary improvements needed to sufficiently serve the subject property. Staff recommends that this infrastructure study be initiated prior to the submission of a site plan.
- (3) Drainage. The applicant shall be required to pay a stormwater pro-rata fee of \$7,226.59 per acre.

NOTIFICATIONS

On February 21, 2025, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lago Vista Homeowner's Association (HOA), which was the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised

the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a PD Development Plan for eight (8) townhomes, staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the PD Development Plan ordinance and which are detailed as follows:
 - (a) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the PD Development Plan ordinance; and,
 - (b) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*; and,
 - (c) The proposed townhome development shall not contain more than eight (8) townhomes; and,
 - (d) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*]; and,
 - (e) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in the PD Development Plan ordinance.
- (2) Any construction resulting from the approval of this Planned Development District shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
☐ AMENDING OR MINOR PLAT (\$150.00)
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
☒ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
OTHER APPLICATION FEES:
☐ TREE REMOVAL (\$75.00)
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3** BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential Subdistrict**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attached**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **13**

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **ZAPA Investments LLC**

☒ APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St.**

ADDRESS **100 N. Cottonwood Drive
Suite 104**

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE **972.682.1435**

PHONE **214.810.4535**

E-MAIL **MZahm@zconstructors.com**

E-MAIL **tyler@gldevco.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt D. Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF December, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

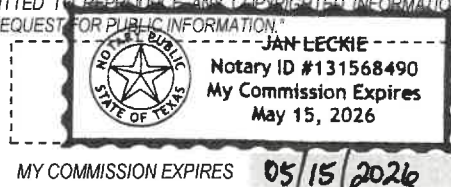
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF December, 2024.

OWNER'S SIGNATURE

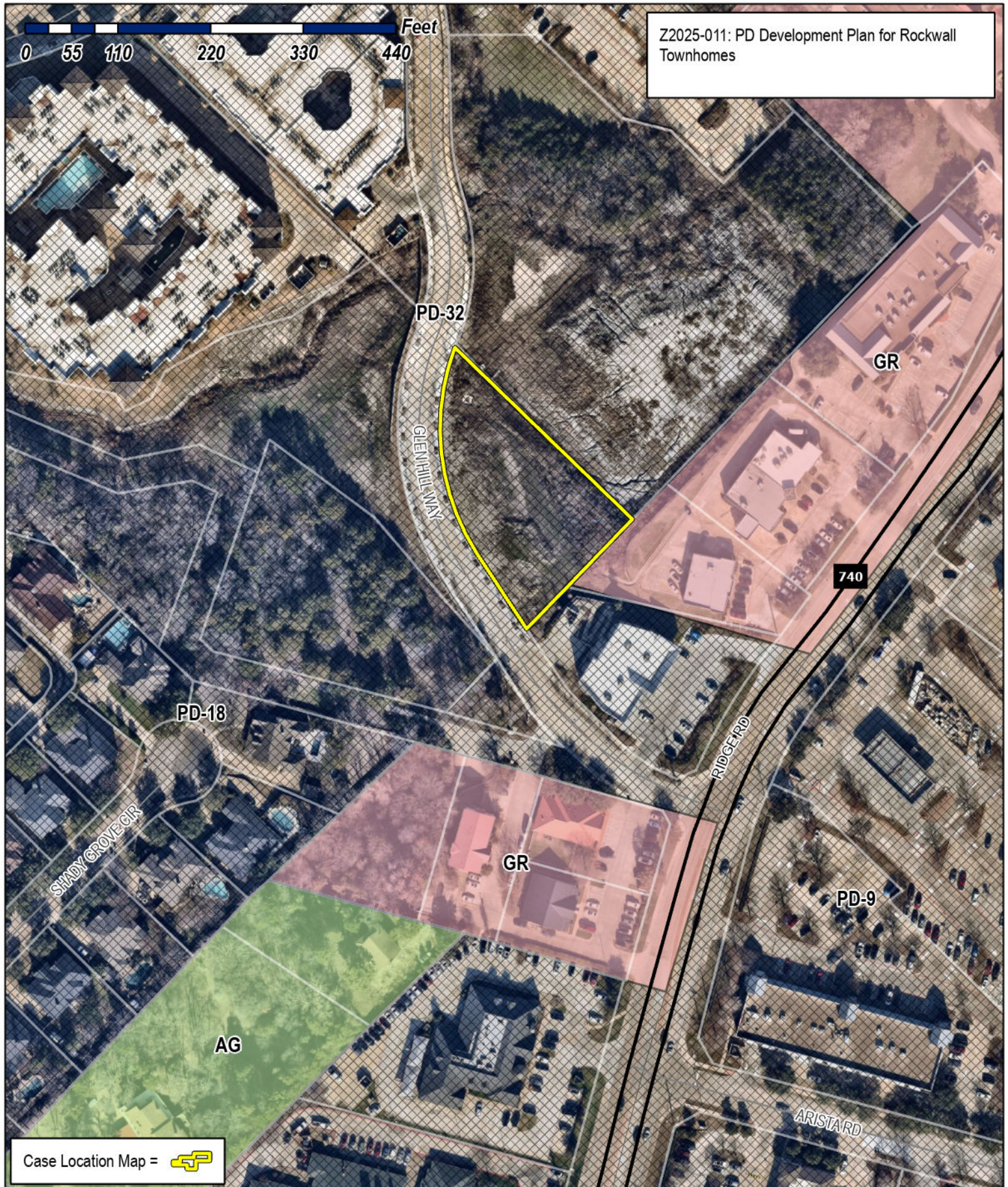
Matt D. Zahm

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie



MY COMMISSION EXPIRES 05/15/2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program {Z2025-011}
Date: Thursday, February 20, 2025 3:31:43 PM
Attachments: [Public Notice \(02.18.2025\).pdf](#)
[HOA Map \(02.20.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, February 21, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

Thank you,

Melanie Zavala

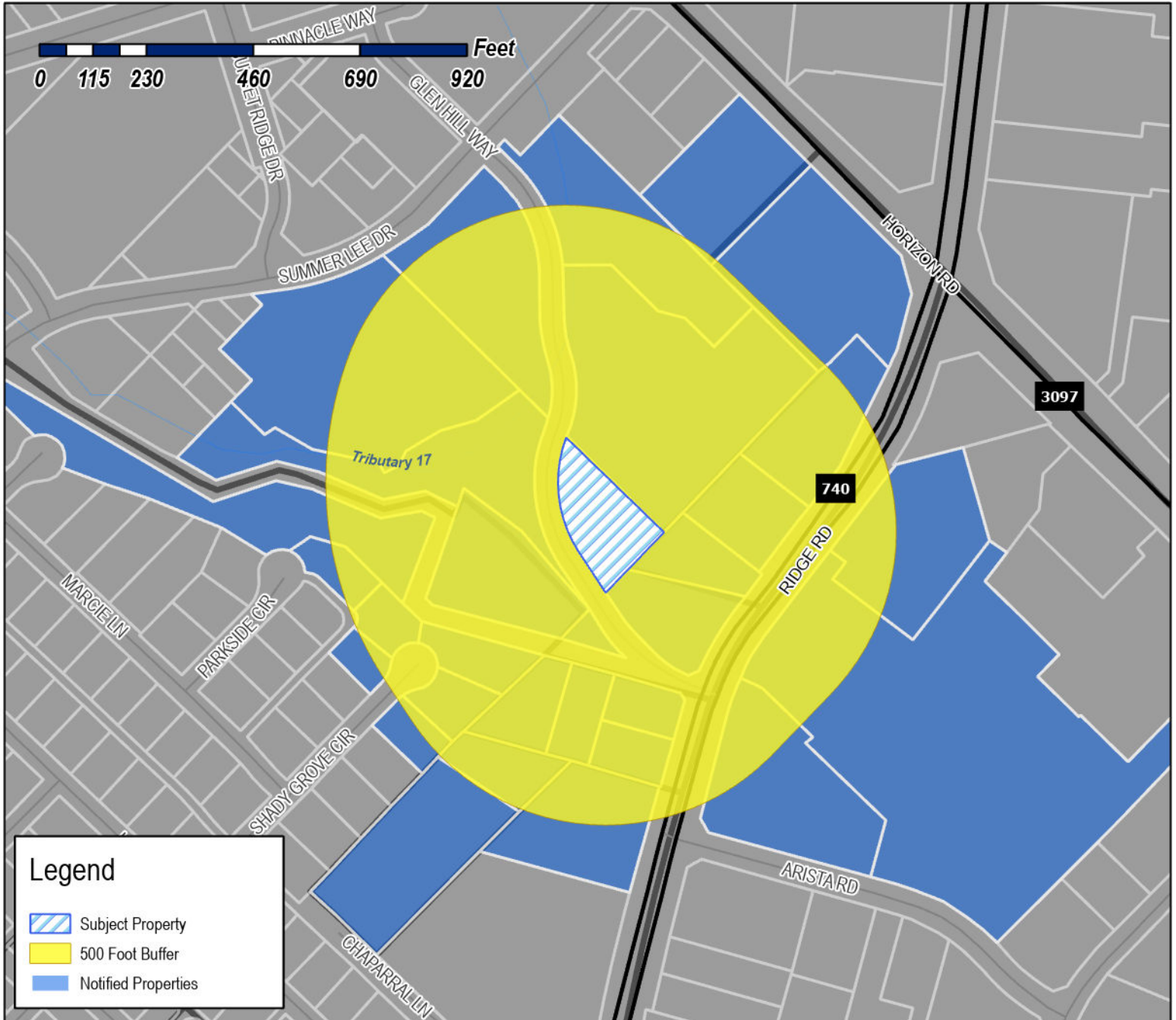
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/21/2025

For Questions on this Case Call: (972) 771-7745



KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

JAY & MALISHA LLC
1260 HERON LAKES CIR
MOBILE, AL 36693

NATIONAL TRANSFER SERVICES, LLC
1360 POST OAK BLVD STE 100 # 16-2
HOUSTON, TX 77056

RESIDENT
1489 SHADY GROVE CIR
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

DRAKE CARLA DEE & DENNIS HARTLINE
1501 SHADY GROVE CIR
ROCKWALL, TX 75032

HUBERT ROBIN AND MONICA A
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

RESIDENT
1513 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

CROCHERON AVENUE LLC
18 BEVERLY ROAD
DOUGLASTON, NY 11363

WHITNEY SARDIS LLC
2001 MARCUS AVENUE SUITE N118
LAKE SUCCESS, NY 11042

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

RESIDENT
2700 SUMMER LEE
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2918 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2930 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2951 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

RESIDENT
3014 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3016 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3018 RIDGE RD
ROCKWALL, TX 75032

HAYWOOD CHARLES E AND LISA K
36 IONA DRIVE RD3 TAURANGA
NEW ZEALAND 3173,

KRUGER KARIN
400 CHAPARRAL LN
ROCKWALL, TX 75032

C. REAL ESTATE, LLC
5 TERRABELLA LANE
HEATH, TX 75032

AJ SQUARED LLC
5 TERRABELLA LN
HEATH, TX 75032

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

HP ROCKWALL 740 LTD
C/O GARY P HAMMER
7557 RAMBLER ROAD, SUITE 980
DALLAS, TX 75231

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

GLEN HILLS CEMETERY
C/O INEZ GIBSON 512 COOL MEADOW COURT
DESOTO, TX 75115

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

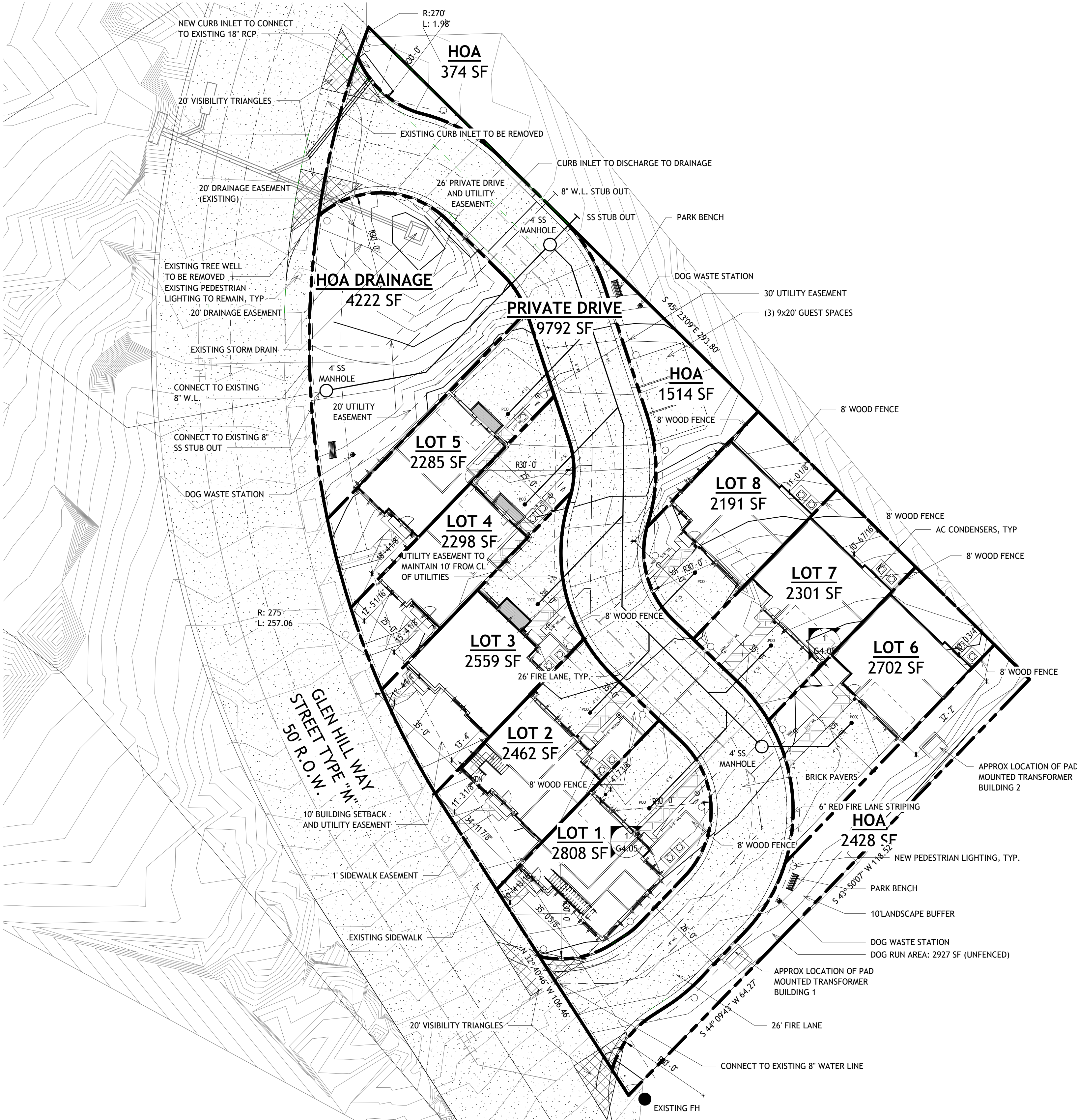
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

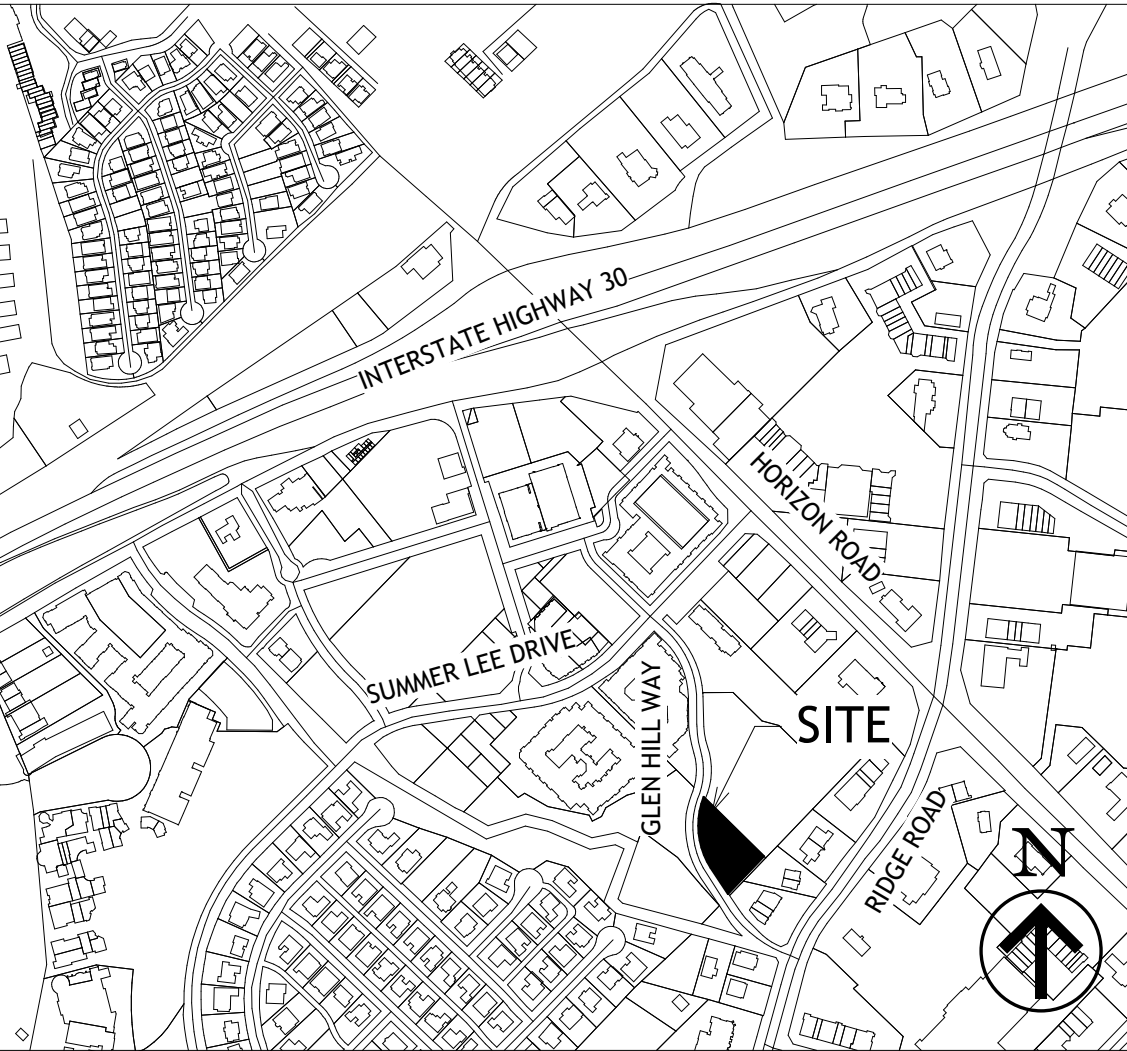
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



1 Site Plan Copy 1
1" = 20'-0"

VICINITY MAP



Property Schedule	
Name	Area
Total	37936 SF
PRIVATE DRIVE	9792 SF
LOT 5	2285 SF
LOT 4	2298 SF
LOT 3	2559 SF
LOT 2	2462 SF
LOT 6	2702 SF
LOT 7	2301 SF
LOT 8	2191 SF
HOA DRAINAGE	4222 SF
HOA	2428 SF
HOA	1514 SF
LOT 1	2808 SF
HOA	374 SF

- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES**
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

- LIFE SAFETY GENERAL NOTES**
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

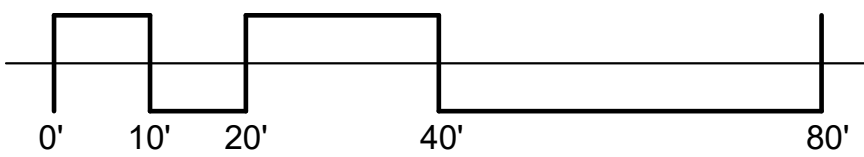
Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None

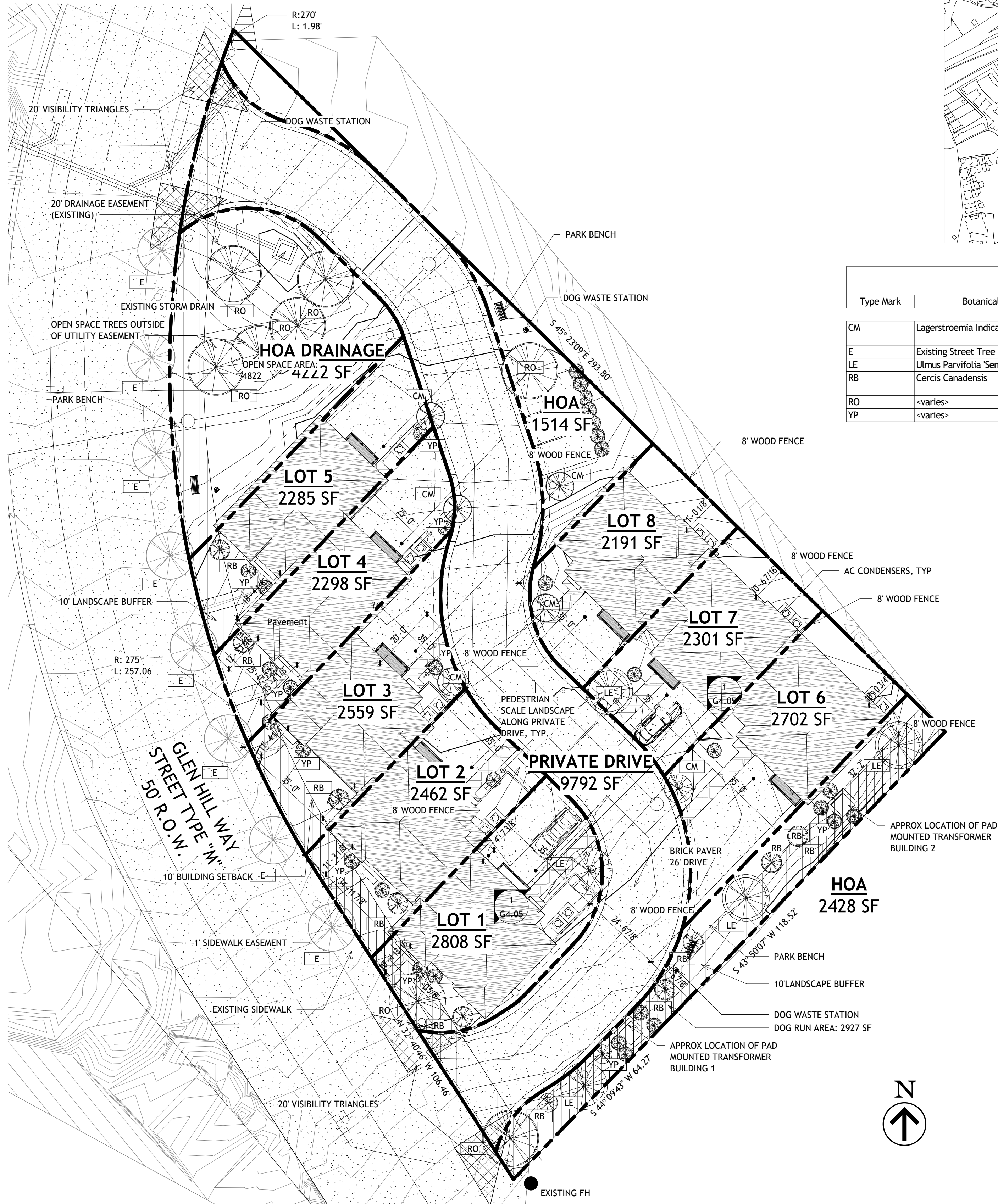


PD Amendment Plan

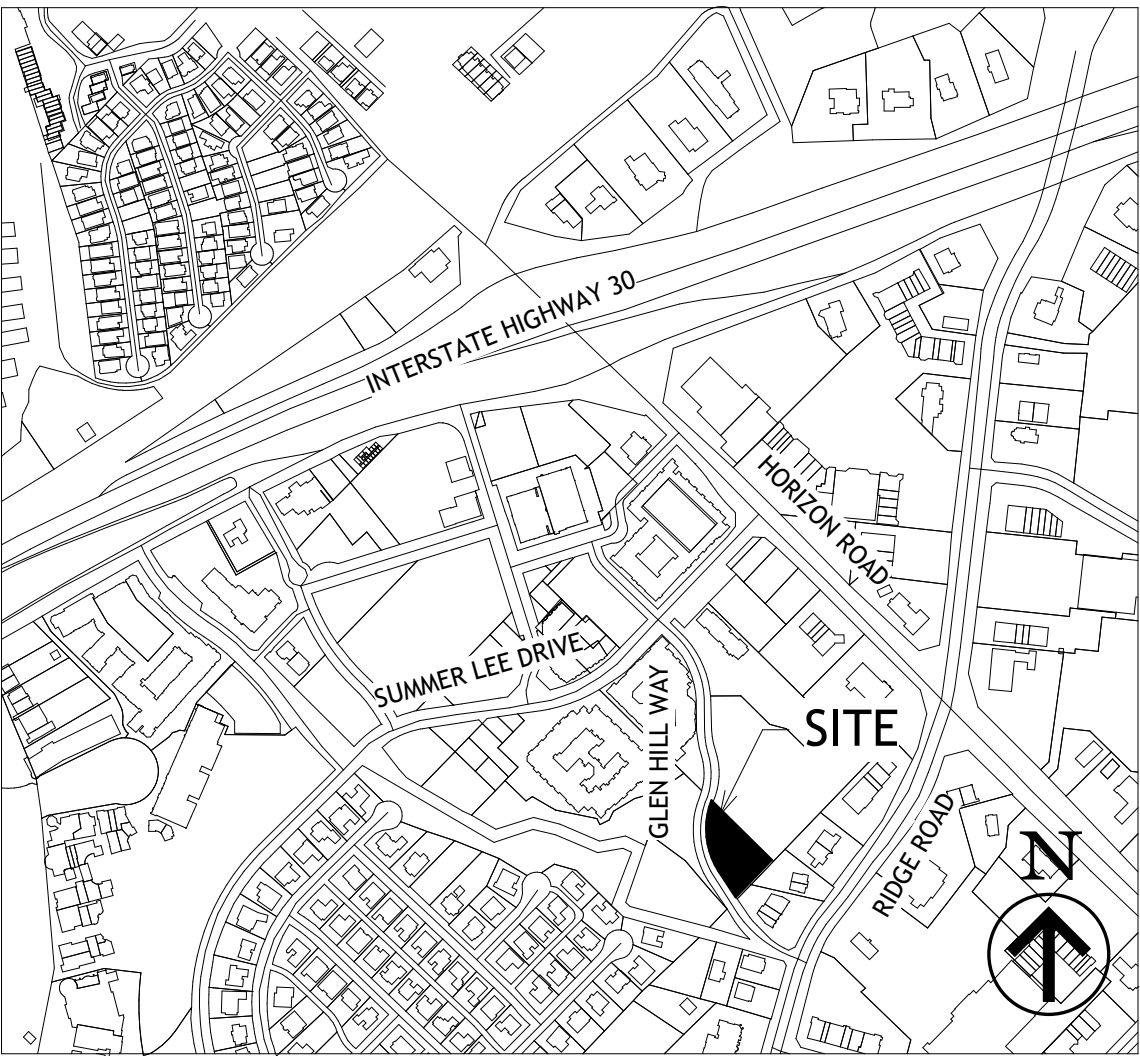
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared March 4, 2025



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Grape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4" Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TOT HE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY.
- ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

Site Data Summary Table

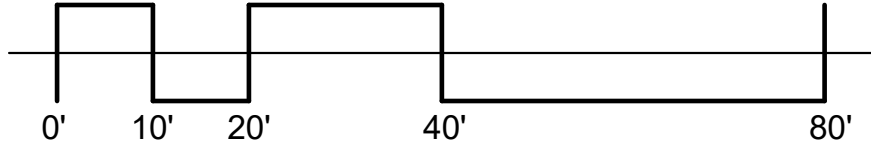
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Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

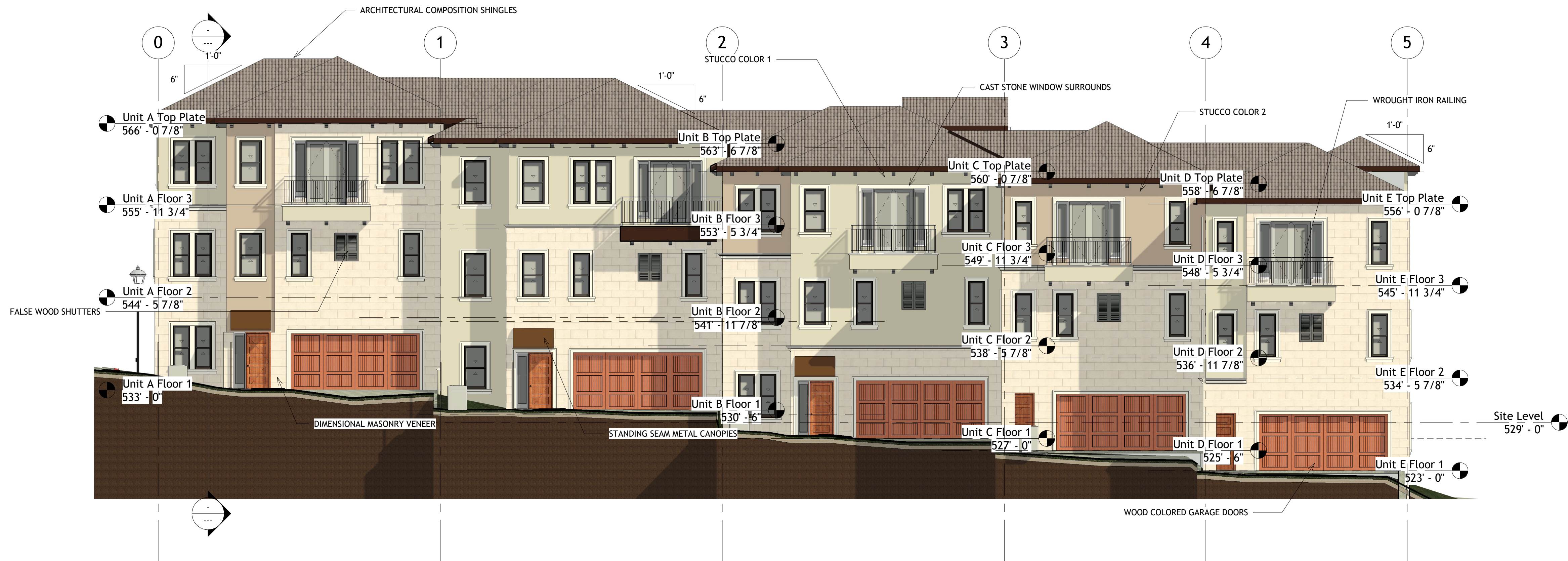
Zappa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.682.1435

Concept Landscape Plan

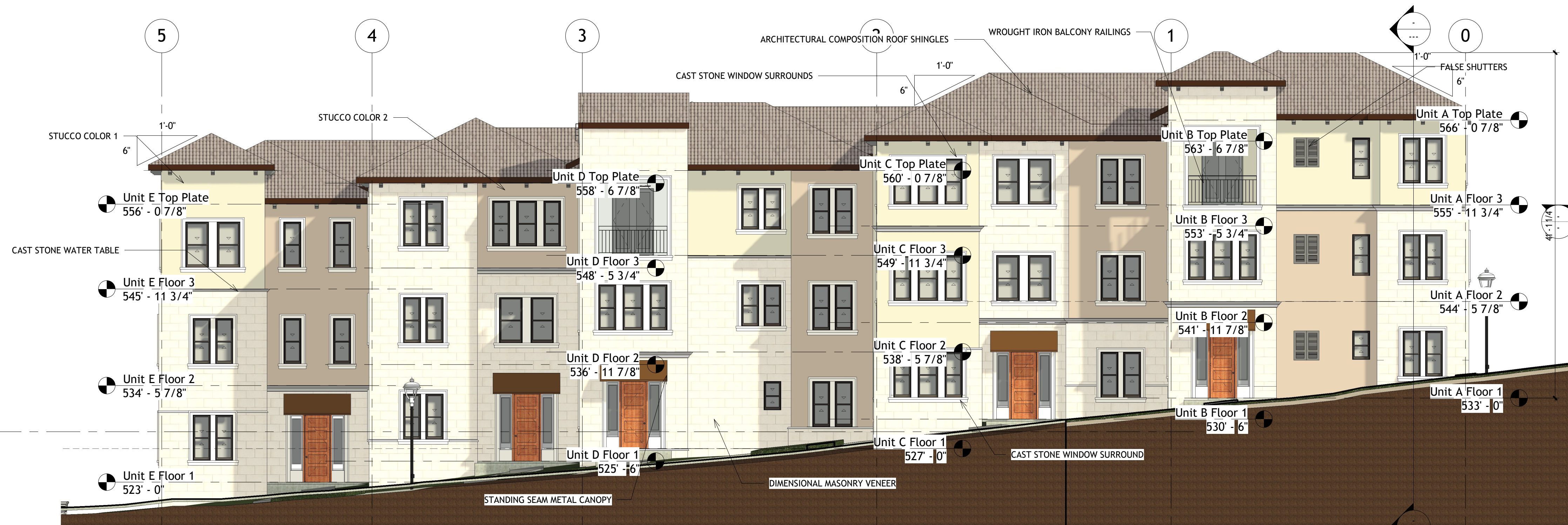
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

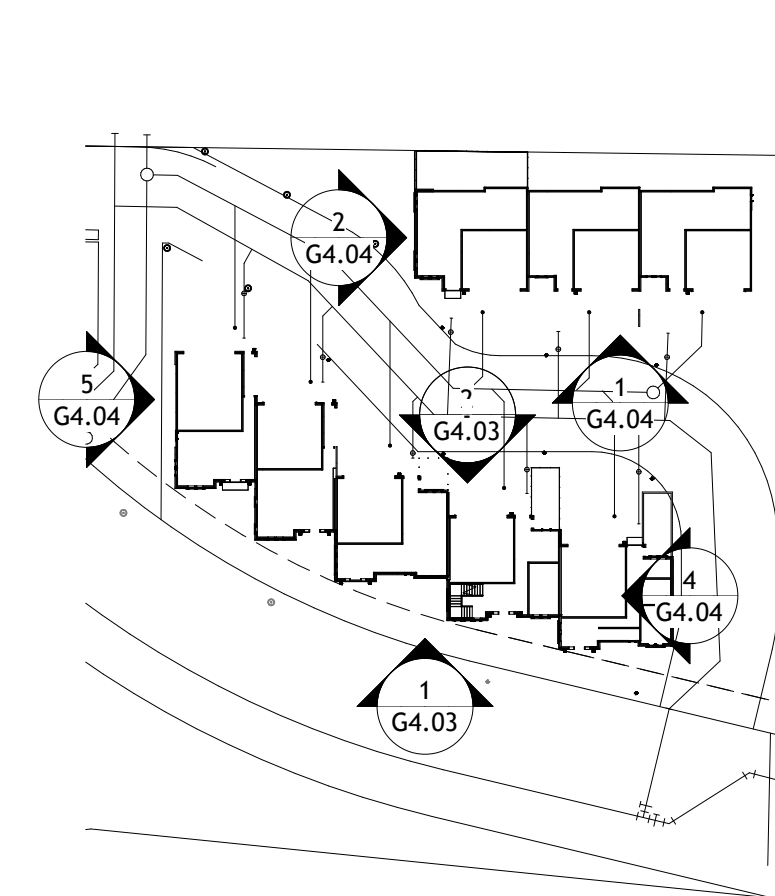
Prepared March 4, 2025



② Building 1 Facade - East
1/8" = 1'-0"



① Building 1 Facade - West
1/8" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.681.4335

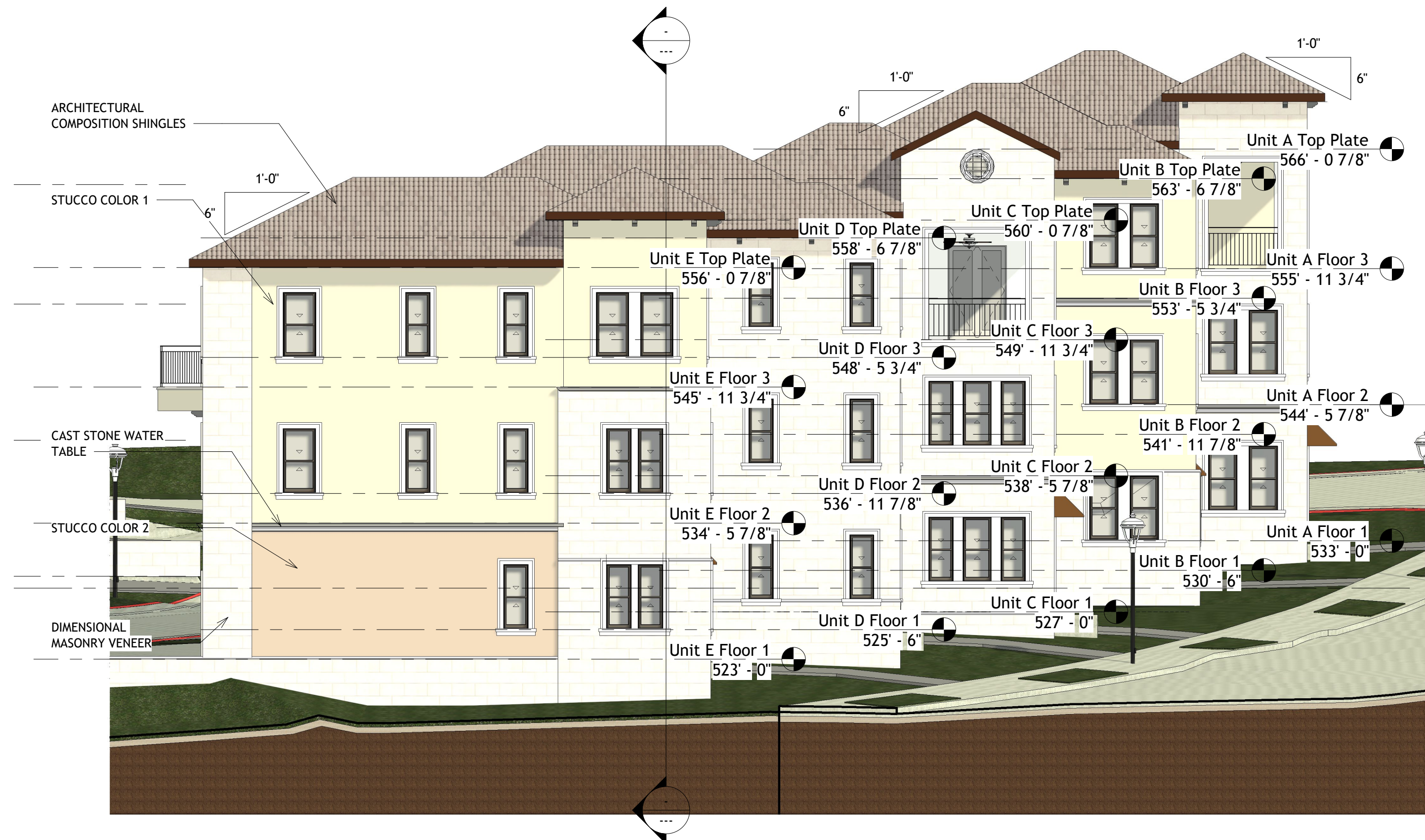
Owner:
Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
P: 972.682.1435

