



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
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ZONING APPLICATION FEES:

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- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE (1) ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest Corner of Park Hills Blvd and John King Blvd

SUBDIVISION Boardwalk Develment Addition

LOT 1 BLOCK A

GENERAL LOCATION Park Hills and John King Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-71

CURRENT USE Vacant

PROPOSED ZONING No Change

PROPOSED USE Pickleball as acessory

ACREAGE 2.5 Acres

LOTS [CURRENT] 1

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Rockwall Property Corp

☒ APPLICANT Greenlight Studio

CONTACT PERSON Bill Bricker

CONTACT PERSON Tyler Adams

ADDRESS 2235 Ridge Road
Suite 201

ADDRESS 100 N. Cottonwood Drive
Suite 104

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Richardson, Texas 75080

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED C.W. Bricker [OWNER] THE UNDERSIGNED WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 20.25 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE 20 25. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

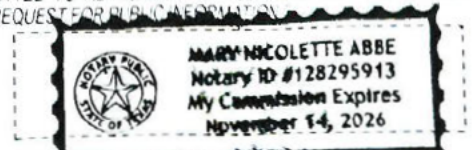
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF June 20 25

OWNER'S SIGNATURE

CW Bricker

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary Nicolette Abbe

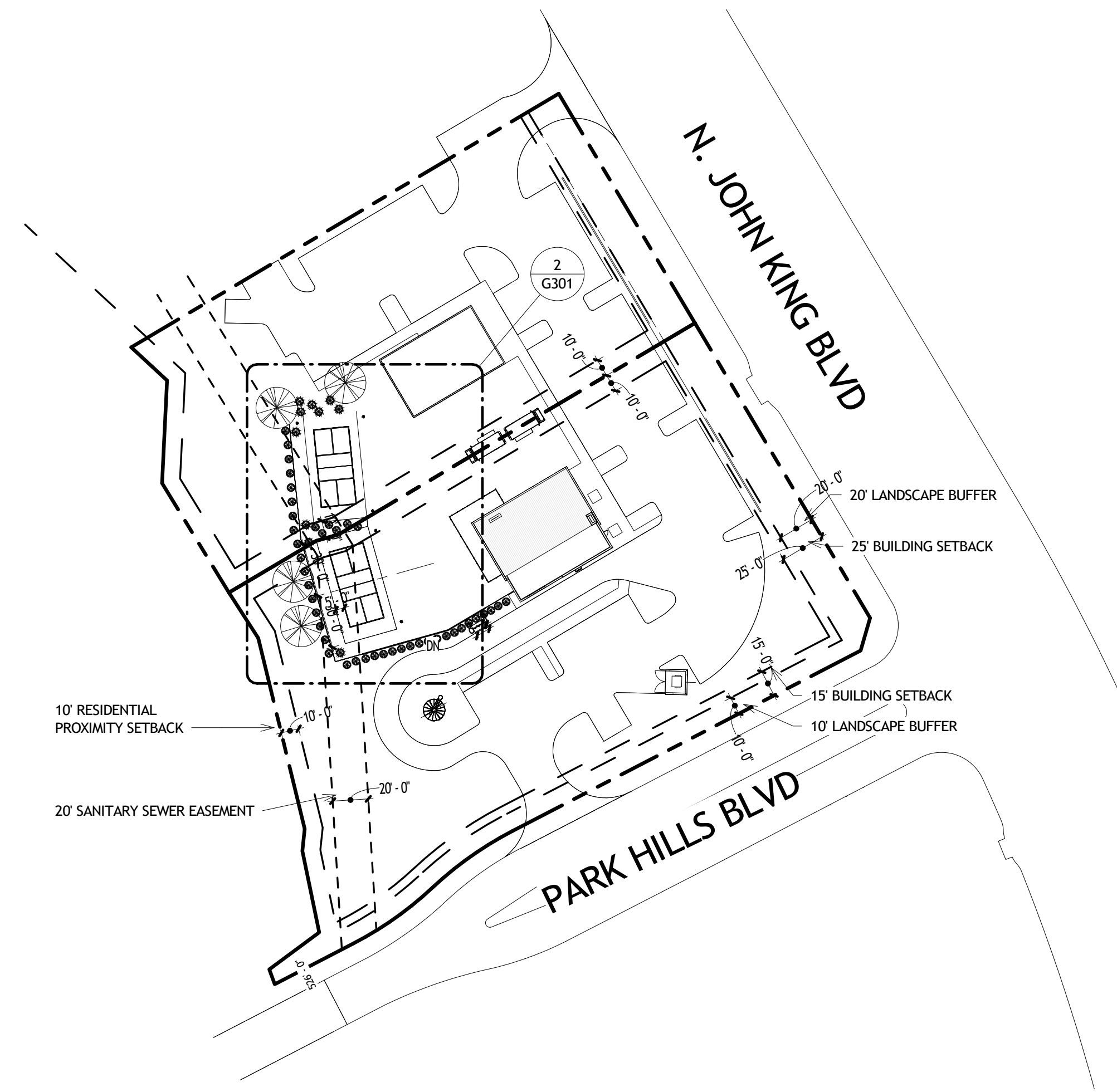
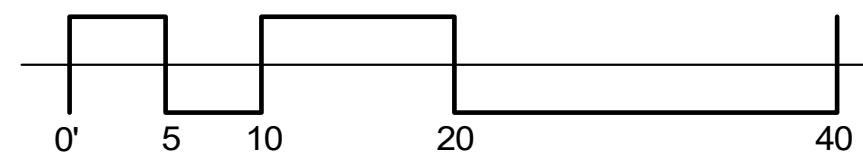


MY COMMISSION EXPIRES

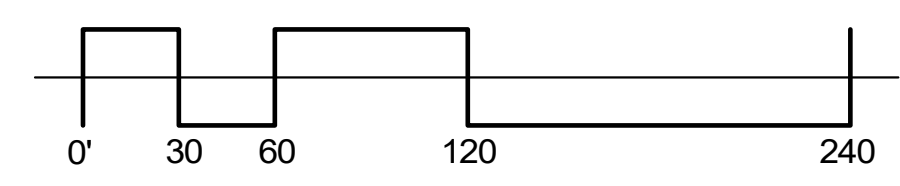
11/14/2026



2 SUP Pickleball Court Plan
1" = 10'-0"

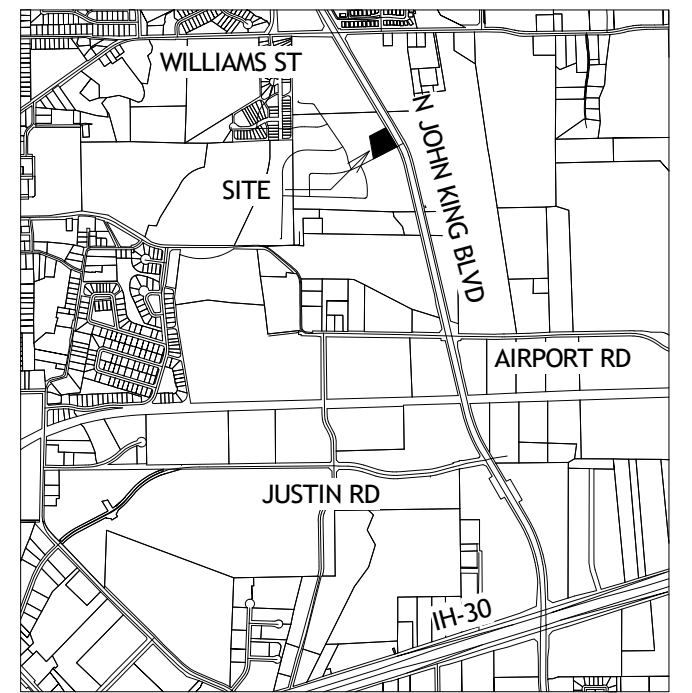


1 SUP Overall Site plan
1" = 60'-0"



Site Information
Lot
Subdivided:
Total Parcel Size:
Remaining Parcel:
Current Zoning:
Proposed Zoning:
Proposed Use:
Max Height:
Front Yard Setback:
Side Yard Setback:
Back Yard Setback:
Max Lot Coverage:
Max Floor Area Ratio:

Proposed Part of Existing Lot 1
Proposed Lot 1A and 1B Block A
Lot "1A": 65,076 SF / 1.49 Acres
Lot "1B": 43,884 SF / 1.01 Acres
108,960 SF / 2.5 Acres
87,060 SF / 2.0 Acres
Planned Development 72
No Change
Pickleball Court as Accessory Use
60'
15'
10'
20'
60%
4:1



VICINITY MAP - NTS

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.810.4355

Owner:
Rockwall Property Corp
2000 Ridge Road
Suite 201
Rockwall, Texas 75087

Specific Use Permit - Pickleball Courts
Rockwall Coffee
N. John King Blvd
Rockwall, Texas

Portion of Lot 1, Block A 108,960 SF/2.5 Acres
Boardwalk Development Addition
City of Rockwall, County of Rockwall, Texas
George W. Redlin Survey, A 183

Prepared June 10, 2026



DEVELOPMENT APPLICATION

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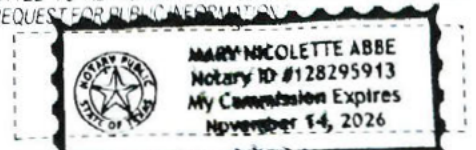
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CW Bricker

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary Nicolette Abbe



MY COMMISSION EXPIRES

11/14/2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

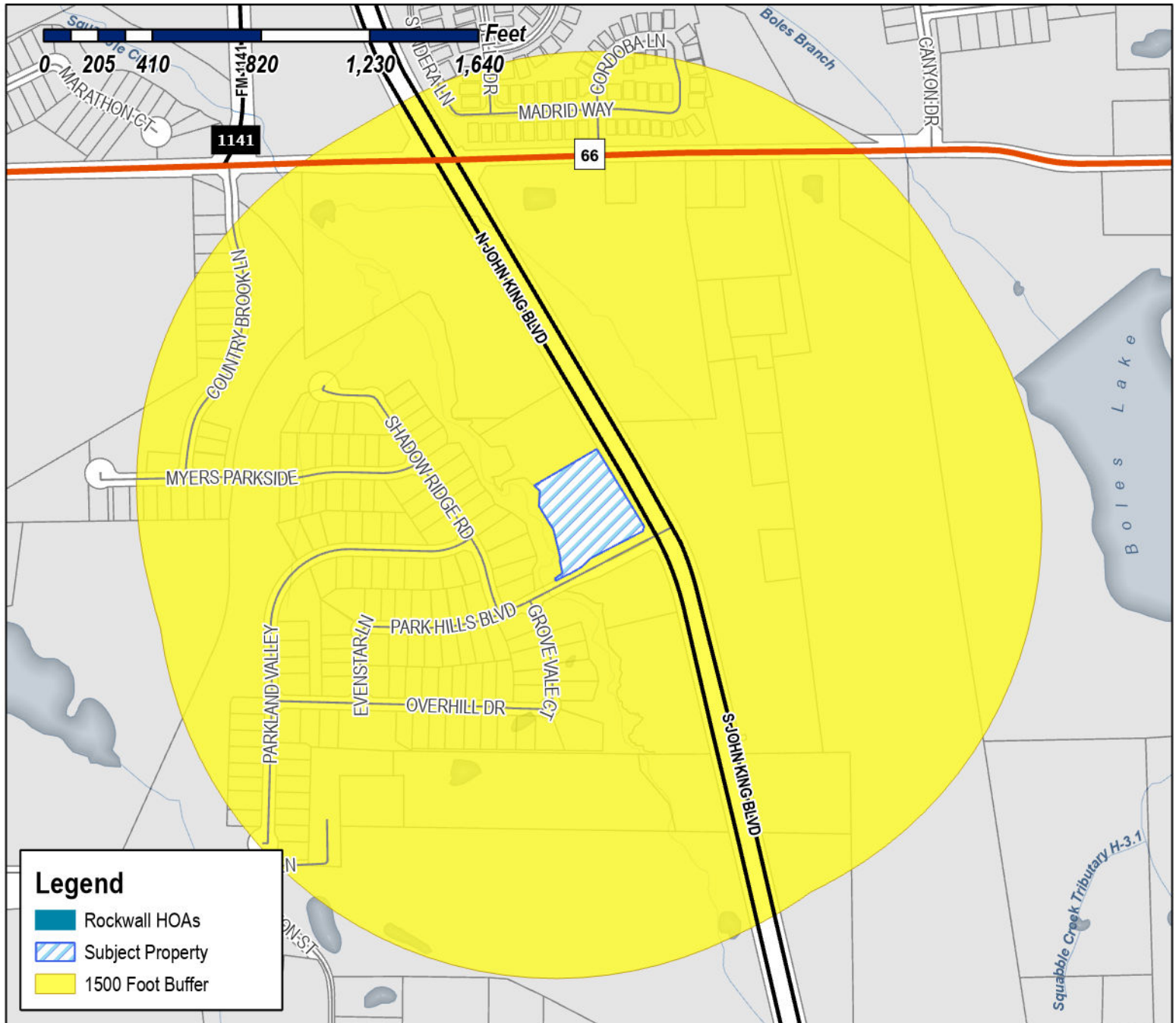




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Case Number: Z2025-042
Case Name: SUP for Outdoor Commercial Amusement/ Recreation
Case Type: Zoning
Zoning: Planned Development District 98 (PD-98)
Case Address: NW Corner of Park Hills and John King

Date Saved: 6/13/2025

For Questions on this Case Call (972) 771-7745

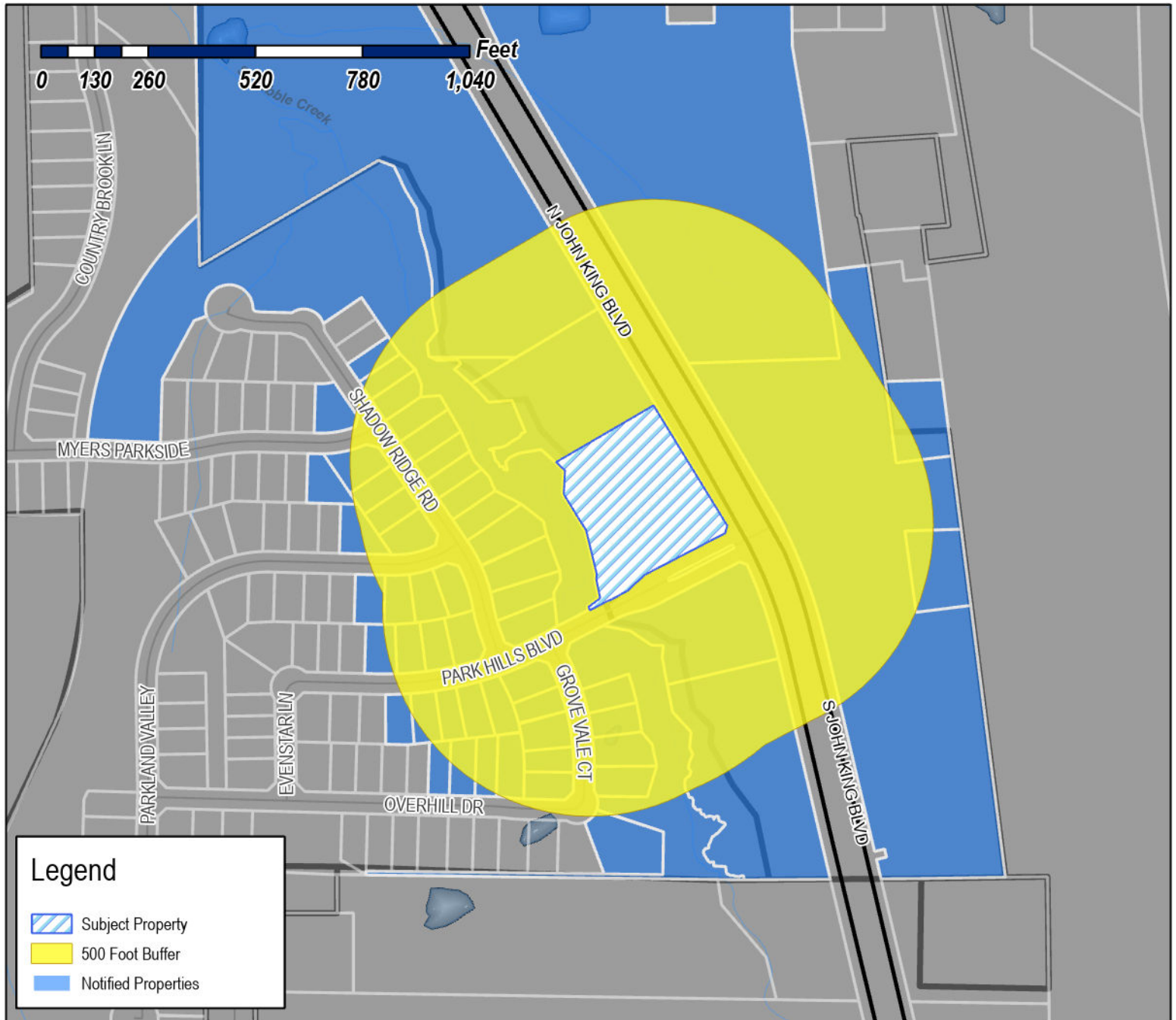




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Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

