



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1540 I-30 Rockwall, TX 75087

SUBDIVISION Rockwall Recreation Addition

LOT 1

BLOCK 1

GENERAL LOCATION Located off I-30 Service Road & Commerce Street

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING L1

CURRENT USE Auto Dealer

PROPOSED ZONING

PROPOSED USE

ACREAGE 7.17

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 1540 East IH 30 Rockwall, LLC

APPLICANT The Charles Morgan Group, LP

CONTACT PERSON Chase Cooley

CONTACT PERSON Davin Marceau

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHASE F. COOLEY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 11th TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF December, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

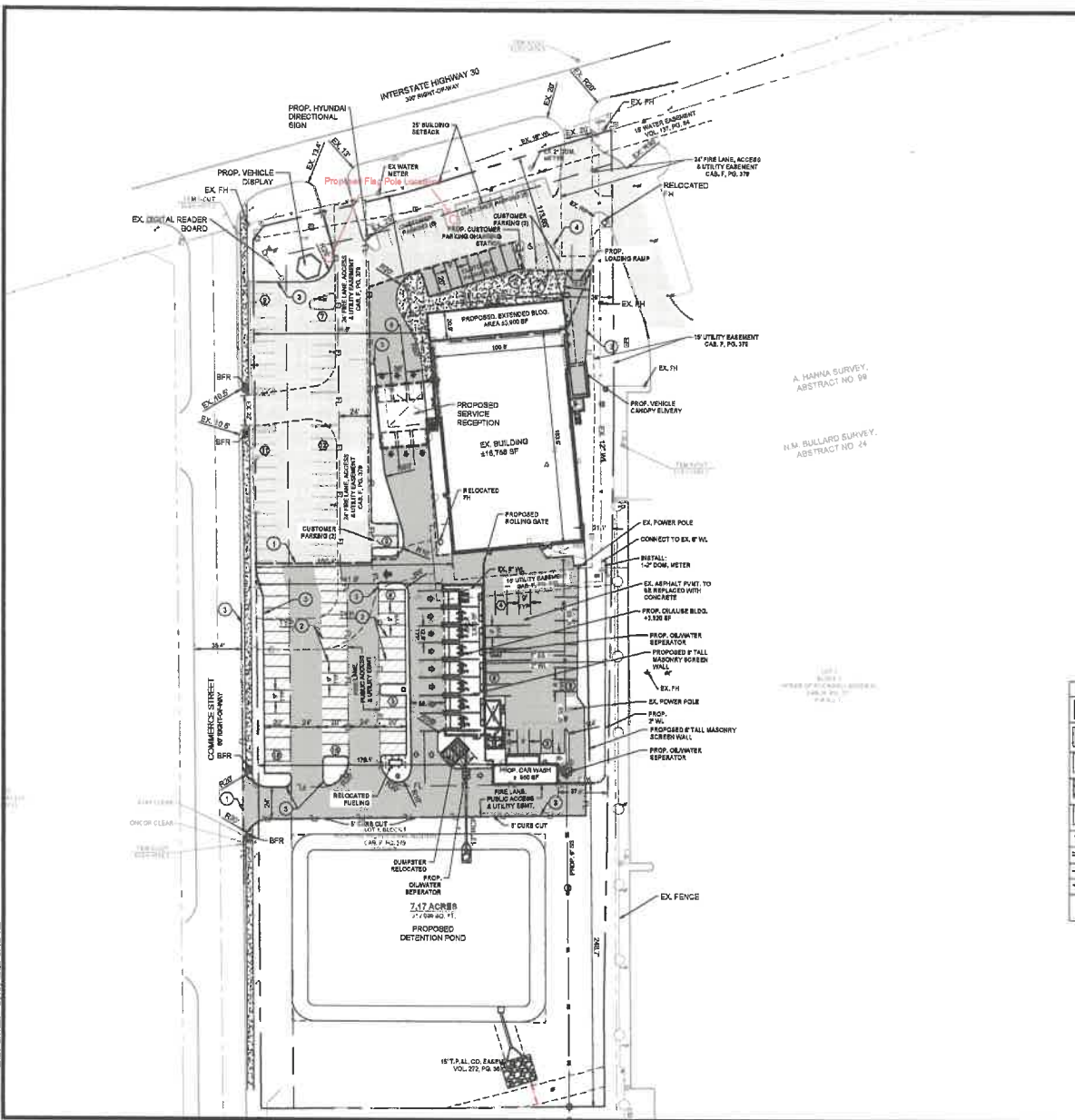
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF December, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



PLOTTED BY: JAT/KH/AM/ODDA  
 PLOT DATE: 5/16/2023 8:44 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CAD\DWG\SHEETS\SP-1 CITY SITE PLAN.DWG  
 P. 30/30 5/16/2023 8:42 AM

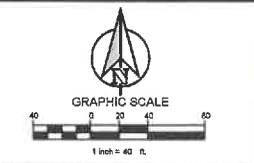


A. HANNA SURVEY, ABSTRACT NO. 99  
 H.M. BULLARD SURVEY, ABSTRACT NO. 24

SITE DATA TABLE	
SITE AREA	7.71 AC (312,089 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	22,858 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,600 SF (OIL/LUBE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/250 SF	19 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 PER 2 BAY	8 SPACES
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	58 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
REVENUE STORAGE PARKING	24 SPACES

CONSTRUCTION SCHEDULE	
(1)	EXISTING CONCRETE PAVEMENT
(2)	FIRE LANE AND DRIVE ASLE 8" 3000 PSI (AS SAGGOCY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
(3)	PARKING 8" 3000 PSI (AS SAGGOCY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
(4)	PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK
(5)	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-10
(6)	PROPERTY LINE
(7)	PROPOSED CONCRETE CURB AND GUTTER
(8)	PROPOSED FIRE LANE
(9)	PROPOSED SAWCUT
(10)	PARKING COUNT



CONSTRUCTION SCHEDULE	
(1)	PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
(2)	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
(3)	PROP. CONCRETE CURB & GUTTER
(4)	EX. HANDICAP SYMBOL
(5)	EX. HANDICAP SIGN
(6)	PROP. PAVEMENT STRIPING
(7)	PROP. PROPOSED BOLLARD

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 2' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOIL MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROGBOT.

**CLAY COOLEY HYUNDAI**  
**ROCKWALL, TX 75087**  
 LEGAL DESCRIPTION AND/OR ADDRESS:  
**ROCKWALL RECREATION ADDITION**  
**LOT 1 BLOCK 1**  
**7.17 AC (312,089 SF)**

CLAY COOLEY AUTO  
 1291 E. AIRPORT FREEWAY  
 IRVING, TX 75062

CLAYMOORE ENGINEERING, INC.  
 1805 CENTRAL DRIVE, SUITE #408  
 BEDFORD, TX 76021  
 PH: 817.261.0572

CASE NUMBER  
 Z2021-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

**CLAYMOORE ENGINEERING**  
 13305 W. STATE ST. SUITE 100  
 DALLAS, TEXAS 75244  
 TEL: 972.382.1000  
 FAX: 972.382.1001  
 WWW.CLAYMOOREENGINEERING.COM

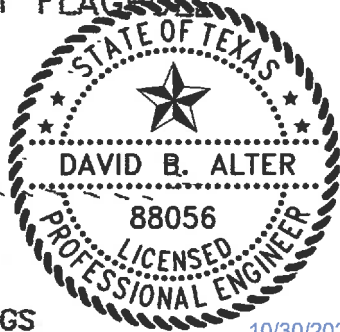
**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**

**CITY SITE PLAN**

SHEET  
**SP-1**

(SP2022-003)

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

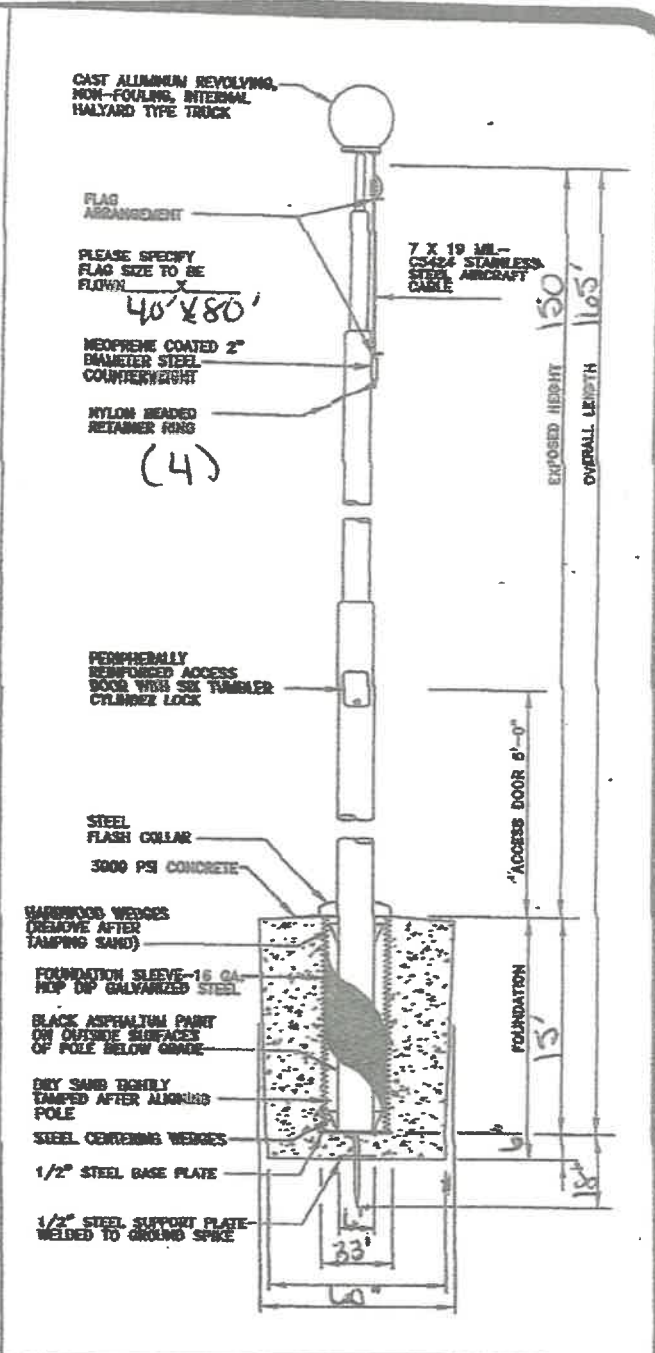
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



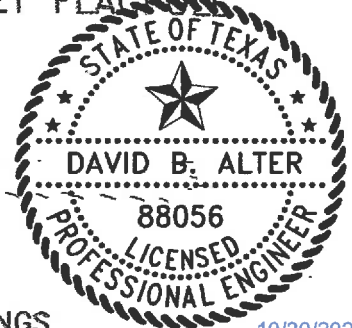
TX Flag  
40' x 80'

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 116.5'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Retail			White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	116.5'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

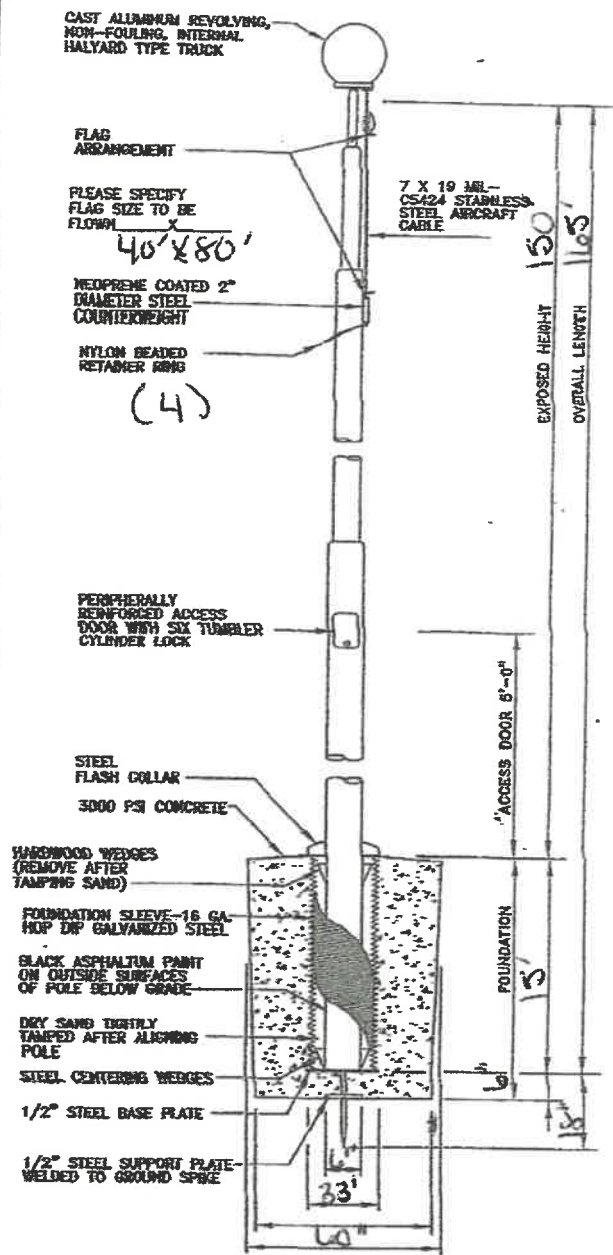
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**TRUCK:** Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

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**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



*US Flag,  
40' x 80'*

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-130	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Robinson			White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# STRUCTURAL CALCULATIONS

*Project:*

**Clay Cooley Hyundai Flagpole & Footing**  
1540 I-30  
Rockwall, TX 75087

*Project Number:* 14520

*Prepared For:*

**Symonds Flags and Poles**  
250 W. Airport Freeway  
Irving, TX 75062

*Date:*

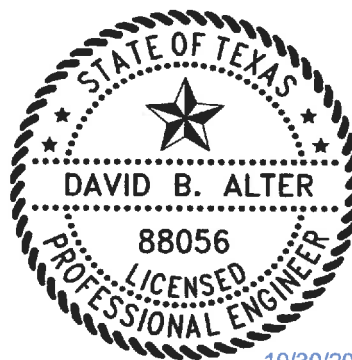
October 2025

*Prepared By:*

**Adam Pope, EIT**

*Reviewed By:*

**David B. Alter, PE**



10/30/2025

**Ensign Engineering**

45 West 10000 South, Suite 500

Sandy, Utah 84070

P: (801) 255-0529

F: (801) 255-4449

ensigneng.com

**ENSIGN**  
THE STANDARD IN ENGINEERING

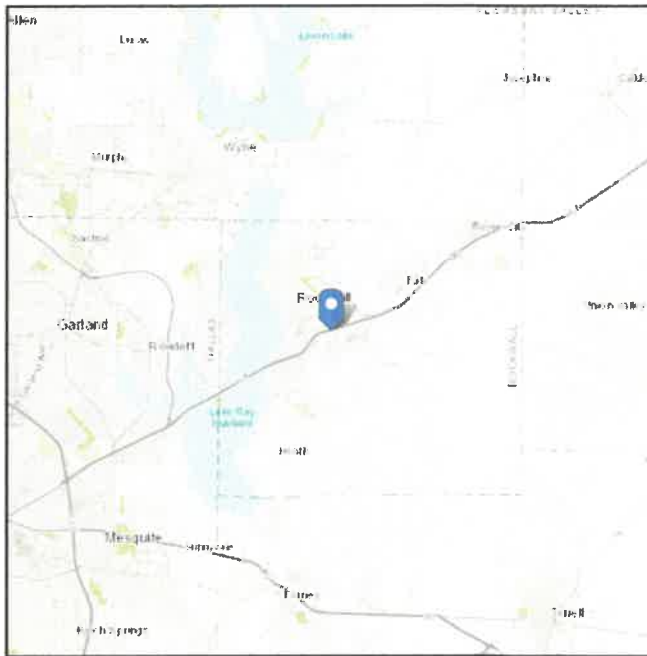


# ASCE Hazards Report

**Address:**  
1540 E Interstate 30  
Rockwall, Texas  
75087

**Standard:** ASCE/SEI 7-22  
**Risk Category:** II  
**Soil Class:** Default

**Latitude:** 32.914362  
**Longitude:** -96.436478  
**Elevation:** 573.0197118668139 ft  
(NAVD 88)



## Wind

### Results:

Wind Speed	105 Vmph
10-year MRI	75 Vmph
25-year MRI	80 Vmph
50-year MRI	85 Vmph
100-year MRI	90 Vmph
300-year MRI	100 Vmph
700-year MRI	105 Vmph
1,700-year MRI	115 Vmph
3,000-year MRI	117 Vmph
10,000-year MRI	126 Vmph
100,000-year MRI	145 Vmph
1,000,000-year MRI	162 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2  
Date Accessed: Wed Oct 29 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2.



The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE standard.

In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE Hazard Tool.

**GENERAL PROJECT INFORMATION**

Latitude: 32.91 North (Approximate)  
 Longitude: -96.44 West (Approximate)

Client: **Symonds Flags and Poles**

**PROJECT DESCRIPTION**

Structural Calculations for  $h := 150 \text{ ft}$  flag pole footing

**GENERAL DESIGN CRITERIA**

Structure Type: Flag Pole  
 Design Code: 2021 IBC / FP1001-07  
 Risk Category: II

**DESIGN LOADS**

Wind Loads:

Wind Speed:  $WS := 105$  mph - 3 second gust (strength level)  
 Exposure: C

**FOUNDATION CRITERIA & SPECIFICATIONS**

Soils Report: Company: Presumptive  
 Date: N/A  
 Report/Project Number: N/A  
 Contact: N/A

Allowable Bearing Pressure: 1500 psf

Passive Pressure:  $P_{\text{passive}} := 2 \cdot 150 \frac{\text{psf}}{\text{ft}} = 300 \frac{\text{psf}}{\text{ft}}$   
 Increase Per IBC 1806.3.4

Coefficient of Friction,  $\mu$ : 0.35

Foundation Type:

Footing Type: Pole Footing

**FOUNDATION CRITERIA & SPECIFICATIONS**

**CONCRETE & REINFORCING STEEL SPECIFICATIONS**

Concrete Strength,  $f'c$ :  
 Footings/Foundation Walls: 3000 psi

Steel Pole Segments: API 5Lx46 Grade B ( $f_y=46$  ksi)

## Flagpole Design

### Flagpole Geometry

$$h = 150 \text{ ft}$$

Total Pole Height from the Ground

$$w_1 := 24 \text{ in} \quad w_3 := 15 \text{ in}$$

Pole Widths

$$w_2 := 19.5 \text{ in} \quad w_4 := 10.75 \text{ in}$$

$$h_1 := 50 \text{ ft} \quad h_3 := 40 \text{ ft}$$

Respective Pole Heights

$$h_2 := 40 \text{ ft} \quad h_4 := 20 \text{ ft}$$

### Wind loads on pole (Per NAAMM / FP1001-07)

$$WS = 105$$

Wind speed (mph)

$$V := \sqrt{0.6} \cdot WS$$

Wind velocity ASCE 7-16 (mph) adjusted to ASCE 7-05

$$G := 1.14$$

Gust effect factor recommended for flag poles

### Segment 4 Calculations

$$z_4 := 140 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_4 := \frac{w_4}{\text{ft}} = 0.896$$

$$C_{deq4} := \frac{129}{(V \cdot d_4)^{1.3}} = 0.49$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d4} := \text{if}(C_{deq4} < 0.45, 0.45, \text{if}(C_{deq4} > 1.1, 1.1, C_{deq4})) = 0.489$$

$$C_{h4} := 2.01 \cdot \left( \frac{z_4}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.36$$

Height coefficient FG1001 Eq. 2

$$P_4 := 0.00256 \cdot V^2 \cdot C_{d4} \cdot C_{h4} \cdot G = 12.826$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_4 := h_4 \cdot w_4 = 17.917 \text{ ft}^2$$

Pole Area

$$F_4 := P_4 \cdot \text{psf} \cdot A_4 = 229.799 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b4} := A_4 \cdot P_4 \cdot \text{psf} \cdot z_4 = 32.172 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 4

Segment 3 Calculations

$$z_3 := 110 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_3 := \frac{w_3}{ft} = 1.25$$

$$C_{deq3} := \frac{129}{(V \cdot d_3)^{1.3}} = 0.32$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d3} := \text{if}(C_{deq3} < 0.45, 0.45, \text{if}(C_{deq3} > 1.1, 1.1, C_{deq3})) = 0.45$$

$$C_{h3} := 2.01 \cdot \left( \frac{z_3}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.29$$

*Height coefficient FG1001 Eq. 2*

$$P_3 := 0.00256 \cdot V^2 \cdot C_{d3} \cdot C_{h3} \cdot G = 11.218$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_3 := h_3 \cdot w_3 = 50 \text{ ft}^2$$

*Pole Area*

$$F_3 := P_3 \cdot \text{psf} \cdot A_3 = 560.886 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b3} := A_3 \cdot P_3 \cdot \text{psf} \cdot z_3 = 61.697 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 3*

Segment 2 Calculations

$$z_2 := 70 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_2 := \frac{w_2}{ft} = 1.625$$

$$C_{deq2} := \frac{129}{(V \cdot d_2)^{1.3}} = 0.23$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d2} := \text{if}(C_{deq2} < 0.45, 0.45, \text{if}(C_{deq2} > 1.1, 1.1, C_{deq2})) = 0.45$$

$$C_{h2} := 2.01 \cdot \left( \frac{z_2}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.17$$

*Height coefficient FG1001 Eq. 2*

$$P_2 := 0.00256 \cdot V^2 \cdot C_{d2} \cdot C_{h2} \cdot G = 10.2$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_2 := h_2 \cdot w_2 = 65 \text{ ft}^2$$

*Pole Area*

$$F_2 := P_2 \cdot \text{psf} \cdot A_2 = 662.968 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b2} := A_2 \cdot P_2 \cdot \text{psf} \cdot z_2 = 46.408 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 2*

Segment 1 Calculations

$$z_1 := 25 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_1 := \frac{w_1}{ft} = 2$$

$$C_{deq1} := \frac{129}{(V \cdot d_1)^{1.3}} = 0.17$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d1} := \text{if}(C_{deq1} < 0.45, 0.45, \text{if}(C_{deq1} > 1.1, 1.1, C_{deq1})) = 0.45$$

$$C_{h1} := \text{if}\left(z_1 < 16.4 \text{ ft}, 0.86, 2.01 \cdot \left(\frac{z_1}{900 \text{ ft}}\right)^{\frac{2}{9.5}}\right) = 0.95$$

*Height coefficient FG1001 Eq. 2 (if z1 < 16.4' Ch = 0.86)*

$$P_1 := 0.00256 \cdot V^2 \cdot C_{d1} \cdot C_{h1} \cdot G = 8.212$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_1 := h_1 \cdot w_1 = 100 \text{ ft}^2$$

*Pole Area*

$$F_1 := P_1 \cdot \text{psf} \cdot A_1 = 821.184 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b1} := A_1 \cdot P_1 \cdot \text{psf} \cdot z_1 = 20.53 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 1*

$$M_{\text{bpole}} := M_{b1} + M_{b2} + M_{b3} + M_{b4} = 160.807 \text{ kip} \cdot \text{ft}$$

Wind loads on flag (per NAAMM / FP1001-07)

$$h_f := 40 \text{ ft} \quad w_f := 80 \text{ ft} \quad z_f := 130 \text{ ft}$$

*Flag geometry*

$$C_{hf} := 2.01 \cdot \left(\frac{z_f}{900 \text{ ft}}\right)^{\frac{2}{9.5}} = 1.34$$

*Height coefficient FG1001 Eq. 2*

$$A_f := h_f \cdot w_f = 3200 \text{ ft}^2$$

*Flag Area*

$$F_f := 0.0014 \frac{\text{lbf}}{\text{ft}} \cdot V^2 \cdot \sqrt{A_f} \cdot C_{hf} \cdot G = 798.783 \text{ lbf}$$

*Force on flag FG1001 Eq. 5 (polyester flag = worst case)*

$$M_{bf} := F_f \cdot z_f = 103.842 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from the flag*

$$F_d := \frac{F_f}{h_f} = 19.97 \text{ plf}$$

Moment @ Base

$$M_{\text{total}} := M_{\text{br}} + M_{\text{bpole}} = 264.648 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 2

$$M_2 := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) + F_f \cdot (z_f - h_1)$$

$$M_2 = 131.497 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 3

$$M_3 := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) + F_f \cdot (z_f - h_1 - h_2)$$

$$M_3 = 54.659 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 4

$$M_4 := F_4 \cdot (z_4 - h_1 - h_2 - h_3) + F_d \cdot h_4 \cdot \left(\frac{h_4}{2}\right) = 6.292 \text{ kip} \cdot \text{ft}$$

Worst loading case for segment 4  
 =full length of segment

Section Modulii of Each Segment

$$T := 0.375 \text{ in}$$

$$S_1 := \frac{\pi \cdot (w_1^4 - (w_1 - 2T)^4)}{32 \cdot w_1} = 161.858 \text{ in}^3$$

$$S_3 := \frac{\pi \cdot (w_3^4 - (w_3 - 2T)^4)}{32 \cdot w_3} = 61.461 \text{ in}^3$$

$$S_2 := \frac{\pi \cdot (w_2^4 - (w_2 - 2T)^4)}{32 \cdot w_2} = 105.696 \text{ in}^3$$

$$S_4 := \frac{\pi \cdot (w_4^4 - (w_4 - 2T)^4)}{32 \cdot w_4} = 30.637 \text{ in}^3$$

$$Z_1 := \frac{w_1^3 - (w_1 - 2T)^3}{6} = 209.32 \text{ in}^3$$

$$Z_3 := \frac{w_3^3 - (w_3 - 2T)^3}{6} = 80.227 \text{ in}^3$$

$$Z_2 := \frac{w_2^3 - (w_2 - 2T)^3}{6} = 137.18 \text{ in}^3$$

$$Z_4 := \frac{w_4^3 - (w_4 - 2T)^3}{6} = 40.383 \text{ in}^3$$

Bending Stress Check of Each Segment (16.1-F8 AISC)

$$E := 29000 \text{ ksi} \quad F_y := 42 \text{ ksi} \quad \Omega_b := 1.67$$

**ALLOWABLE FACTORED  
 STRENGTH PER CODE IS 40  
 KSI FOR 42 KSI STEEL**

Segment 4

$$D_t := \frac{w_4}{T} = 28.667 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 333.837 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_4 = 141.34 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_4}{M_{ny}} = 0.074 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_4, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_4)) = \text{"N/A"}$$

Segment 3

$$D_t := \frac{w_3}{T} = 40 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 239.25 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_3 = 280.793 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_3}{M_{ny}} = 0.325 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_3, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_3)) = \text{"N/A"}$$

Segment 2

$$D_t := \frac{W_2}{T} = 52 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 184.038 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_2 = 480.129 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_2}{M_{ny}} = 0.457 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_2, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_2\right)\right) = 15221234.198 \frac{\text{lb} \cdot \text{ft}^2}{\text{s}^2}$$

Segment 1

$$D_t := \frac{W_1}{T} = 64 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 149531.25 \text{ psi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_1 = 732.621 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_{b\text{total}}}{M_{ny}} = 0.603 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_1, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_1\right)\right) = 694.852 \text{ kip} \cdot \text{ft}$$

$$\frac{\Omega_b \cdot M_{b\text{total}}}{M_{nb}} = 0.636 \quad \text{Must be } < 1$$

At maximum wind, the pole with attached flag would not fail. However, the flag is not expected to stay attached with winds exceeding 50 mph. Calculations without the flag follow. The assumption is that the flag will rip from the pole before it is able to transfer maximum load to the pole.

