



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

704 S Alamo

SUBDIVISION

Highridge Est

LOT

2

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.196

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Jerret Smith

☐ APPLICANT

CONTACT PERSON

Jerret Smith

CONTACT PERSON

ADDRESS

9091 FM 2728

ADDRESS

CITY, STATE & ZIP

Tenelle TX 75141

CITY, STATE & ZIP

PHONE

469-409-8515

PHONE

E-MAIL

JSC@Rockwall@yahoo.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

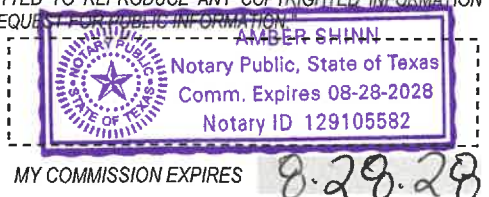
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

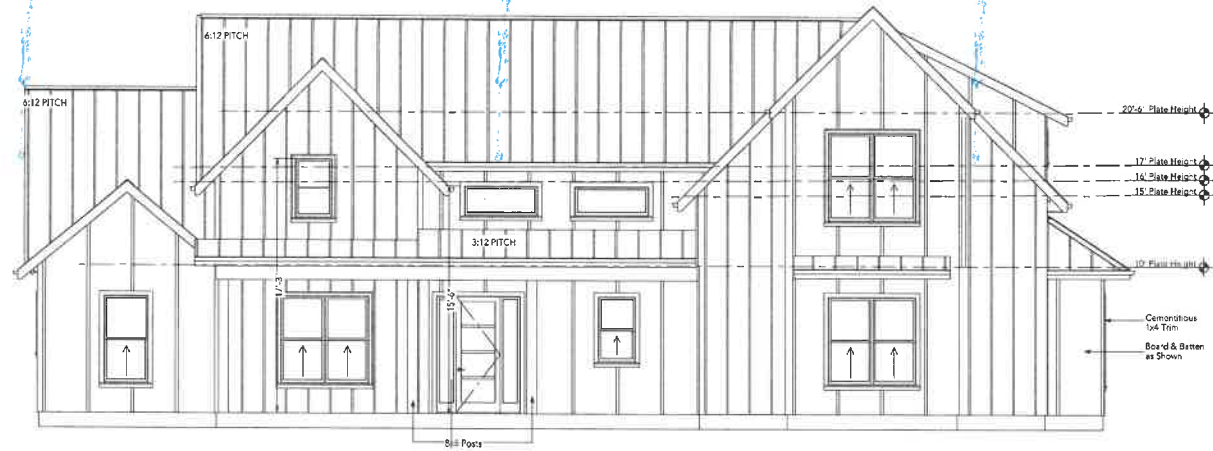
Jerret Smith
Amber Shinn

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

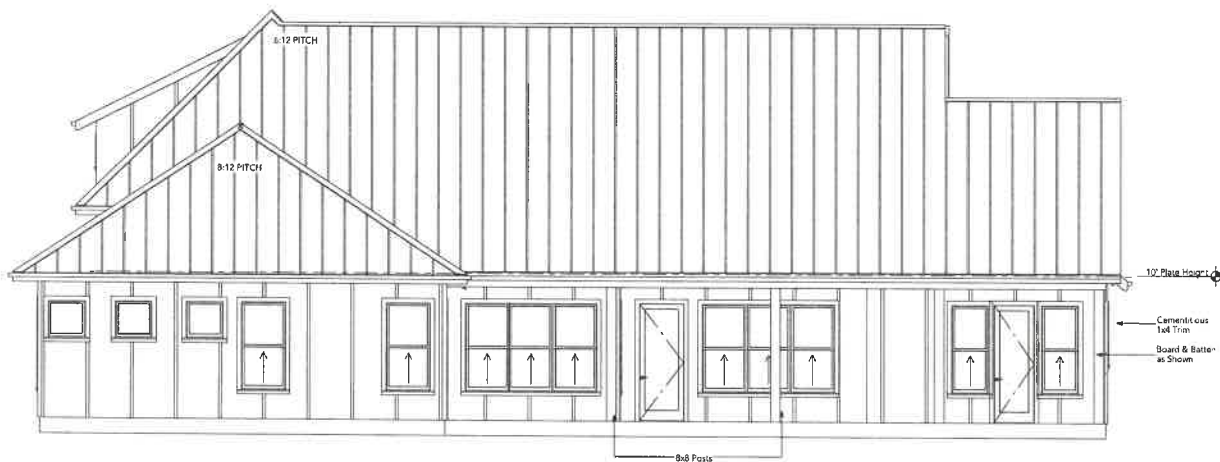


MY COMMISSION EXPIRES

8.28.28



FRONT ELEVATION
Scale: 1/8" = 1'-0"



REAR ELEVATION
Scale: 1/8" = 1'-0"

REVISION TABLE	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear
Elevations

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royse City, TX 409-338-1194

DATE:

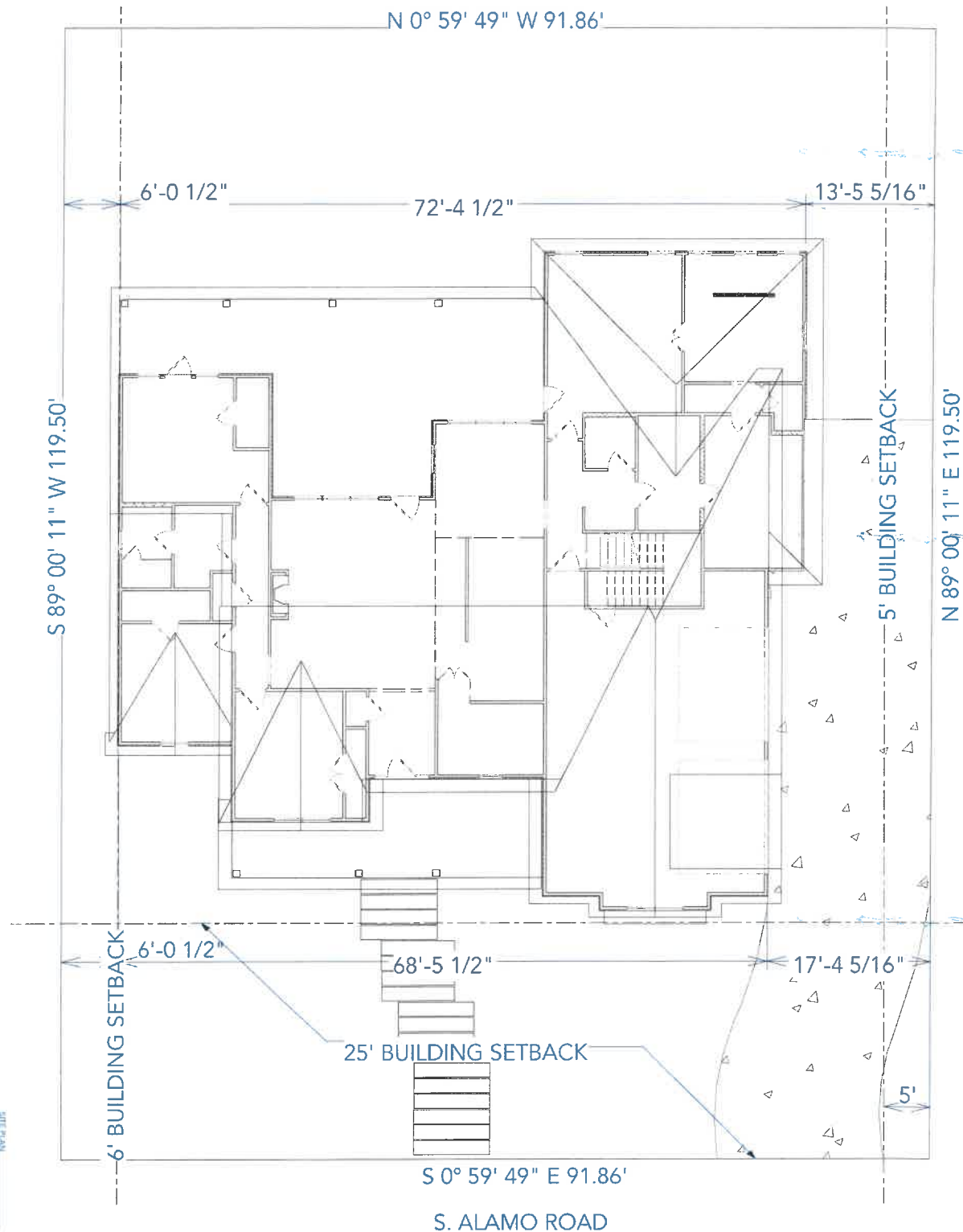
12/11/2024

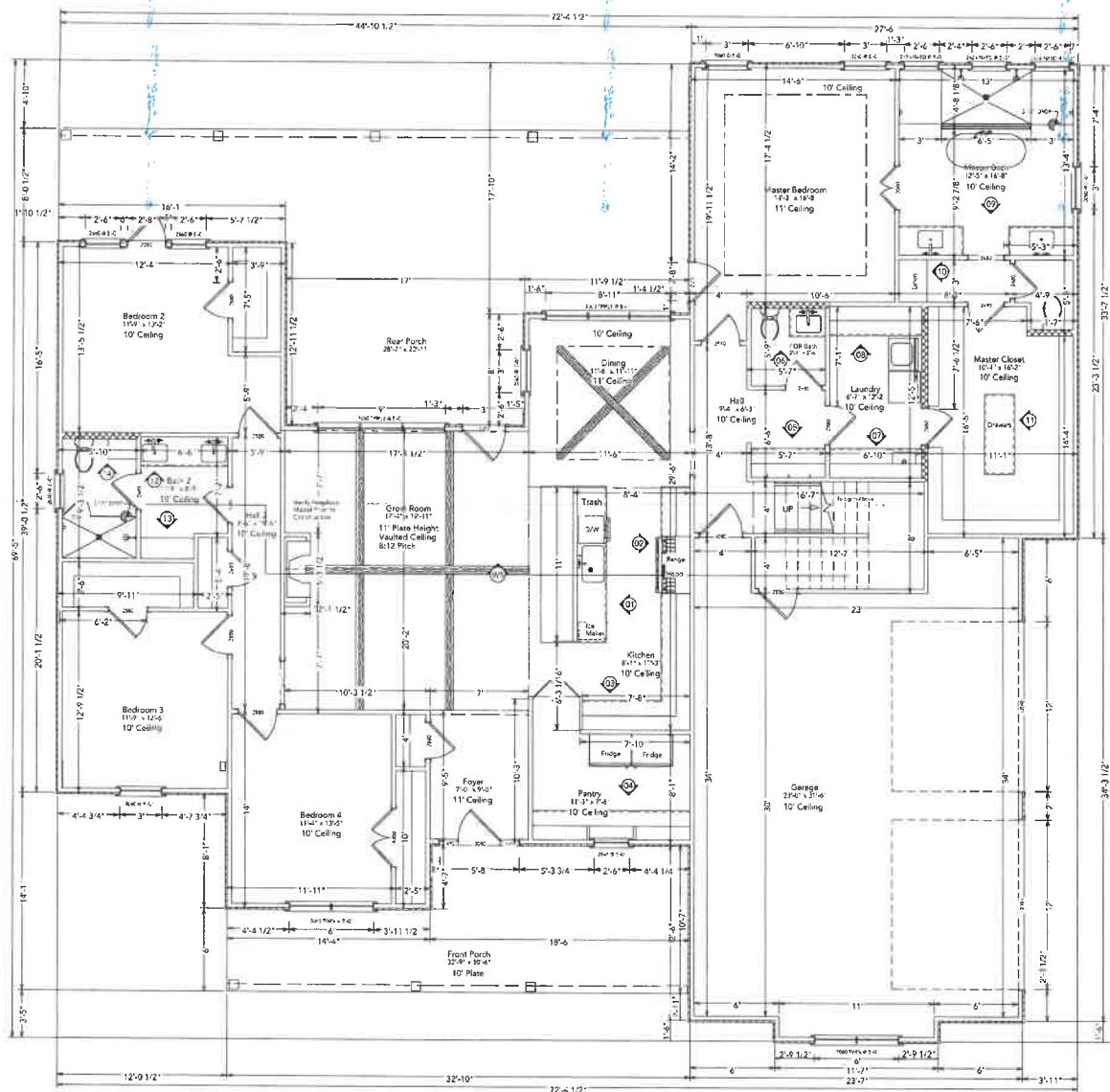
SCALE:

As Noted

SHEET:

A-3





1st FLOOR PLAN

SCALE: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Fr. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	11/2/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

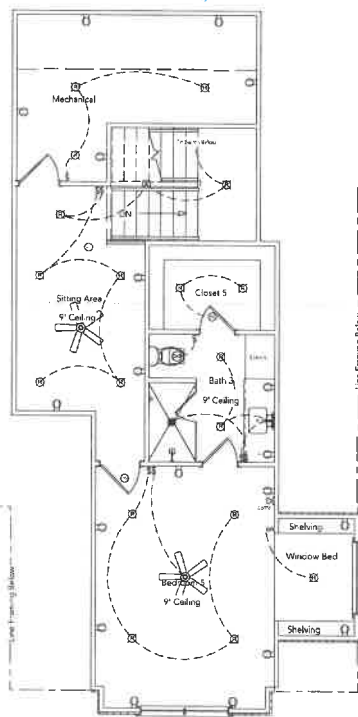
1st Floor Plan

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Rogers City, TX 409-338-1194

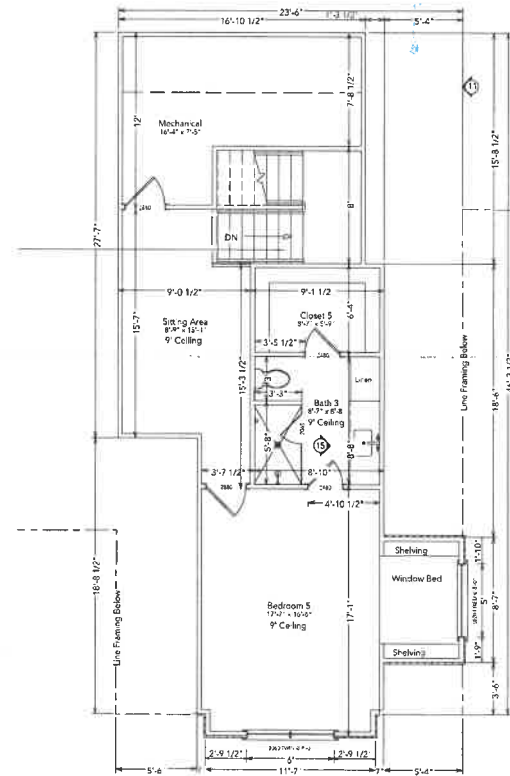
DATE:
12/11/2024

SCALE:
As Noted

SHEET:
A-5



2nd FLOOR ELECTRICAL
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

DATE	BY	DESCRIPTION
12/24	JAS	REDUCE SIZE FOR BUILDING DETAIL

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/
2nd Floor Electrical

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royce City, TX 409-338-1194

DATE:
12/11/2024

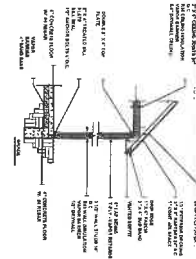
SCALE:
As Noted

SHEET:

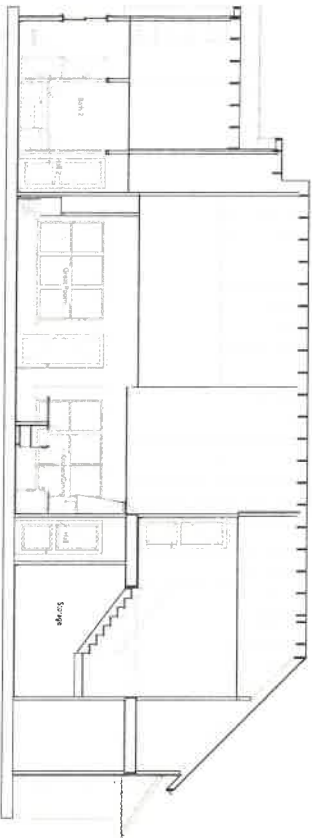
A-6

ROOM NAME	NO.	AREA	PERIMETER	FINISHES	COMMENTS
1. PORCH	1	100.00	100.00	CONCRETE	
2. ENTRY	2	100.00	100.00	CONCRETE	
3. LIVING ROOM	3	100.00	100.00	CONCRETE	
4. DINING ROOM	4	100.00	100.00	CONCRETE	
5. KITCHEN	5	100.00	100.00	CONCRETE	
6. BREAKFAST ROOM	6	100.00	100.00	CONCRETE	
7. BATH	7	100.00	100.00	CONCRETE	
8. BEDROOM	8	100.00	100.00	CONCRETE	
9. BEDROOM	9	100.00	100.00	CONCRETE	
10. BEDROOM	10	100.00	100.00	CONCRETE	
11. BEDROOM	11	100.00	100.00	CONCRETE	
12. BEDROOM	12	100.00	100.00	CONCRETE	
13. BEDROOM	13	100.00	100.00	CONCRETE	
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16. BEDROOM	16	100.00	100.00	CONCRETE	
17. BEDROOM	17	100.00	100.00	CONCRETE	
18. BEDROOM	18	100.00	100.00	CONCRETE	
19. BEDROOM	19	100.00	100.00	CONCRETE	
20. BEDROOM	20	100.00	100.00	CONCRETE	
21. BEDROOM	21	100.00	100.00	CONCRETE	
22. BEDROOM	22	100.00	100.00	CONCRETE	
23. BEDROOM	23	100.00	100.00	CONCRETE	
24. BEDROOM	24	100.00	100.00	CONCRETE	
25. BEDROOM	25	100.00	100.00	CONCRETE	
26. BEDROOM	26	100.00	100.00	CONCRETE	
27. BEDROOM	27	100.00	100.00	CONCRETE	
28. BEDROOM	28	100.00	100.00	CONCRETE	
29. BEDROOM	29	100.00	100.00	CONCRETE	
30. BEDROOM	30	100.00	100.00	CONCRETE	
31. BEDROOM	31	100.00	100.00	CONCRETE	
32. BEDROOM	32	100.00	100.00	CONCRETE	
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39. BEDROOM	39	100.00	100.00	CONCRETE	
40. BEDROOM	40	100.00	100.00	CONCRETE	
41. BEDROOM	41	100.00	100.00	CONCRETE	
42. BEDROOM	42	100.00	100.00	CONCRETE	
43. BEDROOM	43	100.00	100.00	CONCRETE	
44. BEDROOM	44	100.00	100.00	CONCRETE	
45. BEDROOM	45	100.00	100.00	CONCRETE	
46. BEDROOM	46	100.00	100.00	CONCRETE	
47. BEDROOM	47	100.00	100.00	CONCRETE	
48. BEDROOM	48	100.00	100.00	CONCRETE	
49. BEDROOM	49	100.00	100.00	CONCRETE	
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51. BEDROOM	51	100.00	100.00	CONCRETE	
52. BEDROOM	52	100.00	100.00	CONCRETE	
53. BEDROOM	53	100.00	100.00	CONCRETE	
54. BEDROOM	54	100.00	100.00	CONCRETE	
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56. BEDROOM	56	100.00	100.00	CONCRETE	
57. BEDROOM	57	100.00	100.00	CONCRETE	
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60. BEDROOM	60	100.00	100.00	CONCRETE	
61. BEDROOM	61	100.00	100.00	CONCRETE	
62. BEDROOM	62	100.00	100.00	CONCRETE	
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66. BEDROOM	66	100.00	100.00	CONCRETE	
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69. BEDROOM	69	100.00	100.00	CONCRETE	
70. BEDROOM	70	100.00	100.00	CONCRETE	
71. BEDROOM	71	100.00	100.00	CONCRETE	
72. BEDROOM	72	100.00	100.00	CONCRETE	
73. BEDROOM	73	100.00	100.00	CONCRETE	
74. BEDROOM	74	100.00	100.00	CONCRETE	
75. BEDROOM	75	100.00	100.00	CONCRETE	
76. BEDROOM	76	100.00	100.00	CONCRETE	
77. BEDROOM	77	100.00	100.00	CONCRETE	
78. BEDROOM	78	100.00	100.00	CONCRETE	
79. BEDROOM	79	100.00	100.00	CONCRETE	
80. BEDROOM	80	100.00	100.00	CONCRETE	
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83. BEDROOM	83	100.00	100.00	CONCRETE	
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88. BEDROOM	88	100.00	100.00	CONCRETE	
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90. BEDROOM	90	100.00	100.00	CONCRETE	
91. BEDROOM	91	100.00	100.00	CONCRETE	
92. BEDROOM	92	100.00	100.00	CONCRETE	
93. BEDROOM	93	100.00	100.00	CONCRETE	
94. BEDROOM	94	100.00	100.00	CONCRETE	
95. BEDROOM	95	100.00	100.00	CONCRETE	
96. BEDROOM	96	100.00	100.00	CONCRETE	
97. BEDROOM	97	100.00	100.00	CONCRETE	
98. BEDROOM	98	100.00	100.00	CONCRETE	
99. BEDROOM	99	100.00	100.00	CONCRETE	
100. BEDROOM	100	100.00	100.00	CONCRETE	

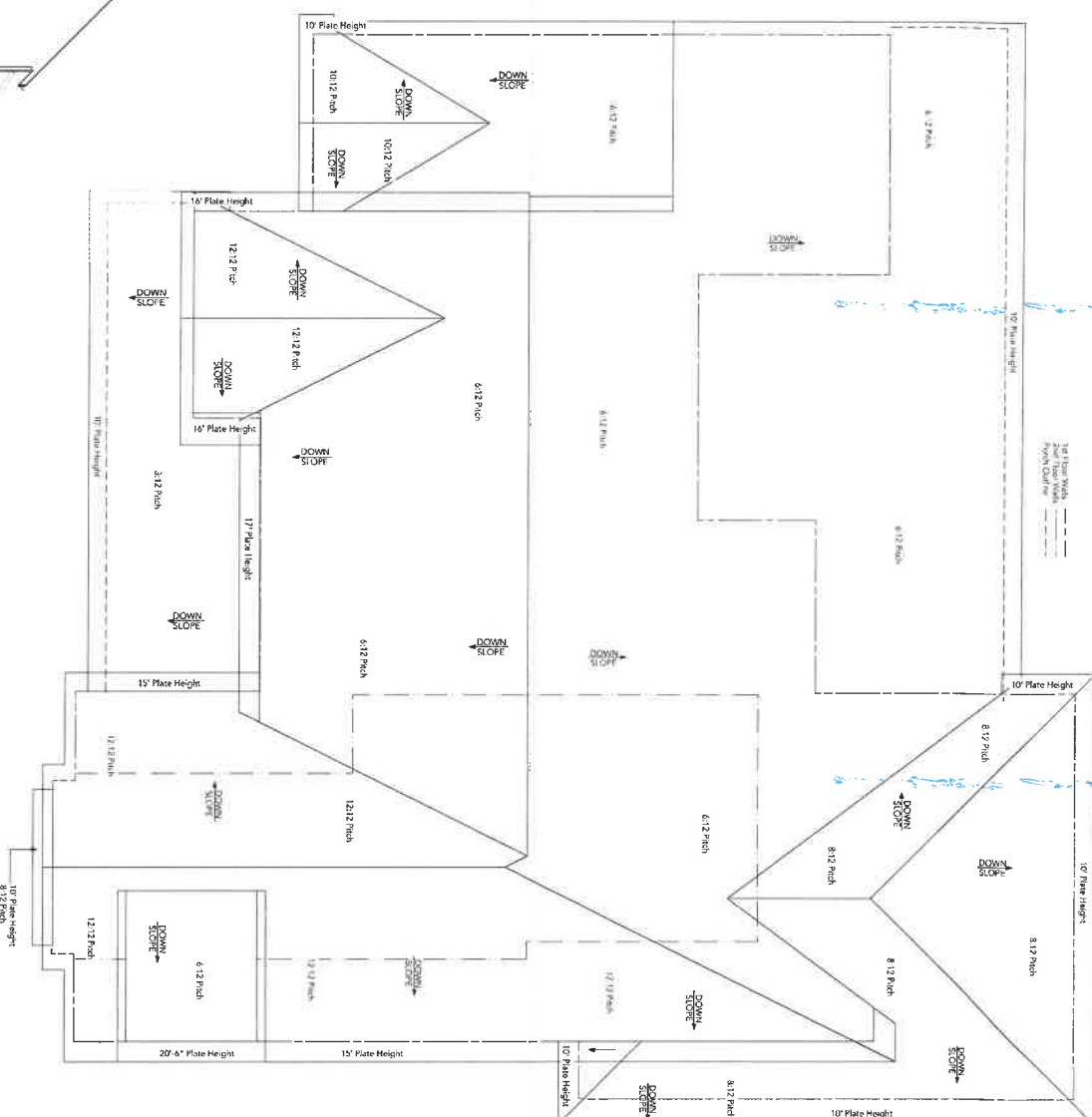
Typical 1 Story Section



TP WALL SECTION



WALL SECTION





REVISION TABLE			
#	DATE	BY	DESCRIPTION
1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK

4/16/2025



CORNERSTONE
ENGINEERING & SURVEYING
P.O. BOX 1450
MARSHFIELD, TX 79060
SURVEY NO. 1034947
OFFICE (817)944-0087

JS CONSTRUCTION GROUP ROCKWALL

GRADING PLAN
ENGINEERED FOR
BUILDER: JS CONSTRUCTION GROUP ROCKWALL
PLAN: GRADING PLAN
ADDITION: CES JOB NO: CES-240177
ADDRESS: 704 SOUTH ALAMO ROAD
LOT: 2
BLOCK: N/A
CITY: ROCKWALL, TX
DRAWN BY: EC
CHECKED BY: ML