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Case Name: SUP for Outdoor Commercial Amusement/ Recreation

Case Type: Zoning

Zoning: Planned Development District 98 (PD-98)

Case Address: NW Corner of Park Hills and John King

Date Saved: 6/13/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
1427 MYERS PARKSIDE
ROCKWALL, TX 75087

RESIDENT
1428 MYERS PARKSIDE
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US)
14400 THE LAKES BLVD STE 200 BLDG C
PFLUGERVILLE, TX 78660

PACESETTER HOMES, LLC
14400 THE LAKES BLVD BLDG C STE 200
AUSTIN, TX 78660

RESIDENT
1519 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1523 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1524 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1527 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1528 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1531 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1532 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1535 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1536 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1545 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
203 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
204 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
207 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
208 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
210 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
211 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
214 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
215 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
219 GROVE VALLEY CT
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP
ATTN:BILL BRICKER
2235 RIDGE RD STE 201
ROCKWALL, TX 75087

RESIDENT
239 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
240 PARKLAND VALLEY
ROCKWALL, TX 75087

DVB AIRPORT LLC
2421 KATHRYN DR
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

RESIDENT
244 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
248 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
252 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
302 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
306 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
310 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
314 SHADOW RIDGE RD
ROCKWALL, TX 75087

SHANE HOMES (TEXAS) INC
325 N SAINT PAUL ST STE 3100 #2901
DALLAS, TX 75201

RESIDENT
400 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
404 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
405 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
408 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
409 SHADOW RIDGE RD
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RESIDENT
412 SHADOW RIDGE RD
ROCKWALL, TX 75087

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413 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
416 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
417 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
420 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
502 SHADOW RIDGE RD
ROCKWALL, TX 75087

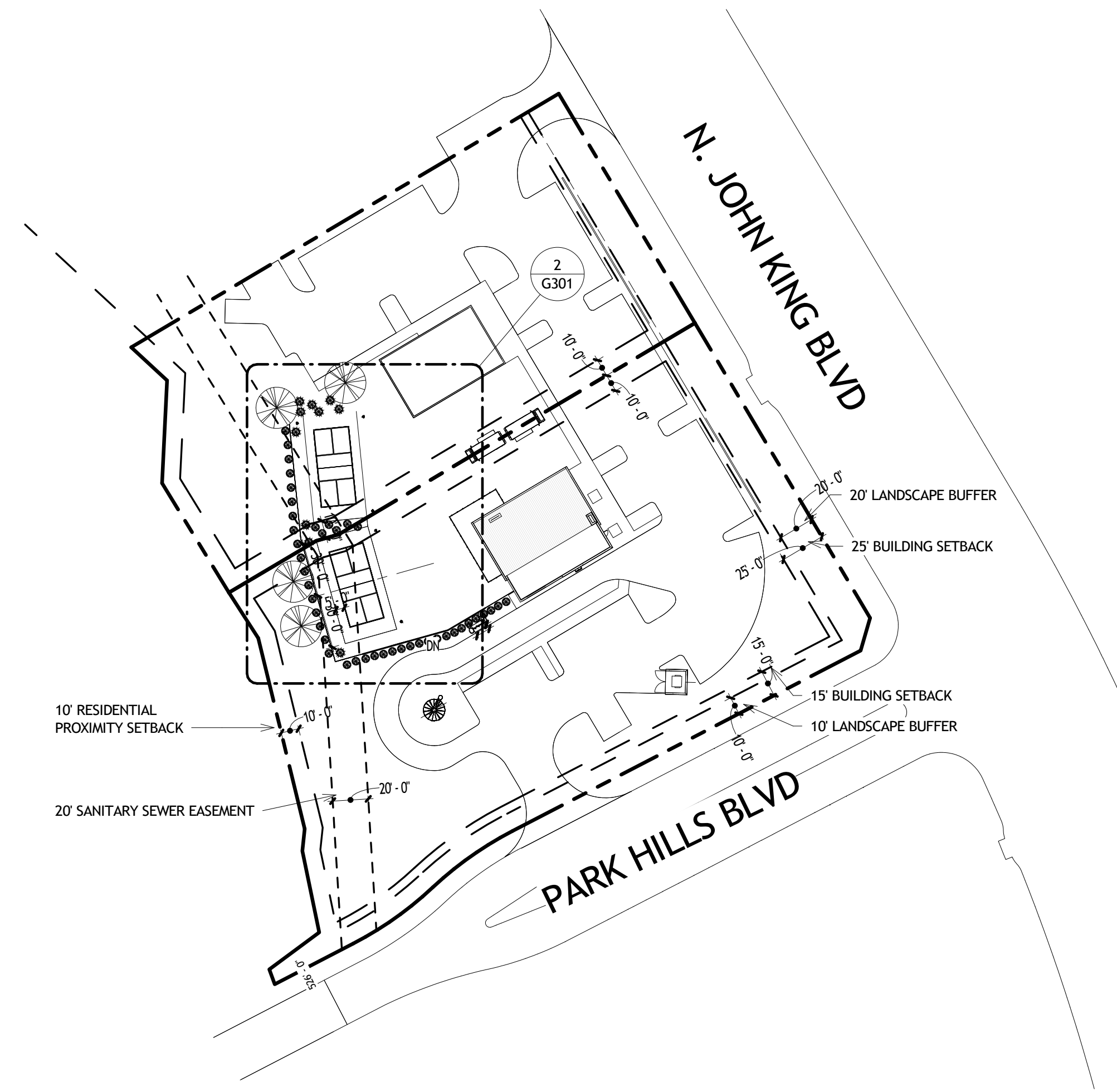
RESIDENT
506 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
510 SHADOW RIDGE RD
ROCKWALL, TX 75087

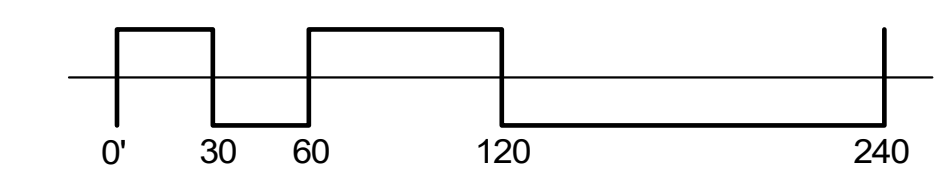
WAS HOLDINGS LLC
7091 ELM ST
FRISCO, TX 75034



2 SUP Pickleball Court Plan
1" = 10'-0"



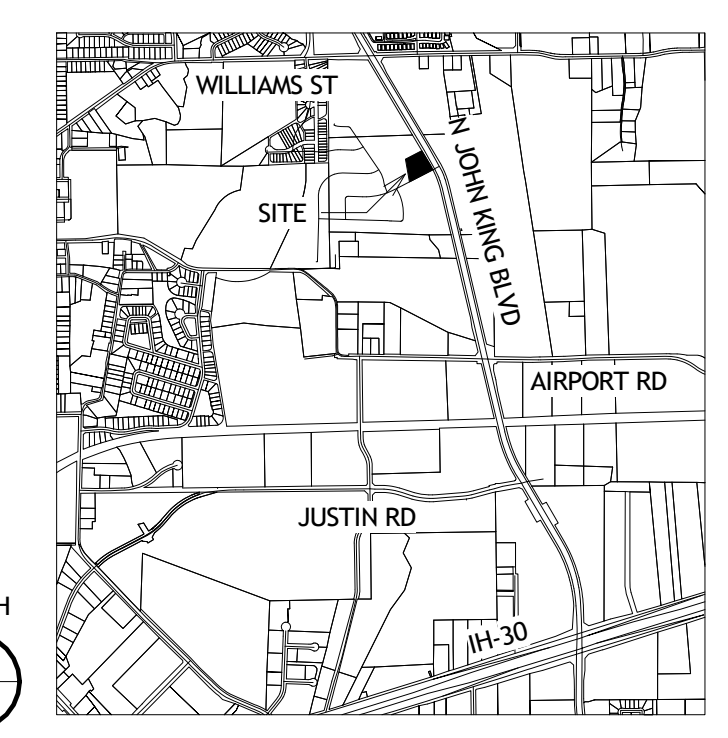
1 SUP Overall Site plan
1" = 60'-0"



Site Information

Lot
Subdivided:
Total Parcel Size:
Remaining Parcel:
Current Zoning:
Proposed Zoning:
Proposed Use:
Max Height:
Front Yard Setback:
Side Yard Setback:
Back Yard Setback:
Max Lot Coverage:
Max Floor Area Ratio:

Proposed Part of Existing Lot 1
Proposed Lot 1A and 1B Block A
Lot "1A": 65,076 SF / 1.49 Acres
Lot "1B": 43,884 SF / 1.01 Acres
108,960 SF / 2.5 Acres
87,060 SF / 2.0 Acres
Planned Development 72
No Change
Pickleball Court as Accessory Use
60'
15'
10'
20'
60%
4:1



VICINITY MAP - NTS

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.810.4335

Owner:

Rockwall Property Corp
2000 Ridge Road
Suite 201
Rockwall, Texas 75087

Specific Use Permit - Pickleball Courts
Rockwall Coffee

N. John King Blvd
Rockwall, Texas

Portion of Lot 1, Block A 108,960 SF/2.5 Acres
Boardwalk Development Addition
City of Rockwall, County of Rockwall, Texas
George W. Redlin Survey, A 183

Prepared June 10, 2026

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/19/2025

PROJECT NUMBER: Z2025-042
PROJECT NAME: SUP for a Pickleball Court
SITE ADDRESS/LOCATIONS: Northwest Corner of Park Hills Blvd and John King

CASE CAPTION: Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation in conjunction with a proposed Restaurant with Drive-Through or Drive-In on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	06/19/2025	Approved w/ Comments

06/19/2025: Z2025-042; Specific Use Permit (SUP) for an Outdoor Commercial Amusement/Recreation
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation in conjunction with a proposed Restaurant with Drive-Through or Drive-In on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, and generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-042) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.02(E)(3), Recreation, Entertainment and Amusement Land Uses, of Article 13, Definitions, of the Unified Development Code (UDC), an Outdoor Commercial Amusement/Recreation is defined as "(a)n amusement enterprise that offers entertainment or games of skill to the general public for a fee or charge wherein any portion of the activity takes place in the open." In this case, the Outdoor Commercial Amusement/Recreation is in conjunction with a proposed Restaurant with Drive-Through or Drive-In on the subject property.

M.5 According to Subsection 02.03(E)(3), Recreation, Entertainment and Amusement Land Uses, of Article 04, Permissible Uses, of the Unified Development Code (UDC), An Outdoor Commercial Amusement/Recreation has the following Conditional Use Standards:

- Outdoor Commercial Amusement/Recreation includes uses that provide outdoor entertainment (e.g. amusement parks, golf courses, outdoor music venues, batting cages, miniature golf etc.), but excludes drive-in movie theaters.
- Outdoor Commercial Amusement/Recreation includes temporary structures (e.g. tents, canopies, etc.) for events; however, temporary in this case does not include structures intended to serve uses for longer than 14-days.
- Outdoor Commercial Amusement/Recreation shall be a minimum of 300-feet from all residentially zoned or used property unless otherwise approved by the Planning and Zoning Commission and City Council.

In this case, the proposed Outdoor Commercial Amusement/Recreation is ~187-feet (separated by floodplain) from a residentially zoned or used property. A variance will be

required as part of this Specific Use Permit (SUP) request.

M.6 Where the property immediately abuts a residential zoning district or residentially used property -- unless separated by an M4D (major collector, four [4] lane, divided roadway) or larger thoroughfare -- a minimum 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF in area...This shall be in place of the buffer required by Subsection 5.02, Landscape Screening, of Article 08, Landscape and Fence Standards. The landscaped buffer must include a combination of berm and evergreen shrubs in addition to the requirements of Subsection 5.02, Landscape Screening, of Article 08, Landscape and Fence Standards. Planting may be grouped if approved by the Planning and Zoning Commission. (Subsection 04.01 (4), Article 05, UDC) Currently, the plans show evergreen screening. Please provide a landscape plan that shows the type and location of all plantings provided as well as the width of the buffer provided.

M.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

- a) The development of the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of this ordinance.
- b) The Outdoor Commercial Amusement/Recreation shall be at least 150-feet from any residentially used or zoned property.

1.8 The subject property is zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses. In a Commercial (C) District, an Outdoor Commercial Amusement/Recreation requires the approval of a Specific Use Permit (SUP). The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed Outdoor Commercial Amusement/Recreation is compatible with the surrounding area.

M.9 Please review the attached Draft Ordinance prior to the June 24, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than July 1, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 15, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on June 24, 2025.

I.11 The projected City Council meeting dates for this case will be July 21, 2025 (1st Reading) and August 4, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	06/17/2025	Approved w/ Comments

06/17/2025: 1. Any proposed fencing or courts will not be allowed within this sanitary sewer easement. May need to change sewer location.

2. Minimum 10' Utility easement required along all frontages. Required landscaping and berm may not be within utility easement. Addition utility easement width may be required along John King.

3. 16" water will be required along frontage of John King and in an easement inside the property.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.
- All utilities must be underground.

- Additional comments may be provided at time of Site Plan and Engineering.

Drainage Items:

- Detention is required. Detention calculations are based on zoning, not specific land use.
- Detention easement is required, set at the freeboard elevation.
- No vertical walls allowed in the detention easement.
- No public water or public sanitary sewer allowed in the detention easement.
- Detention must have a max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention ponds must be irrigated
- Existing flow patterns must be maintained. The site must drain to the existing floodplain behind the site.
- Must show erosion hazard setback in easement. No structures including paving allowed in erosion hazard setback.
- No vertical walls allowed in the existing floodplain or easements.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- Dumpster areas shall drain to an oil/water separator and then into the storm drainage system.
- No grate inlets allowed
- 100-year WSEL must be called out for the existing floodplain with labeled cross-sections.
- FFE for all buildings must be called out when adjacent to a floodplain or detention area. Minimum 2' above 100-year WSEL for both.
- Parking/Drive aisles must be at least 1 ft above the 100yr floodplain elevation.
- Detention must be above the 100yr floodplain elevation where adjacent and not allowed in the floodplain at all.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must show and meet erosion hazard setback for all creeks/streams.
- Flood Study required if encroaching into the floodplain. Review fees apply.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- The Park Hills development has installed sanitary sewer. There is an existing manhole along the south side of Park Hills Blvd. available for use.
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Will need to extended 16" water line along John King within an easement across the property per the Master Water Plan.
- Required to extend utilities (water, sewer) across the site to provide access to the future development to the north.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Need to install 8" public sewer to the northern property line.