**FLAG SHALL BE REMOVED BEFORE WIND SPEEDS REACH 75 MPH.**

Moment @ Base w/out Flag

$$M_{\text{totalwof}} := M_{\text{ppole}} = 160.807 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 2 w/out flag

$$M_{2\text{wof}} := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) = 67.594 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 3 w/out flag

$$M_{3\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) = 22.708 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 4 w/out flag

$$M_{4\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2 - h_3) = 2.298 \text{ kip} \cdot \text{ft}$$

Loads on steel sections less than when the flag is present. **Steel is adequate by inspection.**

## Footing Design

$$b := 4.5 \text{ ft}$$

*Diameter of footing in ft*

$$P' := F_1 + F_2 + F_3 + F_4 + F_f = 3073.62 \text{ lbf}$$

*Applied lateral force in lbs*

$$h' := \frac{M_{\text{total}}}{P'} = 86.103 \text{ ft}$$

*Distance in ft from ground surface to point of application of "P"*

$$S_1 := 1191.237 \text{ psf}$$

*Allowable Lateral soil bearing pressure as set forth in the IBC, Section 1806.2 based on depth of one-third the depth of embedment in psf*

\*Note to Engineer: Iterate Lateral Bearing Soil Pressure

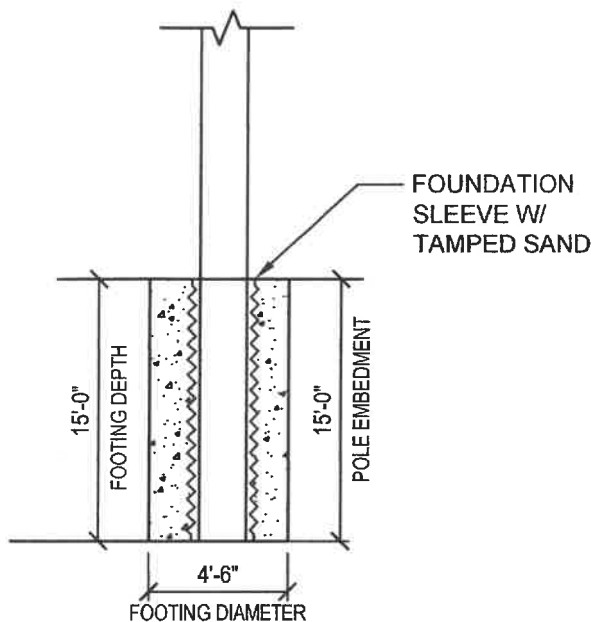
$$A := \frac{2.34 \cdot P'}{S_1 \cdot b} = 1.342 \text{ ft}$$

$$d := 0.5 \cdot A \cdot \left( 1 + \left( 1 + \left( \frac{4.36 \cdot h'}{A} \right)^{\frac{1}{2}} \right) \right) = 11.91 \text{ ft}$$

*Depth of embedment in earth in ft but not over 12 ft for purpose of computing lateral pressure (IBC 1807.3, EQ 18-1)*

Footing Depth to be: **12 ft** min

**WARNING: FLAG MUST BE REMOVED IF WINDS WILL EXCEED 75 MPH**

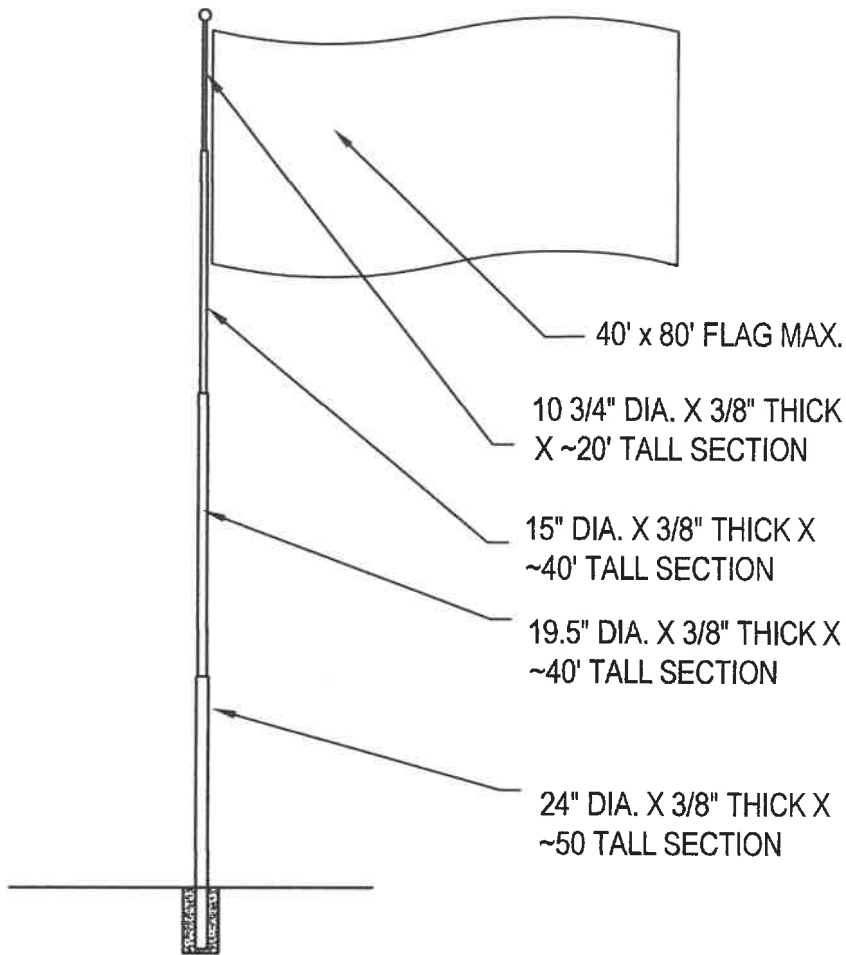


**FOOTING**

FOUNDATION DESIGN IS BASED ON ASSUMED SOIL PROPERTIES. IF THE SOIL ENCOUNTERED IN THE EXCAVATION IS NOT SAND, SILTY SAND, CLAYER SAND, SILTY GRAVEL OR CLAYEY GRAVEL, PLEASE NOTIFY THE ENGINEER. ALSO, IF THE WATER TABLE IS ENCOUNTERED IN THE EXCAVATION, PLEASE CONTACT THE ENGINEER



10/30/2025

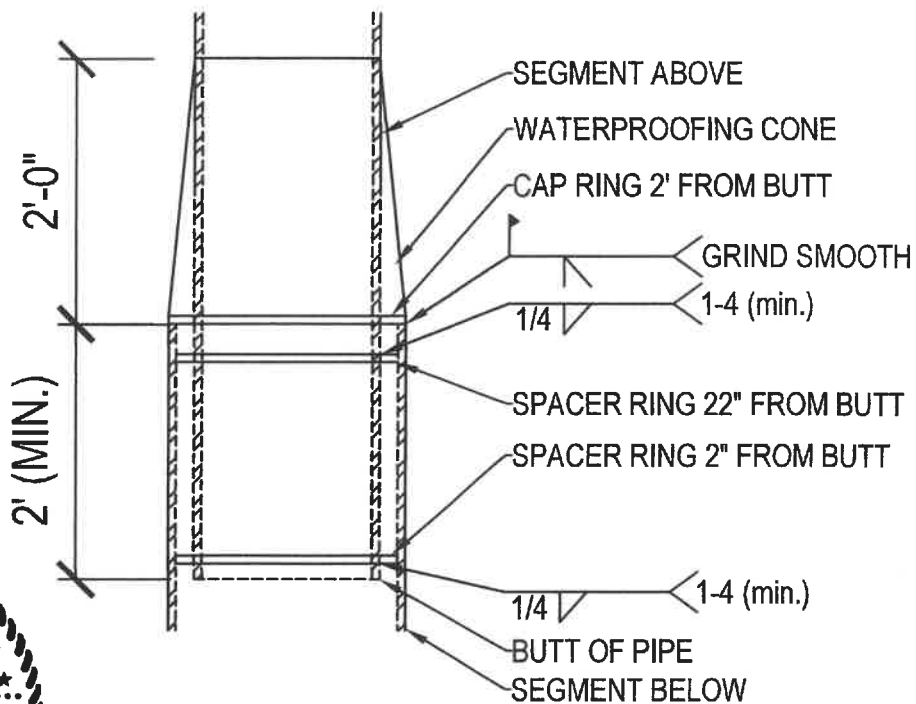


**ELEVATION**

**1 FLAGPOLE**

SCALE: N.T.S.

<p>SHEET: <b>SK1</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope PROJECT MANAGER D. Alter</p>	<p>PROJECT NAME <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4440 WWW.ENSIGNUTAH.COM</p>
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10/30/2025

1 CONNECTION SLEEVE

SCALE: N.T.S.

<p>SHEET: <b>SK2</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope REVIEWED BY D. Alter</p>	<p>PROJECT NAME: <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p><b>ENSIGN</b> THE STANDARD IN ENGINEERING</p> <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4448 WWW.ENSIGNUTAH.COM</p>
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# DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE

## STANDARD FITTINGS

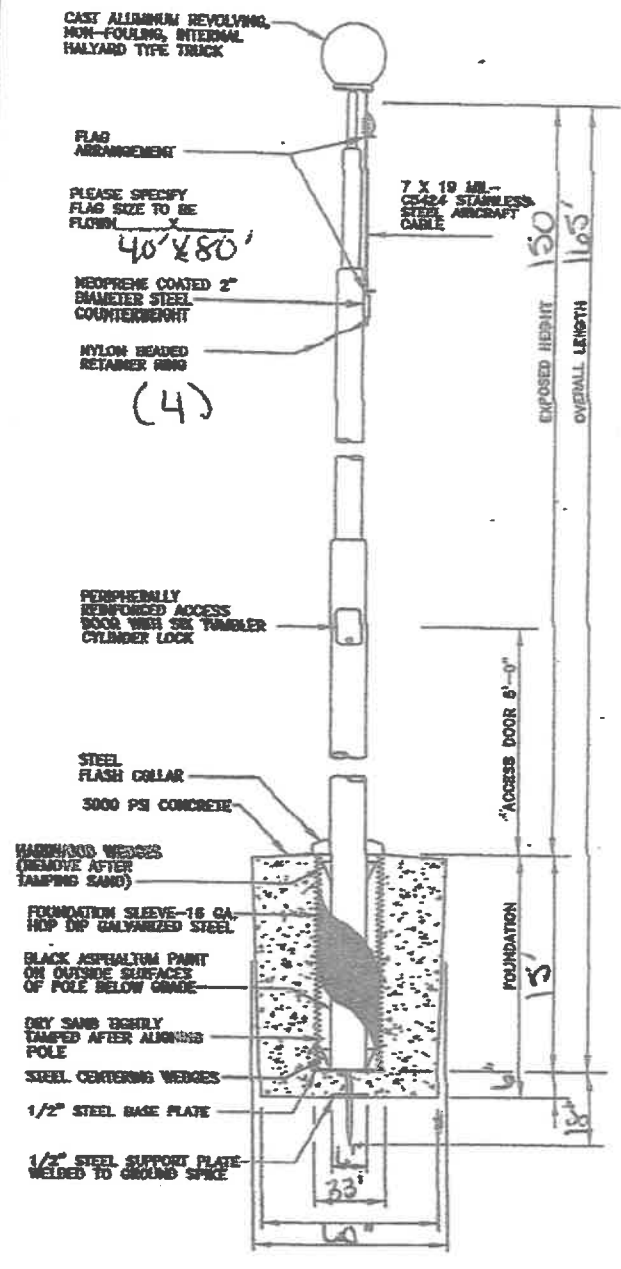
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock, Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 116.5'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24" TOP DIA. 10 3/4" WALL THICKNESS .375"		
CONT. R:	SHIP IN 5	SEC.	FINISH Powder Coat
CUST: Clay Cooley Hyundai	Rockwell		White

*TX Flag  
40' x 80'*

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	116.5'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE

## STANDARD FITTINGS

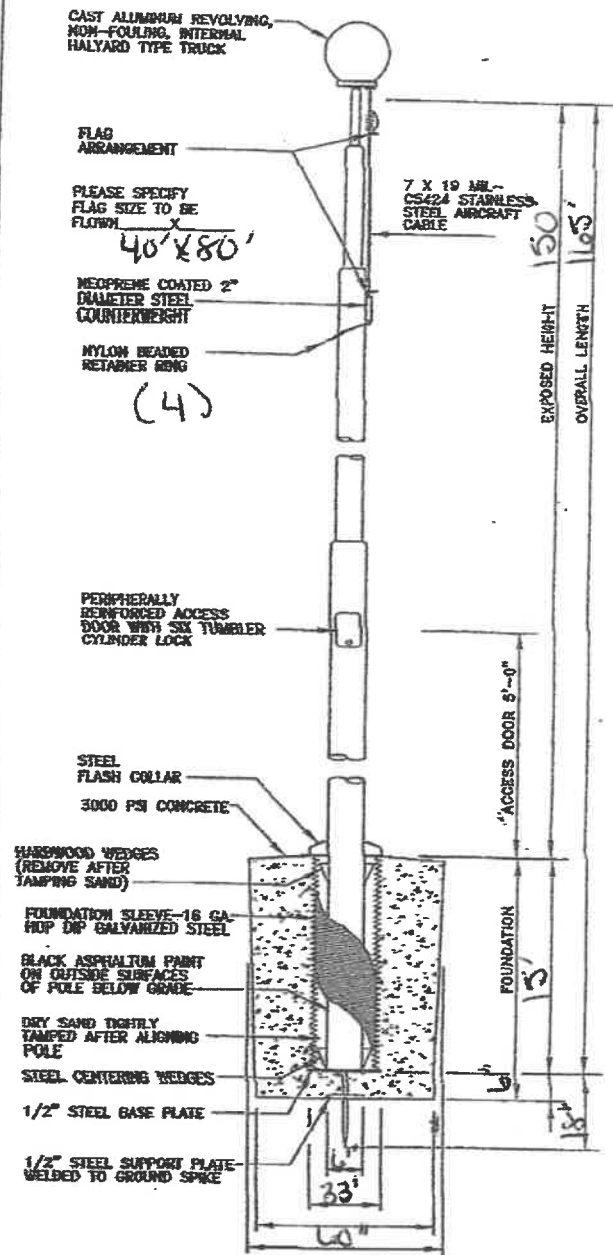
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable access door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



*US Flag,  
40' x 80'*

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-130	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Rental			White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

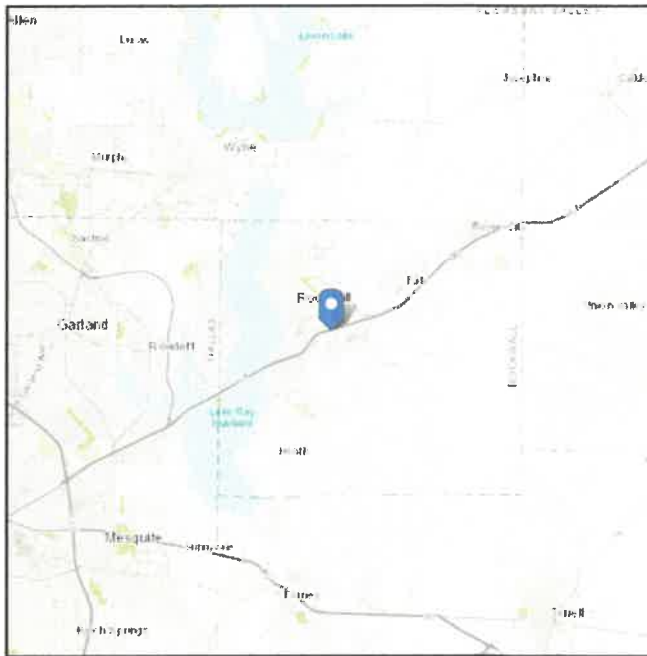


# ASCE Hazards Report

**Address:**  
 1540 E Interstate 30  
 Rockwall, Texas  
 75087

**Standard:** ASCE/SEI 7-22  
**Risk Category:** II  
**Soil Class:** Default

**Latitude:** 32.914362  
**Longitude:** -96.436478  
**Elevation:** 573.0197118668139 ft  
 (NAVD 88)



## Wind

**Results:**

Wind Speed	105 Vmph
10-year MRI	75 Vmph
25-year MRI	80 Vmph
50-year MRI	85 Vmph
100-year MRI	90 Vmph
300-year MRI	100 Vmph
700-year MRI	105 Vmph
1,700-year MRI	115 Vmph
3,000-year MRI	117 Vmph
10,000-year MRI	126 Vmph
100,000-year MRI	145 Vmph
1,000,000-year MRI	162 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2  
 Date Accessed: Wed Oct 29 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2.



The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE standard.

In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE Hazard Tool.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1540 I-30 Rockwall, TX 75087

SUBDIVISION Rockwall Recreation Addition

LOT 1

BLOCK 1

GENERAL LOCATION Located off I-30 Service Road & Commerce Street

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING L1

CURRENT USE Auto Dealer

PROPOSED ZONING

PROPOSED USE

ACREAGE 7.17

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 1540 East IH 30 Rockwall, LLC

APPLICANT The Charles Morgan Group, LP

CONTACT PERSON Chase Cooley

CONTACT PERSON Davin Marceau

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHASE F. COOLEY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 11th TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF December, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF December, 2025.

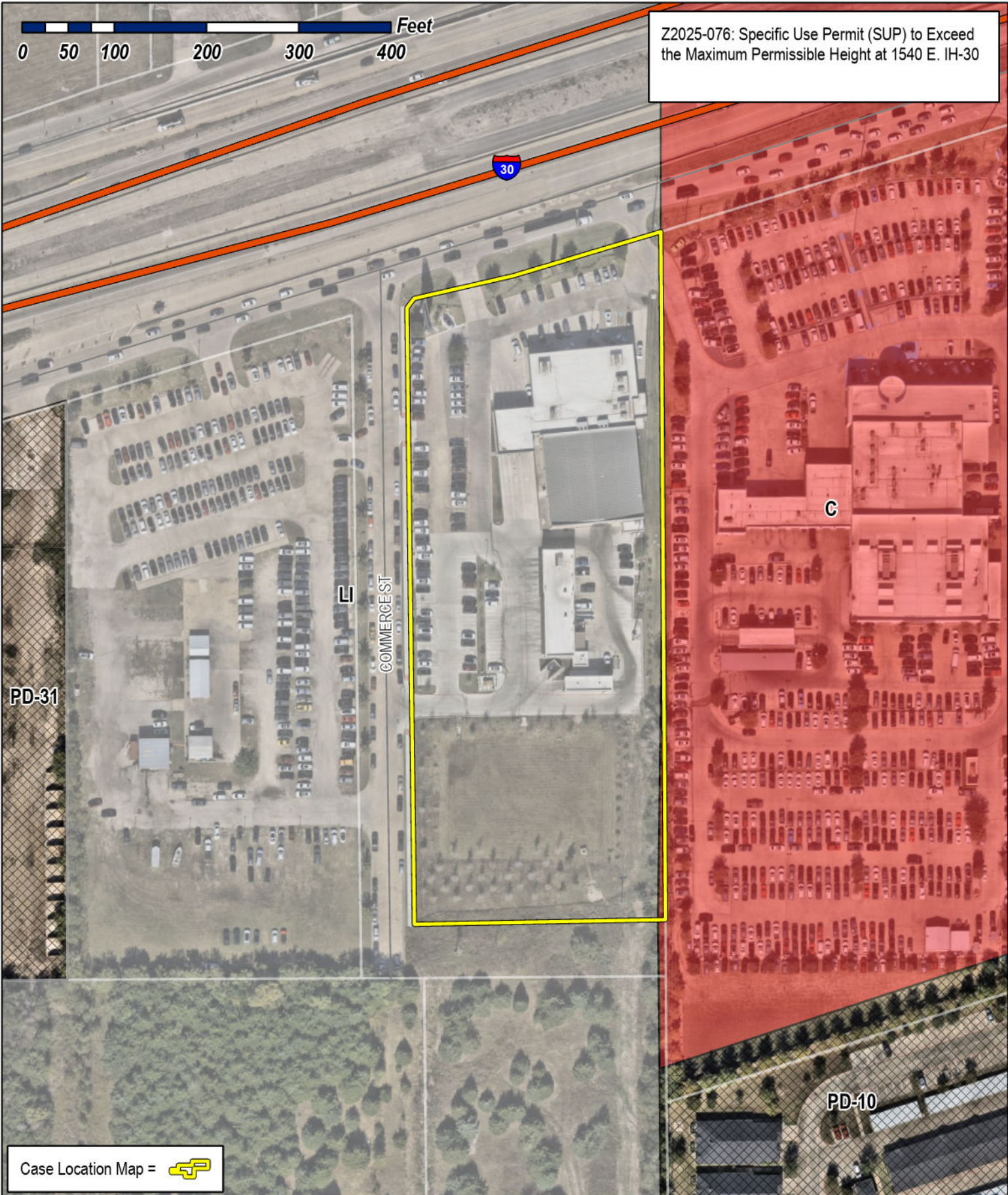
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-076: Specific Use Permit (SUP) to Exceed the Maximum Permissible Height at 1540 E. IH-30



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

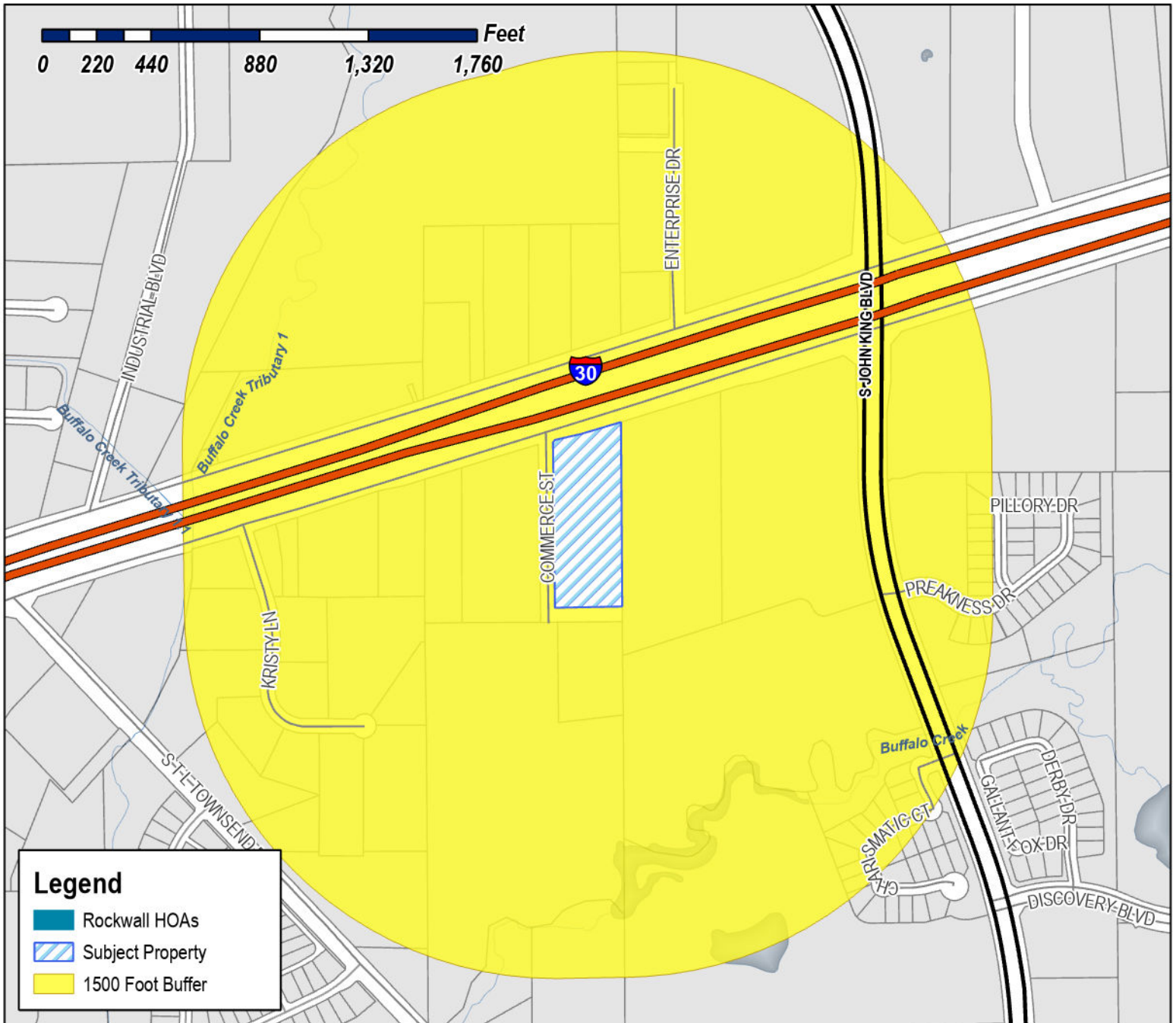




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**Case Number:** Z2025-076  
**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025  
 For Questions on this Case Call (972) 771-7745

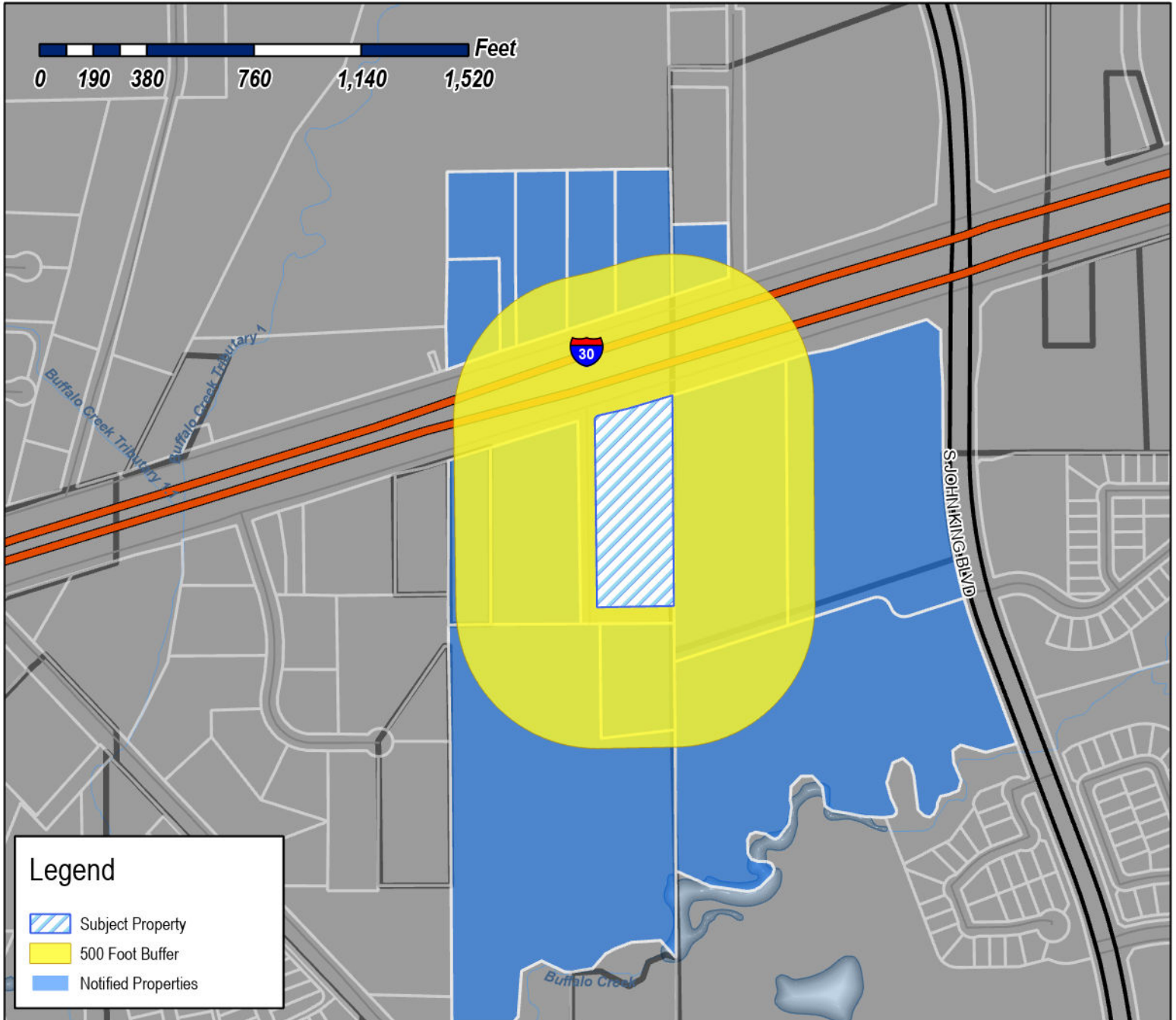




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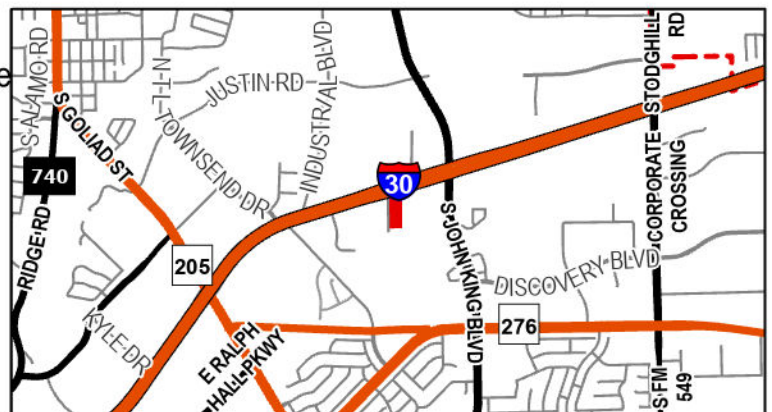


**Legend**

-  Subject Property
-  500 Foot Buffer
-  Notified Properties

**Case Number:** Z2025-076  
**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025  
 For Questions on this Case Call: (972) 771-7745



RESIDENT  
130 NORTH SERVICE RD  
ROCKWALL, TX 75087

LITHIA REAL ESTATE INC  
150 N BARTLETT STREET  
MEDFORD, OR 97501

RESIDENT  
1520 E I30  
ROCKWALL, TX 75087

RESIDENT  
1530 S I30  
ROCKWALL, TX 75087

RESIDENT  
1535 I30  
ROCKWALL, TX 75087

RESIDENT  
1540 I30  
ROCKWALL, TX 75087

RESIDENT  
1545 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1550 E I30  
ROCKWALL, TX 75087

RESIDENT  
1551 E I30  
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP  
A TEXAS LTD PARTNERSHIP  
1551 E Interstate 30 Ste A  
Rockwall, TX 75087

RESIDENT  
1600 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1650 S JOHN KING  
ROCKWALL, TX 75087

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

C2LA, LLC  
382 Ranch Trl  
Rockwall, TX 75032

H E B LP  
646 SOUTH FLORES STREET  
SAN ANTONIO, TX 78204

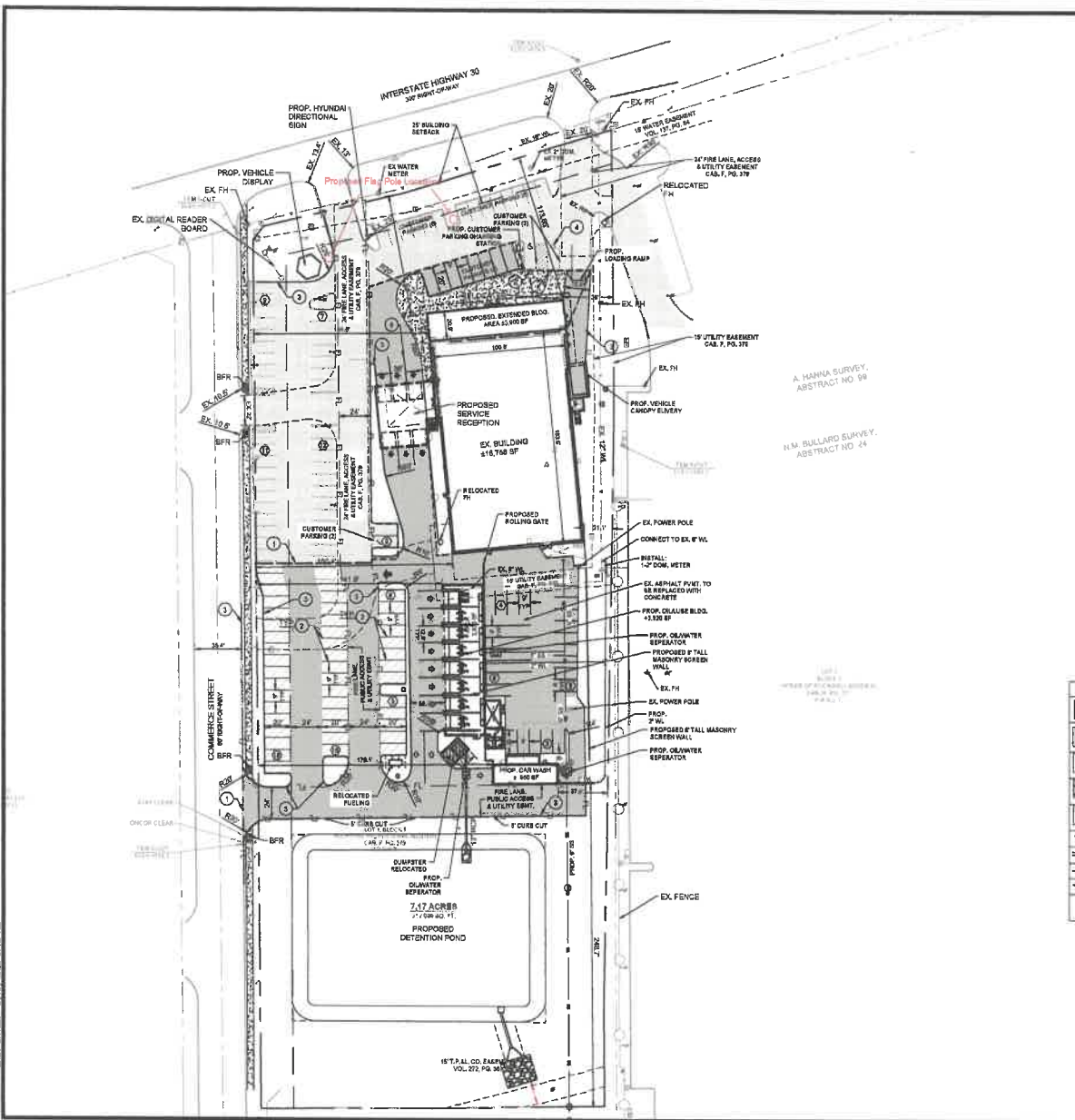
DYNACAP HOLDINGS LTD &  
CHARLES SMITH  
709 W Rusk St Ste B  
Rockwall, TX 75087

ZBH/1535 E INTERSTATE 30 LTD  
9669 JOURDAN WAY  
DALLAS, TX 75230

1540 EAST IH 30 ROCKWALL LLC  
M/R  
ROCKWALL, TX 75087

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
PO BOX 530292  
BIRMINGHAM, AL 35253

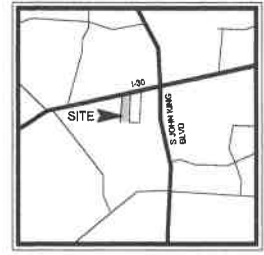
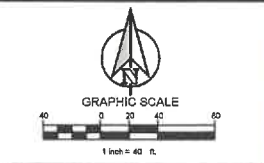
PLOTTED BY: JAT/KH/AM/ODDA  
 PLOT DATE: 6/16/2023 8:44 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CAD\DWG\SP-1 CITY SITE PLAN.DWG  
 P. 30/30 6/16/2023 8:42 AM



SITE DATA TABLE	
SITE AREA	7.71 AC (312,069 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	22,058 SF (DEALERSHIP)
	650 SF (CARWASH)
	3,600 SF (DUMPSTER)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,300 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/250 SF	19 SPACES
OFFICE 1/300 SF	5 SPACES
1 PER 2 BAY	8 SPACES
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	58 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
SERVICE/STORAGE PARKING	24 SPACES

CONSTRUCTION SCHEDULE	
(1)	EXISTING CONCRETE PAVEMENT
(2)	FIRE LANE AND DRIVE ASILE 6" 3000 PSI (AS SAGGOCY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
(3)	PARKING 6" 3000 PSI (AS SAGGOCY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
(4)	PROPOSED DUMPSTER ENCLOSURE W/IN 7" THICK
(5)	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-10
(6)	PROPERTY LINE
(7)	PROPOSED CONCRETE CURB AND GUTTER
(8)	PROPOSED FIRE LANE
(9)	PROPOSED SAWCUT
(10)	PARKING COUNT



CONSTRUCTION SCHEDULE	
(1)	PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
(2)	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
(3)	PROP. CONCRETE CURB & GUTTER
(4)	EX. HANDICAP SYMBOL
(5)	EX. HANDICAP SIGN
(6)	PROP. PAVEMENT STRIPING
(7)	PROP. PROPOSED BOLLARD

- NOTES:
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  2. ALL WALLS 2' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  5. SOIL MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROGBOT.