Color Elevations

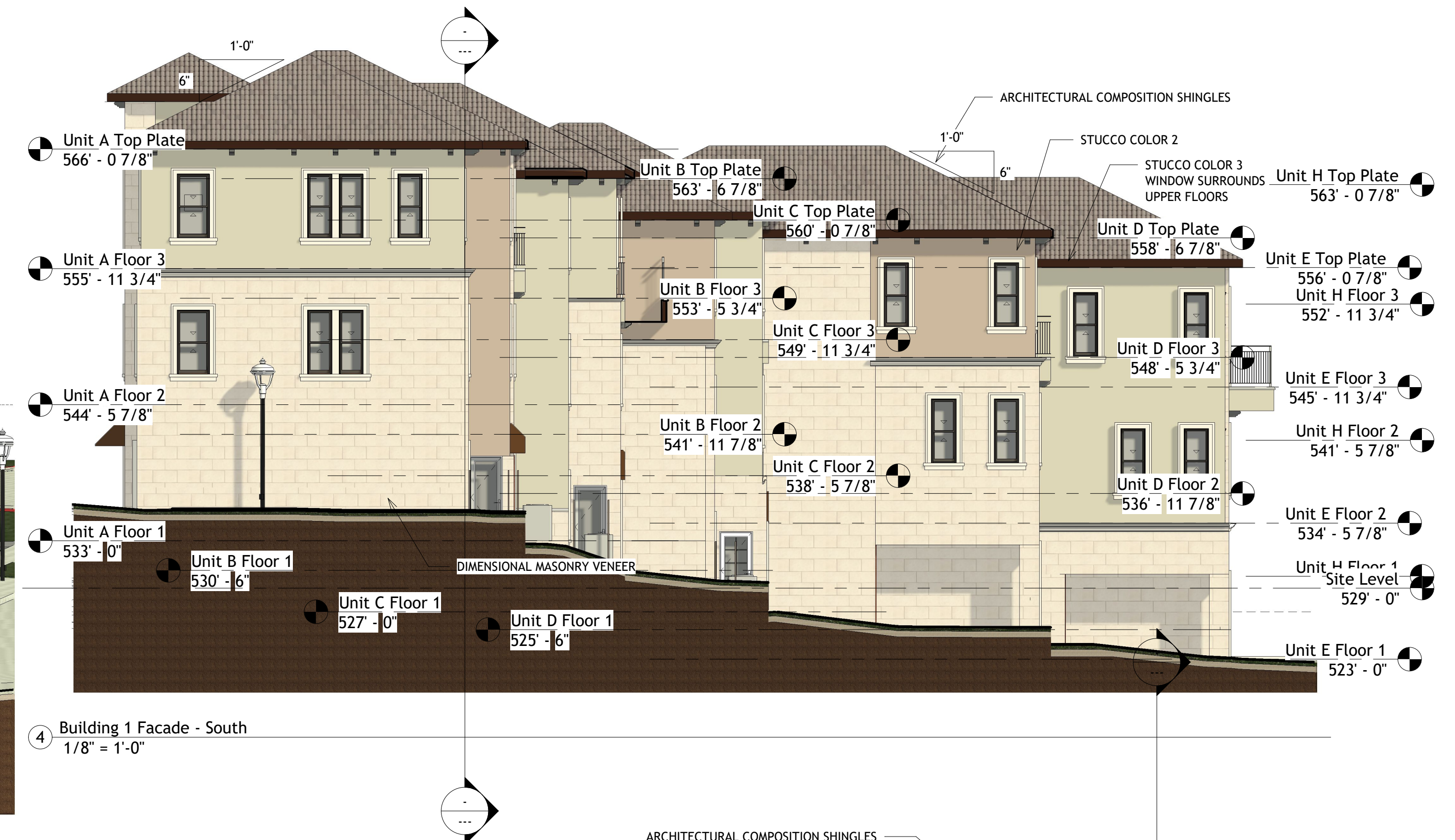
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

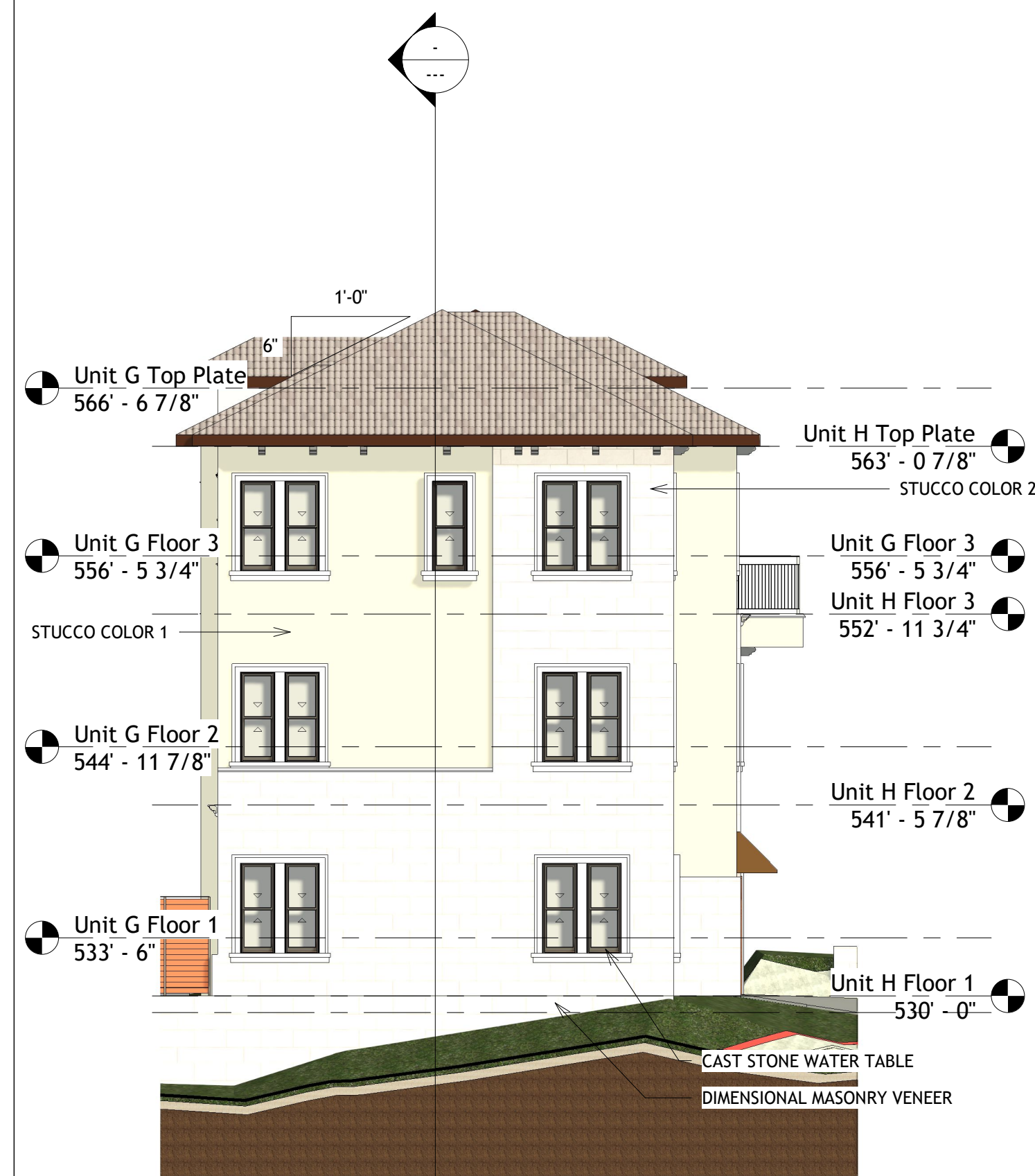
Prepared March 4, 2025



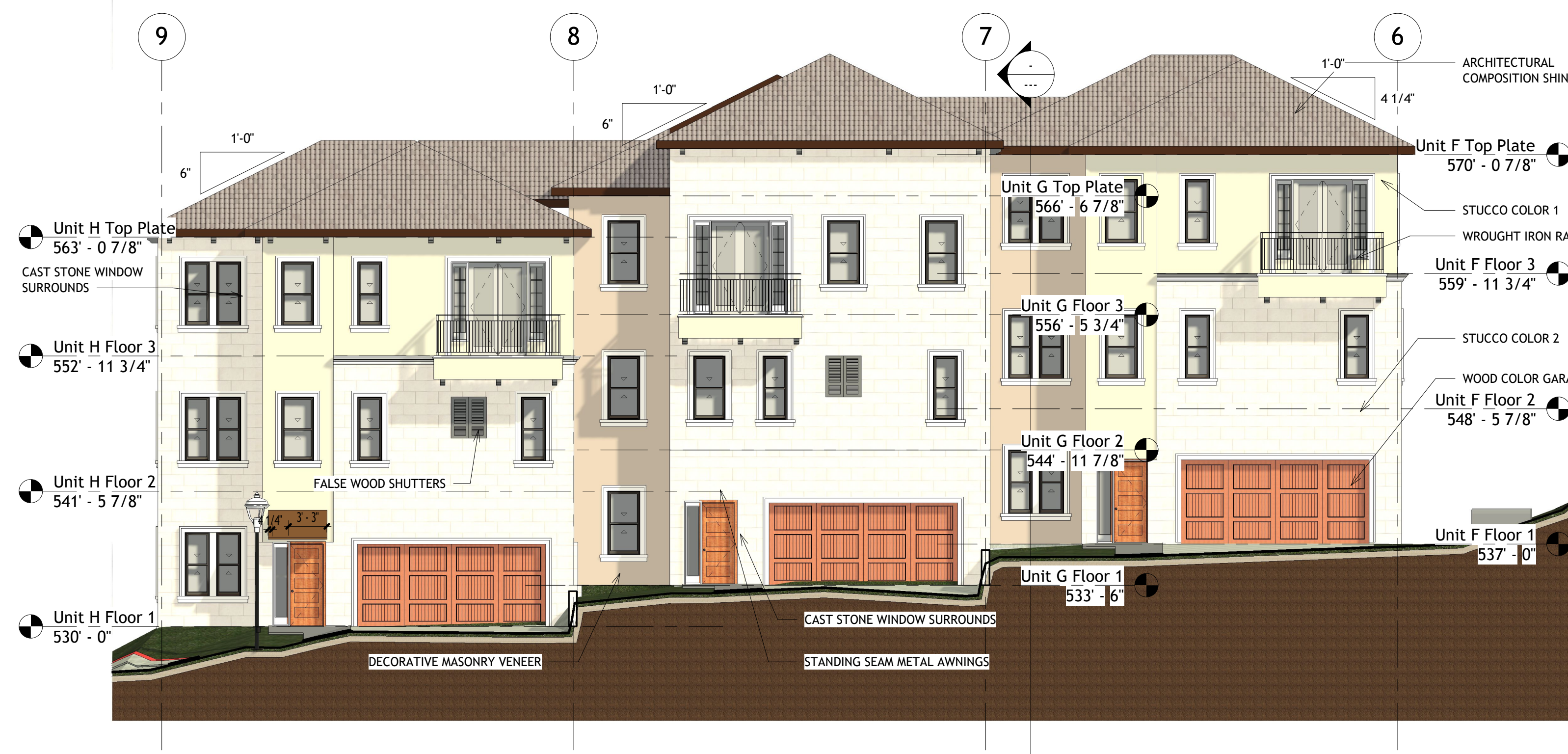
5 Building 1 Facade - North
1/8" = 1'-0"



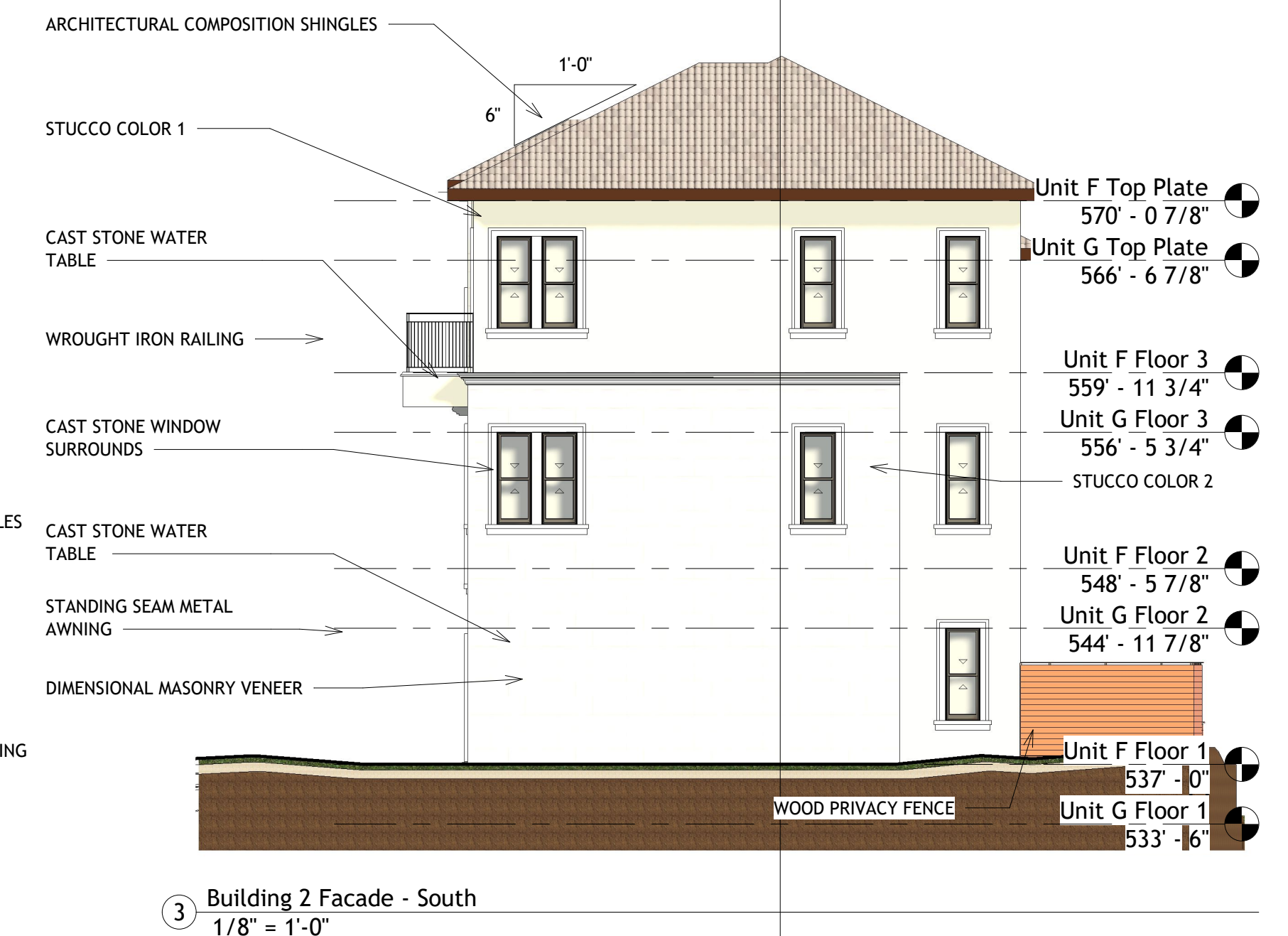
4 Building 1 Facade - South
1/8" = 1'-0"



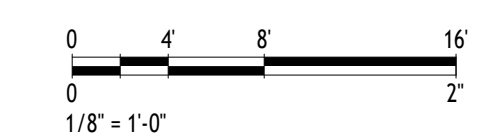
2 Building 2 Facade - North
1/8" = 1'-0"



1 Building 2 Facade - West
1/8" = 1'-0"



3 Building 2 Facade - South
1/8" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:
Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared March 4, 2025



OVERALL VIEW



VIEW ALONG GLEN HILL WAY



INTERIOR ACCESS DRIVE

GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Color Renderings

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared March 4, 2025



VIEW FROM GLEN HILL WAY



INTERIOR ACCESS DRIVE

GREENLIGHT

STUDIO, LLC
www.greenlight-company

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.610.4335

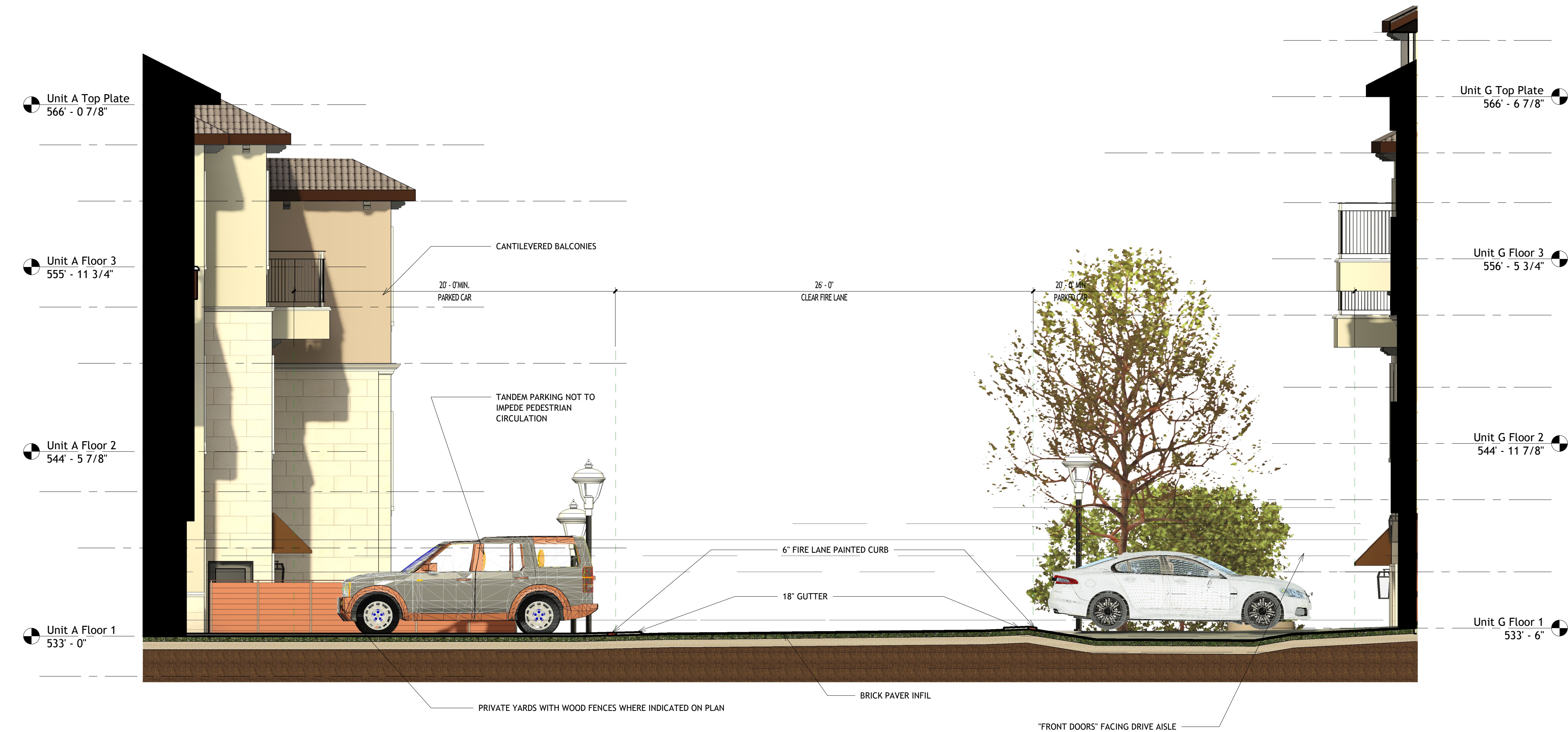
Owner:
Zapa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.662.1435

Color Renderings

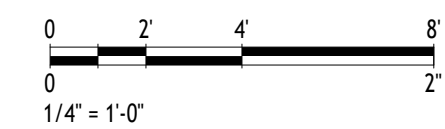
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared March 4, 2025



① Drive Aisle Section
1/4" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
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Richardson, Texas 75080
P: 214.610.4335

Owner:
Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
P: 972.682.1435

Drive Aisle Section

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared March 4, 2025

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

The *Residential Sub-District* is reserved for zero lot line single-family residential housing. A lower volume of traffic in this area of the Harbor District make this *Sub-District* ideal for single family use. Key characteristics of this *Sub-District* include adjacency to open space and steep slopes that offer views of the surrounding area. Existing slopes within this *Sub-District* are in the six (6) percent to 16% range. This *Sub-District* is predominately vegetated by massing of existing trees that should be preserved when possible.

BUILDING PLACEMENT

BUILD-TO-LINE (DISTANCE FROM ROW LINE)

<i>Street Type M</i>	10'
----------------------	-----

BUILDING FORM

<i>Street Type N</i>	5'
<i>Side</i>	8'
<i>Zero Lot Line</i>	0'

NOTE: A minimum of 50% of the boundary with the Open Space *Sub-District* along *Street Type G* must be a public street (i.e. *Street Type M*).

BUILDING FORM

<i>Street Type M Min. Façade Built to BTL</i>	65%
<i>Maximum Lot Coverage</i>	61%
<i>Minimum Lot Size</i>	30' x 90'

USE

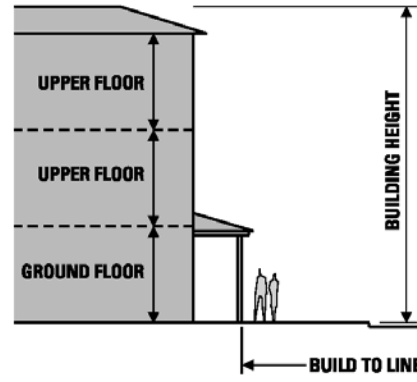
Ground Floor	Residential
Upper Floors	Residential

<i>HEIGHT</i>	<i>STORIES</i>	<i>HEIGHT</i>
<i>Maximum Building Height</i>	3	36'

ENCROACHMENTS

<i>Front</i>	5'
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NOTE: Steps, stoops, and roof overhangs may encroach over the BTL as shown in the table above.



3 Story S.F. Residential

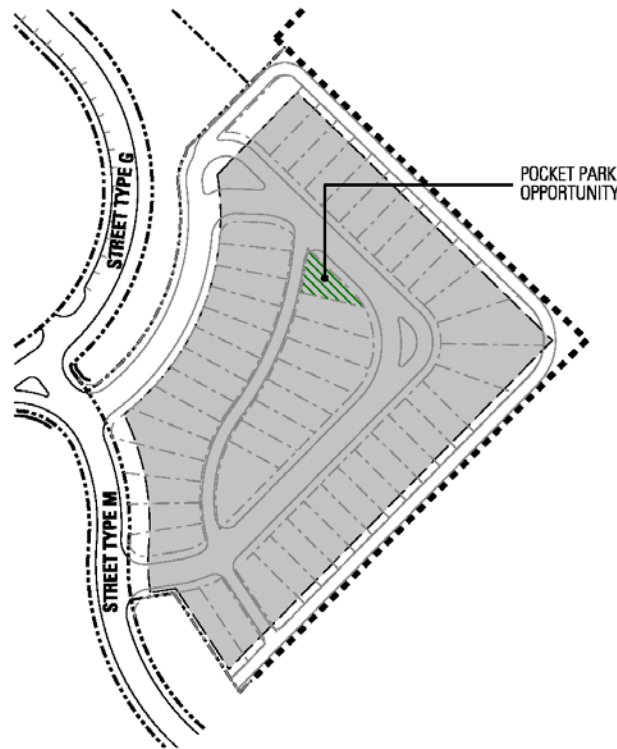


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

FLOOR PLAN/ELEVATION REPETITION

To avoid repetition and a monotonous look to the *Sub-District* environment, the following guidelines apply regarding the repetition of floor plans and elevations:

CASE 1

When building a house having the same floor plan and the same elevation, whether on the same or opposite side of the street, four (4) full lots must be skipped. Different paint color must be used. See Figure A.

CASE 2

When building a house having the same floor plan and a different elevation on the same side of the street, three (3) full lots must be skipped. Different paint color must be used. See Figure B.

CASE 3

When building a house having the same floor plan and a different elevation on the opposite side of the street, two (2) full lots must be skipped. Different paint color must be used. See Figure B.

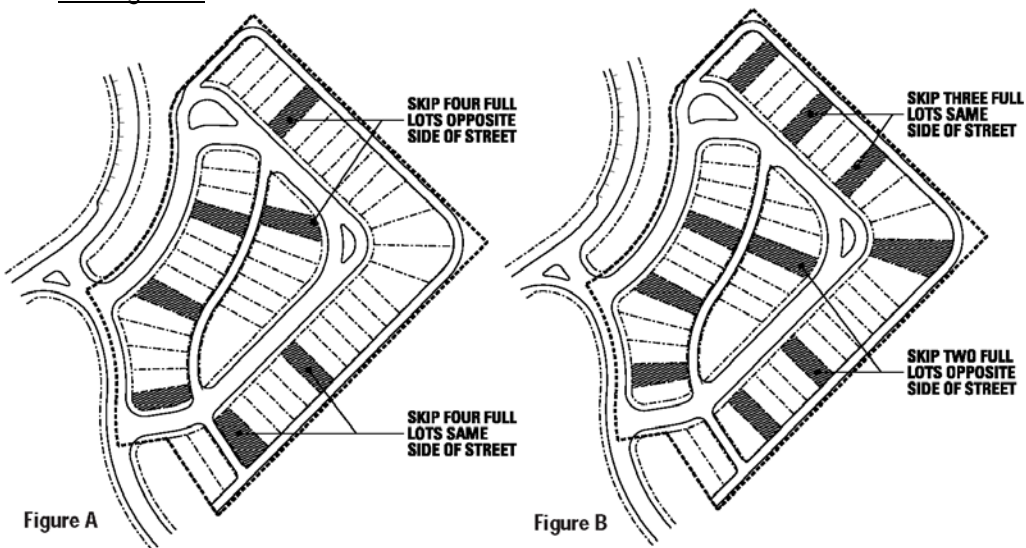


Figure A

Figure B

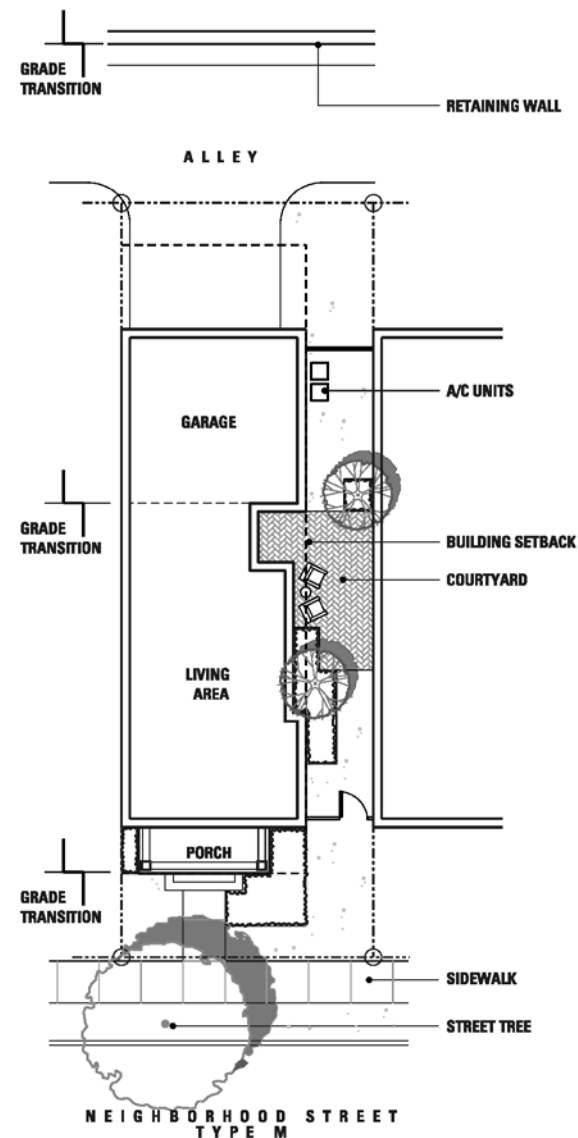
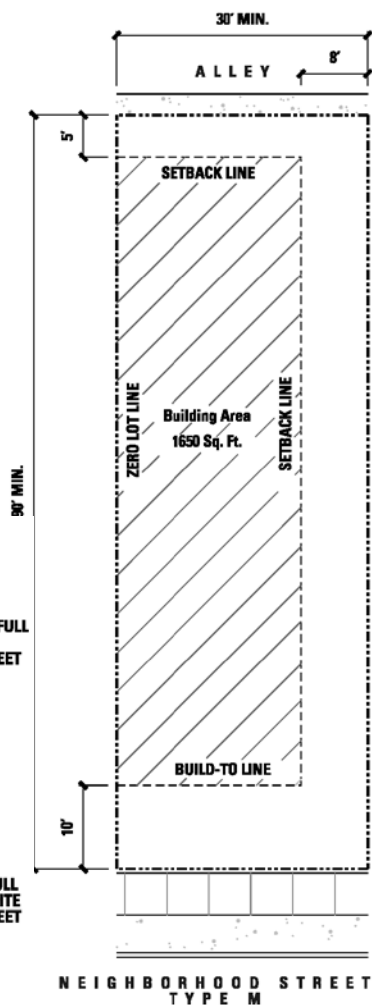


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

SITE LAYOUT, GRADING AND DRAINAGE

- (1) Runoff onto adjacent properties is prohibited.
- (2) Finished floor elevations shall be set in order to provide positive drainage away from all buildings.
- (3) Create smooth slope transitions, blending with natural grades, with maximum slopes in lawn areas being 4:1.
- (4) Do not run drainage swales from planting areas across paved areas.

LANDSCAPE STRUCTURES

- (1) Basketball goals, play structures, swing sets and similar elements may only be located in side or rear yards.
- (2) All vertical construction including garages, gazebos, arbors, barbeques and fireplaces must comply with front, side and rear setbacks.
- (3) Use materials, forms, styles and colors which match or are complementary to the architectural style and detailing of the house.

POOLS AND WATER FEATURES

- (1) Swimming pools, spas and water features must comply with front, side and rear setbacks. Above grade pools or spas are not permitted.
- (2) Fencing or design solutions which provide enclosures in accordance with local ordinances and regulations must be provided.
- (3) Mechanical equipment for pools and spas must be located so as to not be visible from adjacent properties or the street. Locate or enclose equipment to minimize noise intrusion.

LIGHTING, UTILITIES AND SERVICE

- (1) Exterior ornamental and accent lighting may be used in moderation to complement landscape and architectural features. Light fixtures shall have appropriate light cutoff shields to prevent unwanted glare to neighboring properties and streets.
- (2) Post mounted light fixtures and bollard lighting are not permitted. Pathway lighting may be used, limited to 18-inches in height.

- (3) Colored, fluorescent and neon lighting is prohibited. Obtrusive HID security lighting fixtures are prohibited.
- (4) Exposed exterior floodlights or wall packs are not permitted.
- (5) All site utilities shall be underground. Transformers, meters and other utility equipment shall be screened by planting or by architectural means. Avoid clipped hedges around utility boxes.

IRRIGATION DESIGN

- (1) Irrigation is required for all home sites and shall be an automatic, underground system with rain and freeze sensors.
- (2) Design irrigation systems to separately circuit irrigation zones for plant materials having different watering requirements, such as lawns and shrubs.
- (3) Prevent overspray onto streets, pedestrian walks, driveways and buildings.

DRIVEWAYS

- (1) Driveways shall be paved with concrete, pavers, or integrally colored concrete with charcoal grey color. Chemical staining enhancements are not permitted. Driveways may not be painted with an opaque coating.

GARAGES

- (1) Garages must be rear loaded from an alley.
- (2) All garages must hold a minimum of one and a maximum of two cars. Guest parking spaces shall be on street.

BUILDING MASSING

- (1) The house footprint shall be composed of squares and rectangles placed at right angles to one another. The geometry of each of these shapes shall be uninterrupted by adjacent shapes.
- (2) All building footprints shall be at right angles to the property lines. Compose house forms to create exterior space.
- (3) Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition.

ROOFS

- (1) The individual shapes which compose the house footprint shall each be roofed by a symmetrical gable, hip, or a simple roof form.
- (2) The geometry of each roof form shall be uninterrupted by adjacent roof forms. Valleys are discouraged, except for dormers.

WALL MATERIALS

- (1) Exterior wall materials shall be any of the following:
 - A. Fiber cement board siding and shingles, primed and painted, "Hardie" type boards. Siding shall be installed horizontally only, lapped clap board style with narrow lap exposures preferred over wide exposures.
 - B. Portland cement stucco with integral color
 - C. Brick masonry
 - D. Stone masonry
 - E. Cast stone masonry
 - F. Fireplace masses and chimneys shall be clad in noncombustible materials to match exterior house materials.
 - G. Aluminum, masonite, and vinyl siding are not permitted.
- (2) Exterior wall materials may change at a vertical line which delineates a change in building form, or along horizontal lines.

EXTERIOR FINISHES

- (1) All wood and composite surfaces shall be finished with paint, applied over an appropriate primer. Opaque and semi-opaque stain may be used.

TRIM

- (1) All trim, where used, shall be cement fiber board, cedar, or quality wood products. Trim shall be a minimum ¾-inch thick with flat surfaces. Built up assemblies, shaped profiles, and ornamental embellishments are to be avoided.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

DOORS

- (1) All exterior doors shall be wood or metal, hinged, of rail and stile construction, with one (1) to six (6) panels. Dormers above doors are encouraged. Panels shall be glazed or flat wood (not raised panels). Doors shall be painted.
- (2) Exterior doors shall be swing type, of solid wood or wood veneer, and shall be painted, or clad in pre-finished metal.

SCREEN DOORS

- (1) Screen doors are allowed. Screen doors shall be of wood rail and stile construction, with one (1) to six (6) panels. All panels shall be screened. Screen doors shall be painted.
- (2) Storm doors are not permitted at the front door but are allowed at side and rear doors.

GARAGE DOORS

- (1) Garage doors shall be overhead roll-up construction with horizontal insulated metal panels.
- (2) Garages may have maximum 18-foot wide doors.

EXTERIOR DOOR HARDWARE

- (1) Oversize or overly ornamented door hardware or escutcheon trim plates are not permitted on the front door.

WINDOWS

- (1) Windows shall be casements, awnings, or double or single hung. Each window shall be glazed by a single panel of insulated glass, or may be divided into no more than four (4) panels. Fake mullions are discouraged.
- (2) Windows may be of wood, thermally broken aluminum or aluminum-clad wood construction. Vinyl or vinyl-clad construction is not permitted.
- (3) All operable windows shall be equipped with insect screens.
- (4) Bay windows shall be glazed a minimum of 80% of their width.

EXTERIOR WINDOW SHUTTERS

- (1) Window shutters are permitted provided they are proportioned to fully cover the windows they would protect. Shutters may be wood or synthetic.

AWNINGS

- (1) Window awnings are not permitted, with the exception of shutter awnings.

GLAZING

- (1) Window and door glazing shall be clear, insulated, double-pane, low-emissivity glass. Applied window films are not permitted.

ROOFS

- (1) Roofs may be covered in composite asphalt shingles. Composition shingles must be minimum 25-year dimensional, laminated type. Flat, three (3) tab shingles will not be permitted. An example of approved roof shingle type is Tamko "Heritage 30." Standing seam metal roofing and other metal roof types may be used.
- (2) All roof penetrations, other than chimneys, shall be grouped as far from frontages as possible, shall not be visible from the street and shall be painted as needed to match roof. Skylights shall not be visible from the street.
- (3) All soffit venting shall be 2-inch continuous venting or perforated "Hardisoffit" panels. No box vents shall be used. No vinyl material may be used.
- (4) Dormers shall be appropriately proportioned, hip or gable, with a minimum 6:12 pitch. They shall be glazed a minimum of 90% of their face and must be open to the interior roof area beyond.
- (5) Roof ventilation dormers are permitted only on the side and rear elevations and must be vented a minimum of 90% of their face.
- (6) Dormers shall have minimum overhangs and eaves. Stucco or "Hardi" Siding or Panels are recommended in dormer gables.
- (7) All exposed metal flashing shall be unpainted galvalume, paint-grip or galvanized steel.