Roadway Paving Items:

- Must meet City and TxDOT driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Install 10' trail along John King Blvd.
- TIA will be required for the drive-thru. Review fees apply.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/16/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	06/16/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/17/2025	Approved

No Comments

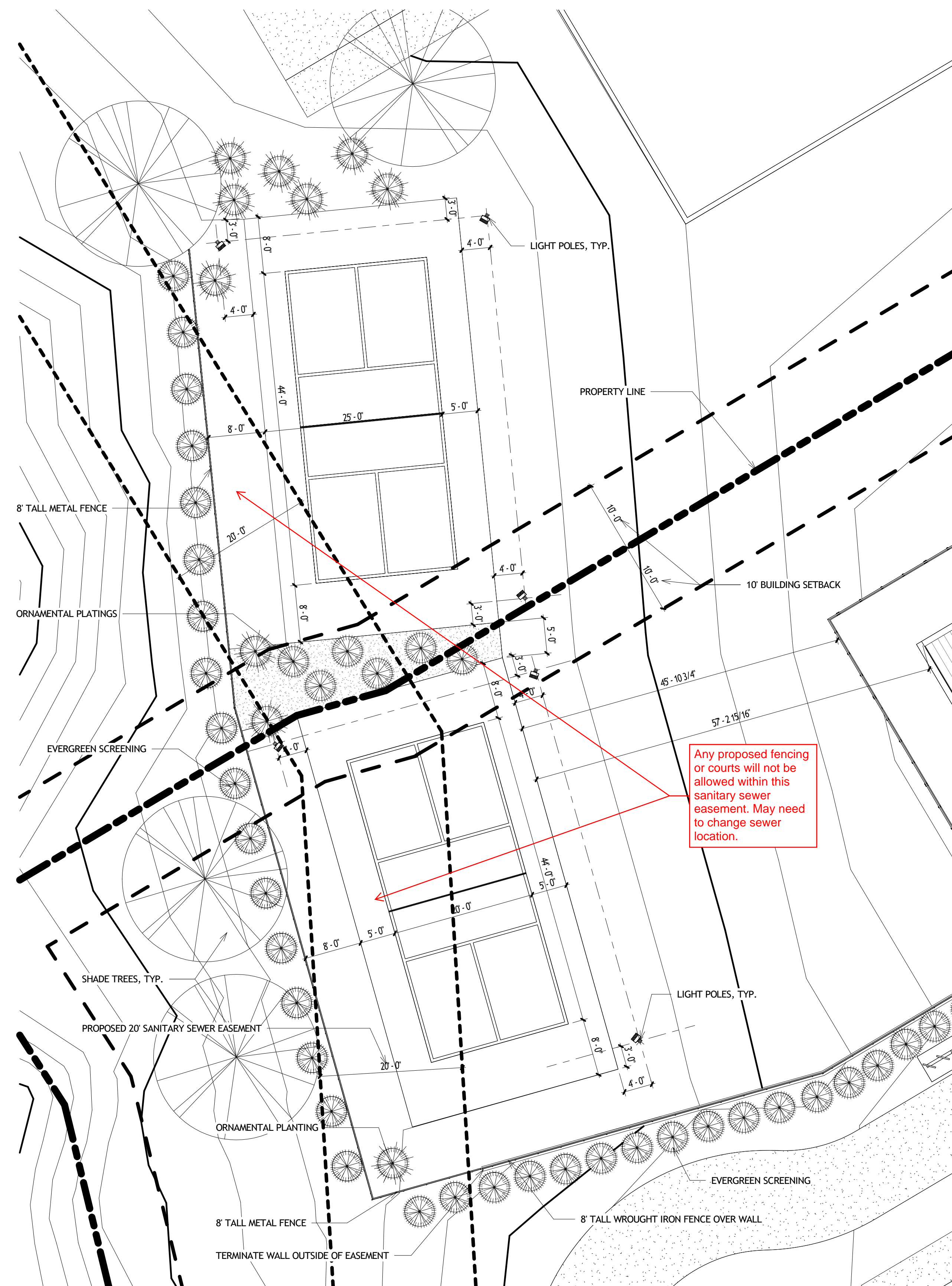
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- Impact Fees (Water, Sewer, Roadway).
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- The site will need to be platted.
- All utilities must be underground.
- Additional comments may be provided at time of Site Plan and Engineering.

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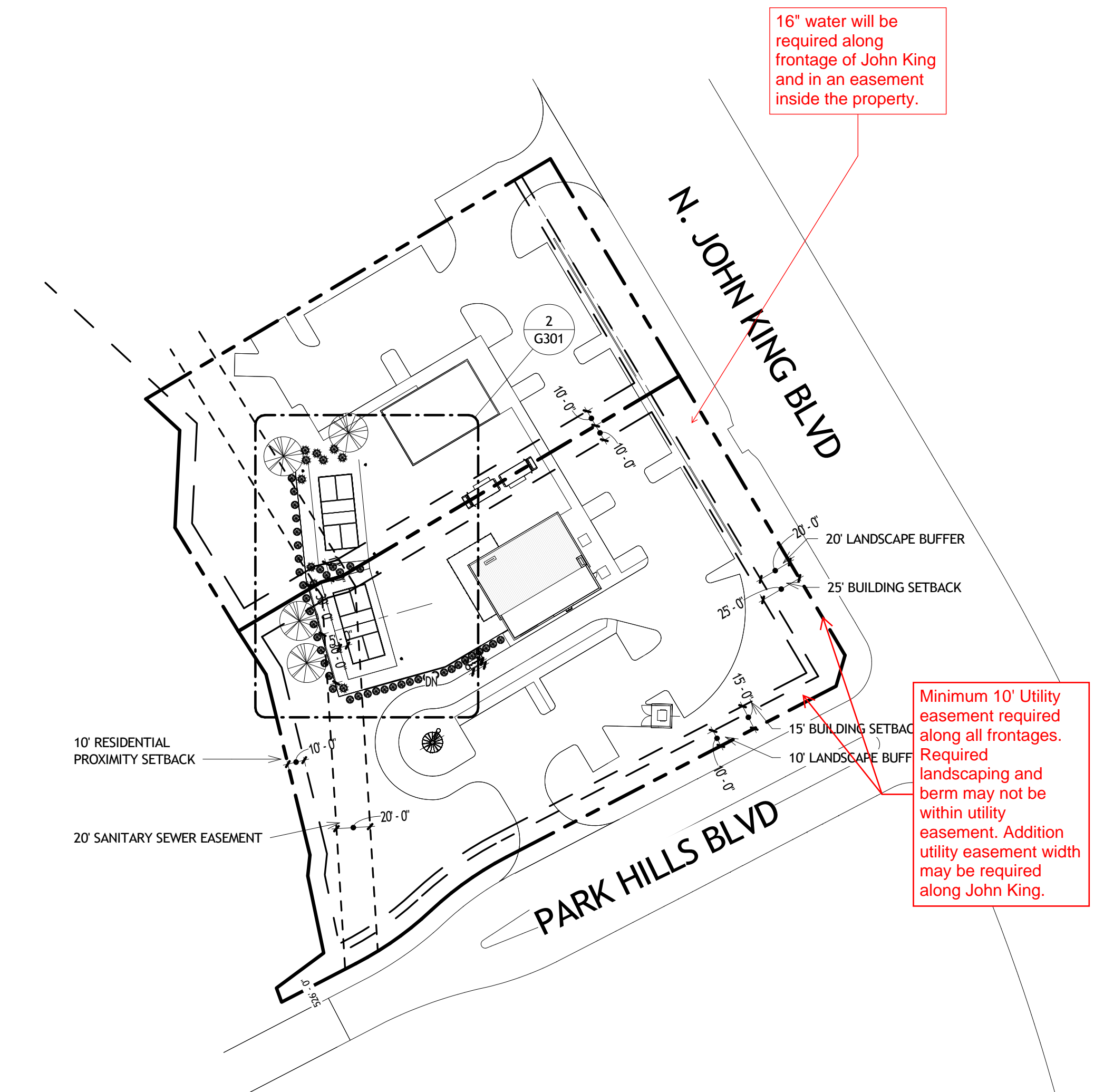
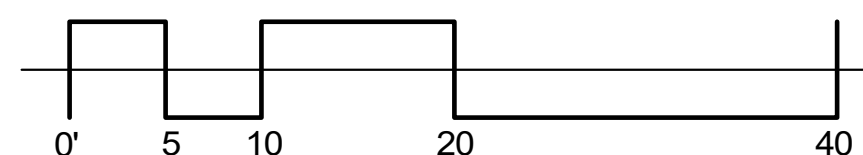
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- Will need to extended 16" water line along John King within an easement across the property per the Master Water Plan.
- Required to extend utilities (water, sewer) across the site to provide access to the future development to the north.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Need to install 8" public sewer to the northern property line.

- Must meet City and TxDOT driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Install 10' trail along John King Blvd.
- TIA will be required for the drive-thru. Review fees apply.

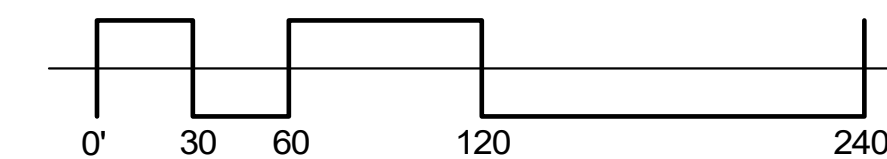
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities or within easements.



② SUP Pickleball Court Plan
1" = 10'-0"

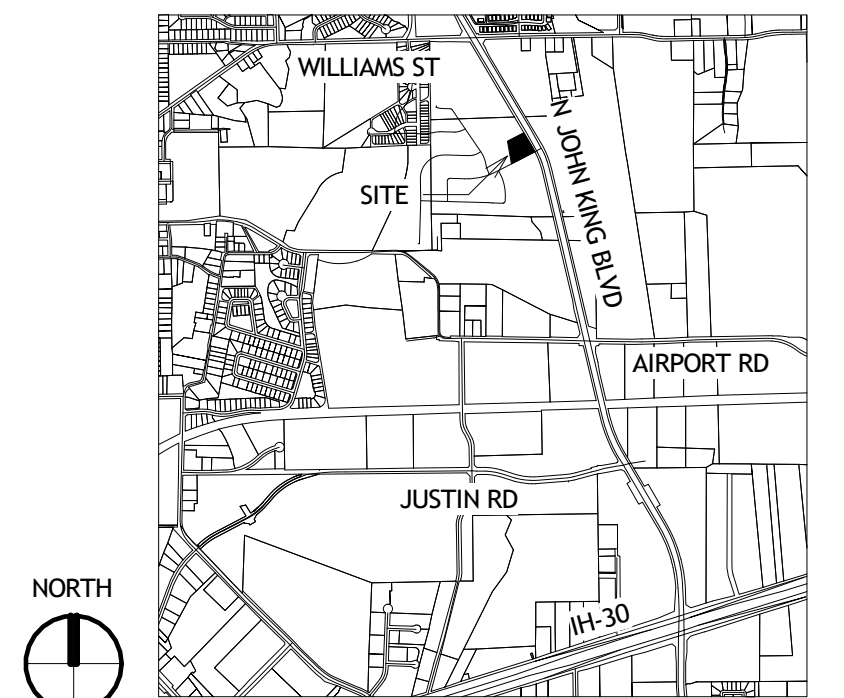


① SUP Overall Site plan
1" = 60'-0"



Max Floor Area Ratio

Proposed Part of Existing Lot 1
Proposed Lot 1A and 1B BlockA
Lot "1A": 65,076 SF / 1.49 Acres
Lot "1B": 43,884 SF / 1.01 Acres
108,960 SF / 2.5Acres
87,060 SF / 2.0 Acres
Planned Development 72
No Change
Pickleball Court as Accessory Use
60'
15'
10'
20'
60%
4:1



VICINITY MAP - NTS

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4535

Rockwall Property Corp.
2235 Ridge Road
Suite 201
Rockwall, Texas 75087

Rockwall Coffee

N. John King Blvd
Rockwall, Texas

Portion of Lot 1, Block A 108,960 SF/2.5 Acres
Boardwalk Development Addition
City of Rockwall, County of Rockwall, Texas
George W. Redlin Survey, A 183

Prepared June 10, 2026



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest Corner of Park Hills Blvd and John King Blvd

SUBDIVISION Boardwalk Development Addition

LOT 1 BLOCK A

GENERAL LOCATION Park Hills and John King Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-71

CURRENT USE Vacant

PROPOSED ZONING No Change

PROPOSED USE Pickleball as accessory

ACREAGE 2.5 Acres

LOTS [CURRENT] 1

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Rockwall Property Corp

☒ APPLICANT Greenlight Studio

CONTACT PERSON Bill Bricker

CONTACT PERSON Tyler Adams

ADDRESS 2235 Ridge Road
Suite 201

ADDRESS 100 N. Cottonwood Drive
Suite 104

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Richardson, Texas 75080

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED C.W. Bricker [OWNER] THE UNDERSIGNED WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$20.25 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

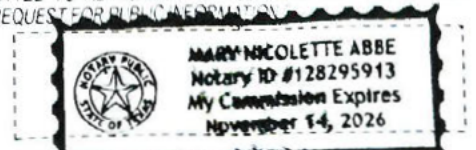
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF June 2025