**CLAY COOLEY HYUNDAI**  
**ROCKWALL, TX 75087**  
 LEGAL DESCRIPTION AND/OR ADDRESS:  
**ROCKWALL RECREATION ADDITION**  
**LOT 1 BLOCK 1**  
**7.17 AC (312,069 SF)**

CLAY COOLEY AUTO  
 1291 E. AIRPORT FREEWAY  
 IRVING, TX 75062

CLAYMOORE ENGINEERING, INC.  
 1805 CENTRAL DRIVE, SUITE #408  
 BEDFORD, TX 76021  
 PH: 817.261.0572

CASE NUMBER  
 Z2021-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING



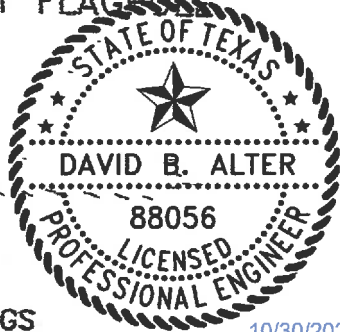
**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**

**CITY SITE PLAN**

SHEET  
**SP-1**

(SP2022-003)

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

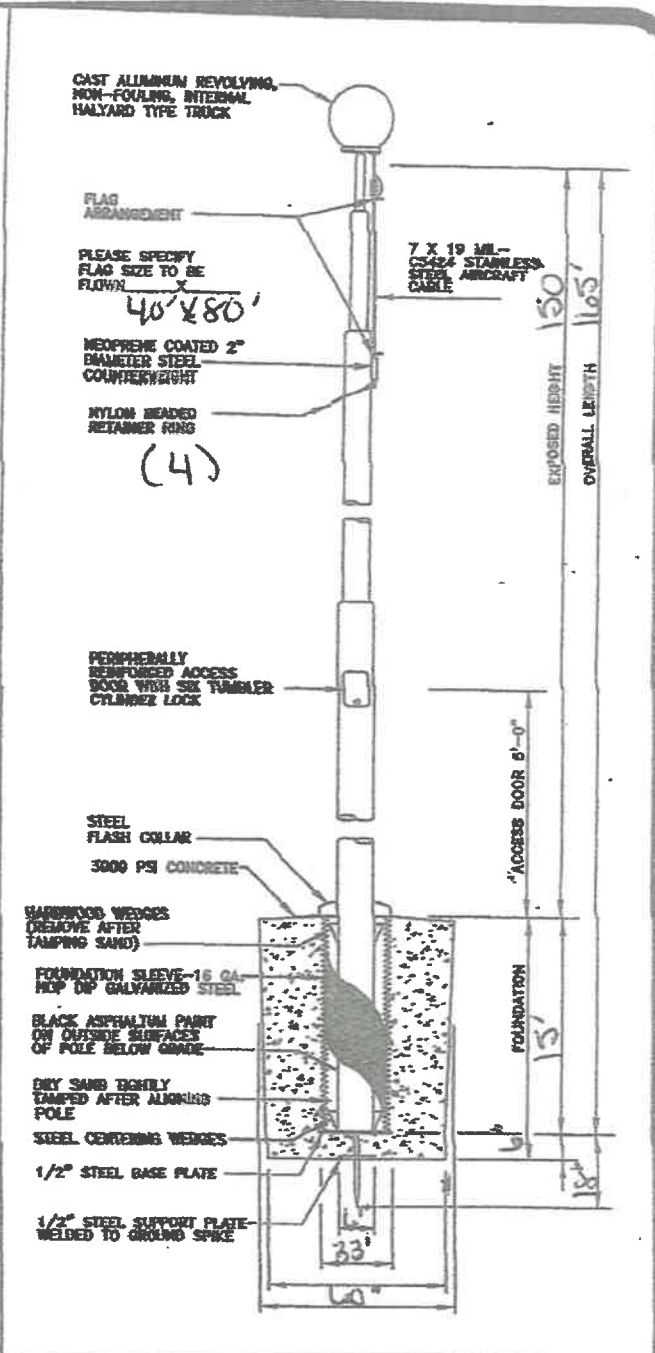
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



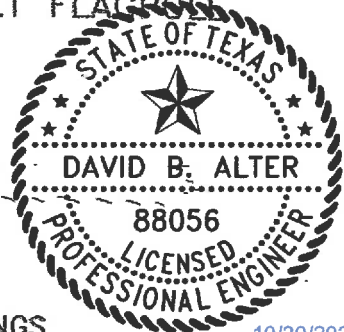
TX Flag  
40' x 80'

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 116.5'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Retail	White		

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	116.5'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

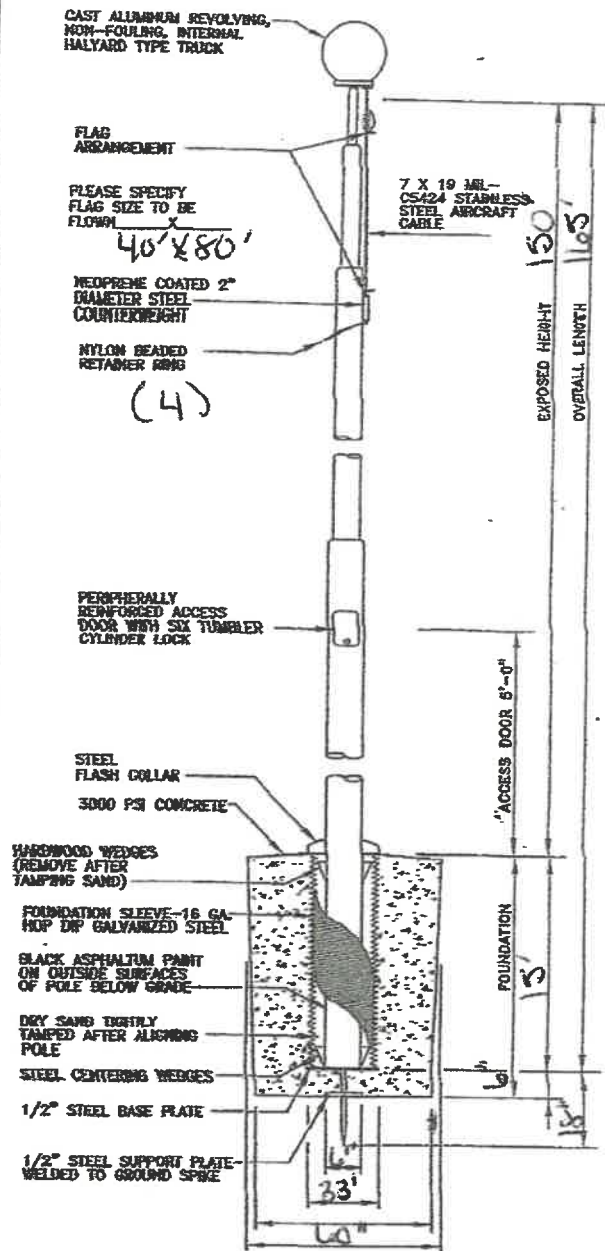
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**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



*US Flag,  
40' x 80'*

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-130	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Robinson			White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# STRUCTURAL CALCULATIONS

*Project:*

**Clay Cooley Hyundai Flagpole & Footing**

1540 I-30

Rockwall, TX 75087

*Project Number:* 14520

*Prepared For:*

**Symonds Flags and Poles**

250 W. Airport Freeway

Irving, TX 75062

*Date:*

October 2025

*Prepared By:*

**Adam Pope, EIT**

*Reviewed By:*

**David B. Alter, PE**



10/30/2025

**Ensign Engineering**

45 West 10000 South, Suite 500

Sandy, Utah 84070

P: (801) 255-0529

F: (801) 255-4449

ensigneng.com

**ENSIGN**  
THE STANDARD IN ENGINEERING

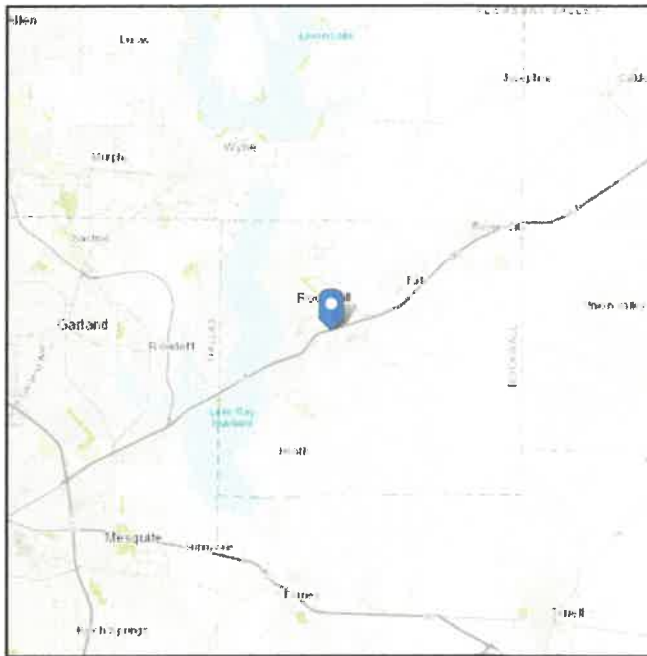


# ASCE Hazards Report

**Address:**  
 1540 E Interstate 30  
 Rockwall, Texas  
 75087

**Standard:** ASCE/SEI 7-22  
**Risk Category:** II  
**Soil Class:** Default

**Latitude:** 32.914362  
**Longitude:** -96.436478  
**Elevation:** 573.0197118668139 ft  
 (NAVD 88)



## Wind

**Results:**

Wind Speed	105 Vmph
10-year MRI	75 Vmph
25-year MRI	80 Vmph
50-year MRI	85 Vmph
100-year MRI	90 Vmph
300-year MRI	100 Vmph
700-year MRI	105 Vmph
1,700-year MRI	115 Vmph
3,000-year MRI	117 Vmph
10,000-year MRI	126 Vmph
100,000-year MRI	145 Vmph
1,000,000-year MRI	162 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2  
 Date Accessed: Wed Oct 29 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2.



The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE standard.

In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE Hazard Tool.

**GENERAL PROJECT INFORMATION**

Latitude: 32.91 North (Approximate)  
 Longitude: -96.44 West (Approximate)

Client: **Symonds Flags and Poles**

**PROJECT DESCRIPTION**

Structural Calculations for  $h := 150 \text{ ft}$  flag pole footing

**GENERAL DESIGN CRITERIA**

Structure Type: Flag Pole  
 Design Code: 2021 IBC / FP1001-07  
 Risk Category: II

**DESIGN LOADS**

Wind Loads:

Wind Speed:  $WS := 105$  mph - 3 second gust (strength level)  
 Exposure: C

**FOUNDATION CRITERIA & SPECIFICATIONS**

Soils Report: Company: Presumptive  
 Date: N/A  
 Report/Project Number: N/A  
 Contact: N/A

Allowable Bearing Pressure: 1500 psf

Passive Pressure:  $P_{\text{passive}} := 2 \cdot 150 \frac{\text{psf}}{\text{ft}} = 300 \frac{\text{psf}}{\text{ft}}$   
 Increase Per IBC 1806.3.4

Coefficient of Friction,  $\mu$ : 0.35

Foundation Type:

Footing Type: Pole Footing

**FOUNDATION CRITERIA & SPECIFICATIONS**

**CONCRETE & REINFORCING STEEL SPECIFICATIONS**

Concrete Strength,  $f'c$ :  
 Footings/Foundation Walls: 3000 psi

Steel Pole Segments: API 5Lx46 Grade B ( $f_y=46$  ksi)

## Flagpole Design

### Flagpole Geometry

$$h = 150 \text{ ft}$$

Total Pole Height from the Ground

$$w_1 := 24 \text{ in} \quad w_3 := 15 \text{ in}$$

Pole Widths

$$w_2 := 19.5 \text{ in} \quad w_4 := 10.75 \text{ in}$$

$$h_1 := 50 \text{ ft} \quad h_3 := 40 \text{ ft}$$

Respective Pole Heights

$$h_2 := 40 \text{ ft} \quad h_4 := 20 \text{ ft}$$

### Wind loads on pole (Per NAAMM / FP1001-07)

$$WS = 105$$

Wind speed (mph)

$$V := \sqrt{0.6} \cdot WS$$

Wind velocity ASCE 7-16 (mph) adjusted to ASCE 7-05

$$G := 1.14$$

Gust effect factor recommended for flag poles

### Segment 4 Calculations

$$z_4 := 140 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_4 := \frac{w_4}{\text{ft}} = 0.896$$

$$C_{deq4} := \frac{129}{(V \cdot d_4)^{1.3}} = 0.49$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d4} := \text{if}(C_{deq4} < 0.45, 0.45, \text{if}(C_{deq4} > 1.1, 1.1, C_{deq4})) = 0.489$$

$$C_{h4} := 2.01 \cdot \left( \frac{z_4}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.36$$

Height coefficient FG1001 Eq. 2

$$P_4 := 0.00256 \cdot V^2 \cdot C_{d4} \cdot C_{h4} \cdot G = 12.826$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_4 := h_4 \cdot w_4 = 17.917 \text{ ft}^2$$

Pole Area

$$F_4 := P_4 \cdot \text{psf} \cdot A_4 = 229.799 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b4} := A_4 \cdot P_4 \cdot \text{psf} \cdot z_4 = 32.172 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 4

Segment 3 Calculations

$$z_3 := 110 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_3 := \frac{w_3}{ft} = 1.25$$

$$C_{deq3} := \frac{129}{(V \cdot d_3)^{1.3}} = 0.32$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d3} := \text{if}(C_{deq3} < 0.45, 0.45, \text{if}(C_{deq3} > 1.1, 1.1, C_{deq3})) = 0.45$$

$$C_{h3} := 2.01 \cdot \left( \frac{z_3}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.29$$

*Height coefficient FG1001 Eq. 2*

$$P_3 := 0.00256 \cdot V^2 \cdot C_{d3} \cdot C_{h3} \cdot G = 11.218$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_3 := h_3 \cdot w_3 = 50 \text{ ft}^2$$

*Pole Area*

$$F_3 := P_3 \cdot \text{psf} \cdot A_3 = 560.886 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b3} := A_3 \cdot P_3 \cdot \text{psf} \cdot z_3 = 61.697 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 3*

Segment 2 Calculations

$$z_2 := 70 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_2 := \frac{w_2}{ft} = 1.625$$

$$C_{deq2} := \frac{129}{(V \cdot d_2)^{1.3}} = 0.23$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d2} := \text{if}(C_{deq2} < 0.45, 0.45, \text{if}(C_{deq2} > 1.1, 1.1, C_{deq2})) = 0.45$$

$$C_{h2} := 2.01 \cdot \left( \frac{z_2}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.17$$

*Height coefficient FG1001 Eq. 2*

$$P_2 := 0.00256 \cdot V^2 \cdot C_{d2} \cdot C_{h2} \cdot G = 10.2$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_2 := h_2 \cdot w_2 = 65 \text{ ft}^2$$

*Pole Area*

$$F_2 := P_2 \cdot \text{psf} \cdot A_2 = 662.968 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b2} := A_2 \cdot P_2 \cdot \text{psf} \cdot z_2 = 46.408 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 2*

Segment 1 Calculations

$$z_1 := 25 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_1 := \frac{w_1}{ft} = 2$$

$$C_{deq1} := \frac{129}{(V \cdot d_1)^{1.3}} = 0.17$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d1} := \text{if}(C_{deq1} < 0.45, 0.45, \text{if}(C_{deq1} > 1.1, 1.1, C_{deq1})) = 0.45$$

$$C_{h1} := \text{if}\left(z_1 < 16.4 \text{ ft}, 0.86, 2.01 \cdot \left(\frac{z_1}{900 \text{ ft}}\right)^{\frac{2}{9.5}}\right) = 0.95$$

Height coefficient FG1001 Eq. 2 (if  $z_1 < 16.4'$   $Ch = 0.86$ )

$$P_1 := 0.00256 \cdot V^2 \cdot C_{d1} \cdot C_{h1} \cdot G = 8.212$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_1 := h_1 \cdot w_1 = 100 \text{ ft}^2$$

Pole Area

$$F_1 := P_1 \cdot \text{psf} \cdot A_1 = 821.184 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b1} := A_1 \cdot P_1 \cdot \text{psf} \cdot z_1 = 20.53 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 1

$$M_{\text{bpole}} := M_{b1} + M_{b2} + M_{b3} + M_{b4} = 160.807 \text{ kip} \cdot \text{ft}$$

Wind loads on flag (per NAAMM / FP1001-07)

$$h_f := 40 \text{ ft} \quad w_f := 80 \text{ ft} \quad z_f := 130 \text{ ft}$$

Flag geometry

$$C_{hf} := 2.01 \cdot \left(\frac{z_f}{900 \text{ ft}}\right)^{\frac{2}{9.5}} = 1.34$$

Height coefficient FG1001 Eq. 2

$$A_f := h_f \cdot w_f = 3200 \text{ ft}^2$$

Flag Area

$$F_f := 0.0014 \frac{\text{lbf}}{\text{ft}} \cdot V^2 \cdot \sqrt{A_f} \cdot C_{hf} \cdot G = 798.783 \text{ lbf}$$

Force on flag FG1001 Eq. 5 (polyester flag = worst case)

$$M_{bf} := F_f \cdot z_f = 103.842 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from the flag

$$F_d := \frac{F_f}{h_f} = 19.97 \text{ plf}$$

Moment @ Base

$$M_{\text{total}} := M_{\text{br}} + M_{\text{bpole}} = 264.648 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 2

$$M_2 := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) + F_f \cdot (z_f - h_1)$$

$$M_2 = 131.497 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 3

$$M_3 := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) + F_f \cdot (z_f - h_1 - h_2)$$

$$M_3 = 54.659 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 4

$$M_4 := F_4 \cdot (z_4 - h_1 - h_2 - h_3) + F_d \cdot h_4 \cdot \left(\frac{h_4}{2}\right) = 6.292 \text{ kip} \cdot \text{ft}$$

Worst loading case for segment 4  
 =full length of segment

Section Modulii of Each Segment

$$T := 0.375 \text{ in}$$

$$S_1 := \frac{\pi \cdot (w_1^4 - (w_1 - 2T)^4)}{32 \cdot w_1} = 161.858 \text{ in}^3$$

$$S_3 := \frac{\pi \cdot (w_3^4 - (w_3 - 2T)^4)}{32 \cdot w_3} = 61.461 \text{ in}^3$$

$$S_2 := \frac{\pi \cdot (w_2^4 - (w_2 - 2T)^4)}{32 \cdot w_2} = 105.696 \text{ in}^3$$

$$S_4 := \frac{\pi \cdot (w_4^4 - (w_4 - 2T)^4)}{32 \cdot w_4} = 30.637 \text{ in}^3$$

$$Z_1 := \frac{w_1^3 - (w_1 - 2T)^3}{6} = 209.32 \text{ in}^3$$

$$Z_3 := \frac{w_3^3 - (w_3 - 2T)^3}{6} = 80.227 \text{ in}^3$$

$$Z_2 := \frac{w_2^3 - (w_2 - 2T)^3}{6} = 137.18 \text{ in}^3$$

$$Z_4 := \frac{w_4^3 - (w_4 - 2T)^3}{6} = 40.383 \text{ in}^3$$

Bending Stress Check of Each Segment (16.1-F8 AISC)

$$E := 29000 \text{ ksi} \quad F_y := 42 \text{ ksi} \quad \Omega_b := 1.67$$

**ALLOWABLE FACTORED  
 STRENGTH PER CODE IS 40  
 KSI FOR 42 KSI STEEL**

Segment 4

$$D_t := \frac{w_4}{T} = 28.667 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 333.837 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_4 = 141.34 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_4}{M_{ny}} = 0.074 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_4, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_4)) = \text{"N/A"}$$

Segment 3

$$D_t := \frac{w_3}{T} = 40 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 239.25 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_3 = 280.793 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_3}{M_{ny}} = 0.325 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_3, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_3)) = \text{"N/A"}$$

Segment 2

$$D_t := \frac{W_2}{T} = 52 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 184.038 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_2 = 480.129 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_2}{M_{ny}} = 0.457 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_2, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_2\right)\right) = 15221234.198 \frac{\text{lb} \cdot \text{ft}^2}{\text{s}^2}$$

Segment 1

$$D_t := \frac{W_1}{T} = 64 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 149531.25 \text{ psi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_1 = 732.621 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_{\text{btotal}}}{M_{ny}} = 0.603 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_1, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_1\right)\right) = 694.852 \text{ kip} \cdot \text{ft}$$

$$\frac{\Omega_b \cdot M_{\text{btotal}}}{M_{nb}} = 0.636 \quad \text{Must be } < 1$$

At maximum wind, the pole with attached flag would not fail. However, the flag is not expected to stay attached with winds exceeding 50 mph. Calculations without the flag follow. The assumption is that the flag will rip from the pole before it is able to transfer maximum load to the pole.

**FLAG SHALL BE REMOVED BEFORE WIND SPEEDS REACH 75 MPH.**

Moment @ Base w/out Flag

$$M_{\text{totalwof}} := M_{\text{ppole}} = 160.807 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 2 w/out flag

$$M_{2\text{wof}} := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) = 67.594 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 3 w/out flag

$$M_{3\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) = 22.708 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 4 w/out flag

$$M_{4\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2 - h_3) = 2.298 \text{ kip} \cdot \text{ft}$$

**Loads on steel sections less than when the flag is present. Steel is adequate by inspection.**

## Footing Design

$$b := 4.5 \text{ ft}$$

*Diameter of footing in ft*

$$P' := F_1 + F_2 + F_3 + F_4 + F_f = 3073.62 \text{ lbf}$$

*Applied lateral force in lbs*

$$h' := \frac{M_{\text{total}}}{P'} = 86.103 \text{ ft}$$

*Distance in ft from ground surface to point of application of "P"*

$$S_1 := 1191.237 \text{ psf}$$

*Allowable Lateral soil bearing pressure as set forth in the IBC, Section 1806.2 based on depth of one-third the depth of embedment in psf*

\*Note to Engineer: Iterate Lateral Bearing Soil Pressure

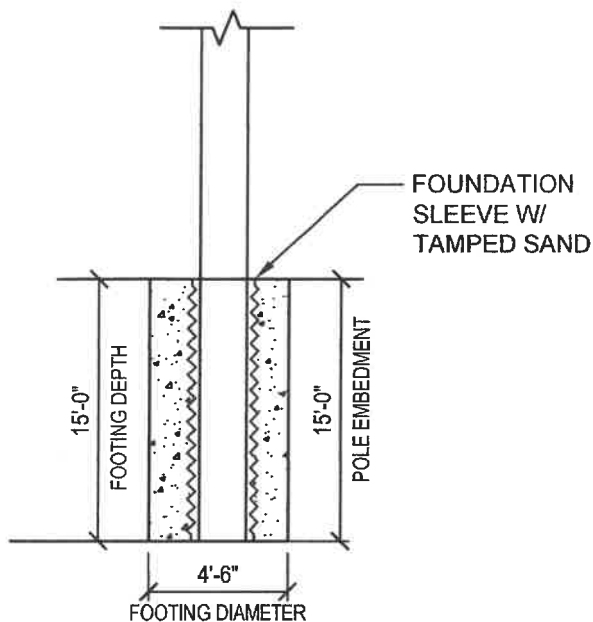
$$A := \frac{2.34 \cdot P'}{S_1 \cdot b} = 1.342 \text{ ft}$$

$$d := 0.5 \cdot A \cdot \left( 1 + \left( 1 + \left( \frac{4.36 \cdot h'}{A} \right)^{\frac{1}{2}} \right) \right) = 11.91 \text{ ft}$$

*Depth of embedment in earth in ft but not over 12 ft for purpose of computing lateral pressure (IBC 1807.3, EQ 18-1)*

Footing Depth to be: **12 ft** min

**WARNING: FLAG MUST BE REMOVED IF WINDS WILL EXCEED 75 MPH**

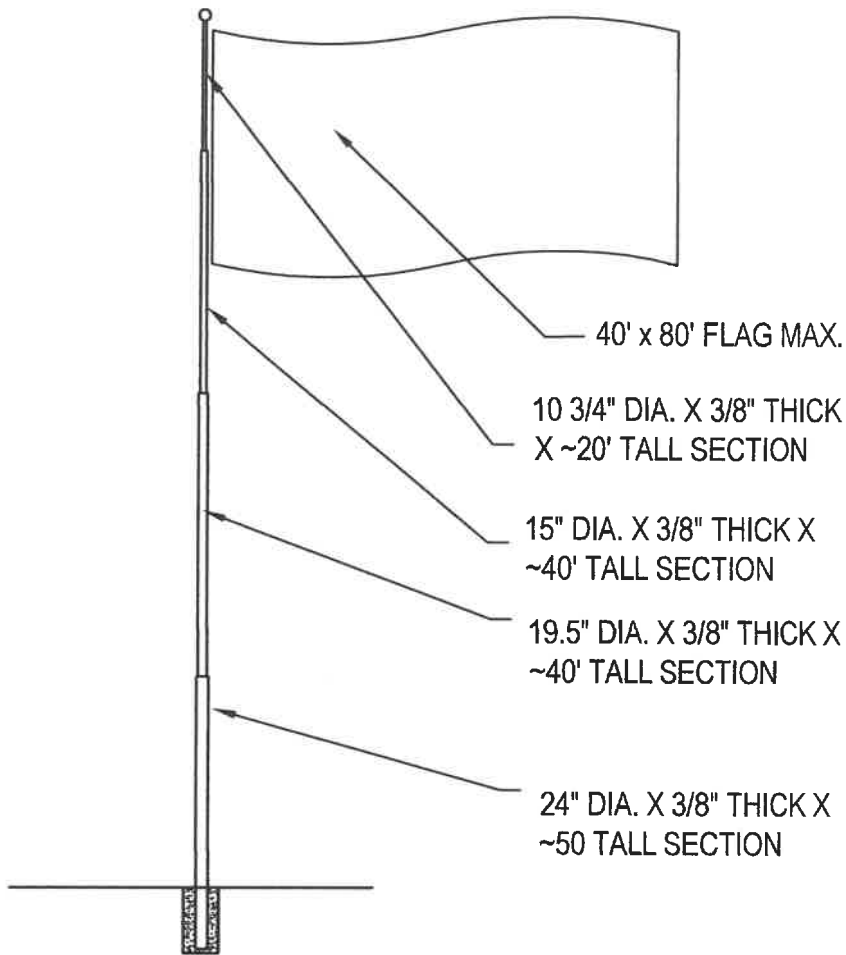


**FOOTING**

FOUNDATION DESIGN IS BASED ON ASSUMED SOIL PROPERTIES. IF THE SOIL ENCOUNTERED IN THE EXCAVATION IS NOT SAND, SILTY SAND, CLAYER SAND, SILTY GRAVEL OR CLAYEY GRAVEL, PLEASE NOTIFY THE ENGINEER. ALSO, IF THE WATER TABLE IS ENCOUNTERED IN THE EXCAVATION, PLEASE CONTACT THE ENGINEER



10/30/2025

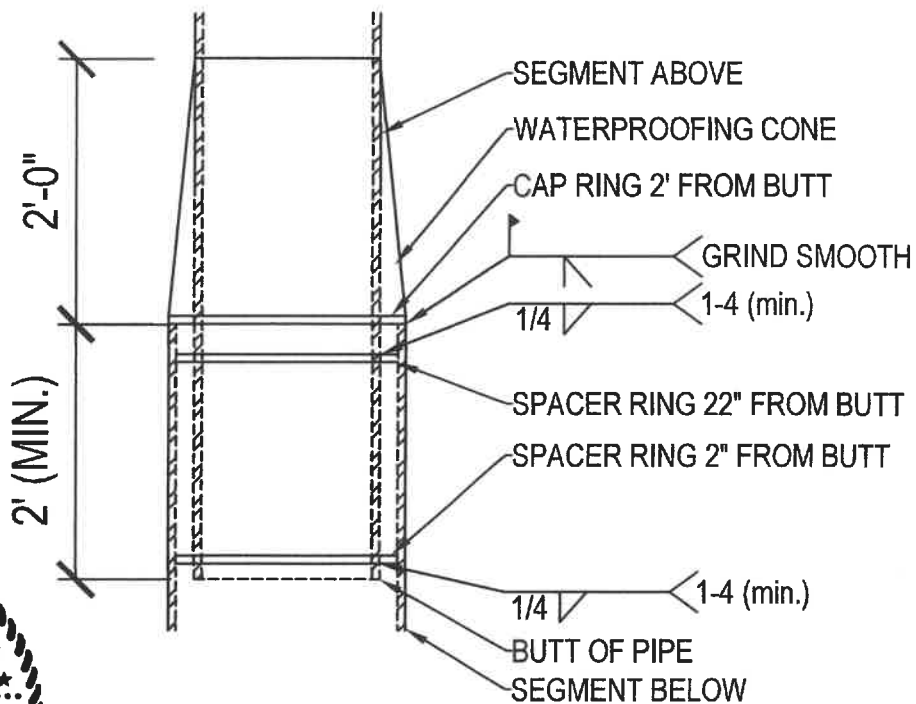


**ELEVATION**

**1 FLAGPOLE**

SCALE: N.T.S.