- (8) Roof attic vents shall be continuous ridge vents such as "Cool Ridge." Powered attic vents are not allowed. Turbine vents may be allowed by variance, but must not be visible from the street.
- (9) Satellite dishes and roof antennae shall not be visible from the street.

CHIMNEYS

- (1) All chimneys must be fitted with a galvanized metal chimney cap with a 'roof' that is the same size and shape as the chimney it covers. The roof form may be flat or hipped.
- (2) The chimney cap must include metal mesh, screen or grid to prevent animals from entering the chimney.
- (3) Acceptable finishes are natural 'paint-grip' galvanized or painted galvanized.

RAIN GUTTERS

- (1) Rain gutters and downspouts may be of any profile compatible with the style of the house and roof. Gutters and downspouts shall be located in a way as to not draw attention to themselves.
- (2) Gutters and downspouts shall be unpainted galvalume, "paint-grip" steel or zinc finishes, although prefinished metal finishes may be permitted.
- (3) Downspouts shall terminate at splash blocks, gravel, brick or concrete.

PAINT

- (1) All exterior finish coat paint shall be acrylic latex or latex enamel.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

PORCH CONSTRUCTION

- (1) Porch columns shall be wood posts, minimum six (6) inch by six (6) inch, painted and free of ornamentation.
- (2) Porches shall have wood railings. Railing details must be included with plan submissions for approval.
- (3) Porch floors shall be concrete, stone or brick. Porch construction shall be concrete slab foundation, built as part of the house.
- (4) Porches and covered balconies may be screened at the rear of the homes only.

ELEMENTS NOT PERMITTED

The following list of elements are not permitted in the development:

- ☑ Window A/C Units
- ☑ Exterior Fluorescent Lighting
- ☑ Solar Powered Landscape Lighting
- ☑ Soffit/Cornice Lighting Visible from a Public ROW
- ☑ Skylights Visible from a Public ROW
- ☑ Antennas or Satellite Dishes Greater Than 18-inch Diameter
- ☑ Decorative Flags - Properly Displayed American Flags are Allowed
- ☑ Concrete Statuary Visible from Public ROW
- ☑ Plastic Furniture or Artificial Plants Visible from a Public ROW
- ☑ Asphalt or Gravel Drives



ARCHITECTURAL DETAIL CHARACTER



RESIDENTIAL STREET EDGE CONDITION

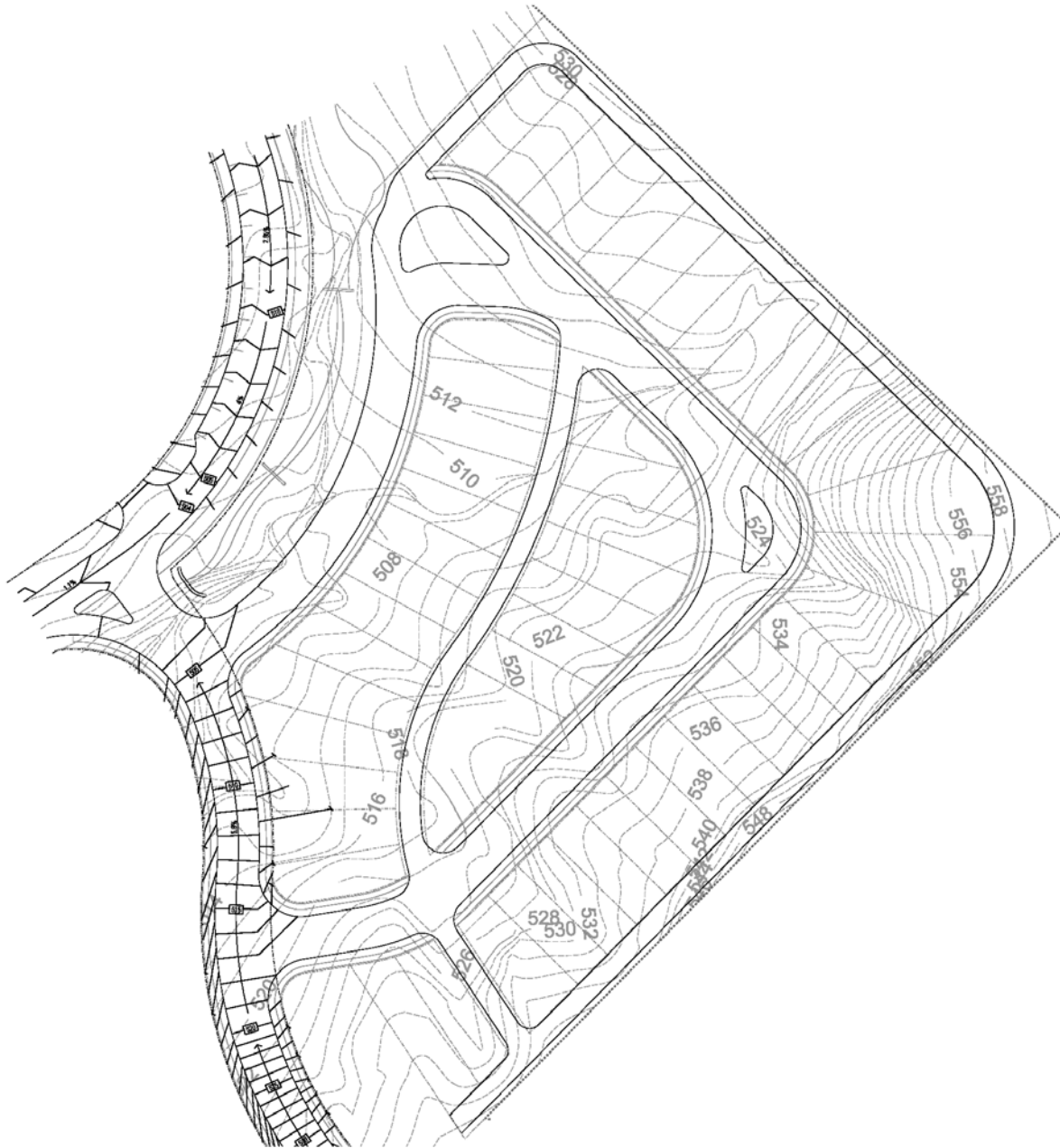


RESIDENTIAL STREET CHARACTER



RESIDENTIAL STREET EDGE CONDITION

EXHIBIT 'E-9':
Residential Sub-District



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR EIGHT (8) TOWNHOMES ON A 0.871-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, HARBOR HILLS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) townhomes to be situated within the *Residential Subdistrict*, on a 0.871-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed townhome development shall not contain more than eight (8) townhomes.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF APRIL, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

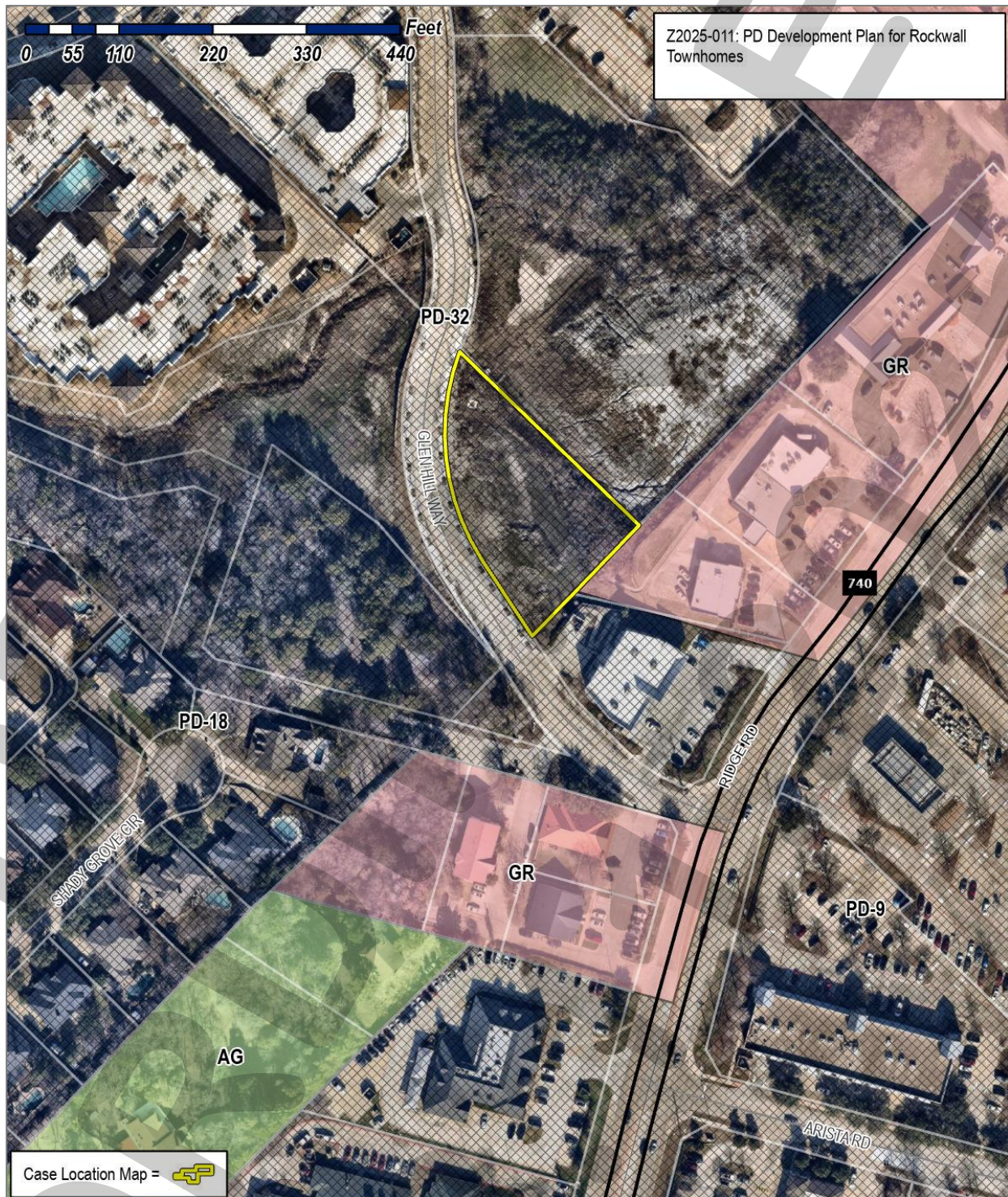
Frank J. Garza, *City Attorney*

1st Reading: March 17, 2025

2nd Reading: April 7, 2025

Exhibit 'A':
Location Map

Legal Description: Lot 3, Block A, Harbor Hills Addition



The site plan illustrates a residential development with the following features:

- HOA Areas:**
 - HOA 374 SF (Top center)
 - HOA DRAINAGE 4222 SF (Left center)
 - HOA 1514 SF (Right center)
 - HOA 2428 SF (Bottom right)
- Private Drive:** 9792 SF (Center)
- Individual Lots:**
 - LOT 1: 2808 SF
 - LOT 2: 2462 SF
 - LOT 3: 2559 SF
 - LOT 4: 2298 SF
 - LOT 5: 2285 SF
 - LOT 6: 2702 SF
 - LOT 7: 2301 SF
 - LOT 8: 2191 SF
- Infrastructure and Easements:**
 - Drainage:** 20' DRAINAGE EASEMENT (EXISTING), EXISTING STORM DRAIN, EXISTING TREE WELL TO BE REMOVED, EXISTING PEDESTRIAN LIGHTING TO REMAIN, TYP.
 - Utility:** 8" W.L. STUB OUT, 4" SS MANHOLE, 55 STUB OUT, 20' UTILITY EASEMENT, 30' UTILITY EASEMENT, (3) 9x20' GUEST SPACES.
 - Fire Lane:** 26' FIRE LANE, TYP.
 - Setbacks and Easements:** 10' BUILDING SETBACK AND UTILITY EASEMENT, 1' SIDEWALK EASEMENT, EXISTING SIDEWALK.
 - Other:** NEW CURB INLET TO CONNECT TO EXISTING 18" RCP, EXISTING CURB INLET TO BE REMOVED, CURB INLET TO DISCHARGE TO DRAINAGE, PARK BENCH, DOG WASTE STATION, DOG RUN AREA: 2927 SF (UNFENCED), APPROX LOCATION OF PAD MOUNTED TRANSFORMER BUILDING 1, APPROX LOCATION OF PAD MOUNTED TRANSFORMER BUILDING 2, AC CONDENSERS, TYP, 6" RED FIRE LANE STRIPING, NEW PEDESTRIAN LIGHTING, TYP.
- Boundaries:**
 - GLEN HILL WAY STREET TYPE "M" 50' R.O.W. (Left)
 - 20' VISIBILITY TRIANGLES (Top left and bottom left)

Exhibit 'C': Conceptual Building Elevations



Exhibit 'C': Conceptual Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: Tyler Adams; *Greenlight Studio*
CASE NUMBER: Z2025-011; *PD Development Plan for Rockwall Townhomes*

SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The City Council annexed the subject property into the City of Rockwall on January 9, 1984 through the adoption of *Ordinance No. 84-05*. Upon annexation, the subject property was zoned Agricultural (AG) District. On June 19, 1989, the subject property was rezoned to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] for Commercial (C) District land uses. On December 2, 2002, the City Council approved an amendment to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] that changed the underlying zoning to the General Retail (GR) District. This Planned Development District was again amended on February 4, 2008 by *Ordinance No. 08-11*. This ordinance increased the boundaries of the district, and established a limited set of land uses for the district.

On September 20, 2010, the City Council passed *Ordinance No. 10-21*, which superseded all previous ordinances associated with Planned Development District 32 (PD-32) and established a concept plan and development standards for an approximate 78.89-acre tract of land that included the subject property. Today, this land is now commonly referred to as PD-32 or the *Harbor District*. Included within this ordinance was a concept plan that divided the district into ten (10) subdistrict, each of which contained its own set of development and land use standards. In addition, a pool of 1,161 *urban residential units* (i.e. *condominiums and/or townhomes*) and 49 *single-family residential units* (i.e. *zero-lot-line or patio homes*) was created. These units could then be allocated to properties within the district by the City Council -- *in accordance with the land use charts in the ordinance* -- on a *first-come-first-serve* basis through an interim zoning step called a *PD Development Plan*. According to Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC), "(a) *PD Development Plan* constitutes an amendment to the approved *PD Concept Plan* and *PD Ordinance* ... The purposes of a *PD Development Plan* are to allow flexibility in the development process by deferring specification of all development standards at the time of *PD District* creation and to enable developers to satisfy conditions imposed on creation of the *District* prior to the submittal of a *PD Site Plan*." In addition, *Ordinance No. 17-22* [i.e. *the regulating ordinance for Planned Development District 32 (PD-32)*] states that the purpose of a *PD Development Plan* in Planned Development District 32 (PD-32) is to ensure that a proposed development meets the intent of the subdistrict and/or to address any waivers required by the development.

Currently, the City Council has approved *PD Development Plans* allocating all of the 1,161 *urban residential units* and all but seven (7) of the 49 *single-family residential units*. A summary of the unit allocations is as follows:

TABLE 1: URBAN RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Summer Lee Condominiums (i.e. Harbor Hill) ¹	265	Condominiums	SP2015-004 ²	N/A
Harbor Urban Condominiums (i.e. the Florence)	228	Condominiums	Z2018-001	18-16 ⁴
Harbor Village Building 1 (i.e. Adjacent to Lakefront Trail)	375	Condominiums	Z2019-008	19-21 ⁵
Harbor Village Building 2 (i.e. Adjacent to Harbor Fountain) ³	75	Condominiums	Z2019-008	19-21 ⁵
Harbor Residences (i.e. WC of Summer Lee and Horizon Road)	176	Condominiums	Z2022-058	23-05 ⁶
Sunset Ridge Residences (i.e. Adjacent to Harbor Residences)	42	Condominiums	Z2022-002	22-11
<i>Total Allocated:</i>		1,161		
<i>Permitted in District:</i>		1,161		
<i>Units Remaining:</i>		0		

NOTES:

- ¹: This case was determined to be conforming to the *Concept Plan* originally approved with *Ordinance No. 10-21*, and was determined to not require a *PD Development Plan* at that time (i.e. the approval of the *site plan* allocated the units to this project).
- ²: Case No. SP2015-004 was amended by Case No. SP2018-037 & SP2020-018.
- ³: *Ordinance No. 19-21* contains conditions that allow the City Council to claw back 25 of the 75 allocated units pending a building permit has not been issued by June 1, 2020. This project currently has not been issued a building permit.
- ⁴: This ordinance superseded *Ordinance No. 16-54* (Case No. Z2016-025), which originally allocated the units for this project.
- ⁵: This ordinance superseded *Ordinance No. 13-16* (Case No. Z2013-011); however, the units for this project were originally allocated with *Ordinance No. 11-43* (i.e. Case No. Z2011-020).
- ⁶: This ordinance superseded *Ordinance No. 22-10* (Case No. Z2022-001) and *Ordinance No. 22-36* (Case No. Z2022-024).

TABLE 2: SINGLE-FAMILY RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Harbor Urban Townhomes ¹	42	Townhomes	Z2018-001	18-16 ²
<i>Total Allocated:</i>		42		
<i>Permitted in District:</i>		49		
<i>Units Remaining:</i>		7		

NOTES:

- ¹: This *PD Development Plan* only affected the *Residential Subdistrict*, which was the only district that allowed the *single-family residential units*. The approval of *Ordinance No. 18-16* amended the district to allow the 42 townhomes in lieu of the 49 zero-lot-line or patio homes.
- ²: This ordinance superseded *Ordinance No. 16-48* (Case No. Z2016-026), which originally allocated the units for this project.

On October 19, 2020, the City Council approved a final plat [Case No. P2020-036] establishing the subject property as Lot 3, Block A, Harbor Hills Addition. On January 17, 2025, the applicant submitted a PD Development Plan request; however, due to the applicant's failure to attend the Planning and Zoning Commission work session meeting, the applicant requested to withdraw the case. On February 11, 2025, the Planning and Zoning Commission approved the withdrawal request by a vote of 7-0. On February 14, 2025, the applicant submit a subsequent application, which was tabled on March 11, 2025, in order to allow the applicant more time to address concerns from the Planning and Zoning Commission.

PURPOSE

On February 14, 2025, the applicant -- Tyler Adams of Greenlight Studio -- submitted an application requesting the approval of a *PD Development Plan* to allow the development of seven (7) townhomes on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northwest of the intersection of Ridge Road and Glen Hill Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 4.076-acre parcel of land (i.e. Lot 4, Block A, Harbor Village Addition). Beyond this is a 2.12-acre parcel of land (i.e. Lot 5, Block 5, Harbor Village Addition) developed with a *Limited Service Hotel* (i.e. Tru Hilton). These properties are situated within the *Residential and Interior Subdistricts* of Planned Development District 32 (PD-32). Following this is Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8320-acre parcel of land (i.e. Lot 1, Block A, Lakeridge Est Addition) developed with a multi-tenant retail building (i.e. Feng Cha, Athletico, & Hollywood Feed) located within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32). Beyond this is Glen Hill Way, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are three (3) parcels of land (i.e. Lots 1-3, Block A, Willis-Sealock Addition) developed with retail buildings (i.e. Family Dentistry Rockwall & Ridge Road Animal Hospital) zoned General Retail (GR) District. South of this is a 1.46-acre parcel of land (i.e. Lot 1, Block A, AJ Squared Addition) developed with a multi-tenant Medical Office Building, zoned Planned Development District 18 (PD-18).

East: Directly east of the subject property are two (2) parcel of land (i.e. Lot 1, Block A, Murphy Plaza No. 2 Addition & Lot 1, Block A, Murphy Plaza) developed with multi-tenant Office Buildings, zoned General Retail (GR) District. Beyond this is Ridge Road [SH-740], which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 2.0034-acre parcel of land (i.e. Lot 1, Block A, RDI Retail Addition) developed with a General Retail Building (i.e. Walgreens) zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses.

West: Directly west of the subject property is Glen Hill Way, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 2.1690-acre parcel of land (i.e. Lot 2, Block A, Harbor Hills Addition) situated within the Interior Subdistrict of Planned Development District 32 (PD-32). Following this is a 1.25-acre tract of land (i.e. Tract 137 of the E. Teal Survey, Abstract No. 207) that serves as the Glen Hills Cemetery. West of this is the Lago Vista Subdivision, which contains 92 single-family homes and is zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan showing the establishment of seven (7) townhomes northwest of the intersection of Glen Hill Way and Ridge Road [SH-740] across the street from the Glen Hills Cemetery. Based on the proposed concept plan, the townhomes are split into two (2) buildings, with four (4) townhomes facing directly onto Glen Hill Way and the remaining three (3) townhomes facing onto an internal mew street. In addition, there will be three (3) guest parking spaces, two (2) park benches, and two (2) dog waste stations. The townhomes incorporate elements of the Tuscan architectural style and utilize earth tones. The internal mew street will be constructed of concrete, have no sidewalks, and have pedestrian lighting.

CONFORMANCE WITH PLANNED DEVELOPMENT DISTRICT 32 (PD-32)

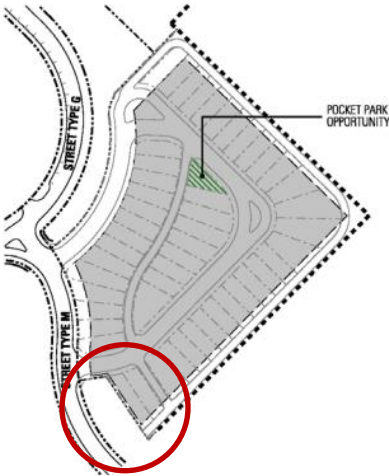
According to the *Subdistrict Plan* contained in Planned Development District 32 (PD-32) [Ordinance No. 17-22] the subject property is situated within the *Residential Subdistrict*, which -- according to Ordinance No. 17-22 -- is intended "...for zero lot line single-family residential housing." In this case, the applicant is proposing to change the zero lot homes into townhomes. This inherently changes the intent of the district, where the proposed townhomes do not meet the requirements stipulated for the *Residential Subdistrict*. Based on this, staff has requested that the applicant submit a *PD Development Plan* for the project. According to Ordinance No. 17-22, "(a) [PD] development plan shall be required if a proposed development within any *Subdistrict* that does not meet the intent of the *PD Concept Plan* or the *Subdistrict Plan*, or requires waivers not provided for in Section 9.3 [Waivers of Design Standards] of this ordinance." The following is a summary of the form-based code requirements for the *Residential Subdistrict*, and how the proposed project conforms to these requirements:

TABLE 1: BUILDING PLACEMENT AND PARKING COMPLIANCE THE RESIDENTIAL SUBDISTRICT

ORDINANCE PROVISIONS		RESIDNETIAL SUBDISTRICT	CONFORMANCE TO THE STANDARDS
BUILD TO LINE:		10-Feet	~10-Feet; <i>IN CONFORMANCE</i>
BUILDING FORM:	Side Yard Setback 8-Feet and 0-Feet.		No Side Setbacks Between Townhomes; <i>NOT IN CONFORMANCE</i>
	65% of the Façade must be at the Build to Line.		The Units Front Curved Streets and Do Not Meet This Requirement; <i>NOT IN CONFORMANCE</i>
	Minimum Lot Size is 30' x 90'		The are 35' Wide, but are as Short as 50-Feet; <i>NOT IN CONFORMANCE</i>
MAXIMUM LOT COVERAGE		61%	<61%; <i>IN CONFORMANCE</i>
LAND USE:	GROUND FLOOR	Residential	Residential; <i>IN CONFORMANCE</i>
	UPPER FLOORS	Residential	Residential; <i>IN CONFORMANCE</i>
BUILDING HEIGHT:			
MAXIMUM BUILDING HEIGHT		3-Stories and 36-Feet	3-Stories and 33-Feet; <i>IN CONFORMANCE</i>
ENCROACHMENTS		5-Feet	No Encroachments; <i>IN CONFORMANCE</i>
GARAGE LOCATION		Garages Must be Rear Loaded	Three (3) Units are Front Loaded; <i>NOT IN CONFORMANCE</i>

Staff has also provided the concept plan for the *Residential Subdistrict* in Figure 1. Staff reviewed the proposed building elevations, perspectives, and renderings for conformance to the *Design Guidelines* contained in Resolution 10-40 and found that the proposed elevations generally conform to the *Tuscan* architectural style. That being said, based on the proposed concept plan a mew street will run between the two (2) townhome buildings. The *Design Guidelines* detail that mew streets should include "...enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and may also include enhanced vehicular pavement." In this case, there are no proposed sidewalks and there will be decorative lighting. The landscape plan also delineates plantings along the mew both in open space and townhome lots. Staff should note, per the Chapter 2, *Streets*, of the Engineering Standards of Design and Construction, pavers or stamped concrete may not be utilized in utility easements.

FIGURE 1: RESIDENTIAL SUBDISTRICT CONCEPT PLAN
RED CIRCLE = APPROXIMATE LOCATION OF SUBJECT PROPERTY



In addition to the *Residential Subdistrict* requirements of Planned Development District 32 (PD-32) and the *Design Guidelines*, the applicant's request fails to meet the anti-monotony requirements of the Unified Development Code (UDC). According to Subsection 03.01(D), *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street ... (i)dentical building material blends and colors may not occur on adjacent (*side-by-side*) properties." This section continues with "(h)omes are considered to differ in appearance if any three (3) elements are different: (a) The number of stories of the home ... (b) The garage location/orientation on the home ... (c) The roof type and layout of the home ... [and] (d) The articulation of the front façade of the home." In this case, the proposed townhomes have the same number of stories, incorporate the same garage location/orientation, and utilize the same color and material blends. Given this, the proposed building elevations do not meet the anti-monotony standards.

Finally, the applicant is requesting to entitle the subject property with seven (7) townhome units. As shown in *Table 2 (above)*, there are seven (7) remaining single-family residential units (*i.e. zero-lot-line or patio homes*) within Planned Development District 32 (PD-32). The concept plan for PD-32 – *established with Ordinance No. 10-21* – allocated a pool of 1,161 *urban residential units (i.e. condominiums and/or townhomes)* and 49 *single-family residential units (i.e. zero-lot-line or patio homes)*. On September 19, 2016, the City Council approved a PD Development Plan [Case No. Z2016-026; Ordinance No. 16-48] that converted 36 of the *single-family residential units* to townhome units. Following this approval, the PD Development Plan was amended [Case No. Z2018-001; Ordinance No. 18-16] to include an additional six (6) townhome units, for a total of 42 townhomes. The remaining seven (7) single-family residential units have yet to be allocated to a project, and previous requests to increase the number of units in the Planned Development District 32 (PD-32) have not been approved. In this case, the applicant is requesting to convert the remaining single-family residential units (*i.e. zero-lot-line or patio homes*) into townhomes.

With all this being said, a *PD Development Plan* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. Until the completion of an infrastructure study the level of roadway improvements cannot be determined. The proposed new street cannot utilize stamped concrete or pavers if the street will act as a utility easement as well. A *Streetscape Plan* showing how the sidewalks and pedestrian areas will be designed will be required to be submitted with the site plan. In addition, the applicant will be required to update the Traffic Impact Analysis (TIA) for the *Harbor District* per the City Council's direction from the November 5, 2018 City Council meeting.
- (2) Wastewater and Water. An infrastructure study will be required to determine the necessary improvements needed to sufficiently serve the subject property. Staff recommends that this infrastructure study be initiated prior to the submission of a site plan.
- (3) Drainage. The applicant shall be required to pay a stormwater pro-rata fee of \$7,226.59 per acre.

NOTIFICATIONS

On February 21, 2025, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lago Vista Homeowner's Association (HOA), which was the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *PD Development Plan* for seven (7) townhomes, staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the PD Development Plan ordinance and which are detailed as follows:
 - (a) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the PD Development Plan ordinance; and,
 - (b) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*; and,
 - (c) The proposed townhome development shall not contain more than seven (7) townhomes; and,
 - (d) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*]; and,
 - (e) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in the PD Development Plan ordinance.
- (2) Any construction resulting from the approval of this Planned Development District shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☒ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3** BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential Subdistrict**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attached**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **13**

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **ZAPA Investmants LLC**

☒ APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St.**

ADDRESS **100 N. Cottonwood Drive
Suite 104**

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE **972.682.1435**

PHONE **214.810.4535**

E-MAIL **MZahm@zconstructors.com**

E-MAIL **tyler@gldevco.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **Matt D. Zahm** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ **270.00** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE **13th** DAY OF **December** 20**24**. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

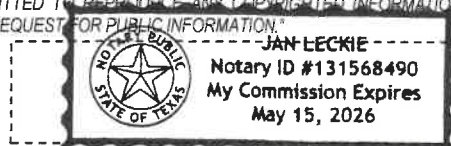
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **13th** DAY OF **December** 20**24**

OWNER'S SIGNATURE

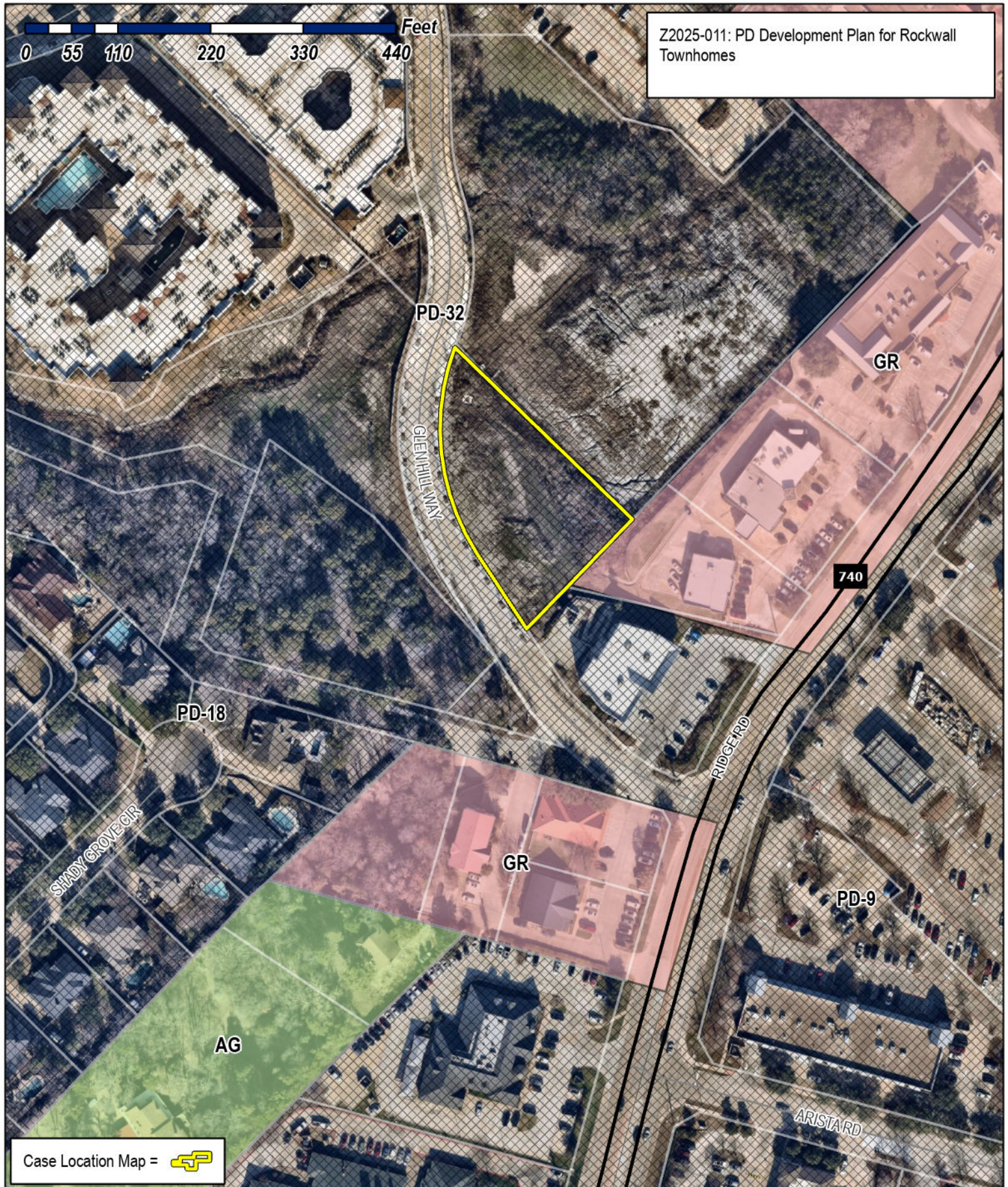
Matt D. Zahm


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie



MY COMMISSION EXPIRES **05/15/2026**



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

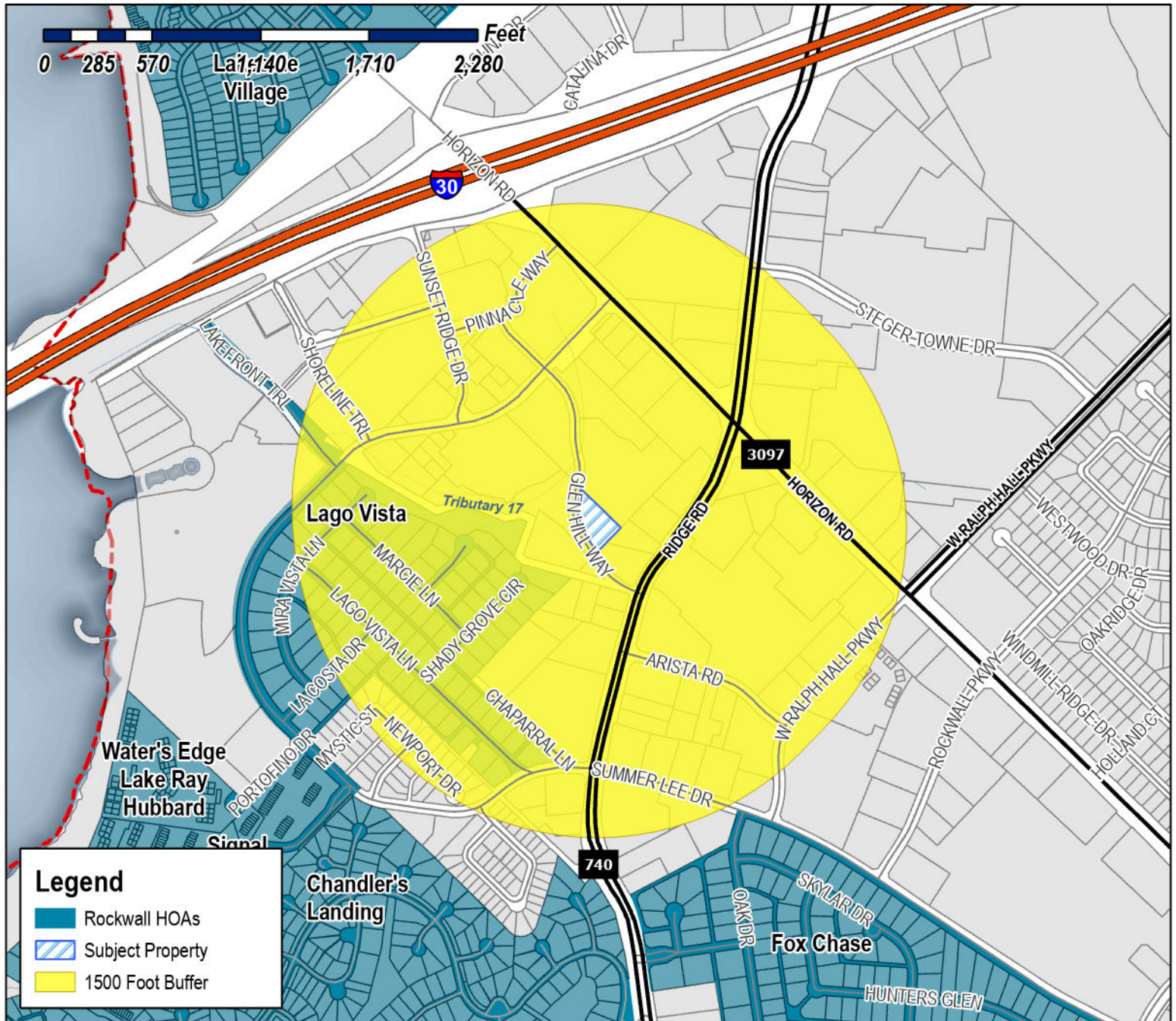




City of Rockwall

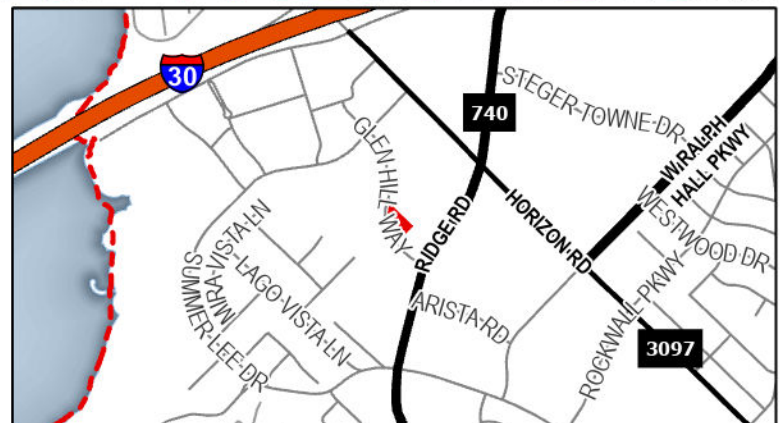
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Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 2/20/2025
For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program {Z2025-011}
Date: Thursday, February 20, 2025 3:31:43 PM
Attachments: [Public Notice \(02.18.2025\).pdf](#)
[HOA Map \(02.20.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, February 21, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