SCALE: 1" = 20'
SHEET 01

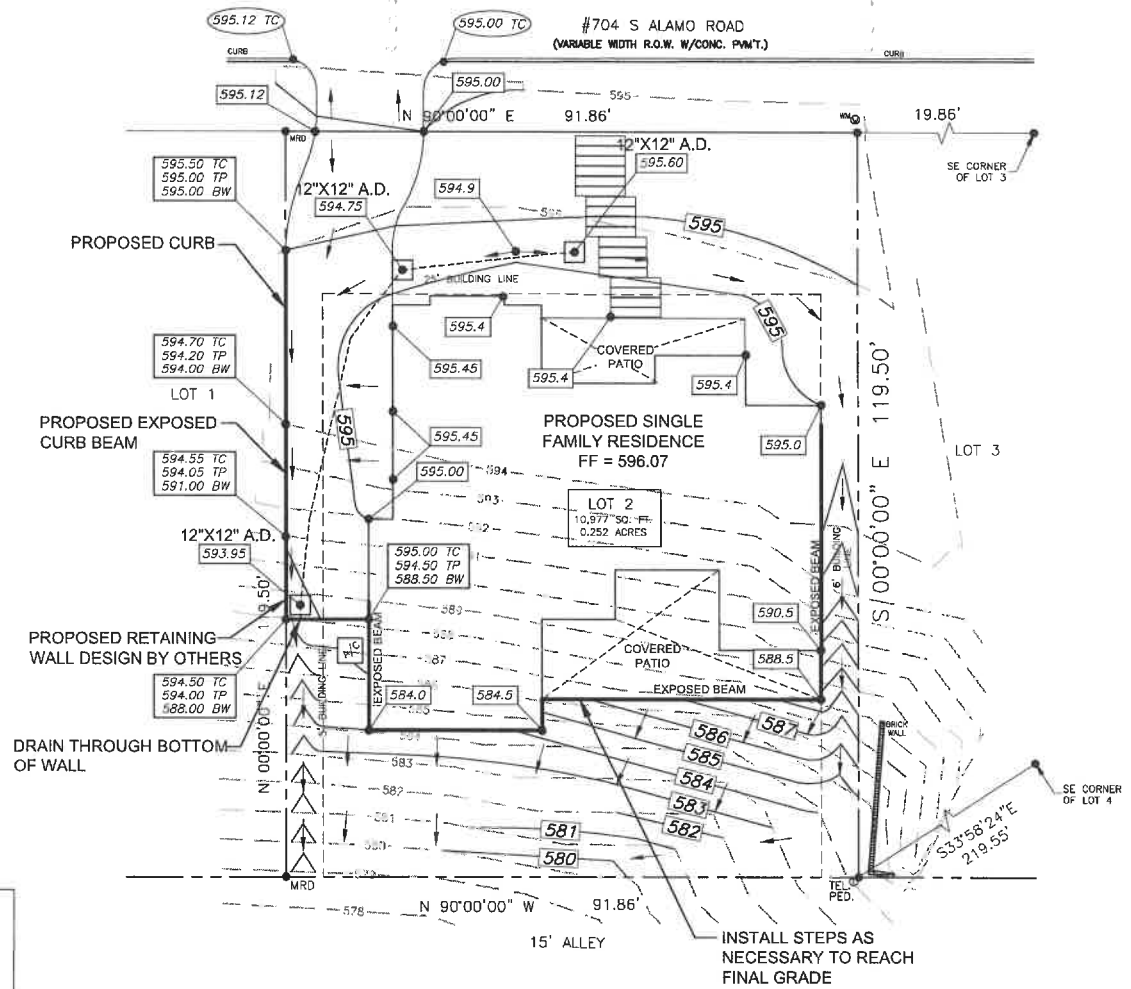
- NOTE:**
1. SITE PREPARATION MUST COMPLY WITH PROJECT GEOTECHNICAL REPORT SPECIFICATIONS.
 2. REMOVE AND DISCARD ALL VEGETATION WHERE GRADING IS PROPOSED.
 3. SITE DRAINAGE MUST BE WELL DEVELOPED AND DIRECTED AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET. FLOWLINE SLOPES OF SWALES AND SIDE YARDS SHALL NOT BE LESS THAN 1.25%. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE.
 4. BACKFILL AROUND THE FOUNDATION SHALL BE WITH COHESIVE SOIL.
 5. ROOF DOWNSPOUTS AND DRAINS SHALL BE EXTENDED AND DRAIN AWAY FROM FOUNDATION.
 6. PAVING AND STRUCTURAL DESIGN BY OTHERS.

ALL ELEVATIONS ARE BASED ON SURVEY DATA PROVIDED BY THE OWNER AND/OR SURVEYOR. DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR DISCREPANCIES RESULTING FROM SURVEY DATA.

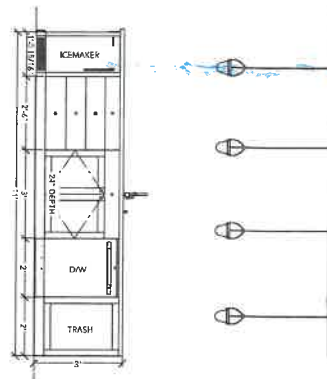
CAUTION!!!
CALL TEXAS ONE CALL @ 1-800-245-4545 48 HRS PRIOR TO CONSTRUCTION

III. CAUTION III
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.

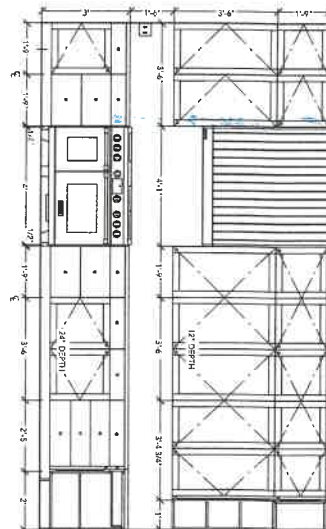
LEGEND	
---	EASEMENT
XXX	EXISTING SPOT ELEVATION
XXX	PROPOSED SPOT ELEVATION
---	PROPERTY LINE
---	PROPOSED CONTOURS
---	EXISTING CONTOURS
→	PROPOSED FLOW DIRECTION
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
□	12" x 12" AREA DRAIN



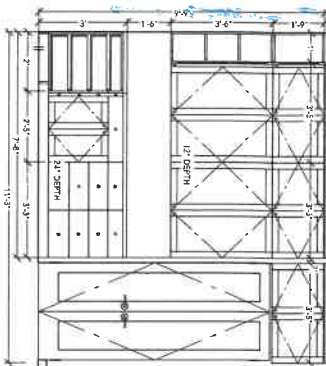
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 02714 ON 4/16/2025



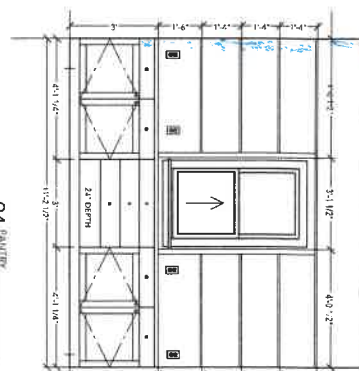
01 KITCHEN ELEVATION
SCALE: 1/4\"/>



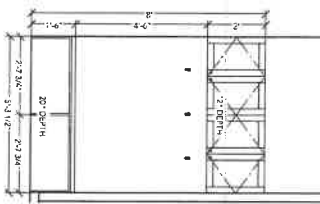
02 KITCHEN ELEVATION
SCALE: 1/4\"/>



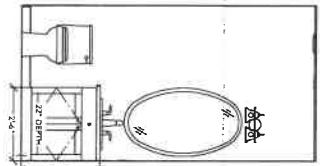
03 KITCHEN ELEVATION
SCALE: 1/4\"/>



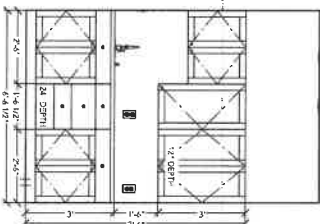
04 KITCHEN ELEVATION
SCALE: 1/4\"/>



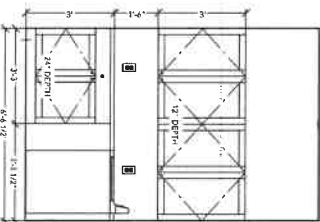
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SCALE: 1/4\"/>



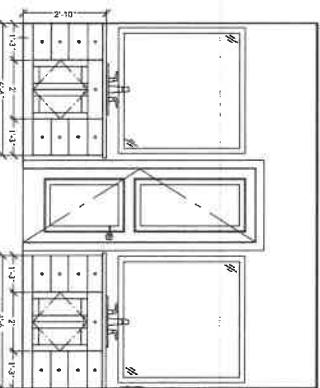
06 BATH ELEVATION
SCALE: 1/4\"/>



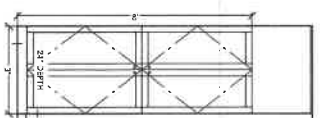
07 BATH ELEVATION
SCALE: 1/4\"/>



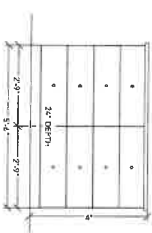
08 BATH ELEVATION
SCALE: 1/4\"/>



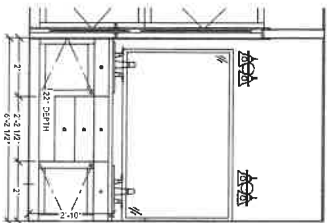
09 BATH ELEVATION
SCALE: 1/4\"/>



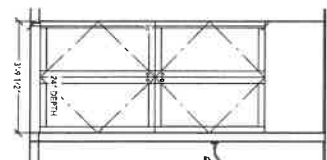
10 BATH ELEVATION
SCALE: 1/4\"/>



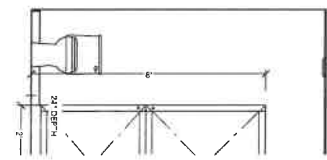
11 MASTER CLOSET
SCALE: 1/4\"/>



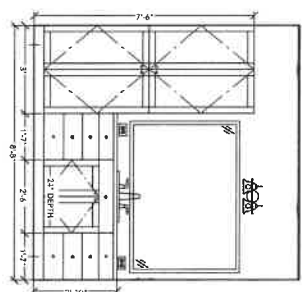
12 BATH ELEVATION
SCALE: 1/4\"/>



13 BATH ELEVATION
SCALE: 1/4\"/>



14 BATH ELEVATION
SCALE: 1/4\"/>



15 MASTER BATH ELEVATION
SCALE: 1/4\"/>

REVISION TABLE			
#	DATE	BY	DESCRIPTION
1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

Cabinet
Elevations

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royse City, TX 469-338-1194

DATE:
12/11/2024

SCALE:
As Noted

SHEET:

A-10



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

704 S Alamo

SUBDIVISION

Highridge Est

LOT

2

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.196

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Jerret Smith

☐ APPLICANT

CONTACT PERSON

Jerret Smith

CONTACT PERSON

ADDRESS

9091 FM 2728

ADDRESS

CITY, STATE & ZIP

Tenelle TX 75141

CITY, STATE & ZIP

PHONE

469-409-8515

PHONE

E-MAIL

JSC@Rockwall@yahoo.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

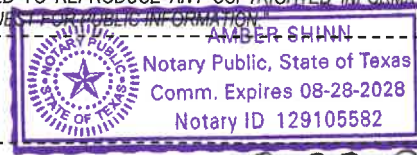
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

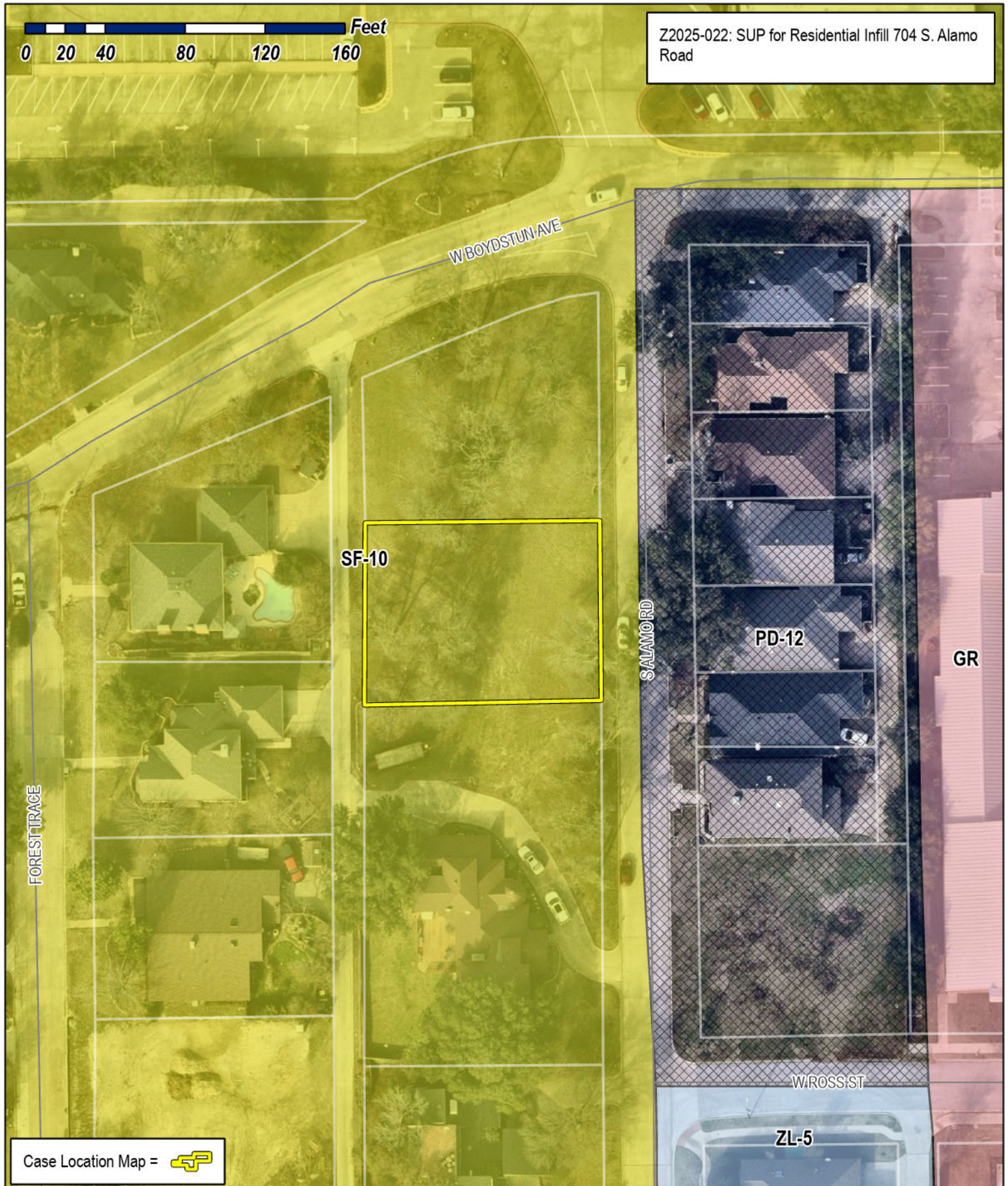
Jerret Smith
Amber Shinn

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

8.28.28



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

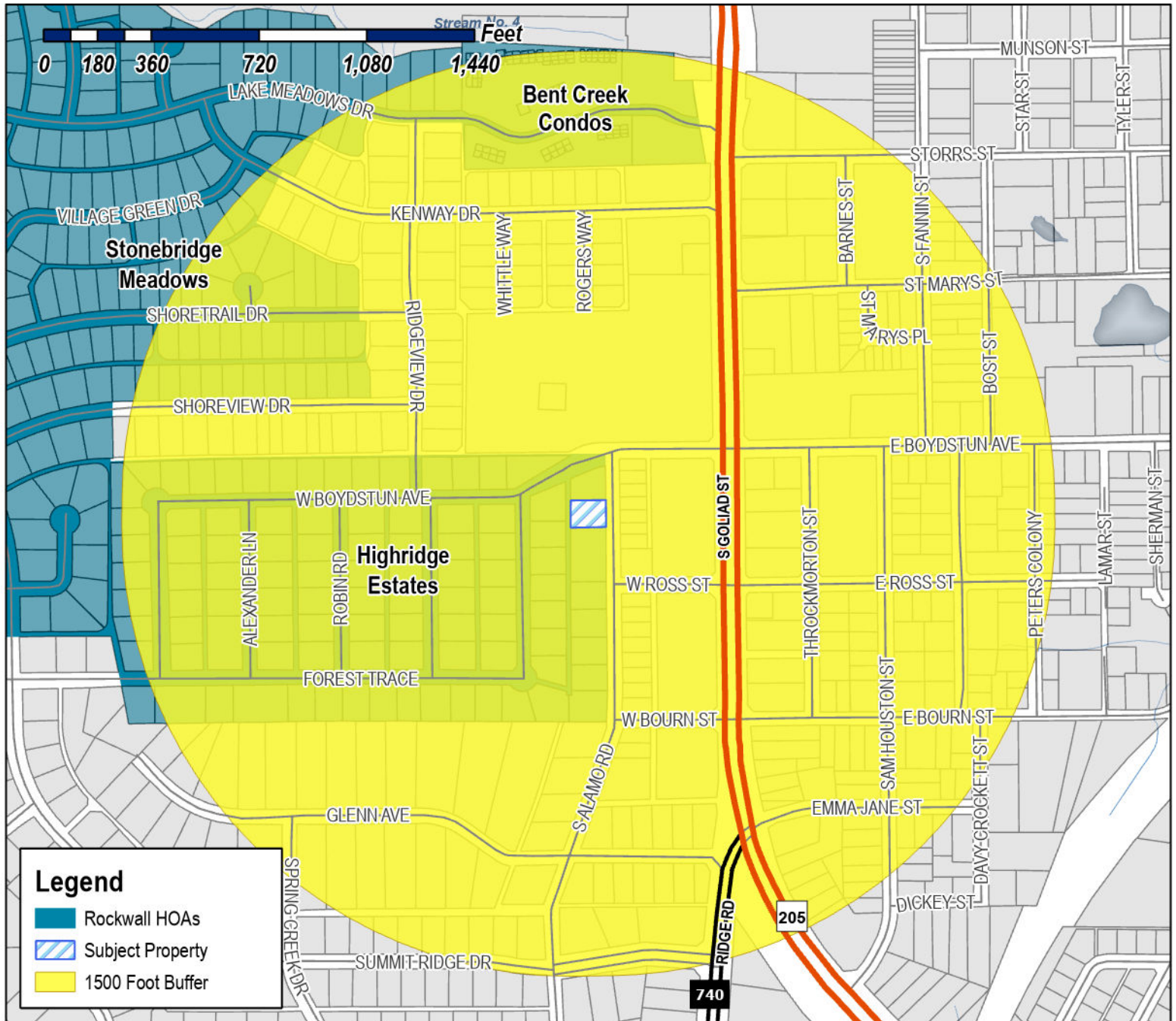




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
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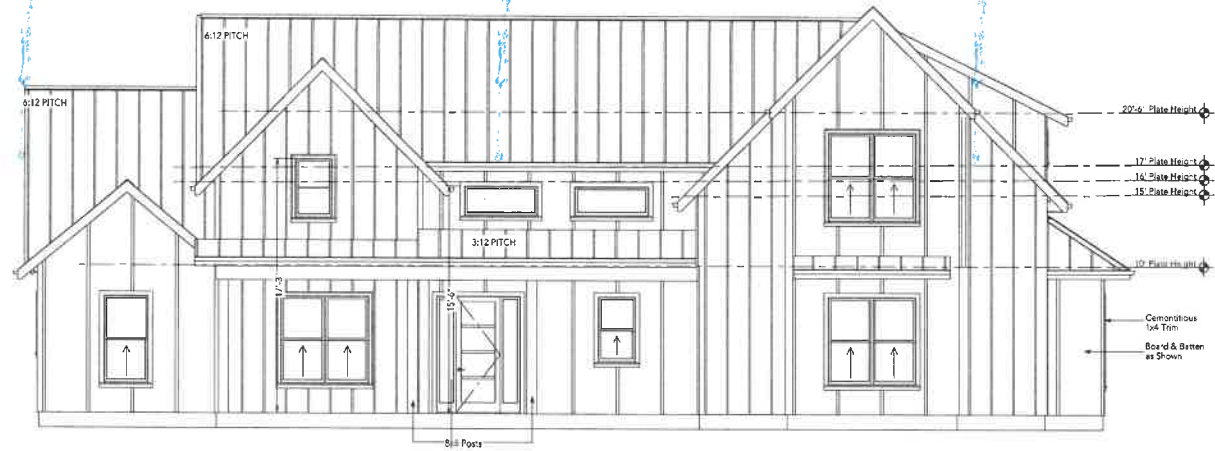
Case Number: Z2025-022
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 704 S. Alamo Road

Date Saved: 4/17/2025

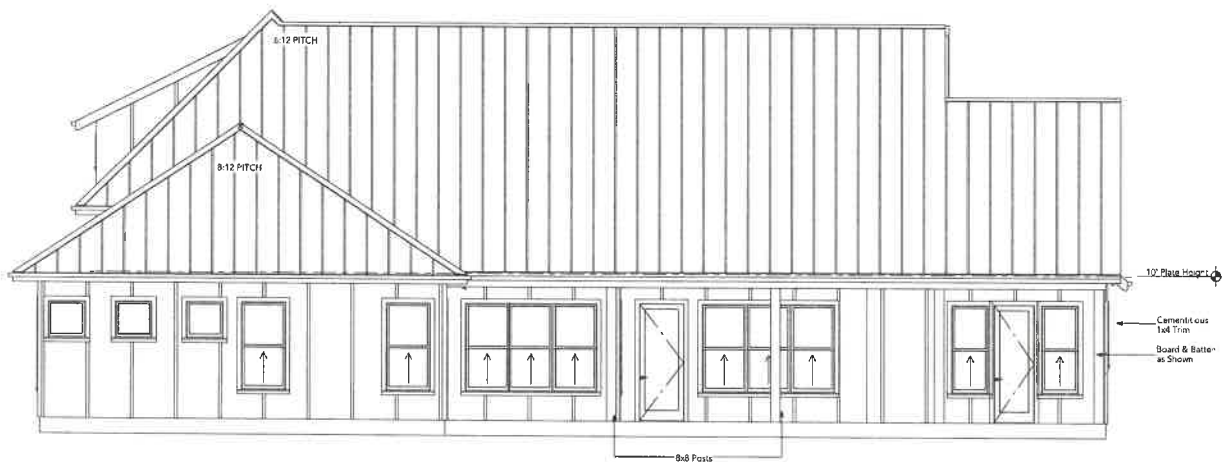
For Questions on this Case Call (972) 771-7745







FRONT ELEVATION
Scale: 1/8" = 1'-0"



REAR ELEVATION
Scale: 1/8" = 1'-0"

REVISION TABLE	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear
Elevations

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royse City, TX 409-338-1194

DATE:

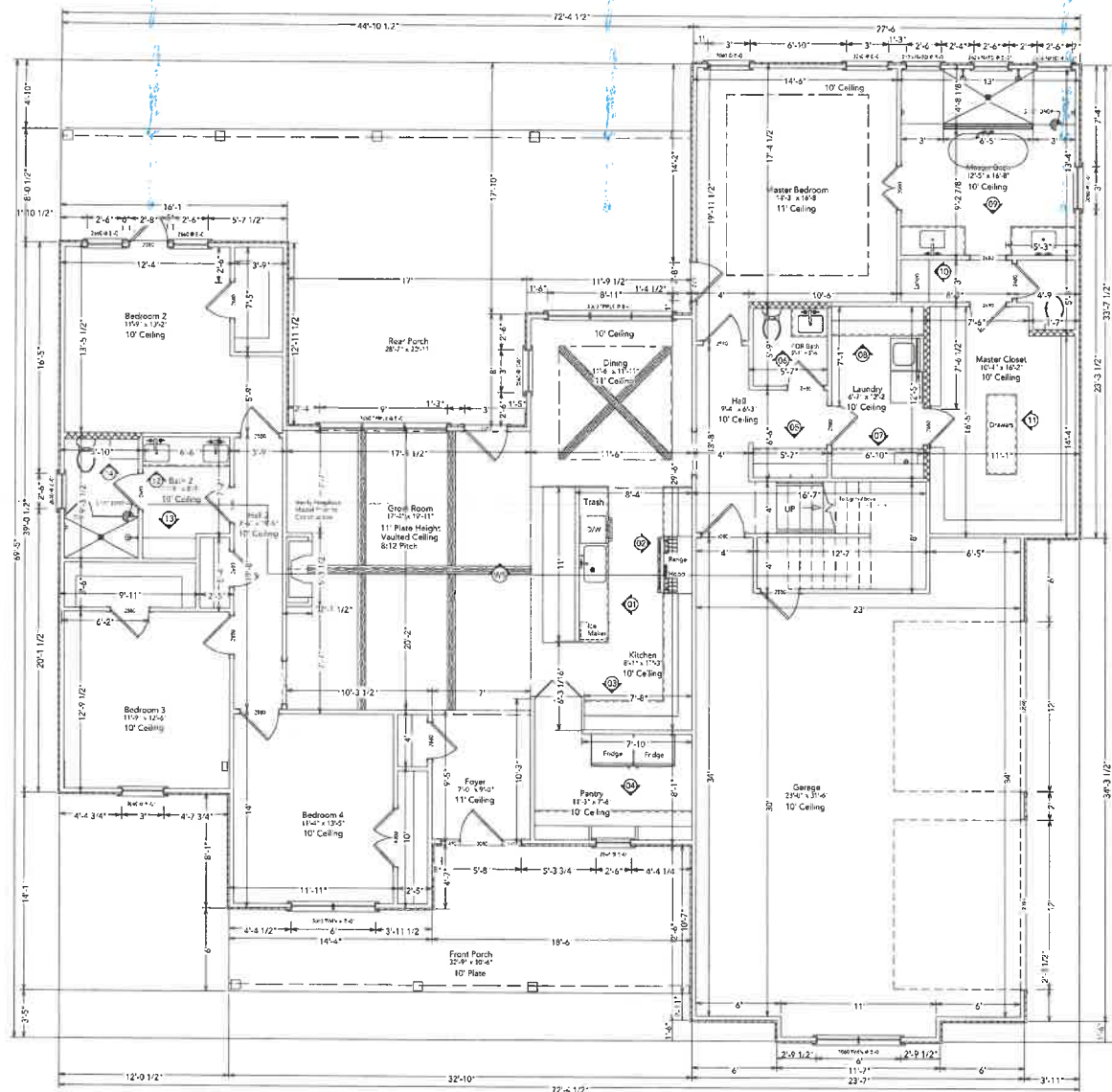
12/11/2024

SCALE:

As Noted

SHEET:

A-3



1st FLOOR PLAN

Scale: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Fr. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	11/2/24	CS	REDUCE SIZE FOR BUILDING RETAIL

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

1st Floor Plan

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Rogers City, TX 409.338.1194

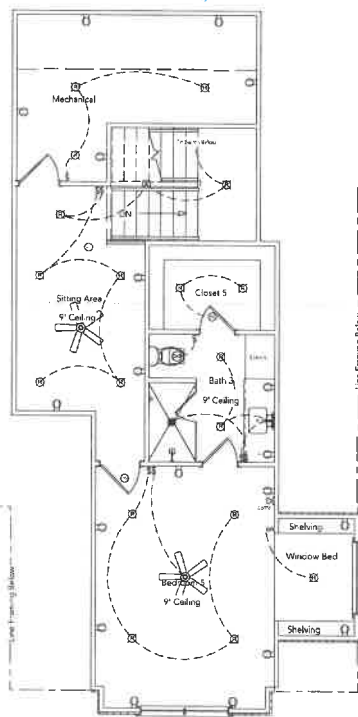
DATE:
12/11/2024

SCALE:

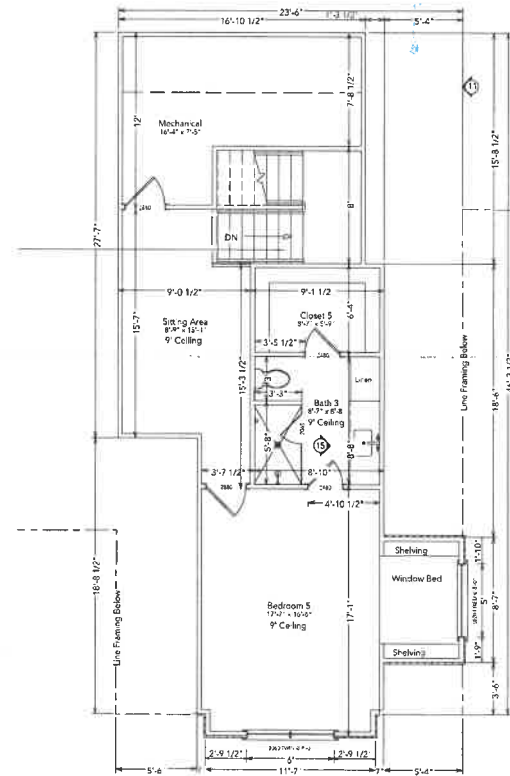
As Noted

SHEET:

A-5



2nd FLOOR ELECTRICAL
SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

DATE	BY	DESCRIPTION
12/24	JAS	REDUCE SIZE FOR BUILDING DETAIL

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/
2nd Floor Electrical

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royce City, TX 409-338-1194

DATE:
12/11/2024

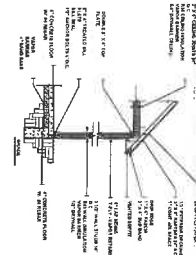
SCALE:
As Noted

SHEET:

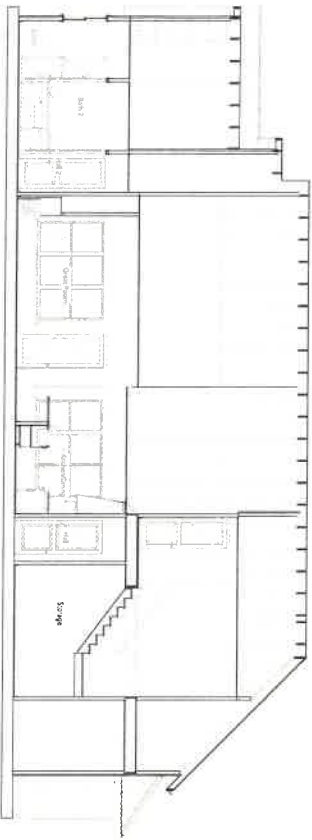
A-6

ROOM NAME	NO.	AREA	PERIMETER	FINISHES	COMMENTS
1. PORCH	1	100.00	100.00	CONCRETE	
2. ENTRY	2	100.00	100.00	CONCRETE	
3. LIVING ROOM	3	100.00	100.00	CONCRETE	
4. DINING ROOM	4	100.00	100.00	CONCRETE	
5. KITCHEN	5	100.00	100.00	CONCRETE	
6. BREAKFAST ROOM	6	100.00	100.00	CONCRETE	
7. BATH	7	100.00	100.00	CONCRETE	
8. BEDROOM	8	100.00	100.00	CONCRETE	
9. BEDROOM	9	100.00	100.00	CONCRETE	
10. BEDROOM	10	100.00	100.00	CONCRETE	
11. BEDROOM	11	100.00	100.00	CONCRETE	
12. BEDROOM	12	100.00	100.00	CONCRETE	
13. BEDROOM	13	100.00	100.00	CONCRETE	
14. BEDROOM	14	100.00	100.00	CONCRETE	
15. BEDROOM	15	100.00	100.00	CONCRETE	
16. BEDROOM	16	100.00	100.00	CONCRETE	
17. BEDROOM	17	100.00	100.00	CONCRETE	
18. BEDROOM	18	100.00	100.00	CONCRETE	
19. BEDROOM	19	100.00	100.00	CONCRETE	
20. BEDROOM	20	100.00	100.00	CONCRETE	
21. BEDROOM	21	100.00	100.00	CONCRETE	
22. BEDROOM	22	100.00	100.00	CONCRETE	
23. BEDROOM	23	100.00	100.00	CONCRETE	
24. BEDROOM	24	100.00	100.00	CONCRETE	
25. BEDROOM	25	100.00	100.00	CONCRETE	
26. BEDROOM	26	100.00	100.00	CONCRETE	
27. BEDROOM	27	100.00	100.00	CONCRETE	
28. BEDROOM	28	100.00	100.00	CONCRETE	
29. BEDROOM	29	100.00	100.00	CONCRETE	
30. BEDROOM	30	100.00	100.00	CONCRETE	
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42. BEDROOM	42	100.00	100.00	CONCRETE	
43. BEDROOM	43	100.00	100.00	CONCRETE	
44. BEDROOM	44	100.00	100.00	CONCRETE	
45. BEDROOM	45	100.00	100.00	CONCRETE	
46. BEDROOM	46	100.00	100.00	CONCRETE	
47. BEDROOM	47	100.00	100.00	CONCRETE	
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51. BEDROOM	51	100.00	100.00	CONCRETE	
52. BEDROOM	52	100.00	100.00	CONCRETE	
53. BEDROOM	53	100.00	100.00	CONCRETE	
54. BEDROOM	54	100.00	100.00	CONCRETE	
55. BEDROOM	55	100.00	100.00	CONCRETE	
56. BEDROOM	56	100.00	100.00	CONCRETE	
57. BEDROOM	57	100.00	100.00	CONCRETE	
58. BEDROOM	58	100.00	100.00	CONCRETE	
59. BEDROOM	59	100.00	100.00	CONCRETE	
60. BEDROOM	60	100.00	100.00	CONCRETE	
61. BEDROOM	61	100.00	100.00	CONCRETE	
62. BEDROOM	62	100.00	100.00	CONCRETE	
63. BEDROOM	63	100.00	100.00	CONCRETE	
64. BEDROOM	64	100.00	100.00	CONCRETE	
65. BEDROOM	65	100.00	100.00	CONCRETE	
66. BEDROOM	66	100.00	100.00	CONCRETE	
67. BEDROOM	67	100.00	100.00	CONCRETE	
68. BEDROOM	68	100.00	100.00	CONCRETE	
69. BEDROOM	69	100.00	100.00	CONCRETE	
70. BEDROOM	70	100.00	100.00	CONCRETE	
71. BEDROOM	71	100.00	100.00	CONCRETE	
72. BEDROOM	72	100.00	100.00	CONCRETE	
73. BEDROOM	73	100.00	100.00	CONCRETE	
74. BEDROOM	74	100.00	100.00	CONCRETE	
75. BEDROOM	75	100.00	100.00	CONCRETE	
76. BEDROOM	76	100.00	100.00	CONCRETE	
77. BEDROOM	77	100.00	100.00	CONCRETE	
78. BEDROOM	78	100.00	100.00	CONCRETE	
79. BEDROOM	79	100.00	100.00	CONCRETE	
80. BEDROOM	80	100.00	100.00	CONCRETE	
81. BEDROOM	81	100.00	100.00	CONCRETE	
82. BEDROOM	82	100.00	100.00	CONCRETE	
83. BEDROOM	83	100.00	100.00	CONCRETE	
84. BEDROOM	84	100.00	100.00	CONCRETE	
85. BEDROOM	85	100.00	100.00	CONCRETE	
86. BEDROOM	86	100.00	100.00	CONCRETE	
87. BEDROOM	87	100.00	100.00	CONCRETE	
88. BEDROOM	88	100.00	100.00	CONCRETE	
89. BEDROOM	89	100.00	100.00	CONCRETE	
90. BEDROOM	90	100.00	100.00	CONCRETE	
91. BEDROOM	91	100.00	100.00	CONCRETE	
92. BEDROOM	92	100.00	100.00	CONCRETE	
93. BEDROOM	93	100.00	100.00	CONCRETE	
94. BEDROOM	94	100.00	100.00	CONCRETE	
95. BEDROOM	95	100.00	100.00	CONCRETE	
96. BEDROOM	96	100.00	100.00	CONCRETE	
97. BEDROOM	97	100.00	100.00	CONCRETE	
98. BEDROOM	98	100.00	100.00	CONCRETE	
99. BEDROOM	99	100.00	100.00	CONCRETE	
100. BEDROOM	100	100.00	100.00	CONCRETE	

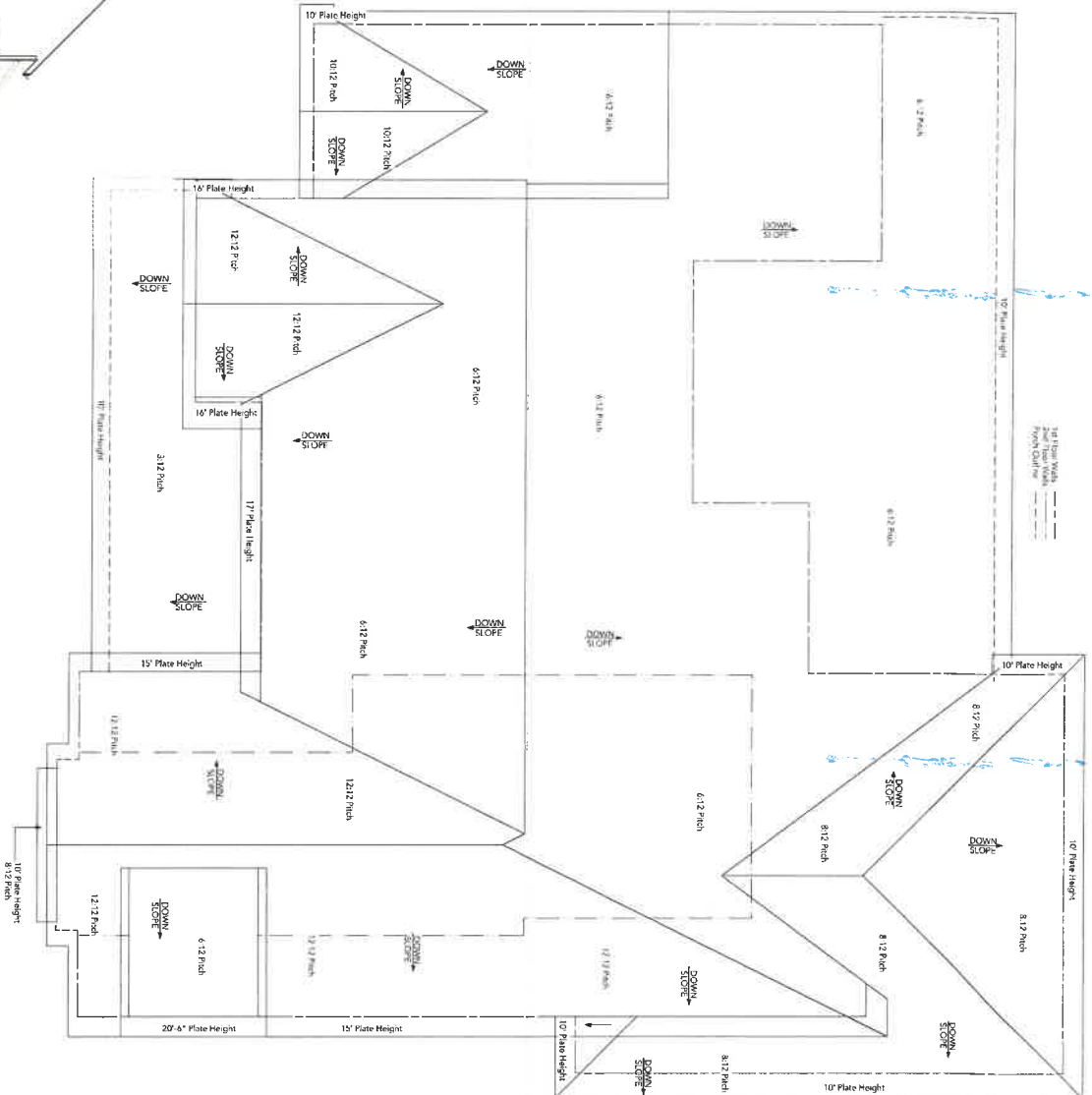
Typical 1 Story Section



Typical 1 Story Section



Front Wall Section



Roof Plan

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/24/2025

PROJECT NUMBER: Z2025-022
PROJECT NAME: SUP for Residential Infill
SITE ADDRESS/LOCATIONS: 704 S ALAMO RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	04/22/2025	Approved w/ Comments

04/22/2025: Z2025-022; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2025-022) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within the Highridge Estates Subdivision which has been in existence since June 1, 1972, consist 97 lots, and is considered to be 98.00% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that “(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision.”

M.6 Building Setbacks. Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that properties in a Single-Family 10 (SF-10) District should have a minimum side setback of 6-feet. In this request, the proposed home has a side setback of 5-feet. This will need to be corrected on the site plan.

M.7 Ordinances. Please review the attached draft ordinance prior to the May 13, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by May 6, 2025.

I.8 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 6, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 13, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.9 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 29, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on May 13, 2025.

I.10 City Council Meeting Dates. The projected City Council meeting dates for this case will be May 19, 2025 (1st Reading) and June 2, 2025 (2nd Reading).

I.11 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	04/22/2025	Approved w/ Comments

04/22/2025: General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 6" sewer main along the Alley available for use.
- There is an existing 16" water main along S. Alamo available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	04/23/2025	Approved w/ Comments

04/23/2025: Setbacks are Front - 25', Side - 6 feet, Rear - 10'

* Plan indicates 5' Side setback on the right side of the property and needs to be updated to 6'

* 45% maximum lot coverage allowed

* Maximum height is 36 feet

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/24/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/23/2025	Approved

No Comments

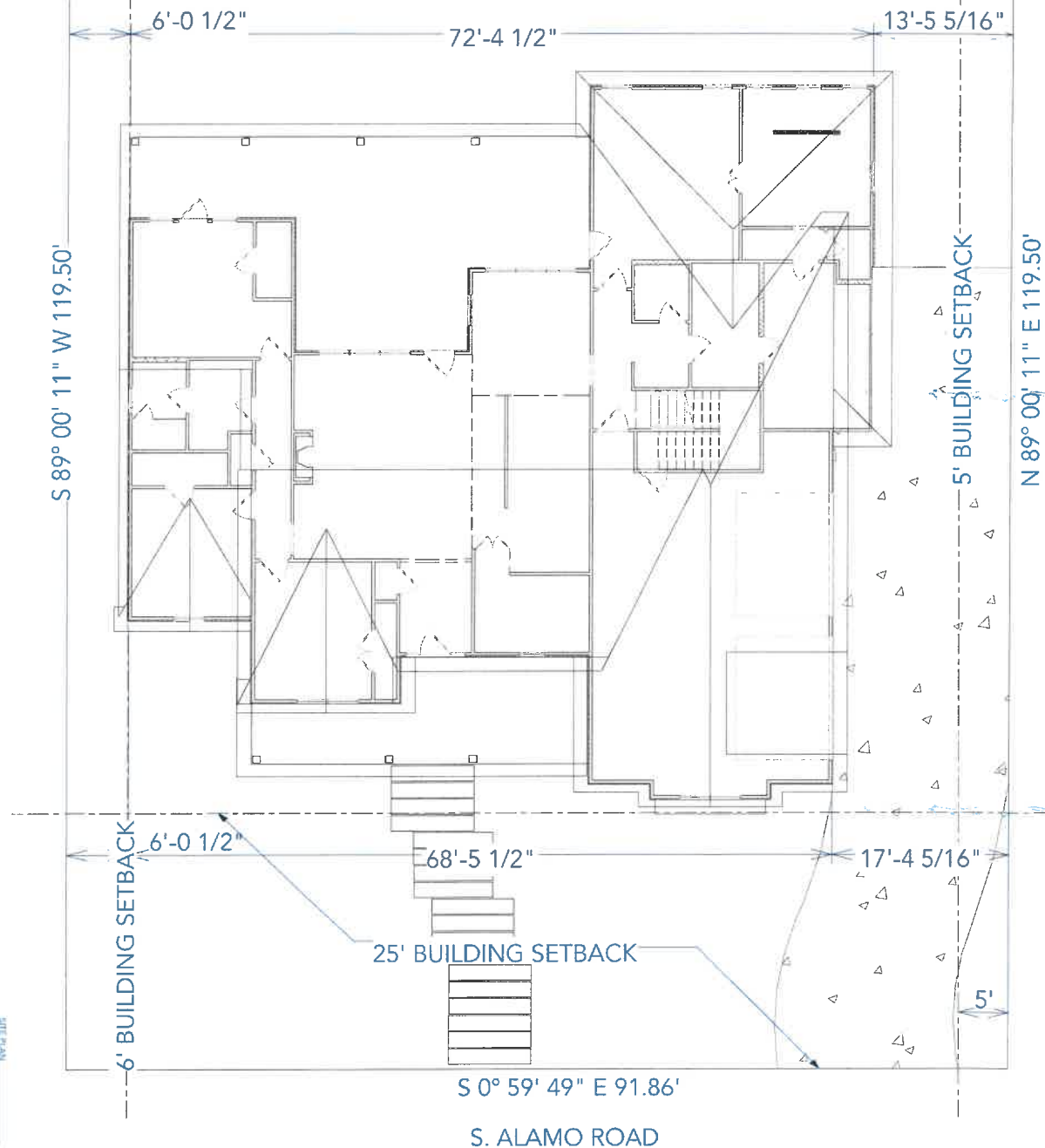
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/21/2025	Approved
No Comments			

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
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- There is an existing 16" water main along S. Alamo available for use.
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- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.



A-2

SHEET:

As Noted

SCALE:

DATE: 12/11/2024

DRAWINGS PROVIDED BY:

Chanda Steele
Drafting

Royse City, TX 409-338-1194

Site Plan

JS Custom Homes, LLC

704 S. ALAMO DR. ROCKWALL, TX

REVISION TABLE		
#	DATE	BY / DESCRIPTION
1	12/24	CAS REDUCE SIZE FOR BUILDING SETBACK



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

704 S Alamo

SUBDIVISION

Highridge Est

LOT

2

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.196

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Jerret Smith

☐ APPLICANT

CONTACT PERSON

Jerret Smith

CONTACT PERSON

ADDRESS

9091 FM 2728

ADDRESS

CITY, STATE & ZIP

Tenelle TX 75141

CITY, STATE & ZIP

PHONE

469-409-8515

PHONE

E-MAIL

JSC@Rockwall@yahoo.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

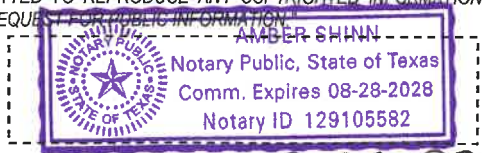
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

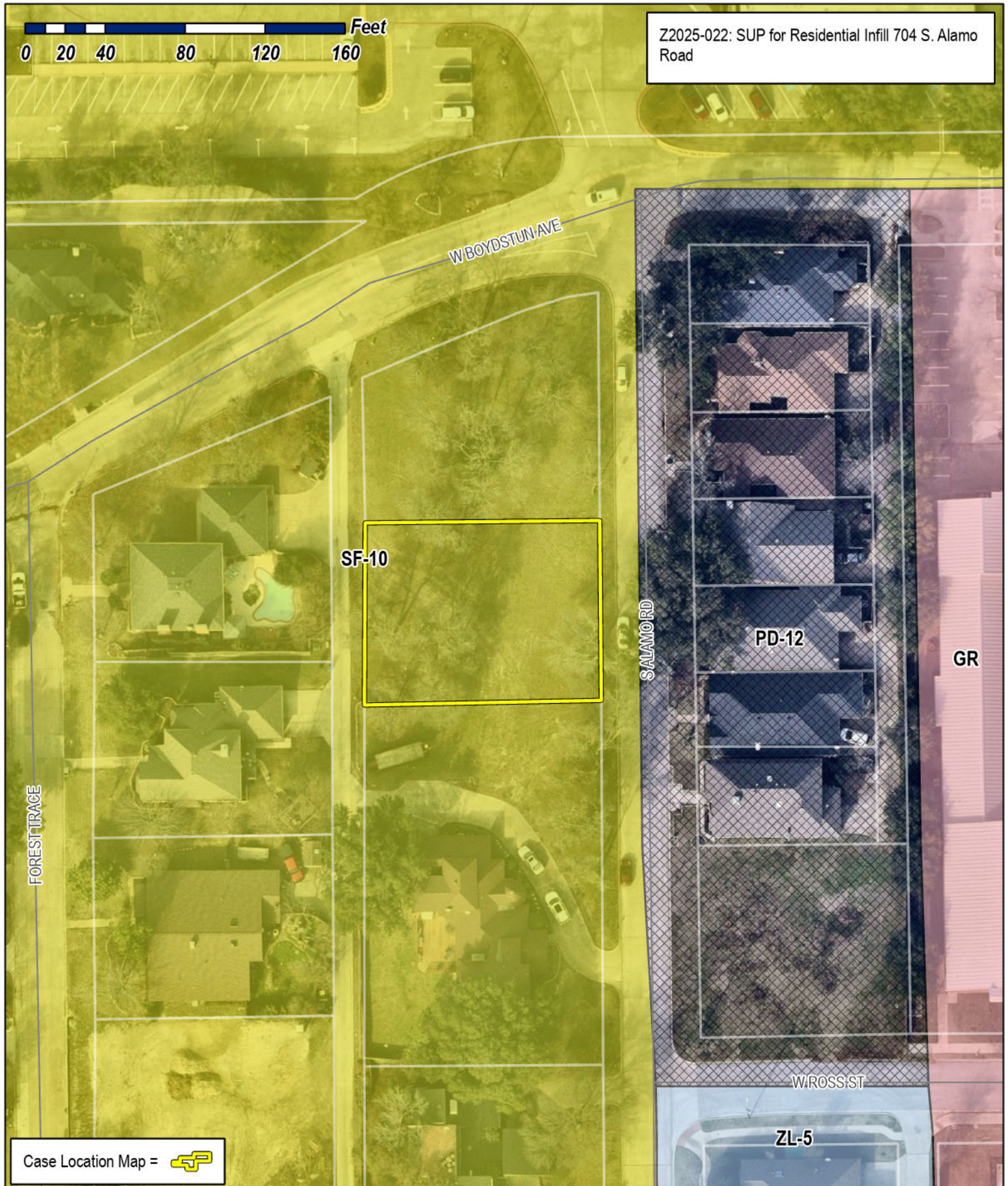
Jerret Smith

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

8.28.28



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

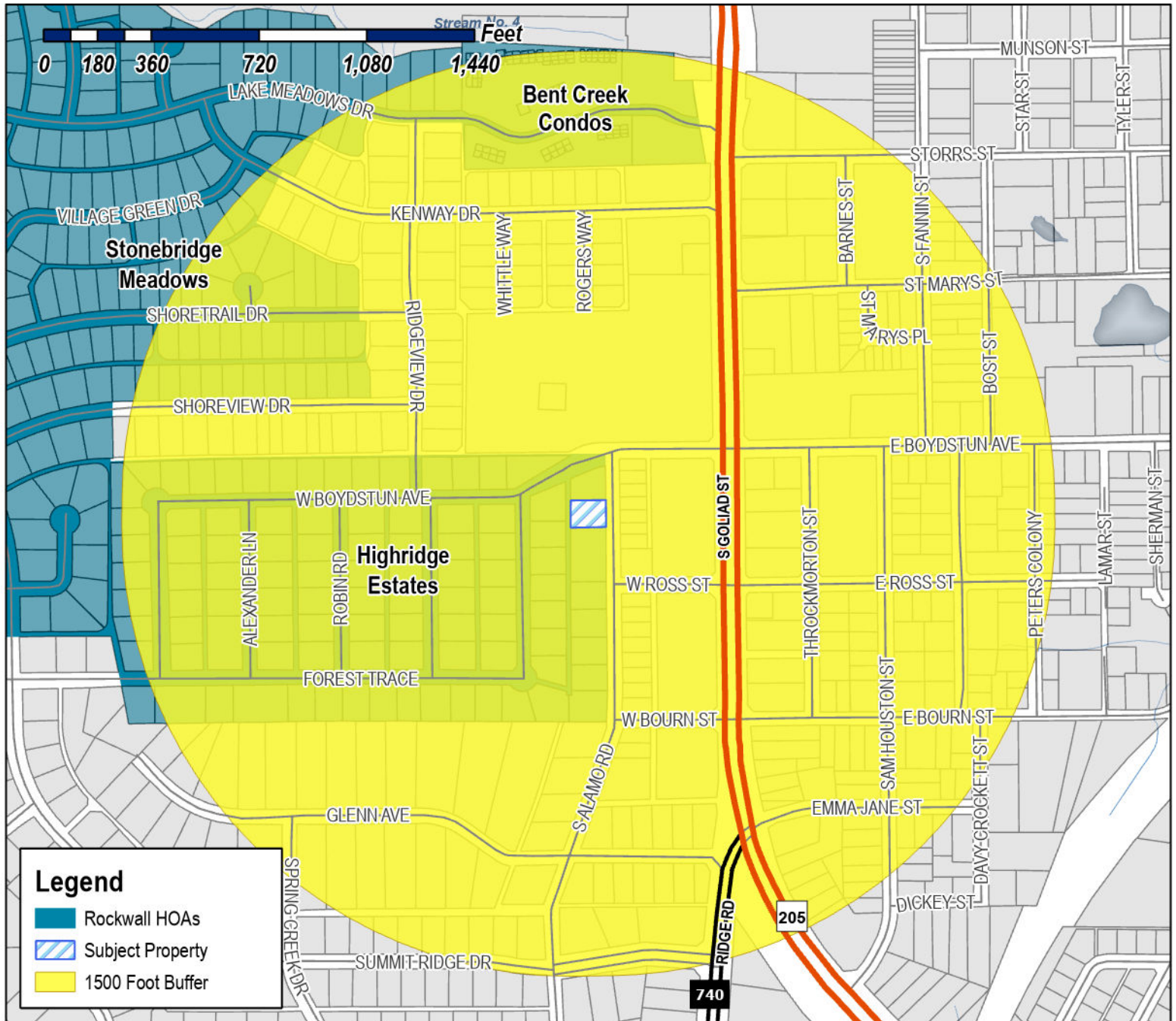




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Case Number: Z2025-022
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 704 S. Alamo Road