OWNER'S SIGNATURE

C.W. Bricker

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary Nicolette Abbe



MY COMMISSION EXPIRES

11/14/2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

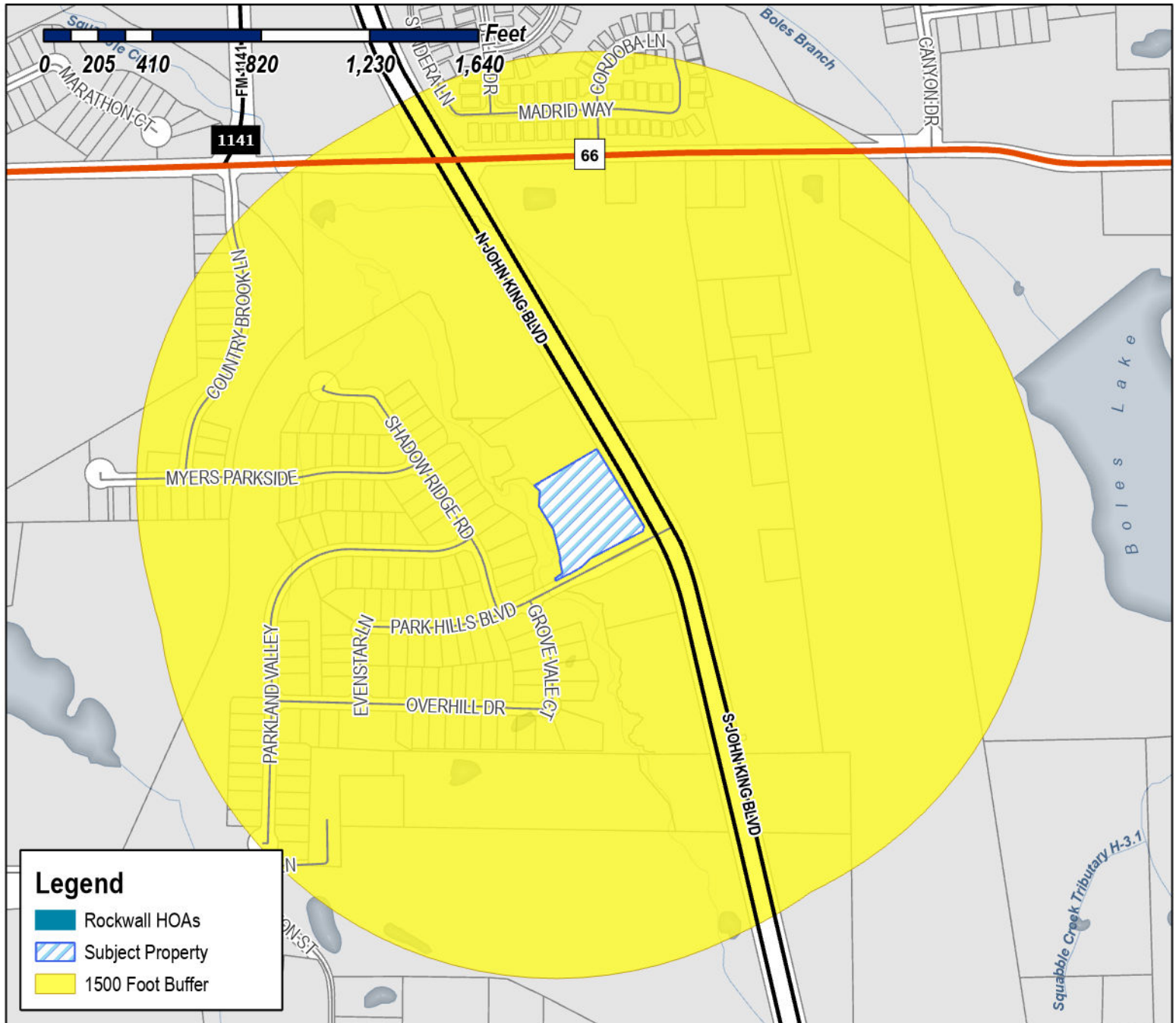




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Case Number: Z2025-042
Case Name: SUP for Outdoor Commercial Amusement/ Recreation
Case Type: Zoning
Zoning: Planned Development District 98 (PD-98)
Case Address: NW Corner of Park Hills and John King

Date Saved: 6/13/2025

For Questions on this Case Call (972) 771-7745

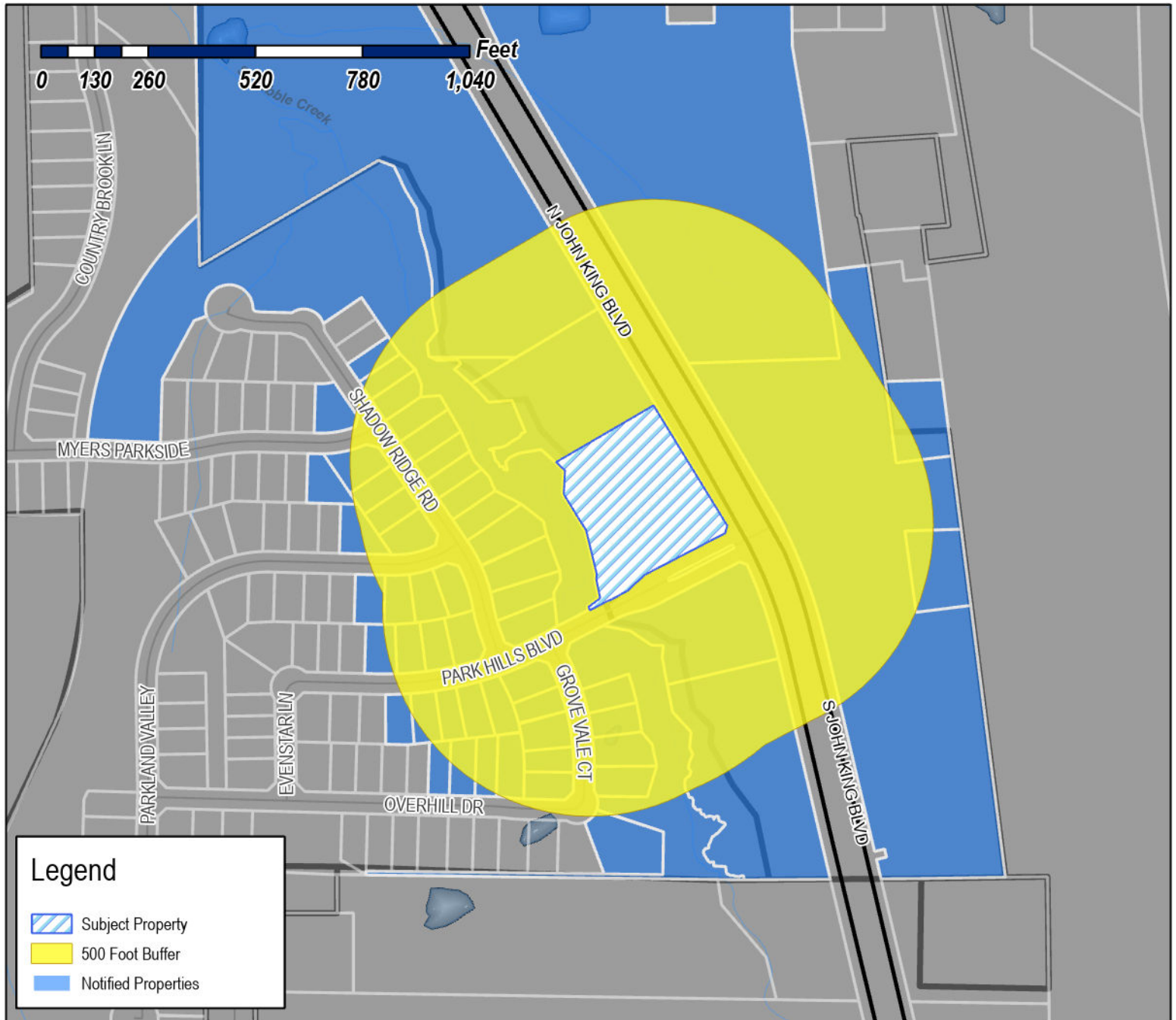




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RESIDENT
1427 MYERS PARKSIDE
ROCKWALL, TX 75087

RESIDENT
1428 MYERS PARKSIDE
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US)
14400 THE LAKES BLVD STE 200 BLDG C
PFLUGERVILLE, TX 78660

PACESETTER HOMES, LLC
14400 THE LAKES BLVD BLDG C STE 200
AUSTIN, TX 78660

RESIDENT
1519 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1523 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1524 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1527 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1528 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1531 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1532 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1535 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1536 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1545 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
203 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
204 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
207 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
208 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
210 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
211 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
214 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
215 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
219 GROVE VALLEY CT
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP
ATTN:BILL BRICKER
2235 RIDGE RD STE 201
ROCKWALL, TX 75087

RESIDENT
239 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
240 PARKLAND VALLEY
ROCKWALL, TX 75087

DVB AIRPORT LLC
2421 KATHRYN DR
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

RESIDENT
244 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
248 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
252 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
302 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
306 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
310 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
314 SHADOW RIDGE RD
ROCKWALL, TX 75087

SHANE HOMES (TEXAS) INC
325 N SAINT PAUL ST STE 3100 #2901
DALLAS, TX 75201

RESIDENT
400 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
404 SHADOW RIDGE RD
ROCKWALL, TX 75087

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405 SHADOW RIDGE RD
ROCKWALL, TX 75087

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408 SHADOW RIDGE RD
ROCKWALL, TX 75087

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417 SHADOW RIDGE RD
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420 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
502 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
506 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
510 SHADOW RIDGE RD
ROCKWALL, TX 75087

WAS HOLDINGS LLC
7091 ELM ST
FRISCO, TX 75034

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation in conjunction with a proposed Restaurant with Drive-Through or Drive-In on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

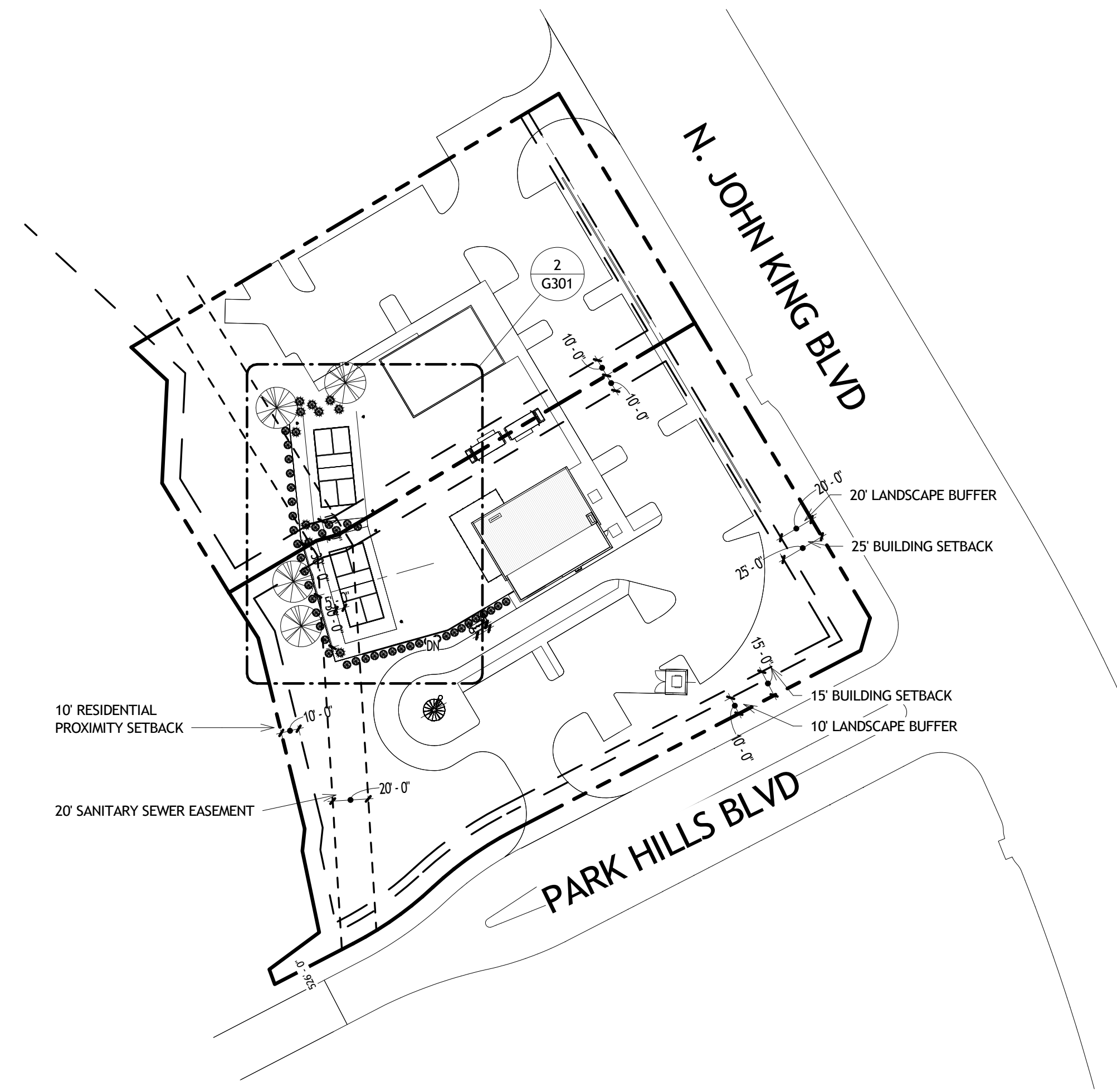
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

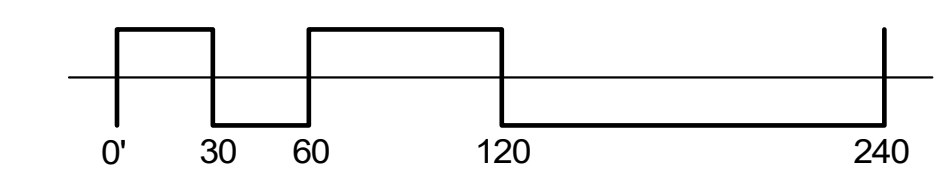
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2 SUP Pickleball Court Plan
1" = 10'-0"



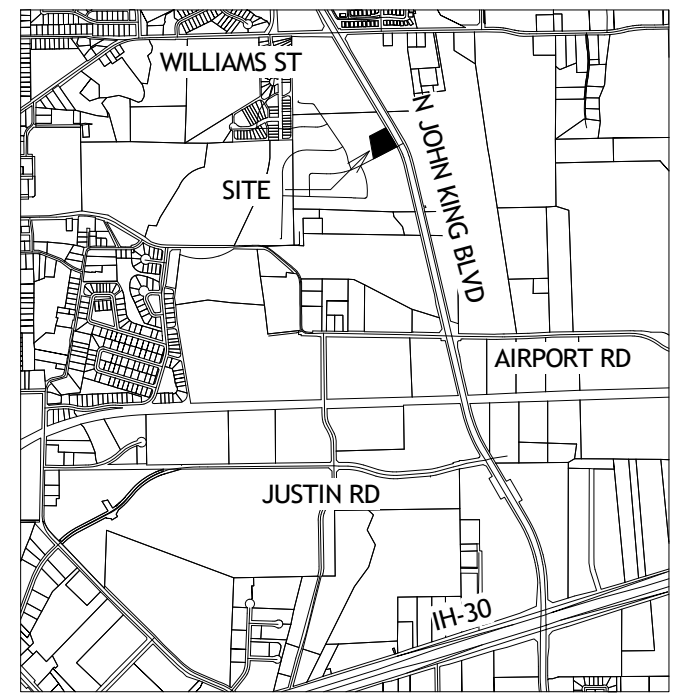
1 SUP Overall Site plan
1" = 60'-0"



Site Information

Lot
Subdivided:
Total Parcel Size:
Remaining Parcel:
Current Zoning:
Proposed Zoning:
Proposed Use:
Max Height:
Front Yard Setback:
Side Yard Setback:
Back Yard Setback:
Max Lot Coverage:
Max Floor Area Ratio:

Proposed Part of Existing Lot 1
Proposed Lot 1A and 1B BlockA
Lot "1A": 65,076 SF / 1.49 Acres
Lot "1B": 43,884 SF / 1.01 Acres
108,960 SF / 2.5Acres
87,060 SF / 2.0 Acres
Planned Development 72
No Change
Pickleball Court as Accessory Use
60'
15'
10'
20'
60%
4:1



VICINITY MAP - NTS

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.810.4335

Owner:

Rockwall Property Corp
2000 Ridge Road
Suite 201
Rockwall, Texas 75087

Specific Use Permit - Pickleball Courts
Rockwall Coffee

N. John King Blvd
Rockwall, Texas

Portion of Lot 1, Block A 108,960 SF/2.5 Acres
Boardwalk Development Addition
City of Rockwall, County of Rockwall, Texas
George W. Redlin Survey, A 183

Prepared June 10, 2026

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 71 (PD-71) [ORDINANCE NO. 07-19] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *OUTDOOR COMMERCIAL AMUSEMENT/RECREATION* IN CONJUNCTION WITH A PROPOSED *RESTAURANT WITH DRIVE-THROUGH* ON A 2.50-ACRE PORTION OF A LARGER 4.50-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK A, BOARDWALK DEVELOPMENT ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) [Ordinance No. 07-19] for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 71 (PD-71) [Ordinance No. 07-19] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to

allow an *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 71 (PD-71) [Ordinance No. 07-19], Subsection 04.01, *General Commercial (C) District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02], and Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Outdoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Outdoor Commercial Amusement/Recreation* shall be at least 150-feet from any residentially used or zoned property.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF AUGUST, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 21, 2025