Thank you,

Melanie Zavala

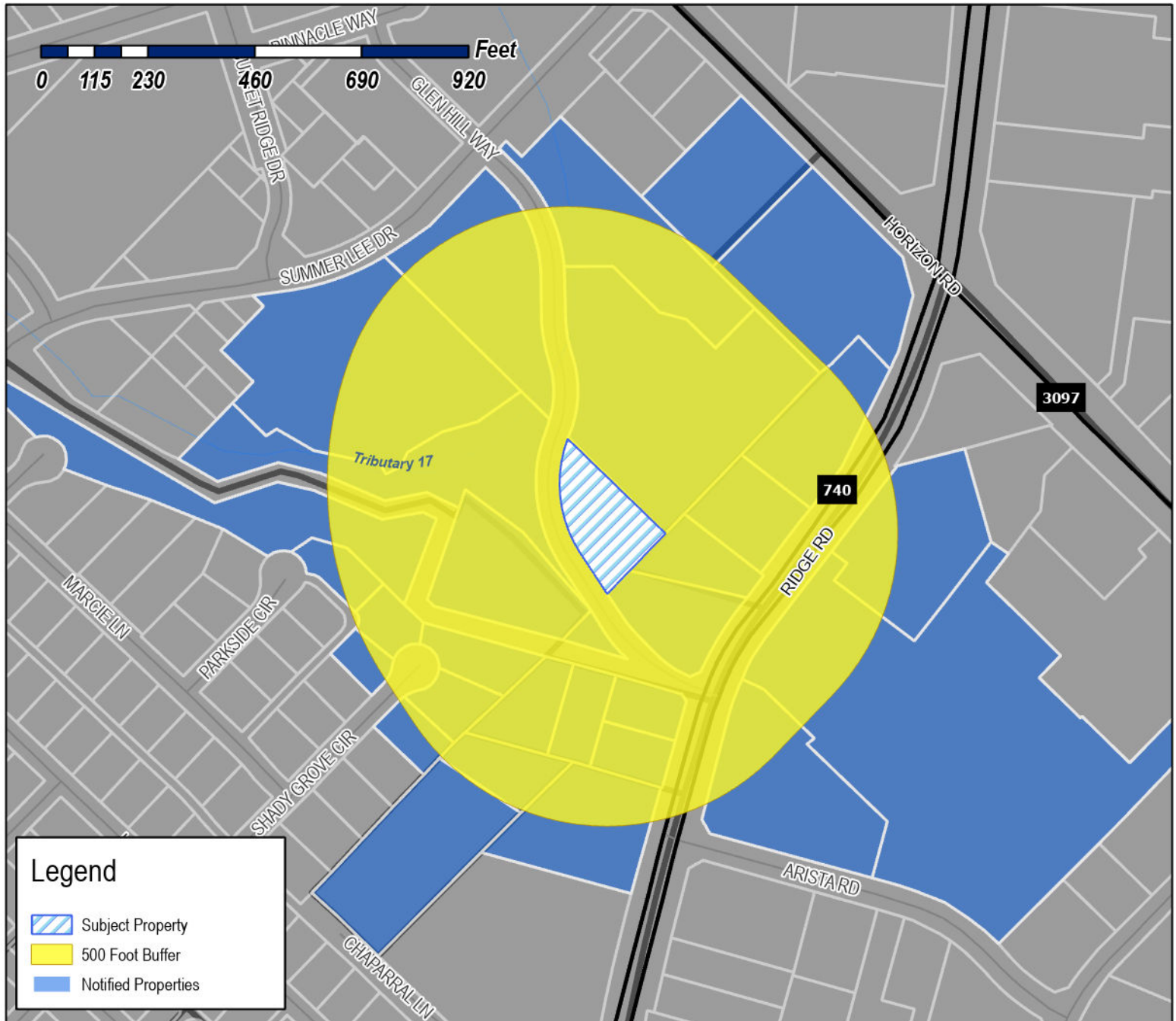
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/21/2025

For Questions on this Case Call: (972) 771-7745



KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

JAY & MALISHA LLC
1260 HERON LAKES CIR
MOBILE, AL 36693

NATIONAL TRANSFER SERVICES, LLC
1360 POST OAK BLVD STE 100 # 16-2
HOUSTON, TX 77056

RESIDENT
1489 SHADY GROVE CIR
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

DRAKE CARLA DEE & DENNIS HARTLINE
1501 SHADY GROVE CIR
ROCKWALL, TX 75032

HUBERT ROBIN AND MONICA A
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

RESIDENT
1513 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

CROCHERON AVENUE LLC
18 BEVERLY ROAD
DOUGLASTON, NY 11363

WHITNEY SARDIS LLC
2001 MARCUS AVENUE SUITE N118
LAKE SUCCESS, NY 11042

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

RESIDENT
2700 SUMMER LEE
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2918 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2930 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2951 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

RESIDENT
3014 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3016 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3018 RIDGE RD
ROCKWALL, TX 75032

HAYWOOD CHARLES E AND LISA K
36 IONA DRIVE RD3 TAURANGA
NEW ZEALAND 3173,

KRUGER KARIN
400 CHAPARRAL LN
ROCKWALL, TX 75032

C. REAL ESTATE, LLC
5 TERRABELLA LANE
HEATH, TX 75032

AJ SQUARED LLC
5 TERRABELLA LN
HEATH, TX 75032

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

HP ROCKWALL 740 LTD
C/O GARY P HAMMER
7557 RAMBLER ROAD, SUITE 980
DALLAS, TX 75231

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

GLEN HILLS CEMETERY
C/O INEZ GIBSON 512 COOL MEADOW COURT
DESOTO, TX 75115

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

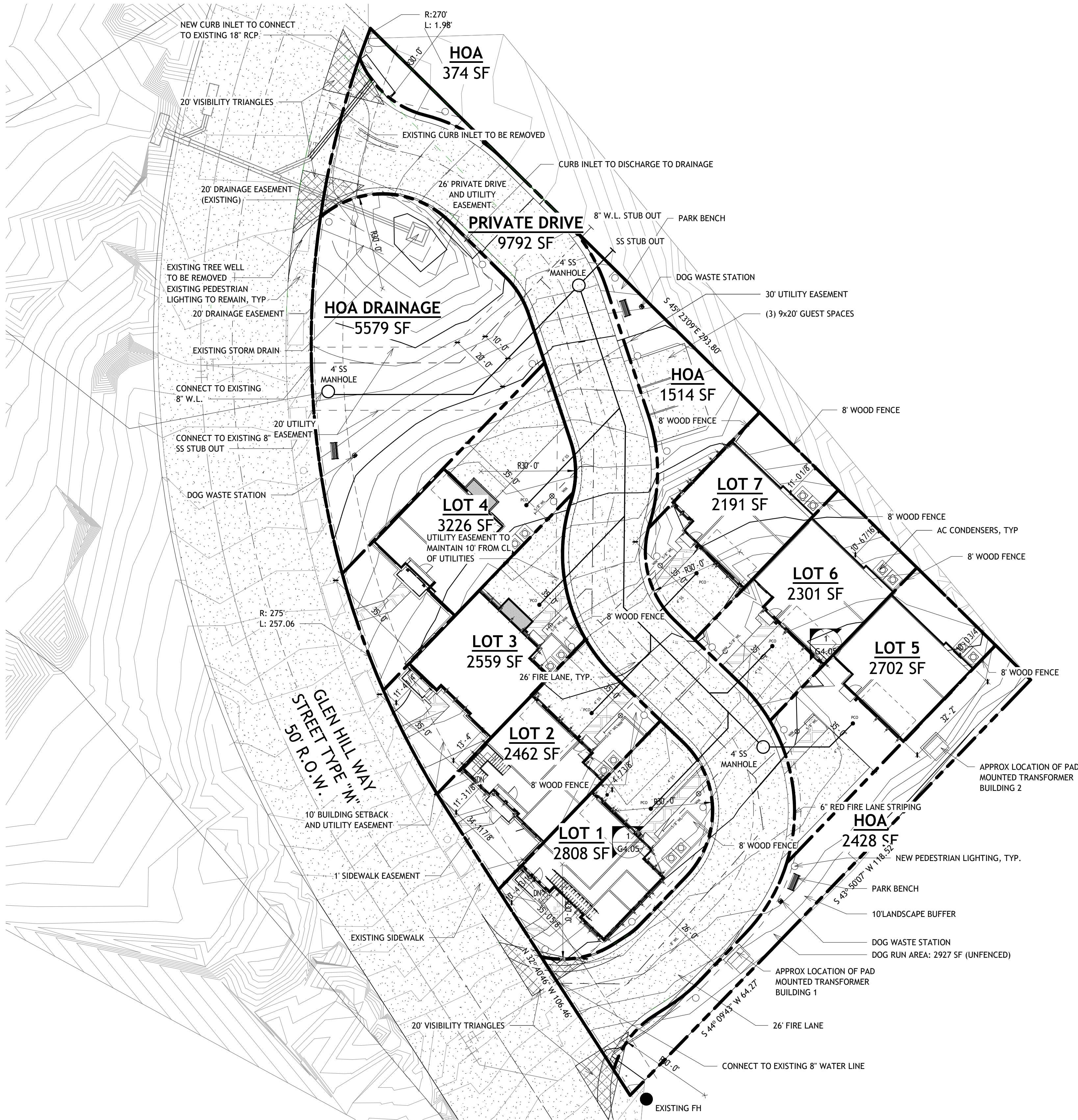
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

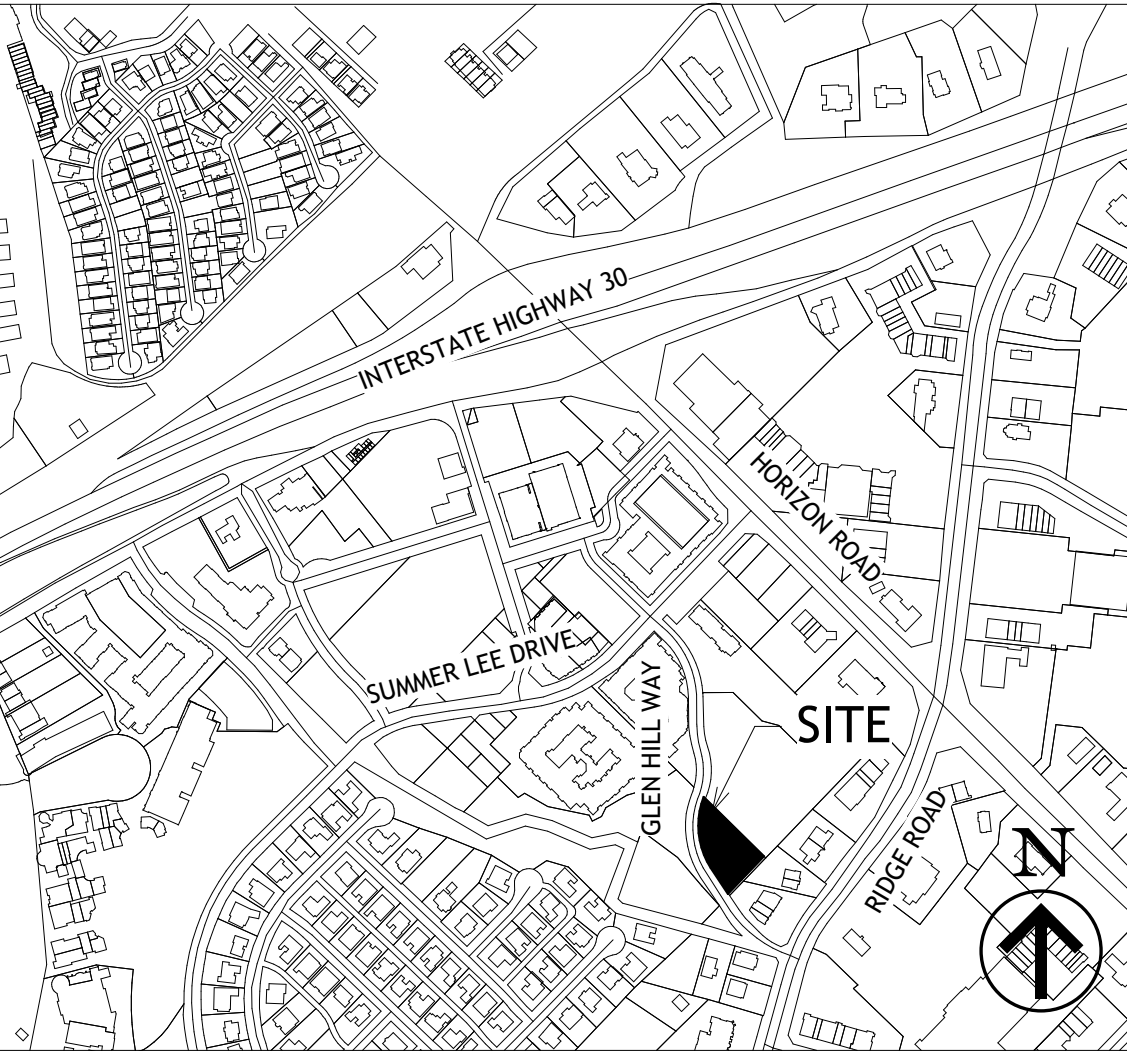
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



1 Site Plan Copy 1
1" = 20'-0"

VICINITY MAP



Property Schedule	
Name	Area
HOA	2428 SF
HOA	1514 SF
HOA	374 SF
HOA DRAINAGE	5579 SF
LOT 1	2808 SF
LOT 2	2462 SF
LOT 3	2559 SF
LOT 4	3226 SF
LOT 5	2702 SF
LOT 6	2301 SF
LOT 7	2191 SF
PRIVATE DRIVE	9792 SF
Total	37936 SF

- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES**
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

- LIFE SAFETY GENERAL NOTES**
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

Site Data Summary Table

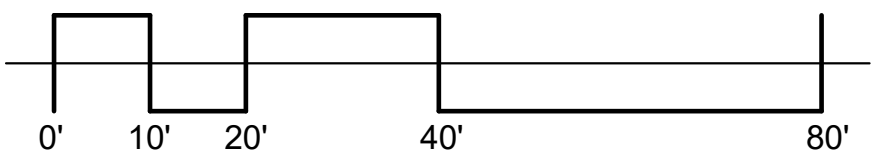
General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acres)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking

Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area

Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None

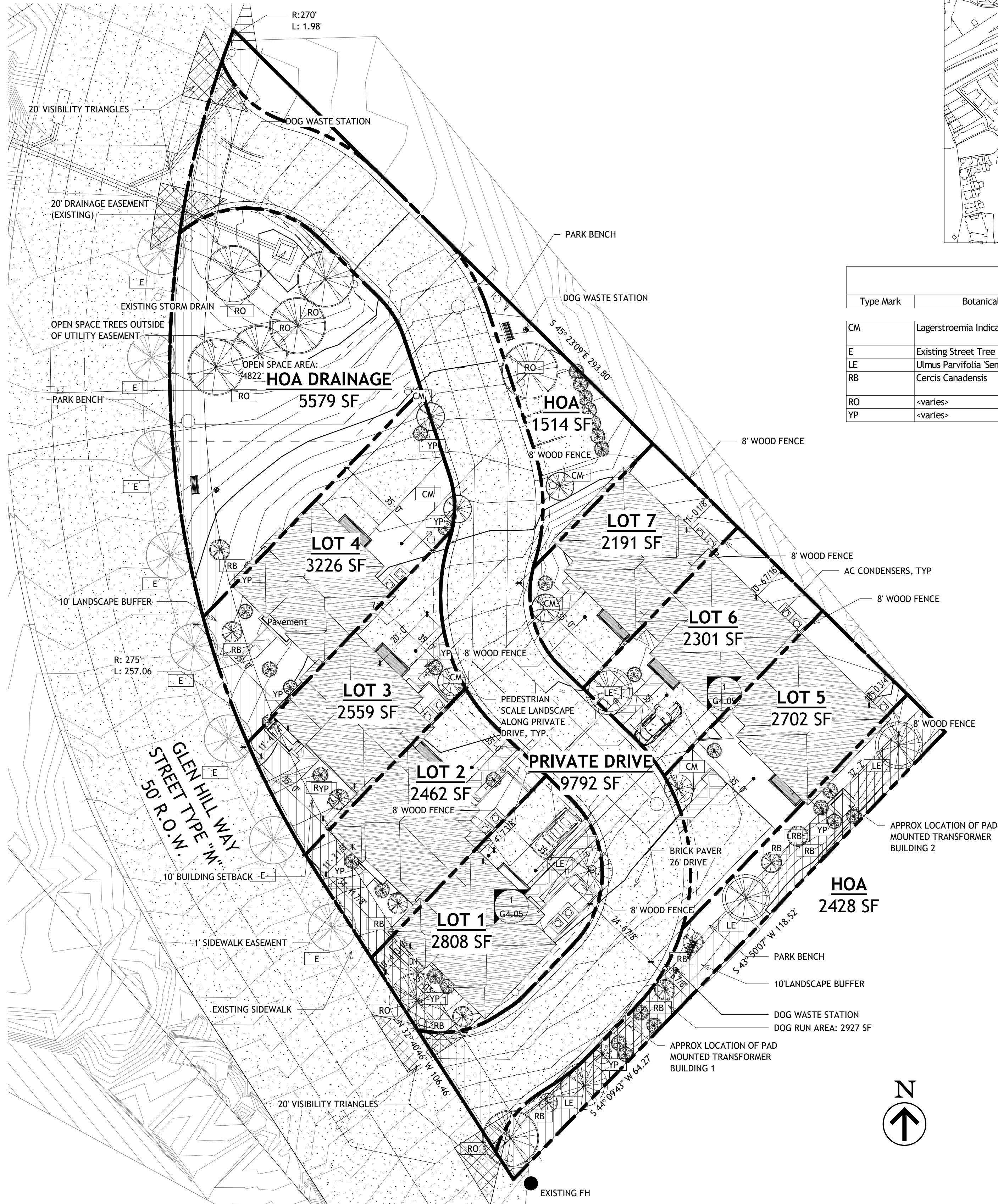


PD Amendment Plan

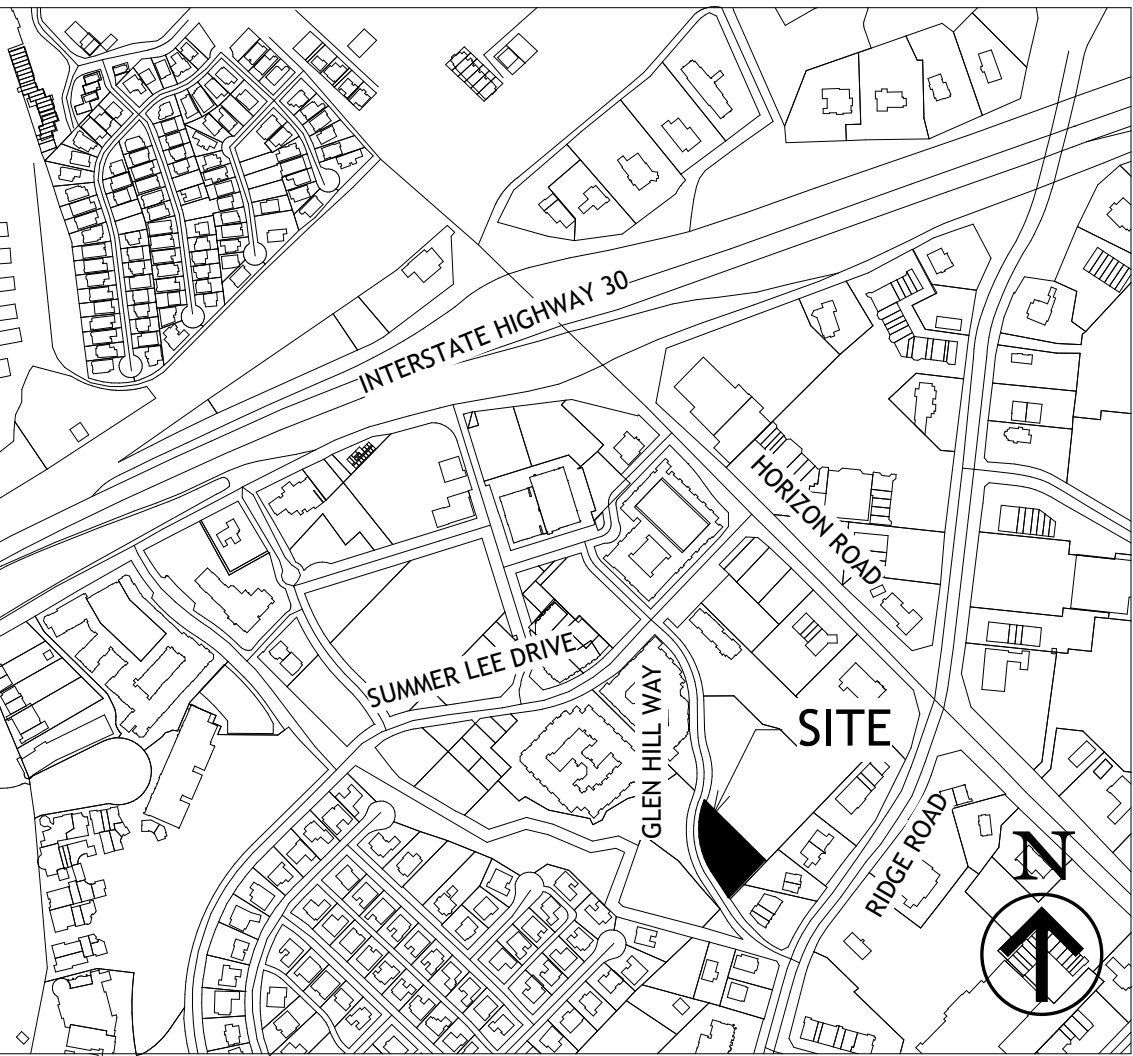
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared April 1, 2025



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Grape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4" Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TOT HE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY.
- ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

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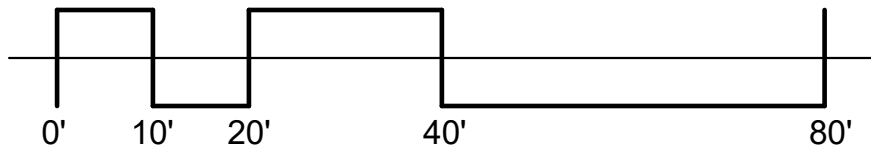
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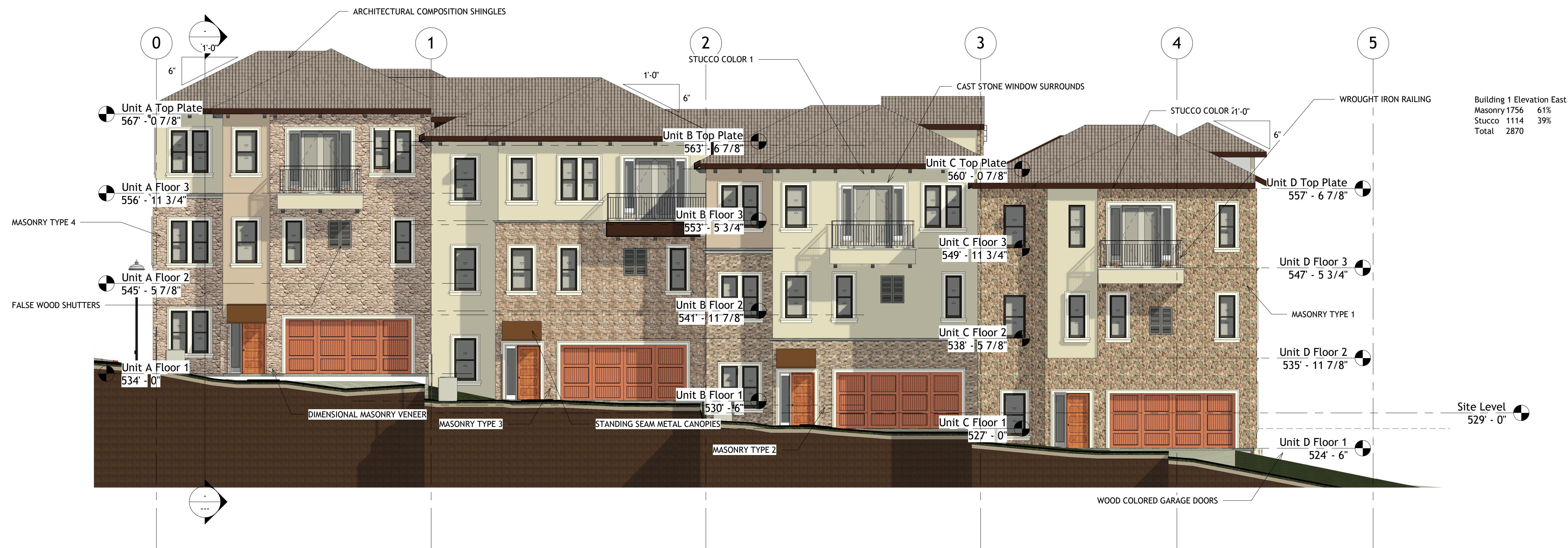
Zappa Investments, LLC
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v: 972.662.1435

Concept Landscape Plan

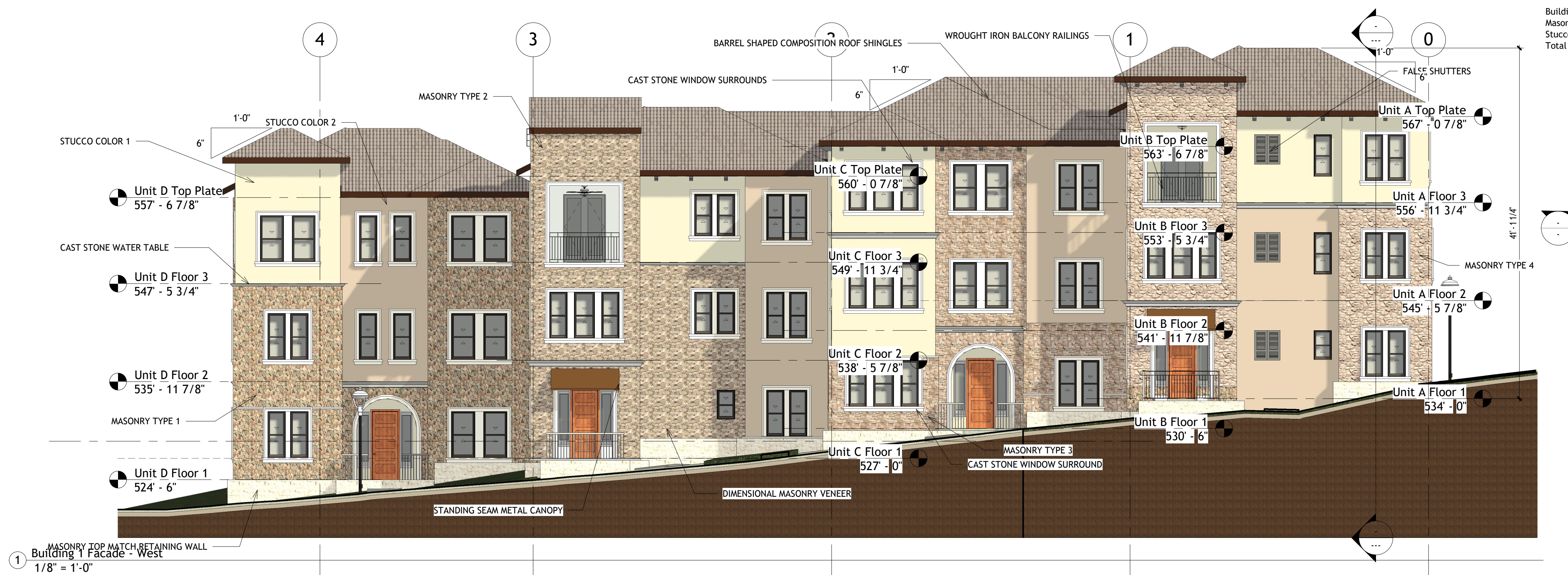
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
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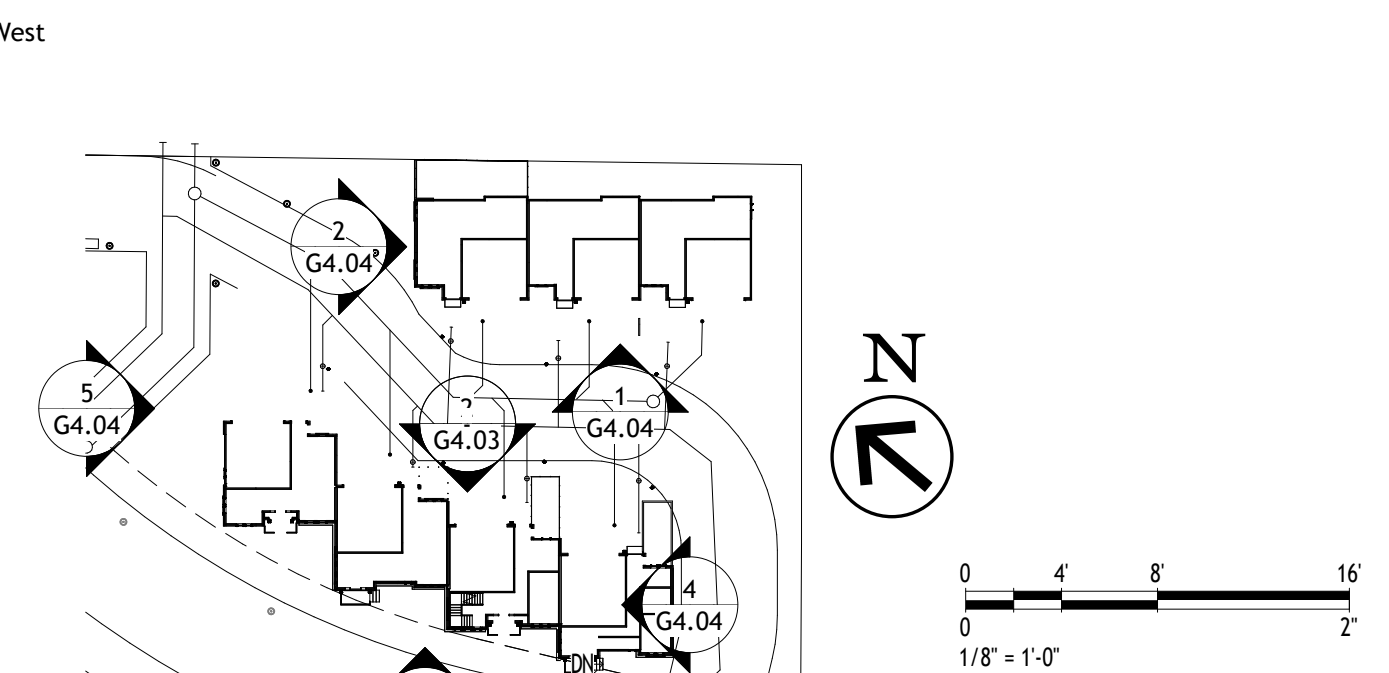
Prepared April 1, 2025



② Building 1 Facade - East
1/8" = 1'-0"



① Building 1 Facade - West
1/8" = 1'-0"



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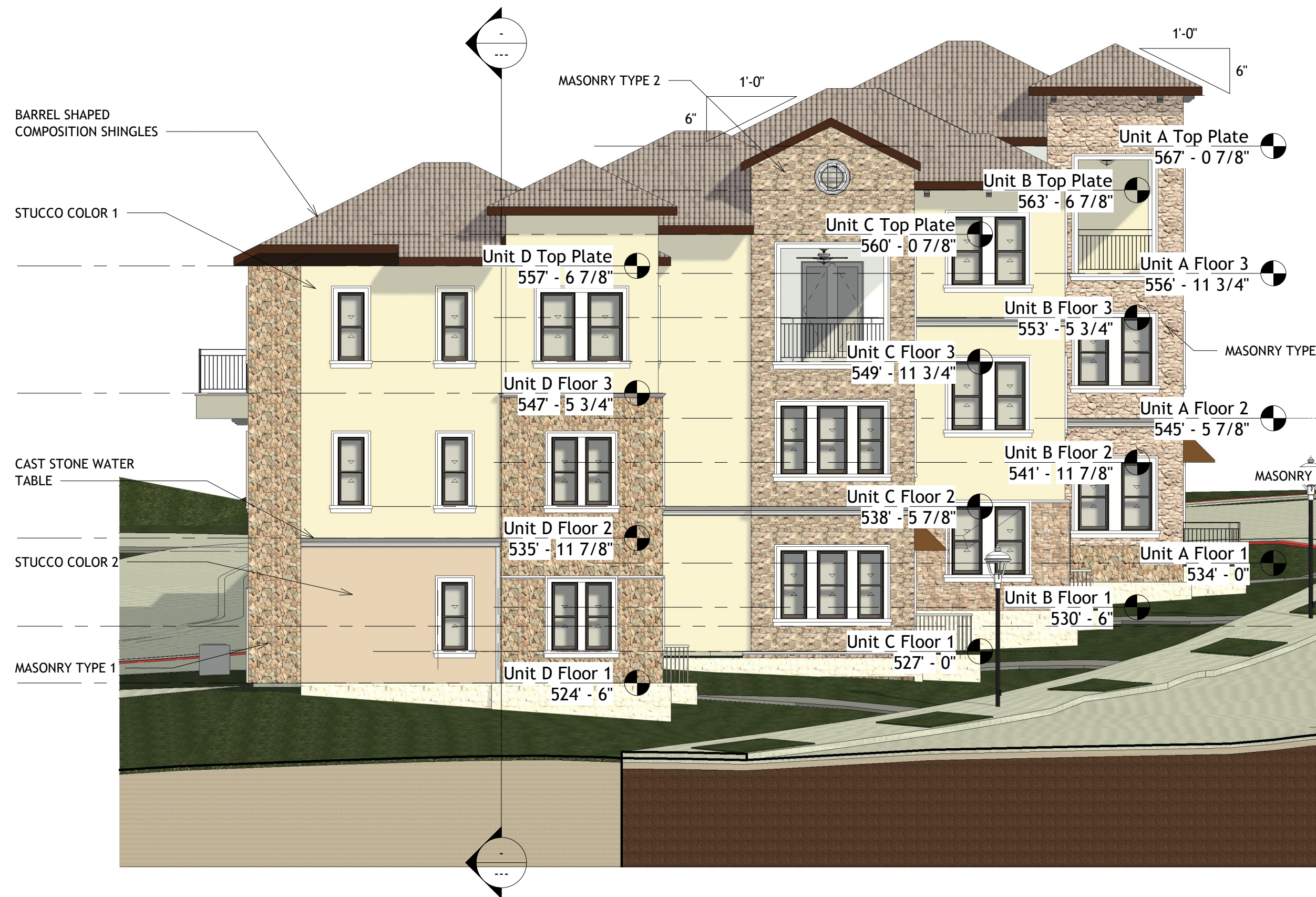
Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