Date Saved: 4/17/2025

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-022]
Date: Wednesday, April 23, 2025 3:19:35 PM
Attachments: [Public Notice \(04.21.2025\).pdf](#)
[HOA Map \(04.17.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, April 25, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-022: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

Thank you,

Melanie Zavala

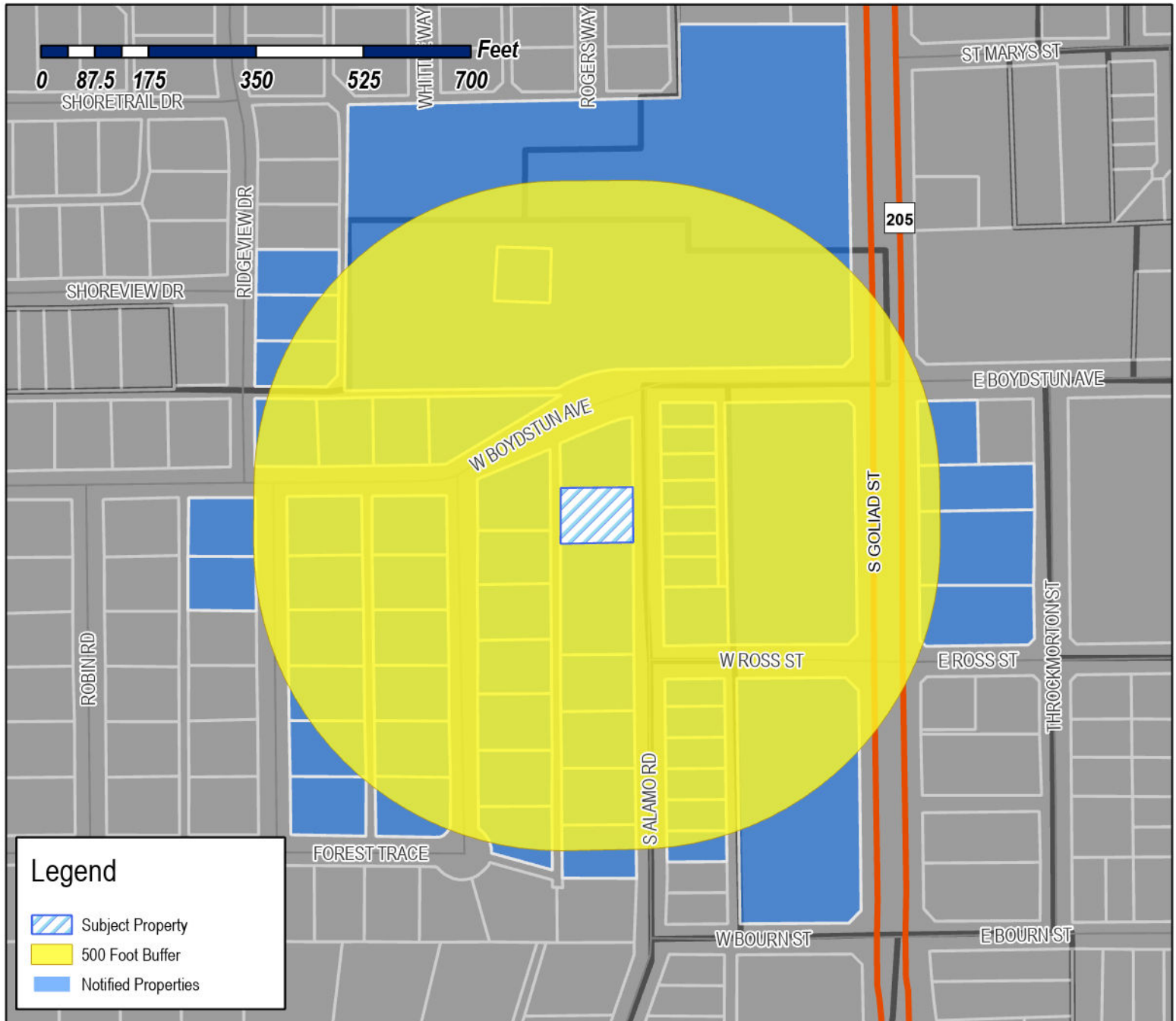
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-022
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 704 S. Alamo Road

Date Saved: 4/17/2025

For Questions on this Case Call: (972) 771-7745



PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 19, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Please place a check mark on the appropriate line below:

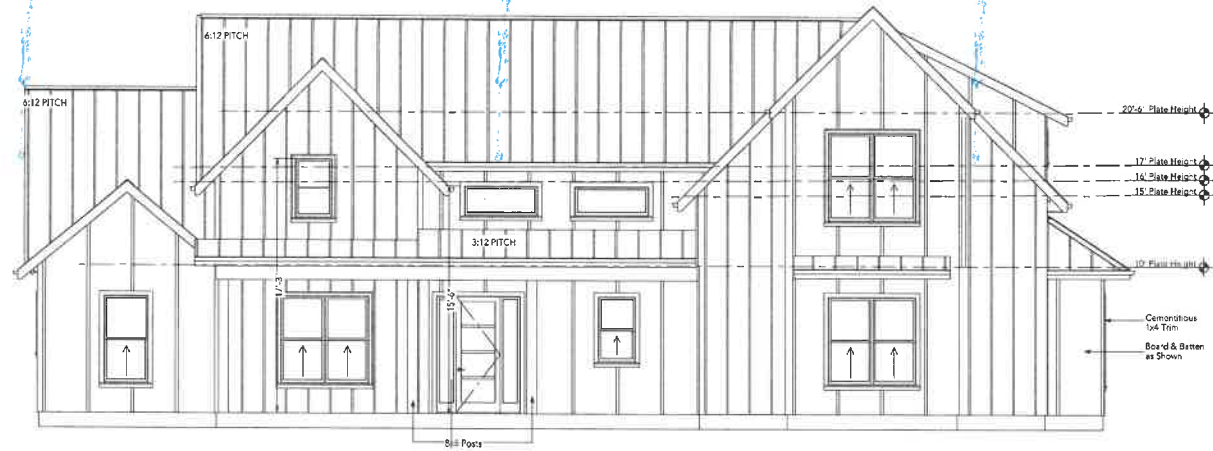
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

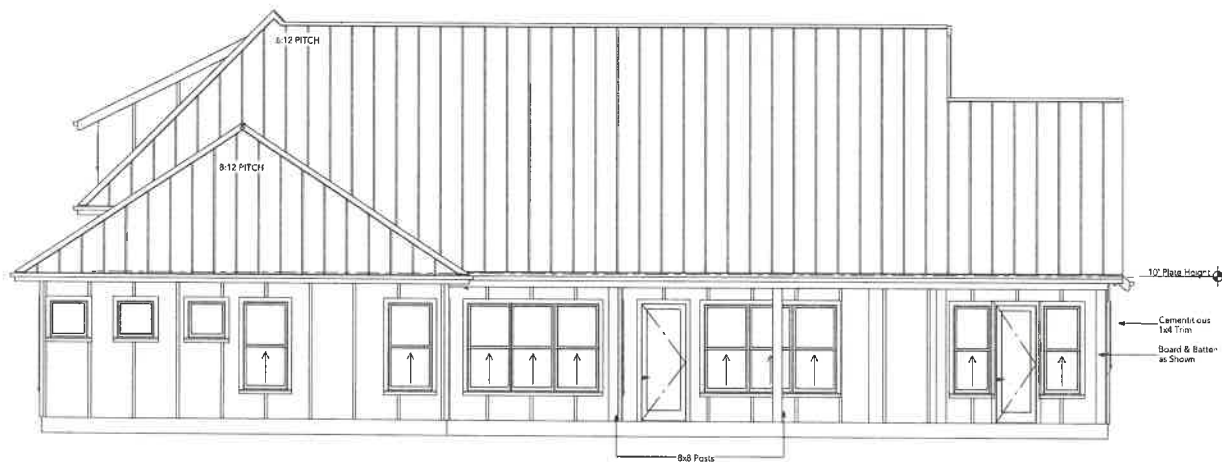
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION
Scale: 1/8" = 1'-0"



REAR ELEVATION
Scale: 1/8" = 1'-0"

REVISION	DATE	BY	DESCRIPTION
1	12/11/2024	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear
Elevations

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royse City, TX 409-338-1194

DATE:

12/11/2024

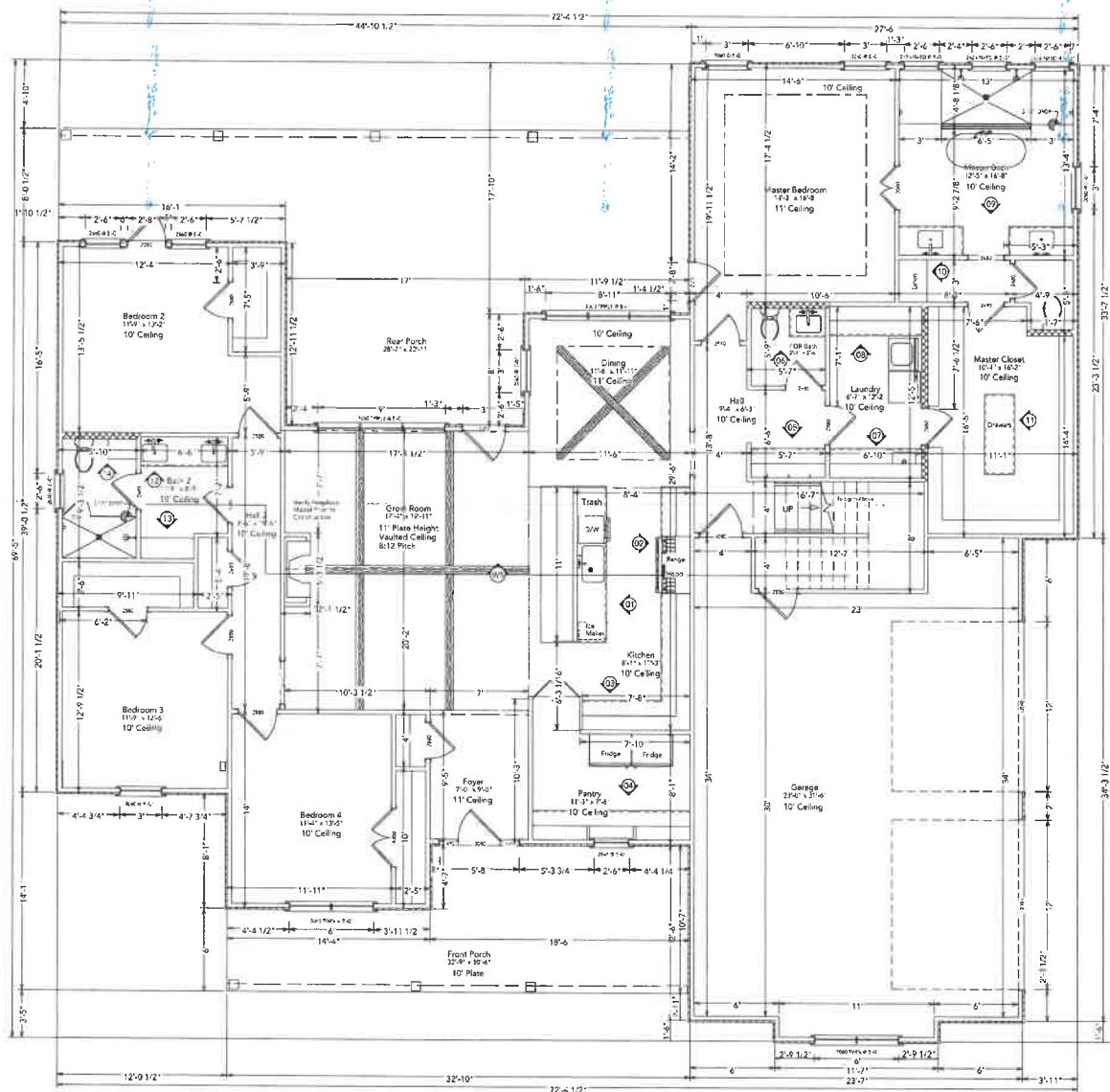
SCALE:

As Noted

SHEET:

A-3





1st FLOOR PLAN

Scale: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Fr. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	11/2/24	CS	REDUCE SIZE FOR BUILDING RETAIL

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

1st Floor Plan

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Rogers City, TX 409.338.1194

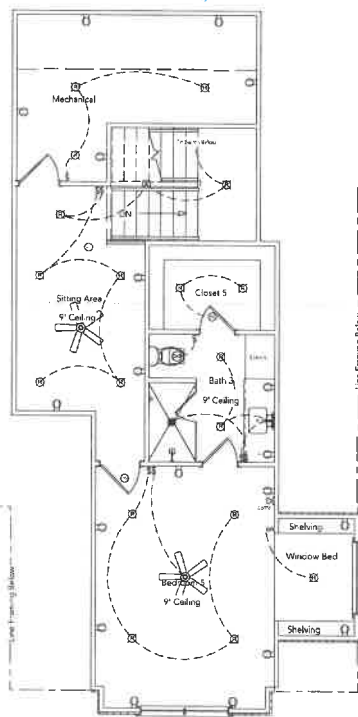
DATE:
12/11/2024

SCALE:

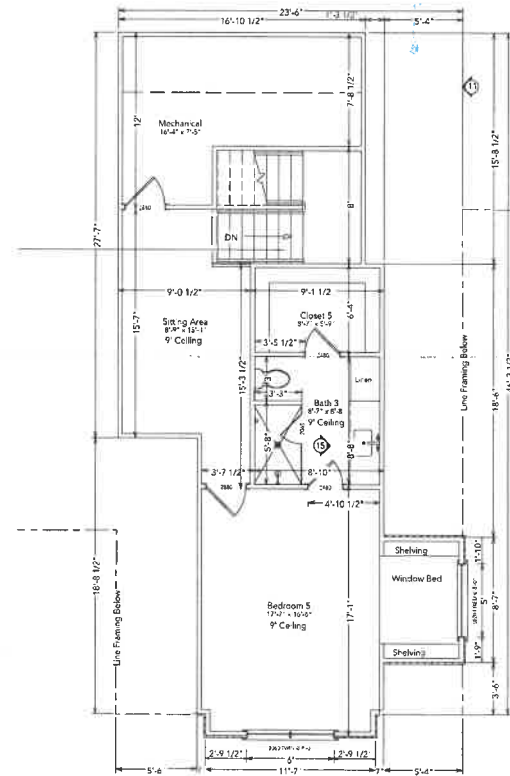
As Noted

SHEET:

A-5



2nd FLOOR ELECTRICAL
SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

DATE	BY	DESCRIPTION
12/24	JAS	REDUCE SIZE FOR BUILDING DETAIL

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/
2nd Floor Electrical

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royce City, TX 409-338-1194

DATE:
12/11/2024

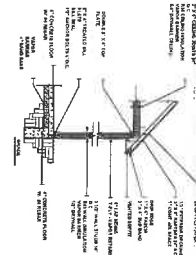
SCALE:
As Noted

SHEET:

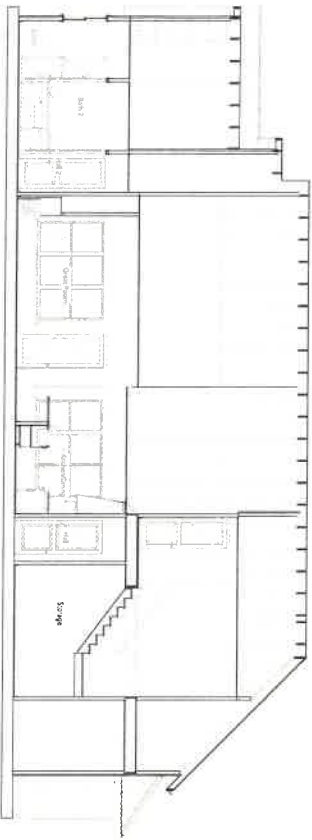
A-6

ROOM NAME	NO.	AREA	PERIMETER	FINISHES	COMMENTS
1. PORCH	1	100.00	100.00	CONCRETE	
2. ENTRY	2	100.00	100.00	CONCRETE	
3. LIVING ROOM	3	100.00	100.00	CONCRETE	
4. DINING ROOM	4	100.00	100.00	CONCRETE	
5. KITCHEN	5	100.00	100.00	CONCRETE	
6. BREAKFAST ROOM	6	100.00	100.00	CONCRETE	
7. BATH	7	100.00	100.00	CONCRETE	
8. BEDROOM	8	100.00	100.00	CONCRETE	
9. BEDROOM	9	100.00	100.00	CONCRETE	
10. BEDROOM	10	100.00	100.00	CONCRETE	
11. BEDROOM	11	100.00	100.00	CONCRETE	
12. BEDROOM	12	100.00	100.00	CONCRETE	
13. BEDROOM	13	100.00	100.00	CONCRETE	
14. BEDROOM	14	100.00	100.00	CONCRETE	
15. BEDROOM	15	100.00	100.00	CONCRETE	
16. BEDROOM	16	100.00	100.00	CONCRETE	
17. BEDROOM	17	100.00	100.00	CONCRETE	
18. BEDROOM	18	100.00	100.00	CONCRETE	
19. BEDROOM	19	100.00	100.00	CONCRETE	
20. BEDROOM	20	100.00	100.00	CONCRETE	
21. BEDROOM	21	100.00	100.00	CONCRETE	
22. BEDROOM	22	100.00	100.00	CONCRETE	
23. BEDROOM	23	100.00	100.00	CONCRETE	
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29. BEDROOM	29	100.00	100.00	CONCRETE	
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74. BEDROOM	74	100.00	100.00	CONCRETE	
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85. BEDROOM	85	100.00	100.00	CONCRETE	
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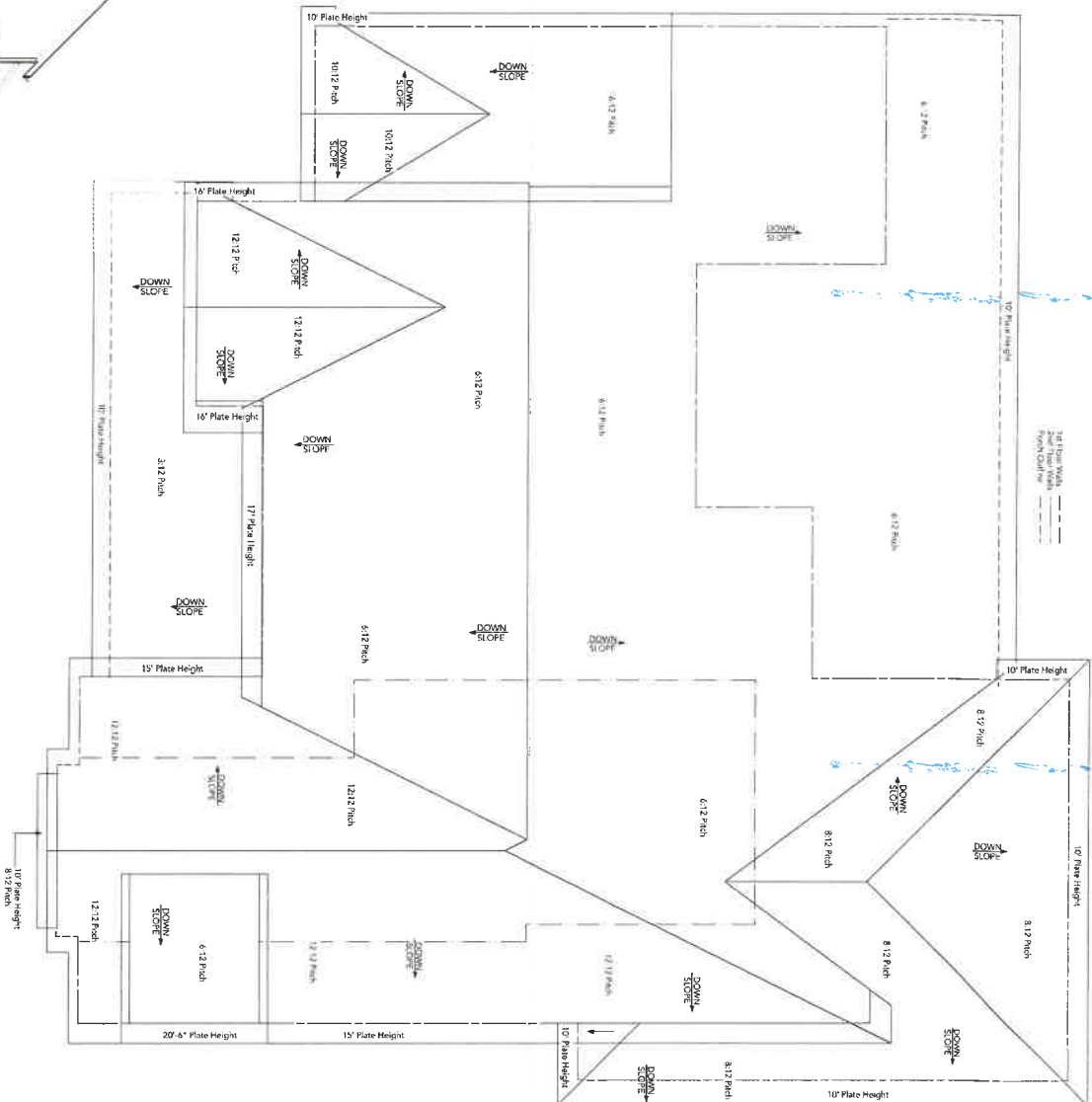
Typical 1 Story Section



Typical 1 Story Section



WALL SECTION



ROOF PLAN



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
701 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
702 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
703 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
704 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
705 S. Alamo Road	Single-Family Home	1983	2,224	N/A	Brick
706 S. Alamo Road	Single-Family Home	1981	4,374	N/A	Brick and Siding
707 S. Alamo Road	Single-Family Home	1982	2,126	N/A	Brick and Siding
710 S. Alamo Road	Single-Family Home	1981	4,957	N/A	Brick and Stucco
804 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
806 S. Alamo Road	Single-Family Home	2007	3,745	N/A	Brick
808 S. Alamo Road	Single-Family Home	2015	3,814	N/A	Brick
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, & Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
AVERAGES:		1989	3,583	90	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