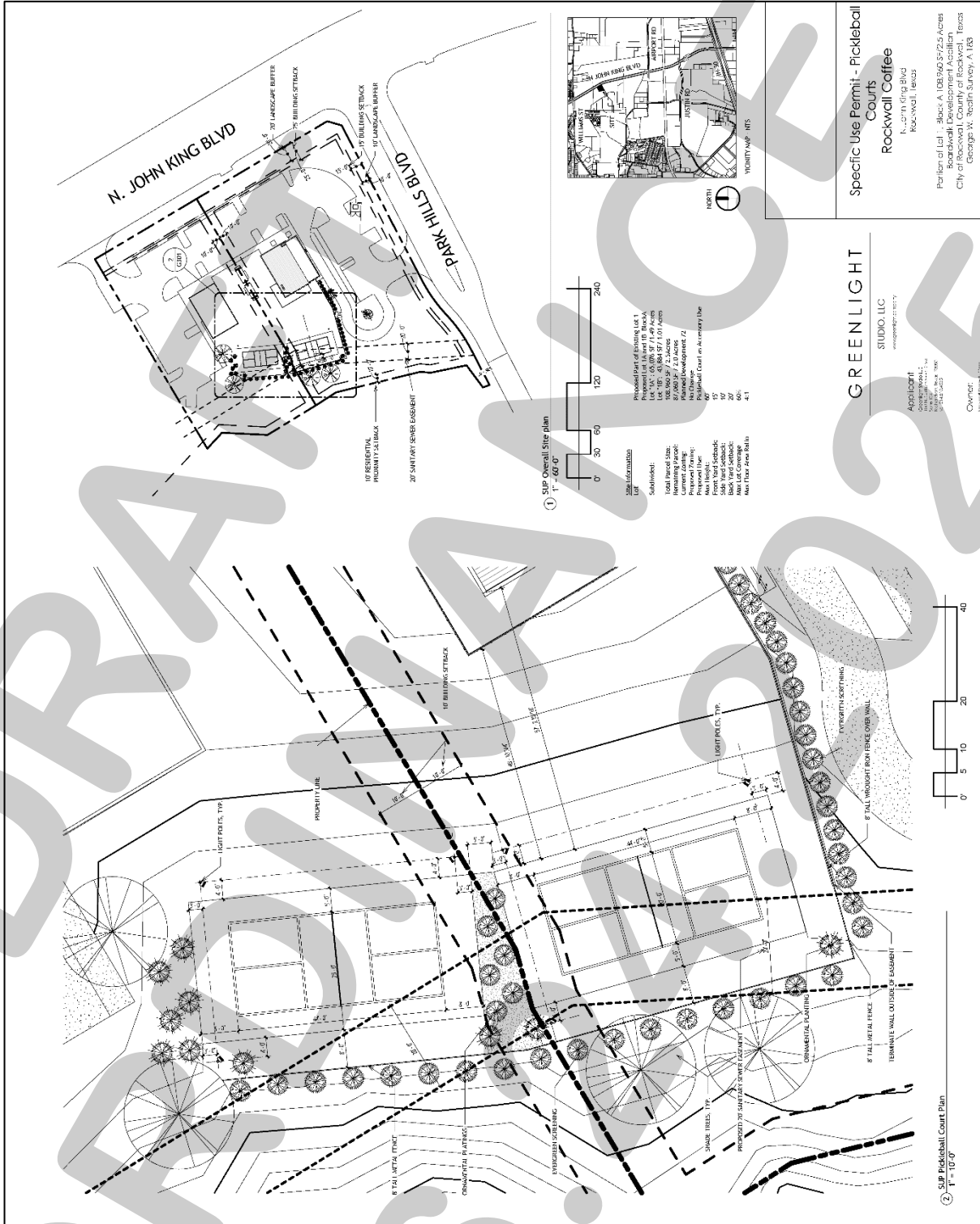
2nd Reading: August 4, 2025

Exhibit 'A'
Location Map

Legal Description: Lot 1, Block A, Boardwalk Development Addition



Exhibit 'B': *Site Plan*





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 15, 2025

APPLICANT: Tyler Adams

CASE NUMBER: Z2025-042; *Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation*

SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On June 18, 2007, the City Council approved a zoning change [*Case No. Z2007-011; Ordinance No. 07-19*] that rezoned the property from Agricultural (AG) District to Planned Development District 71 (PD-71) for limited Commercial (C) District land uses. On September 2, 2008, the City Council approved a zoning case [*Case No. Z2008-017; Ordinance No. 08-45*] to expand Planned Development District 71 (PD-71); however, this had no effect on the subject property. The subject property has remained vacant since the time of annexation.

PURPOSE

The applicant -- *Tyler Adams* -- is requesting the approval of a Specific Use Permit (SUP) to allow *Outdoor Commercial Amusement/Recreation*, specifically pickleball courts, on the west side of the subject property. This is being proposed in conjunction with a future restaurant/office development, which are both permitted *by-right* land uses within Planned Development District 71 (PD-71). The applicant has indicated that a site plan for this development will be submitted pending the approval of this Specific Use Permit (SUP).

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the 4.50-acre tract of land (*i.e. Lot 1, Block A, Boardwalk Development Addition*) which the subject property is a part of. North of this is a 24.9036-acre vacant tract of land (*i.e. Lot 1, Abstract No. 183, of the G.W. Redlin Survey*). Both of these properties are zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses. Beyond that is SH-66, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

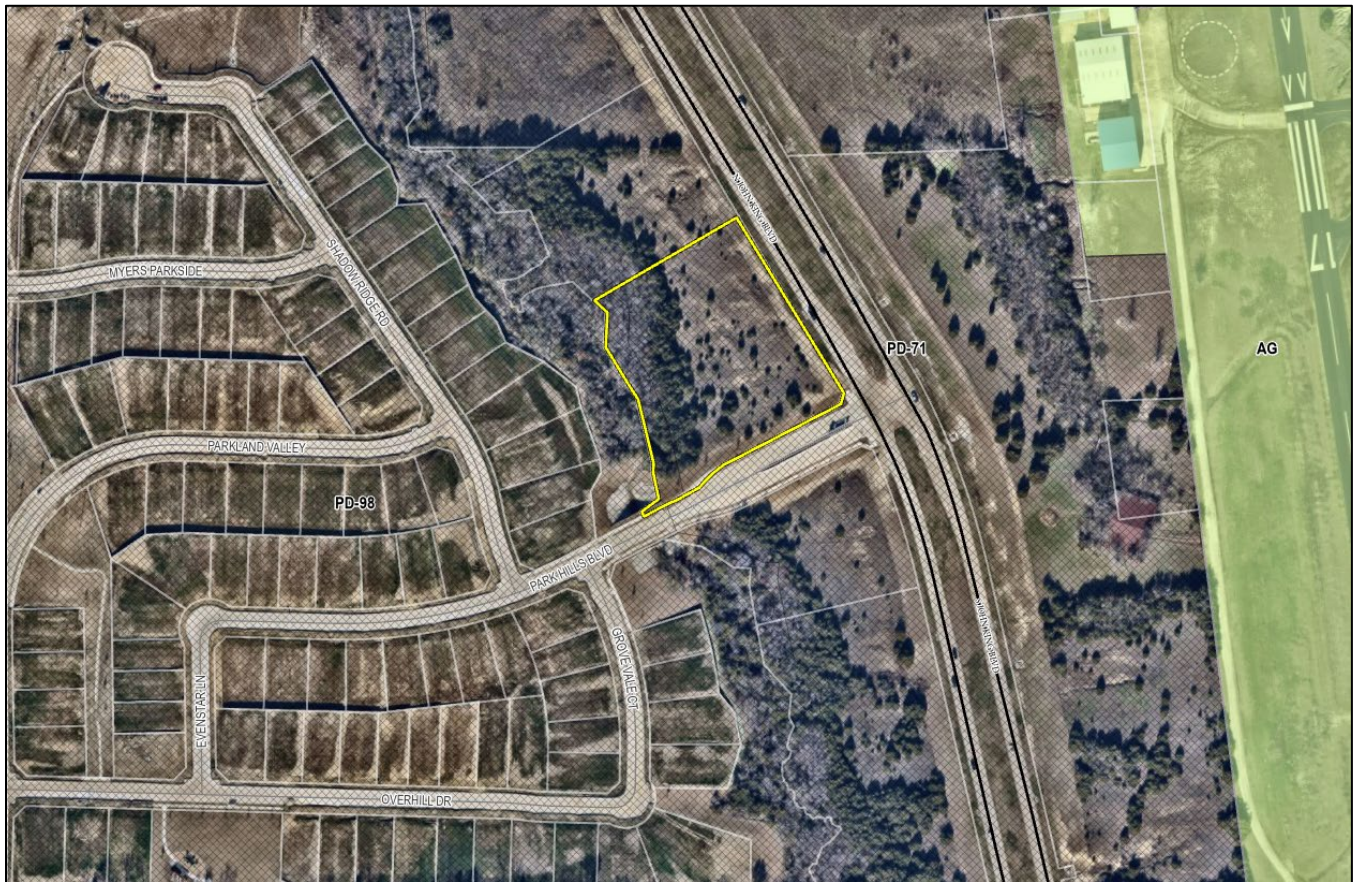
South: Directly south of the subject property is Park Hills Boulevard, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040

Comprehensive Plan. Beyond this is a 3.14-acre vacant parcel of land (*i.e. Lot 3, Boardwalk Development Addition*), which is zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses. Beyond that is a 1.607-acre vacant tract of land (*i.e. Tract 1-4, Abstract No. 20, of the N. Butler Survey*) and a 31.393-acre tract of land (*Tract 3, Abstract No. 20, of the N. Butler Survey*). Both of these properties are zoned Agricultural (AG) District.

East: Directly east of the subject property is N. John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 96.635-acre tract of land (*i.e. Lot 6-1, abstract No. 183, of the G. W. Redlin Survey*) that is zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses. Beyond that is a 47.89-acre parcel of land (*i.e. Lot 1, Rockwall Municipal Airport*), zoned Agricultural (AG) District, and developed with a municipal airport.

West: Directly west of the subject property is a 7.0938-acre parcel of land (*i.e. Lot 12, Block C, Park Hills Subdivision*), which is zoned Planned Development District 98 (PD-98) and used as open space. Beyond this is the remainder of Park Hills Subdivision which is a 65.60-acre subdivision established in November of 2024 that consists of 158 residential lots. This subdivision is currently under development and is zoned Planned Development District 98 (PD-98) for Single-Family 8.4 (SF-8.4) District land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The proposed outdoor recreation facilities (*i.e. pickleball courts*) are to be situated behind a future *Restaurant with Drive-Through or Drive In* on the west side of the subject property. Currently, a floodplain area -- *that serves as open space for the adjacent residential subdivision* -- separates the courts from adjacent residential properties that are currently under development west of the subject property. The applicant has provided a concept plan for the recreational amenity that includes the proposed court materials. These have been provided in the attached packet.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(E), *Recreation, Entertainment and Amusement Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the proposed land use falls under the definition for *Outdoor Commercial Amusement/Recreation*. In addition, according to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Outdoor Commercial Amusement/Recreation* land use requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that the *Outdoor Commercial Amusement/Recreation* land use is not appropriate within all of the City's commercial areas, and that the City Council should have discretionary oversight with regard to the establishment of this land use and its potential impacts within the Commercial (C) District.

STAFF ANALYSIS

According to Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district." In this case, the applicant is requesting to add pickleball courts in conjunction with a proposed *Restaurant with Drive-Through or Drive-In*. Staff should point out that a *Restaurant with Drive-Through or Drive-In* is a permitted *by-right* land use in the Commercial (C) District; however, the pickleball courts or the *Outdoor Commercial Amusement/Recreation* land use requires a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation*. As mentioned earlier this use requires discretionary consideration as it may not be compatible with certain locations within the Commercial (C) District throughout the City. According to Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, the *Outdoor Commercial Amusement/Recreation* land use has the following conditional land use standards: [1] *Outdoor Commercial Amusement/Recreation* includes uses that provide outdoor entertainment (e.g. *amusement parks, golf courses, outdoor music venues, batting cages, miniature golf etc.*), but excludes drive-in movie theaters, [2] *Outdoor Commercial Amusement/Recreation* includes temporary structures (e.g. *tents, canopies, etc.*) for events; however, temporary in this case does not include structures intended to serve uses for longer than 14-days, and [3] *Outdoor Commercial Amusement/Recreation* shall be a minimum of 300-feet from all residentially zoned or used property unless otherwise approved by the Planning and Zoning Commission and City Council. In this case, the pickleball courts do not meet the 300-foot setback requirement from the Parkhills Subdivision which is west of the subject property; however, staff should point out that the floodplain area in between the future residential properties and the subject property has a thick tree line that provides a natural buffer between the two (2) land uses. This should mitigate any negative externalities (e.g. *visibility, sound, etc.*) from the proposed land use. All that being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Central District. This district is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and City -- in an east/west direction. The Ralph Hall Municipal Airport and several other large public/school facilities are also located within the boundaries of this district. The subject property is located within the Commercial/Retail land use designation, which is intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (i.e. *are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses. In this case, the proposed use will support the existing and proposed residential developments in this area and the floodplain area between the residential and commercial land uses will provide appropriate screening between the two (2) developments. With that being said, since this use is permitted only by Specific Use Permit (SUP), it is at the discretion of the Planning and Zoning Commission and City Council if the proposed *Outdoor Commercial Amusement/Recreation* meets the *District Strategies* outlined within the OURHometown Vision 2040 Comprehensive Plan.