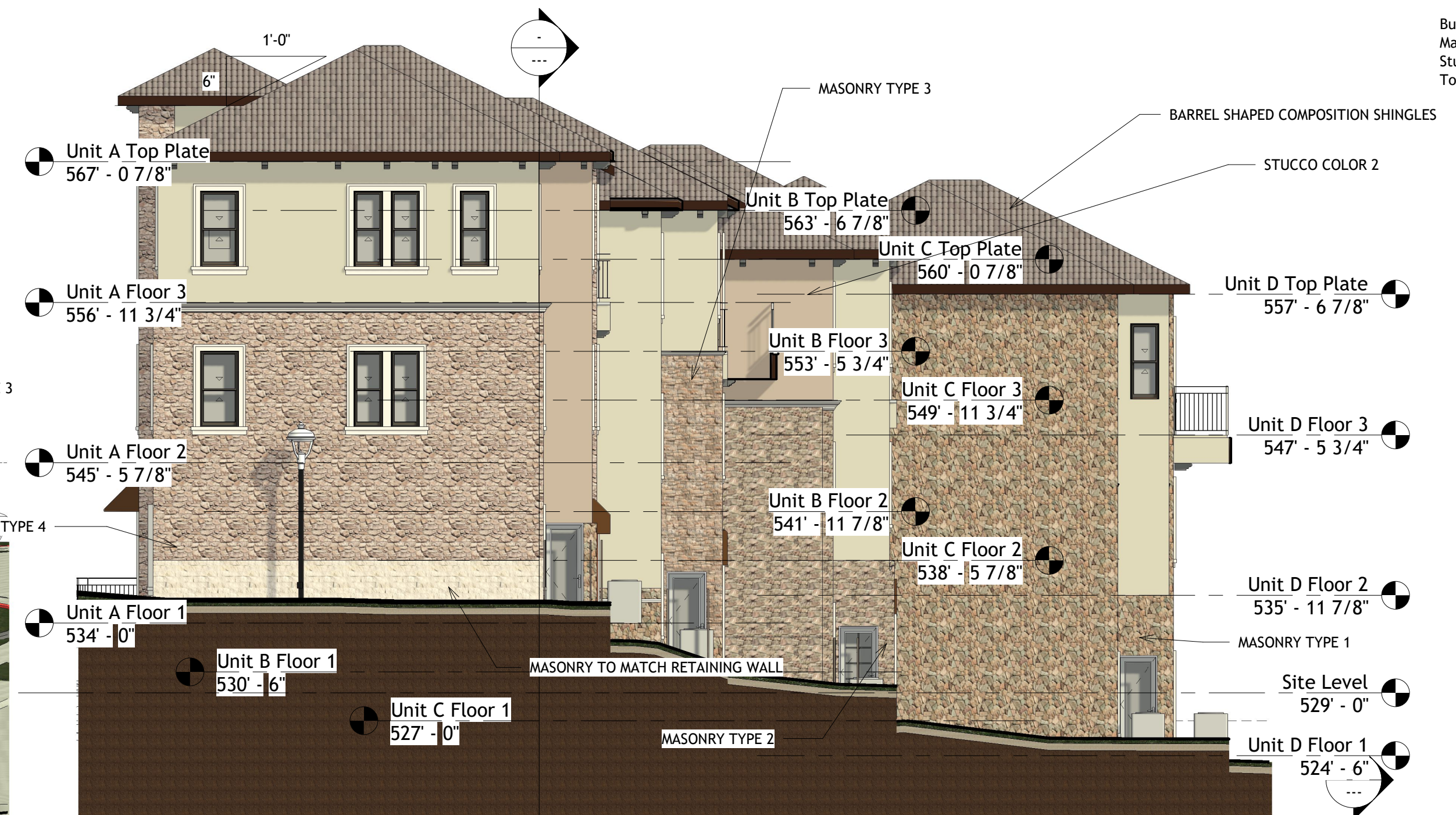
Prepared April 1, 2025

Building 1 Elevation North
Masonry 1779 64%
Stucco 1019 36%
Total 2798



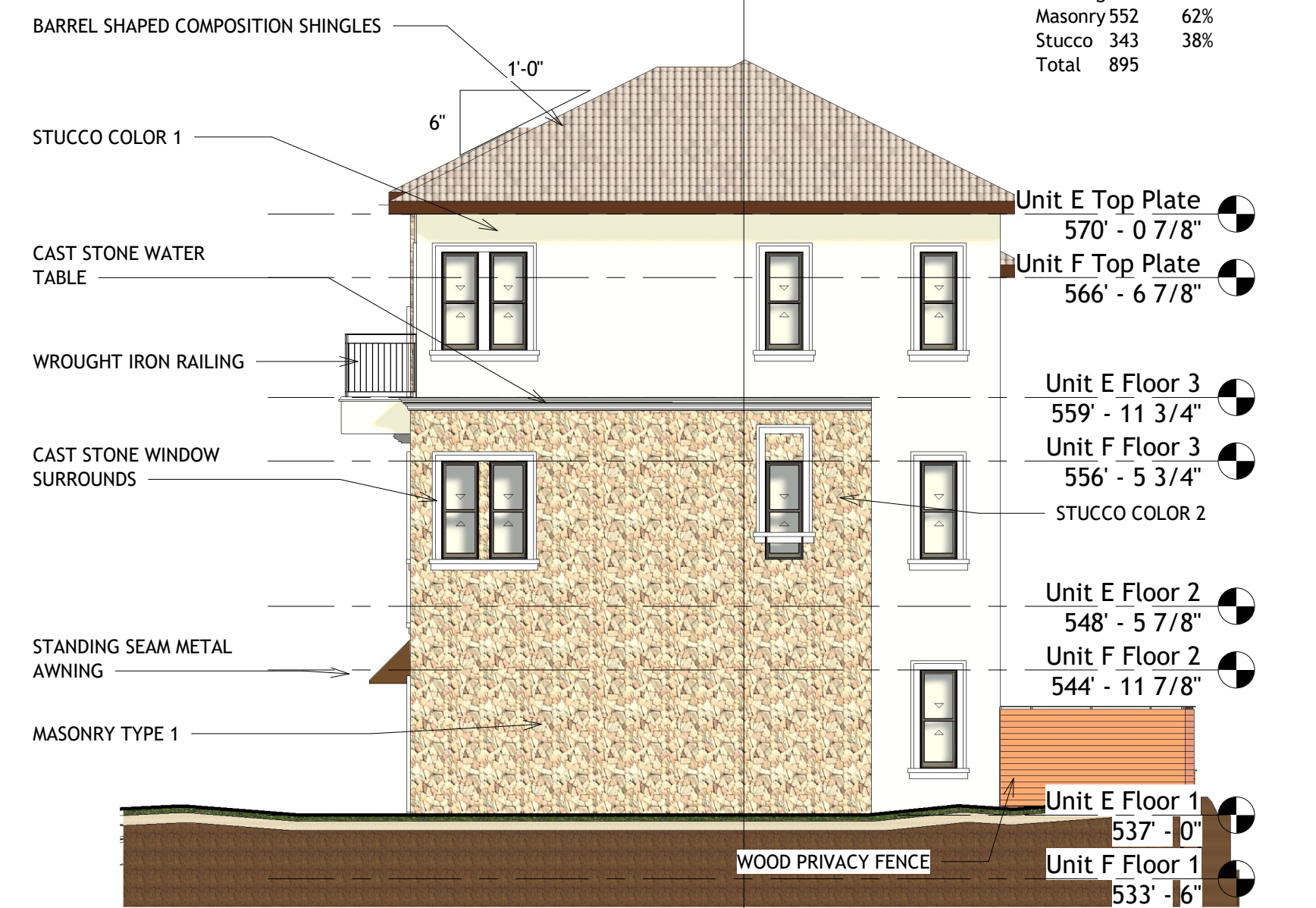
5 Building 1 Facade - North
1/8" = 1'-0"

Building 1 Elevation South
Masonry 1371 60%
Stucco 924 40%
Total 2295

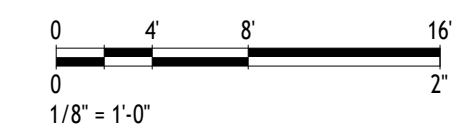


4 Building 1 Facade - South
1/8" = 1'-0"

Building 2 Elevation South
Masonry 552 62%
Stucco 343 38%
Total 895



3 Building 2 Facade - South
1/8" = 1'-0"



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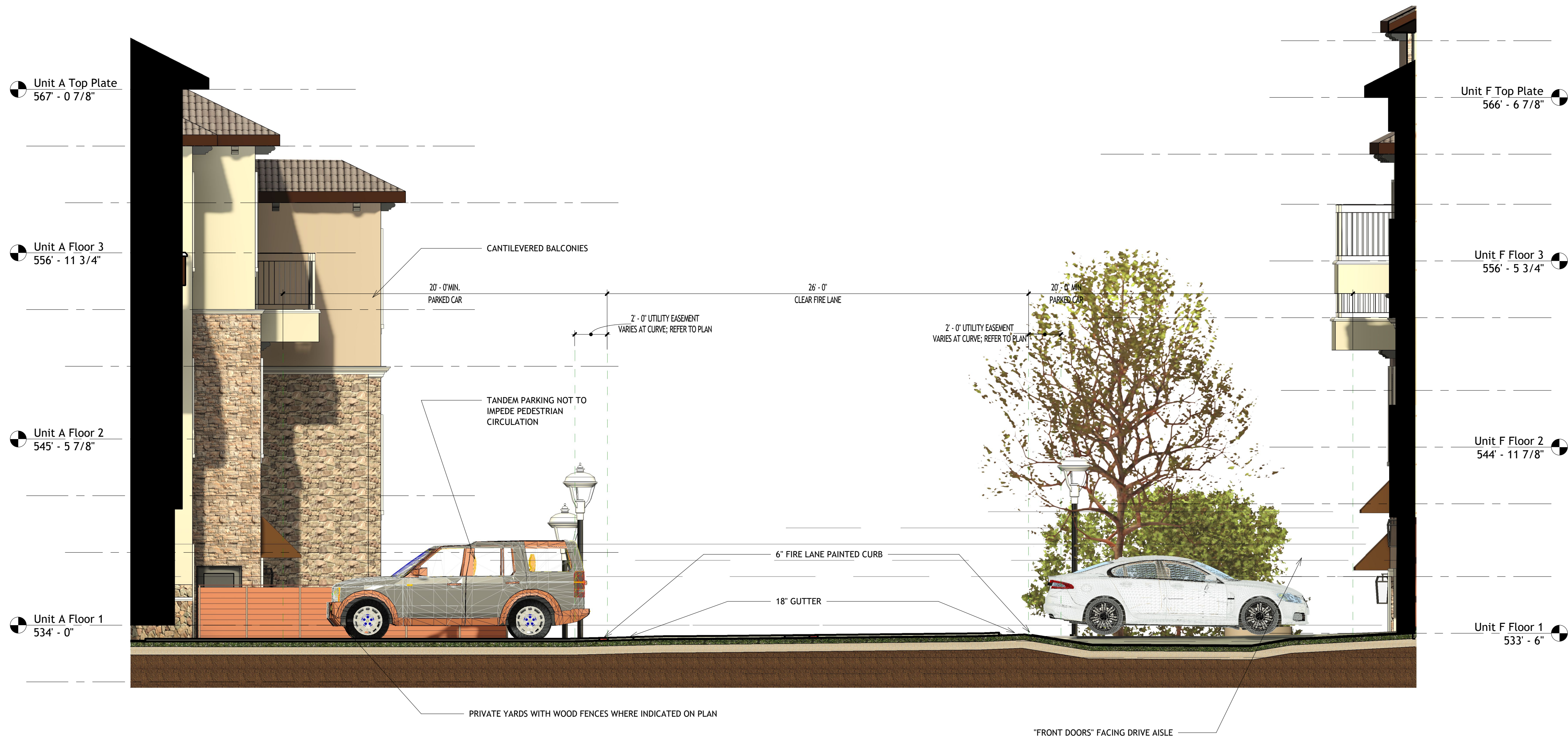




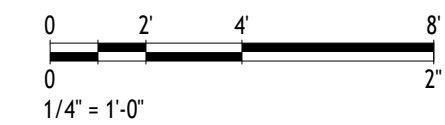








① Drive Aisle Section
1/4" = 1'-0"



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Drive Aisle Section

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Prepared April 1, 2025

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

The *Residential Sub-District* is reserved for zero lot line single-family residential housing. A lower volume of traffic in this area of the Harbor District make this *Sub-District* ideal for single family use. Key characteristics of this *Sub-District* include adjacency to open space and steep slopes that offer views of the surrounding area. Existing slopes within this *Sub-District* are in the six (6) percent to 16% range. This *Sub-District* is predominately vegetated by massing of existing trees that should be preserved when possible.

BUILDING PLACEMENT

BUILD-TO-LINE (DISTANCE FROM ROW LINE)

<i>Street Type M</i>	10'
----------------------	-----

BUILDING FORM

<i>Street Type N</i>	5'
<i>Side</i>	8'
<i>Zero Lot Line</i>	0'

NOTE: A minimum of 50% of the boundary with the Open Space Sub-District along *Street Type G* must be a public street (i.e. *Street Type M*).

BUILDING FORM

<i>Street Type M Min. Façade Built to BTL</i>	65%
<i>Maximum Lot Coverage</i>	61%
<i>Minimum Lot Size</i>	30' x 90'

USE

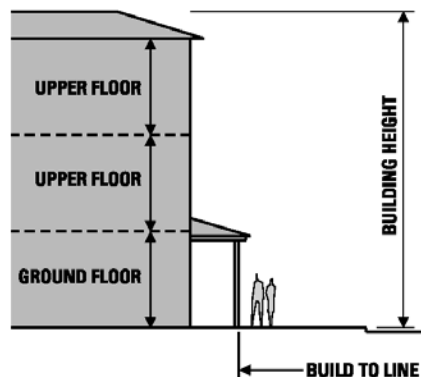
Ground Floor	Residential
Upper Floors	Residential

<i>HEIGHT</i>	<i>STORIES</i>	<i>HEIGHT</i>
<i>Maximum Building Height</i>	3	36'

ENCROACHMENTS

<i>Front</i>	5'
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NOTE: Steps, stoops, and roof overhangs may encroach over the BTL as shown in the table above.



3 Story S.F. Residential

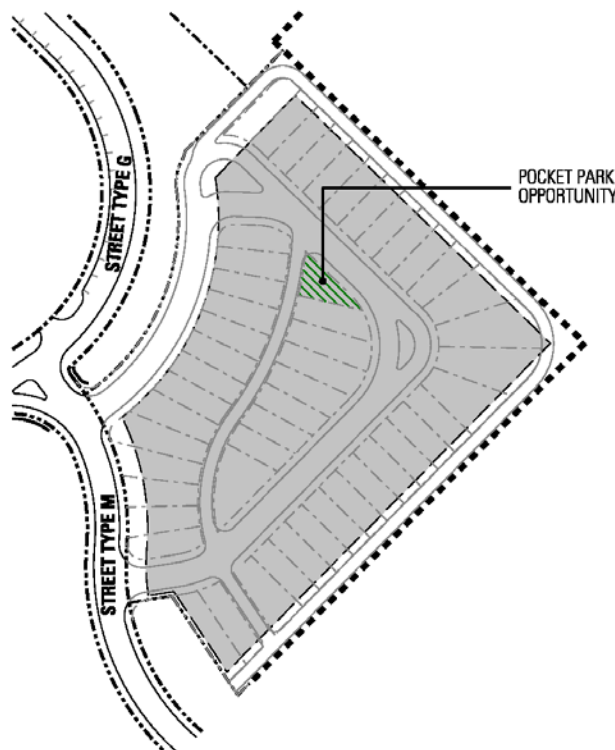


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

FLOOR PLAN/ELEVATION REPETITION

To avoid repetition and a monotonous look to the *Sub-District* environment, the following guidelines apply regarding the repetition of floor plans and elevations:

CASE 1

When building a house having the same floor plan and the same elevation, whether on the same or opposite side of the street, four (4) full lots must be skipped. Different paint color must be used. See Figure A.

CASE 2

When building a house having the same floor plan and a different elevation on the same side of the street, three (3) full lots must be skipped. Different paint color must be used. See Figure B.

CASE 3

When building a house having the same floor plan and a different elevation on the opposite side of the street, two (2) full lots must be skipped. Different paint color must be used. See Figure B.

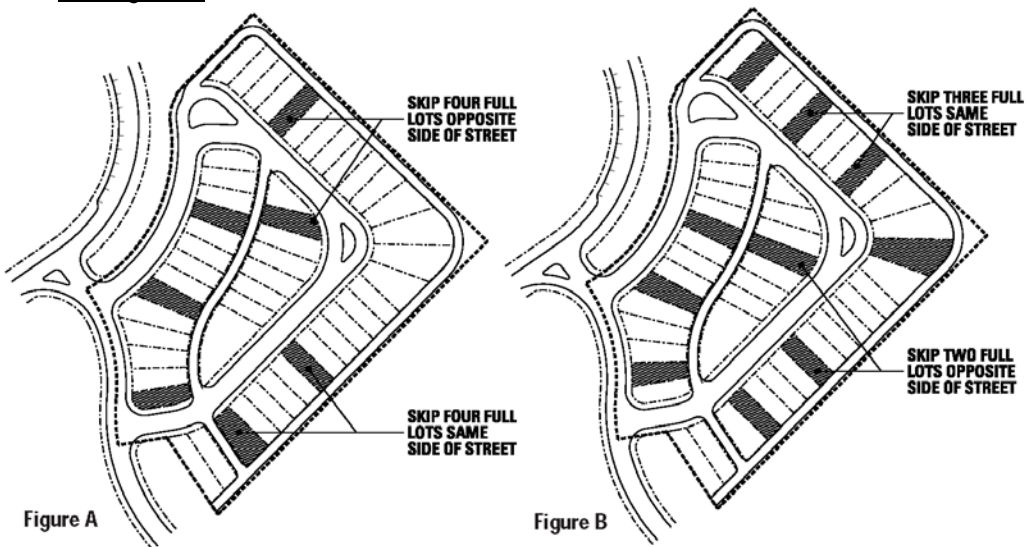


Figure A

Figure B

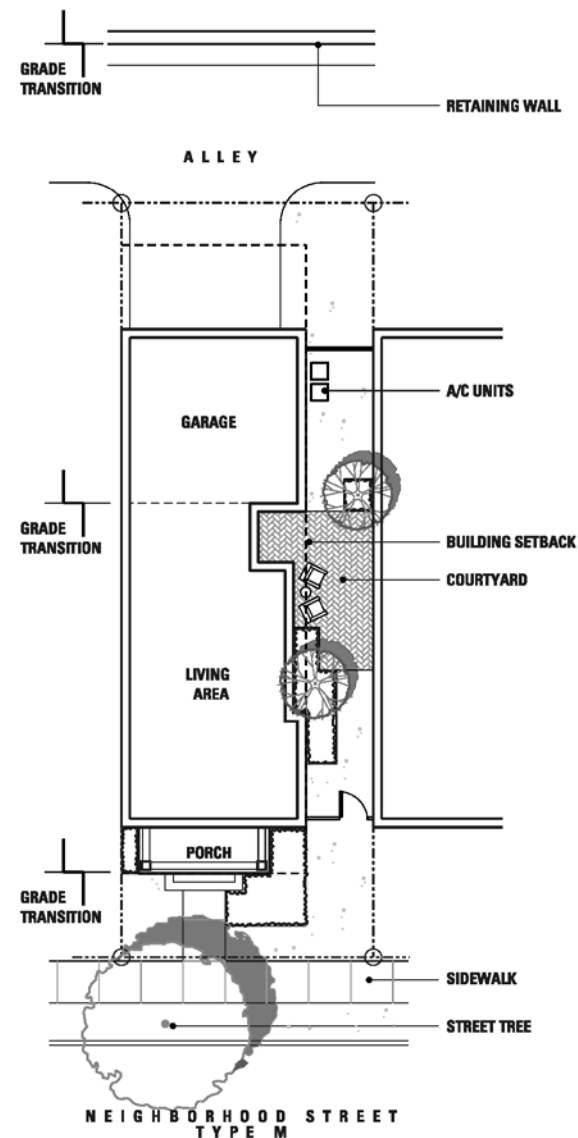
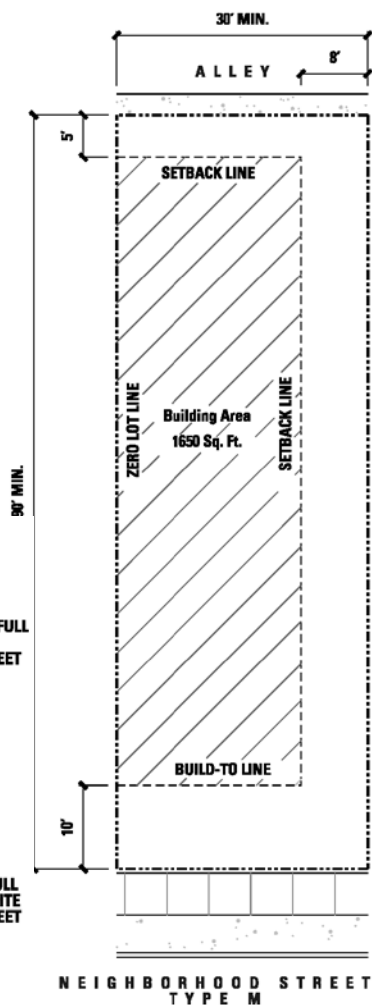


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

SITE LAYOUT, GRADING AND DRAINAGE

- (1) Runoff onto adjacent properties is prohibited.
- (2) Finished floor elevations shall be set in order to provide positive drainage away from all buildings.
- (3) Create smooth slope transitions, blending with natural grades, with maximum slopes in lawn areas being 4:1.
- (4) Do not run drainage swales from planting areas across paved areas.

LANDSCAPE STRUCTURES

- (1) Basketball goals, play structures, swing sets and similar elements may only be located in side or rear yards.
- (2) All vertical construction including garages, gazebos, arbors, barbeques and fireplaces must comply with front, side and rear setbacks.
- (3) Use materials, forms, styles and colors which match or are complementary to the architectural style and detailing of the house.

POOLS AND WATER FEATURES

- (1) Swimming pools, spas and water features must comply with front, side and rear setbacks. Above grade pools or spas are not permitted.
- (2) Fencing or design solutions which provide enclosures in accordance with local ordinances and regulations must be provided.
- (3) Mechanical equipment for pools and spas must be located so as to not be visible from adjacent properties or the street. Locate or enclose equipment to minimize noise intrusion.

LIGHTING, UTILITIES AND SERVICE

- (1) Exterior ornamental and accent lighting may be used in moderation to complement landscape and architectural features. Light fixtures shall have appropriate light cutoff shields to prevent unwanted glare to neighboring properties and streets.
- (2) Post mounted light fixtures and bollard lighting are not permitted. Pathway lighting may be used, limited to 18-inches in height.

- (3) Colored, fluorescent and neon lighting is prohibited. Obtrusive HID security lighting fixtures are prohibited.
- (4) Exposed exterior floodlights or wall packs are not permitted.
- (5) All site utilities shall be underground. Transformers, meters and other utility equipment shall be screened by planting or by architectural means. Avoid clipped hedges around utility boxes.

IRRIGATION DESIGN

- (1) Irrigation is required for all home sites and shall be an automatic, underground system with rain and freeze sensors.
- (2) Design irrigation systems to separately circuit irrigation zones for plant materials having different watering requirements, such as lawns and shrubs.
- (3) Prevent overspray onto streets, pedestrian walks, driveways and buildings.

DRIVEWAYS

- (1) Driveways shall be paved with concrete, pavers, or integrally colored concrete with charcoal grey color. Chemical staining enhancements are not permitted. Driveways may not be painted with an opaque coating.

GARAGES

- (1) Garages must be rear loaded from an alley.
- (2) All garages must hold a minimum of one and a maximum of two cars. Guest parking spaces shall be on street.

BUILDING MASSING

- (1) The house footprint shall be composed of squares and rectangles placed at right angles to one another. The geometry of each of these shapes shall be uninterrupted by adjacent shapes.
- (2) All building footprints shall be at right angles to the property lines. Compose house forms to create exterior space.
- (3) Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition.

ROOFS

- (1) The individual shapes which compose the house footprint shall each be roofed by a symmetrical gable, hip, or a simple roof form.
- (2) The geometry of each roof form shall be uninterrupted by adjacent roof forms. Valleys are discouraged, except for dormers.

WALL MATERIALS

- (1) Exterior wall materials shall be any of the following:
 - A. Fiber cement board siding and shingles, primed and painted, "Hardie" type boards. Siding shall be installed horizontally only, lapped clap board style with narrow lap exposures preferred over wide exposures.
 - B. Portland cement stucco with integral color
 - C. Brick masonry
 - D. Stone masonry
 - E. Cast stone masonry
 - F. Fireplace masses and chimneys shall be clad in noncombustible materials to match exterior house materials.
 - G. Aluminum, masonite, and vinyl siding are not permitted.
- (2) Exterior wall materials may change at a vertical line which delineates a change in building form, or along horizontal lines.

EXTERIOR FINISHES

- (1) All wood and composite surfaces shall be finished with paint, applied over an appropriate primer. Opaque and semi-opaque stain may be used.

TRIM

- (1) All trim, where used, shall be cement fiber board, cedar, or quality wood products. Trim shall be a minimum ¾-inch thick with flat surfaces. Built up assemblies, shaped profiles, and ornamental embellishments are to be avoided.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

DOORS

- (1) All exterior doors shall be wood or metal, hinged, of rail and stile construction, with one (1) to six (6) panels. Dormers above doors are encouraged. Panels shall be glazed or flat wood (not raised panels). Doors shall be painted.
- (2) Exterior doors shall be swing type, of solid wood or wood veneer, and shall be painted, or clad in pre-finished metal.

SCREEN DOORS

- (1) Screen doors are allowed. Screen doors shall be of wood rail and stile construction, with one (1) to six (6) panels. All panels shall be screened. Screen doors shall be painted.
- (2) Storm doors are not permitted at the front door but are allowed at side and rear doors.

GARAGE DOORS

- (1) Garage doors shall be overhead roll-up construction with horizontal insulated metal panels.
- (2) Garages may have maximum 18-foot wide doors.

EXTERIOR DOOR HARDWARE

- (1) Oversize or overly ornamented door hardware or escutcheon trim plates are not permitted on the front door.

WINDOWS

- (1) Windows shall be casements, awnings, or double or single hung. Each window shall be glazed by a single panel of insulated glass, or may be divided into no more than four (4) panels. Fake mullions are discouraged.
- (2) Windows may be of wood, thermally broken aluminum or aluminum-clad wood construction. Vinyl or vinyl-clad construction is not permitted.
- (3) All operable windows shall be equipped with insect screens.
- (4) Bay windows shall be glazed a minimum of 80% of their width.

EXTERIOR WINDOW SHUTTERS

- (1) Window shutters are permitted provided they are proportioned to fully cover the windows they would protect. Shutters may be wood or synthetic.

AWNINGS

- (1) Window awnings are not permitted, with the exception of shutter awnings.

GLAZING

- (1) Window and door glazing shall be clear, insulated, double-pane, low-emissivity glass. Applied window films are not permitted.

ROOFS

- (1) Roofs may be covered in composite asphalt shingles. Composition shingles must be minimum 25-year dimensional, laminated type. Flat, three (3) tab shingles will not be permitted. An example of approved roof shingle type is Tamko "Heritage 30." Standing seam metal roofing and other metal roof types may be used.
- (2) All roof penetrations, other than chimneys, shall be grouped as far from frontages as possible, shall not be visible from the street and shall be painted as needed to match roof. Skylights shall not be visible from the street.
- (3) All soffit venting shall be 2-inch continuous venting or perforated "Hardisoffit" panels. No box vents shall be used. No vinyl material may be used.
- (4) Dormers shall be appropriately proportioned, hip or gable, with a minimum 6:12 pitch. They shall be glazed a minimum of 90% of their face and must be open to the interior roof area beyond.
- (5) Roof ventilation dormers are permitted only on the side and rear elevations and must be vented a minimum of 90% of their face.
- (6) Dormers shall have minimum overhangs and eaves. Stucco or "Hardi" Siding or Panels are recommended in dormer gables.
- (7) All exposed metal flashing shall be unpainted galvalume, paint-grip or galvanized steel.

- (8) Roof attic vents shall be continuous ridge vents such as "Cool Ridge." Powered attic vents are not allowed. Turbine vents may be allowed by variance, but must not be visible from the street.
- (9) Satellite dishes and roof antennae shall not be visible from the street.

CHIMNEYS

- (1) All chimneys must be fitted with a galvanized metal chimney cap with a 'roof' that is the same size and shape as the chimney it covers. The roof form may be flat or hipped.
- (2) The chimney cap must include metal mesh, screen or grid to prevent animals from entering the chimney.
- (3) Acceptable finishes are natural 'paint-grip' galvanized or painted galvanized.

RAIN GUTTERS

- (1) Rain gutters and downspouts may be of any profile compatible with the style of the house and roof. Gutters and downspouts shall be located in a way as to not draw attention to themselves.
- (2) Gutters and downspouts shall be unpainted galvalume, "paint-grip" steel or zinc finishes, although prefinished metal finishes may be permitted.
- (3) Downspouts shall terminate at splash blocks, gravel, brick or concrete.

PAINT

- (1) All exterior finish coat paint shall be acrylic latex or latex enamel.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

PORCH CONSTRUCTION

- (1) Porch columns shall be wood posts, minimum six (6) inch by six (6) inch, painted and free of ornamentation.
- (2) Porches shall have wood railings. Railing details must be included with plan submissions for approval.
- (3) Porch floors shall be concrete, stone or brick. Porch construction shall be concrete slab foundation, built as part of the house.
- (4) Porches and covered balconies may be screened at the rear of the homes only.

ELEMENTS NOT PERMITTED

The following list of elements are not permitted in the development:

- ☑ Window A/C Units
- ☑ Exterior Fluorescent Lighting
- ☑ Solar Powered Landscape Lighting
- ☑ Soffit/Cornice Lighting Visible from a Public ROW
- ☑ Skylights Visible from a Public ROW
- ☑ Antennas or Satellite Dishes Greater Than 18-inch Diameter
- ☑ Decorative Flags - Properly Displayed American Flags are Allowed
- ☑ Concrete Statuary Visible from Public ROW
- ☑ Plastic Furniture or Artificial Plants Visible from a Public ROW
- ☑ Asphalt or Gravel Drives



ARCHITECTURAL DETAIL CHARACTER



RESIDENTIAL STREET EDGE CONDITION

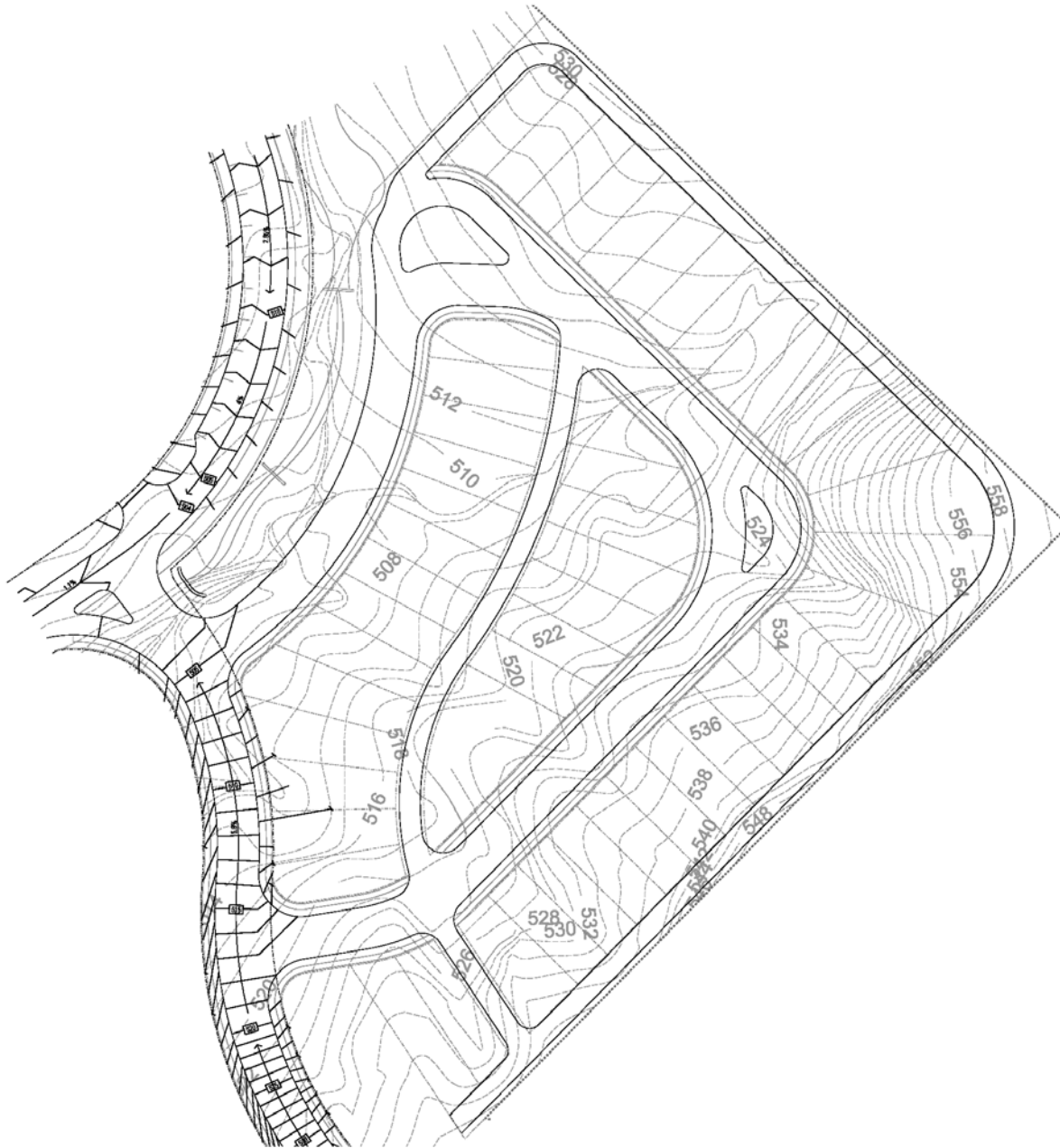


RESIDENTIAL STREET CHARACTER



RESIDENTIAL STREET EDGE CONDITION

EXHIBIT 'E-9':
Residential Sub-District



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR EIGHT (8) TOWNHOMES ON A 0.871-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, HARBOR HILLS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) townhomes to be situated within the *Residential Subdistrict*, on a 0.871-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed townhome development shall not contain more than eight (8) townhomes.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF APRIL, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

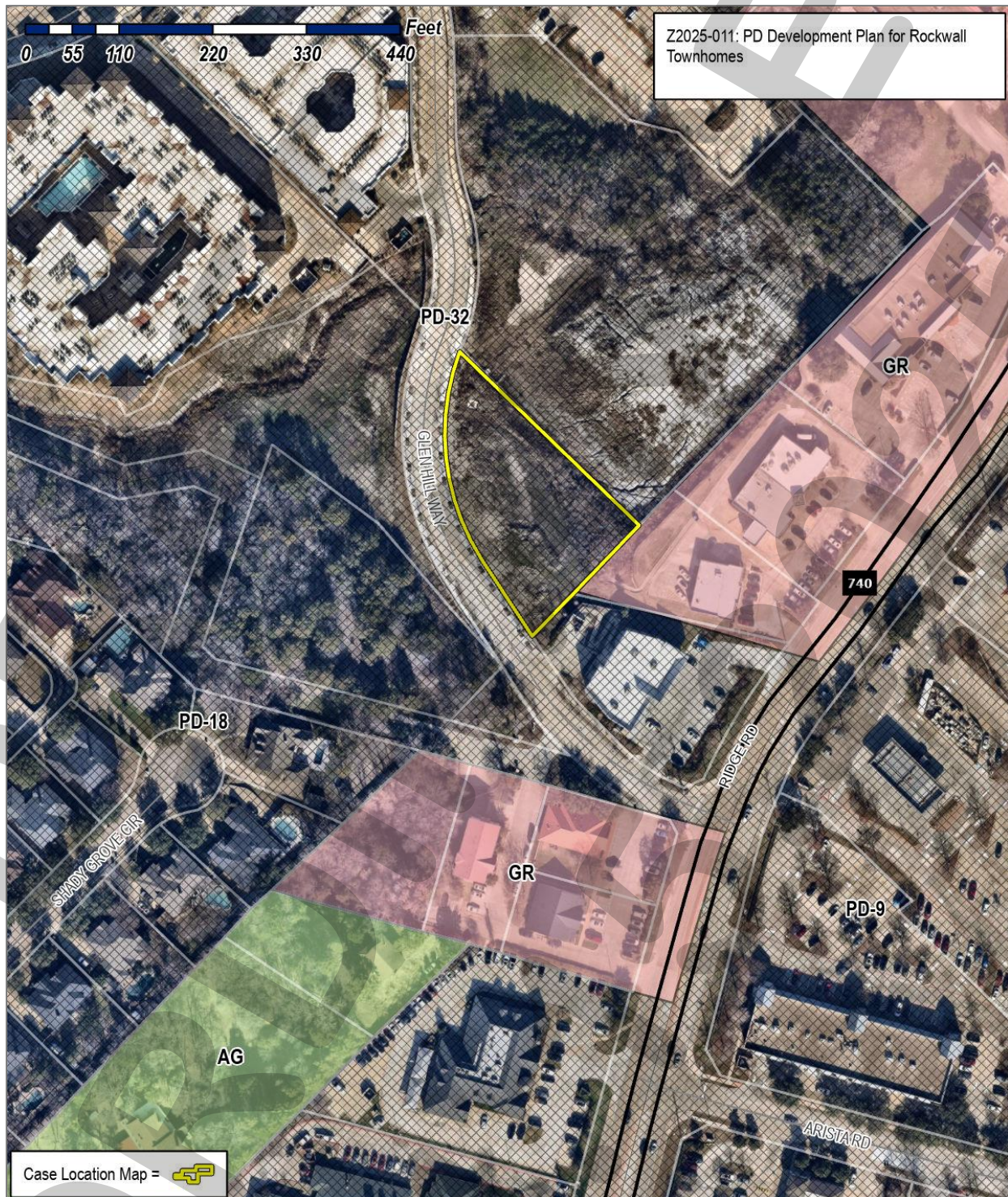
Frank J. Garza, *City Attorney*

1st Reading: March 17, 2025

2nd Reading: April 7, 2025

Exhibit 'A':
Location Map

Legal Description: Lot 3, Block A, Harbor Hills Addition



The site plan illustrates a residential development with the following key features:

- HOA Areas:**
 - HOA 374 SF (top left)
 - HOA DRAINAGE 5579 SF (center left)
 - HOA 1514 SF (center right)
 - HOA 2428 SF (bottom right)
- Private Drive:** 9792 SF, running horizontally across the upper middle section.
- Individual Lots:**
 - LOT 4: 3226 SF
 - LOT 3: 2559 SF
 - LOT 2: 2462 SF
 - LOT 1: 2808 SF
 - LOT 7: 2191 SF
 - LOT 6: 2301 SF
 - LOT 5: 2702 SF
- Infrastructure and Utilities:**
 - Drainage:** Includes HOA DRAINAGE, existing storm drains, and various manholes (e.g., 4" SS, 8" W.L.).
 - Utilities:** Shows connections to existing 8" water lines, 8" wood fences, and dog waste stations.
 - Landscaping:** Features 20' visibility triangles, 20' drainage easements, and 20' utility easements.
 - Other Features:** Includes a new curb inlet, existing tree well, dog waste station, and various setbacks and easements.
- Boundaries and Access:**
 - GLEN HILL WAY STREET TYPE "M" 50' R.O.W. (left boundary)
 - 26' FIRE LANE, TYP. (bottom center)
 - 26' PRIVATE DRIVE AND UTILITY EASEMENT (top center)

Exhibit 'C': Conceptual Building Elevations



Exhibit 'C': Conceptual Building Elevations





CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: March 17, 2025

APPLICANT: Tyler Adams; *Greenlight Studio*

CASE NUMBER: Z2025-011; *PD Development Plan for Rockwall Townhomes*

On March 11, 2025, the Planning and Zoning Commission held a public hearing on *Case No. Z2025-011*, and approved a motion to continue the public hearing to the April 15, 2025 Planning and Zoning Commission meeting. The purpose of this action was to allow the applicant time to make changes to their concept plan and building elevation in order to address concerns raised by the Planning and Zoning Commission during the public hearing. According to Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(a) public hearing may be continued by the Planning and Zoning Commission or City Council any time after the public hearing has commenced. The continuation of a public hearing shall be to a specific time and date no later than 30-days from the first or most recent public hearing. A continued public hearing shall be presumed to be held in the same location as the initial public hearing, unless a different location is announced. The announcement of a continuation at a public hearing shall be sufficient notice and no additional notice is required.” This means the City Council will need to announce the new public hearing date of April 21, 2025. No further action or motions are required. Should the City Council have any questions, staff will be available at the March 18, 2025 City Council Meeting.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: April 21, 2025

APPLICANT: Tyler Adams; *Greenlight Studio*

CASE NUMBER: Z2025-011; *PD Development Plan for Rockwall Townhomes*

SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The City Council annexed the subject property into the City of Rockwall on January 9, 1984 through the adoption of *Ordinance No. 84-05*. Upon annexation, the subject property was zoned Agricultural (AG) District. On June 19, 1989, the subject property was rezoned to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] for Commercial (C) District land uses. On December 2, 2002, the City Council approved an amendment to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] that changed the underlying zoning to the General Retail (GR) District. This Planned Development District was again amended on February 4, 2008 by *Ordinance No. 08-11*. This ordinance increased the boundaries of the district, and established a limited set of land uses for the district.