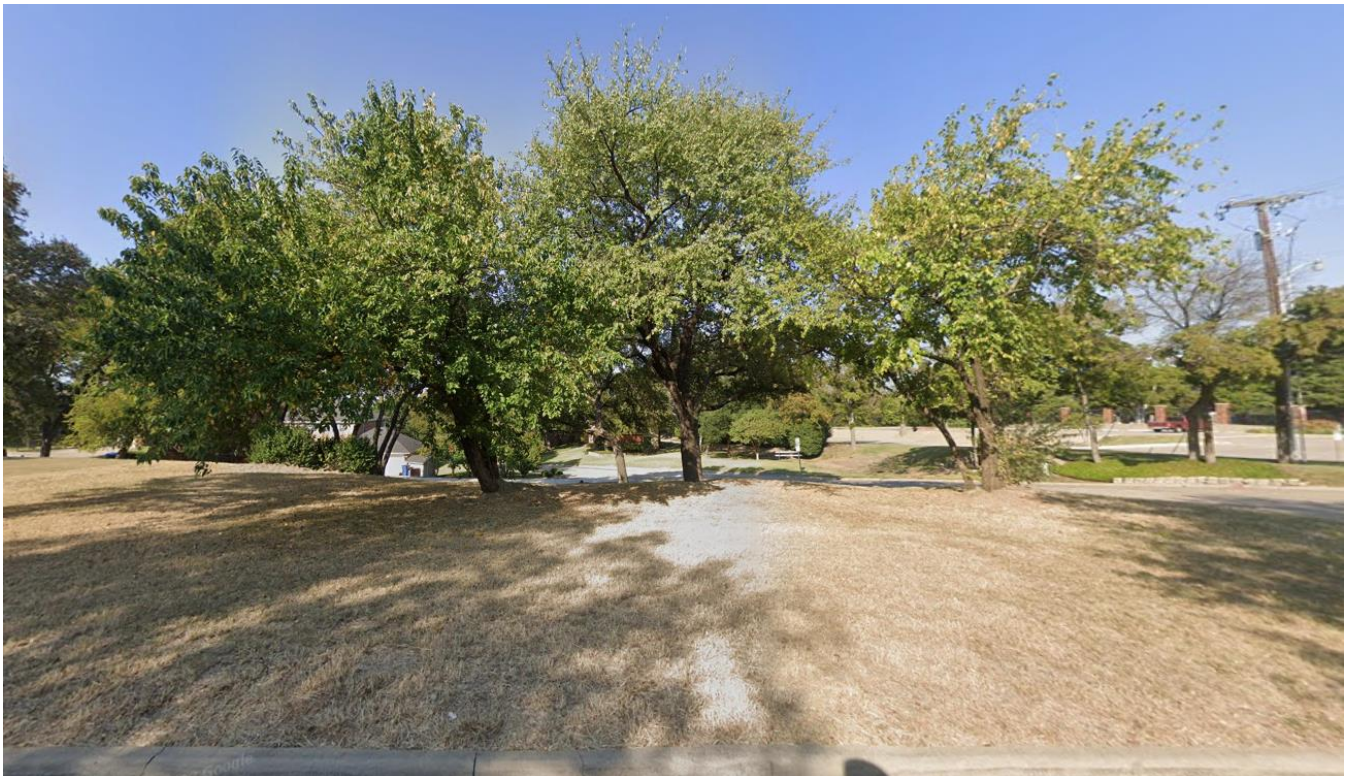
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



701 S. Alamo Road



702 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



703 S. Alamo Road



704 S. Alamo



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

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705 S. Alamo Road



706 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

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707 S. Alamo Road



710 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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804 S. Alamo Road



806 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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808 S. Alamo Road



703 Forest Trace



CITY OF ROCKWALL

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705 Forest Trace



707 Forest Trace



CITY OF ROCKWALL

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PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



709 Forest Trace



711 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1960-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, HIGHRIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF JUNE, 2025.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: May 19, 2025

2nd Reading: June 2, 2025

Exhibit 'A':
Location Map

Address: 704 S. Alamo Road

Legal Description: Lot 2, Block A, Highridge Addition

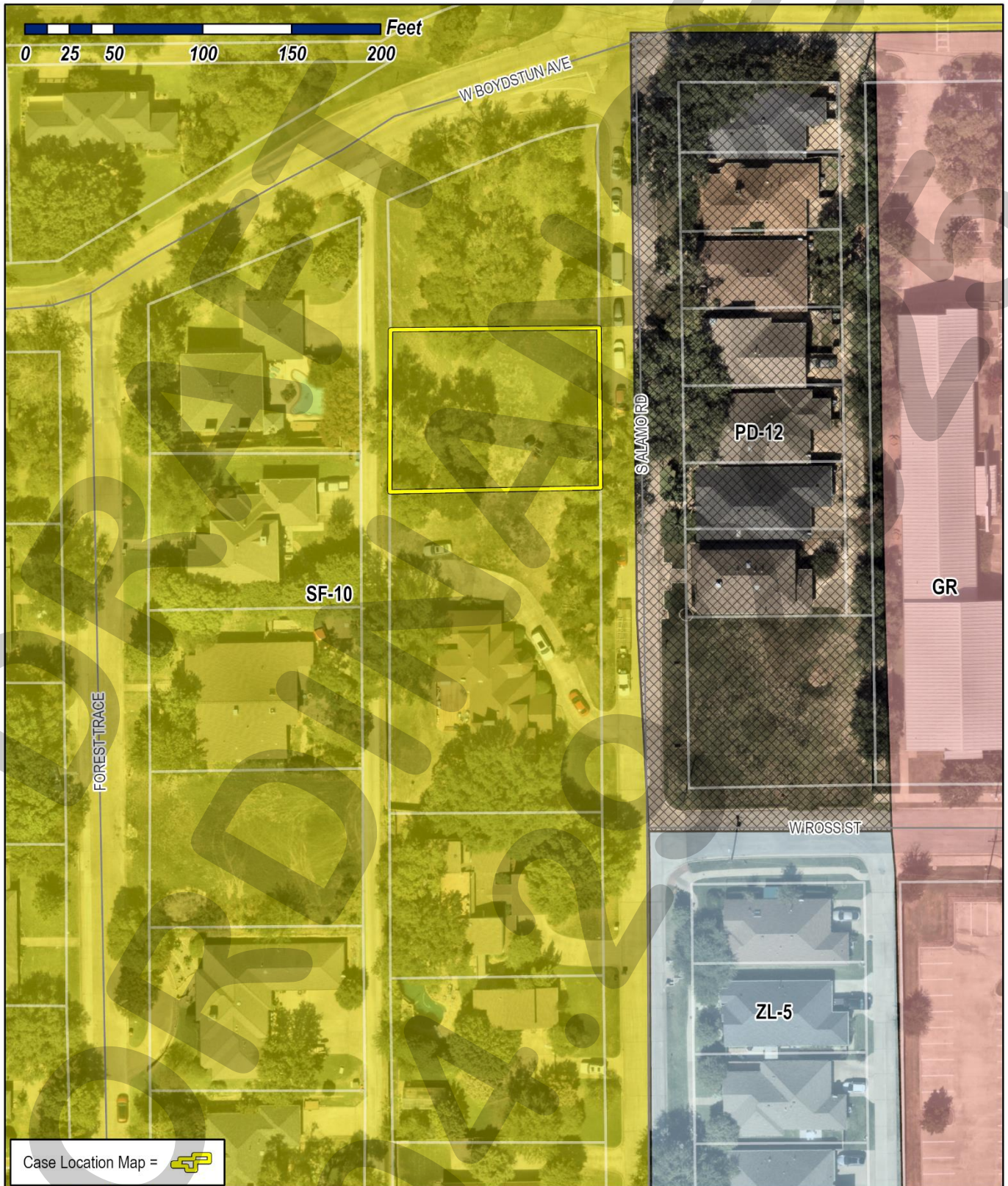


Exhibit 'B':
Residential Plot Plan

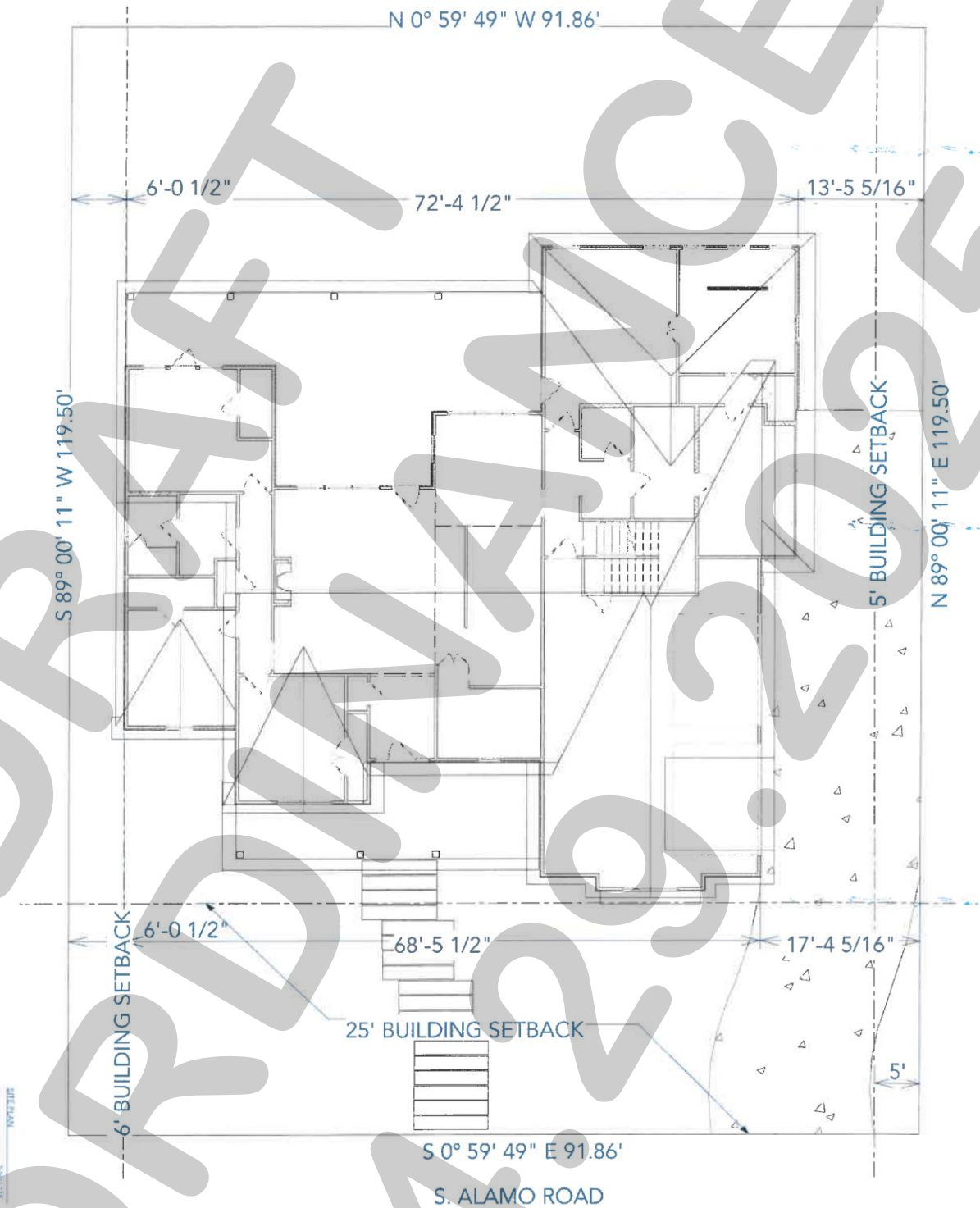
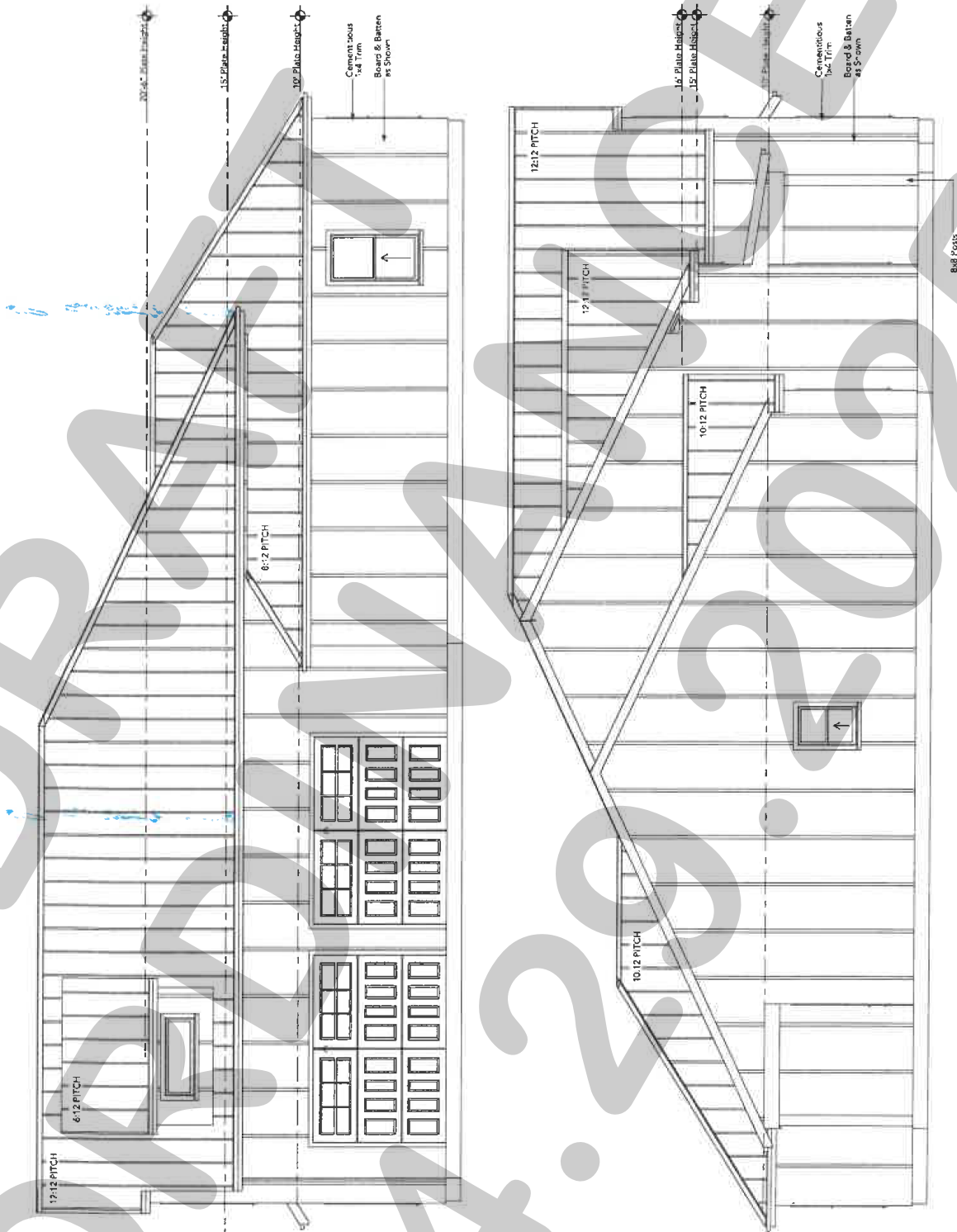


Exhibit 'C':
Building Elevations



Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 13, 2025
APPLICANT: Jerret R. Smith
CASE NUMBER: Z2025-022; *Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation. On December 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0; however, on December 16, 2024, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 6-0. The stated reason for the denial was due to the applicant not being present at the meeting. On March 25, 2025, the Planning and Zoning Commission approved a motion by a vote of 7-0, permitting the applicant to resubmit the original request prior to the standard one (1) year waiting period.

PURPOSE

The applicant -- *Jerret R. Smith* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 704 S. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant parcel of land (*i.e. Lot 1, Block A, Highridge Estates Addition*) zoned Single-Family 10 (SF-10) District. Beyond this is W. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is First Baptist Church of Rockwall (*i.e. Lot 1, Block A, First Baptist Church Addition Phase 3*) which is situated on a 9.43-acre tract of land and is zoned both Single-Family 10 (SF-10) District and General Retail (GR) District.

South: Directly south of the subject property are six (6) parcels of land (*i.e. 706, 710, 804, 806, 808, & 810 S. Alamo Road*) developed with single-family homes that are within the Highridge Estates Subdivision. Beyond this is the Spong Subdivision, which consists of five (5) lots developed with single-family homes. All of these parcels are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S. Alamo Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the Amachris Subdivision, which consists of seven (7) lots developed with single-family homes and is zoned Planned Development District 12 (PD-12). Beyond this is a 1.9192-acre parcel of land (*i.e. Lot 2, Block 1, Goliad Place Addition*), which consists of the First Baptist Church Student Ministry and is zoned General Retail (GR) District.

West: Directly west of the subject property are six (6) parcels of land (*i.e. 703, 705, 707, 711, 713, & 715 Forest Trace*) developed with single-family homes and one (1) vacant parcel of land (*i.e. 709 Forest Trace*). Beyond this is Forest Trace, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the remainder of the Highridge Estates Subdivision, which consists of 99 lots and is zoned Single-Family District 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is situated within the Highridge Subdivision, which is 98.00% developed, consists of 97 residential lots, and has been in existence since June 1, 1972. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing along Forest Trace and S. Alamo Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Alamo Road and in Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	The homes along S. Alamo face onto S. Alamo Road.	The front elevation of the home will face S. Alamo Road.
Year Built	1978- 2015	N/A
Building SF on Property	2,126 SF – 4,957 SF	5,059 SF
Building Architecture	Single Family Homes and Four (4) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	25-Feet
Side	6-Feet	6-Feet
Rear	10-Feet	X>10-Feet
Building Materials	Brick, Siding, Stone and Stucco	Board and Batten Siding
Paint and Color	Brown, Red, White, Orange	N/A
Roofs	Composite Shingles	Board and Batten
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of rear entry garages or no garages.	The proposed home will incorporate a j-swing garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Alamo Road and Forest Trace and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On April 18, 2025, staff mailed 66 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows, Bent Creek Condos, and Highridge Estates Homeowners Associations (HOAs), which are the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

704 S Alamo

SUBDIVISION

Highridge Est

LOT

2

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.196

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Jerret Smith

☐ APPLICANT

CONTACT PERSON

Jerret Smith

CONTACT PERSON

ADDRESS

9091 FM 2728

ADDRESS

CITY, STATE & ZIP

Tenelle TX 75141

CITY, STATE & ZIP

PHONE

469-409-8515

PHONE

E-MAIL

JSC@Rockwall@yahoo.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

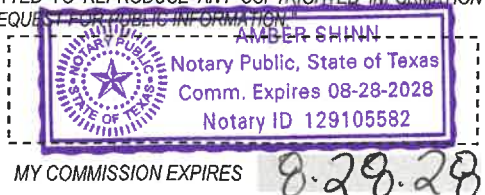
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

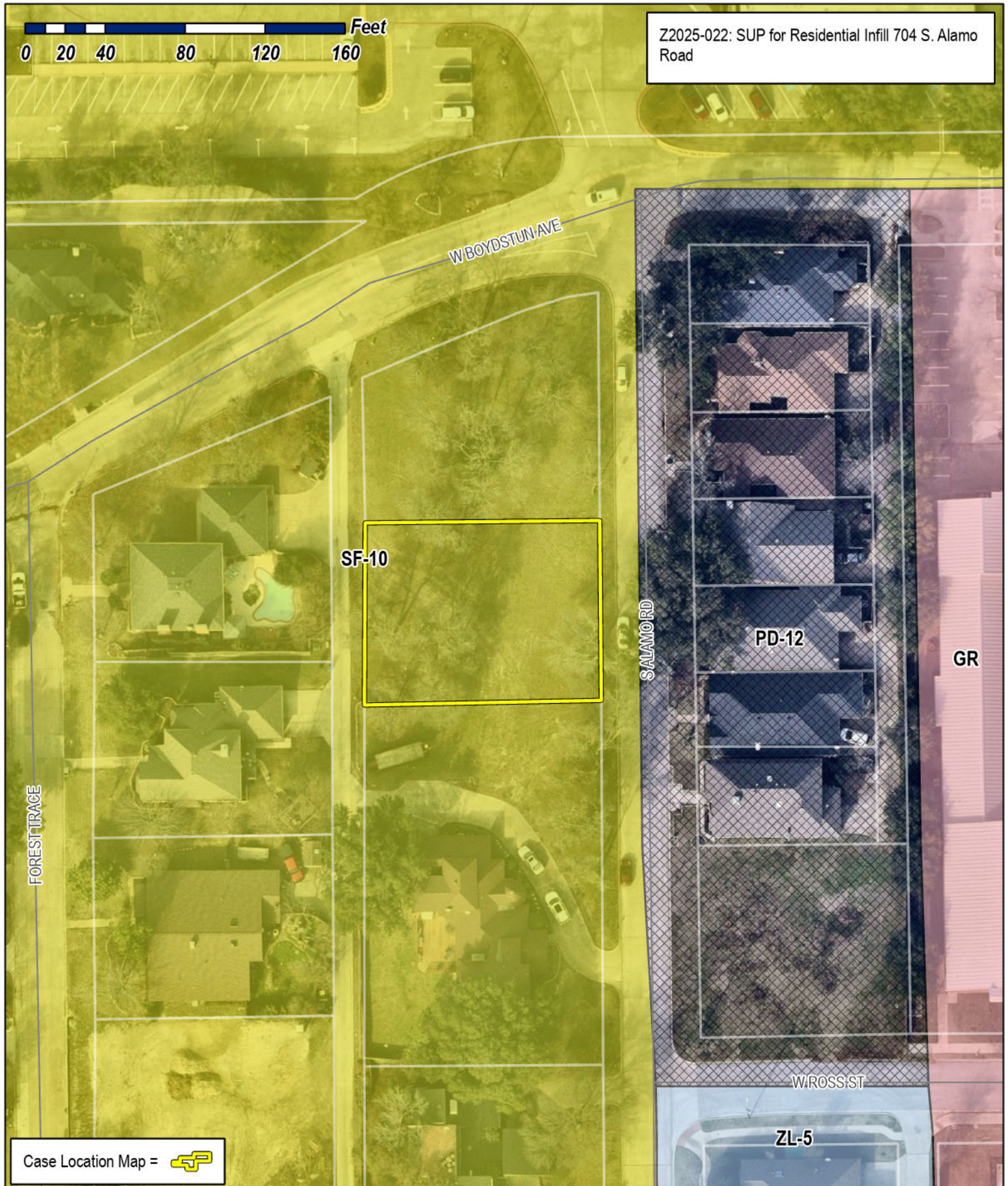
Jerret Smith
Amber Shinn

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

8.28.28



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

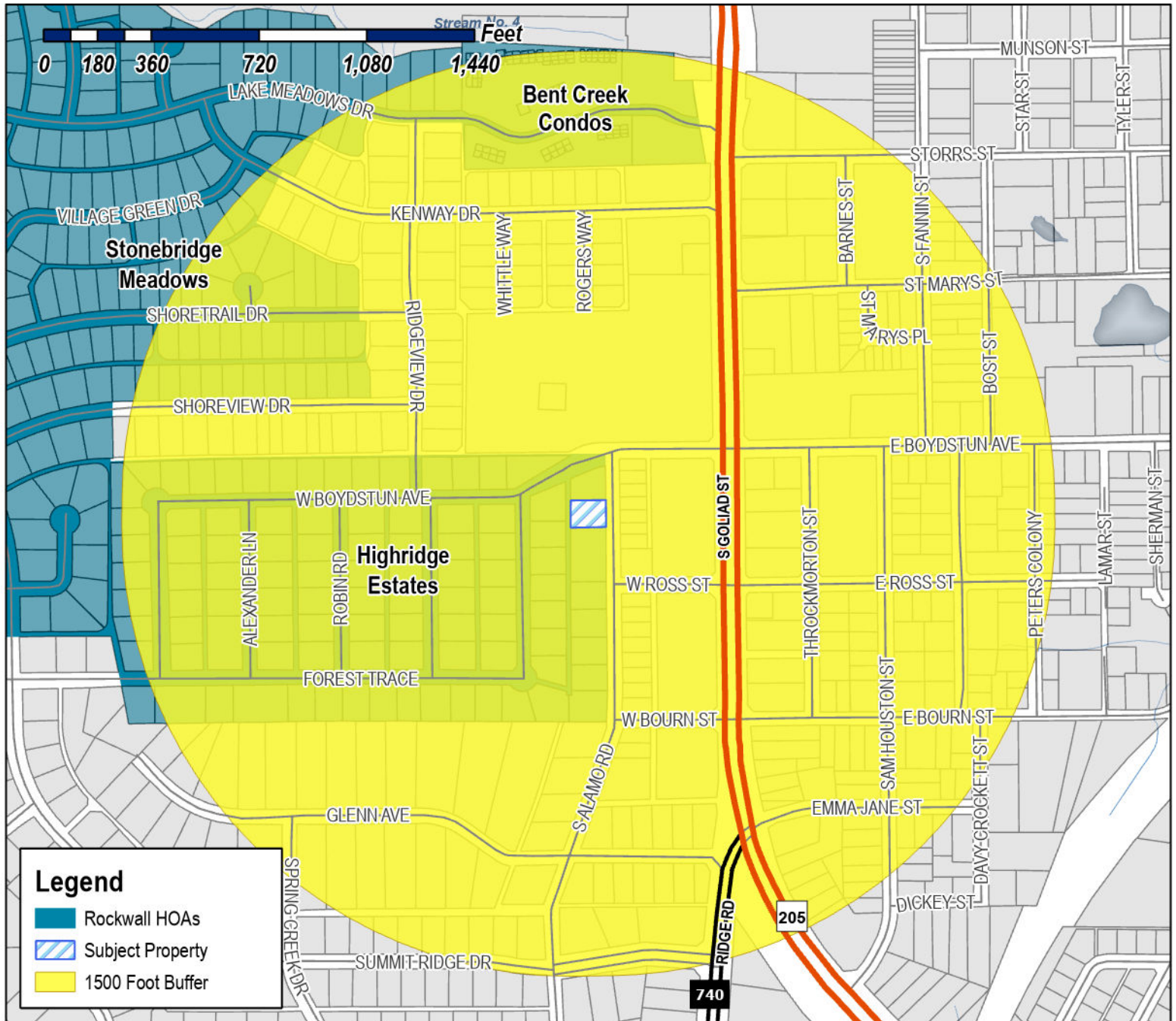




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Case Number: Z2025-022
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 704 S. Alamo Road

Date Saved: 4/17/2025

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-022]
Date: Wednesday, April 23, 2025 3:19:35 PM
Attachments: [Public Notice \(04.21.2025\).pdf](#)
[HOA Map \(04.17.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, April 25, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-022: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 19, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Please place a check mark on the appropriate line below:

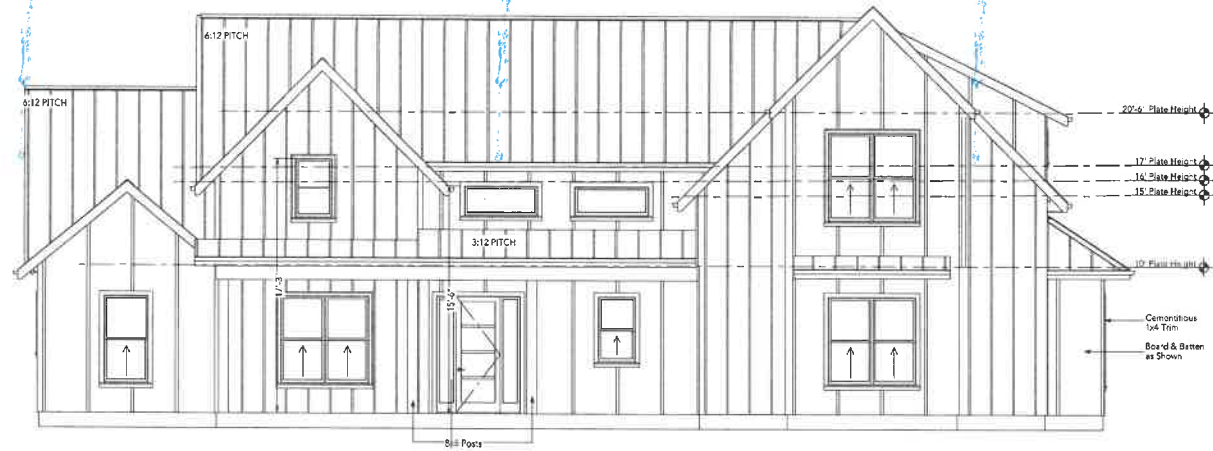
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

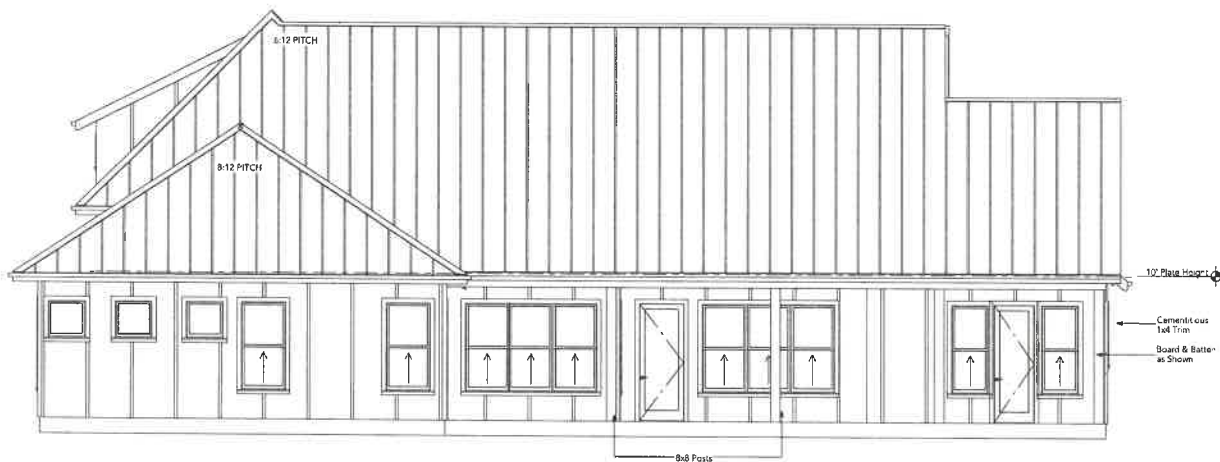
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION
Scale: 1/8" = 1'-0"



REAR ELEVATION
Scale: 1/8" = 1'-0"

REVISION TABLE	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear
Elevations

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royse City, TX 409-338-1194

DATE:

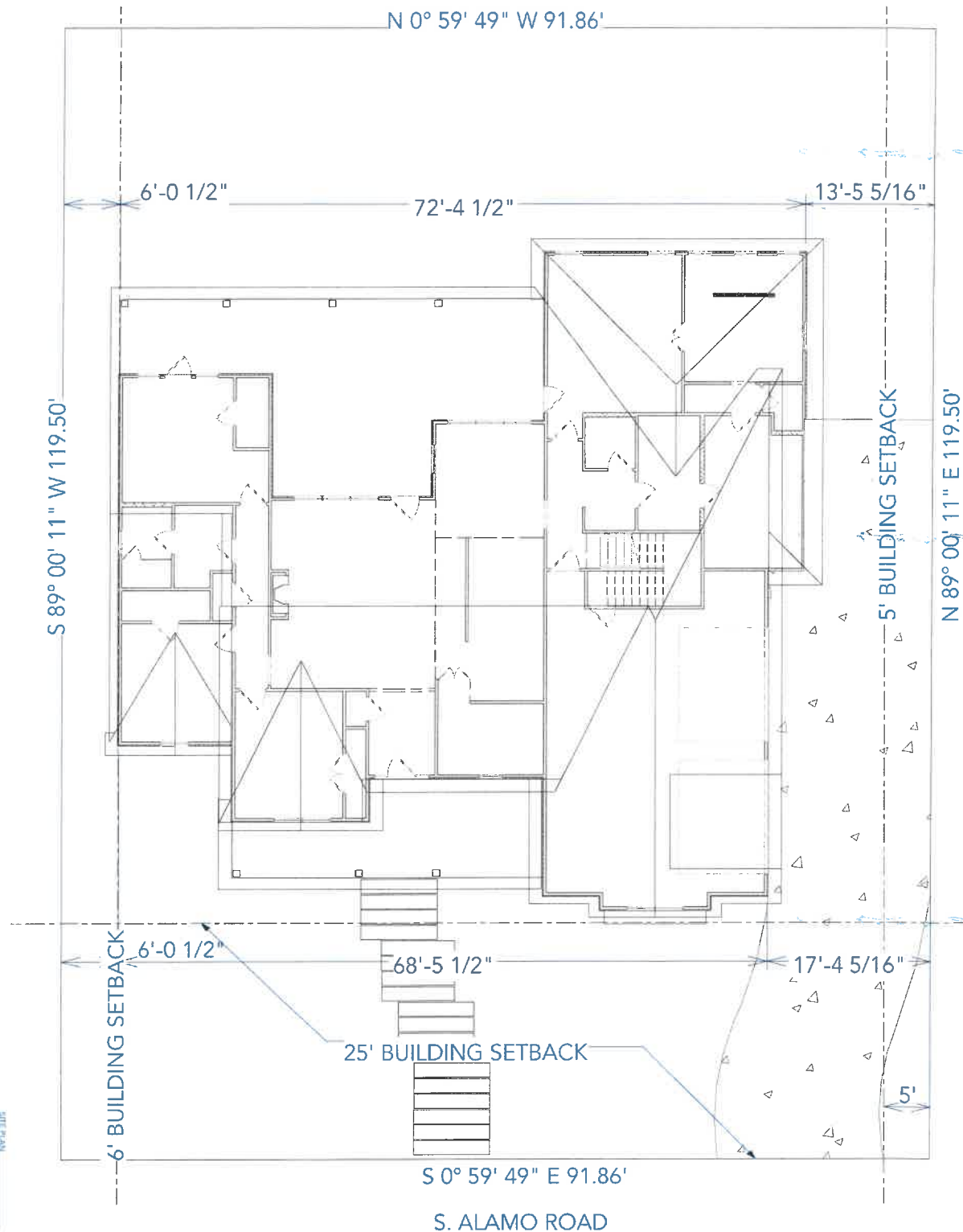
12/11/2024

SCALE:

As Noted

SHEET:

A-3



A-2

SHEET:

AS NOTED

SCALE:

12/11/2024

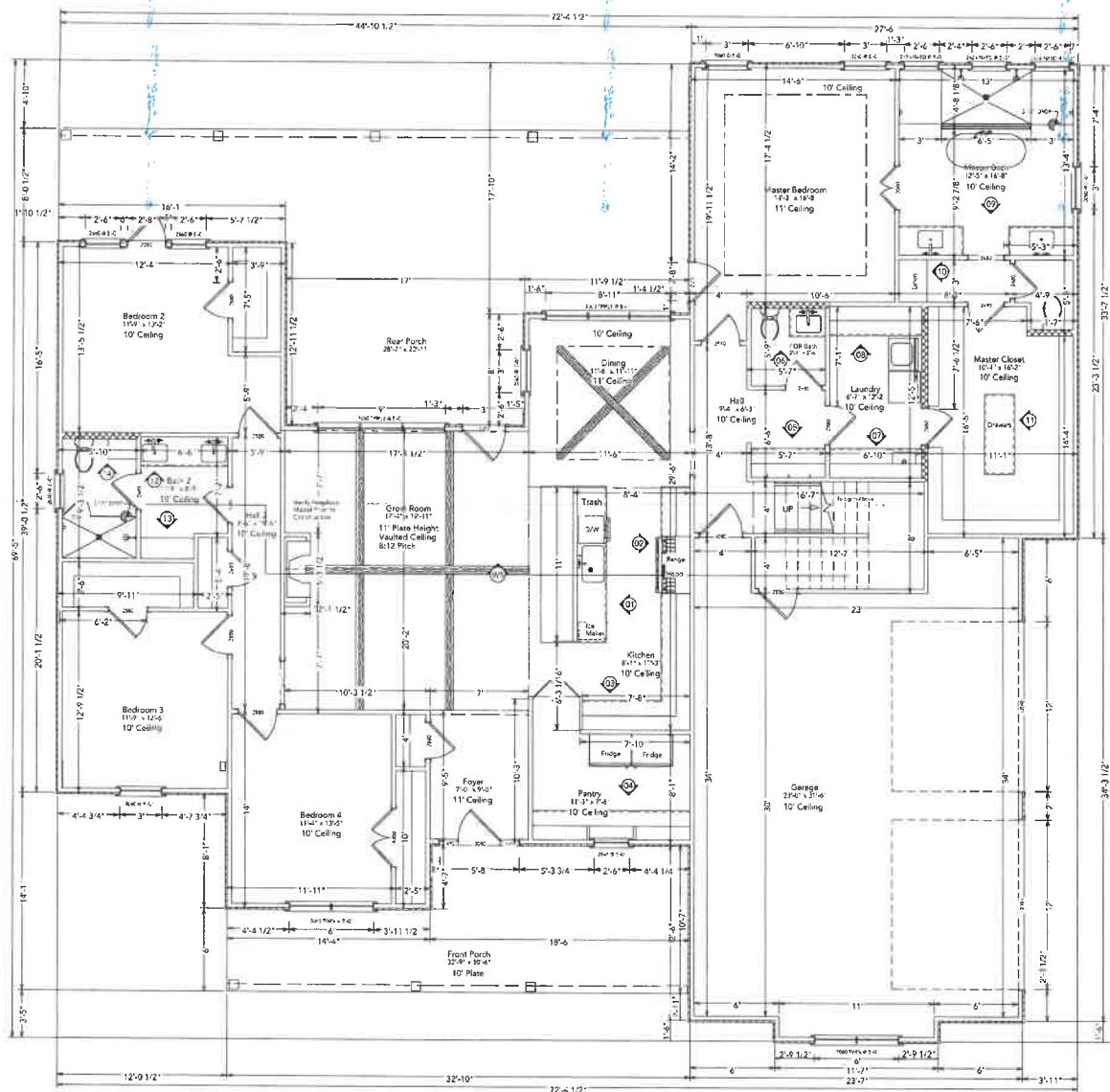
DATE:

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royse City, TX 469-338-1194

Site Plan

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

REVISION TABLE		
#	DATE	DESCRIPTION
1	12/24	CAS REDUCE SIZE FOR BUILDING SETBACK



1st FLOOR PLAN

Scale: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Fr. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	11/2/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

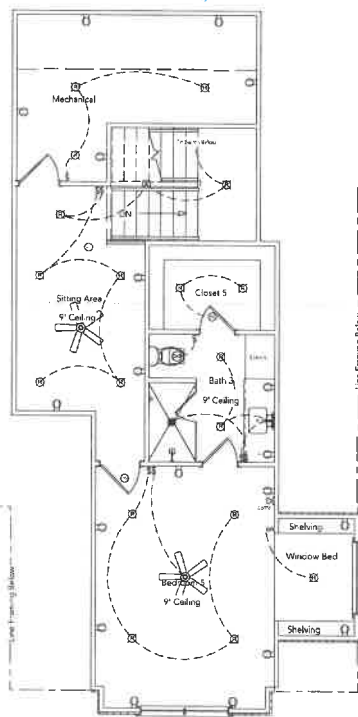
1st Floor Plan

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Rogers City, TX 409-338-1194

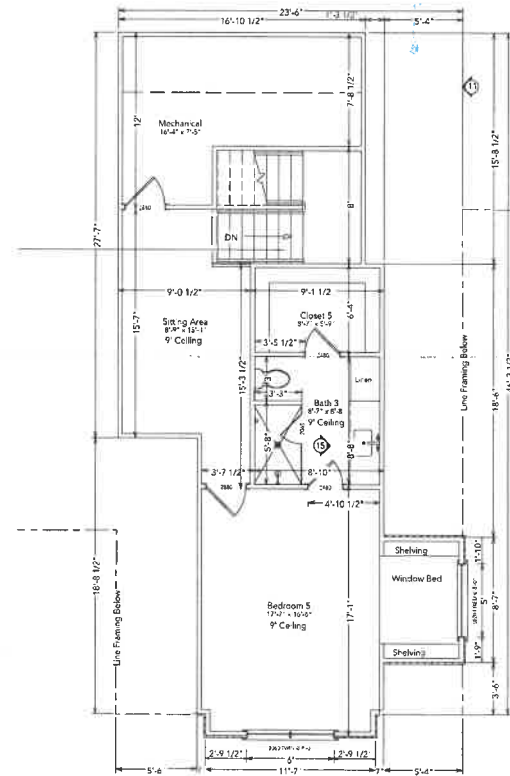
DATE:
12/11/2024

SCALE:
As Noted

SHEET:
A-5



2nd FLOOR ELECTRICAL
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

DATE	BY	DESCRIPTION
12/24	JAS	REDUCE SIZE FOR BUILDING DETAIL

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/
2nd Floor Electrical

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royce City, TX 409-338-1194

DATE:
12/11/2024

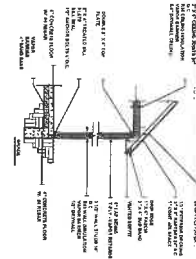
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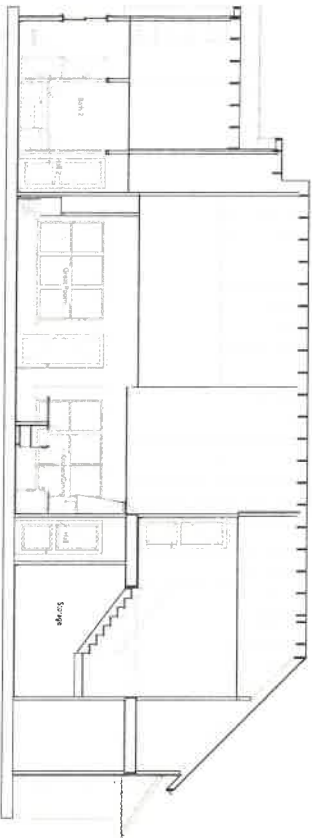
A-6

ROOM NAME	NO.	AREA	PERIMETER	FINISHES	COMMENTS
1. PORCH	1	100.00	100.00	CONCRETE	
2. ENTRY	2	100.00	100.00	CONCRETE	
3. LIVING ROOM	3	100.00	100.00	CONCRETE	
4. DINING ROOM	4	100.00	100.00	CONCRETE	
5. KITCHEN	5	100.00	100.00	CONCRETE	
6. BREAKFAST ROOM	6	100.00	100.00	CONCRETE	
7. BATH	7	100.00	100.00	CONCRETE	
8. BEDROOM	8	100.00	100.00	CONCRETE	
9. BEDROOM	9	100.00	100.00	CONCRETE	
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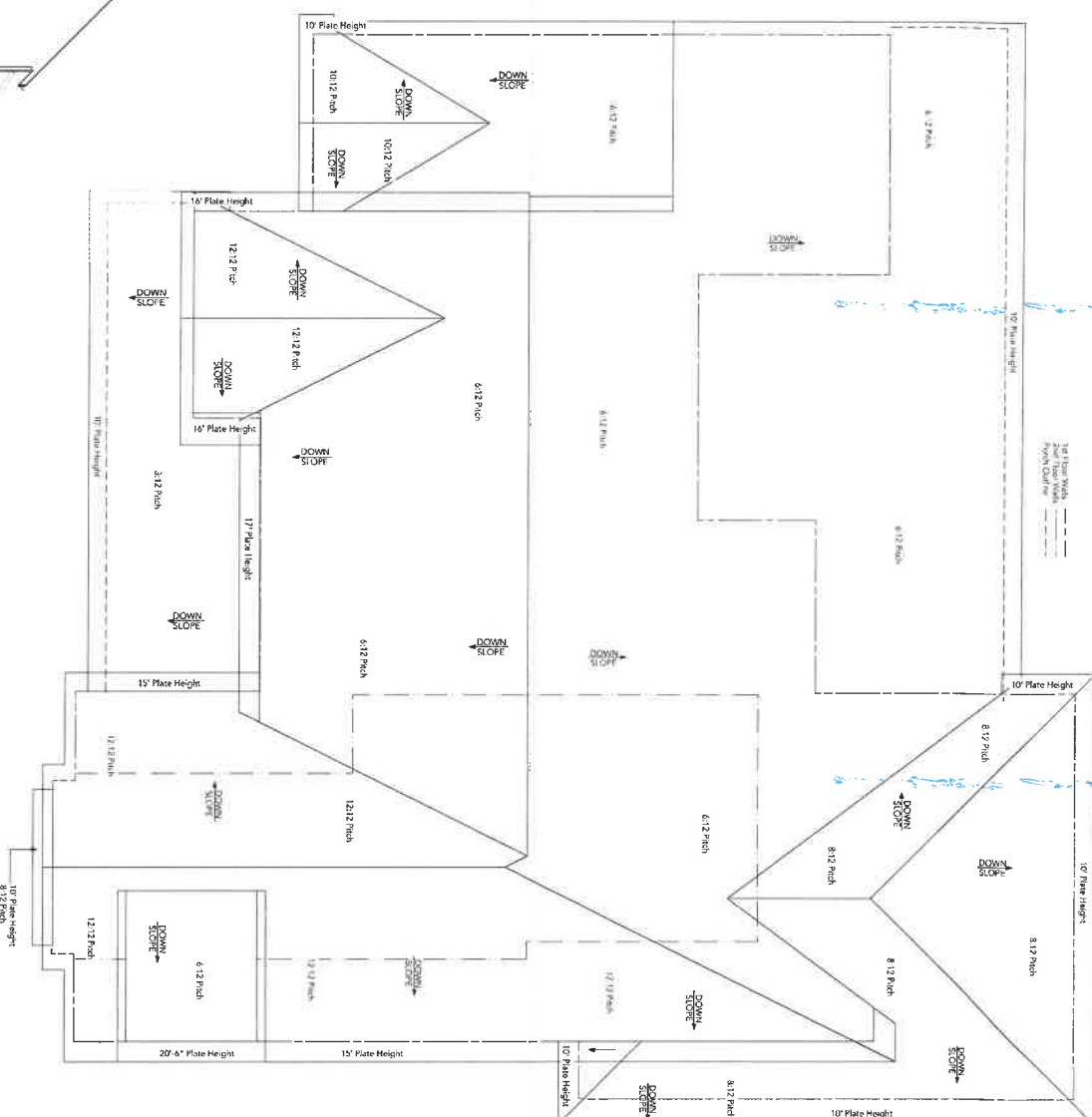
Typical 1 Story Section



TP WALL SECTION



WALL SECTION





CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
701 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
702 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
703 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
704 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
705 S. Alamo Road	Single-Family Home	1983	2,224	N/A	Brick
706 S. Alamo Road	Single-Family Home	1981	4,374	N/A	Brick and Siding
707 S. Alamo Road	Single-Family Home	1982	2,126	N/A	Brick and Siding
710 S. Alamo Road	Single-Family Home	1981	4,957	N/A	Brick and Stucco
804 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
806 S. Alamo Road	Single-Family Home	2007	3,745	N/A	Brick
808 S. Alamo Road	Single-Family Home	2015	3,814	N/A	Brick
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, & Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
AVERAGES:		1989	3,583	90	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

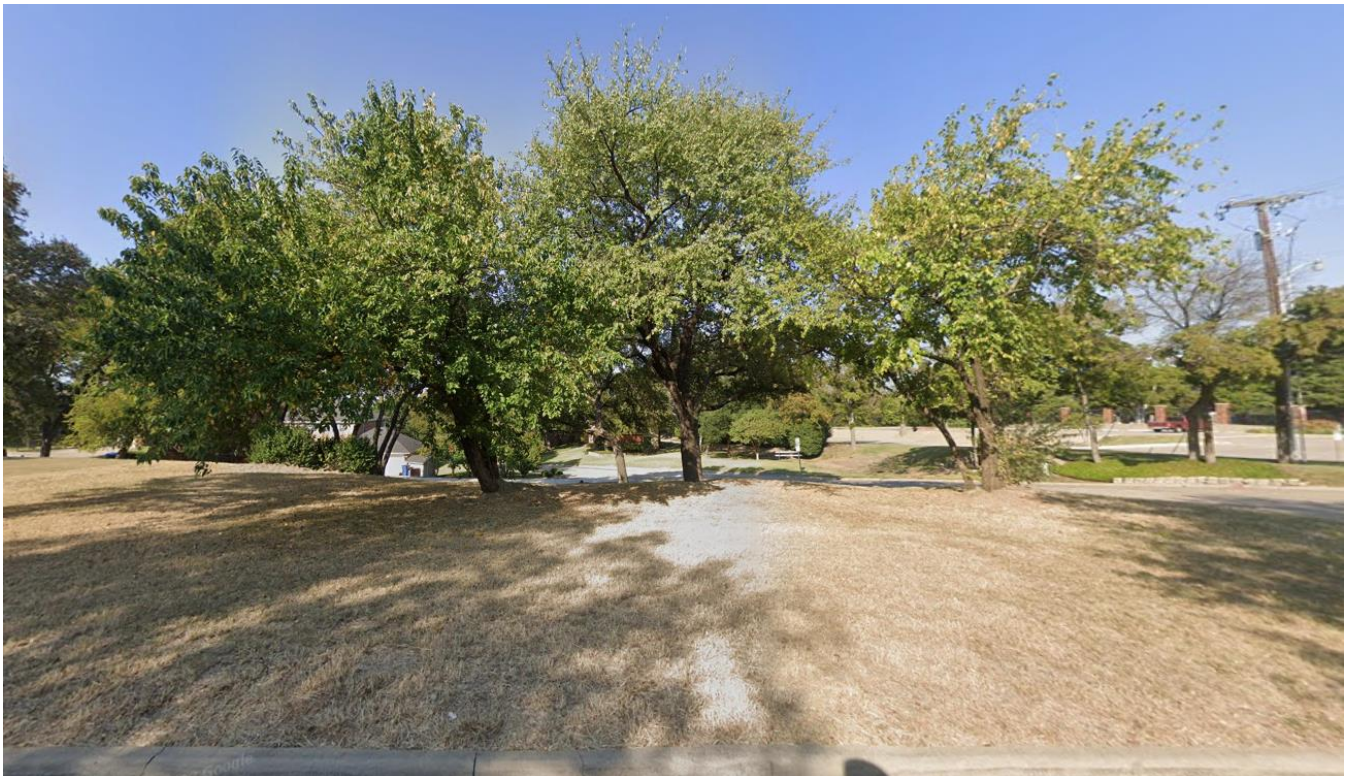
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



701 S. Alamo Road



702 S. Alamo Road



CITY OF ROCKWALL

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703 S. Alamo Road



704 S. Alamo



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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705 S. Alamo Road



706 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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707 S. Alamo Road



710 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



804 S. Alamo Road



806 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



808 S. Alamo Road



703 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



705 Forest Trace



707 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



709 Forest Trace



711 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1960-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, HIGHRIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF JUNE, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 19, 2025