NOTIFICATIONS

On June 18, 2025, staff mailed 50 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). Staff has received one (1) notice from the property owner in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation* within a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the SUP ordinance.
 - (b) Screening and buffering shall be provided between the pickleball courts and adjacent residential areas, as depicted in *Exhibit 'B'* of the SUP ordinance.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE (1) ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest Corner of Park Hills Blvd and John King Blvd

SUBDIVISION Boardwalk Develment Addition

LOT 1 BLOCK A

GENERAL LOCATION Park Hills and John King Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-71

CURRENT USE Vacant

PROPOSED ZONING No Change

PROPOSED USE Pickleball as acessory

ACREAGE 2.5 Acres

LOTS [CURRENT] 1

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Rockwall Property Corp

☒ APPLICANT Greenlight Studio

CONTACT PERSON Bill Bricker

CONTACT PERSON Tyler Adams

ADDRESS 2235 Ridge Road
Suite 201

ADDRESS 100 N. Cottonwood Drive
Suite 104

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Richardson, Texas 75080

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED C.W. Bricker [OWNER] THE UNDERSIGNED WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 20.25 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE 20 25. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

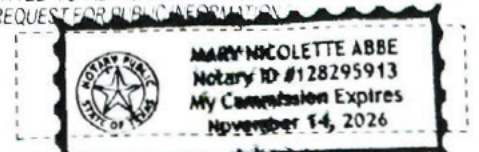
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF June 20 25

OWNER'S SIGNATURE

CW Bricker

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary Nicolette Abbe



MY COMMISSION EXPIRES

11/14/2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

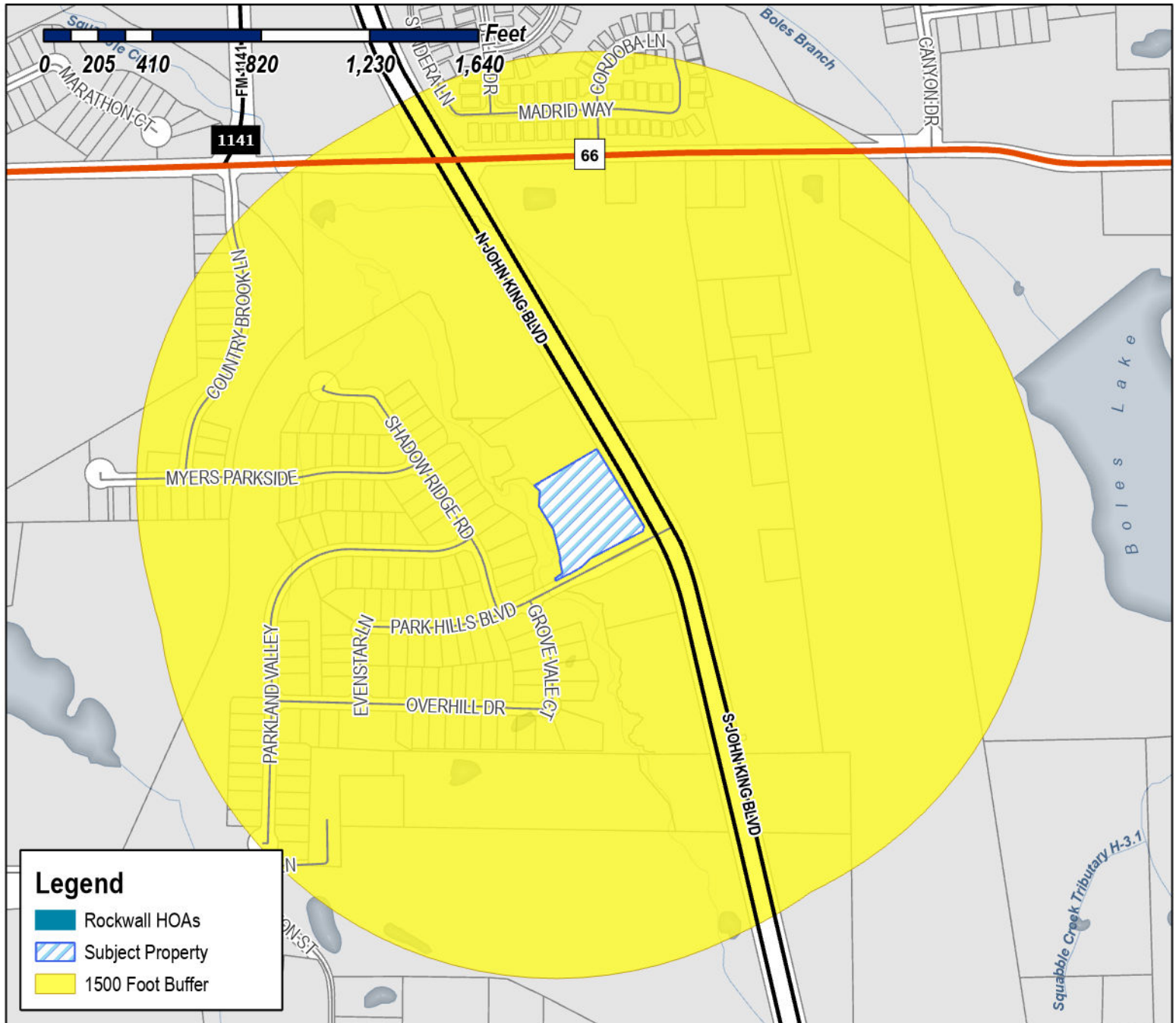




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2025-042
Case Name: SUP for Outdoor Commercial Amusement/ Recreation
Case Type: Zoning
Zoning: Planned Development District 98 (PD-98)
Case Address: NW Corner of Park Hills and John King

Date Saved: 6/13/2025

For Questions on this Case Call (972) 771-7745



RESIDENT
1427 MYERS PARKSIDE
ROCKWALL, TX 75087

RESIDENT
1428 MYERS PARKSIDE
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US)
14400 THE LAKES BLVD STE 200 BLDG C
PFLUGERVILLE, TX 78660

PACESETTER HOMES, LLC
14400 THE LAKES BLVD BLDG C STE 200
AUSTIN, TX 78660

RESIDENT
1519 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1523 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1524 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1527 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1528 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1531 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1532 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1535 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1536 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1545 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
203 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
204 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
207 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
208 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
210 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
211 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
214 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
215 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
219 GROVE VALLEY CT
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP
ATTN:BILL BRICKER
2235 RIDGE RD STE 201
ROCKWALL, TX 75087

RESIDENT
239 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
240 PARKLAND VALLEY
ROCKWALL, TX 75087

DVB AIRPORT LLC
2421 KATHRYN DR
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

RESIDENT
244 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
248 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
252 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
302 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
306 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
310 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
314 SHADOW RIDGE RD
ROCKWALL, TX 75087

SHANE HOMES (TEXAS) INC
325 N SAINT PAUL ST STE 3100 #2901
DALLAS, TX 75201

RESIDENT
400 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
404 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
405 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
408 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
409 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
412 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
413 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
416 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
417 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
420 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
502 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
506 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
510 SHADOW RIDGE RD
ROCKWALL, TX 75087

WAS HOLDINGS LLC
7091 ELM ST
FRISCO, TX 75034

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation in conjunction with a proposed Restaurant with Drive-Through or Drive-In on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Use is properly zoned, pickleball court will serve local residents and enhance business for success. This is the quality development planned and desired.

Name: **CW Bricker**

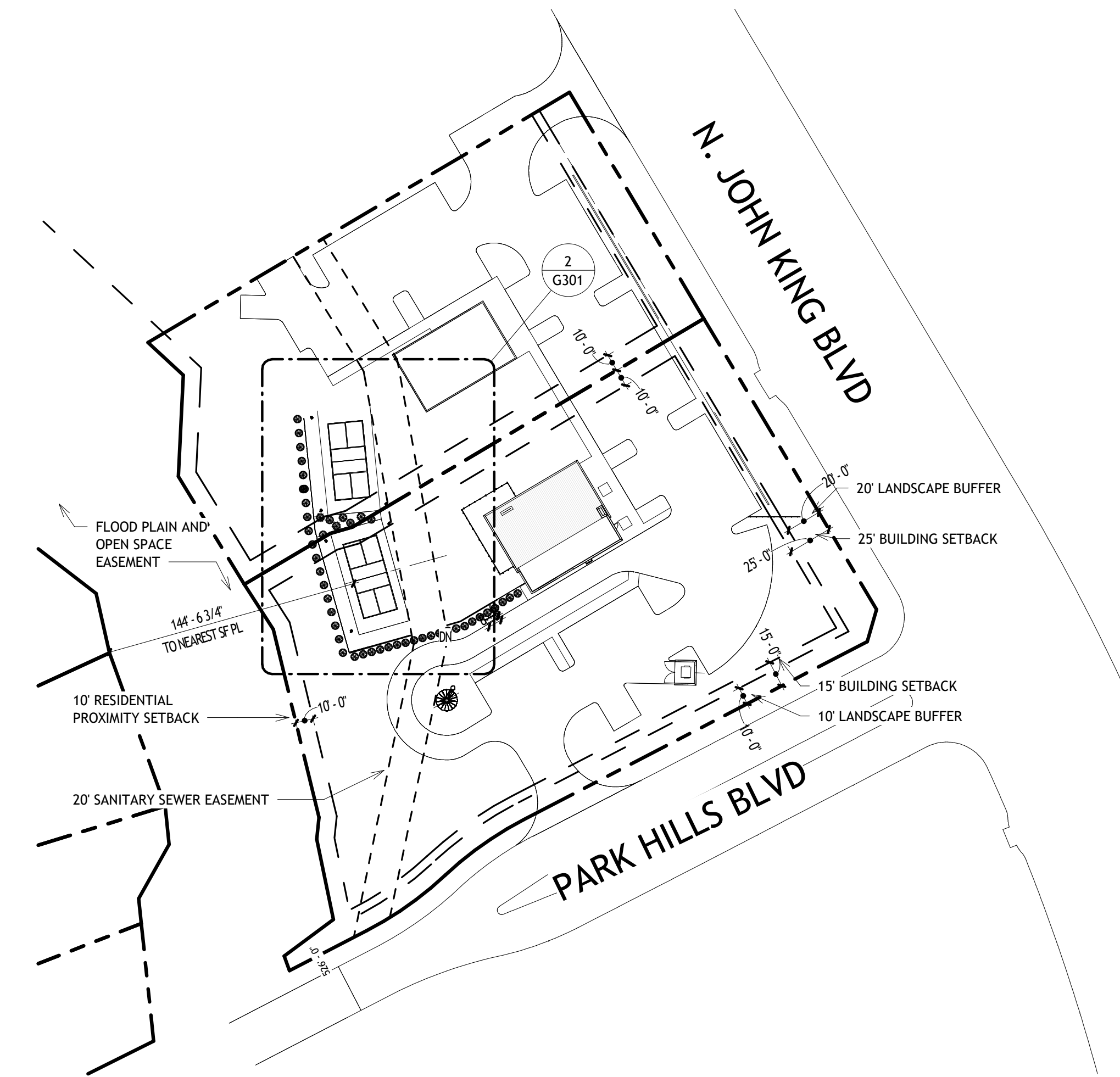
Address: **2235 Ridge Rd, Rockwall, TX 75087**

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

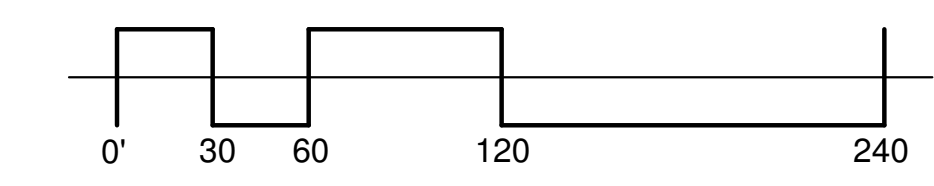
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2 SUP Pickleball Court Plan
1" = 10'-0"



1 SUP Overall Site plan
1" = 60'-0"



Site Information
Lot
Subdivided:
Total Parcel Size:
Remaining Parcel:
Current Zoning:
Proposed Zoning:
Proposed Use:
Max Height:
Front Yard Setback:
Side Yard Setback:
Back Yard Setback:
Max Lot Coverage:
Max Floor Area Ratio

Proposed Part of Existing Lot 1
Proposed Lot 1A and 1B Block A
Lot "1A": 65,076 SF / 1.49 Acres
Lot "1B": 43,884 SF / 1.01 Acres
108,960 SF / 2.5 Acres
87,060 SF / 2.0 Acres
Planned Development 72
No Change
Pickleball Court as Accessory Use
60'
15'
10'
20'
60%
4:1

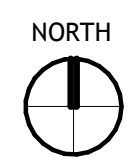
Planting Schedule			
Type Mark	Common Name	Scientific Name	Count
NSH	Nellie Stevens Holly	ILEX 'NELLIE R. STEVENS'	40
RS	Rosemary	ROSMARINUS OFFICINALIS	4
TS	Texas Sage	LEUCOPHYLLUM SP.	4

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.810.4335

Owner:
Rockwall Property Corp
2205 Briar Road
Suite 201
Rockwall, Texas 75087



VICINITY MAP - NTS

Specific Use Permit - Pickleball Courts
Rockwall Coffee
N. John King Blvd
Rockwall, Texas

Portion of Lot 1, Block A 108,960 SF/2.5 Acres
Boardwalk Development Addition
City of Rockwall, County of Rockwall, Texas
George W. Redlin Survey, A 183

Prepared July 1, 2026

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 71 (PD-71) [*ORDINANCE NO. 07-19*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *OUTDOOR COMMERCIAL AMUSEMENT/RECREATION* IN CONJUNCTION WITH A PROPOSED *RESTAURANT WITH DRIVE-THROUGH OR DRIVE-IN* ON A 2.50-ACRE PORTION OF A LARGER 4.50-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK A, BOARDWALK DEVELOPMENT ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation for the approval of a *Specific Use Permit (SUP)* for *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) [*Ordinance No. 07-19*] for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Planned Development District 71 (PD-71) [*Ordinance No. 07-19*] and Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 71 (PD-71) [*Ordinance No. 07-19*] and the

Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow an *Outdoor Commercial Amusement/Recreation* land use in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 71 (PD-71) [Ordinance No. 07-19]; Subsection 04.01, *General Commercial (C) District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Outdoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Screening and buffering shall be provided between the pickleball courts and adjacent residential areas, as depicted in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF AUGUST, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 21, 2025

2nd Reading: August 4, 2025

Exhibit 'A'
Location Map

Legal Description: Lot 1, Block A, Boardwalk Development Addition





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 21, 2025
APPLICANT: Tyler Adams
CASE NUMBER: Z2025-042; *Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation*

SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On June 18, 2007, the City Council approved a zoning change [*Case No. Z2007-011; Ordinance No. 07-19*] that rezoned the property from Agricultural (AG) District to Planned Development District 71 (PD-71) for limited Commercial (C) District land uses. On September 2, 2008, the City Council approved a zoning case [*Case No. Z2008-017; Ordinance No. 08-45*] to expand Planned Development District 71 (PD-71); however, this had no effect on the subject property. The subject property has remained vacant since the time of annexation.

PURPOSE

The applicant -- *Tyler Adams* -- is requesting the approval of a Specific Use Permit (SUP) to allow *Outdoor Commercial Amusement/Recreation*, specifically pickleball courts, on the west side of the subject property. This is being proposed in conjunction with a future restaurant/office development, which are both permitted *by-right* land uses within Planned Development District 71 (PD-71). The applicant has indicated that a site plan for this development will be submitted pending the approval of this Specific Use Permit (SUP).