On September 20, 2010, the City Council passed *Ordinance No. 10-21*, which superseded all previous ordinances associated with Planned Development District 32 (PD-32) and established a concept plan and development standards for an approximate 78.89-acre tract of land that included the subject property. Today, this land is now commonly referred to as PD-32 or the *Harbor District*. Included within this ordinance was a concept plan that divided the district into ten (10) subdistrict, each of which contained its own set of development and land use standards. In addition, a pool of 1,161 *urban residential units* (i.e. *condominiums and/or townhomes*) and 49 *single-family residential units* (i.e. *zero-lot-line or patio homes*) was created. These units could then be allocated to properties within the district by the City Council -- *in accordance with the land use charts in the ordinance* -- on a *first-come-first-serve* basis through an interim zoning step called a *PD Development Plan*. According to Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC), "(a) *PD Development Plan* constitutes an amendment to the approved *PD Concept Plan* and *PD Ordinance* ... The purposes of a *PD Development Plan* are to allow flexibility in the development process by deferring specification of all development standards at the time of *PD District* creation and to enable developers to satisfy conditions imposed on creation of the *District* prior to the submittal of a *PD Site Plan*." In addition, *Ordinance No. 17-22* [i.e. *the regulating ordinance for Planned Development District 32 (PD-32)*] states that the purpose of a *PD Development Plan* in Planned Development District 32 (PD-32) is to ensure that a proposed development meets the intent of the subdistrict and/or to address any waivers required by the development.

Currently, the City Council has approved *PD Development Plans* allocating all of the 1,161 *urban residential units* and all but seven (7) of the 49 *single-family residential units*. A summary of the unit allocations is as follows:

TABLE 1: URBAN RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Summer Lee Condominiums (i.e. Harbor Hill) ¹	265	Condominiums	SP2015-004 ²	N/A
Harbor Urban Condominiums (i.e. the Florence)	228	Condominiums	Z2018-001	18-16 ⁴
Harbor Village Building 1 (i.e. Adjacent to Lakefront Trail)	375	Condominiums	Z2019-008	19-21 ⁵
Harbor Village Building 2 (i.e. Adjacent to Harbor Fountain) ³	75	Condominiums	Z2019-008	19-21 ⁵
Harbor Residences (i.e. WC of Summer Lee and Horizon Road)	176	Condominiums	Z2022-058	23-05 ⁶
Sunset Ridge Residences (i.e. Adjacent to Harbor Residences)	42	Condominiums	Z2022-002	22-11
<i>Total Allocated:</i>		1,161		
<i>Permitted in District:</i>		1,161		
<i>Units Remaining:</i>		0		

NOTES:

- ¹: This case was determined to be conforming to the *Concept Plan* originally approved with *Ordinance No. 10-21*, and was determined to not require a *PD Development Plan* at that time (i.e. the approval of the *site plan* allocated the units to this project).
- ²: Case No. SP2015-004 was amended by Case No. SP2018-037 & SP2020-018.
- ³: *Ordinance No. 19-21* contains conditions that allow the City Council to claw back 25 of the 75 allocated units pending a building permit has not been issued by June 1, 2020. This project currently has not been issued a building permit.
- ⁴: This ordinance superseded *Ordinance No. 16-54* (Case No. Z2016-025), which originally allocated the units for this project.
- ⁵: This ordinance superseded *Ordinance No. 13-16* (Case No. Z2013-011); however, the units for this project were originally allocated with *Ordinance No. 11-43* (i.e. Case No. Z2011-020).
- ⁶: This ordinance superseded *Ordinance No. 22-10* (Case No. Z2022-001) and *Ordinance No. 22-36* (Case No. Z2022-024).

TABLE 2: SINGLE-FAMILY RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Harbor Urban Townhomes ¹	42	Townhomes	Z2018-001	18-16 ²
<i>Total Allocated:</i>		42		
<i>Permitted in District:</i>		49		
<i>Units Remaining:</i>		7		

NOTES:

- ¹: This *PD Development Plan* only affected the *Residential Subdistrict*, which was the only district that allowed the *single-family residential units*. The approval of *Ordinance No. 18-16* amended the district to allow the 42 townhomes in lieu of the 49 zero-lot-line or patio homes.
- ²: This ordinance superseded *Ordinance No. 16-48* (Case No. Z2016-026), which originally allocated the units for this project.

On October 19, 2020, the City Council approved a final plat [Case No. P2020-036] establishing the subject property as Lot 3, Block A, Harbor Hills Addition. On January 17, 2025, the applicant submitted a PD Development Plan request; however, due to the applicant's failure to attend the Planning and Zoning Commission work session meeting, the applicant requested to withdraw the case. On February 11, 2025, the Planning and Zoning Commission approved the withdrawal request by a vote of 7-0. On February 14, 2025, the applicant submit a subsequent application, which was tabled on March 11, 2025, in order to allow the applicant more time to address concerns from the Planning and Zoning Commission.

PURPOSE

On February 14, 2025, the applicant -- Tyler Adams of Greenlight Studio -- submitted an application requesting the approval of a *PD Development Plan* to allow the development of seven (7) townhomes on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northwest of the intersection of Ridge Road and Glen Hill Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 4.076-acre parcel of land (i.e. Lot 4, Block A, Harbor Village Addition). Beyond this is a 2.12-acre parcel of land (i.e. Lot 5, Block 5, Harbor Village Addition) developed with a *Limited Service Hotel* (i.e. Tru Hilton). These properties are situated within the *Residential and Interior Subdistricts* of Planned Development District 32 (PD-32). Following this is Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8320-acre parcel of land (i.e. Lot 1, Block A, Lakeridge Est Addition) developed with a multi-tenant retail building (i.e. Feng Cha, Athletico, & Hollywood Feed) located within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32). Beyond this is Glen Hill Way, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are three (3) parcels of land (i.e. Lots 1-3, Block A, Willis-Sealock Addition) developed with retail buildings (i.e. Family Dentistry Rockwall & Ridge Road Animal Hospital) zoned General Retail (GR) District. South of this is a 1.46-acre parcel of land (i.e. Lot 1, Block A, AJ Squared Addition) developed with a multi-tenant Medical Office Building, zoned Planned Development District 18 (PD-18).

East: Directly east of the subject property are two (2) parcel of land (i.e. Lot 1, Block A, Murphy Plaza No. 2 Addition & Lot 1, Block A, Murphy Plaza) developed with multi-tenant Office Buildings, zoned General Retail (GR) District. Beyond this is Ridge Road [SH-740], which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 2.0034-acre parcel of land (i.e. Lot 1, Block A, RDI Retail Addition) developed with a General Retail Building (i.e. Walgreens) zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses.

West: Directly west of the subject property is Glen Hill Way, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 2.1690-acre parcel of land (i.e. Lot 2, Block A, Harbor Hills Addition) situated within the Interior Subdistrict of Planned Development District 32 (PD-32). Following this is a 1.25-acre tract of land (i.e. Tract 137 of the E. Teal Survey, Abstract No. 207) that serves as the Glen Hills Cemetery. West of this is the Lago Vista Subdivision, which contains 92 single-family homes and is zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan showing the establishment of seven (7) townhomes northwest of the intersection of Glen Hill Way and Ridge Road [SH-740] across the street from the Glen Hills Cemetery. Based on the proposed concept plan, the townhomes are split into two (2) buildings, with four (4) townhomes facing directly onto Glen Hill Way and the remaining three (3) townhomes facing onto an internal mew street. In addition, there will be three (3) guest parking spaces, two (2) park benches, and two (2) dog waste stations. The townhomes incorporate elements of the Tuscan architectural style and utilize earth tones. The internal mew street will be constructed of concrete, have no sidewalks, and have pedestrian lighting.

CONFORMANCE WITH PLANNED DEVELOPMENT DISTRICT 32 (PD-32)

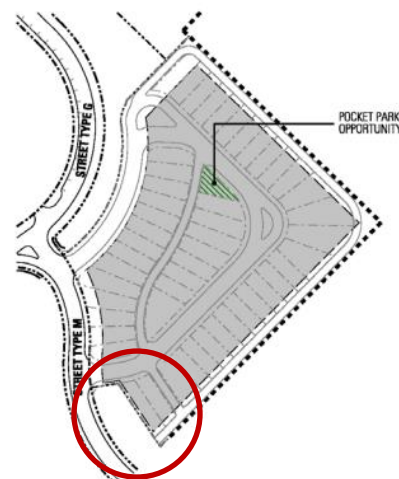
According to the *Subdistrict Plan* contained in Planned Development District 32 (PD-32) [Ordinance No. 17-22] the subject property is situated within the *Residential Subdistrict*, which -- according to Ordinance No. 17-22 -- is intended "...for zero lot line single-family residential housing." In this case, the applicant is proposing to change the zero lot homes into townhomes. This inherently changes the intent of the district, where the proposed townhomes do not meet the requirements stipulated for the *Residential Subdistrict*. Based on this, staff has requested that the applicant submit a *PD Development Plan* for the project. According to Ordinance No. 17-22, "(a) [PD] development plan shall be required if a proposed development within any *Subdistrict* that does not meet the intent of the *PD Concept Plan* or the *Subdistrict Plan*, or requires waivers not provided for in Section 9.3 [Waivers of Design Standards] of this ordinance." The following is a summary of the form-based code requirements for the *Residential Subdistrict*, and how the proposed project conforms to these requirements:

TABLE 1: BUILDING PLACEMENT AND PARKING COMPLIANCE THE RESIDENTIAL SUBDISTRICT

ORDINANCE PROVISIONS	RESIDENTIAL SUBDISTRICT	CONFORMANCE TO THE STANDARDS
BUILD TO LINE:	10-Feet	~10-Feet; IN CONFORMANCE
BUILDING FORM:	Side Yard Setback 8-Feet and 0-Feet.	No Side Setbacks Between Townhomes; NOT IN CONFORMANCE
	65% of the Façade must be at the Build to Line.	The Units Front Curved Streets and Do Not Meet This Requirement; NOT IN CONFORMANCE
	Minimum Lot Size is 30' x 90'	The are 35' Wide, but are as Short as 50-Feet; NOT IN CONFORMANCE
MAXIMUM LOT COVERAGE	61%	<61%; IN CONFORMANCE
LAND USE:		
	GROUND FLOOR Residential	Residential; IN CONFORMANCE
	UPPER FLOORS Residential	Residential; IN CONFORMANCE
BUILDING HEIGHT:		
MAXIMUM BUILDING HEIGHT	3-Stories and 36-Feet	3-Stories and 33-Feet; IN CONFORMANCE
ENCROACHMENTS	5-Feet	No Encroachments; IN CONFORMANCE
GARAGE LOCATION	Garages Must be Rear Loaded	Three (3) Units are Front Loaded; NOT IN CONFORMANCE

Staff has also provided the concept plan for the *Residential Subdistrict* in Figure 1. Staff reviewed the proposed building elevations, perspectives, and renderings for conformance to the *Design Guidelines* contained in Resolution 10-40 and found that the proposed elevations generally conform to the *Tuscan* architectural style. That being said, based on the proposed concept plan a mew street will run between the two (2) townhome buildings. The *Design Guidelines* detail that mew streets should include "...enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and may also include enhanced vehicular pavement." In this case, there are no proposed sidewalks and there will be decorative lighting. The landscape plan also delineates plantings along the mew both in open space and townhome lots. Staff should note, per the Chapter 2, *Streets*, of the Engineering Standards of Design and

FIGURE 1: RESIDENTIAL SUBDISTRICT CONCEPT PLAN
RED CIRCLE = APPROXIMATE LOCATION OF SUBJECT PROPERTY



Construction, pavers or stamped concrete may not be utilized in utility easements.

In addition to the *Residential Subdistrict* requirements of Planned Development District 32 (PD-32) and the *Design Guidelines*, the applicant's request fails to meet the anti-monotony requirements of the Unified Development Code (UDC). According to Subsection 03.01(D), *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street ... (i)dentical building material blends and colors may not occur on adjacent (*side-by-side*) properties." This section continues with "(h)omes are considered to differ in appearance if any three (3) elements are different: (a) The number of stories of the home ... (b) The garage location/orientation on the home ... (c) The roof type and layout of the home ... [and] (d) The articulation of the front façade of the home." In this case, the proposed townhomes have the same number of stories, incorporate the same garage location/orientation, and utilize the same color and material blends. Given this, the proposed building elevations do not meet the anti-monotony standards.

Finally, the applicant is requesting to entitle the subject property with seven (7) townhome units. As shown in *Table 2 (above)*, there are seven (7) remaining single-family residential units (*i.e. zero-lot-line or patio homes*) within Planned Development District 32 (PD-32). The concept plan for PD-32 – *established with Ordinance No. 10-21* – allocated a pool of 1,161 *urban residential units (i.e. condominiums and/or townhomes)* and 49 *single-family residential units (i.e. zero-lot-line or patio homes)*. On September 19, 2016, the City Council approved a PD Development Plan [Case No. Z2016-026; Ordinance No. 16-48] that converted 36 of the *single-family residential units* to townhome units. Following this approval, the PD Development Plan was amended [Case No. Z2018-001; Ordinance No. 18-16] to include an additional six (6) townhome units, for a total of 42 townhomes. The remaining seven (7) single-family residential units have yet to be allocated to a project, and previous requests to increase the number of units in the Planned Development District 32 (PD-32) have not been approved. In this case, the applicant is requesting to convert the remaining single-family residential units (*i.e. zero-lot-line or patio homes*) into townhomes.

With all this being said, a *PD Development Plan* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. Until the completion of an infrastructure study the level of roadway improvements cannot be determined. The proposed new street cannot utilize stamped concrete or pavers if the street will act as a utility easement as well. A *Streetscape Plan* showing how the sidewalks and pedestrian areas will be designed will be required to be submitted with the site plan. In addition, the applicant will be required to update the Traffic Impact Analysis (TIA) for the *Harbor District* per the City Council's direction from the November 5, 2018 City Council meeting.
- (2) Wastewater and Water. An infrastructure study will be required to determine the necessary improvements needed to sufficiently serve the subject property. Staff recommends that this infrastructure study be initiated prior to the submission of a site plan.
- (3) Drainage. The applicant shall be required to pay a stormwater pro-rata fee of \$7,226.59 per acre.

NOTIFICATIONS

On February 21, 2025, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lago Vista Homeowner's Association (HOA), which was the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received four (4) notices in favor and two (2) notices in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a PD Development Plan for seven (7) townhomes, staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the PD Development Plan ordinance and which are detailed as follows:
 - (a) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the PD Development Plan ordinance; and,
 - (b) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*; and,
 - (c) The proposed townhome development shall not contain more than seven (7) townhomes; and,
 - (d) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [as amended]; and,
 - (e) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [as amended] and with the requirements approved in the PD Development Plan ordinance.
- (2) Any construction resulting from the approval of this Planned Development District shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 15, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the PD development plan by a vote of 5-1, with Commissioner Hagaman dissenting and Commissioner Thompson absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☒ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3** BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential Subdistrict**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attached**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **13**

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **ZAPA Investmants LLC**

☒ APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St.**

ADDRESS **100 N. Cottonwood Drive
Suite 104**

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE **972.682.1435**

PHONE **214.810.4535**

E-MAIL **MZahm@zconstructors.com**

E-MAIL **tyler@gldevco.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt D. Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF December, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

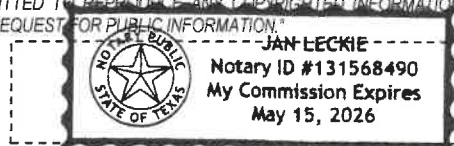
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF December, 2024.

OWNER'S SIGNATURE

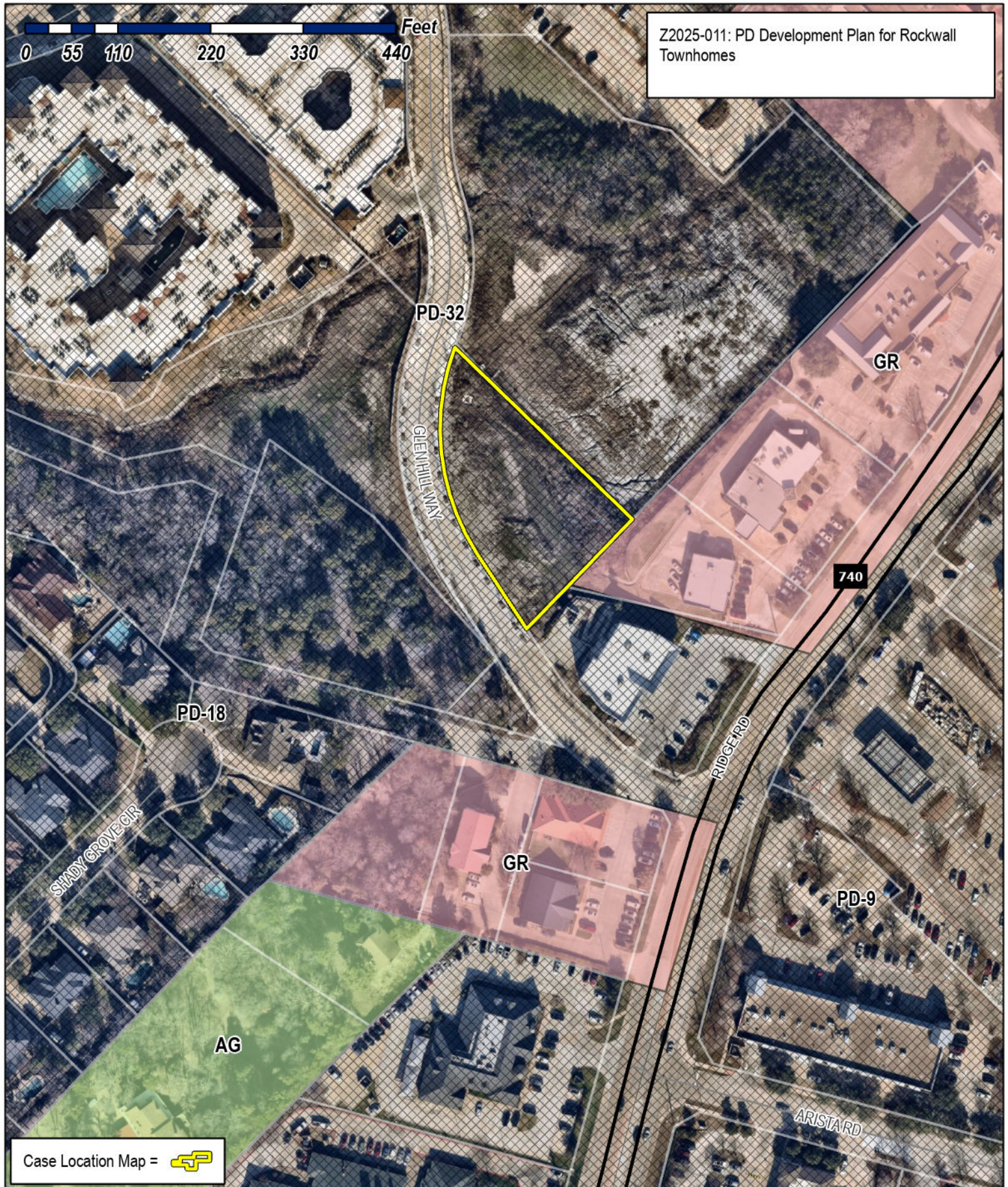
Matt D. Zahm


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie



MY COMMISSION EXPIRES 05/15/2026



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

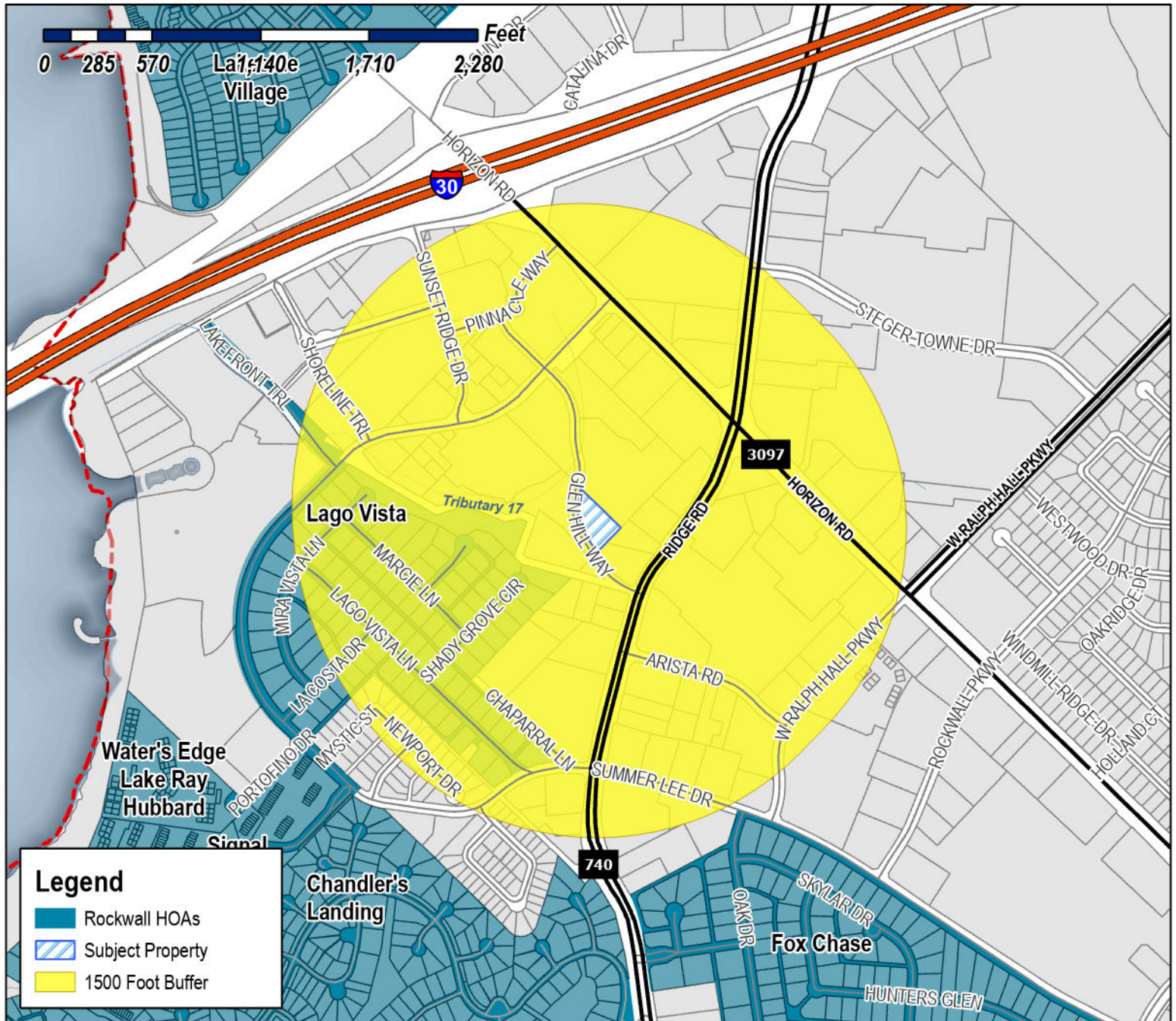




City of Rockwall

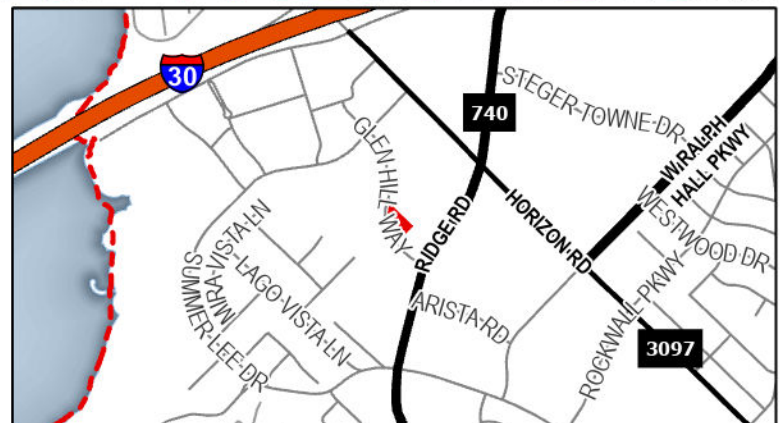
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Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 2/20/2025
For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program {Z2025-011}
Date: Thursday, February 20, 2025 3:31:43 PM
Attachments: [Public Notice \(02.18.2025\).pdf](#)
[HOA Map \(02.20.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, February 21, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

Thank you,

Melanie Zavala

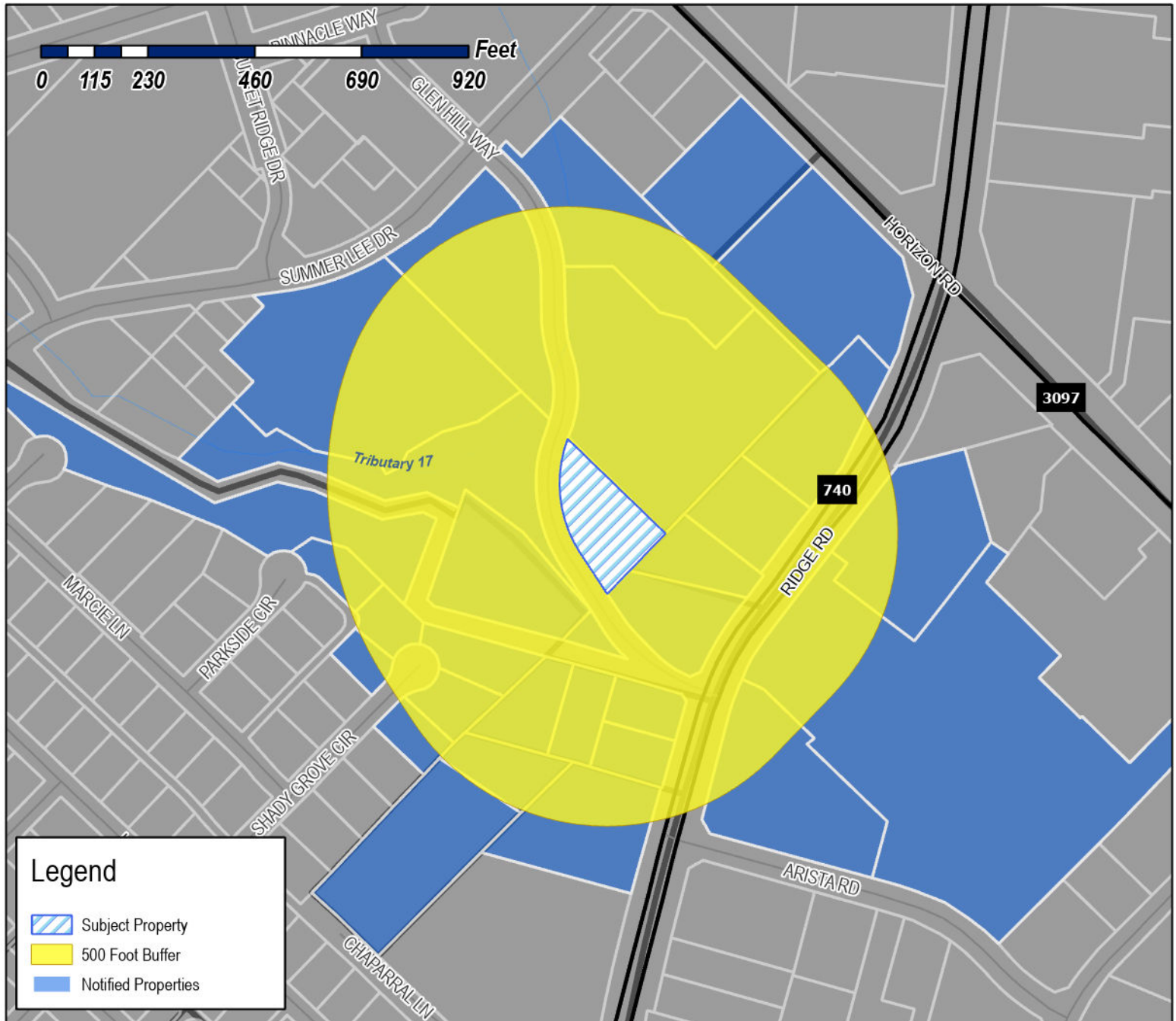
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/21/2025

For Questions on this Case Call: (972) 771-7745



KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

JAY & MALISHA LLC
1260 HERON LAKES CIR
MOBILE, AL 36693

NATIONAL TRANSFER SERVICES, LLC
1360 POST OAK BLVD STE 100 # 16-2
HOUSTON, TX 77056

RESIDENT
1489 SHADY GROVE CIR
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

DRAKE CARLA DEE & DENNIS HARTLINE
1501 SHADY GROVE CIR
ROCKWALL, TX 75032

HUBERT ROBIN AND MONICA A
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

RESIDENT
1513 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

CROCHERON AVENUE LLC
18 BEVERLY ROAD
DOUGLSTON, NY 11363

WHITNEY SARDIS LLC
2001 MARCUS AVENUE SUITE N118
LAKE SUCCESS, NY 11042

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

RESIDENT
2700 SUMMER LEE
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2918 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2930 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2951 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

RESIDENT
3014 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3016 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3018 RIDGE RD
ROCKWALL, TX 75032

HAYWOOD CHARLES E AND LISA K
36 IONA DRIVE RD3 TAURANGA
NEW ZEALAND 3173,

KRUGER KARIN
400 CHAPARRAL LN
ROCKWALL, TX 75032

C. REAL ESTATE, LLC
5 TERRABELLA LANE
HEATH, TX 75032

AJ SQUARED LLC
5 TERRABELLA LN
HEATH, TX 75032

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

HP ROCKWALL 740 LTD
C/O GARY P HAMMER
7557 RAMBLER ROAD, SUITE 980
DALLAS, TX 75231

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

GLEN HILLS CEMETERY
C/O INEZ GIBSON 512 COOL MEADOW COURT
DESOTO, TX 75115

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

I have no issues with townhomes in Rockwall
they would look nice on the way into the Harbor

Name: AJAY Gulati

Address: 3018 Ridge Road #100

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Empty lot does not look good.

We need townhomes in Rockwall.

I am 100% for this

Name: David Martinez

Address: 3012 Rube Road Rockwall Texas.

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

This will bring more residents to Rockwall County and revenue.
This notice was already filed out when it was sent the first time.

Name: Jennifer Parekh

Address: 3018 Ridge Road

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.☒ I am opposed to the request for the reasons listed below.

So much trees ~~Barba~~ have been cut of due to the
condemnin & the Hotel's construction. Need to reserve nature.
Also, it going to block our view of the lake and trees which
attract business.

Name: Rockwall Dental Care

Address: 2918 Ridge Rd

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

Our house borders the green belt. We've already lost most of the woods view. These new apartments would be able to see directly into our upstairs bedrooms. The noise from the construction, the additional traffic on Ridge Rd that can already not handle the traffic at peak times. Don't we have enough townhomes already?

Name: Shari Thompson

Address: 1496 Shady Grove Circle, Rockwall TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

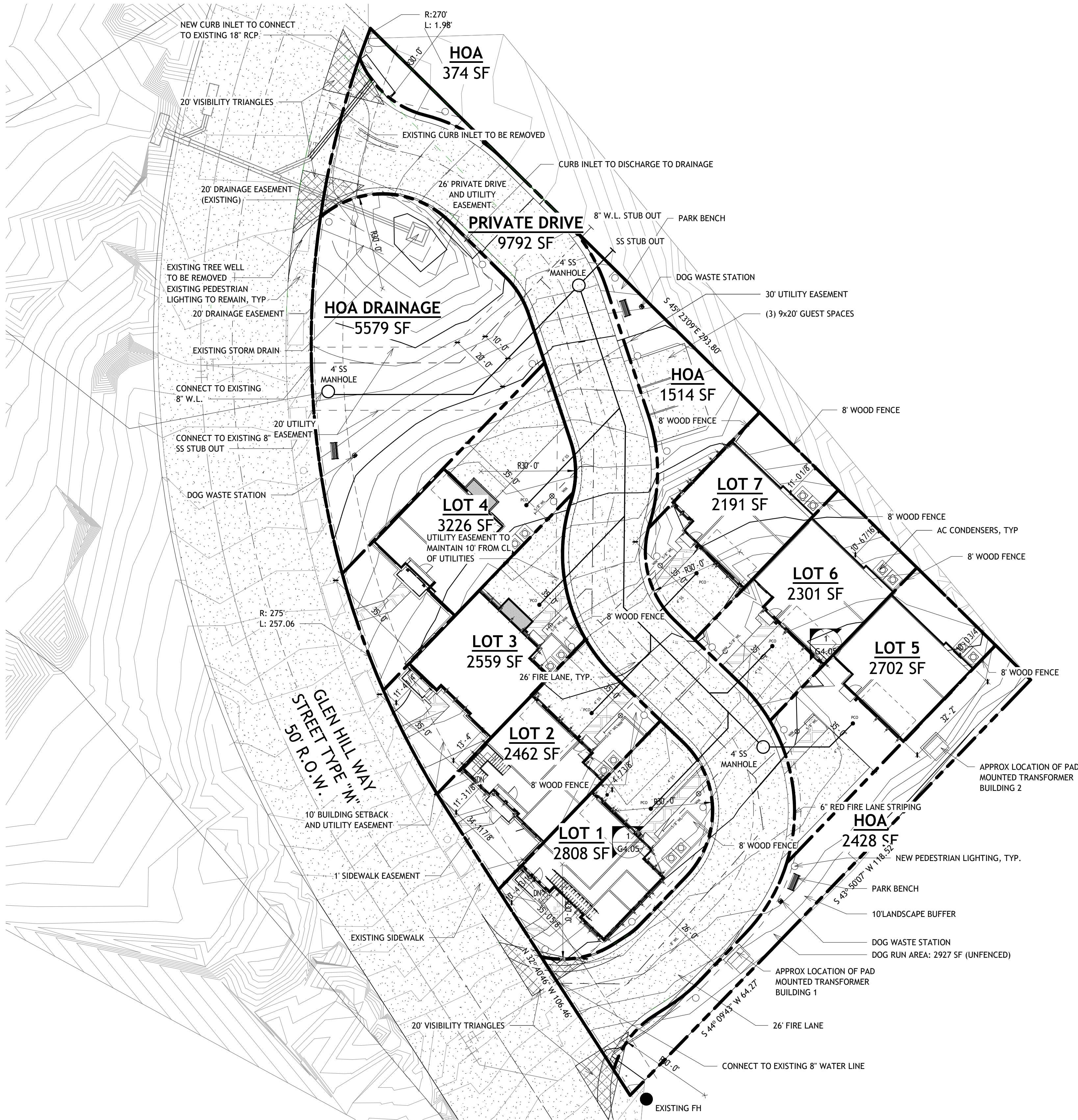
Luxury Townhomes would be nice on the side of town. The empty lot is an eyesore and it needs to be developed. Town homes would be a wonderful idea.