2nd Reading: June 2, 2025

Exhibit 'A':
Location Map

Address: 704 S. Alamo Road

Legal Description: Lot 2, Block A, Highridge Addition



Exhibit 'B':
Residential Plot Plan

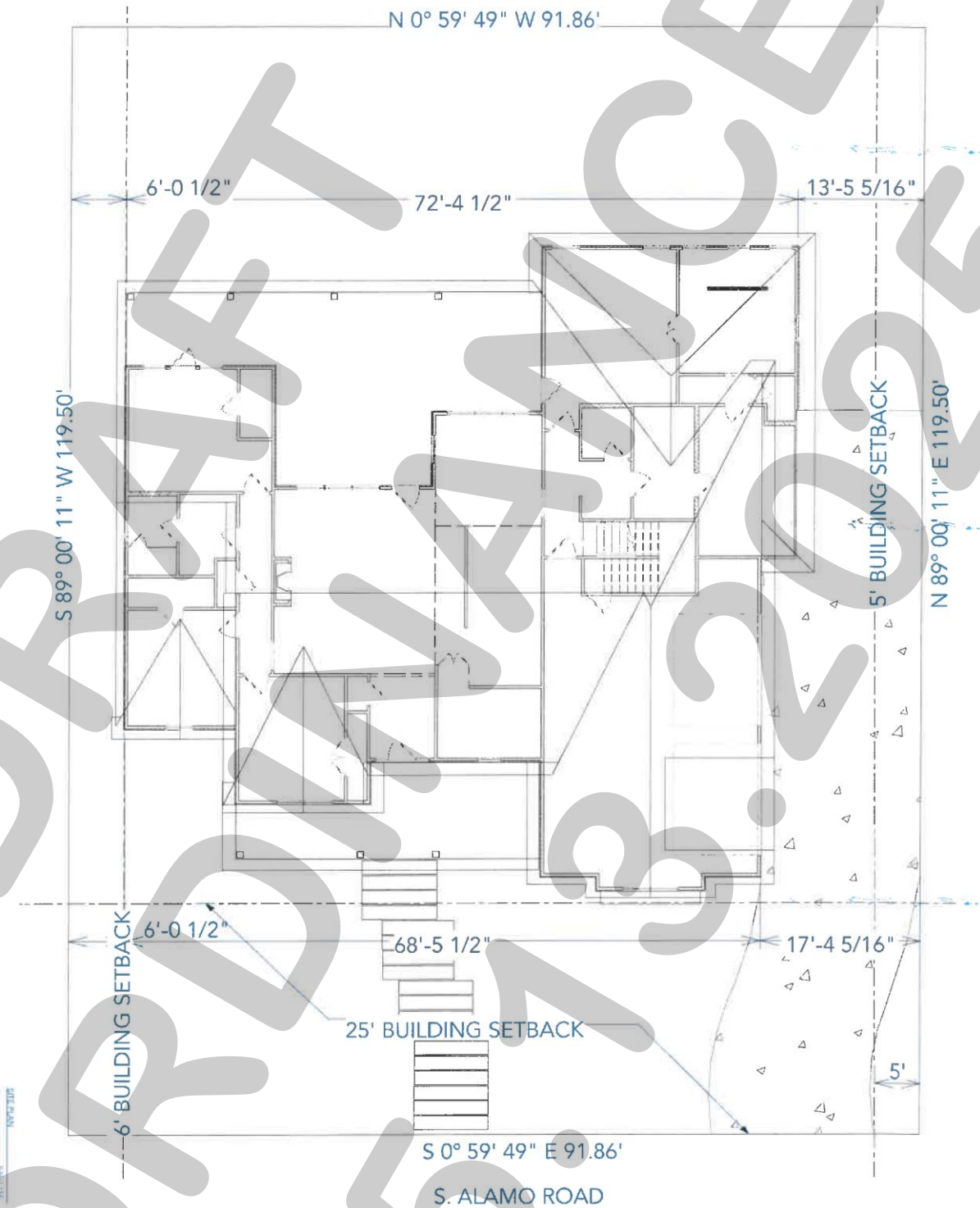
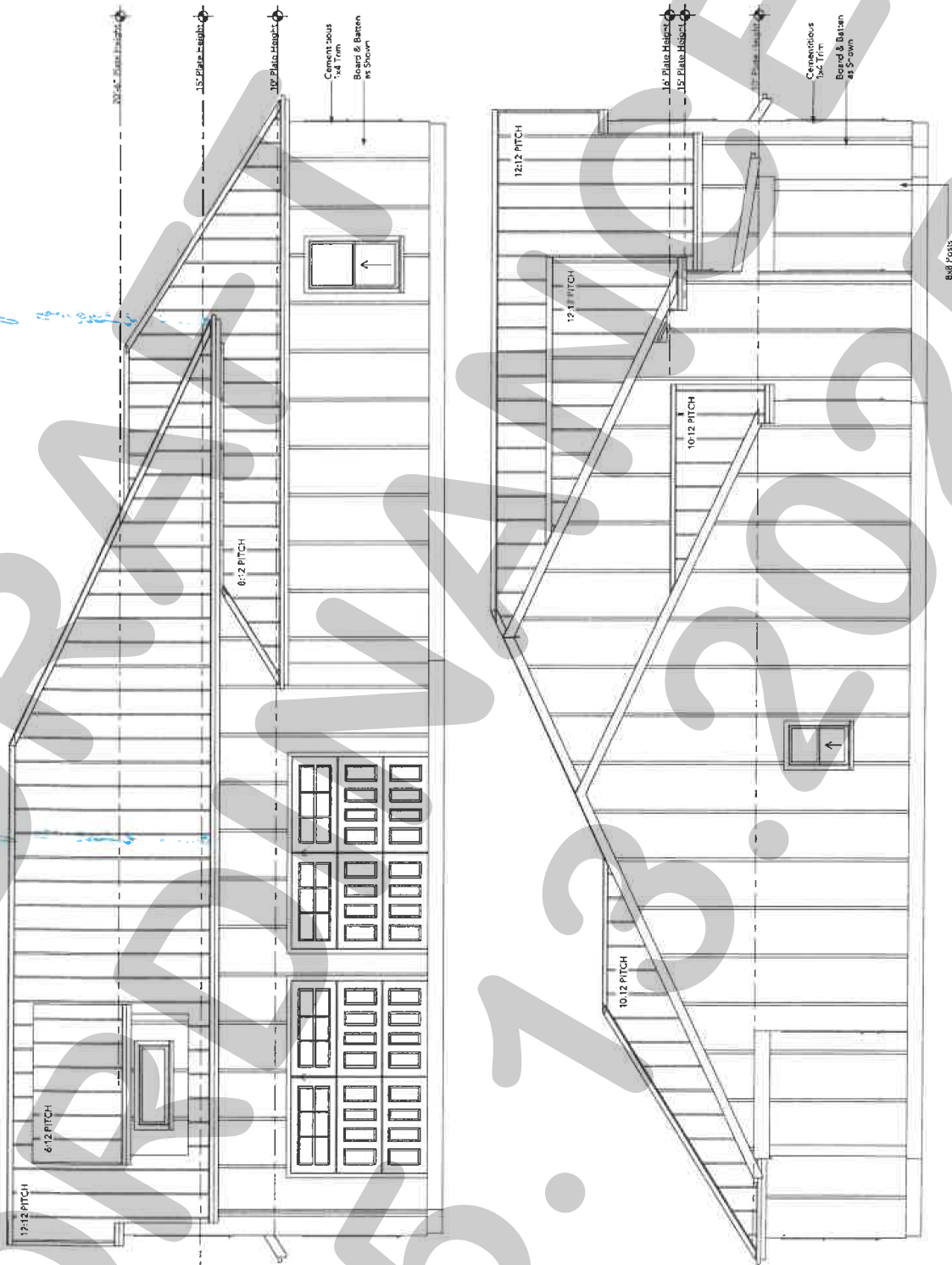


Exhibit 'C':
Building Elevations



Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: May 19, 2025

APPLICANT: Jerret R. Smith

CASE NUMBER: Z2025-022; *Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation. On December 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0; however, on December 16, 2024, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 6-0. The stated reason for the denial was due to the applicant not being present at the meeting. On March 25, 2025, the Planning and Zoning Commission approved a motion by a vote of 7-0, permitting the applicant to resubmit the original request prior to the standard one (1) year waiting period.

PURPOSE

The applicant -- *Jerret R. Smith* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 704 S. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant parcel of land (*i.e. Lot 1, Block A, Highridge Estates Addition*) zoned Single-Family 10 (SF-10) District. Beyond this is W. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is First Baptist Church of Rockwall (*i.e. Lot 1, Block A, First Baptist Church Addition Phase 3*) which is situated on a 9.43-acre tract of land and is zoned both Single-Family 10 (SF-10) District and General Retail (GR) District.

South: Directly south of the subject property are six (6) parcels of land (*i.e. 706, 710, 804, 806, 808, & 810 S. Alamo Road*) developed with single-family homes that are within the Highridge Estates Subdivision. Beyond this is the Spong Subdivision, which consists of five (5) lots developed with single-family homes. All of these parcels are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S. Alamo Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the Amachris Subdivision, which consists of seven (7) lots developed with single-family homes and is zoned Planned Development District 12 (PD-12). Beyond this is a 1.9192-acre parcel of land (*i.e. Lot 2, Block 1, Goliad Place Addition*), which consists of the First Baptist Church Student Ministry and is zoned General Retail (GR) District.

West: Directly west of the subject property are six (6) parcels of land (*i.e. 703, 705, 707, 711, 713, & 715 Forest Trace*) developed with single-family homes and one (1) vacant parcel of land (*i.e. 709 Forest Trace*). Beyond this is Forest Trace, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the remainder of the Highridge Estates Subdivision, which consists of 99 lots and is zoned Single-Family District 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is situated within the Highridge Subdivision, which is 98.00% developed, consists of 97 residential lots, and has been in existence since June 1, 1972. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing along Forest Trace and S. Alamo Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Alamo Road and in Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	The homes along S. Alamo face onto S. Alamo Road.	The front elevation of the home will face S. Alamo Road.
Year Built	1978- 2015	N/A
Building SF on Property	2,126 SF – 4,957 SF	5,059 SF
Building Architecture	Single Family Homes and Four (4) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	25-Feet
Side	6-Feet	6-Feet
Rear	10-Feet	X>10-Feet
Building Materials	Brick, Siding, Stone and Stucco	Board and Batten Siding
Paint and Color	Brown, Red, White, Orange	N/A
Roofs	Composite Shingles	Board and Batten
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of rear entry garages or no garages.	The proposed home will incorporate a j-swing garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Alamo Road and Forest Trace and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On April 18, 2025, staff mailed 66 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows, Bent Creek Condos, and Highridge Estates Homeowners Associations (HOAs), which are the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On May 13, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Commissioners Thompson and Hustings absent, and one (1) vacant seat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

704 S Alamo

SUBDIVISION

Highridge Est

LOT

2

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.196

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Jerret Smith

☐ APPLICANT

CONTACT PERSON

Jerret Smith

CONTACT PERSON

ADDRESS

9091 FM 2728

ADDRESS

CITY, STATE & ZIP

Tenelle TX 75141

CITY, STATE & ZIP

PHONE

469-409-8515

PHONE

E-MAIL

JSC@Rockwall@yahoo.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

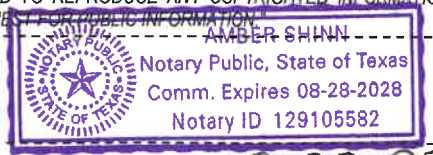
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

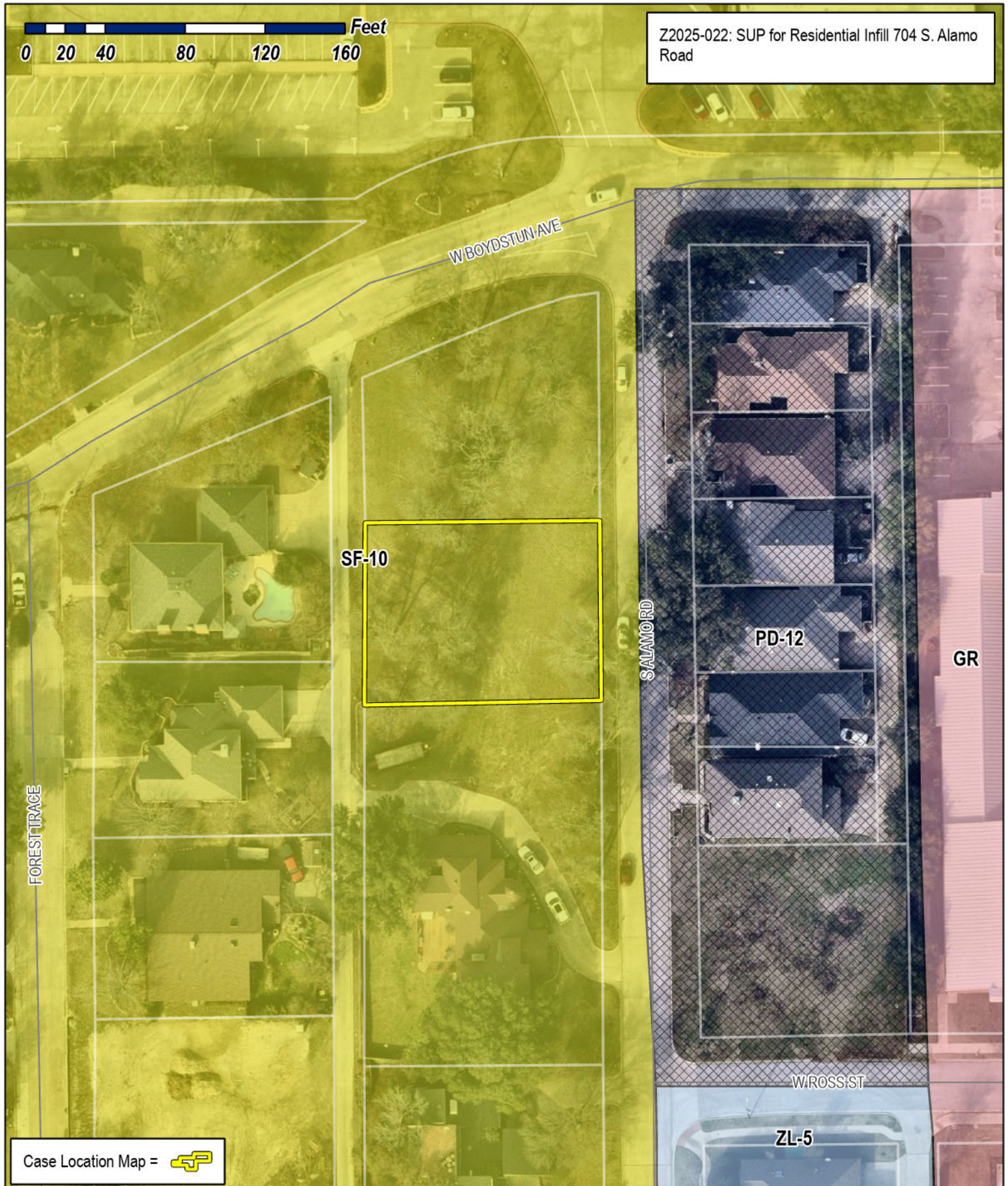
Jerret Smith
Amber Shinn

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

8.28.28



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

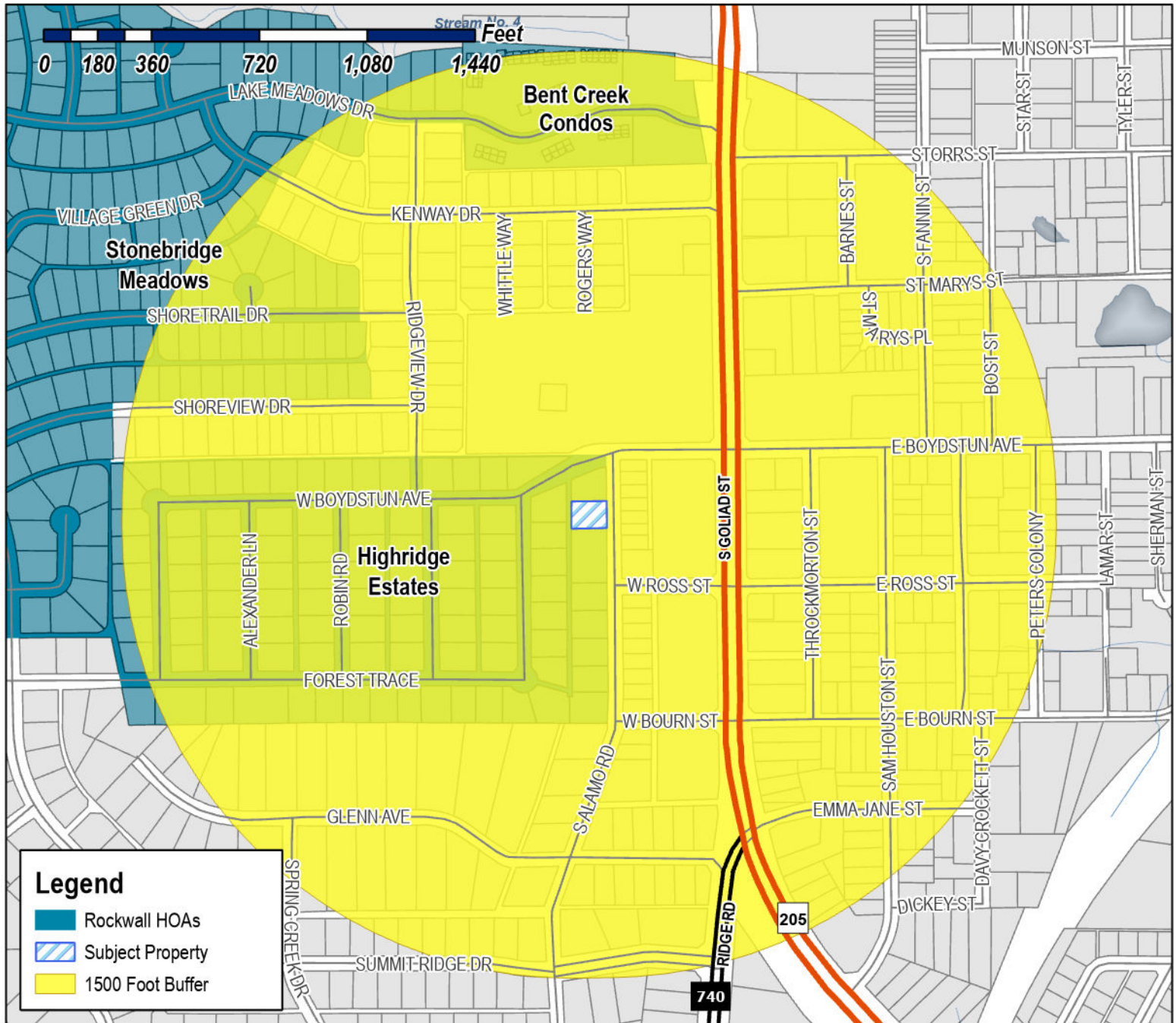




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Case Number: Z2025-022
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 704 S. Alamo Road

Date Saved: 4/17/2025

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-022]
Date: Wednesday, April 23, 2025 3:19:35 PM
Attachments: [Public Notice \(04.21.2025\).pdf](#)
[HOA Map \(04.17.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, April 25, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

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Z2025-022: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

Thank you,

Melanie Zavala

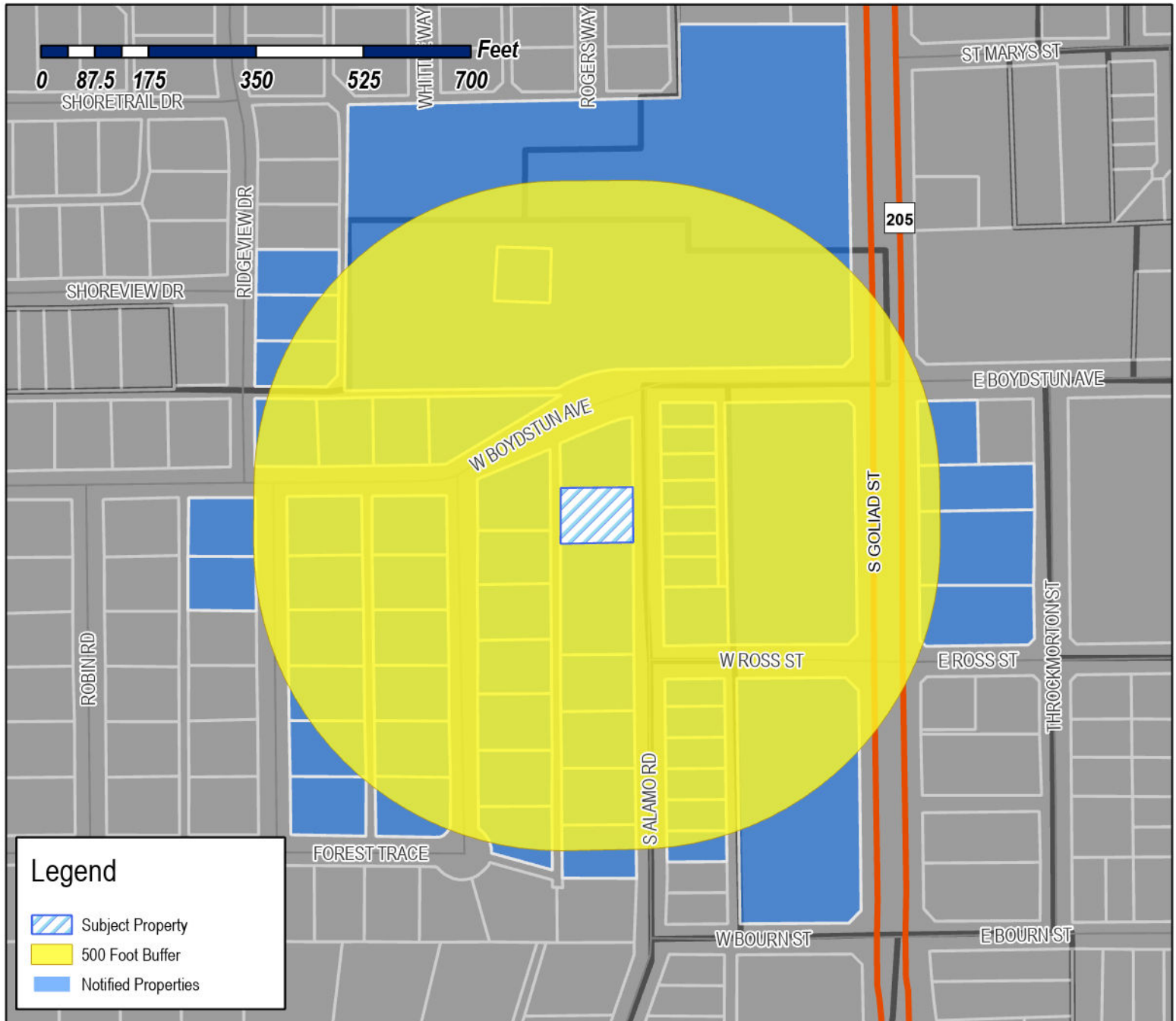
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-022
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 704 S. Alamo Road

Date Saved: 4/17/2025

For Questions on this Case Call: (972) 771-7745



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

FIRST BAPTIST CHURCH OF ROCKWALL
108 W ROSS ST
ROCKWALL, TX 75087

FLEMING LINDA
1116 SQUAW VALLEY
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

OTTO IRIS
1502 S 1st St Ste 3
Garland, TX 75040

TIJERINA MANUEL
1713 MISSION DR
GARLAND, TX 75042

BARNHILL BARNEY M
202 DARTBROOK
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

VEST JEREMY DEREK
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

BOYDSTON CEMETERY
C/O JOHN R HANEY
308 S FANNIN ST
ROCKWALL, TX 75087

HOGUE NEVA MAE
513 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
515 RIDGEVIEW DR
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 Sorita Cir
Heath, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO DR
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

SMITH JERRET R & ALICIA N
704 S ALAMO RD
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO
ROCKWALL, TX 75087

GREER JOSEPH CARLTON III AND CORI
705 SOUTH GOLIAD STREET
ROCKWALL, TX 75087

KIM LYNN & TODD J MOUNCE
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 S ALAMO
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

MILLER FRANK R
711 S GOLIAD ST
ROCKWALL, TX 75087

GRAY JIM
712 FOREST TRACE
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

RESIDENT
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

CONFIDENTIAL
PO BOX 1816
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 19, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Please place a check mark on the appropriate line below:

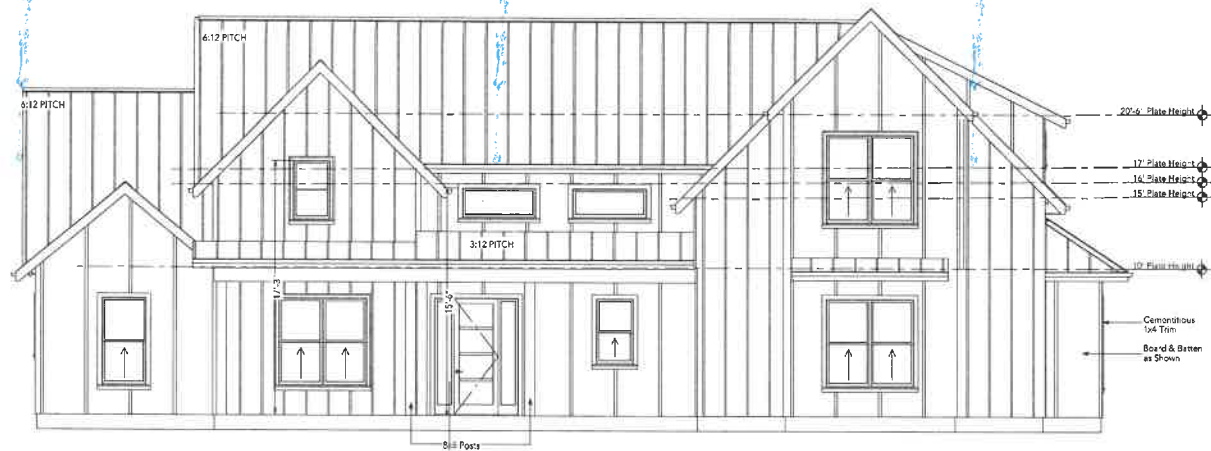
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

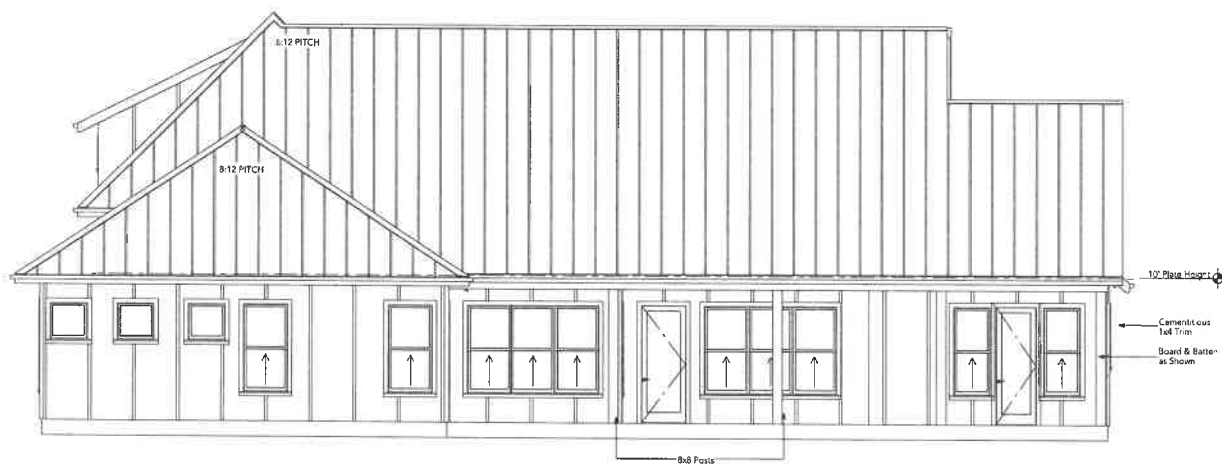
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION
Scale: 1/8" = 1'-0"



REAR ELEVATION
Scale: 1/8" = 1'-0"

REVISION	DATE	BY	DESCRIPTION
1	12/11/2024	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear
Elevations