<p>SHEET: <b>SK1</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope PROJECT MANAGER D. Alter</p>	<p>PROJECT NAME <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4440 WWW.ENSIGNUTAH.COM</p>
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10/30/2025

1

# CONNECTION SLEEVE

SCALE: N.T.S.

<p>SHEET: <b>SK2</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope REVIEWED BY D. Alter</p>	<p>PROJECT NAME: <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p><b>ENSIGN</b> THE STANDARD IN ENGINEERING</p> <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4448 WWW.ENSIGNUTAH.COM</p>
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# DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE

## STANDARD FITTINGS

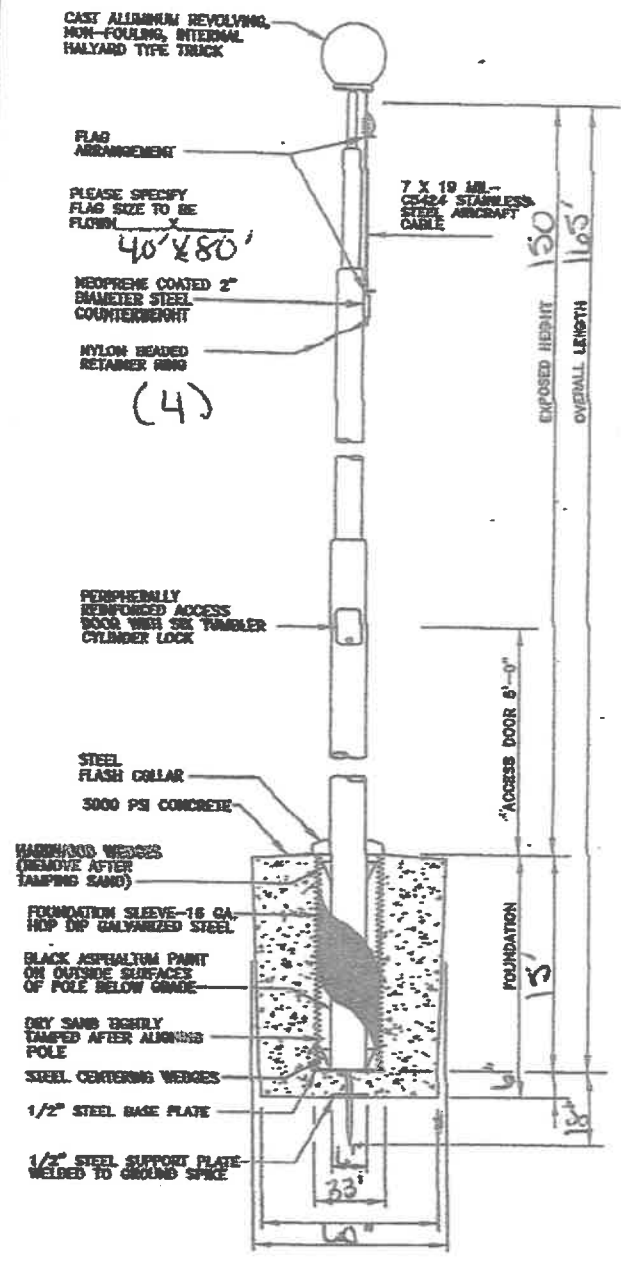
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock, Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 116.5'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24" TOP DIA. 10 3/4" WALL THICKNESS .375"		
CONT. R:	SHIP IN 5	SEC.	FINISH Powder Coat
CUST: Clay Cooley Hyundai	Rockwell		White

*TX Flag  
40' x 80'*

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	116.5'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE

## STANDARD FITTINGS

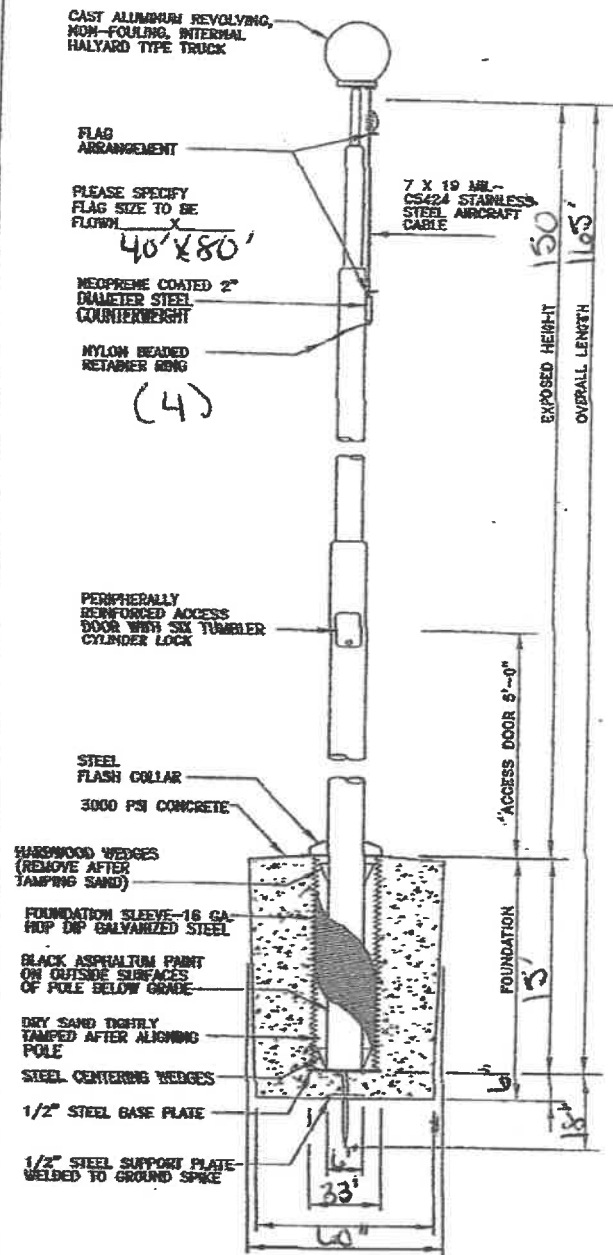
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable access door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-130	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: ClayCooley Hyundai Rental			White

US Flag,  
40' x 80'

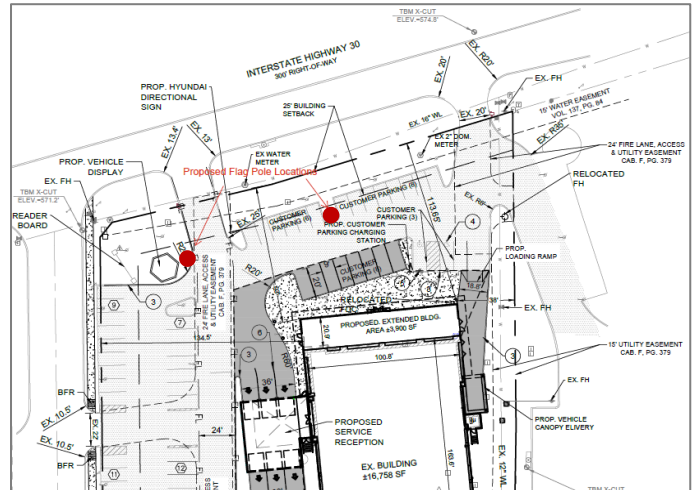
EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.



**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** January 13, 2026  
**SUBJECT:** Z2025-076; *Specific Use Permit (SUP) for 1540 E. IH-30 (Clay Cooley Hyundai)*

On December 12, 2025, the applicant -- *Davin Marceau of The Charles Morgan Group, LP on behalf of Chase Cooley* - submitted an application requesting a Specific Use Permit (SUP) for a structure that exceeds 60-feet in height in a Light Industrial (LI) District. Specifically, the applicant is proposing to establish two (2), 120-foot flag poles adjacent to the IH-30 Frontage Road on the subject property. According to Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district." In this case, the Light Industrial (LI) District allows a maximum height of 60-feet, but grants property owners the ability to request up to 120-feet by Specific Use Permit (SUP). Based on the applicant's exhibit -- depicted in *Figure 1 of this memorandum* -- the flagpoles will be approximately 25-feet from the front property line adjacent to the IH-30 Frontage Road and be situated next to the existing customer parking spaces. Originally, the applicant was requesting flag poles that were 150-feet in height; however, has been required to reduce this to the maximum 120-feet permitted within the Light Industrial (LI) District.



**FIGURE 1. PROPOSED FLAG POLE LOCATIONS**  
 FLAG POLE LOCATIONS SHOWN IN RED CIRCLES

Staff should point out, that the applicant was previously *denied* for a similar request by the City Council on September 21, 2020 [Case No. Z2020-036]. Under this case, the applicant was requesting a Specific Use Permit (SUP) for a single 120-foot flag pole that was setback ~137-feet from the front property line. After reviewing this case, the Planning and Zoning Commission recommended denial of this request by a vote of 5-1 (*with Commissioner Welch dissenting*) on September 15, 2020, and the City Council concurred with the Planning and Zoning Commission on September 21, 2020 approving a motion to deny the case with prejudice by a vote of 7-0. Two (2) major issues that were discussed by both the Planning and Zoning Commission and City Council during the review of this case was [1] the fact that no other businesses in the City of Rockwall have been granted a Specific Use Permit (SUP) for a flag pole that exceeded 60-feet in height, and [2] the inability of the City of Rockwall to regulate the content of what could be placed on the flag pole. This second issue was weighed in on by the City Attorney during the City Council meeting. According to the minutes from this meeting, the City Attorney stated that "...any ordinance that would attempt to regulate 'content' of what is actually placed on a flag pole is a 'grey area' that would pose challenges on what is and is not constitutional. It would have to be an ordinance that only regulated height and not content." For the Planning and Zoning Commission's review staff has placed a copy of the case memo, minutes from both the Planning and Zoning Commission and City Council meetings, and the denial letter in the attached packet. Staff should also point out that no changes in conditions (*i.e. case law, City approvals, development cases, or ordinances changes*) have occurred since the original request that would warrant the reconsideration of the request; however, as with any Specific Use Permit (SUP) request, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

This being a zoning case, staff mailed 20 notices to all property owners and occupants within 500-feet of the subject property on December 16, 2025. There were no Homeowner's Associations (HOA) or Neighborhood Groups with 1,500-feet of the

subject property. As of the date of this memorandum, staff has not received any notices returned concerning the applicant's request. Should the Planning and Zoning Commission have any questions concerning this request, staff and the applicant will be available at the January 13, 2026 Planning and Zoning Commission.

# PROJECT COMMENTS



CITY OF ROCKWALL  
 385 S. GOLIAD STREET  
 ROCKWALL, TEXAS 75087  
 PHONE: (972) 771-7700

DATE: 12/19/2025

PROJECT NUMBER: Z2025-076  
 PROJECT NAME: SUP for 1540 I-30  
 SITE ADDRESS/LOCATIONS: 1540 East Interstate 30, Rockwall, TX, 75087

CASE CAPTION: Hold a public hearing to discuss and consider a request by Davin Marceau of The Charles Morgan Group, LP on behalf of Chase Cooley of 1540 E. IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) to Exceed the Maximum Permissible Height in a Light Industrial (LI) District being a 7.17-acre tract of land identified as Lot 3, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	12/16/2025	Approved w/ Comments

12/16/2025: Z2025-076; Specific Use Permit (SUP) for a Flag Pole at 1540 E. IH-30  
 Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) to Exceed the Maximum Permissible Height in a Light Industrial (LI) District for the purpose of constructing a flag pole on a 4.39-acre tract of land identified as Lot 3, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and addressed as 1540 E. IH-30.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email [rmiller@rockwall.com](mailto:rmiller@rockwall.com).
- M.3 For reference, include the case number (Z2025-76) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 03.04, Flag Poles, of Article 04, Permissible Uses, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district."
- I.5 According to Subsection 07.03, Non-Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the maximum height for a structure in a Light Industrial (LI) District is 60-feet; however, the City Council may grant a Specific Use Permit (SUP) for a structure up to 120-feet through a Specific Use Permit (SUP).
- M.6 Please review the attached Draft Ordinance and provide any changes to staff by January 6, 2026.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 6, 2026. It should be noted that there will be no Planning and Zoning Commission Work Session Meeting this cycle. The Planning and Zoning Commission Meeting for this case will be held on January 13, 2026.
- I.8 The projected City Council meeting dates for this case will be February 17, 2026 (1st Reading) and March 2, 2026 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	12/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	12/18/2025	Approved w/ Comments

12/18/2025: This review is only for the Site and Exterior. Interior review will be conducted with the Building Permit and Health Department. Also, this project will be required to have

a grease trap and it is required to be sized by an Engineer according to the 2021 International Plumbing Code.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/17/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/15/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/15/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	12/15/2025	Approved
No Comments			



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1540 I-30 Rockwall, TX 75087

SUBDIVISION Rockwall Recreation Addition

LOT 1

BLOCK 1

GENERAL LOCATION Located off I-30 Service Road & Commerce Street

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING L1

CURRENT USE Auto Dealer

PROPOSED ZONING

PROPOSED USE

ACREAGE 7.17

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 1540 East IH 30 Rockwall, LLC

APPLICANT The Charles Morgan Group, LP

CONTACT PERSON Chase Cooley

CONTACT PERSON Davin Marceau

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHASE F. COOLEY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 11th TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF December, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF December, 2025.

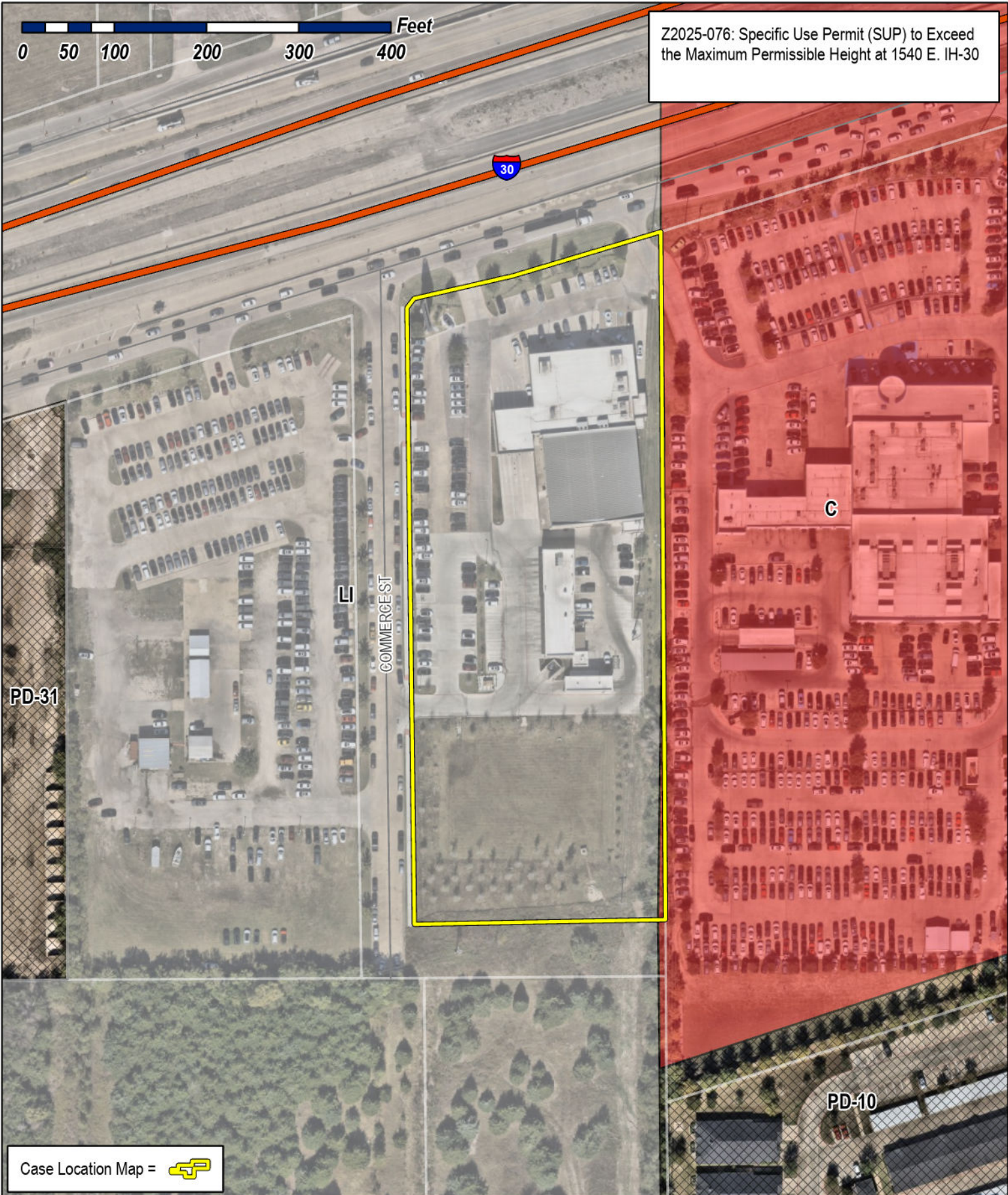
OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 50 100 200 300 400 Feet

Z2025-076: Specific Use Permit (SUP) to Exceed the Maximum Permissible Height at 1540 E. IH-30



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

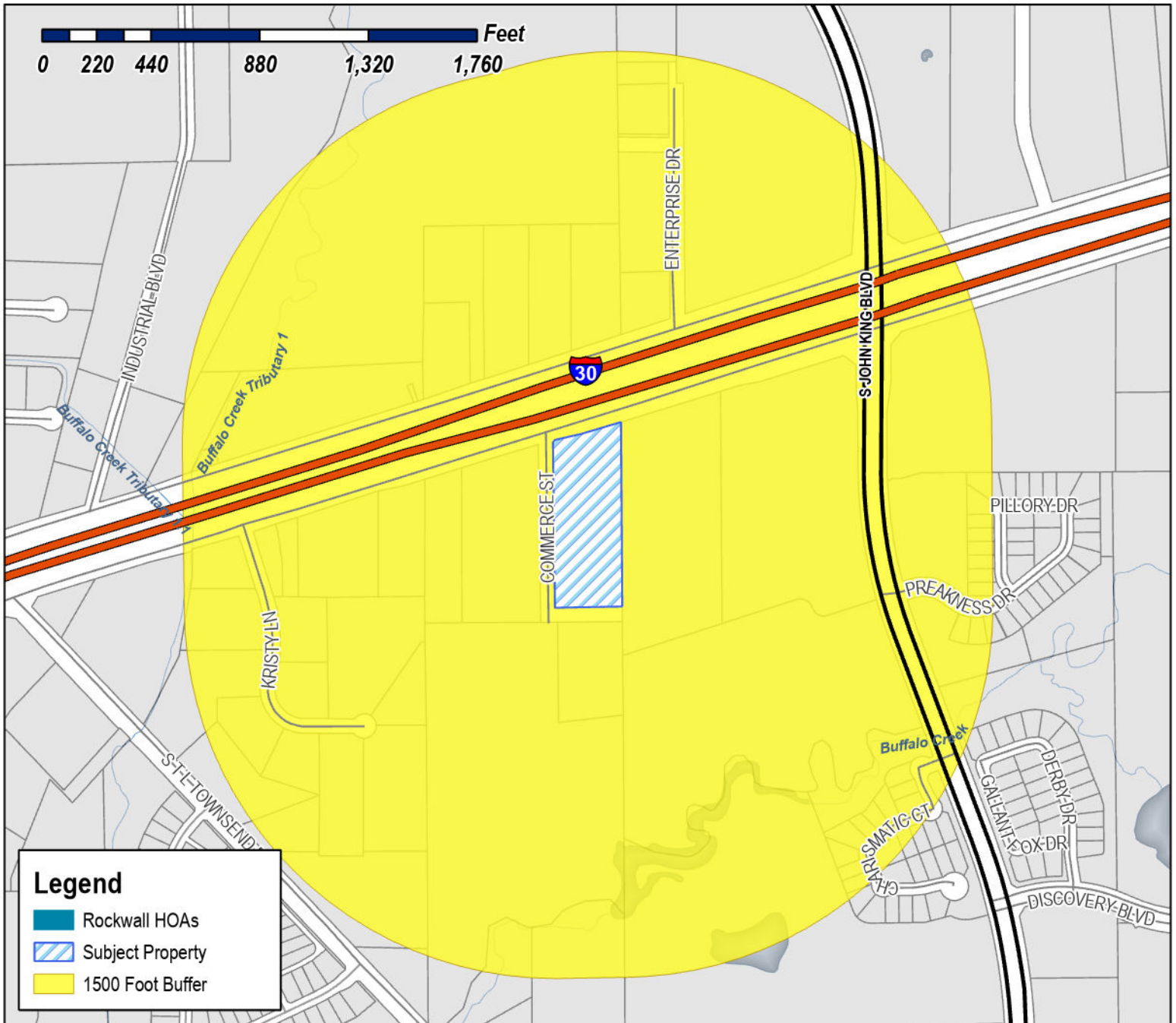




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-076  
**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025  
 For Questions on this Case Call (972) 771-7745

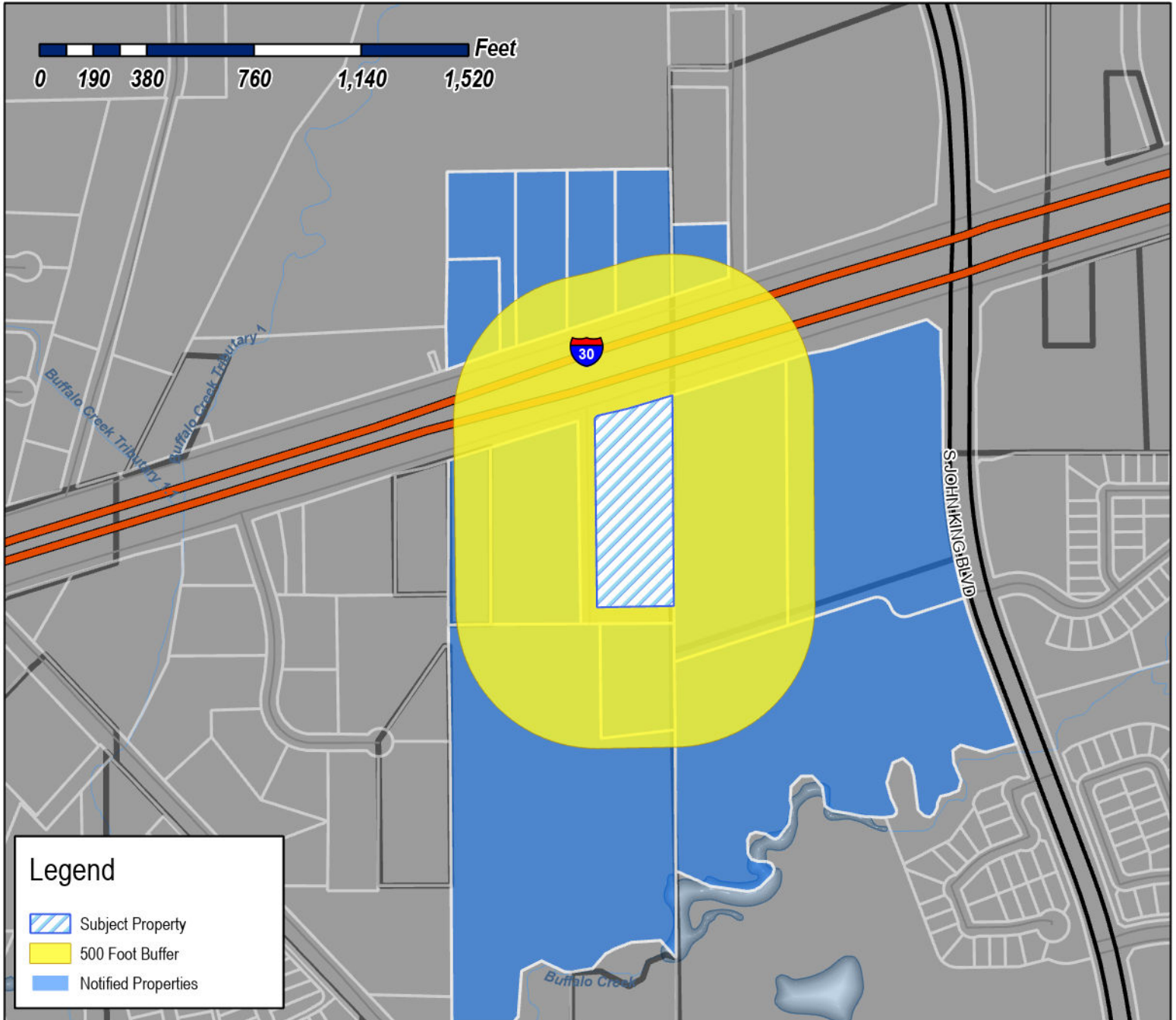




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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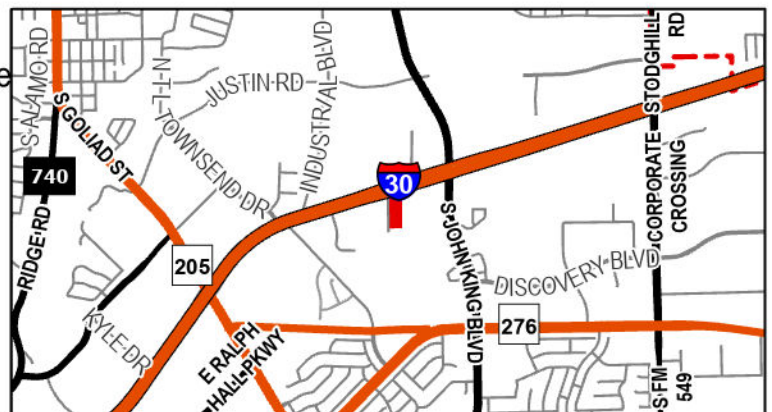


**Legend**

-  Subject Property
-  500 Foot Buffer
-  Notified Properties

**Case Number:** Z2025-076  
**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025  
 For Questions on this Case Call: (972) 771-7745



RESIDENT  
130 NORTH SERVICE RD  
ROCKWALL, TX 75087

LITHIA REAL ESTATE INC  
150 N BARTLETT STREET  
MEDFORD, OR 97501

RESIDENT  
1520 E I30  
ROCKWALL, TX 75087

RESIDENT  
1530 S I30  
ROCKWALL, TX 75087

RESIDENT  
1535 I30  
ROCKWALL, TX 75087

RESIDENT  
1540 I30  
ROCKWALL, TX 75087

RESIDENT  
1545 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1550 E I30  
ROCKWALL, TX 75087

RESIDENT  
1551 E I30  
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP  
A TEXAS LTD PARTNERSHIP  
1551 E Interstate 30 Ste A  
Rockwall, TX 75087

RESIDENT  
1600 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1650 S JOHN KING  
ROCKWALL, TX 75087

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

C2LA, LLC  
382 Ranch Trl  
Rockwall, TX 75032

H E B LP  
646 SOUTH FLORES STREET  
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &  
CHARLES SMITH  
709 W Rusk St Ste B  
Rockwall, TX 75087

ZBH/1535 E INTERSTATE 30 LTD  
9669 JOURDAN WAY  
DALLAS, TX 75230

1540 EAST IH 30 ROCKWALL LLC  
M/R  
ROCKWALL, TX 75087

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
PO BOX 530292  
BIRMINGHAM, AL 35253

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-076: SUP to Exceed the Maximum Permissible Height for a Flag Pole**

*Hold a public hearing to discuss and consider a request by Davin Marceau of The Charles Morgan Group, LP on behalf of Chase Cooley of 1540 E. IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) to Exceed the Maximum Permissible Height in a Light Industrial (LI) District for the construction of a Flag Pole on a 4.39-acre parcel of land identified as Lot 3, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-076: SUP to Exceed the Maximum Permissible Height for a Flag Pole**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

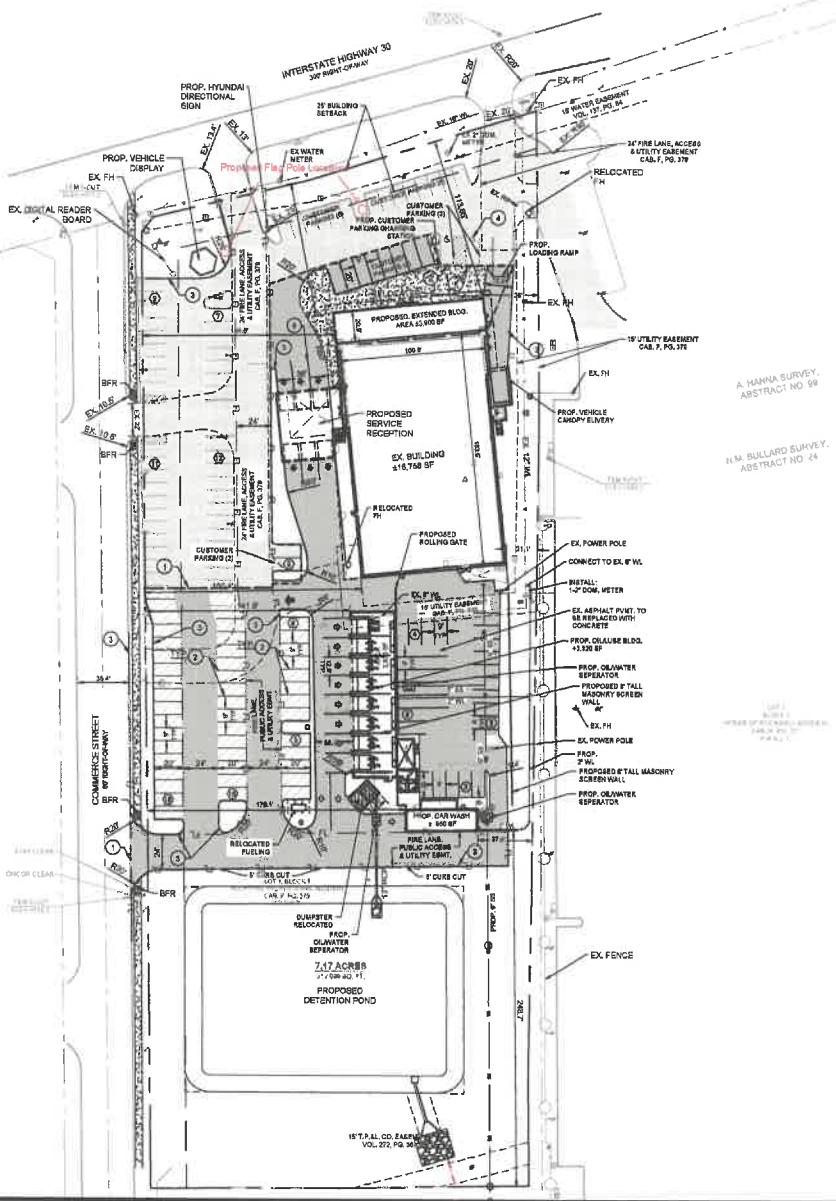
Four horizontal grey bars for providing reasons for the response.