Name: VCA Ridge Road Animal Hospital

Address: 3010 Ridge Road Rockwell TX

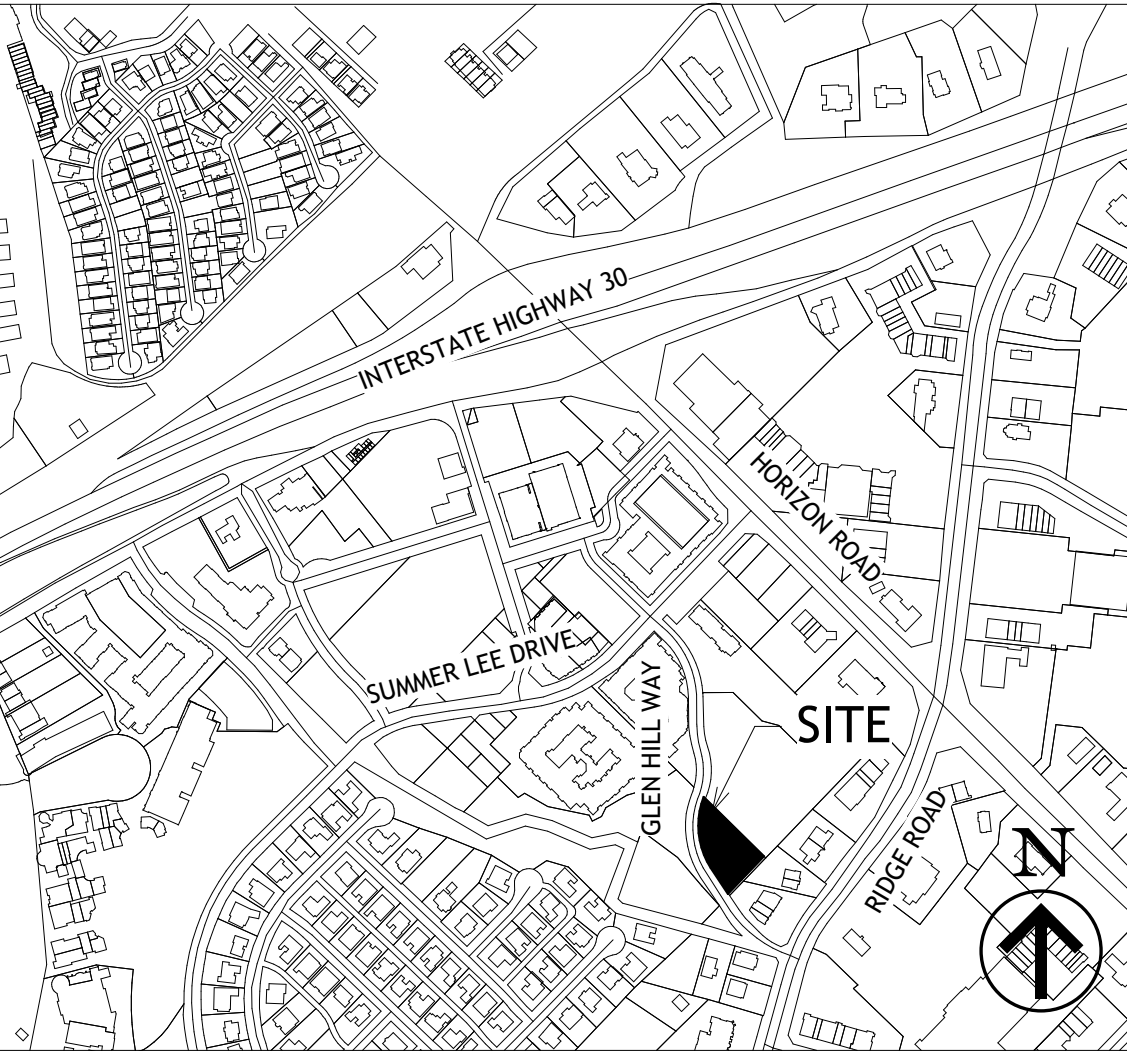
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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



1 Site Plan Copy 1
1" = 20'-0"

VICINITY MAP



Property Schedule	
Name	Area
HOA	2428 SF
HOA	1514 SF
HOA	374 SF
HOA DRAINAGE	5579 SF
LOT 1	2808 SF
LOT 2	2462 SF
LOT 3	2559 SF
LOT 4	3226 SF
LOT 5	2702 SF
LOT 6	2301 SF
LOT 7	2191 SF
PRIVATE DRIVE	9792 SF
Total	37936 SF

- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES**
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

- LIFE SAFETY GENERAL NOTES**
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

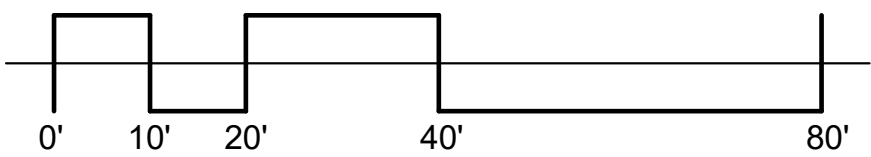
Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acres)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None

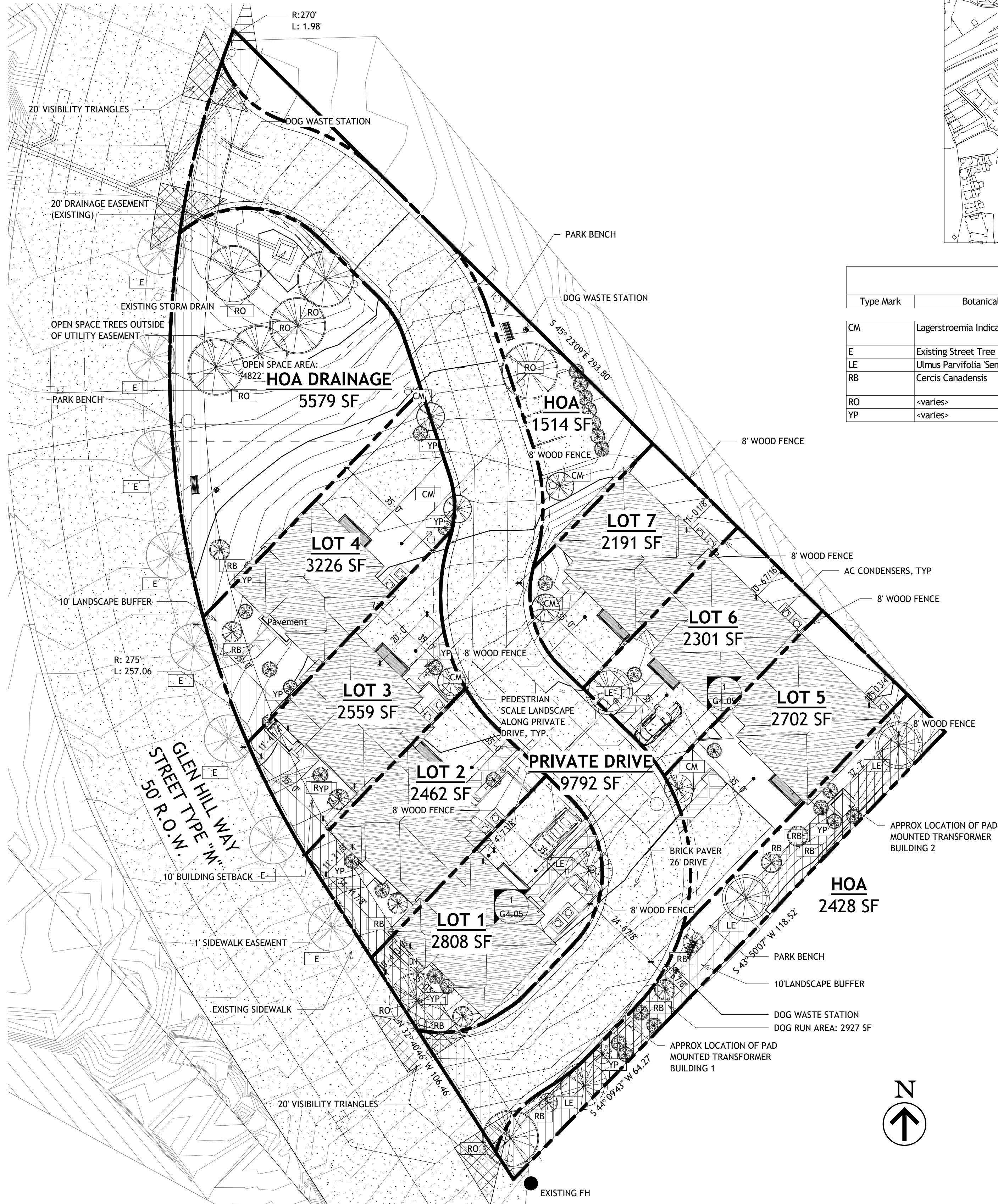


PD Amendment Plan

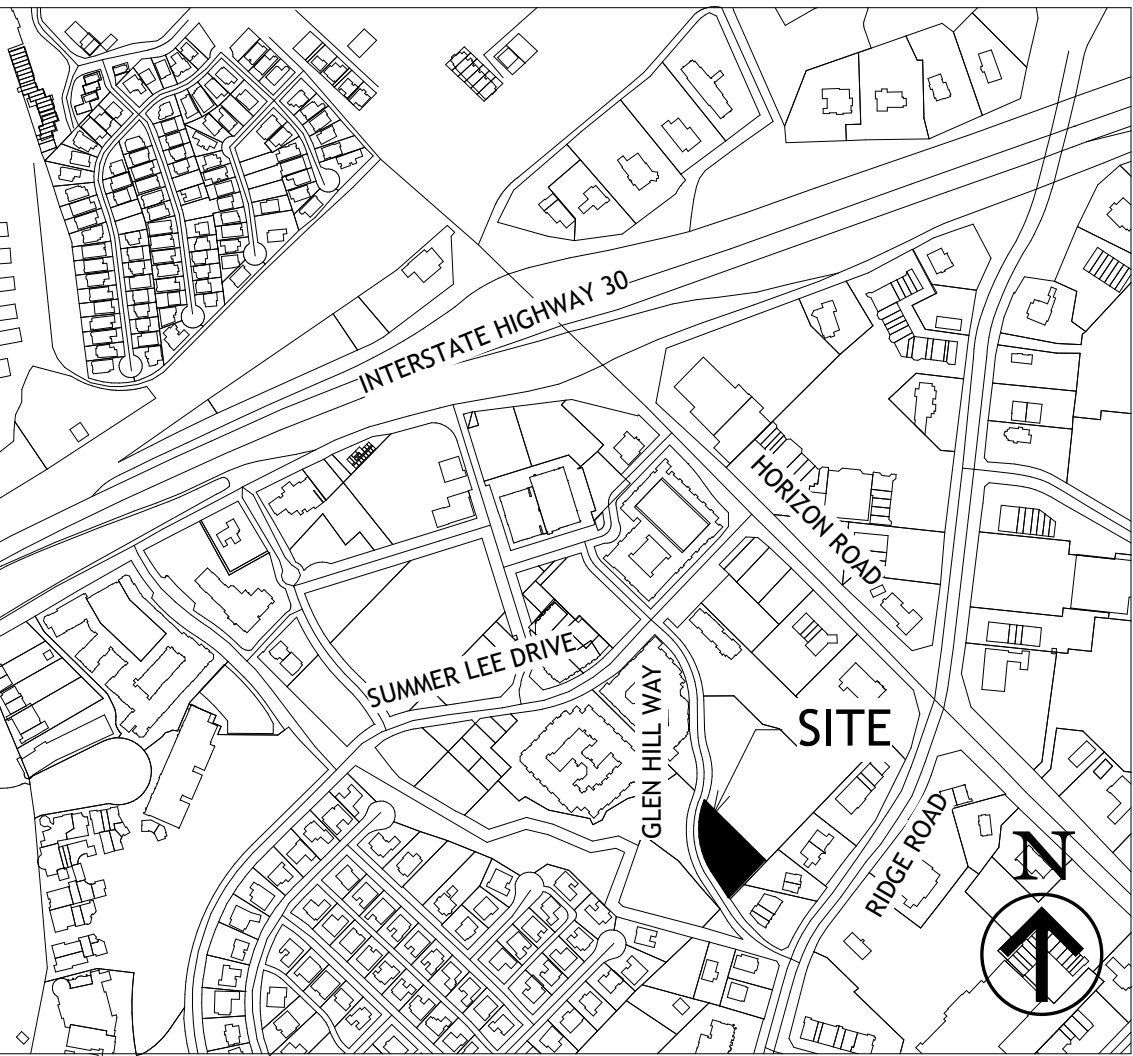
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared April 1, 2025



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Grape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4" Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TOT HE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY.
- ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

Site Data Summary Table

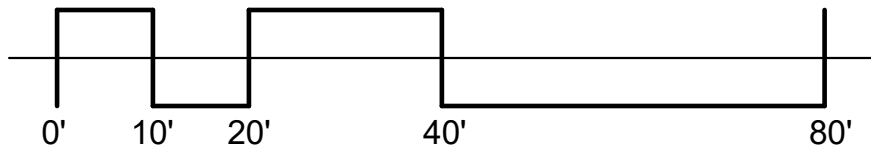
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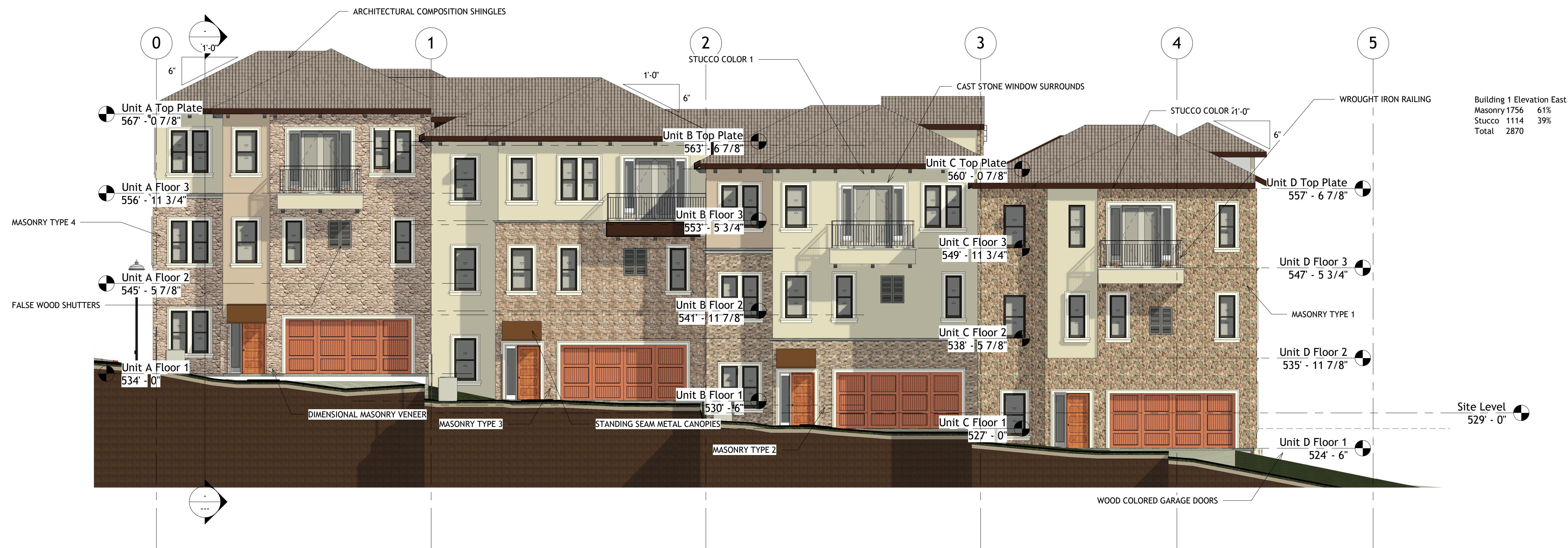
Zappa Investments, LLC
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Concept Landscape Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

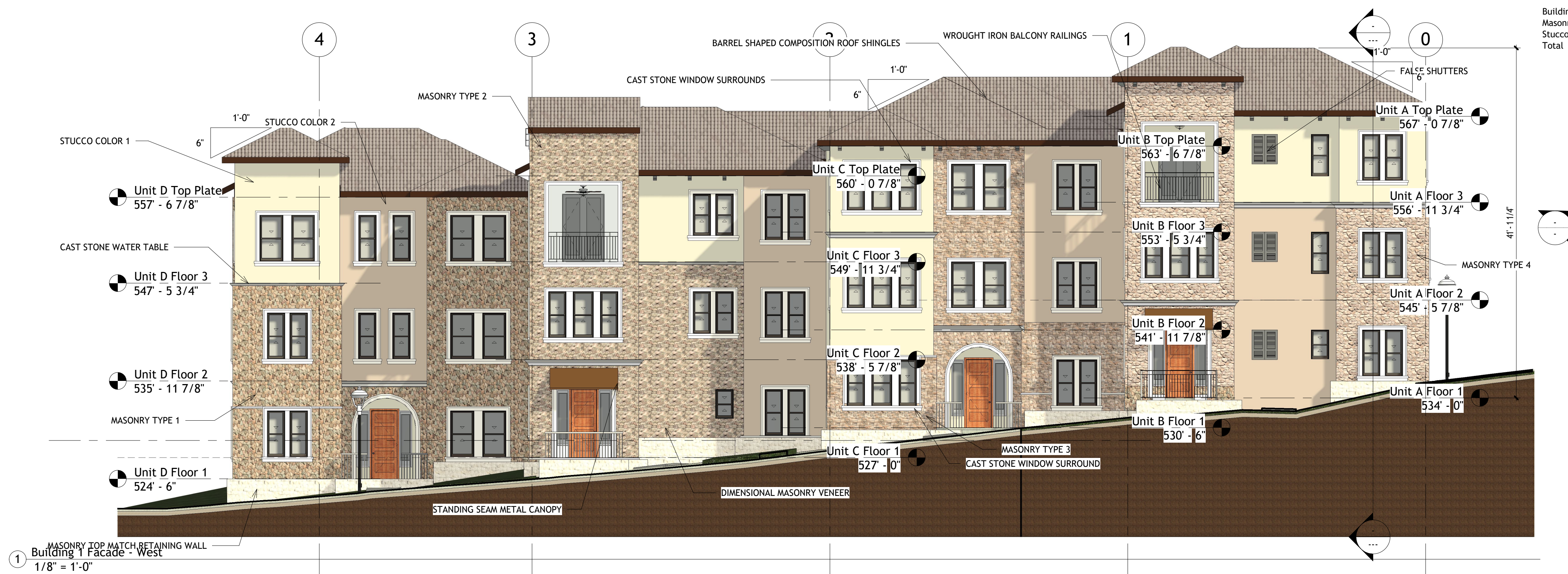
Prepared April 1, 2025



Building 1 Elevation East

Masonry	1756	61%
Stucco	1114	39%
Total	2870	

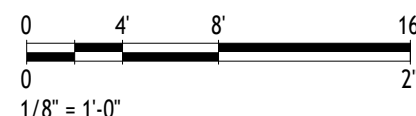
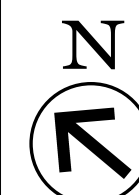
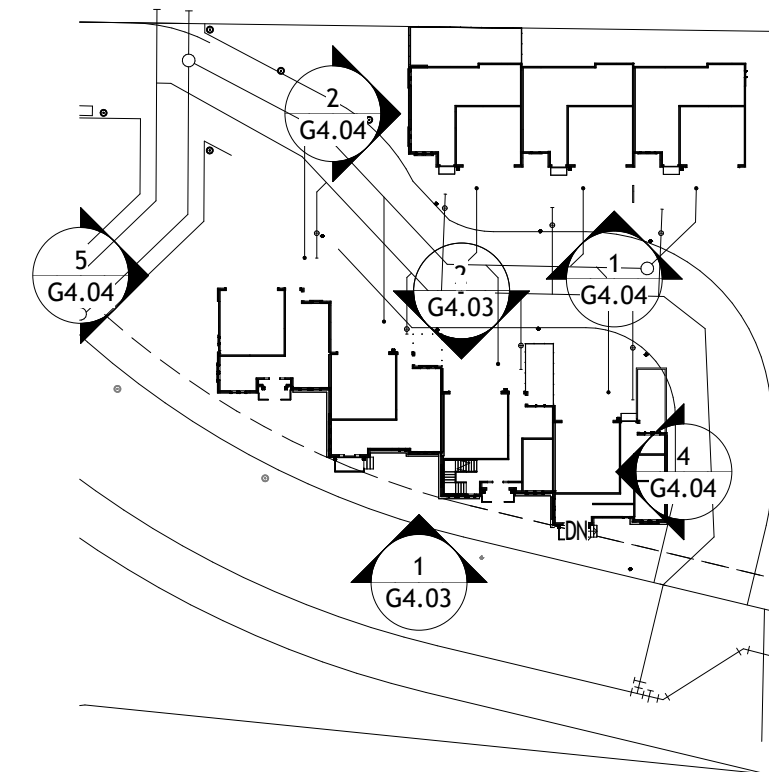
② Building 1 Facade - East
1/8" = 1'-0"



Building 1 Elevation West

Masonry	1982	60%
Stucco	1333	40%
Total	3315	

① Building 1 Facade - West
1/8" = 1'-0"



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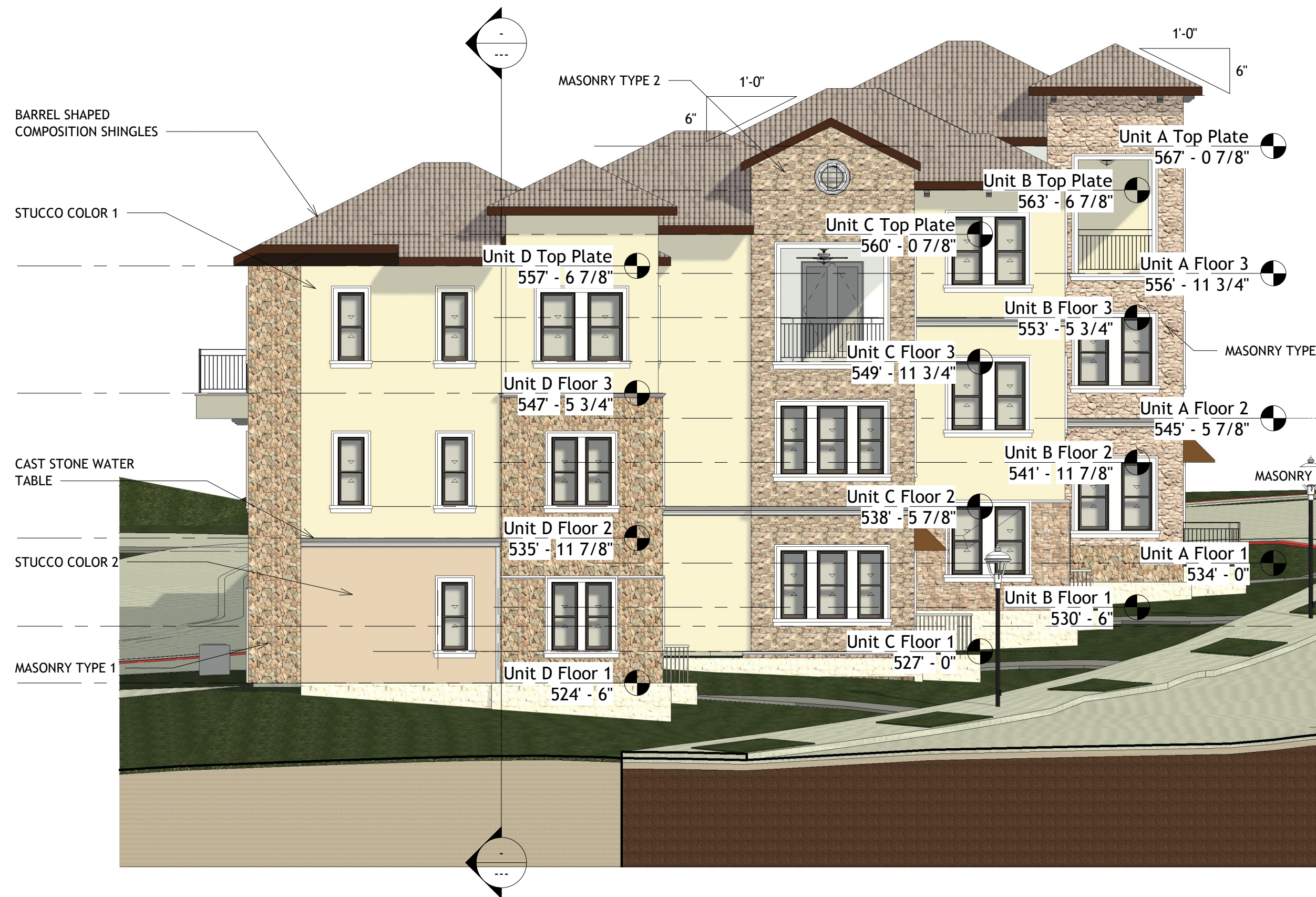
Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

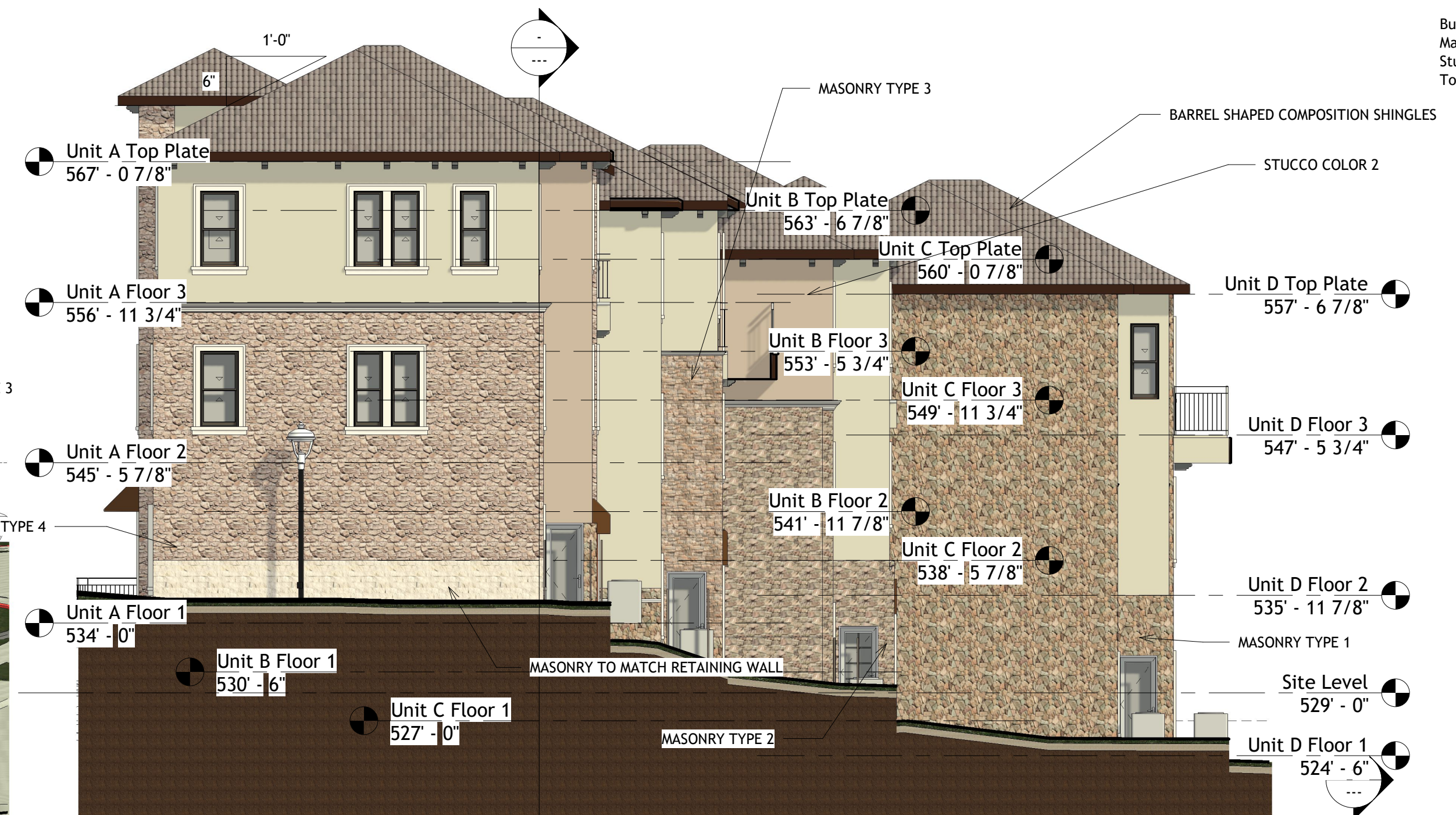
Prepared April 1, 2025

Building 1 Elevation North
Masonry 1779 64%
Stucco 1019 36%
Total 2798



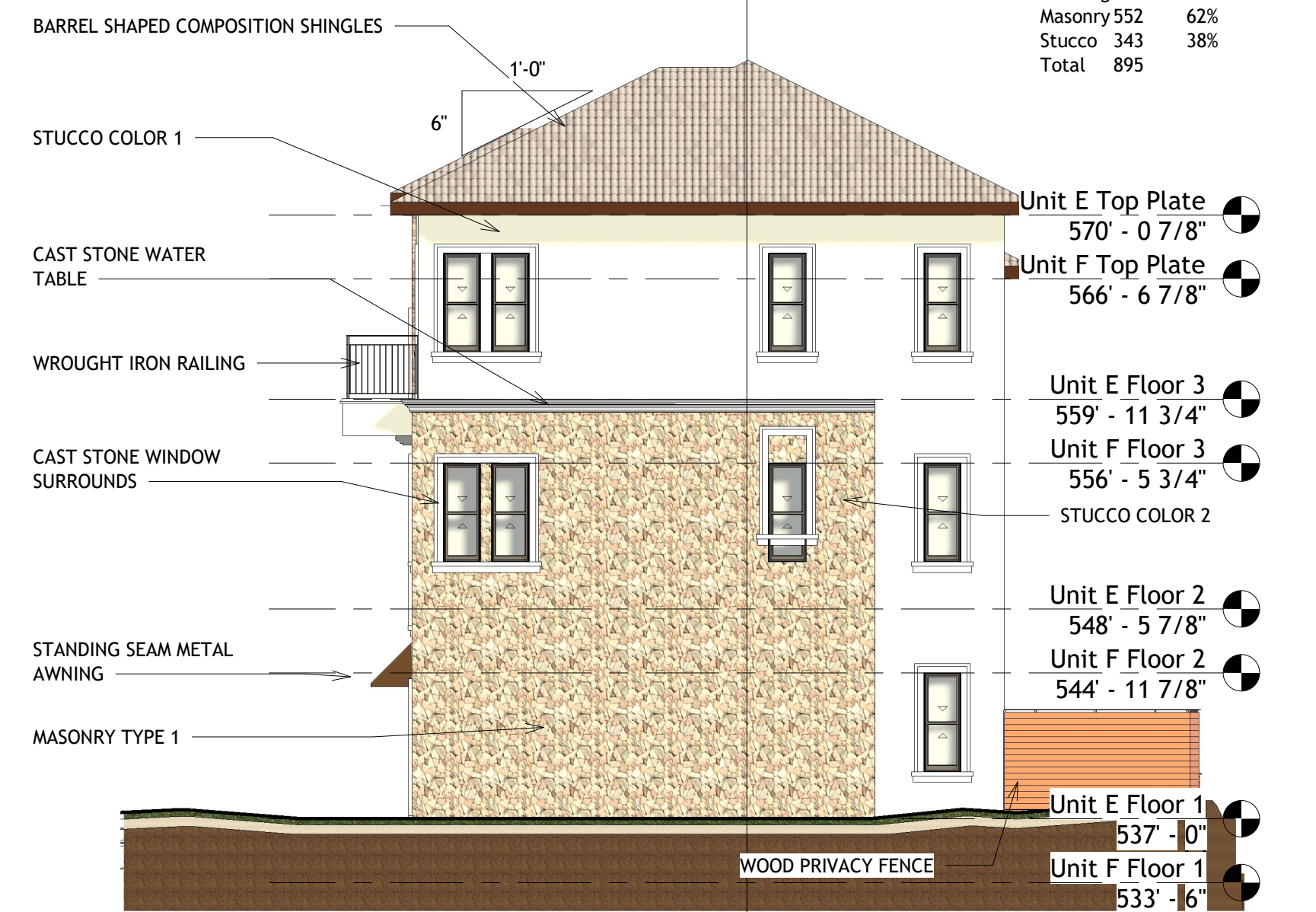
5 Building 1 Facade - North
1/8" = 1'-0"

Building 1 Elevation South
Masonry 1371 60%
Stucco 924 40%
Total 2295

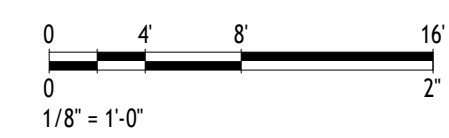


4 Building 1 Facade - South
1/8" = 1'-0"

Building 2 Elevation South
Masonry 552 62%
Stucco 343 38%
Total 895



3 Building 2 Facade - South
1/8" = 1'-0"



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Color Elevations

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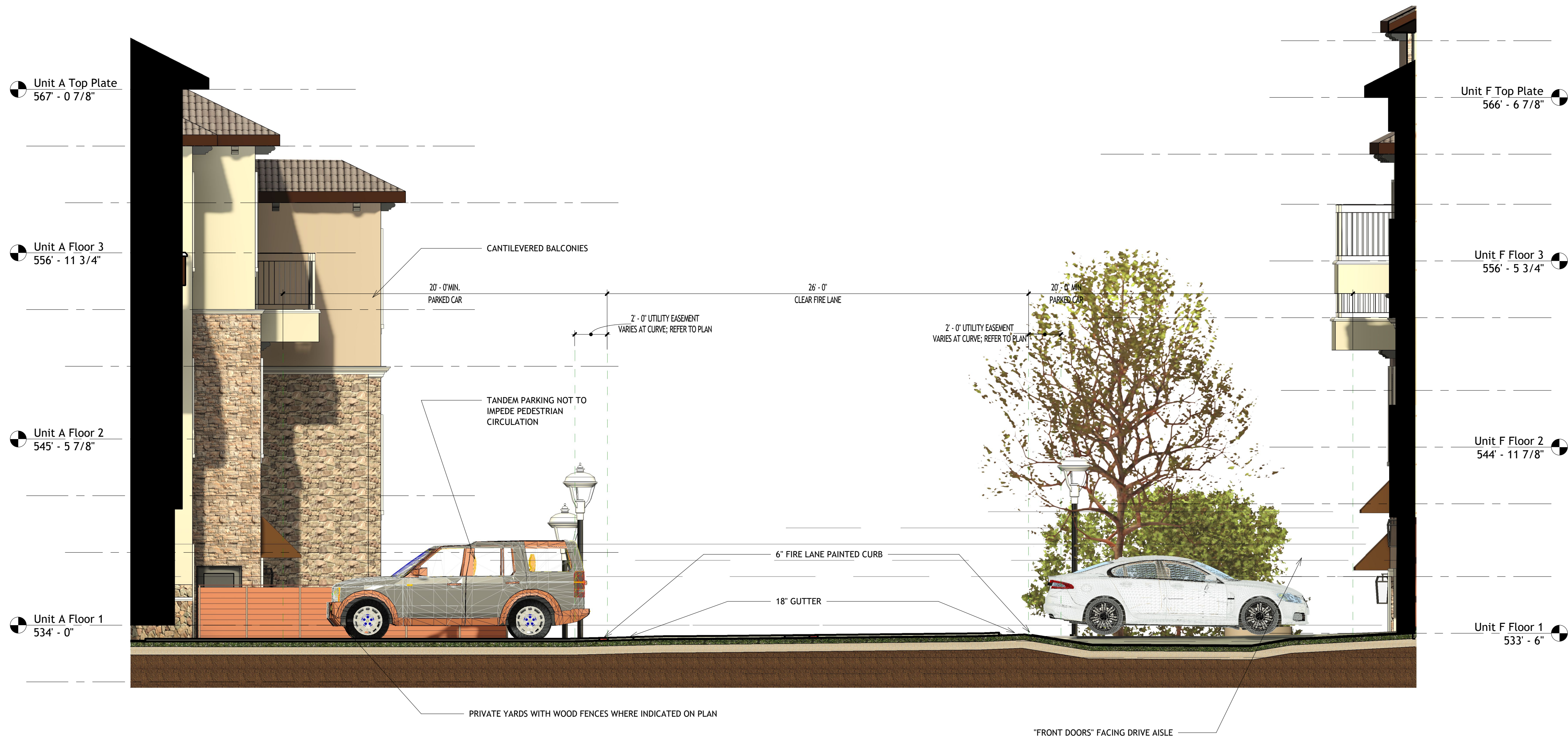












① Drive Aisle Section
1/4" = 1'-0"

0 2' 4' 8'
0 2'
1/4" = 1'-0"

GREENLIGHT

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Richardson, Texas 75081
v: 972.662.1435

Drive Aisle Section

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared April 1, 2025

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

The *Residential Sub-District* is reserved for zero lot line single-family residential housing. A lower volume of traffic in this area of the Harbor District make this *Sub-District* ideal for single family use. Key characteristics of this *Sub-District* include adjacency to open space and steep slopes that offer views of the surrounding area. Existing slopes within this *Sub-District* are in the six (6) percent to 16% range. This *Sub-District* is predominately vegetated by massing of existing trees that should be preserved when possible.

BUILDING PLACEMENT

BUILD-TO-LINE (DISTANCE FROM ROW LINE)

<i>Street Type M</i>	10'
----------------------	-----

BUILDING FORM

<i>Street Type N</i>	5'
<i>Side</i>	8'
<i>Zero Lot Line</i>	0'

NOTE: A minimum of 50% of the boundary with the Open Space *Sub-District* along *Street Type G* must be a public street (i.e. *Street Type M*).

BUILDING FORM

<i>Street Type M Min. Façade Built to BTL</i>	65%
<i>Maximum Lot Coverage</i>	61%
<i>Minimum Lot Size</i>	30' x 90'

USE

Ground Floor	Residential
Upper Floors	Residential

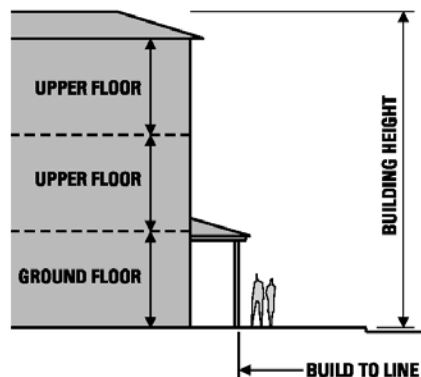
HEIGHT

	STORIES	HEIGHT
<i>Maximum Building Height</i>	3	36'

ENCROACHMENTS

<i>Front</i>	5'
--------------	----

NOTE: Steps, stoops, and roof overhangs may encroach over the BTL as shown in the table above.