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the 4.50-acre tract of land (*i.e. Lot 1, Block A, Boardwalk Development Addition*) which the subject property is a part of. North of this is a 24.9036-acre vacant tract of land (*i.e. Lot 1, Abstract No. 183, of the G.W. Redlin Survey*). Both of these properties are zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses. Beyond that is SH-66, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

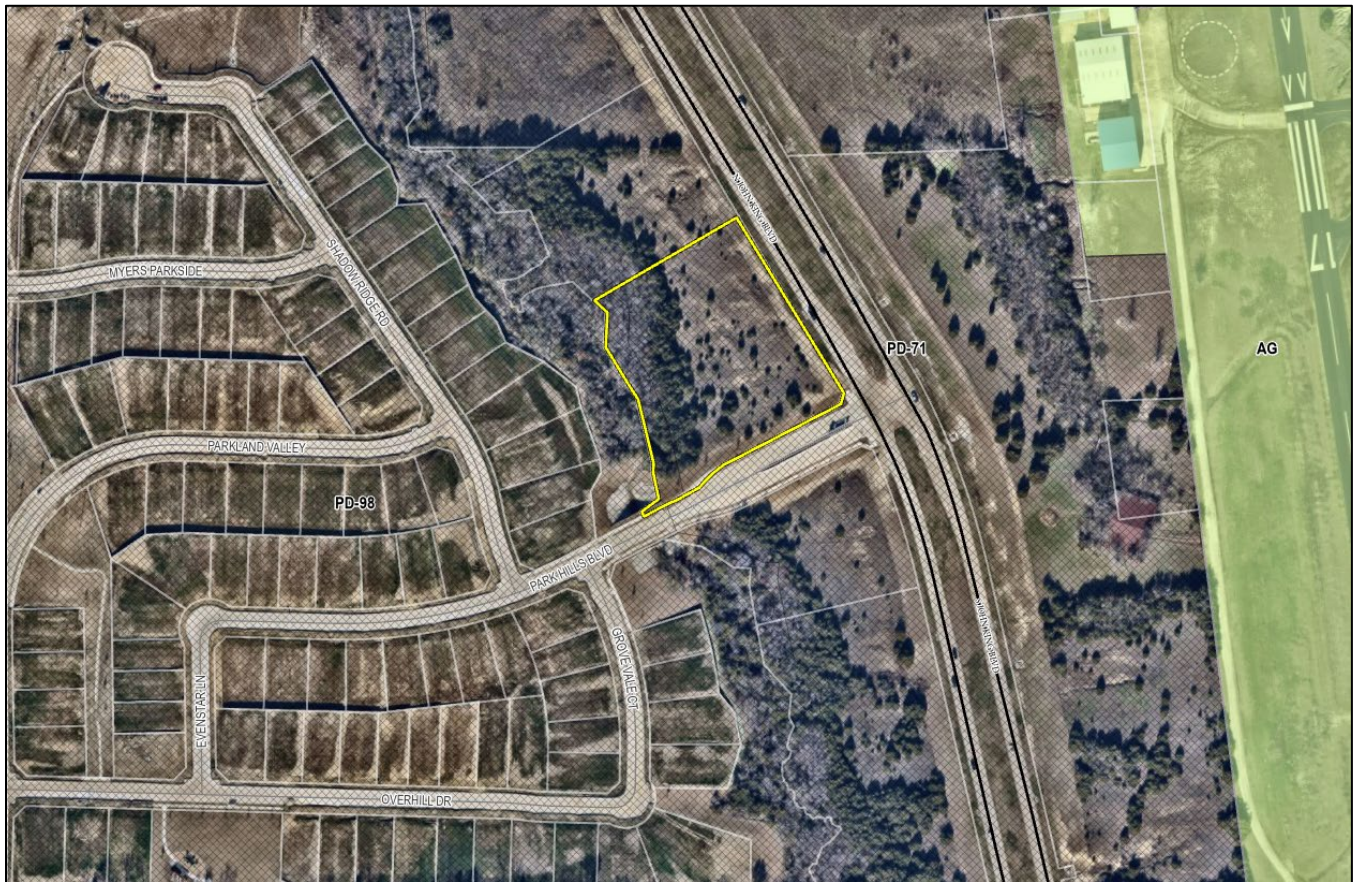
South: Directly south of the subject property is Park Hills Boulevard, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040

Comprehensive Plan. Beyond this is a 3.14-acre vacant parcel of land (*i.e. Lot 3, Boardwalk Development Addition*), which is zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses. Beyond that is a 1.607-acre vacant tract of land (*i.e. Tract 1-4, Abstract No. 20, of the N. Butler Survey*) and a 31.393-acre tract of land (*Tract 3, Abstract No. 20, of the N. Butler Survey*). Both of these properties are zoned Agricultural (AG) District.

East: Directly east of the subject property is N. John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 96.635-acre tract of land (*i.e. Lot 6-1, abstract No. 183, of the G. W. Redlin Survey*) that is zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses. Beyond that is a 47.89-acre parcel of land (*i.e. Lot 1, Rockwall Municipal Airport*), zoned Agricultural (AG) District, and developed with a municipal airport.

West: Directly west of the subject property is a 7.0938-acre parcel of land (*i.e. Lot 12, Block C, Park Hills Subdivision*), which is zoned Planned Development District 98 (PD-98) and used as open space. Beyond this is the remainder of Park Hills Subdivision which is a 65.60-acre subdivision established in November of 2024 that consists of 158 residential lots. This subdivision is currently under development and is zoned Planned Development District 98 (PD-98) for Single-Family 8.4 (SF-8.4) District land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The proposed outdoor recreation facilities (*i.e. pickleball courts*) are to be situated behind a future *Restaurant with Drive-Through or Drive In* on the west side of the subject property. Currently, a floodplain area -- *that serves as open space for the adjacent residential subdivision* -- separates the courts from adjacent residential properties that are currently under development west of the subject property. The applicant has provided a concept plan for the recreational amenity that includes the proposed court materials. These have been provided in the attached packet.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(E), *Recreation, Entertainment and Amusement Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the proposed land use falls under the definition for *Outdoor Commercial Amusement/Recreation*. In addition, according to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Outdoor Commercial Amusement/Recreation* land use requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that the *Outdoor Commercial Amusement/Recreation* land use is not appropriate within all of the City's commercial areas, and that the City Council should have discretionary oversight with regard to the establishment of this land use and its potential impacts within the Commercial (C) District.

STAFF ANALYSIS

According to Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district." In this case, the applicant is requesting to add pickleball courts in conjunction with a proposed *Restaurant with Drive-Through or Drive-In*. Staff should point out that a *Restaurant with Drive-Through or Drive-In* is a permitted *by-right* land use in the Commercial (C) District; however, the pickleball courts or the *Outdoor Commercial Amusement/Recreation* land use requires a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation*. As mentioned earlier this use requires discretionary consideration as it may not be compatible with certain locations within the Commercial (C) District throughout the City. According to Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, the *Outdoor Commercial Amusement/Recreation* land use has the following conditional land use standards: [1] *Outdoor Commercial Amusement/Recreation* includes uses that provide outdoor entertainment (e.g. *amusement parks, golf courses, outdoor music venues, batting cages, miniature golf etc.*), but excludes drive-in movie theaters, [2] *Outdoor Commercial Amusement/Recreation* includes temporary structures (e.g. *tents, canopies, etc.*) for events; however, temporary in this case does not include structures intended to serve uses for longer than 14-days, and [3] *Outdoor Commercial Amusement/Recreation* shall be a minimum of 300-feet from all residentially zoned or used property unless otherwise approved by the Planning and Zoning Commission and City Council. In this case, the pickleball courts do not meet the 300-foot setback requirement from the Parkhills Subdivision which is west of the subject property; however, staff should point out that the floodplain area in between the future residential properties and the subject property has a thick tree line that provides a natural buffer between the two (2) land uses. This should mitigate any negative externalities (e.g. *visibility, sound, etc.*) from the proposed land use. All that being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Central District. This district is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and City -- in an east/west direction. The Ralph Hall Municipal Airport and several other large public/school facilities are also located within the boundaries of this district. The subject property is located within the Commercial/Retail land use designation, which is intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (i.e. *are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses. In this case, the proposed use will support the existing and proposed residential developments in this area and the floodplain area between the residential and commercial land uses will provide appropriate screening between the two (2) developments. With that being said, since this use is permitted only by Specific Use Permit (SUP), it is at the discretion of the Planning and Zoning Commission and City Council if the proposed *Outdoor Commercial Amusement/Recreation* meets the *District Strategies* outlined within the OURHometown Vision 2040 Comprehensive Plan.

NOTIFICATIONS

On June 18, 2025, staff mailed 50 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). Staff has received one (1) notice from the property owner in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation* within a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the SUP ordinance.
 - (b) Screening and buffering shall be provided between the pickleball courts and adjacent residential areas, as depicted in *Exhibit 'B'* of the SUP ordinance.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 15, 2025, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest Corner of Park Hills Blvd and John King Blvd

SUBDIVISION Boardwalk Development Addition

LOT 1 BLOCK A

GENERAL LOCATION Park Hills and John King Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-71

CURRENT USE Vacant

PROPOSED ZONING No Change

PROPOSED USE Pickleball as accessory

ACREAGE 2.5 Acres

LOTS [CURRENT] 1

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Rockwall Property Corp

☒ APPLICANT Greenlight Studio

CONTACT PERSON Bill Bricker

CONTACT PERSON Tyler Adams

ADDRESS 2235 Ridge Road
Suite 201

ADDRESS 100 N. Cottonwood Drive
Suite 104

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Richardson, Texas 75080

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED C.W. Bricker [OWNER] THE UNDERSIGNED WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 20.25 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE 20 25. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

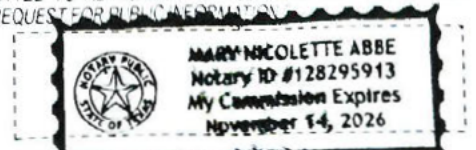
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF June 20 25

OWNER'S SIGNATURE

CW Bricker

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary Nicolette Abbe



MY COMMISSION EXPIRES

11/14/2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

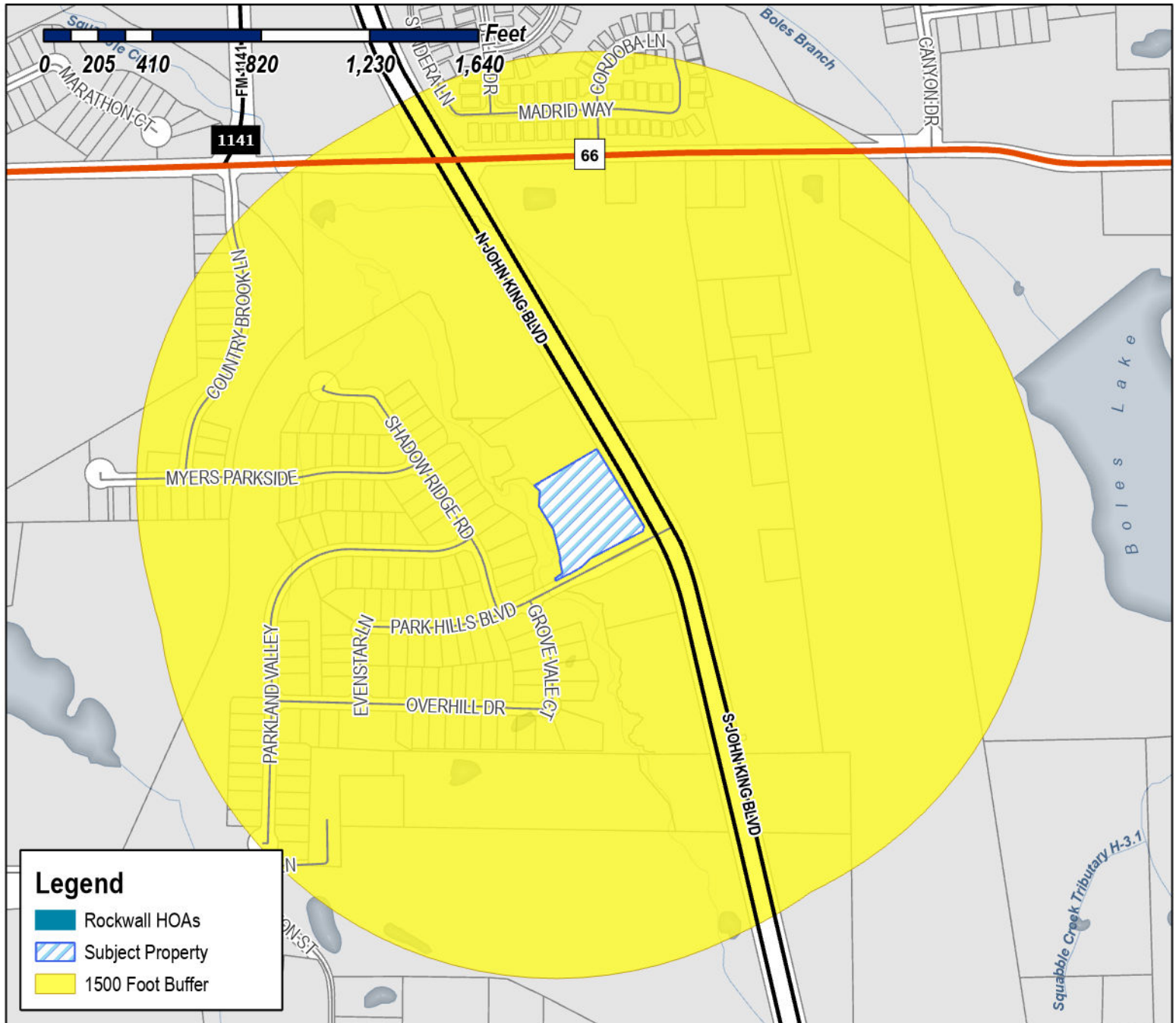




City of Rockwall

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Case Number: Z2025-042
Case Name: SUP for Outdoor Commercial Amusement/ Recreation
Case Type: Zoning
Zoning: Planned Development District 98 (PD-98)
Case Address: NW Corner of Park Hills and John King

Date Saved: 6/13/2025

For Questions on this Case Call (972) 771-7745



RESIDENT
1427 MYERS PARKSIDE
ROCKWALL, TX 75087

RESIDENT
1428 MYERS PARKSIDE
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US)
14400 THE LAKES BLVD STE 200 BLDG C
PFLUGERVILLE, TX 78660

PACESETTER HOMES, LLC
14400 THE LAKES BLVD BLDG C STE 200
AUSTIN, TX 78660

RESIDENT
1519 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1523 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1524 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1527 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1528 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1531 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1532 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1535 PARK HILLS BLVD
ROCKWALL, TX 75087

RESIDENT
1536 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
1545 OVERHILL DR
ROCKWALL, TX 75087

RESIDENT
203 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
204 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
207 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
208 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
210 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
211 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
214 GROVE VALE CT
ROCKWALL, TX 75087

RESIDENT
215 GROVE VALLEY CT
ROCKWALL, TX 75087

RESIDENT
219 GROVE VALLEY CT
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP
ATTN:BILL BRICKER
2235 RIDGE RD STE 201
ROCKWALL, TX 75087

RESIDENT
239 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
240 PARKLAND VALLEY
ROCKWALL, TX 75087

DVB AIRPORT LLC
2421 KATHRYN DR
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

RESIDENT
244 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
248 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
252 PARKLAND VALLEY
ROCKWALL, TX 75087

RESIDENT
302 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
306 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
310 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
314 SHADOW RIDGE RD
ROCKWALL, TX 75087

SHANE HOMES (TEXAS) INC
325 N SAINT PAUL ST STE 3100 #2901
DALLAS, TX 75201

RESIDENT
400 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
404 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
405 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
408 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
409 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
412 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
413 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
416 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
417 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
420 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
502 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
506 SHADOW RIDGE RD
ROCKWALL, TX 75087

RESIDENT
510 SHADOW RIDGE RD
ROCKWALL, TX 75087

WAS HOLDINGS LLC
7091 ELM ST
FRISCO, TX 75034

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation in conjunction with a proposed Restaurant with Drive-Through or Drive-In on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-042: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Use is properly zoned, pickleball court will serve local residents and enhance business for success. This is the quality development planned and desired.