Name: [text box]  
Address: [text box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

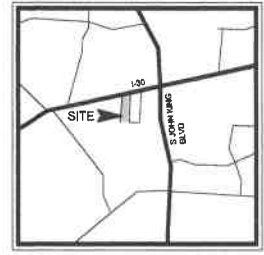
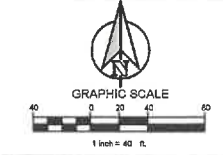
PLOTTED BY: JAT/KH/AM/ODDA  
 PLOT DATE: 5/16/2023 8:44 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CAD\DWG\SP-1 CITY SITE PLAN.DWG  
 P. 30/30 5/16/2023 8:42 AM



SITE DATA TABLE	
SITE AREA	7.71 AC (312,089 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	22,858 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,600 SF (OFFICE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,300 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/250 SF	19 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 PER 2 BAY	8 SPACES
TOTAL:	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	58 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
REVENUE STORAGE PARKING	24 SPACES

CONSTRUCTION SCHEDULE	
(1)	EXISTING CONCRETE PAVEMENT
(2)	FIRE LANE AND DRIVE ASLE 6" 3000 PSI (AS SAGGOCY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
(3)	PARKING 6" 3000 PSI (AS SAGGOCY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
(4)	PROPOSED DUMPSTER ENCLOSURE W/IN 7" THICK
(5)	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-10
(6)	PROPERTY LINE
(7)	PROPOSED CONCRETE CURB AND GUTTER
(8)	PROPOSED FIRE LANE
(9)	PROPOSED SAWCUT
(10)	PARKING COUNT



CONSTRUCTION SCHEDULE	
(1)	PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
(2)	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
(3)	PROP. CONCRETE CURB & GUTTER
(4)	EX. HANDICAP SYMBOL
(5)	EX. HANDICAP SIGN
(6)	PROP. PAVEMENT STRIPING
(7)	PROP. PROPOSED BOLLARD

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 2' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOIL MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROGBOT.

**CLAY COOLEY HYUNDAI**  
**ROCKWALL, TX 75087**  
 LEGAL DESCRIPTION AND/OR ADDRESS:  
**ROCKWALL RECREATION ADDITION**  
**LOT 1 BLOCK 1**  
**7.17 AC (312,089 SF)**

---

CLAY COOLEY AUTO  
 1291 E AIRPORT FREEWAY  
 IRVING, TX 75062

---

CLAYMOORE ENGINEERING, INC.  
 1805 CENTRAL DRIVE, SUITE #408  
 BEDFORD, TX 76021  
 PH: 817.261.0572

---

CASE NUMBER  
 Z2021-046

---

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_

---

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

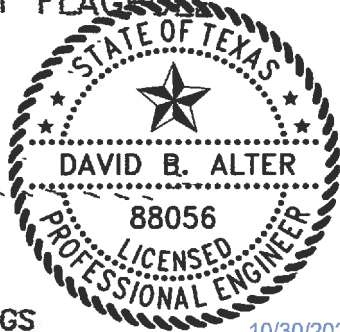


**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**

**CITY SITE PLAN**

SHEET  
**SP-1**  
 (SP2022-003)

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

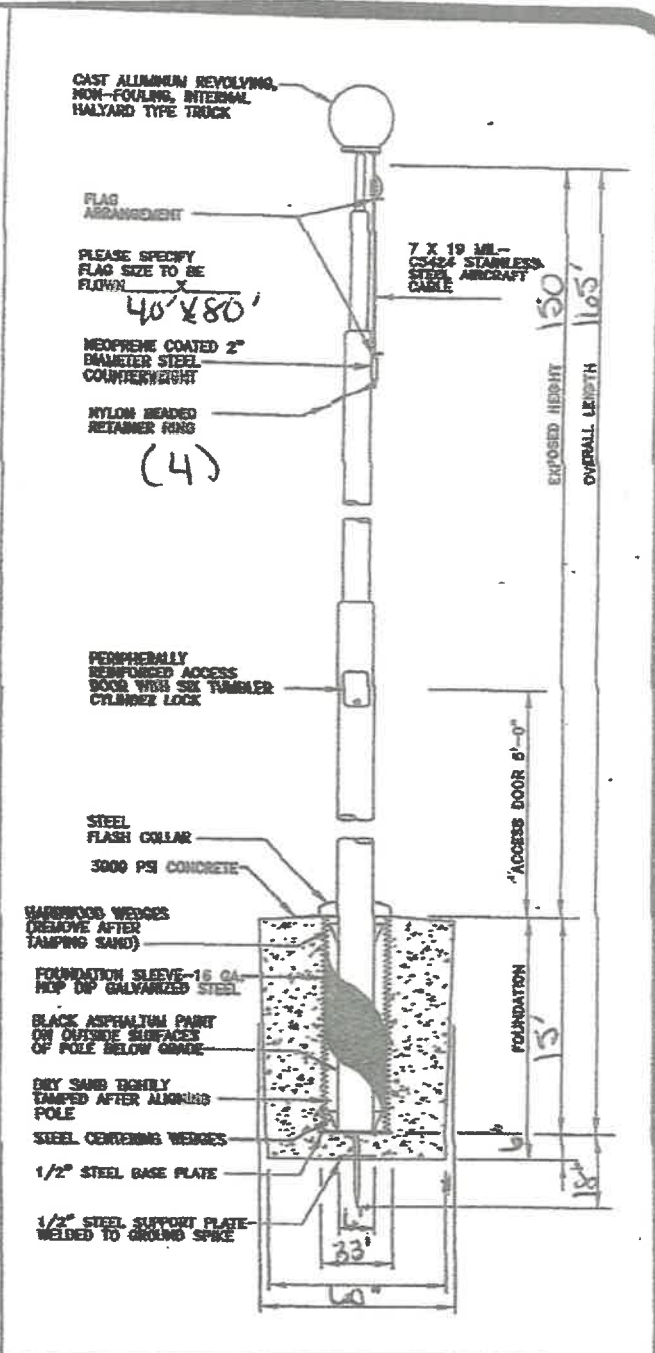
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



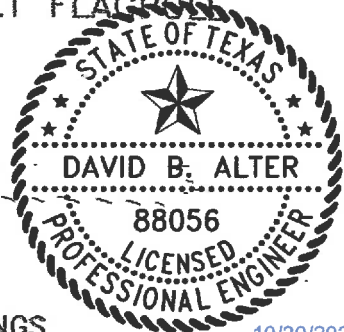
TX Flag  
40' x 80'

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 116.5'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Retail	White		

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	116.5'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

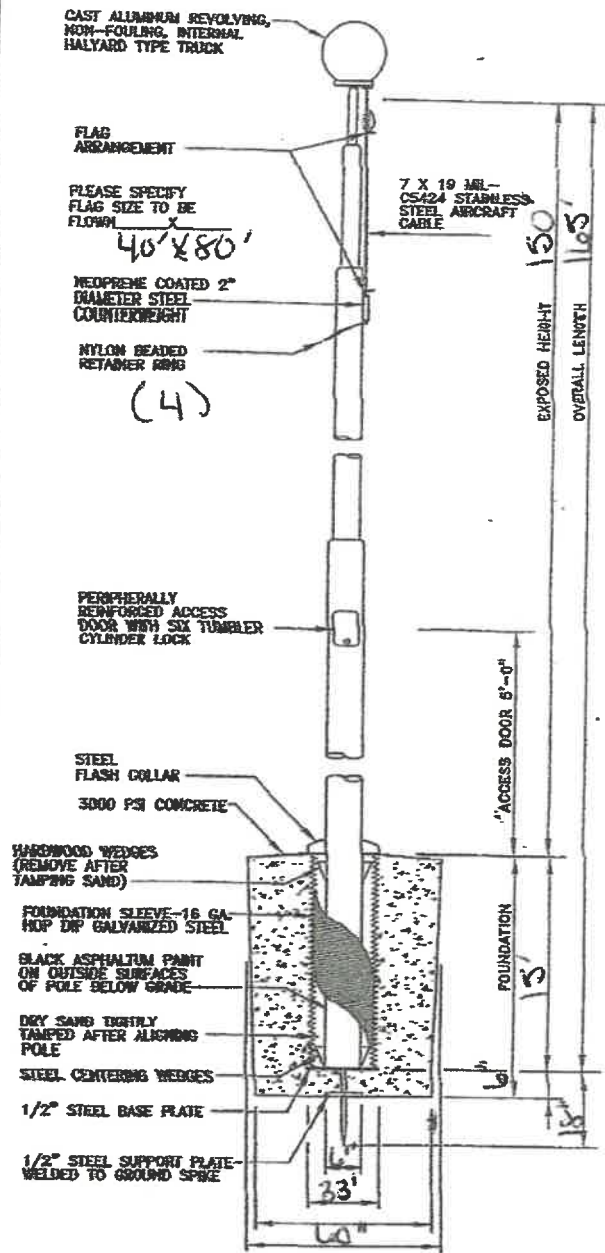
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*US Flag,  
40' x 80'*

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-130	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Robinson			White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# STRUCTURAL CALCULATIONS

*Project:*

**Clay Cooley Hyundai Flagpole & Footing**

1540 I-30

Rockwall, TX 75087

*Project Number:* 14520

*Prepared For:*

**Symonds Flags and Poles**

250 W. Airport Freeway

Irving, TX 75062

*Date:*

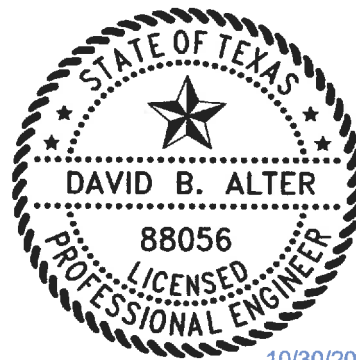
October 2025

*Prepared By:*

**Adam Pope, EIT**

*Reviewed By:*

**David B. Alter, PE**



10/30/2025

**Ensign Engineering**

45 West 10000 South, Suite 500

Sandy, Utah 84070

P: (801) 255-0529

F: (801) 255-4449

ensigneng.com

**ENSIGN**  
THE STANDARD IN ENGINEERING

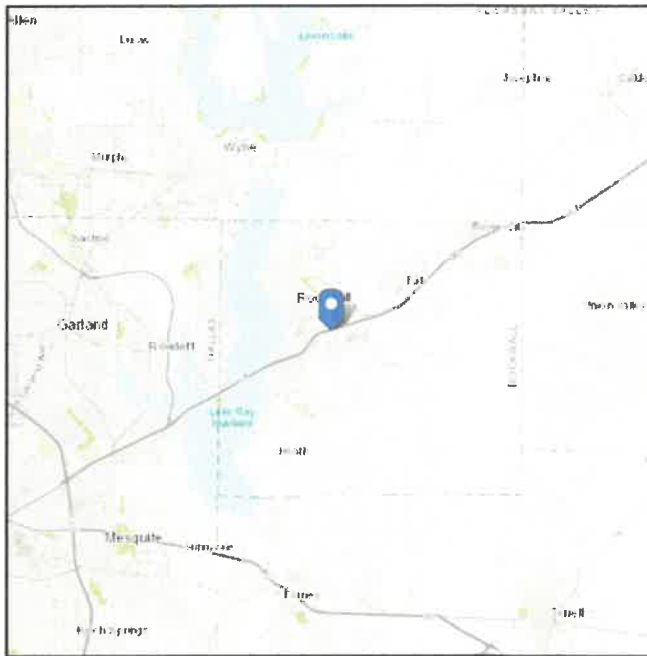


# ASCE Hazards Report

**Address:**  
1540 E Interstate 30  
Rockwall, Texas  
75087

**Standard:** ASCE/SEI 7-22  
**Risk Category:** II  
**Soil Class:** Default

**Latitude:** 32.914362  
**Longitude:** -96.436478  
**Elevation:** 573.0197118668139 ft  
(NAVD 88)



## Wind

### Results:

Wind Speed	105 Vmph
10-year MRI	75 Vmph
25-year MRI	80 Vmph
50-year MRI	85 Vmph
100-year MRI	90 Vmph
300-year MRI	100 Vmph
700-year MRI	105 Vmph
1,700-year MRI	115 Vmph
3,000-year MRI	117 Vmph
10,000-year MRI	126 Vmph
100,000-year MRI	145 Vmph
1,000,000-year MRI	162 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2  
Date Accessed: Wed Oct 29 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2.



The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

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**GENERAL PROJECT INFORMATION**

Latitude: 32.91 North (Approximate)  
 Longitude: -96.44 West (Approximate)

Client: **Symonds Flags and Poles**

**PROJECT DESCRIPTION**

Structural Calculations for  $h := 150 \text{ ft}$  flag pole footing

**GENERAL DESIGN CRITERIA**

Structure Type: Flag Pole  
 Design Code: 2021 IBC / FP1001-07  
 Risk Category: II

**DESIGN LOADS**

Wind Loads:

Wind Speed:  $WS := 105$  mph - 3 second gust (strength level)  
 Exposure: C

**FOUNDATION CRITERIA & SPECIFICATIONS**

Soils Report: Company: Presumptive  
 Date: N/A  
 Report/Project Number: N/A  
 Contact: N/A

Allowable Bearing Pressure: 1500 psf

Passive Pressure:  $P_{\text{passive}} := 2 \cdot 150 \frac{\text{psf}}{\text{ft}} = 300 \frac{\text{psf}}{\text{ft}}$   
 Increase Per IBC 1806.3.4

Coefficient of Friction,  $\mu$ : 0.35

Foundation Type:

Footing Type: Pole Footing

**FOUNDATION CRITERIA & SPECIFICATIONS**

**CONCRETE & REINFORCING STEEL SPECIFICATIONS**

Concrete Strength,  $f'c$ :  
 Footings/Foundation Walls: 3000 psi

Steel Pole Segments: API 5Lx46 Grade B ( $f_y=46$  ksi)

## Flagpole Design

### Flagpole Geometry

$$h = 150 \text{ ft}$$

Total Pole Height from the Ground

$$w_1 := 24 \text{ in} \quad w_3 := 15 \text{ in}$$

Pole Widths

$$w_2 := 19.5 \text{ in} \quad w_4 := 10.75 \text{ in}$$

$$h_1 := 50 \text{ ft} \quad h_3 := 40 \text{ ft}$$

Respective Pole Heights

$$h_2 := 40 \text{ ft} \quad h_4 := 20 \text{ ft}$$

### Wind loads on pole (Per NAAMM / FP1001-07)

$$WS = 105$$

Wind speed (mph)

$$V := \sqrt{0.6} \cdot WS$$

Wind velocity ASCE 7-16 (mph) adjusted to ASCE 7-05

$$G := 1.14$$

Gust effect factor recommended for flag poles

### Segment 4 Calculations

$$z_4 := 140 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_4 := \frac{w_4}{\text{ft}} = 0.896$$

$$C_{deq4} := \frac{129}{(V \cdot d_4)^{1.3}} = 0.49$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d4} := \text{if}(C_{deq4} < 0.45, 0.45, \text{if}(C_{deq4} > 1.1, 1.1, C_{deq4})) = 0.489$$

$$C_{h4} := 2.01 \cdot \left( \frac{z_4}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.36$$

Height coefficient FG1001 Eq. 2

$$P_4 := 0.00256 \cdot V^2 \cdot C_{d4} \cdot C_{h4} \cdot G = 12.826$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_4 := h_4 \cdot w_4 = 17.917 \text{ ft}^2$$

Pole Area

$$F_4 := P_4 \cdot \text{psf} \cdot A_4 = 229.799 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b4} := A_4 \cdot P_4 \cdot \text{psf} \cdot z_4 = 32.172 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 4

Segment 3 Calculations

$$z_3 := 110 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_3 := \frac{w_3}{ft} = 1.25$$

$$C_{deq3} := \frac{129}{(V \cdot d_3)^{1.3}} = 0.32$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d3} := \text{if}(C_{deq3} < 0.45, 0.45, \text{if}(C_{deq3} > 1.1, 1.1, C_{deq3})) = 0.45$$

$$C_{h3} := 2.01 \cdot \left( \frac{z_3}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.29$$

*Height coefficient FG1001 Eq. 2*

$$P_3 := 0.00256 \cdot V^2 \cdot C_{d3} \cdot C_{h3} \cdot G = 11.218$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_3 := h_3 \cdot w_3 = 50 \text{ ft}^2$$

*Pole Area*

$$F_3 := P_3 \cdot \text{psf} \cdot A_3 = 560.886 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b3} := A_3 \cdot P_3 \cdot \text{psf} \cdot z_3 = 61.697 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 3*

Segment 2 Calculations

$$z_2 := 70 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_2 := \frac{w_2}{ft} = 1.625$$

$$C_{deq2} := \frac{129}{(V \cdot d_2)^{1.3}} = 0.23$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d2} := \text{if}(C_{deq2} < 0.45, 0.45, \text{if}(C_{deq2} > 1.1, 1.1, C_{deq2})) = 0.45$$

$$C_{h2} := 2.01 \cdot \left( \frac{z_2}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.17$$

*Height coefficient FG1001 Eq. 2*

$$P_2 := 0.00256 \cdot V^2 \cdot C_{d2} \cdot C_{h2} \cdot G = 10.2$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_2 := h_2 \cdot w_2 = 65 \text{ ft}^2$$

*Pole Area*

$$F_2 := P_2 \cdot \text{psf} \cdot A_2 = 662.968 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b2} := A_2 \cdot P_2 \cdot \text{psf} \cdot z_2 = 46.408 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 2*

Segment 1 Calculations

$$z_1 := 25 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_1 := \frac{w_1}{ft} = 2$$

$$C_{deq1} := \frac{129}{(V \cdot d_1)^{1.3}} = 0.17$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d1} := \text{if}(C_{deq1} < 0.45, 0.45, \text{if}(C_{deq1} > 1.1, 1.1, C_{deq1})) = 0.45$$

$$C_{h1} := \text{if}\left(z_1 < 16.4 \text{ ft}, 0.86, 2.01 \cdot \left(\frac{z_1}{900 \text{ ft}}\right)^{\frac{2}{9.5}}\right) = 0.95$$

Height coefficient FG1001 Eq. 2 (if  $z_1 < 16.4'$   $Ch = 0.86$ )

$$P_1 := 0.00256 \cdot V^2 \cdot C_{d1} \cdot C_{h1} \cdot G = 8.212$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_1 := h_1 \cdot w_1 = 100 \text{ ft}^2$$

Pole Area

$$F_1 := P_1 \cdot \text{psf} \cdot A_1 = 821.184 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b1} := A_1 \cdot P_1 \cdot \text{psf} \cdot z_1 = 20.53 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 1

$$M_{\text{bpole}} := M_{b1} + M_{b2} + M_{b3} + M_{b4} = 160.807 \text{ kip} \cdot \text{ft}$$

Wind loads on flag (per NAAMM / FP1001-07)

$$h_f := 40 \text{ ft} \quad w_f := 80 \text{ ft} \quad z_f := 130 \text{ ft}$$

Flag geometry

$$C_{hf} := 2.01 \cdot \left(\frac{z_f}{900 \text{ ft}}\right)^{\frac{2}{9.5}} = 1.34$$

Height coefficient FG1001 Eq. 2

$$A_f := h_f \cdot w_f = 3200 \text{ ft}^2$$

Flag Area

$$F_f := 0.0014 \frac{\text{lbf}}{\text{ft}} \cdot V^2 \cdot \sqrt{A_f} \cdot C_{hf} \cdot G = 798.783 \text{ lbf}$$

Force on flag FG1001 Eq. 5  
(polyester flag = worst case)

$$M_{bf} := F_f \cdot z_f = 103.842 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from the flag

$$F_d := \frac{F_f}{h_f} = 19.97 \text{ plf}$$

Moment @ Base

$$M_{\text{total}} := M_{\text{br}} + M_{\text{bpole}} = 264.648 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 2

$$M_2 := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) + F_f \cdot (z_f - h_1)$$

$$M_2 = 131.497 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 3

$$M_3 := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) + F_f \cdot (z_f - h_1 - h_2)$$

$$M_3 = 54.659 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 4

$$M_4 := F_4 \cdot (z_4 - h_1 - h_2 - h_3) + F_d \cdot h_4 \cdot \left(\frac{h_4}{2}\right) = 6.292 \text{ kip} \cdot \text{ft}$$

Worst loading case for segment 4  
 =full length of segment

Section Modulii of Each Segment

$$T := 0.375 \text{ in}$$

$$S_1 := \frac{\pi \cdot (w_1^4 - (w_1 - 2T)^4)}{32 \cdot w_1} = 161.858 \text{ in}^3$$

$$S_3 := \frac{\pi \cdot (w_3^4 - (w_3 - 2T)^4)}{32 \cdot w_3} = 61.461 \text{ in}^3$$

$$S_2 := \frac{\pi \cdot (w_2^4 - (w_2 - 2T)^4)}{32 \cdot w_2} = 105.696 \text{ in}^3$$

$$S_4 := \frac{\pi \cdot (w_4^4 - (w_4 - 2T)^4)}{32 \cdot w_4} = 30.637 \text{ in}^3$$

$$Z_1 := \frac{w_1^3 - (w_1 - 2T)^3}{6} = 209.32 \text{ in}^3$$

$$Z_3 := \frac{w_3^3 - (w_3 - 2T)^3}{6} = 80.227 \text{ in}^3$$

$$Z_2 := \frac{w_2^3 - (w_2 - 2T)^3}{6} = 137.18 \text{ in}^3$$

$$Z_4 := \frac{w_4^3 - (w_4 - 2T)^3}{6} = 40.383 \text{ in}^3$$

Bending Stress Check of Each Segment (16.1-F8 AISC)

$$E := 29000 \text{ ksi} \quad F_y := 42 \text{ ksi} \quad \Omega_b := 1.67$$

**ALLOWABLE FACTORED  
 STRENGTH PER CODE IS 40  
 KSI FOR 42 KSI STEEL**

Segment 4

$$D_t := \frac{w_4}{T} = 28.667 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 333.837 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_4 = 141.34 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_4}{M_{ny}} = 0.074 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_4, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_4)) = \text{"N/A"}$$

Segment 3

$$D_t := \frac{w_3}{T} = 40 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 239.25 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_3 = 280.793 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_3}{M_{ny}} = 0.325 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_3, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_3)) = \text{"N/A"}$$

Segment 2

$$D_t := \frac{W_2}{T} = 52 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 184.038 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_2 = 480.129 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_2}{M_{ny}} = 0.457 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_2, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_2\right)\right) = 15221234.198 \frac{\text{lb} \cdot \text{ft}^2}{\text{s}^2}$$

Segment 1

$$D_t := \frac{W_1}{T} = 64 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 149531.25 \text{ psi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_1 = 732.621 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_{\text{btotal}}}{M_{ny}} = 0.603 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_1, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_1\right)\right) = 694.852 \text{ kip} \cdot \text{ft}$$

$$\frac{\Omega_b \cdot M_{\text{btotal}}}{M_{nb}} = 0.636 \quad \text{Must be } < 1$$

At maximum wind, the pole with attached flag would not fail. However, the flag is not expected to stay attached with winds exceeding 50 mph. Calculations without the flag follow. The assumption is that the flag will rip from the pole before it is able to transfer maximum load to the pole.

**FLAG SHALL BE REMOVED BEFORE WIND SPEEDS REACH 75 MPH.**

Moment @ Base w/out Flag

$$M_{\text{totalwof}} := M_{\text{ppole}} = 160.807 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 2 w/out flag

$$M_{2\text{wof}} := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) = 67.594 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 3 w/out flag

$$M_{3\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) = 22.708 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 4 w/out flag

$$M_{4\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2 - h_3) = 2.298 \text{ kip} \cdot \text{ft}$$

Loads on steel sections less than when the flag is present. **Steel is adequate by inspection.**

## Footing Design

$$b := 4.5 \text{ ft}$$

*Diameter of footing in ft*

$$P' := F_1 + F_2 + F_3 + F_4 + F_f = 3073.62 \text{ lbf}$$

*Applied lateral force in lbs*

$$h' := \frac{M_{btotal}}{P'} = 86.103 \text{ ft}$$

*Distance in ft from ground surface to point of application of "P"*

$$S_1 := 1191.237 \text{ psf}$$

*Allowable Lateral soil bearing pressure as set forth in the IBC, Section 1806.2 based on depth of one-third the depth of embedment in psf*

\*Note to Engineer: Iterate Lateral Bearing Soil Pressure

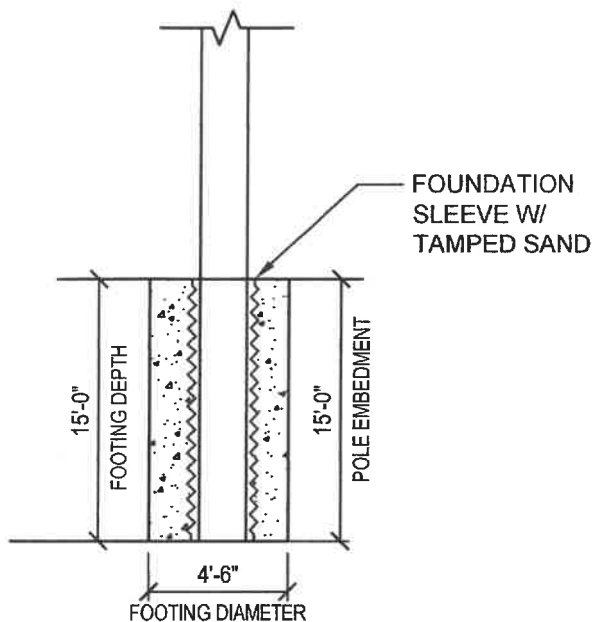
$$A := \frac{2.34 \cdot P'}{S_1 \cdot b} = 1.342 \text{ ft}$$

$$d := 0.5 \cdot A \cdot \left( 1 + \left( 1 + \left( \frac{4.36 \cdot h'}{A} \right)^{\frac{1}{2}} \right) \right) = 11.91 \text{ ft}$$

*Depth of embedment in earth in ft but not over 12 ft for purpose of computing lateral pressure (IBC 1807.3, EQ 18-1)*

Footing Depth to be: **12 ft** min

**WARNING: FLAG MUST BE REMOVED IF WINDS WILL EXCEED 75 MPH**

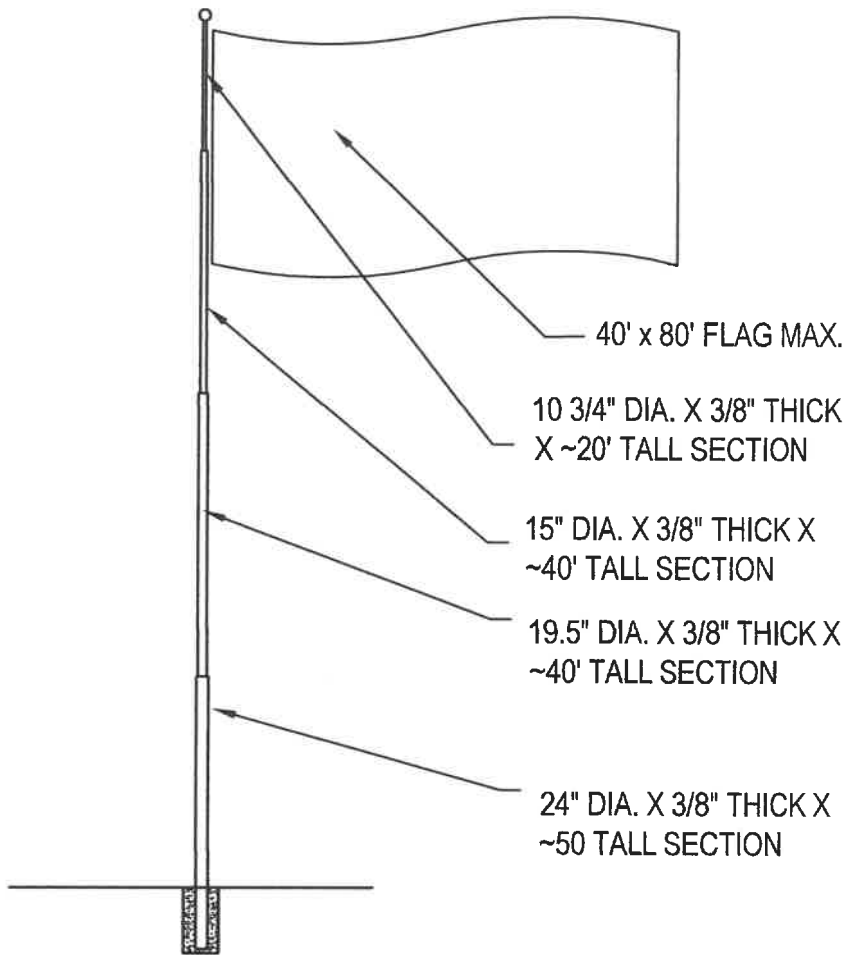


**FOOTING**

FOUNDATION DESIGN IS BASED ON ASSUMED SOIL PROPERTIES. IF THE SOIL ENCOUNTERED IN THE EXCAVATION IS NOT SAND, SILTY SAND, CLAYER SAND, SILTY GRAVEL OR CLAYEY GRAVEL, PLEASE NOTIFY THE ENGINEER. ALSO, IF THE WATER TABLE IS ENCOUNTERED IN THE EXCAVATION, PLEASE CONTACT THE ENGINEER



10/30/2025

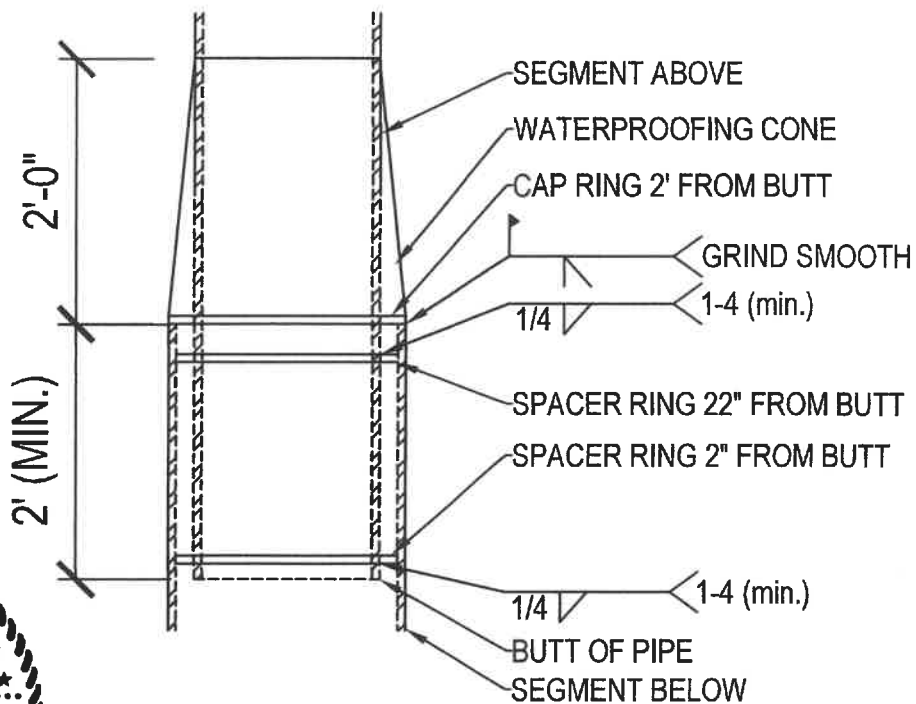


**ELEVATION**

**1 FLAGPOLE**

SCALE: N.T.S.