3 Story S.F. Residential

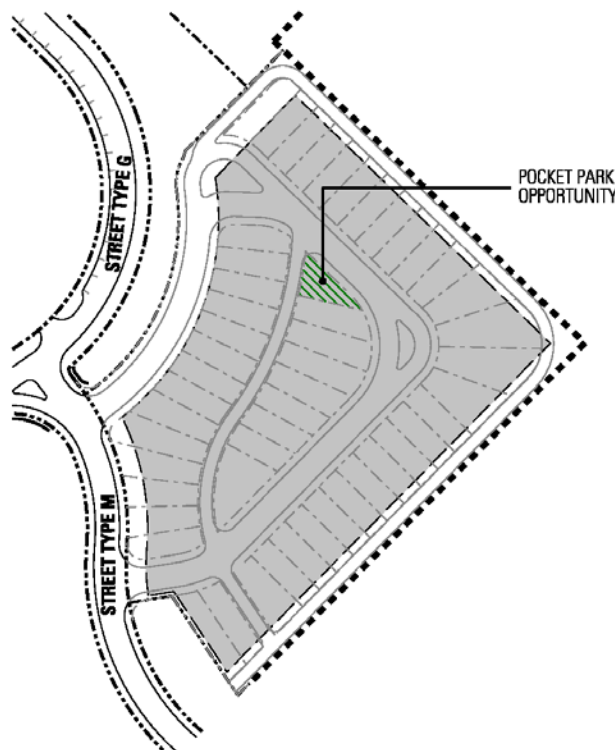


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

FLOOR PLAN/ELEVATION REPETITION

To avoid repetition and a monotonous look to the *Sub-District* environment, the following guidelines apply regarding the repetition of floor plans and elevations:

CASE 1

When building a house having the same floor plan and the same elevation, whether on the same or opposite side of the street, four (4) full lots must be skipped. Different paint color must be used. See Figure A.

CASE 2

When building a house having the same floor plan and a different elevation on the same side of the street, three (3) full lots must be skipped. Different paint color must be used. See Figure B.

CASE 3

When building a house having the same floor plan and a different elevation on the opposite side of the street, two (2) full lots must be skipped. Different paint color must be used. See Figure B.

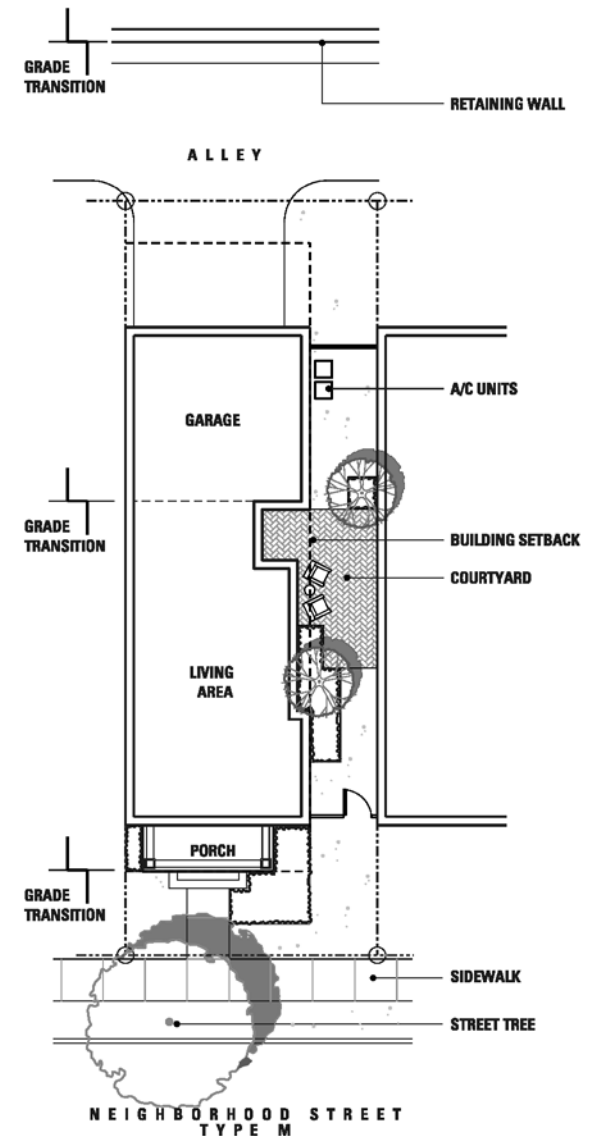
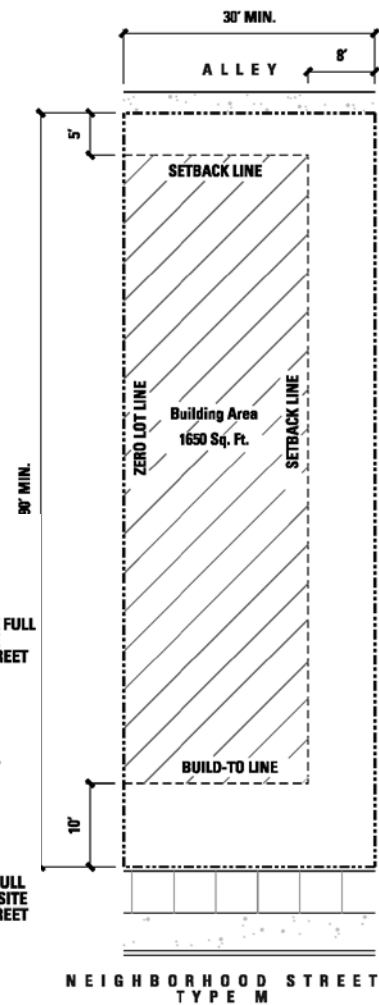
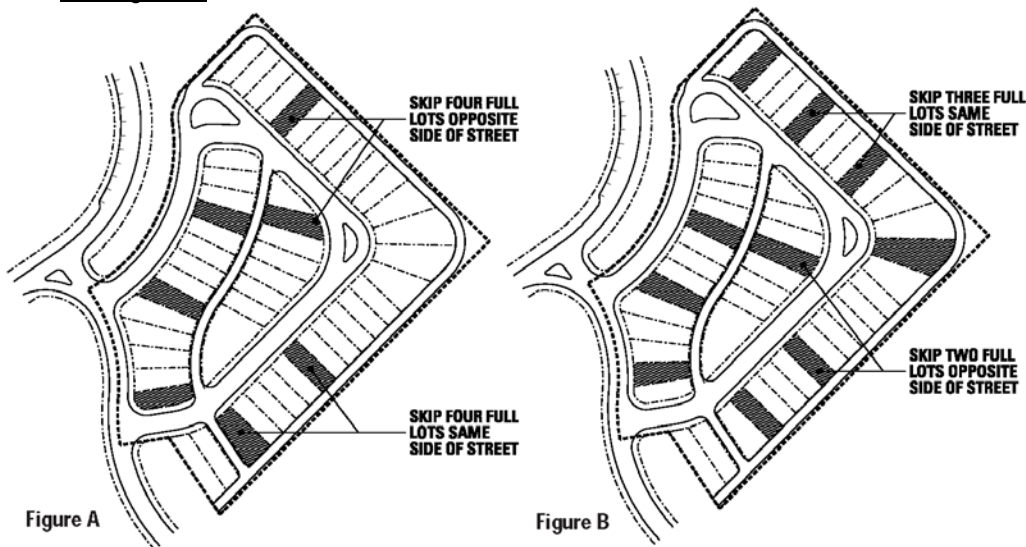


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

SITE LAYOUT, GRADING AND DRAINAGE

- (1) Runoff onto adjacent properties is prohibited.
- (2) Finished floor elevations shall be set in order to provide positive drainage away from all buildings.
- (3) Create smooth slope transitions, blending with natural grades, with maximum slopes in lawn areas being 4:1.
- (4) Do not run drainage swales from planting areas across paved areas.

LANDSCAPE STRUCTURES

- (1) Basketball goals, play structures, swing sets and similar elements may only be located in side or rear yards.
- (2) All vertical construction including garages, gazebos, arbors, barbeques and fireplaces must comply with front, side and rear setbacks.
- (3) Use materials, forms, styles and colors which match or are complementary to the architectural style and detailing of the house.

POOLS AND WATER FEATURES

- (1) Swimming pools, spas and water features must comply with front, side and rear setbacks. Above grade pools or spas are not permitted.
- (2) Fencing or design solutions which provide enclosures in accordance with local ordinances and regulations must be provided.
- (3) Mechanical equipment for pools and spas must be located so as to not be visible from adjacent properties or the street. Locate or enclose equipment to minimize noise intrusion.

LIGHTING, UTILITIES AND SERVICE

- (1) Exterior ornamental and accent lighting may be used in moderation to complement landscape and architectural features. Light fixtures shall have appropriate light cutoff shields to prevent unwanted glare to neighboring properties and streets.
- (2) Post mounted light fixtures and bollard lighting are not permitted. Pathway lighting may be used, limited to 18-inches in height.

- (3) Colored, fluorescent and neon lighting is prohibited. Obtrusive HID security lighting fixtures are prohibited.
- (4) Exposed exterior floodlights or wall packs are not permitted.
- (5) All site utilities shall be underground. Transformers, meters and other utility equipment shall be screened by planting or by architectural means. Avoid clipped hedges around utility boxes.

IRRIGATION DESIGN

- (1) Irrigation is required for all home sites and shall be an automatic, underground system with rain and freeze sensors.
- (2) Design irrigation systems to separately circuit irrigation zones for plant materials having different watering requirements, such as lawns and shrubs.
- (3) Prevent overspray onto streets, pedestrian walks, driveways and buildings.

DRIVEWAYS

- (1) Driveways shall be paved with concrete, pavers, or integrally colored concrete with charcoal grey color. Chemical staining enhancements are not permitted. Driveways may not be painted with an opaque coating.

GARAGES

- (1) Garages must be rear loaded from an alley.
- (2) All garages must hold a minimum of one and a maximum of two cars. Guest parking spaces shall be on street.

BUILDING MASSING

- (1) The house footprint shall be composed of squares and rectangles placed at right angles to one another. The geometry of each of these shapes shall be uninterrupted by adjacent shapes.
- (2) All building footprints shall be at right angles to the property lines. Compose house forms to create exterior space.
- (3) Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition.

ROOFS

- (1) The individual shapes which compose the house footprint shall each be roofed by a symmetrical gable, hip, or a simple roof form.
- (2) The geometry of each roof form shall be uninterrupted by adjacent roof forms. Valleys are discouraged, except for dormers.

WALL MATERIALS

- (1) Exterior wall materials shall be any of the following:
 - A. Fiber cement board siding and shingles, primed and painted, "Hardie" type boards. Siding shall be installed horizontally only, lapped clap board style with narrow lap exposures preferred over wide exposures.
 - B. Portland cement stucco with integral color
 - C. Brick masonry
 - D. Stone masonry
 - E. Cast stone masonry
 - F. Fireplace masses and chimneys shall be clad in noncombustible materials to match exterior house materials.
 - G. Aluminum, masonite, and vinyl siding are not permitted.
- (2) Exterior wall materials may change at a vertical line which delineates a change in building form, or along horizontal lines.

EXTERIOR FINISHES

- (1) All wood and composite surfaces shall be finished with paint, applied over an appropriate primer. Opaque and semi-opaque stain may be used.

TRIM

- (1) All trim, where used, shall be cement fiber board, cedar, or quality wood products. Trim shall be a minimum ¾-inch thick with flat surfaces. Built up assemblies, shaped profiles, and ornamental embellishments are to be avoided.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

DOORS

- (1) All exterior doors shall be wood or metal, hinged, of rail and stile construction, with one (1) to six (6) panels. Dormers above doors are encouraged. Panels shall be glazed or flat wood (not raised panels). Doors shall be painted.
- (2) Exterior doors shall be swing type, of solid wood or wood veneer, and shall be painted, or clad in pre-finished metal.

SCREEN DOORS

- (1) Screen doors are allowed. Screen doors shall be of wood rail and stile construction, with one (1) to six (6) panels. All panels shall be screened. Screen doors shall be painted.
- (2) Storm doors are not permitted at the front door but are allowed at side and rear doors.

GARAGE DOORS

- (1) Garage doors shall be overhead roll-up construction with horizontal insulated metal panels.
- (2) Garages may have maximum 18-foot wide doors.

EXTERIOR DOOR HARDWARE

- (1) Oversize or overly ornamented door hardware or escutcheon trim plates are not permitted on the front door.

WINDOWS

- (1) Windows shall be casements, awnings, or double or single hung. Each window shall be glazed by a single panel of insulated glass, or may be divided into no more than four (4) panels. Fake mullions are discouraged.
- (2) Windows may be of wood, thermally broken aluminum or aluminum-clad wood construction. Vinyl or vinyl-clad construction is not permitted.
- (3) All operable windows shall be equipped with insect screens.
- (4) Bay windows shall be glazed a minimum of 80% of their width.

EXTERIOR WINDOW SHUTTERS

- (1) Window shutters are permitted provided they are proportioned to fully cover the windows they would protect. Shutters may be wood or synthetic.

AWNINGS

- (1) Window awnings are not permitted, with the exception of shutter awnings.

GLAZING

- (1) Window and door glazing shall be clear, insulated, double-pane, low-emissivity glass. Applied window films are not permitted.

ROOFS

- (1) Roofs may be covered in composite asphalt shingles. Composition shingles must be minimum 25-year dimensional, laminated type. Flat, three (3) tab shingles will not be permitted. An example of approved roof shingle type is Tamko "Heritage 30." Standing seam metal roofing and other metal roof types may be used.
- (2) All roof penetrations, other than chimneys, shall be grouped as far from frontages as possible, shall not be visible from the street and shall be painted as needed to match roof. Skylights shall not be visible from the street.
- (3) All soffit venting shall be 2-inch continuous venting or perforated "Hardisoffit" panels. No box vents shall be used. No vinyl material may be used.
- (4) Dormers shall be appropriately proportioned, hip or gable, with a minimum 6:12 pitch. They shall be glazed a minimum of 90% of their face and must be open to the interior roof area beyond.
- (5) Roof ventilation dormers are permitted only on the side and rear elevations and must be vented a minimum of 90% of their face.
- (6) Dormers shall have minimum overhangs and eaves. Stucco or "Hardi" Siding or Panels are recommended in dormer gables.
- (7) All exposed metal flashing shall be unpainted galvalume, paint-grip or galvanized steel.

- (8) Roof attic vents shall be continuous ridge vents such as "Cool Ridge." Powered attic vents are not allowed. Turbine vents may be allowed by variance, but must not be visible from the street.
- (9) Satellite dishes and roof antennae shall not be visible from the street.

CHIMNEYS

- (1) All chimneys must be fitted with a galvanized metal chimney cap with a 'roof' that is the same size and shape as the chimney it covers. The roof form may be flat or hipped.
- (2) The chimney cap must include metal mesh, screen or grid to prevent animals from entering the chimney.
- (3) Acceptable finishes are natural 'paint-grip' galvanized or painted galvanized.

RAIN GUTTERS

- (1) Rain gutters and downspouts may be of any profile compatible with the style of the house and roof. Gutters and downspouts shall be located in a way as to not draw attention to themselves.
- (2) Gutters and downspouts shall be unpainted galvalume, "paint-grip" steel or zinc finishes, although prefinished metal finishes may be permitted.
- (3) Downspouts shall terminate at splash blocks, gravel, brick or concrete.

PAINT

- (1) All exterior finish coat paint shall be acrylic latex or latex enamel.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

PORCH CONSTRUCTION

- (1) Porch columns shall be wood posts, minimum six (6) inch by six (6) inch, painted and free of ornamentation.
- (2) Porches shall have wood railings. Railing details must be included with plan submissions for approval.
- (3) Porch floors shall be concrete, stone or brick. Porch construction shall be concrete slab foundation, built as part of the house.
- (4) Porches and covered balconies may be screened at the rear of the homes only.

ELEMENTS NOT PERMITTED

The following list of elements are not permitted in the development:

- ☑ Window A/C Units
- ☑ Exterior Fluorescent Lighting
- ☑ Solar Powered Landscape Lighting
- ☑ Soffit/Cornice Lighting Visible from a Public ROW
- ☑ Skylights Visible from a Public ROW
- ☑ Antennas or Satellite Dishes Greater Than 18-inch Diameter
- ☑ Decorative Flags - Properly Displayed American Flags are Allowed
- ☑ Concrete Statuary Visible from Public ROW
- ☑ Plastic Furniture or Artificial Plants Visible from a Public ROW
- ☑ Asphalt or Gravel Drives



ARCHITECTURAL DETAIL CHARACTER



RESIDENTIAL STREET EDGE CONDITION

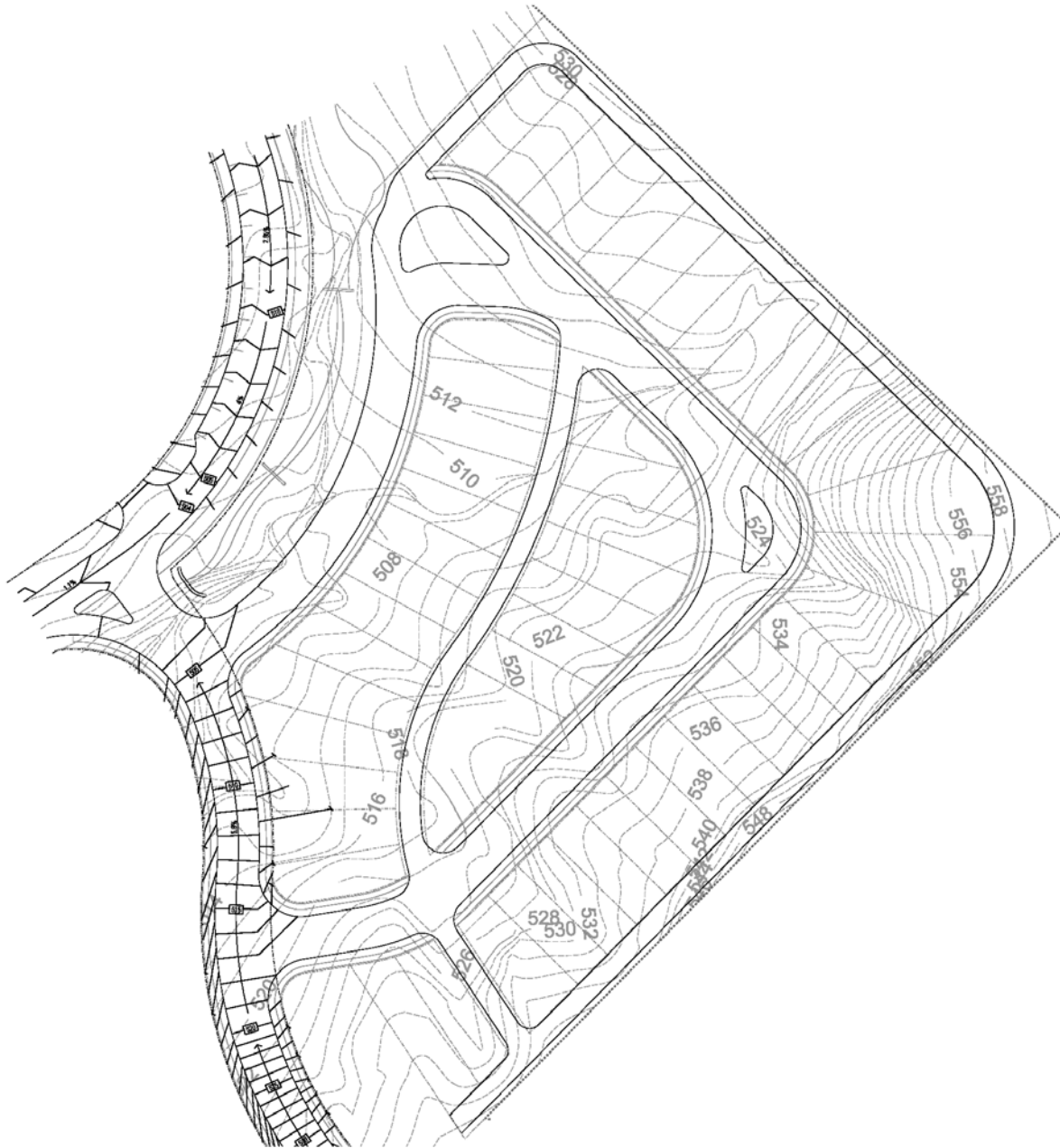


RESIDENTIAL STREET CHARACTER



RESIDENTIAL STREET EDGE CONDITION

EXHIBIT 'E-9':
Residential Sub-District



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR EIGHT (8) TOWNHOMES ON A 0.871-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, HARBOR HILLS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) townhomes to be situated within the *Residential Subdistrict*, on a 0.871-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed townhome development shall not contain more than eight (8) townhomes.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF APRIL, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

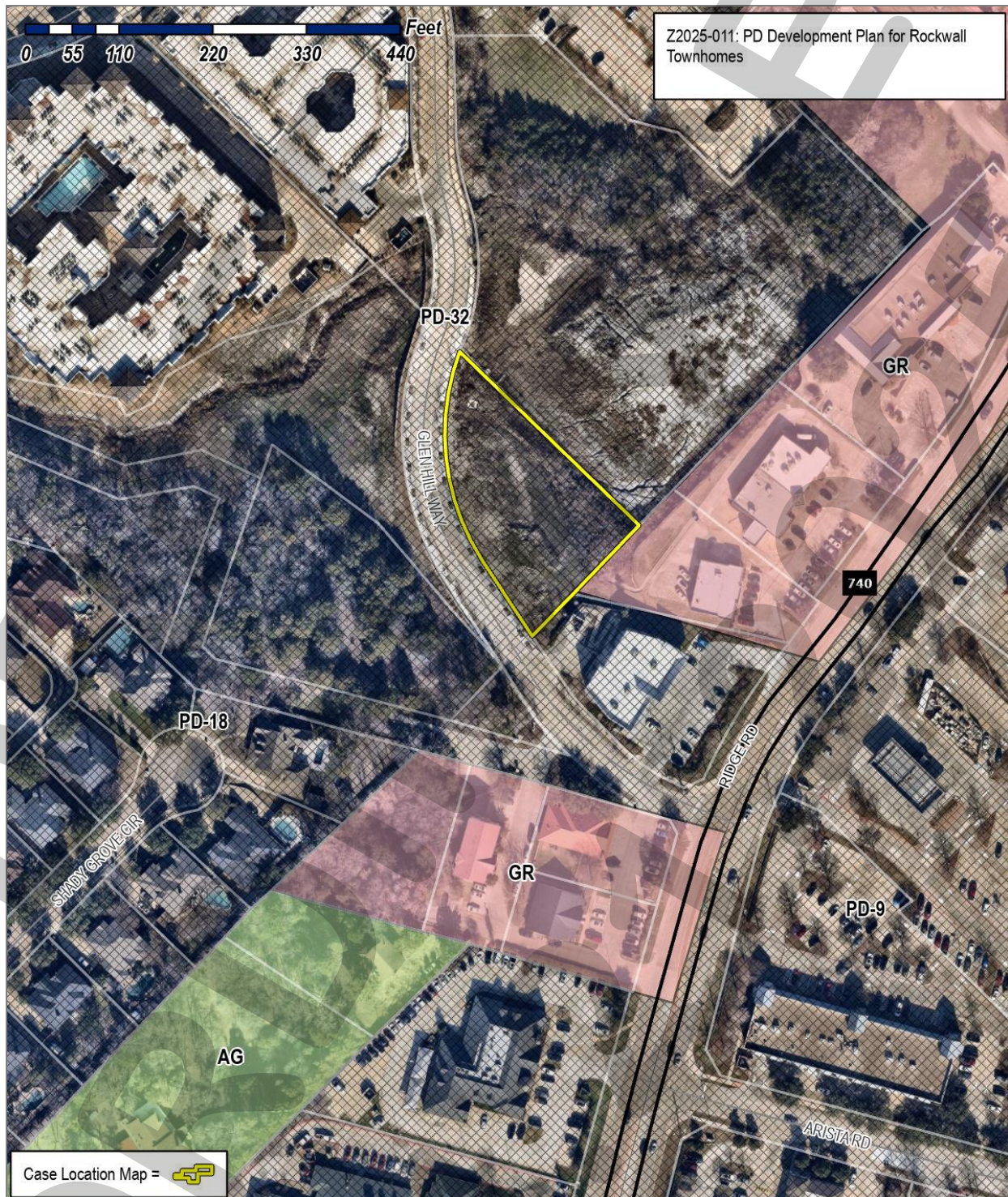
Frank J. Garza, *City Attorney*

1st Reading: March 17, 2025

2nd Reading: April 7, 2025

Exhibit 'A':
Location Map

Legal Description: Lot 3, Block A, Harbor Hills Addition



The site plan illustrates a residential development with the following key features:

- HOA Areas:**
 - HOA 374 SF:** Located at the top left, featuring a new curb inlet to connect to an existing 18" RCP and a 20' visibility triangle.
 - HOA DRAINAGE 5579 SF:** A central drainage area with an existing tree well to be removed and existing pedestrian lighting to remain.
 - HOA 1514 SF:** Located in the upper right, featuring a dog waste station and a 30' utility easement.
 - HOA 2428 SF:** Located at the bottom right, featuring a dog waste station and a dog run area of 2927 SF (unfenced).
- Private Drive:** A 9792 SF drive running horizontally across the upper middle, featuring a 26' private drive and utility easement, a 4' 55" manhole, and a 55' stub out.
- Lots:**
 - LOT 4 (3226 SF):** Features a utility easement to maintain 10' from the centerline of utilities.
 - LOT 7 (2191 SF):** Features an 8' wood fence and AC condensers.
 - LOT 6 (2301 SF):** Features an 8' wood fence.
 - LOT 5 (2702 SF):** Features an 8' wood fence.
 - LOT 3 (2559 SF):** Features a 26' fire lane and a 4' 55" manhole.
 - LOT 2 (2462 SF):** Features an 8' wood fence.
 - LOT 1 (2808 SF):** Features an 8' wood fence and a 4' 55" manhole.
- Infrastructure and Easements:**
 - Glen Hill Way:** A 50' R.O.W. street running vertically on the left side, featuring a 10' building setback and utility easement and a 1' sidewalk easement.
 - Drainage:** Includes an existing storm drain, a 20' drainage easement, and a 20' utility easement.
 - Water and Sewer:** Includes connections to existing 8" water lines, 8" W.L. stubs, and 4" 55" manholes.
 - Landscaping:** Includes 20' landscape buffers, 20' visibility triangles, and new pedestrian lighting.
 - Other Features:** Includes dog waste stations, dog run areas, and approximate locations for pad-mounted transformer buildings 1 and 2.

[illegible]

GREENLIGHT

STUDIO LLC

Color Elevations

Rockwall Townhomes

City of Rockwall, Texas

118 - 1.0'

Building 1 Facade - North

Building 2 Facade - North

Building 3 Facade - West

Building 4 Facade - South

Building 5 Facade - East

Site Plan

North Arrow

Scale Bar

1/18/2018

Project Information

Client: City of Rockwall, Texas

Address: 118 - 1.0'

Project Name: Rockwall Townhomes

Architect: Studio LLC

Engineer: [Redacted]

Designer: [Redacted]

Project Number: [Redacted]

Revision: [Redacted]

Notes:

1. All elevations are based on the existing building footprint.

2. All elevations are based on the existing building height.

3. All elevations are based on the existing building materials.

4. All elevations are based on the existing building colors.

5. All elevations are based on the existing building details.

6. All elevations are based on the existing building structure.

7. All elevations are based on the existing building systems.

8. All elevations are based on the existing building equipment.

9. All elevations are based on the existing building landscaping.

10. All elevations are based on the existing building site conditions.



DATE: May 22, 2025

TO: Tyler Adams
Greenlight Studio
100 N. Cottonwood Drive, Suite 104
Richardson, TX 75080

CC: Matt Zahm
ZAPA Investments LLC
201 W. Kaufman Street
Richardson, TX 75081

FROM: Henry Lee, *Senior Planner*
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2025-011; *PD Development Plan for Rockwall Townhomes*

Tyler Adams:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on May 5, 2025. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the *PD Development Plan* ordinance and which are detailed as follows:
 - (a) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the PD Development Plan ordinance; and,
 - (b) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*; and,
 - (c) The proposed townhome development shall not contain more than seven (7) townhomes; and,
 - (d) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*]; and,
 - (e) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in the PD Development Plan ordinance.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

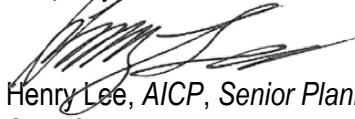
- On March 11, 2025, the Planning and Zoning Commission approved a motion to table the request until April 15, 2025 by a vote of 7-0.
- On April 15, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the PD development plan by a vote of 5-1, with Commissioner Hagaman dissenting and Commissioner Thompson absent.

City Council

- On April 21, 2025, the City Council approved a motion to approve the PD development plan by a vote of 4-3, with Council Members Johannessen, Jorif, and McCallum dissenting.
- On May 5, 2025, the City Council approved a motion to approve the PD Development Plan by a vote of 4-3, with Council Members McCallum, Johannessen, and Jorif dissenting.

Included with this letter is a copy of *Ordinance No. 25-21*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,



Henry Lee, AICP, Senior Planner
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 25-21

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR SEVEN (7) TOWNHOMES ON A 0.871-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, HARBOR HILLS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) townhomes to be situated within the *Residential Subdistrict*, on a 0.871-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed townhome development shall not contain more than eight (8) townhomes.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF MAY, 2025.**




Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: April 21, 2025

2nd Reading: May 5, 2025

**Exhibit 'A':
Location Map**

Legal Description: Lot 3, Block A, Harbor Hills Addition

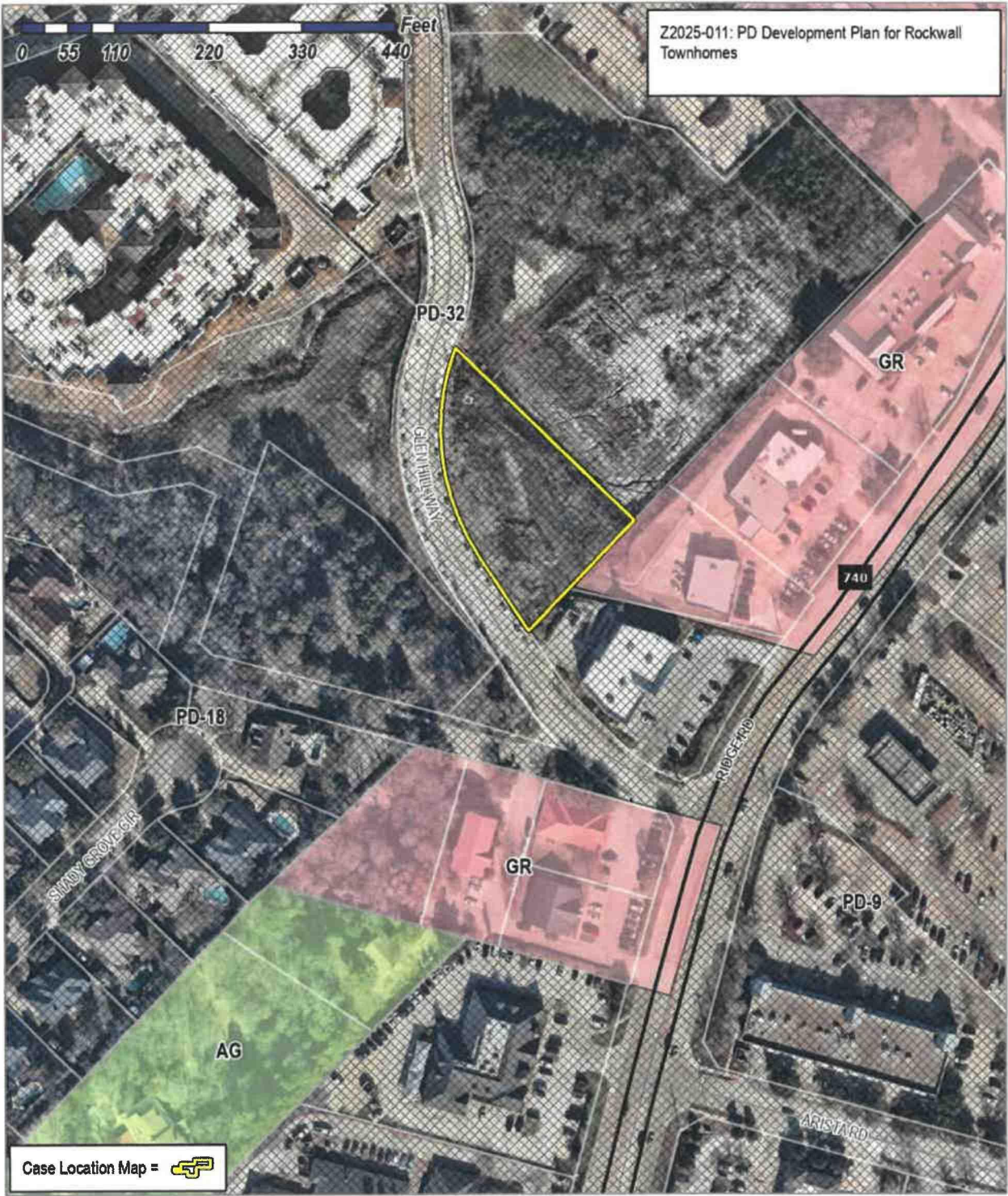


Exhibit 'B': Concept Plan

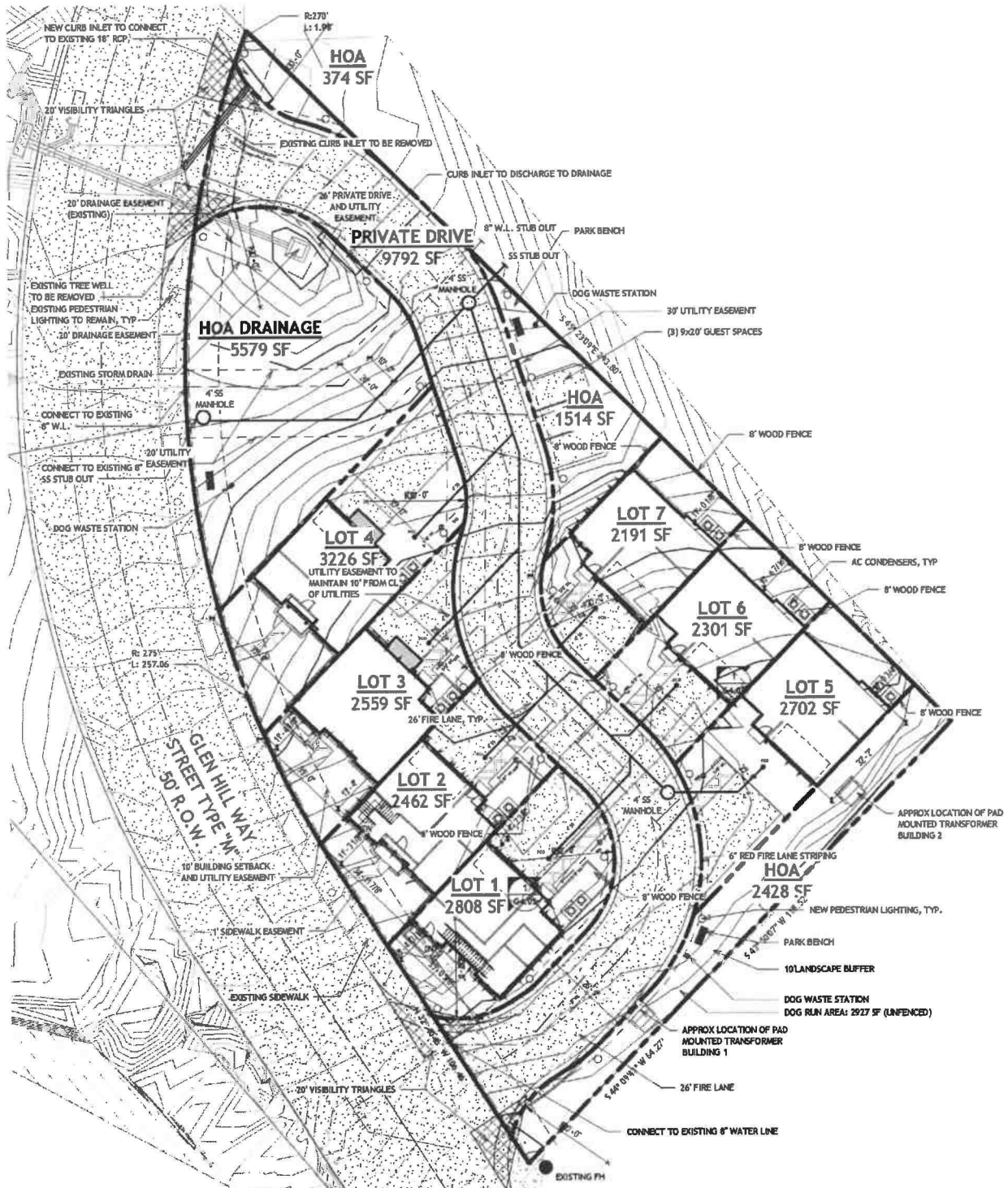


Exhibit 'C':
Conceptual Building Elevations



Exhibit 'C': **Conceptual Building Elevations**