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royse City, TX 409-338-1194

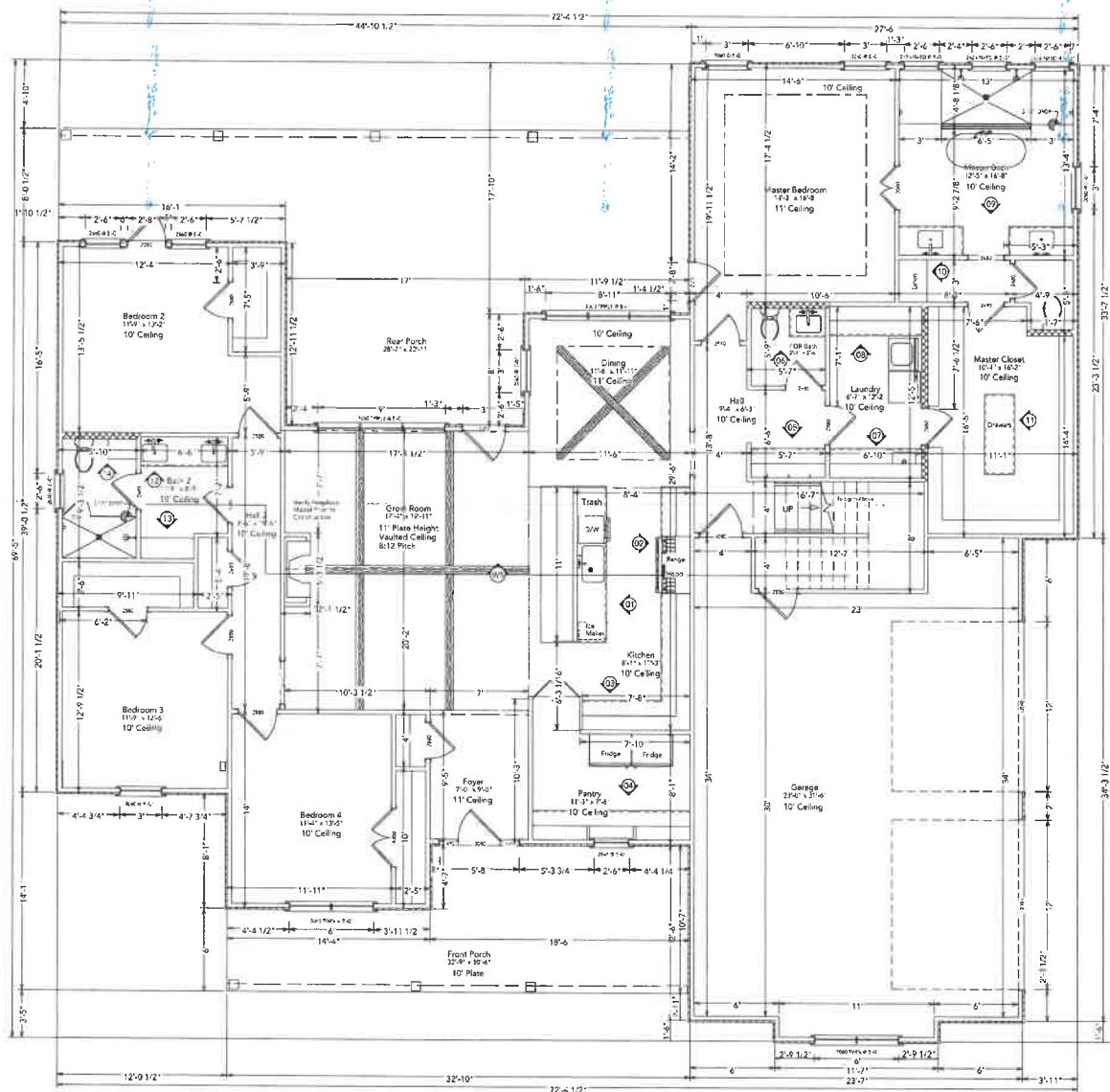
DATE:
12/11/2024

SCALE:
As Noted

SHEET:

A-3





1st FLOOR PLAN

Scale: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Fr. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	11/2/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

1st Floor Plan

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Rogers City, TX 409-338-1194

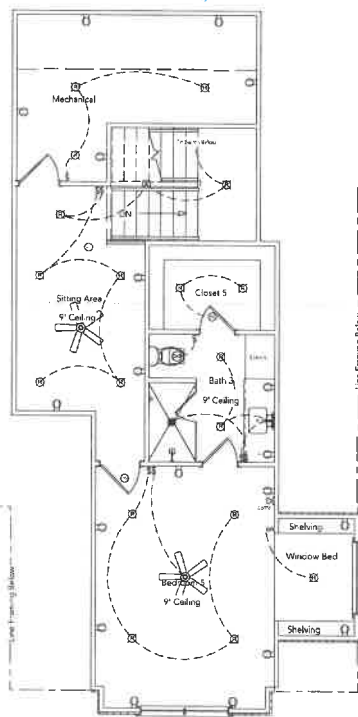
DATE:
12/11/2024

SCALE:

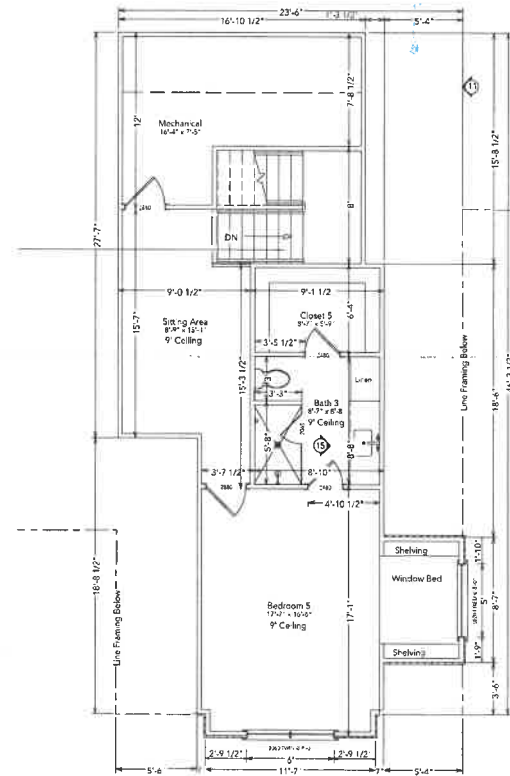
As Noted

SHEET:

A-5



2nd FLOOR ELECTRICAL



2nd FLOOR PLAN

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
Total	=	5,050 s.f.

DATE	BY	DESCRIPTION
12/24	JAS	REDUCE SIZE FOR BUILDING DETAIL

JS Custom Homes, LLC
704 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/
2nd Floor Electrical

DRAWINGS PROVIDED BY:
Chanda Steele
Drafting
Royce City, TX 409-338-1194

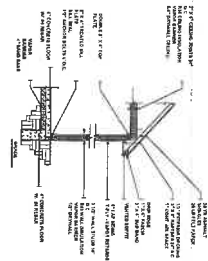
DATE:
12/11/2024

SCALE:
As Noted

SHEET:

A-6

STANDARD	TEST	MINIMUM SCORE	COMPLIANT
1. <u>STANDARD</u>	1. <u>TEST</u>	1. <u>MINIMUM SCORE</u>	1. <u>COMPLIANT</u>
2. <u>STANDARD</u>	2. <u>TEST</u>	2. <u>MINIMUM SCORE</u>	2. <u>COMPLIANT</u>
3. <u>STANDARD</u>	3. <u>TEST</u>	3. <u>MINIMUM SCORE</u>	3. <u>COMPLIANT</u>
4. <u>STANDARD</u>	4. <u>TEST</u>	4. <u>MINIMUM SCORE</u>	4. <u>COMPLIANT</u>
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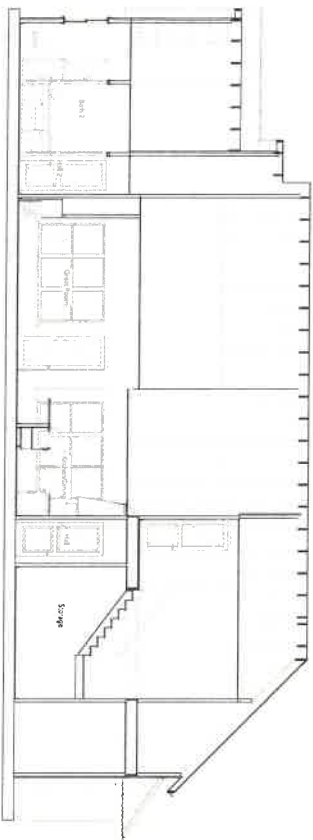


**Typical 1 Story
Section**

DOI: 10.1002/for

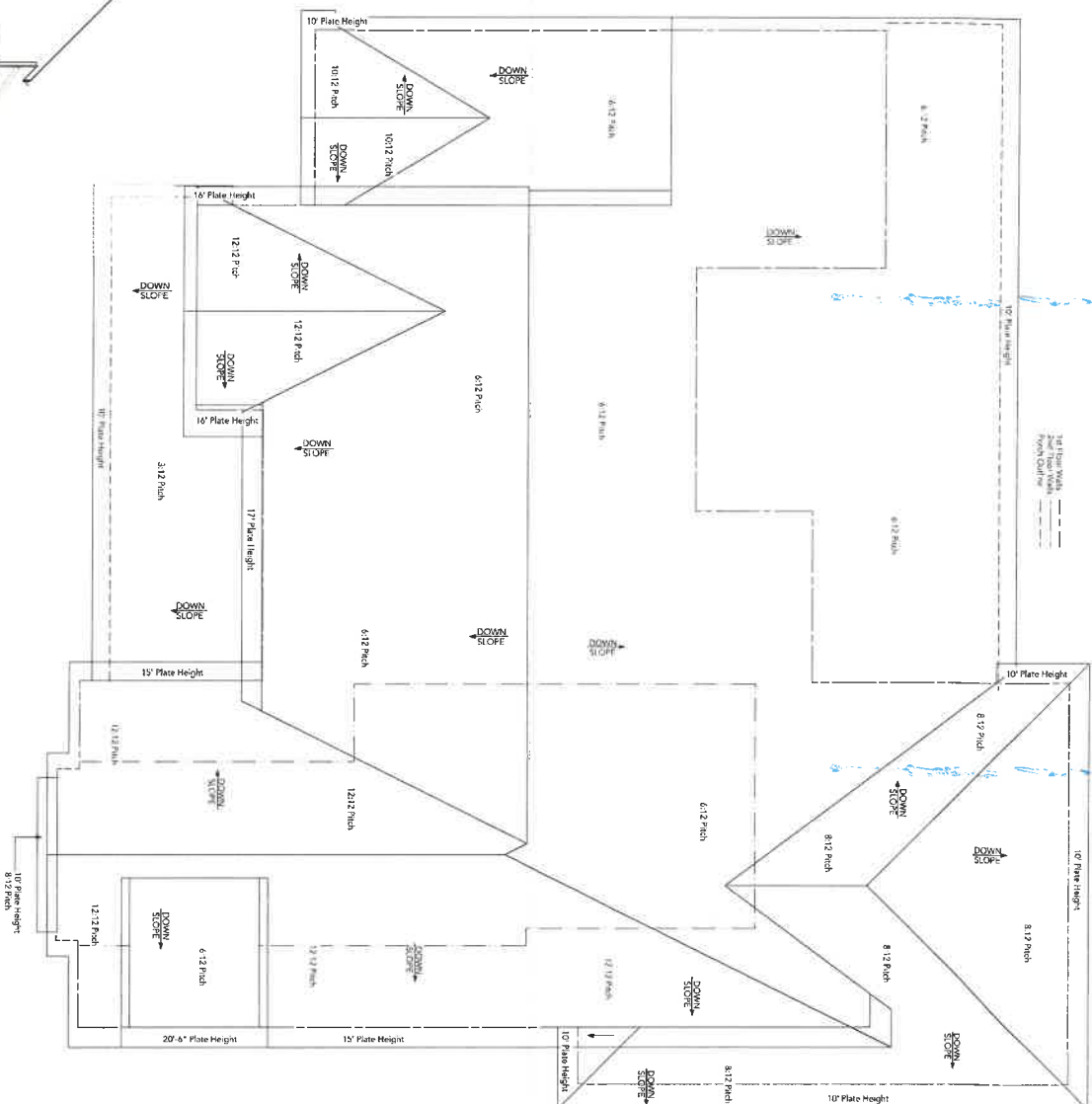
TYPE WALL SECTION

2000-2001



WALL SECTION

MsC-904-200



Pyren Duffin

REVISION TABLE			
#	DATE	BY	DESCRIPTION
1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC

704 S. ALAMO DR. ROCKWALL, TX

Roof Plan/Wall Sections & Schedules

DRAWINGS PROVIDED BY:

**Chanda Steele
Drafting**

Royse City, TX 469-338-1194

DATE:	12/11/2024
SCALE:	As Noted
SHEET:	

A-8



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
701 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
702 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
703 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
704 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
705 S. Alamo Road	Single-Family Home	1983	2,224	N/A	Brick
706 S. Alamo Road	Single-Family Home	1981	4,374	N/A	Brick and Siding
707 S. Alamo Road	Single-Family Home	1982	2,126	N/A	Brick and Siding
710 S. Alamo Road	Single-Family Home	1981	4,957	N/A	Brick and Stucco
804 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
806 S. Alamo Road	Single-Family Home	2007	3,745	N/A	Brick
808 S. Alamo Road	Single-Family Home	2015	3,814	N/A	Brick
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, & Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
AVERAGES:		1989	3,583	90	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

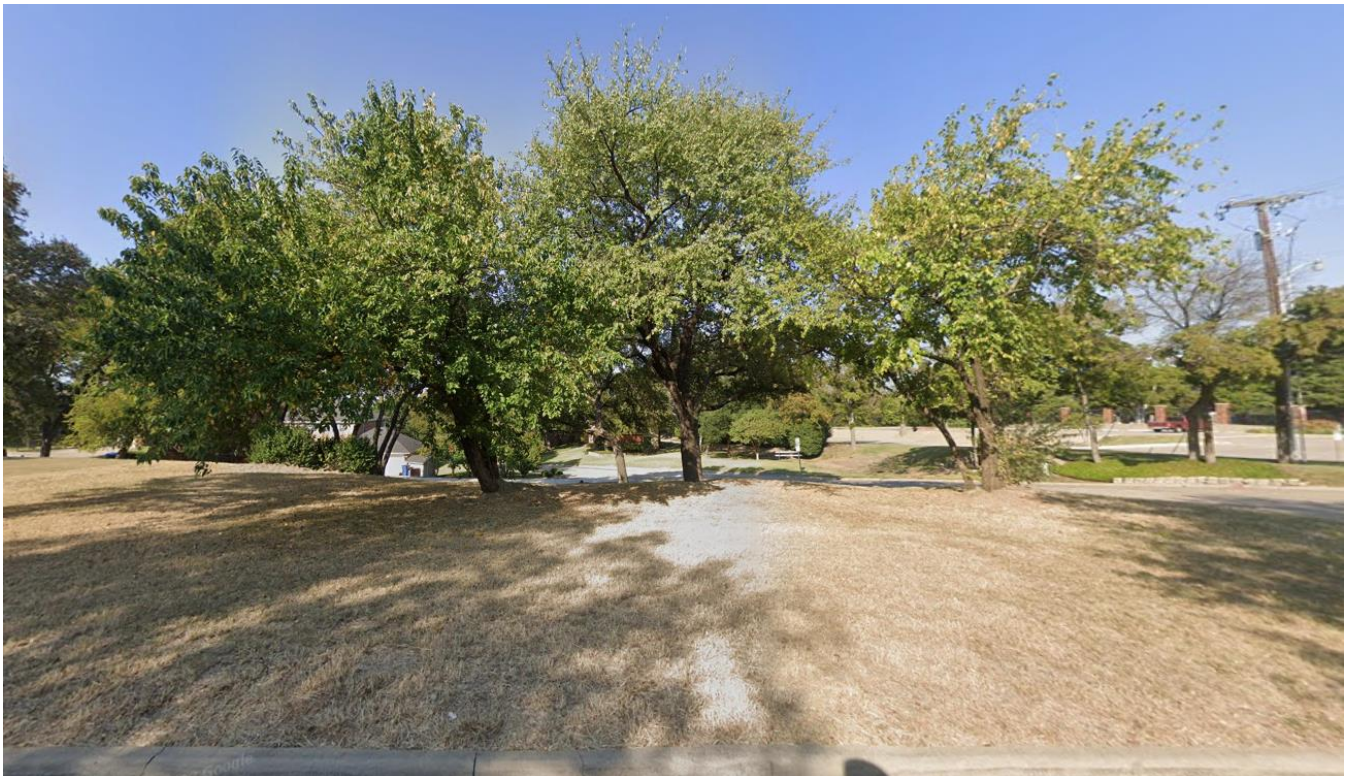
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



701 S. Alamo Road



702 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



703 S. Alamo Road



704 S. Alamo



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



705 S. Alamo Road



706 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



707 S. Alamo Road



710 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



804 S. Alamo Road



806 S. Alamo Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



808 S. Alamo Road



703 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



705 Forest Trace



707 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



709 Forest Trace



711 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1960-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, HIGHRIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF JUNE, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

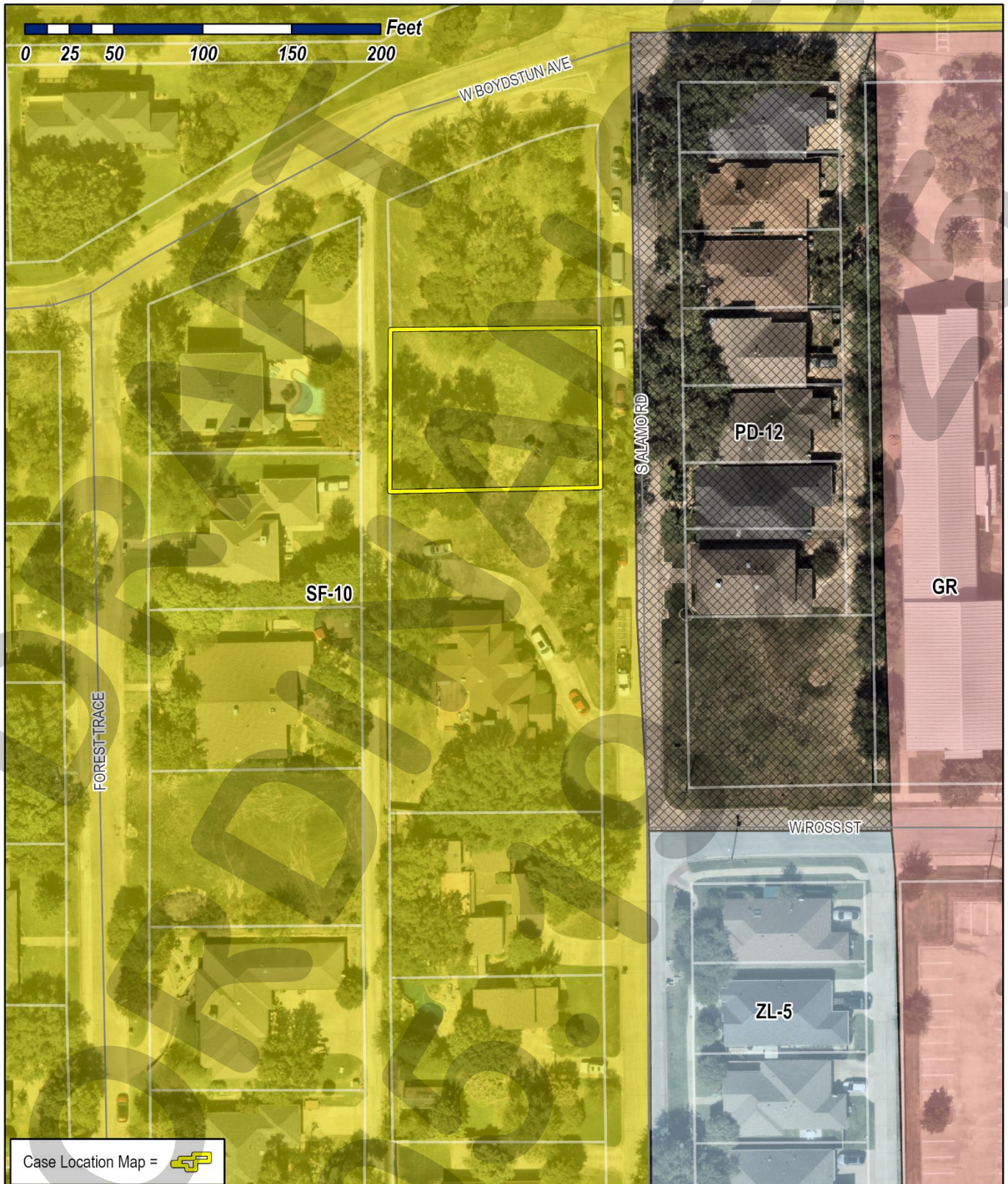
1st Reading: May 19, 2025

2nd Reading: June 2, 2025

Exhibit 'A':
Location Map

Address: 704 S. Alamo Road

Legal Description: Lot 2, Block A, Highridge Addition



N 0° 59' 49" W 91.86'

6'-0 1/2"

72'-4 1/2"

13'-5 5/16"

S 89° 00' 11" W 119.50'

5' BUILDING SETBACK

N 89° 00' 11" E 119.50'

6'-0 1/2"

68'-5 1/2"

17'-4 5/16"

5'

25' BUILDING SETBACK

S 0° 59' 49" E 91.86'

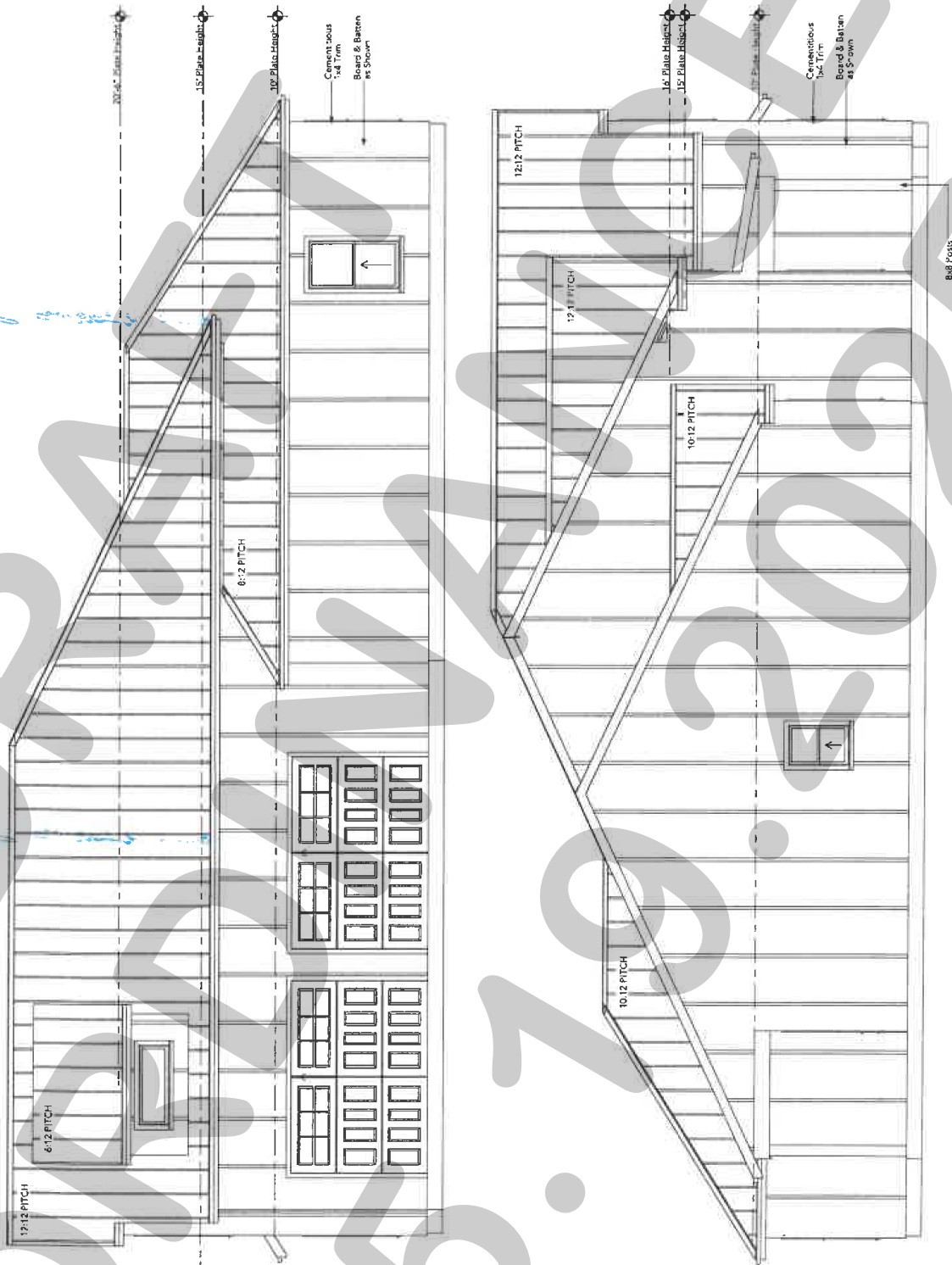
S. ALAMO ROAD

DRAFT

Exhibit 'C':
Building Elevations



Exhibit 'C':
Building Elevations





May 28, 2025

TO: Jerret Smith
9091 FM 2728
Terrell, TX 75161

FROM: Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2025-022; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 704 S. Alamo Road*

Mr. Smith:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was denied by the City Council on December 16, 2024. The following is a record of all voting records:

Planning and Zoning Commission

On May 13, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the *Specific Use Permit (SUP)* by a vote of 4-0, with Commissioners Thompson and Hustings absent, and one (1) vacant seat.

City Council

On May 19, 2025, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (*i.e. an application for the same request may be filed at the applicant's discretion*). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department