<p>SHEET: <b>SK1</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope PROJECT MANAGER D. Alter</p>	<p>PROJECT NAME <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4440 WWW.ENSIGNUTAH.COM</p>
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10/30/2025

1 CONNECTION SLEEVE

SCALE: N.T.S.

<p>SHEET: <b>SK2</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope REVIEWED BY D. Alter</p>	<p>PROJECT NAME: <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p><b>ENSIGN</b> THE STANDARD IN ENGINEERING</p> <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4448 WWW.ENSIGNUTAH.COM</p>
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# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** September 21, 2020  
**APPLICANT:** Nabiha Saeed, *Symonds Flags and Poles, Inc.*  
**CASE NUMBER:** Z2020-036; *Specific Use Permit for a Flag Pole at 1540 E. IH-30*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

### BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (*i.e. Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership* on property. The changes to the exterior of the building were approved under site plan *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (*i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (*i.e. 256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013 (*see attached packet for elevations of the existing signage*).

In 2017, the current owner purchased the property, and no additional changes have been made to the subject property since the completion of the remodel in 2013.

### PURPOSE

The applicant -- *Nabiha Saeed* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height* in a Light Industrial (LI) District for the purpose of constructing a 120-foot flag pole in conjunction with an existing motor vehicle dealership.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a new motor vehicle dealership (*i.e. Rockwall Honda*), which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership* (*i.e. S-189; Ordinance No. 18-22*). Beyond this are two (2) metal buildings (*i.e. Warehouse Pro and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the construction of a 120-foot flag pole on the subject property, which is currently occupied with an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The flag pole will be located adjacent to the western façade of the existing motor vehicle dealership building, next to the service porte-cochere. Staff estimates that the flag pole will be located ~137-feet from the northern property line adjacent to the IH-30 frontage road, and ~95-feet from the western property adjacent to Commerce Street.

## CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district." In this case, the subject property is zoned Light Industrial (LI) District, which according to Article 05, *District Development Standards*, of the Unified Development Code (UDC) the maximum height is 60-feet; however, this section also allows the building height to be increased to 120-feet if approved through a Specific Use Permit (SUP). As stated above, the applicant is requesting the maximum height of 120-feet. The proposed flag pole will meet all of the required setbacks stipulated by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

## STAFF ANALYSIS

Staff has reviewed all properties in the IH-30 corridor and determined that: [1] no other property has a flag pole that exceeds 60-feet in height, and [2] no Specific Use Permits (SUPs) have been approved allowing a structure to exceed 60-feet in height. Staff has also reviewed all other *New Motor Vehicle Dealerships* located in the IH-30 corridor and determined that all of these properties currently have flag poles that appear to be 60-feet in height conforming to the *by-right* height permitted by the Unified Development Code (UDC). For the review of the City Council, staff has provided images of the flag poles in front of the *New Motor Vehicle Dealerships* in the IH-30 corridor. With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## NOTIFICATIONS

On August 15, 2020, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response in favor of the applicant's request.

## CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to for a Specific Use Permit (SUP) to allow *a structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a 120-foot flag pole, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of the draft ordinance.
  - (c) The proposed flag pole shall not exceed a maximum overall height of 120-feet as measured from grade.
  - (d) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## PLANNING AND ZONING COMMISSION

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Conway absent. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)f such change [*zoning change or Specific Use Permit (SUP)*] is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."

132 Commissioner Deckard also asked what the timeline was for talking to TX Dot. Mr. Miller addressed the question and explained what the  
133 process would be for getting together for TXDot.

134 Commissioner Thomas asked if the applicant if they had considered public density with the project

135  
136  
137 Commissioner Womble asked about the entrance and its placement and the reasoning behind it.

138  
139 Commissioner Deckard wanted clarification in regards to traffic and streets patrons would be using.

140  
141 Commissioner Womble asked if which entrance would be the most preferable one.

142  
143 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward.

144  
145 Justin Scroggs  
146 1512 S. Alamo Road  
147 Rockwall, TX 75087

148  
149 Mr. Scroggs came forward and expressed his opposition to the case. His main concerns are traffic, noise and light pollution, and  
150 loitering.

151  
152 Chuck Scroggs  
153 813 S. Alamo Road  
154 Rockwall, TX 75087

155  
156 Mr. Scroggs came forward and expressed his opposition in regards to the case. His main concern is his house losing value.

157  
158 Chris Brannon  
159 810 S. Alamo Road  
160 Rockwall, TX 75087

161  
162 Mr. Brannon came forward and expressed his opposition in regards to the request.

163  
164 Joe Rochier  
165 901 S. Alamo Road  
166 Rockwall, TX 75087

167  
168 Mr. Rochier came forward and expressed his opposition in regards to the request.

169  
170 Chairman Chodun asked if anyone else wished to speak; there being no one doing such. Chairman Chodun closed the public hearing  
171 and asked the applicant to come forward once again to respond to comments.

172  
173 Mr. Stansberry (applicant) came forward and responded to comments made by property owners and residents.

174  
175 Chairman Chodun brought the item back to the Commission for discussion or action.

176  
177 Commissioner Deckard asked what the permitted use was at the moment. Commissioner Moeller expressed that he disagreed with the  
178 location of the restaurant. Chairman Chodun also expressed his disapproval to the request.

179  
180 Vice-Chairman Welch made a motion to deny item Z2020-035. Commissioner Moeller seconded the motion to deny which passed by a  
181 vote of 6-0.

182  
183 Director of Planning and Zoning Ryan Miller advised the applicant and Commission that based on tonight's motion that the case would  
184 go before the City Council on September 21, 2020 and will require a ¾ majority vote.

185  
186 **8. Z2020-036 (RYAN MILLER)**

187 Hold a public hearing to discuss and consider a request by Nabih Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the  
188 approval of a *Specific Use Permit (SUP)* to allow a structure that exceeds 60-feet in height in a Light Industrial (LI) District for the purpose of  
189 constructing a flag pole on an existing motor vehicle dealership (i.e. Clay Cooley Hyundai) being a 4.39-acre parcel of land identified as Lot 1,  
190 Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30  
191 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

192  
193 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. Mr. Miller also provided background in  
194 regards to the variances requested in the past by the applicant. All of these were approved and the dealership was founded in 2012. This  
195 time the applicant is requesting to establish a flag pole up to 120-feet. According to the Unified Development Code, a flag pole is treated  
196 the same as any structure meaning it is subject to the same height requirements. With this property being in a Light Industrial (LI)  
197 district, structures are allowed to go up to 60-feet by right and also allows the ability for additional height up to 120-feet with a Specific  
198 Use Permit. In this case, the applicant is requesting the maximum at 120-feet for a flag pole. Since this is requires an SUP, it is a  
199 discretionary decision to the City Council pending a recommendation from the Planning and Zoning Commission. Staff sent out 16

200 notices to property owners and resident within 500-feet of the subject property. Mr. Miller advised the Commission that the applicant and  
201 Staff were present to answer questions.

202  
203 Chairman Chodun asked the applicant to come forward.

204  
205 Steve Symonds  
206 7503 Flagstone  
207 Fort Worth, TX 76118  
208

209 Mr. Symonds (representative) came forward and advised that he was ready to answer questions.

210  
211 Commissioner Deckard asked what the pole was rated for and how big the flag was that it could fly.

212  
213 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

214  
215 Bob Wacker  
216 309 Featherstone  
217 Rockwall, TX 75087  
218

219 Mr. Wacker came forward and asked if staff could limit the permit to only display the American flag.

220  
221 Chairman Chodun asked if anyone else wished to speak; there being no one doing such, Chairman Chodun closed the public  
222 hearing and brought the item back for discussion or action.

223  
224 Commissioner Thomas expressed his concern as to not being able to dictate what could be flown on the pole.

225  
226 Commissioner Moeller expressed that the 60-foot limit is appropriate and did not support anything higher than 60 feet.

227  
228 Commissioner Deckard asked if this would be the highest structure in Rockwall.

229  
230 Commissioner Moeller made a motion to deny item Z2020-036. Commissioner Womble seconded the motion which passed by a vote of  
231 5-1 with Vice-Chairman Welch dissenting.

232  
233 Chairman Chodun advised the applicant that based on tonight's motion that the case would go before the City Council on September 21,  
234 2020 and will require a ¾ majority vote.

235  
236 9. Z2020-037 (RYAN MILLER)

237 Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad  
238 Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a  
239 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned  
240 Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed  
241 as 150 Pecan Valley Drive, and take any action necessary.  
242

243 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant originally requested the  
244 approval of an SUP for the restaurant with less than 2,000 square feet in a General Retail (GR) District. It went to the work session and  
245 was withdrawn by the applicant at that time. The applicant resubmitted the same request and took it forward to which she was ultimately  
246 denied by this Board and requesting to withdraw the case at City Council. The proposed request has now been submitted three times  
247 and it is the same that was proposed last time with the exception of knowing what the restaurant is and the applicant adding a walking  
248 trial. As was explained earlier, certain uses are not permitted in GR areas due to their close proximity to residential streets. In this case,  
249 the applicant does meet the screening requirements and stacking requirements. Quail Run Road is considered to be a residential  
250 roadway and what is not being met is that their only access road is off of that residential roadway. Other non-conformance issues are  
251 the lack of parking spaces and the trash enclosure is facing Pecan Valley which, according to the ordinance, cannot be facing a public  
252 street. Another waiver would be the driveway spacing requirement as it is only 37 feet from the intersection where the minimum is 100-  
253 feet. Staff sent out 35 notices to property owners and residents within 500-feet of the subject property and 13 came back in opposition of  
254 the case with 1 being in favor. Staff also notified the Shores at Lake Ray Hubbard, Random Oaks, Stone Creek, Quail Run, and Lakeview  
255 Summit Homeowner Associations as they were the ones within 1500-feet from the subject property. Mr. Miller then advised that the  
256 applicant and Staff were present and available to answer questions.  
257

258 Commissioner Deckard asked what the max capacity would be at the restaurant.

259  
260 Chairman Chodun asked if there was an issue with part of the property being in a flood zone.

261  
262 Chairman Chodun asked the applicant to come forward.

263  
264 Casey Orr (Engineer)  
265 121 S. Main Street  
266 Henderson, TX 75654  
267

**SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**The motion passed by a vote of 7 ayes to 0 nays.**

- 2. Z2020-035** - Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *Restaurant with 2,000 SF or More with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary **(1st Reading)**.

**Planning Director, Ryan Miller, indicated that the applicant has made a request to be able to withdraw this request. The applicant indicated that they will be withdrawing and terminating the contract on the property.**

**Mayor Pro Tem Fowler moved to allow the applicant to withdraw. Councilmember Daniels seconded the motion, which passed by a vote of 6 ayes to 1 nay (Pruitt).**

- 3. Z2020-036** - Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary. **(1st reading)**

**Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out to adjacent property owners and residents. One notice was received back in favor. In addition, the Planning & Zoning Commission voted 5-1 to recommend denial of this request this evening. As a result, its approval will require a 6-1 vote of Council this evening.**

**Steve Simons  
4513 Dartmoor Lane  
Colleyville, TX**

**Mr. Simons handed out ordinance regulations for some other cities (*i.e. Lewisville*) regarding their regulations on U.S. flags and associated flag poles. He shared that Mr. Cooley has very tall U.S. flag poles at his dealerships in Irving, TX. He understands that 120' flag pole is the tallest that the City of Rockwall may potentially approve.**

**Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak. There being no one indicating such, he then closed the public hearing.**

**Councilmember Johannesen moved to deny Z2020-036. Councilmember Hohenshelt seconded the motion. Following brief discussion, the motion to deny the request passed by a vote of 7 ayes to 0 nays.**

**City Attorney Frank Garza briefly weighed in, sharing that any ordinance that would attempt to regulate "content" of what is actually placed on a flag pole is a "gray area" that would pose**

challenges on what is and is not Constitutional. It would have to be an ordinance that only regulated height and not content. Councilmembers Daniels and Johannesen instructed staff to go through the process of bringing back an ordinance that would change the regulations and allow increased heights for flag poles.

4. **Z2020-037** - Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary. (1st reading)

Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out to 35 residents and property owners located within 500' of the subject property. Thirteen responses were received back in opposition, and one notice was received back in favor. In addition, the Planning & Zoning Commission voted 4 to 2 to recommend denial of this request. As such, if it is to be approved this evening, it will require at least 6 council members to vote in favor of it.

Following brief discussion, Councilmember Johannesen moved to remand Z2020-037 back to the Planning & Zoning Commission. Councilmember Hohenshelt seconded the motion. The motion passed by a vote of 7 ayes to 0 nays.

5. **Z2020-038** - Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary (1st Reading).

Planning Director Ryan Miller provided background information pertaining to this agenda item. 144 notices were sent out to adjacent property owners and residents located within 500' of the subject property; however, no notices were received back by staff.

The applicant briefly came forth and introduced himself. Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed the Public Hearing.

Councilmember Macalik moved to approve Z2020-038. Councilmember Johannesen seconded the motion. Following extensive discussion about septic systems being allowed on lots less than one acre (note: this will not be on city sewer service), the ordinance was read as follows:

**CITY OF ROCKWALL  
ORDINANCE NO. 20-45  
SPECIFIC USE PERMIT NO. S-236**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,  
TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75)  
[ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC)**



September 28, 2020

TO: Clay E. Cooley  
ATTN: Mary Pinedo  
1251 E. Airport Freeway  
Irving, TX 75062

CC: Symonds Flags and Poles, Inc.  
Nabiha "Bea" Saeed  
7503 Flagstone Drive, Building 30  
Fort Worth, TX 76118

FROM: Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2020-036; SUP for 1540 E. IH-30

Mr. Cooley:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was denied by the City Council on September 21, 2020. The following is a record of all voting records:

Planning and Zoning Commission

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Conway absent. According to Subsection 02.03(G), Protest of a Zoning Change, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "(i)f such change {zoning change or Specific Use Permit (SUP)} is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (i.e. three-fourths vote of those members present), with a minimum of four (4) votes in the affirmative required for approval."

City Council

On September 21, 2020, the City Council approved a motion to deny the applicant's request for a Specific Use Permit by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant's discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 771-7745.

Sincerely,

Ryan Miller, AICP  
Director of Planning and Zoning

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *STRUCTURE THAT EXCEEDS 60-FEET IN HEIGHT IN A LIGHT INDUSTRIAL (LI) DISTRICT* TO ALLOW THE CONSTRUCTION OF TWO (2) FLAG POLES ON A 4.39-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK 1, ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Davin Marceau of the Charles Morgan Group, LP on behalf of Chase Cooley for the approval of a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of two (2) flag poles on an existing, new motor vehicle dealership on a 4.39-acre parcel of land being described as Lot 3, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of two (2) flag poles on an existing motor vehicle dealership in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified

Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, and Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction and continued operation of two (2) flag poles on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of two (2) flag poles on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of two (2) flag poles on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed flag poles shall not exceed a maximum overall height of 120-feet as measured from grade.
- 4) The flags shall be maintained in good condition free of tears, rips, fraying, or fading.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of

any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF MARCH, 2026.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: February 17, 2026

2<sup>nd</sup> Reading: March 2, 2026

**Exhibit 'A'**  
**Location Map and Survey**

Address: 1540 E. IH-30

Legal Description: Lot 3, Block 1, Rockwall Recreational Addition

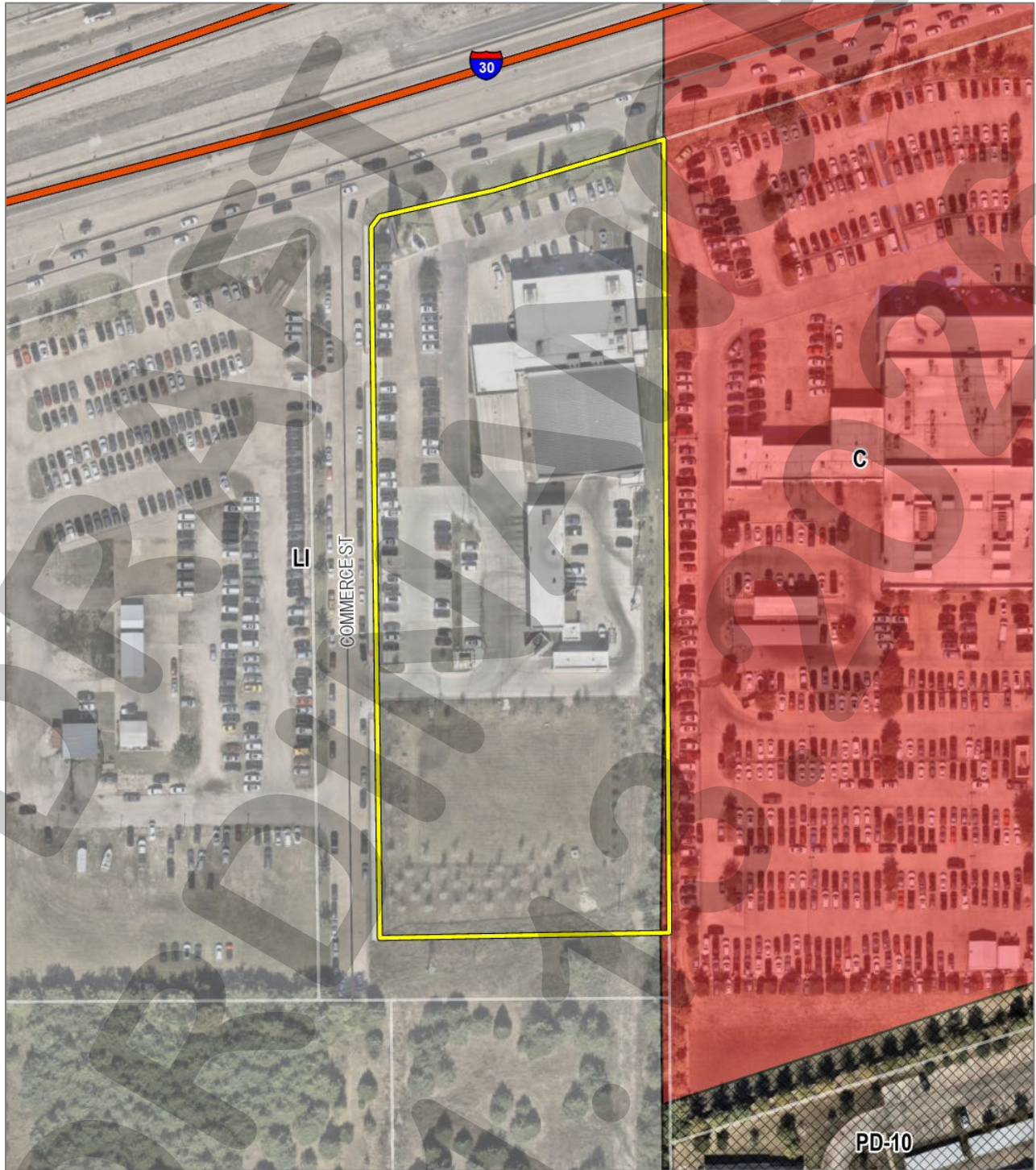
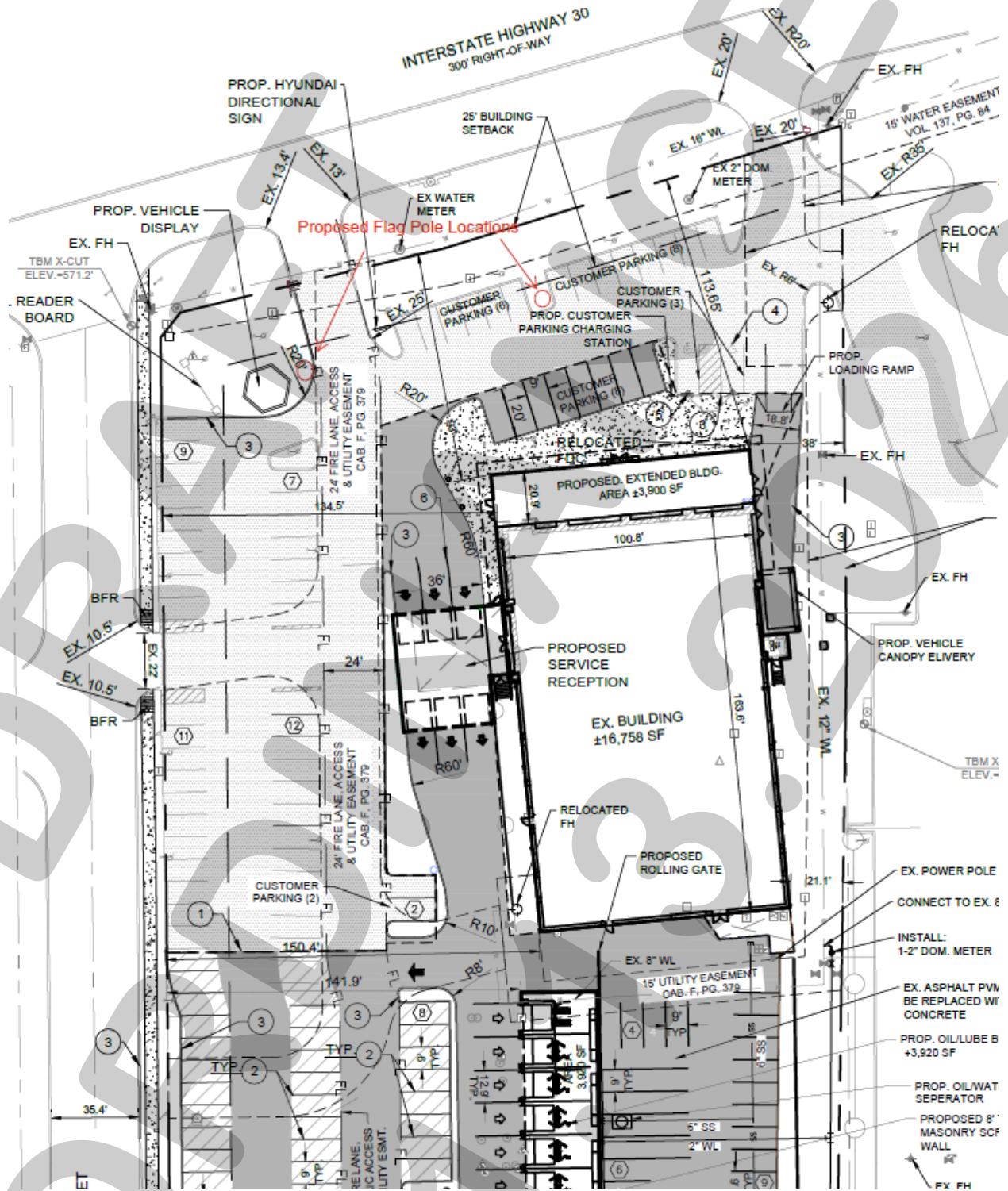


Exhibit 'B':  
Concept Plan



**Exhibit 'C':  
Flag Pole Elevations**

**DIMINISHING SECTION STEEL  
CONCEALED HALYARD  
GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

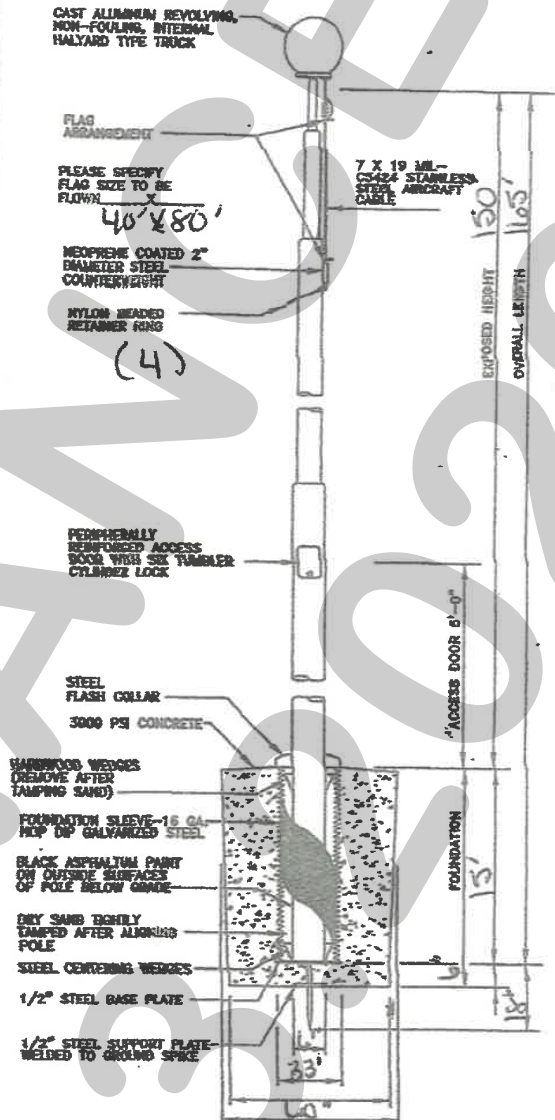
**FINAL:** (The flagpole division of NAAMM recommends that no Final, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130°. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the L.D. of the sleeve. A seiffing plate 6" square is securely welded to the ground spike 5" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT. R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Retail			White

*TX Flag  
40' x 80'*

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.



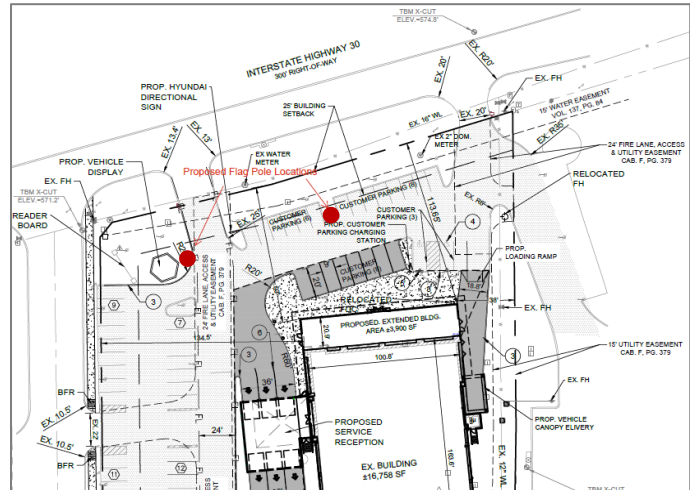
# CITY OF ROCKWALL

## CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Mayor and City Council  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** January 20, 2026  
**SUBJECT:** Z2025-076; *Specific Use Permit (SUP) for 1540 E. IH-30 (Clay Cooley Hyundai)*

On December 12, 2025, the applicant -- *Davin Marceau of The Charles Morgan Group, LP on behalf of Chase Cooley* - submitted an application requesting a Specific Use Permit (SUP) for a structure that exceeds 60-feet in height in a Light Industrial (LI) District. Specifically, the applicant is proposing to establish two (2), 120-foot flag poles adjacent to the IH-30 Frontage Road on the subject property. According to Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district." In this case, the Light Industrial (LI) District allows a maximum height of 60-feet, but grants property owners the ability to request up to 120-feet by Specific Use Permit (SUP). Based on the applicant's exhibit -- depicted in *Figure 1 of this memorandum* -- the flagpoles will be approximately 25-feet from the front property line adjacent to the IH-30 Frontage Road and be situated next to the existing customer parking spaces. Originally, the applicant was requesting flag poles that were 150-feet in height; however, has been required to reduce this to the maximum 120-feet permitted within the Light Industrial (LI) District.