Name: **CW Bricker**

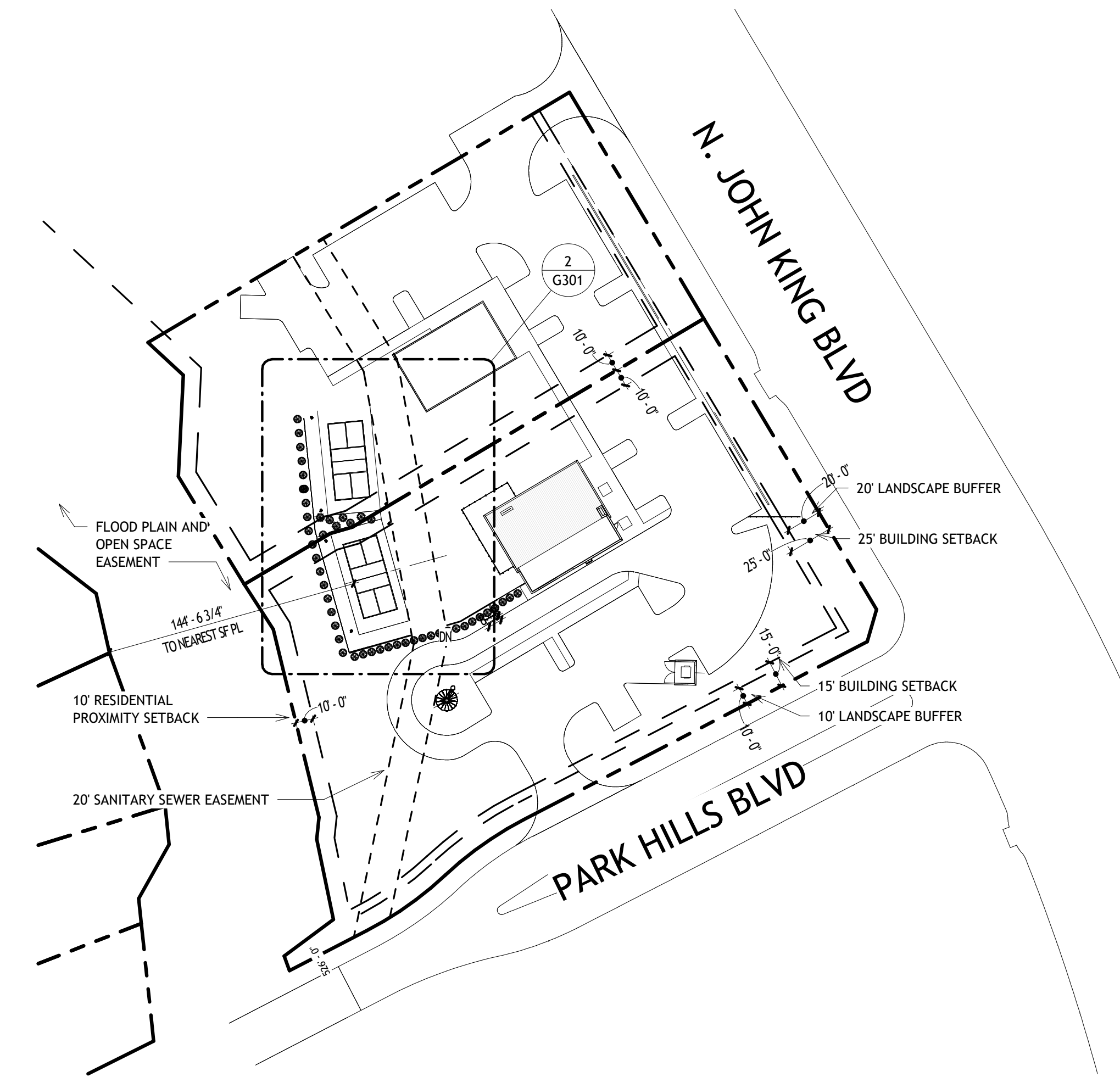
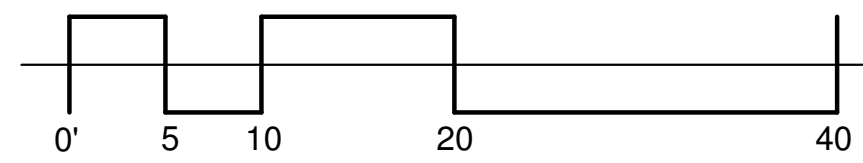
Address: **2235 Ridge Rd, Rockwall, TX 75087**

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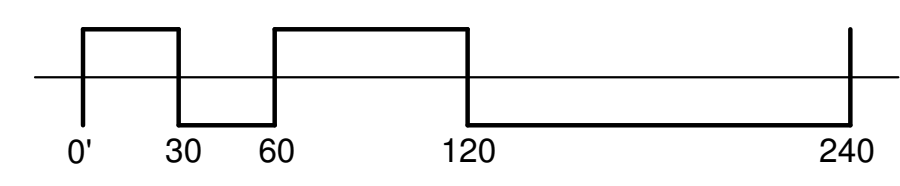
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2 SUP Pickleball Court Plan
1" = 10'-0"

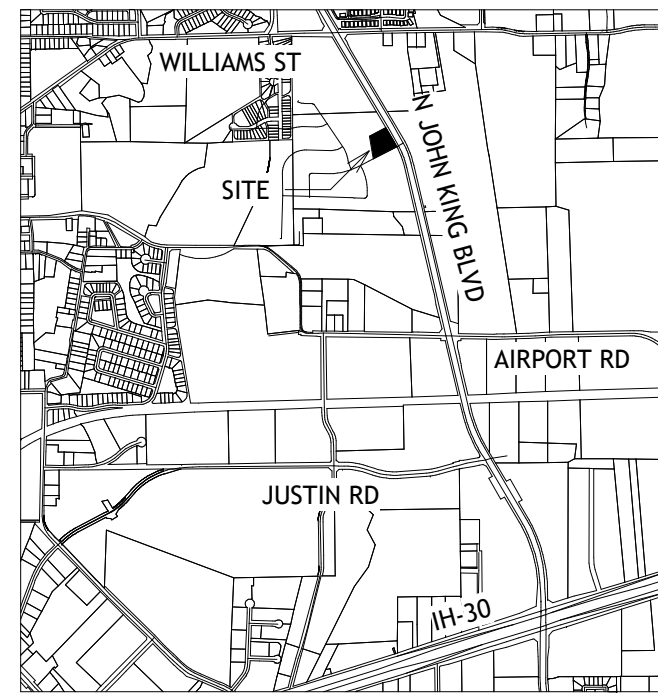


1 SUP Overall Site plan
1" = 60'-0"



Site Information
Lot
Subdivided:
Total Parcel Size:
Remaining Parcel:
Current Zoning:
Proposed Zoning:
Proposed Use:
Max Height:
Front Yard Setback:
Side Yard Setback:
Back Yard Setback:
Max Lot Coverage:
Max Floor Area Ratio

Proposed Part of Existing Lot 1
Proposed Lot 1A and 1B Block A
Lot "1A": 65,076 SF / 1.49 Acres
Lot "1B": 43,884 SF / 1.01 Acres
108,960 SF / 2.5 Acres
87,060 SF / 2.0 Acres
Planned Development 72
No Change
Pickleball Court as Accessory Use
60'
15'
10'
20'
60%
4:1



VICINITY MAP - NTS

Planting Schedule			
Type Mark	Common Name	Scientific Name	Count
NSH	Nellie Stevens Holly	ILEX 'NELLIE R. STEVENS'	40
RS	Rosemary	ROSMARINUS OFFICINALIS	4
TS	Texas Sage	LEUCOPHYLLUM SP.	4

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.810.4333

Owner:
Rockwall Property Corp
2205 Briar Road
Suite 201
Rockwall, Texas 75087

Specific Use Permit - Pickleball Courts Rockwall Coffee

N. John King Blvd
Rockwall, Texas

Portion of Lot 1, Block A 108,960 SF/2.5 Acres
Boardwalk Development Addition
City of Rockwall, County of Rockwall, Texas
George W. Redlin Survey, A 183

Prepared July 1, 2026

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 71 (PD-71) [*ORDINANCE NO. 07-19*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *OUTDOOR COMMERCIAL AMUSEMENT/RECREATION* IN CONJUNCTION WITH A PROPOSED *RESTAURANT WITH DRIVE-THROUGH OR DRIVE-IN* ON A 2.50-ACRE PORTION OF A LARGER 4.50-ACARE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK A, BOARDWALK DEVELOPMENT ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation for the approval of a *Specific Use Permit (SUP)* for *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) [*Ordinance No. 07-19*] for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Planned Development District 71 (PD-71) [*Ordinance No. 07-19*] and Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 71 (PD-71) [*Ordinance No. 07-19*] and the

Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow an *Outdoor Commercial Amusement/Recreation* land use in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 71 (PD-71) [Ordinance No. 07-19]; Subsection 04.01, *General Commercial (C) District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Outdoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Screening and buffering shall be provided between the pickleball courts and adjacent residential areas, as depicted in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF AUGUST, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 21, 2025

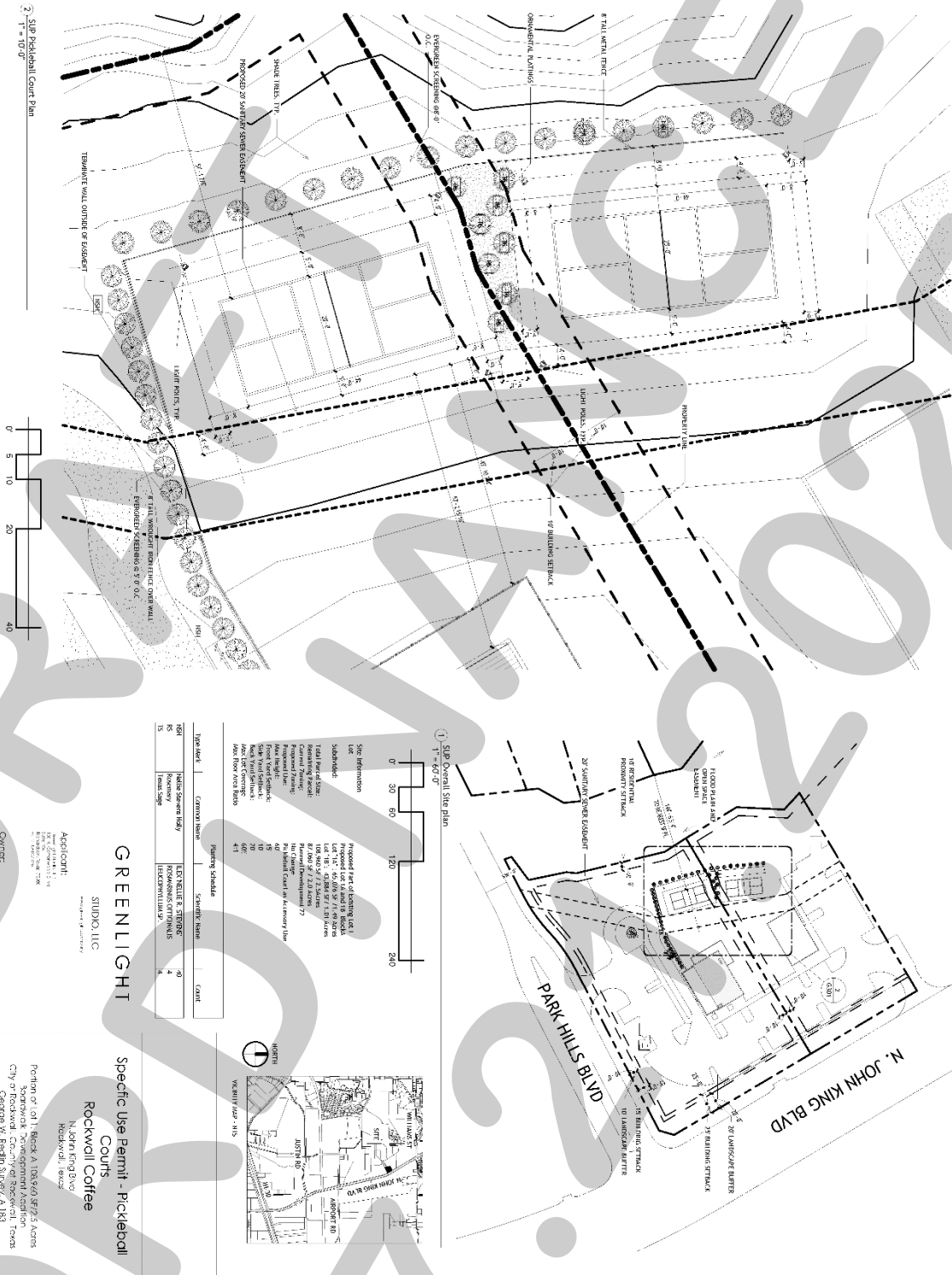
2nd Reading: August 4, 2025

Exhibit 'A'
Location Map

Legal Description: Lot 1, Block A, Boardwalk Development Addition



Exhibit 'B':
Concept Plan





August 12, 2025

TO: Tyler Adams
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080

CC: Bill Bricker
2235 Ridge Road
Suite 201
Rockwall, Texas

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2025-042; *Specific Use Permit for a Outdoor Commercial Amusement Recreation Facility*

Tyler:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on August 4, 2025. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of the SUP ordinance.
 - (b) Screening and buffering shall be provided between the pickleball courts and adjacent residential areas, as depicted in Exhibit 'B' of the SUP ordinance.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On July 15, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

City Council

On July 21, 2025, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On August 4, 2025, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 25-50, S-376*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6488.

Sincerely,

A handwritten signature in black ink that reads "Bethany Ross". The signature is fluid and cursive, with the first name and last name clearly distinguishable.

Bethany Ross

Senior Planner

Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 25-50

SPECIFIC USE PERMIT NO. S-376

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 71 (PD-71) [ORDINANCE NO. 07-19] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *OUTDOOR COMMERCIAL AMUSEMENT/RECREATION* IN CONJUNCTION WITH A PROPOSED *RESTAURANT WITH DRIVE-THROUGH OR DRIVE-IN* ON A 2.50-ACRE PORTION OF A LARGER 4.50-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK A, BOARDWALK DEVELOPMENT ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation for the approval of a *Specific Use Permit (SUP)* for *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) [Ordinance No. 07-19] for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Planned Development District 71 (PD-71) [Ordinance No. 07-19] and Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 71 (PD-71) [Ordinance No. 07-19] and the

Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow an *Outdoor Commercial Amusement/Recreation* land use in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 71 (PD-71) [Ordinance No. 07-19]; Subsection 04.01, *General Commercial (C) District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Outdoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Screening and buffering shall be provided between the pickleball courts and adjacent residential areas, as depicted in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

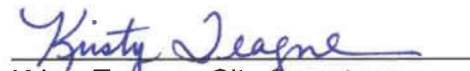
the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF AUGUST, 2025.**


Tim McCallum, Mayor

ATTEST:


Kristy Teague, City Secretary



APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: July 21, 2025

2nd Reading: August 4, 2025

Exhibit 'A'
Location Map

Legal Description: Lot 1, Block A, Boardwalk Development Addition



300 Unit Apartment Complex

1-10-07

10th Street

11th Street

12th Street

Proposed 300 Unit Apartment Building

Parking Lot

Landscaped Area

Proposed 10th Street Extension

10th Street

11th Street

12th Street

Proposed 300 Unit Apartment Building

Parking Lot

Landscaped Area

Proposed 10th Street Extension



From: [Ross, Bethany](#)
To: [Tyler Adams](#)
Cc: [Miller, Ryan](#); [Jennifer Wurster](#); [Mike Wurster \(mikewurster@gmail.com\)](#)
Subject: RE: Pickleball SUP
Date: Wednesday, July 2, 2025 8:28:00 AM
Attachments: [image002.png](#)

Thanks, Tyler.



Bethany Ross

Senior Planner | City of Rockwall
385 S. Goliad St., Rockwall TX 75087
Bross@Rockwall.com | [Planning and Zoning Website](#)
972.772.6488

From: Tyler Adams <tyler@gldevco.com>
Sent: Tuesday, July 1, 2025 5:02 PM
To: Ross, Bethany <bross@rockwall.com>
Cc: Miller, Ryan <RMiller@rockwall.com>; Jennifer Wurster <mikejenw@sbcglobal.net>; Mike Wurster (mikewurster@gmail.com) <mikewurster@gmail.com>
Subject: RE: Pickleball SUP

That's pretty crazy! Try this one, thank you for your timely response.

Tyler Adams, AIA

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From: Tyler Adams
Sent: Tuesday, July 1, 2025 4:41 PM
To: Ross, Bethany <bross@rockwall.com>
Cc: Miller, Ryan <rmiller@rockwall.com>; Jennifer Wurster <mikejenw@sbcglobal.net>; Mike Wurster (mikewurster@gmail.com) <mikewurster@gmail.com>
Subject: Pickleball SUP

Bethany,

Please see the attached drawing responding to city comments.

Thank you,

Tyler Adams, AIA

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