**FIGURE 1. PROPOSED FLAG POLE LOCATIONS**  
**FLAG POLE LOCATIONS SHOWN IN RED CIRCLES**

Originally, the applicant was requesting flag poles that were 150-feet in height; however, has been required to reduce this to the maximum 120-feet permitted within the Light Industrial (LI) District.

Staff should point out, that the applicant was previously denied for a similar request by the City Council on September 21, 2020 [Case No. Z2020-036]. Under this case, the applicant was requesting a Specific Use Permit (SUP) for a single 120-foot flag pole that was setback ~137-feet from the front property line. After reviewing this case, the Planning and Zoning Commission recommended denial of this request by a vote of 5-1 (*with Commissioner Welch dissenting*) on September 15, 2020, and the City Council concurred with the Planning and Zoning Commission on September 21, 2020 approving a motion to deny the case with prejudice by a vote of 7-0. Two (2) major issues that were discussed by both the Planning and Zoning Commission and City Council during the review of this case was [1] the fact that no other businesses in the City of Rockwall have been granted a Specific Use Permit (SUP) for a flag pole that exceeded 60-feet in height, and [2] the inability of the City of Rockwall to regulate the content of what could be placed on the flag pole. This second issue was weighed in on by the City Attorney during the City Council meeting. According to the minutes from this meeting, the City Attorney stated that "...any ordinance that would attempt to regulate 'content' of what is actually placed on a flag pole is a 'grey area' that would pose challenges on what is and is not constitutional. It would have to be an ordinance that only regulated height and not content." For the City Council's review staff has placed a copy of the case memo, minutes from both the Planning and Zoning Commission and City Council meetings, and the denial letter in the attached packet. Staff should also point out that no changes in conditions (*i.e. case law, City approvals, development cases, or ordinances changes*) have occurred since the original request that would warrant the reconsideration of the request; however, as with any Specific Use Permit (SUP) request, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

This being a zoning case, staff mailed 20 notices to all property owners and occupants within 500-feet of the subject property on December 16, 2025. There were no Homeowner's Associations (HOA) or Neighborhood Groups with 1,500-feet of the subject property. As of the date of this memorandum, staff has not received any notices returned concerning the applicant's

request. In addition, staff brought the case to the Planning and Zoning Commission on January 13, 2025. After reviewing the case, the Planning and Zoning Commission approved a motion to recommend denial by a vote of 5-0, with Commissioner Roth absent and one (1) seat vacant. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), if a Specific Use Permit (SUP) "...is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval." Should the City Council have any questions concerning this request, staff and the applicant will be available at the January 20, 2026 City Council meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1540 I-30 Rockwall, TX 75087

SUBDIVISION Rockwall Recreation Addition

LOT 1

BLOCK 1

GENERAL LOCATION Located off I-30 Service Road & Commerce Street

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING L1

CURRENT USE Auto Dealer

PROPOSED ZONING

PROPOSED USE

ACREAGE 7.17

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 1540 East IH 30 Rockwall, LLC

APPLICANT The Charles Morgan Group, LP

CONTACT PERSON Chase Cooley

CONTACT PERSON Davin Marceau

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHASE F. COOLEY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 11th TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF December, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF December, 2025.

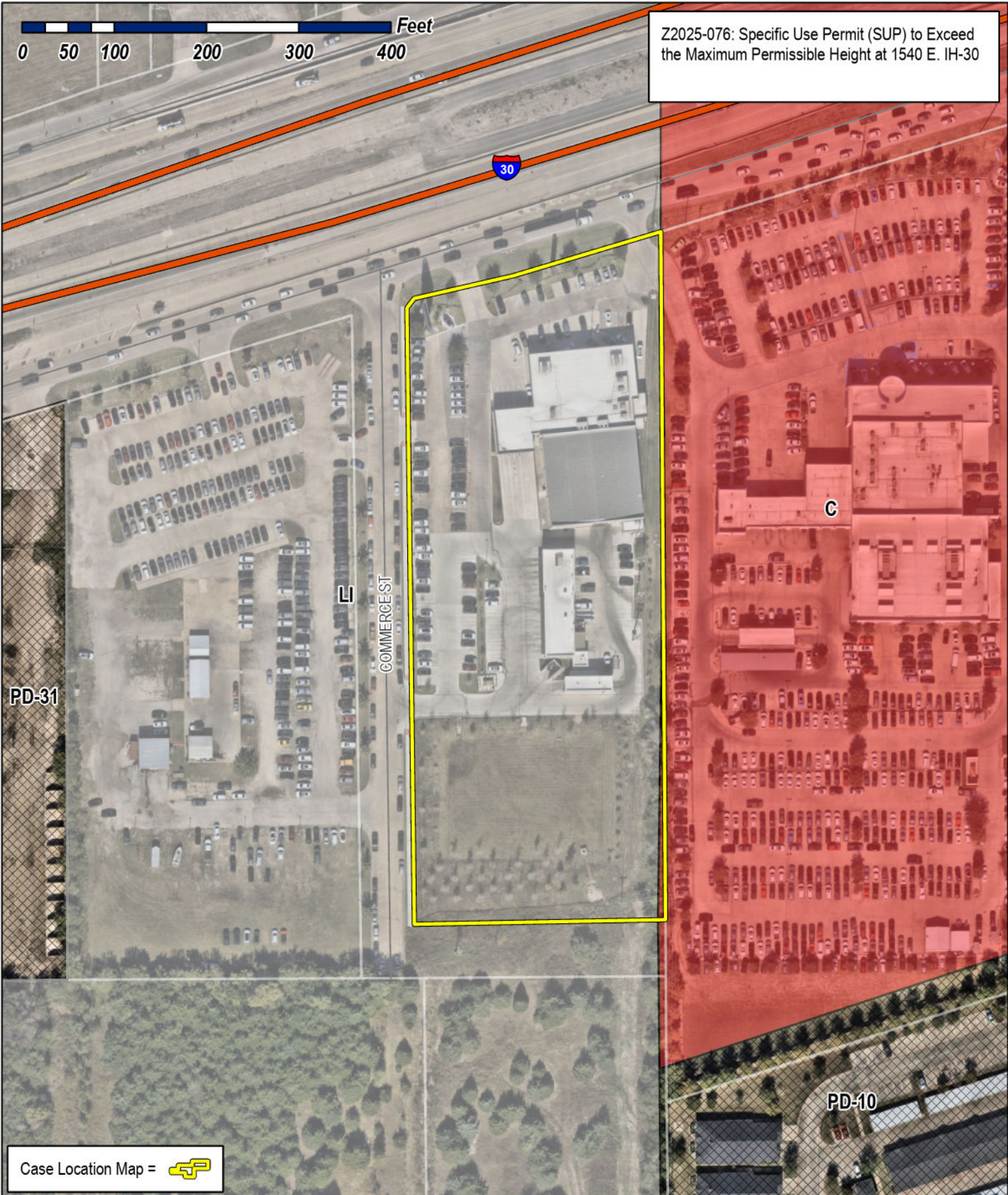
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-076: Specific Use Permit (SUP) to Exceed the Maximum Permissible Height at 1540 E. IH-30



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

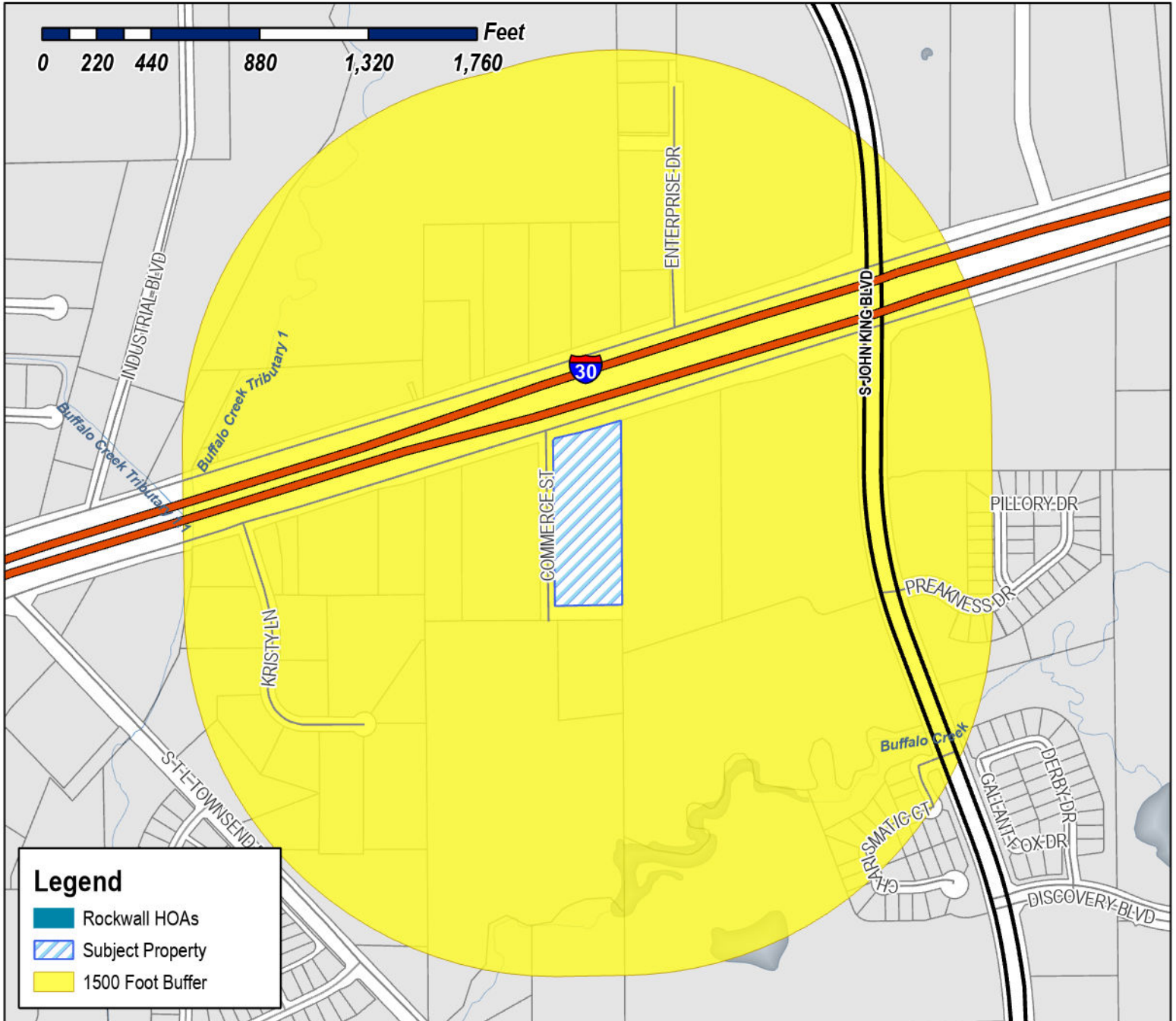




# City of Rockwall

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385 S. Goliad Street  
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**Case Number:** Z2025-076  
**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025  
 For Questions on this Case Call (972) 771-7745

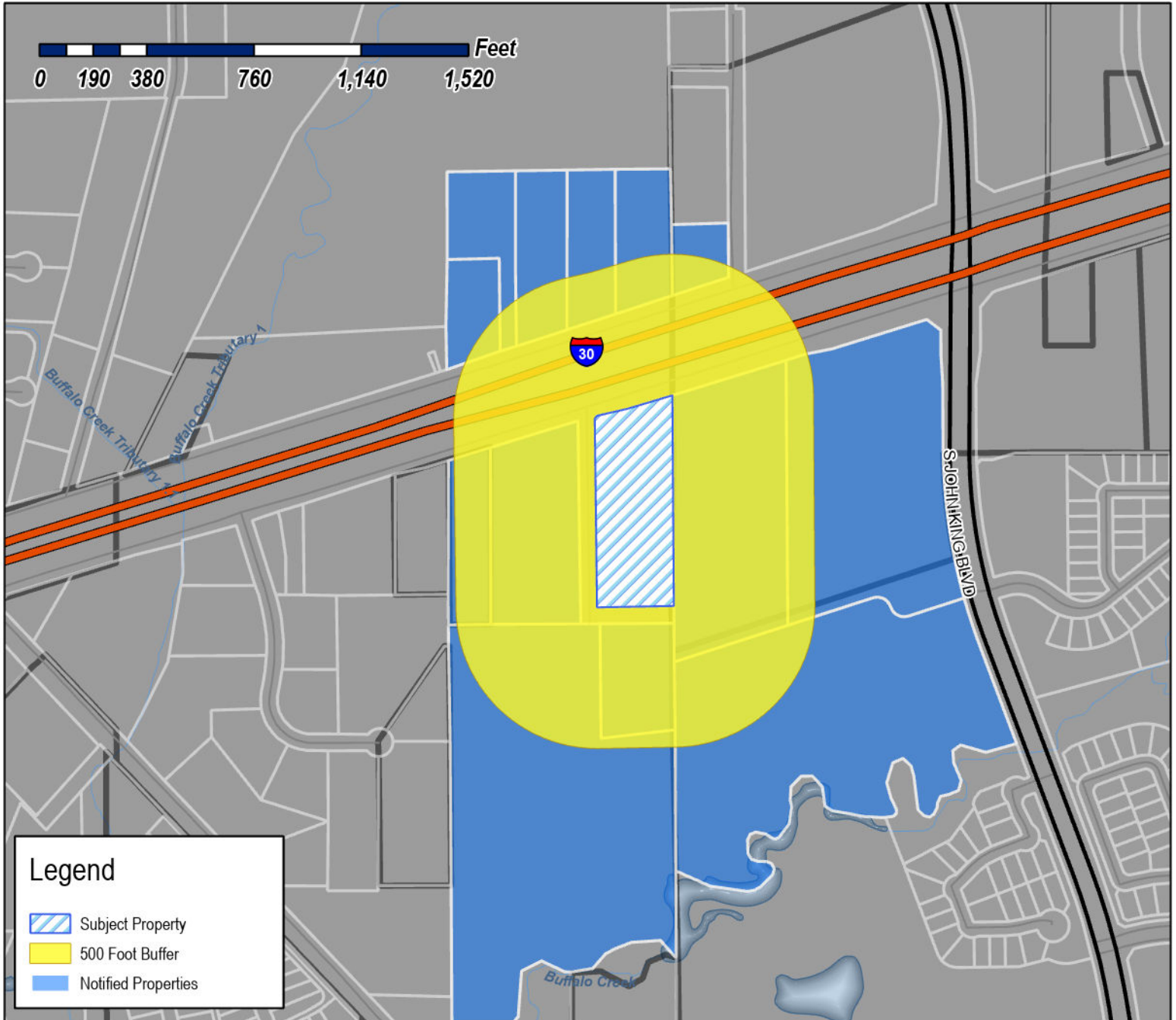




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-076

**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height

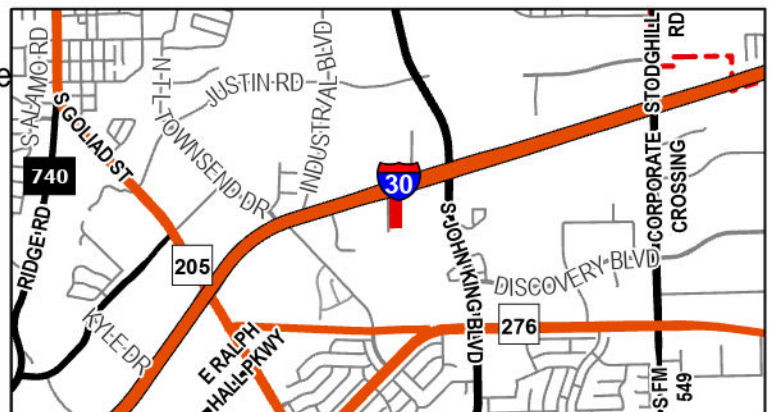
**Case Type:** Zoning

**Zoning:** Light Industrial (LI) District

**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT  
130 NORTH SERVICE RD  
ROCKWALL, TX 75087

LITHIA REAL ESTATE INC  
150 N BARTLETT STREET  
MEDFORD, OR 97501

RESIDENT  
1520 E I30  
ROCKWALL, TX 75087

RESIDENT  
1530 S I30  
ROCKWALL, TX 75087

RESIDENT  
1535 I30  
ROCKWALL, TX 75087

RESIDENT  
1540 I30  
ROCKWALL, TX 75087

RESIDENT  
1545 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1550 E I30  
ROCKWALL, TX 75087

RESIDENT  
1551 E I30  
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP  
A TEXAS LTD PARTNERSHIP  
1551 E Interstate 30 Ste A  
Rockwall, TX 75087

RESIDENT  
1600 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1650 S JOHN KING  
ROCKWALL, TX 75087

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

C2LA, LLC  
382 Ranch Trl  
Rockwall, TX 75032

H E B LP  
646 SOUTH FLORES STREET  
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &  
CHARLES SMITH  
709 W Rusk St Ste B  
Rockwall, TX 75087

ZBH/1535 E INTERSTATE 30 LTD  
9669 JOURDAN WAY  
DALLAS, TX 75230

1540 EAST IH 30 ROCKWALL LLC  
M/R  
ROCKWALL, TX 75087

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
PO BOX 530292  
BIRMINGHAM, AL 35253

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-076: SUP to Exceed the Maximum Permissible Height for a Flag Pole**

Hold a public hearing to discuss and consider a request by Davin Marceau of The Charles Morgan Group, LP on behalf of Chase Cooley of 1540 E. IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) to Exceed the Maximum Permissible Height in a Light Industrial (LI) District for the construction of a Flag Pole on a 4.39-acre parcel of land identified as Lot 3, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2025-076: SUP to Exceed the Maximum Permissible Height for a Flag Pole**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

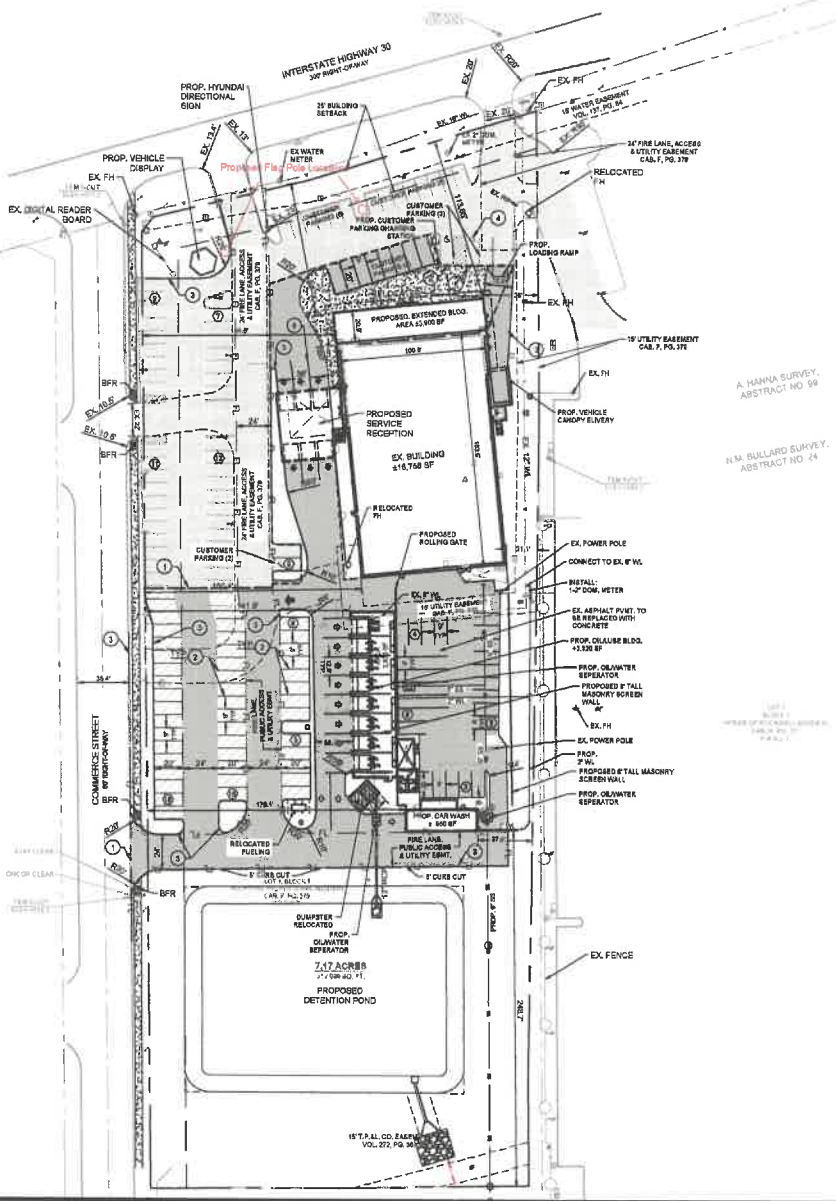
Four horizontal grey bars for providing reasons for the response.

Name: [text box]  
Address: [text box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLOTTED BY: JAT/KH/AM/ODDA  
 PLOT DATE: 6/16/2023 8:44 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CAD\DWG\SP-1 CITY SITE PLAN.DWG  
 P. 30/30 6/16/2023 8:42 AM

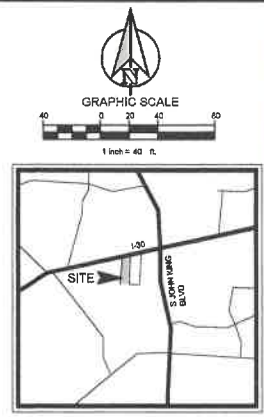


A. HANNA SURVEY, ABSTRACT NO. 99  
 H.M. BULLARD SURVEY, ABSTRACT NO. 24

SITE DATA TABLE	
SITE AREA	7.71 AC (312,089 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	22,858 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,600 SF (OIL/LUBE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/250 SF	19 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 PER 2 BAY	8 SPACES
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	58 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
REVENUE STORAGE PARKING	24 SPACES

CONSTRUCTION SCHEDULE	
(1)	EXISTING CONCRETE PAVEMENT
(2)	FIRE LANE AND DRIVE ASILE 8" 3000 PSI (AS SAGGOCY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
(3)	PARKING 8" 3000 PSI (AS SAGGOCY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
(4)	PROPOSED DUMPSTER ENCLOSURE W/IN. 7" THICK
(5)	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-10
(6)	PROPERTY LINE
(7)	PROPOSED CONCRETE CURB AND GUTTER
(8)	PROPOSED FIRE LANE
(9)	PROPOSED SAWCUT
(10)	PARKING COUNT



CONSTRUCTION SCHEDULE	
(1)	PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
(2)	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
(3)	PROP. CONCRETE CURB & GUTTER
(4)	EX. HANDICAP SYMBOL
(5)	EX. HANDICAP SIGN
(6)	PROP. PAVEMENT STRIPING
(7)	PROP. PROPOSED BOLLARD

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 2' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOIL MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROGBOT.

**CLAY COOLEY HYUNDAI**  
**ROCKWALL, TX 75087**  
 LEGAL DESCRIPTION AND/OR ADDRESS:  
**ROCKWALL RECREATION ADDITION**  
**LOT 1 BLOCK 1**  
**7.17 AC (312,089 SF)**

CLAY COOLEY AUTO  
 1291 E. AIRPORT FREEWAY  
 IRVING, TX 75062

CLAYMOORE ENGINEERING, INC.  
 1805 CENTRAL DRIVE, SUITE #408  
 BEDFORD, TX 76021  
 PH: 817.261.0572

CASE NUMBER  
 Z2021-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

**CLAYMOORE ENGINEERING**  
 13305 W. STATE ST. SUITE 100  
 DALLAS, TEXAS 75244  
 TEL: 972.987.8800  
 FAX: 972.987.8801  
 WWW.CLAYMOOREENGINEERING.COM

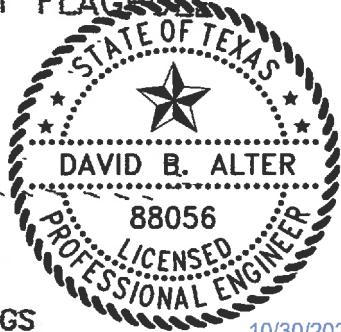
**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**

**CITY SITE PLAN**

SHEET  
**SP-1**

(SP2022-003)

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

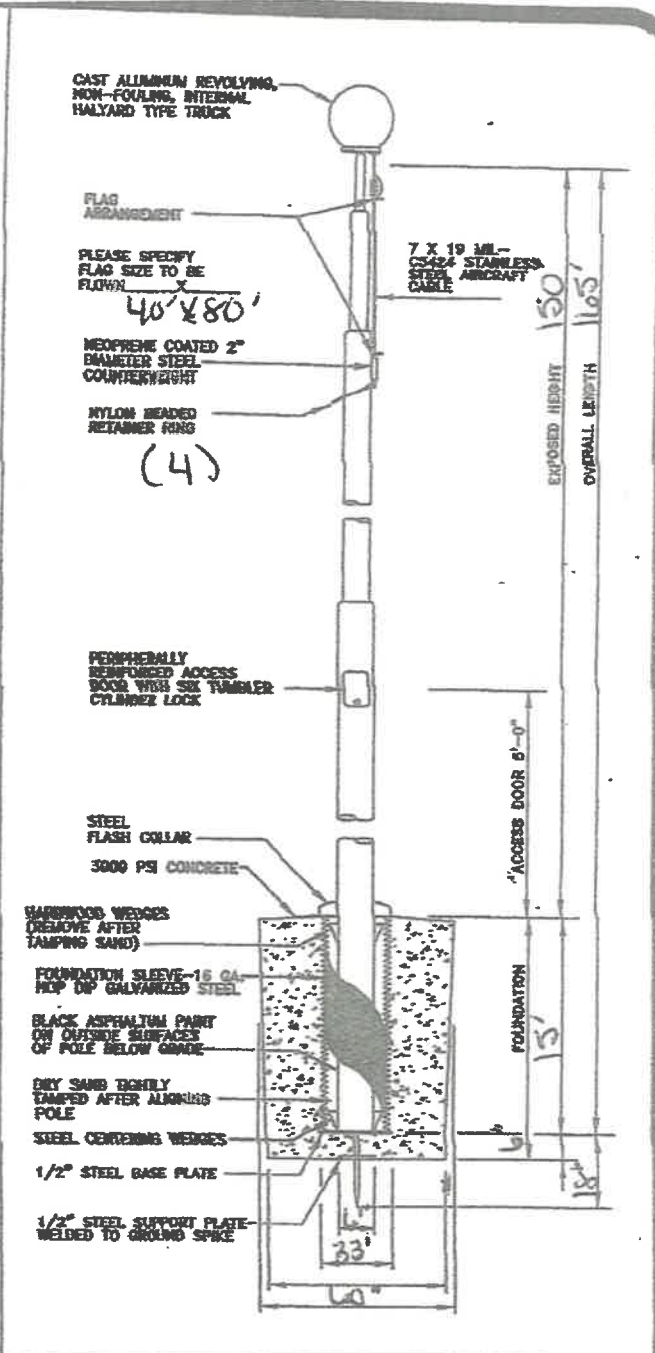
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



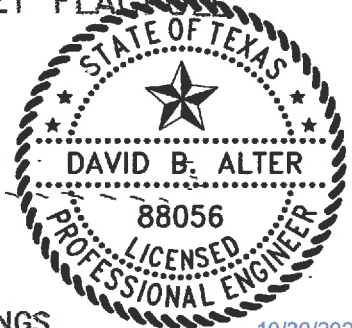
TX Flag  
40' x 80'

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 116.5'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Retail			White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	116.5'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE



## STANDARD FITTINGS

10/30/2025

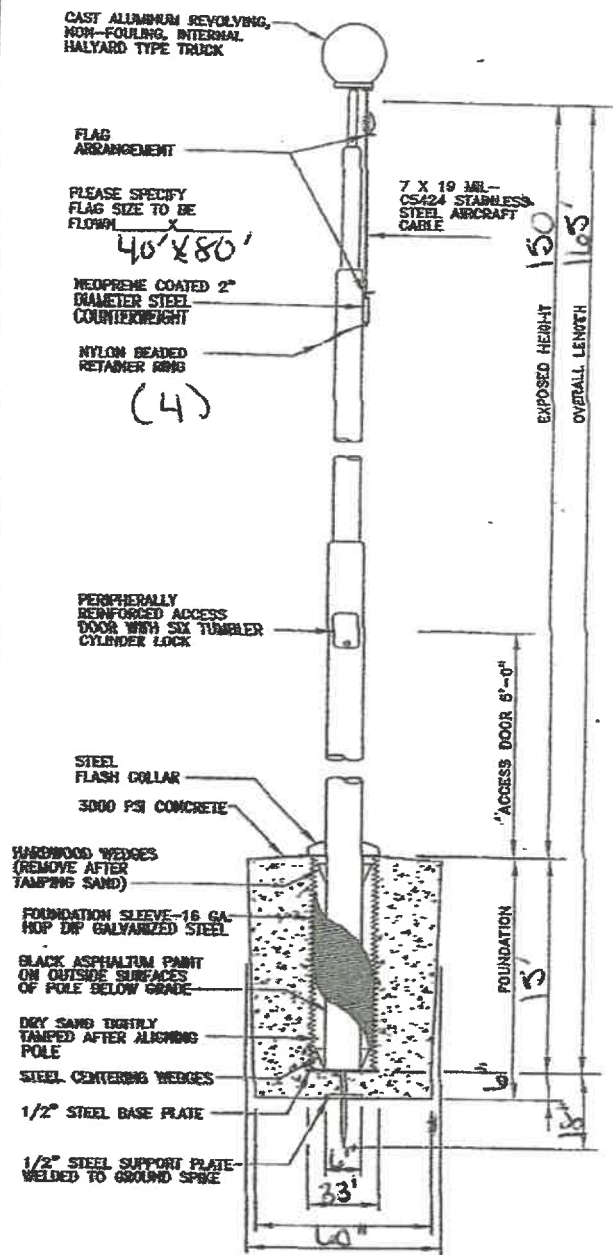
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

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US Flag,  
40' x 80'

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE
LOC. 1540-130	EXP. HT. 150' OVERALL HT. 165' NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24" TOP DIA. 10 3/4" WALL THICKNESS .375"
CONT R:	SHIP IN 5 SEC. FINISH: Powder Coat
CUST: Clay Cooley Hyundai Robinson	White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# STRUCTURAL CALCULATIONS

*Project:*

**Clay Cooley Hyundai Flagpole & Footing**

1540 I-30

Rockwall, TX 75087

*Project Number:* 14520

*Prepared For:*

**Symonds Flags and Poles**

250 W. Airport Freeway

Irving, TX 75062

*Date:*

October 2025

*Prepared By:*

**Adam Pope, EIT**

*Reviewed By:*

**David B. Alter, PE**



10/30/2025

**Ensign Engineering**

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**ENSIGN**  
THE STANDARD IN ENGINEERING

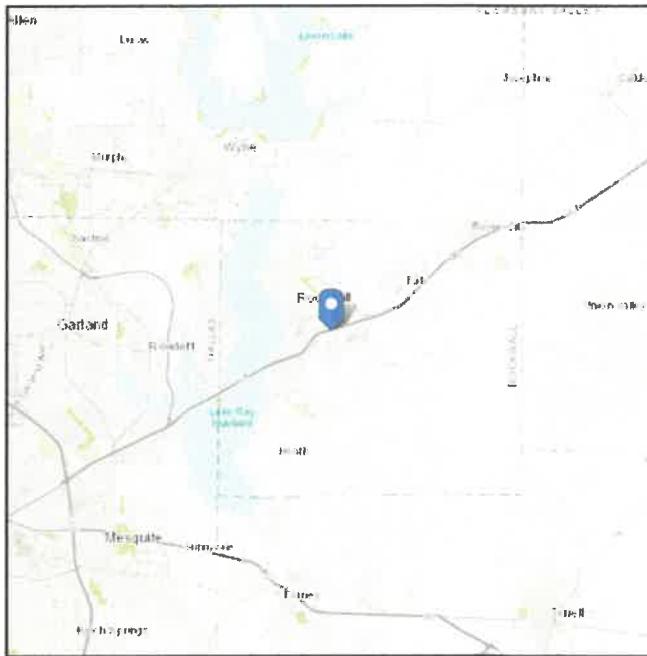


# ASCE Hazards Report

**Address:**  
 1540 E Interstate 30  
 Rockwall, Texas  
 75087

**Standard:** ASCE/SEI 7-22  
**Risk Category:** II  
**Soil Class:** Default

**Latitude:** 32.914362  
**Longitude:** -96.436478  
**Elevation:** 573.0197118668139 ft  
 (NAVD 88)



## Wind

**Results:**

Wind Speed	105 Vmph
10-year MRI	75 Vmph
25-year MRI	80 Vmph
50-year MRI	85 Vmph
100-year MRI	90 Vmph
300-year MRI	100 Vmph
700-year MRI	105 Vmph
1,700-year MRI	115 Vmph
3,000-year MRI	117 Vmph
10,000-year MRI	126 Vmph
100,000-year MRI	145 Vmph
1,000,000-year MRI	162 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2  
 Date Accessed: Wed Oct 29 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2.



The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

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In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE Hazard Tool.

**GENERAL PROJECT INFORMATION**

Latitude: 32.91 North (Approximate)  
 Longitude: -96.44 West (Approximate)

Client: **Symonds Flags and Poles**

**PROJECT DESCRIPTION**

Structural Calculations for  $h := 150 \text{ ft}$  flag pole footing

**GENERAL DESIGN CRITERIA**

Structure Type: Flag Pole  
 Design Code: 2021 IBC / FP1001-07  
 Risk Category: II

**DESIGN LOADS**

Wind Loads:

Wind Speed:  $WS := 105$  mph - 3 second gust (strength level)  
 Exposure: C

**FOUNDATION CRITERIA & SPECIFICATIONS**

Soils Report: Company: Presumptive  
 Date: N/A  
 Report/Project Number: N/A  
 Contact: N/A

Allowable Bearing Pressure: 1500 psf

Passive Pressure:  $P_{\text{passive}} := 2 \cdot 150 \frac{\text{psf}}{\text{ft}} = 300 \frac{\text{psf}}{\text{ft}}$   
 Increase Per IBC 1806.3.4

Coefficient of Friction,  $\mu$ : 0.35

Foundation Type:

Footing Type: Pole Footing

**FOUNDATION CRITERIA & SPECIFICATIONS**

**CONCRETE & REINFORCING STEEL SPECIFICATIONS**

Concrete Strength,  $f'c$ :  
 Footings/Foundation Walls: 3000 psi

Steel Pole Segments: API 5Lx46 Grade B ( $f_y=46$  ksi)

## Flagpole Design

### Flagpole Geometry

$$h = 150 \text{ ft}$$

Total Pole Height from the Ground

$$w_1 := 24 \text{ in} \quad w_3 := 15 \text{ in}$$

Pole Widths

$$w_2 := 19.5 \text{ in} \quad w_4 := 10.75 \text{ in}$$

$$h_1 := 50 \text{ ft} \quad h_3 := 40 \text{ ft}$$

Respective Pole Heights

$$h_2 := 40 \text{ ft} \quad h_4 := 20 \text{ ft}$$

### Wind loads on pole (Per NAAMM / FP1001-07)

$$WS = 105$$

Wind speed (mph)

$$V := \sqrt{0.6} \cdot WS$$

Wind velocity ASCE 7-16 (mph) adjusted to ASCE 7-05

$$G := 1.14$$

Gust effect factor recommended for flag poles

### Segment 4 Calculations

$$z_4 := 140 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_4 := \frac{w_4}{ft} = 0.896$$

$$C_{deq4} := \frac{129}{(V \cdot d_4)^{1.3}} = 0.49$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d4} := \text{if}(C_{deq4} < 0.45, 0.45, \text{if}(C_{deq4} > 1.1, 1.1, C_{deq4})) = 0.489$$

$$C_{h4} := 2.01 \cdot \left( \frac{z_4}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.36$$

Height coefficient FG1001 Eq. 2

$$P_4 := 0.00256 \cdot V^2 \cdot C_{d4} \cdot C_{h4} \cdot G = 12.826$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_4 := h_4 \cdot w_4 = 17.917 \text{ ft}^2$$

Pole Area

$$F_4 := P_4 \cdot \text{psf} \cdot A_4 = 229.799 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b4} := A_4 \cdot P_4 \cdot \text{psf} \cdot z_4 = 32.172 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 4

Segment 3 Calculations

$$z_3 := 110 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_3 := \frac{w_3}{ft} = 1.25$$

$$C_{deq3} := \frac{129}{(V \cdot d_3)^{1.3}} = 0.32$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d3} := \text{if}(C_{deq3} < 0.45, 0.45, \text{if}(C_{deq3} > 1.1, 1.1, C_{deq3})) = 0.45$$

$$C_{h3} := 2.01 \cdot \left( \frac{z_3}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.29$$

*Height coefficient FG1001 Eq. 2*

$$P_3 := 0.00256 \cdot V^2 \cdot C_{d3} \cdot C_{h3} \cdot G = 11.218$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_3 := h_3 \cdot w_3 = 50 \text{ ft}^2$$

*Pole Area*

$$F_3 := P_3 \cdot \text{psf} \cdot A_3 = 560.886 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b3} := A_3 \cdot P_3 \cdot \text{psf} \cdot z_3 = 61.697 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 3*

Segment 2 Calculations

$$z_2 := 70 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_2 := \frac{w_2}{ft} = 1.625$$

$$C_{deq2} := \frac{129}{(V \cdot d_2)^{1.3}} = 0.23$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d2} := \text{if}(C_{deq2} < 0.45, 0.45, \text{if}(C_{deq2} > 1.1, 1.1, C_{deq2})) = 0.45$$

$$C_{h2} := 2.01 \cdot \left( \frac{z_2}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.17$$

*Height coefficient FG1001 Eq. 2*

$$P_2 := 0.00256 \cdot V^2 \cdot C_{d2} \cdot C_{h2} \cdot G = 10.2$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_2 := h_2 \cdot w_2 = 65 \text{ ft}^2$$

*Pole Area*

$$F_2 := P_2 \cdot \text{psf} \cdot A_2 = 662.968 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b2} := A_2 \cdot P_2 \cdot \text{psf} \cdot z_2 = 46.408 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 2*

Segment 1 Calculations

$$z_1 := 25 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_1 := \frac{w_1}{ft} = 2$$

$$C_{deq1} := \frac{129}{(V \cdot d_1)^{1.3}} = 0.17$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d1} := \text{if}(C_{deq1} < 0.45, 0.45, \text{if}(C_{deq1} > 1.1, 1.1, C_{deq1})) = 0.45$$

$$C_{h1} := \text{if}\left(z_1 < 16.4 \text{ ft}, 0.86, 2.01 \cdot \left(\frac{z_1}{900 \text{ ft}}\right)^{\frac{2}{9.5}}\right) = 0.95$$

Height coefficient FG1001 Eq. 2 (if  $z_1 < 16.4'$   $Ch = 0.86$ )

$$P_1 := 0.00256 \cdot V^2 \cdot C_{d1} \cdot C_{h1} \cdot G = 8.212$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_1 := h_1 \cdot w_1 = 100 \text{ ft}^2$$

Pole Area

$$F_1 := P_1 \cdot \text{psf} \cdot A_1 = 821.184 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b1} := A_1 \cdot P_1 \cdot \text{psf} \cdot z_1 = 20.53 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 1

$$M_{\text{bpole}} := M_{b1} + M_{b2} + M_{b3} + M_{b4} = 160.807 \text{ kip} \cdot \text{ft}$$

Wind loads on flag (per NAAMM / FP1001-07)

$$h_f := 40 \text{ ft} \quad w_f := 80 \text{ ft} \quad z_f := 130 \text{ ft}$$

Flag geometry

$$C_{hf} := 2.01 \cdot \left(\frac{z_f}{900 \text{ ft}}\right)^{\frac{2}{9.5}} = 1.34$$

Height coefficient FG1001 Eq. 2

$$A_f := h_f \cdot w_f = 3200 \text{ ft}^2$$

Flag Area

$$F_f := 0.0014 \frac{\text{lbf}}{\text{ft}} \cdot V^2 \cdot \sqrt{A_f} \cdot C_{hf} \cdot G = 798.783 \text{ lbf}$$

Force on flag FG1001 Eq. 5  
(polyester flag = worst case)

$$M_{bf} := F_f \cdot z_f = 103.842 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from the flag

$$F_d := \frac{F_f}{h_f} = 19.97 \text{ plf}$$

Moment @ Base

$$M_{\text{total}} := M_{\text{br}} + M_{\text{bpole}} = 264.648 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 2

$$M_2 := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) + F_f \cdot (z_f - h_1)$$

$$M_2 = 131.497 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 3

$$M_3 := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) + F_f \cdot (z_f - h_1 - h_2)$$

$$M_3 = 54.659 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 4

$$M_4 := F_4 \cdot (z_4 - h_1 - h_2 - h_3) + F_d \cdot h_4 \cdot \left(\frac{h_4}{2}\right) = 6.292 \text{ kip} \cdot \text{ft}$$

Worst loading case for segment 4  
 =full length of segment

Section Modulii of Each Segment

$$T := 0.375 \text{ in}$$

$$S_1 := \frac{\pi \cdot (w_1^4 - (w_1 - 2T)^4)}{32 \cdot w_1} = 161.858 \text{ in}^3$$

$$S_3 := \frac{\pi \cdot (w_3^4 - (w_3 - 2T)^4)}{32 \cdot w_3} = 61.461 \text{ in}^3$$

$$S_2 := \frac{\pi \cdot (w_2^4 - (w_2 - 2T)^4)}{32 \cdot w_2} = 105.696 \text{ in}^3$$

$$S_4 := \frac{\pi \cdot (w_4^4 - (w_4 - 2T)^4)}{32 \cdot w_4} = 30.637 \text{ in}^3$$

$$Z_1 := \frac{w_1^3 - (w_1 - 2T)^3}{6} = 209.32 \text{ in}^3$$

$$Z_3 := \frac{w_3^3 - (w_3 - 2T)^3}{6} = 80.227 \text{ in}^3$$

$$Z_2 := \frac{w_2^3 - (w_2 - 2T)^3}{6} = 137.18 \text{ in}^3$$

$$Z_4 := \frac{w_4^3 - (w_4 - 2T)^3}{6} = 40.383 \text{ in}^3$$

Bending Stress Check of Each Segment (16.1-F8 AISC)

$$E := 29000 \text{ ksi} \quad F_y := 42 \text{ ksi} \quad \Omega_b := 1.67$$

**ALLOWABLE FACTORED  
 STRENGTH PER CODE IS 40  
 KSI FOR 42 KSI STEEL**

Segment 4

$$D_t := \frac{w_4}{T} = 28.667 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 333.837 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_4 = 141.34 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_4}{M_{ny}} = 0.074 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_4, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_4)) = \text{"N/A"}$$

Segment 3

$$D_t := \frac{w_3}{T} = 40 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 239.25 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_3 = 280.793 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_3}{M_{ny}} = 0.325 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_3, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_3)) = \text{"N/A"}$$

Segment 2

$$D_t := \frac{W_2}{T} = 52 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 184.038 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_2 = 480.129 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_2}{M_{ny}} = 0.457 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_2, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_2\right)\right) = 15221234.198 \frac{\text{lb} \cdot \text{ft}^2}{\text{s}^2}$$

Segment 1

$$D_t := \frac{W_1}{T} = 64 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 149531.25 \text{ psi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_1 = 732.621 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_{b\text{total}}}{M_{ny}} = 0.603 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_1, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_1\right)\right) = 694.852 \text{ kip} \cdot \text{ft}$$

$$\frac{\Omega_b \cdot M_{b\text{total}}}{M_{nb}} = 0.636 \quad \text{Must be } < 1$$

At maximum wind, the pole with attached flag would not fail. However, the flag is not expected to stay attached with winds exceeding 50 mph. Calculations without the flag follow. The assumption is that the flag will rip from the pole before it is able to transfer maximum load to the pole.

**FLAG SHALL BE REMOVED BEFORE WIND SPEEDS REACH 75 MPH.**

Moment @ Base w/out Flag

$$M_{\text{totalwof}} := M_{\text{ppole}} = 160.807 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 2 w/out flag

$$M_{2\text{wof}} := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) = 67.594 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 3 w/out flag

$$M_{3\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) = 22.708 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 4 w/out flag

$$M_{4\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2 - h_3) = 2.298 \text{ kip} \cdot \text{ft}$$

Loads on steel sections less than when the flag is present. **Steel is adequate by inspection.**

## Footing Design

$$b := 4.5 \text{ ft}$$

*Diameter of footing in ft*

$$P' := F_1 + F_2 + F_3 + F_4 + F_f = 3073.62 \text{ lbf}$$

*Applied lateral force in lbs*

$$h' := \frac{M_{\text{total}}}{P'} = 86.103 \text{ ft}$$

*Distance in ft from ground surface to point of application of "P"*

$$S_1 := 1191.237 \text{ psf}$$

*Allowable Lateral soil bearing pressure as set forth in the IBC, Section 1806.2 based on depth of one-third the depth of embedment in psf*

\*Note to Engineer: Iterate Lateral Bearing Soil Pressure

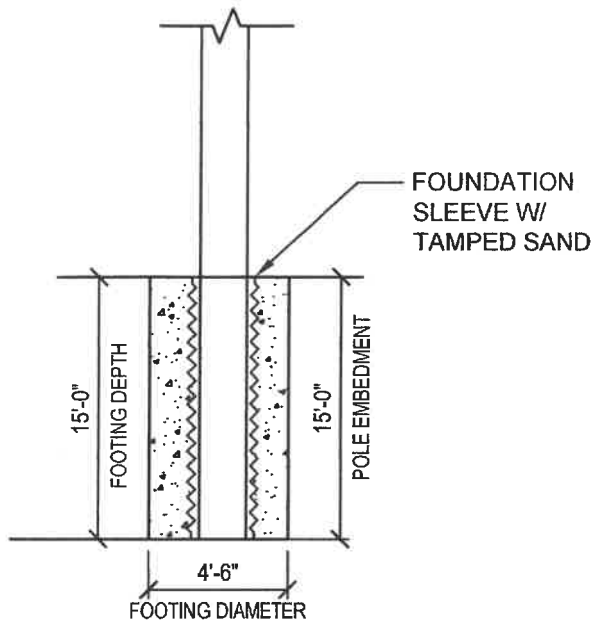
$$A := \frac{2.34 \cdot P'}{S_1 \cdot b} = 1.342 \text{ ft}$$

$$d := 0.5 \cdot A \cdot \left( 1 + \left( 1 + \left( \frac{4.36 \cdot h'}{A} \right)^{\frac{1}{2}} \right) \right) = 11.91 \text{ ft}$$

*Depth of embedment in earth in ft but not over 12 ft for purpose of computing lateral pressure (IBC 1807.3, EQ 18-1)*

Footing Depth to be: **12 ft** min

**WARNING: FLAG MUST BE REMOVED IF WINDS WILL EXCEED 75 MPH**

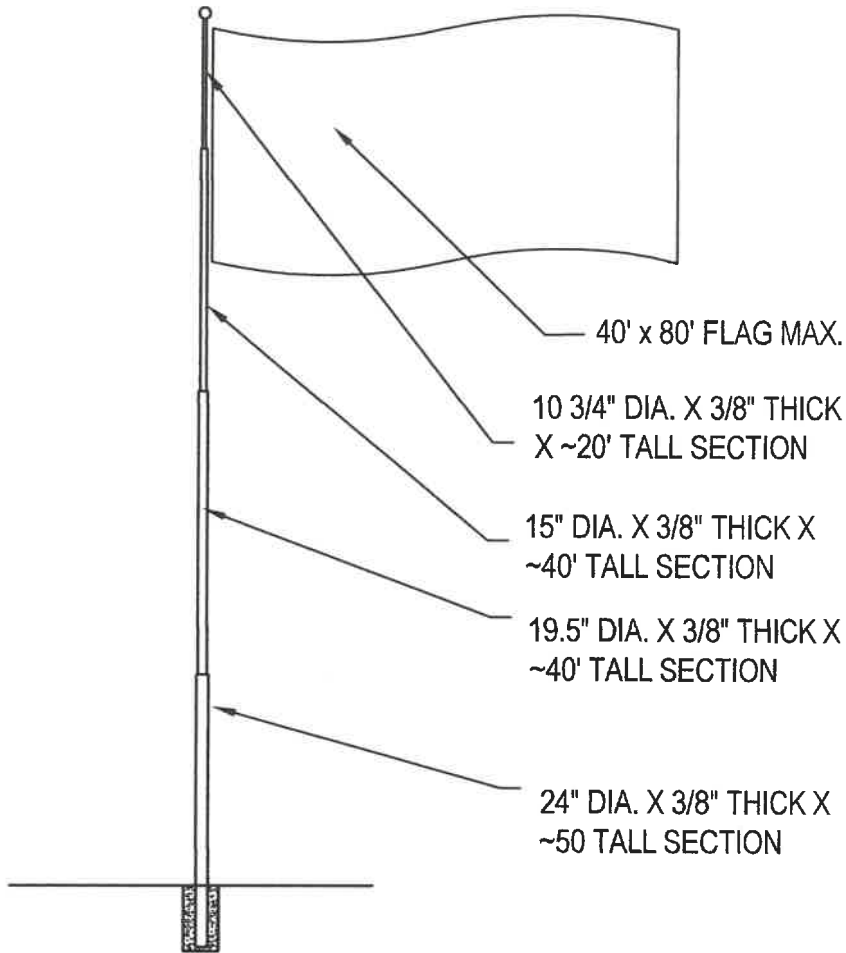


**FOOTING**

FOUNDATION DESIGN IS BASED ON ASSUMED SOIL PROPERTIES. IF THE SOIL ENCOUNTERED IN THE EXCAVATION IS NOT SAND, SILTY SAND, CLAYER SAND, SILTY GRAVEL OR CLAYEY GRAVEL, PLEASE NOTIFY THE ENGINEER. ALSO, IF THE WATER TABLE IS ENCOUNTERED IN THE EXCAVATION, PLEASE CONTACT THE ENGINEER



10/30/2025

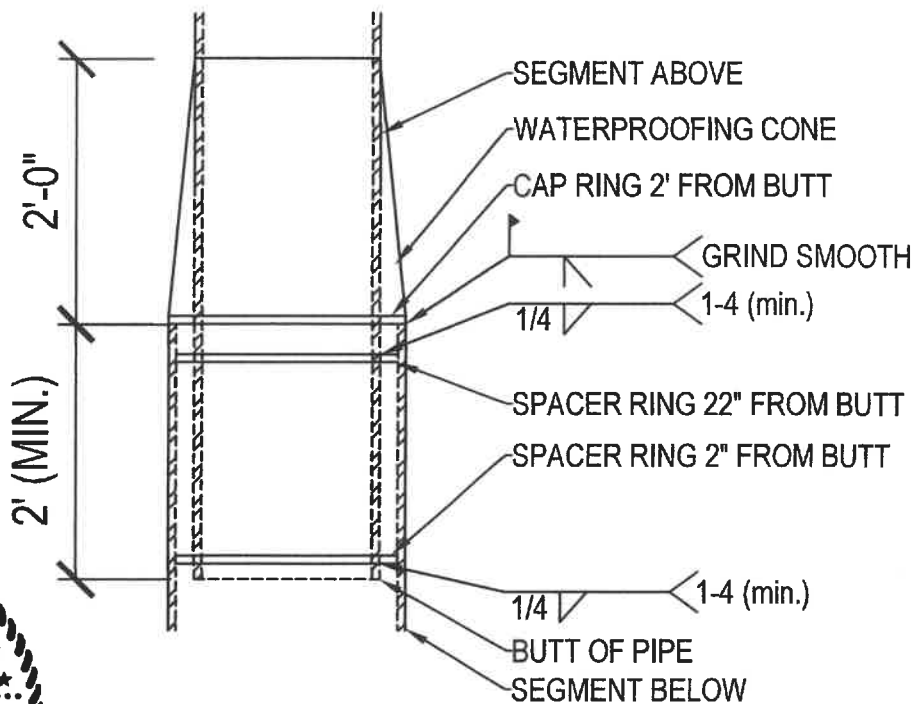


**ELEVATION**

**1 FLAGPOLE**

SCALE: N.T.S.

<p>SHEET: <b>SK1</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope PROJECT MANAGER D. Alter</p>	<p>PROJECT NAME <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4440 WWW.ENSIGNUTAH.COM</p>
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10/30/2025

**1 CONNECTION SLEEVE**

SCALE: N.T.S.

<p>SHEET: <b>SK2</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope REVIEWED BY D. Alter</p>	<p>PROJECT NAME: <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p><b>ENSIGN</b> THE STANDARD IN ENGINEERING</p> <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4448 WWW.ENSIGNUTAH.COM</p>
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# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** September 21, 2020  
**APPLICANT:** Nabiha Saeed, *Symonds Flags and Poles, Inc.*  
**CASE NUMBER:** Z2020-036; *Specific Use Permit for a Flag Pole at 1540 E. IH-30*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

### BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (*i.e. Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership* on property. The changes to the exterior of the building were approved under site plan *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (*i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (*i.e. 256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013 (*see attached packet for elevations of the existing signage*).

In 2017, the current owner purchased the property, and no additional changes have been made to the subject property since the completion of the remodel in 2013.

### PURPOSE

The applicant -- *Nabiha Saeed* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height* in a Light Industrial (LI) District for the purpose of constructing a 120-foot flag pole in conjunction with an existing motor vehicle dealership.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a new motor vehicle dealership (*i.e. Rockwall Honda*), which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership* (*i.e. S-189; Ordinance No. 18-22*). Beyond this are two (2) metal buildings (*i.e. Warehouse Pro and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the construction of a 120-foot flag pole on the subject property, which is currently occupied with an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The flag pole will be located adjacent to the western façade of the existing motor vehicle dealership building, next to the service porte-cochere. Staff estimates that the flag pole will be located ~137-feet from the northern property line adjacent to the IH-30 frontage road, and ~95-feet from the western property adjacent to Commerce Street.

## CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district." In this case, the subject property is zoned Light Industrial (LI) District, which according to Article 05, *District Development Standards*, of the Unified Development Code (UDC) the maximum height is 60-feet; however, this section also allows the building height to be increased to 120-feet if approved through a Specific Use Permit (SUP). As stated above, the applicant is requesting the maximum height of 120-feet. The proposed flag pole will meet all of the required setbacks stipulated by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

## STAFF ANALYSIS

Staff has reviewed all properties in the IH-30 corridor and determined that: [1] no other property has a flag pole that exceeds 60-feet in height, and [2] no Specific Use Permits (SUPs) have been approved allowing a structure to exceed 60-feet in height. Staff has also reviewed all other *New Motor Vehicle Dealerships* located in the IH-30 corridor and determined that all of these properties currently have flag poles that appear to be 60-feet in height conforming to the *by-right* height permitted by the Unified Development Code (UDC). For the review of the City Council, staff has provided images of the flag poles in front of the *New Motor Vehicle Dealerships* in the IH-30 corridor. With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## NOTIFICATIONS

On August 15, 2020, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response in favor of the applicant's request.

## CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to for a Specific Use Permit (SUP) to allow *a structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a 120-foot flag pole, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of the draft ordinance.
  - (c) The proposed flag pole shall not exceed a maximum overall height of 120-feet as measured from grade.
  - (d) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## PLANNING AND ZONING COMMISSION

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Conway absent. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)f such change [*zoning change or Specific Use Permit (SUP)*] is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."

132 Commissioner Deckard also asked what the timeline was for talking to TX Dot. Mr. Miller addressed the question and explained what the  
133 process would be for getting together for TXDot.

134 Commissioner Thomas asked if the applicant if they had considered public density with the project

135 Commissioner Womble asked about the entrance and its placement and the reasoning behind it.

136 Commissioner Deckard wanted clarification in regards to traffic and streets patrons would be using.

137 Commissioner Womble asked if which entrance would be the most preferable one.

138 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward.

139  
140  
141  
142  
143  
144  
145 Justin Scroggs  
146 1512 S. Alamo Road  
147 Rockwall, TX 75087

148 Mr. Scroggs came forward and expressed his opposition to the case. His main concerns are traffic, noise and light pollution, and  
149 loitering.

150  
151  
152 Chuck Scroggs  
153 813 S. Alamo Road  
154 Rockwall, TX 75087

155 Mr. Scroggs came forward and expressed his opposition in regards to the case. His main concern is his house losing value.

156  
157  
158 Chris Brannon  
159 810 S. Alamo Road  
160 Rockwall, TX 75087

161 Mr. Brannon came forward and expressed his opposition in regards to the request.

162  
163  
164 Joe Rochier  
165 901 S. Alamo Road  
166 Rockwall, TX 75087

167 Mr. Rochier came forward and expressed his opposition in regards to the request.

168 Chairman Chodun asked if anyone else wished to speak; there being no one doing such. Chairman Chodun closed the public hearing  
169 and asked the applicant to come forward once again to respond to comments.

170 Mr. Stansberry (applicant) came forward and responded to comments made by property owners and residents.

171 Chairman Chodun brought the item back to the Commission for discussion or action.

172 Commissioner Deckard asked what the permitted use was at the moment. Commissioner Moeller expressed that he disagreed with the  
173 location of the restaurant. Chairman Chodun also expressed his disapproval to the request.

174 Vice-Chairman Welch made a motion to deny item Z2020-035. Commissioner Moeller seconded the motion to deny which passed by a  
175 vote of 6-0.

176 Director of Planning and Zoning Ryan Miller advised the applicant and Commission that based on tonight's motion that the case would  
177 go before the City Council on September 21, 2020 and will require a ¾ majority vote.

178  
179  
180  
181  
182  
183  
184  
185  
186 **8. Z2020-036 (RYAN MILLER)**

187 Hold a public hearing to discuss and consider a request by Nabih Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the  
188 approval of a *Specific Use Permit (SUP)* to allow a structure that exceeds 60-feet in height in a Light Industrial (LI) District for the purpose of  
189 constructing a flag pole on an existing motor vehicle dealership (i.e. Clay Cooley Hyundai) being a 4.39-acre parcel of land identified as Lot 1,  
190 Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30  
191 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

192  
193 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. Mr. Miller also provided background in  
194 regards to the variances requested in the past by the applicant. All of these were approved and the dealership was founded in 2012. This  
195 time the applicant is requesting to establish a flag pole up to 120-feet. According to the Unified Development Code, a flag pole is treated  
196 the same as any structure meaning it is subject to the same height requirements. With this property being in a Light Industrial (LI)  
197 district, structures are allowed to go up to 60-feet by right and also allows the ability for additional height up to 120-feet with a Specific  
198 Use Permit. In this case, the applicant is requesting the maximum at 120-feet for a flag pole. Since this is requires an SUP, it is a  
199 discretionary decision to the City Council pending a recommendation from the Planning and Zoning Commission. Staff sent out 16

200 notices to property owners and resident within 500-feet of the subject property. Mr. Miller advised the Commission that the applicant and  
201 Staff were present to answer questions.

202  
203 Chairman Chodun asked the applicant to come forward.

204  
205 Steve Symonds  
206 7503 Flagstone  
207 Fort Worth, TX 76118  
208

209 Mr. Symonds (representative) came forward and advised that he was ready to answer questions.

210  
211 Commissioner Deckard asked what the pole was rated for and how big the flag was that it could fly.

212  
213 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

214  
215 Bob Wacker  
216 309 Featherstone  
217 Rockwall, TX 75087  
218

219 Mr. Wacker came forward and asked if staff could limit the permit to only display the American flag.

220  
221 Chairman Chodun asked if anyone else wished to speak; there being no one doing such, Chairman Chodun closed the public  
222 hearing and brought the item back for discussion or action.

223  
224 Commissioner Thomas expressed his concern as to not being able to dictate what could be flown on the pole.

225  
226 Commissioner Moeller expressed that the 60-foot limit is appropriate and did not support anything higher than 60 feet.

227  
228 Commissioner Deckard asked if this would be the highest structure in Rockwall.

229  
230 Commissioner Moeller made a motion to deny item Z2020-036. Commissioner Womble seconded the motion which passed by a vote of  
231 5-1 with Vice-Chairman Welch dissenting.

232  
233 Chairman Chodun advised the applicant that based on tonight's motion that the case would go before the City Council on September 21,  
234 2020 and will require a ¾ majority vote.

235  
236 9. Z2020-037 (RYAN MILLER)

237 Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad  
238 Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a  
239 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned  
240 Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed  
241 as 150 Pecan Valley Drive, and take any action necessary.

242  
243 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant originally requested the  
244 approval of an SUP for the restaurant with less than 2,000 square feet in a General Retail (GR) District. It went to the work session and  
245 was withdrawn by the applicant at that time. The applicant resubmitted the same request and took it forward to which she was ultimately  
246 denied by this Board and requesting to withdraw the case at City Council. The proposed request has now been submitted three times  
247 and it is the same that was proposed last time with the exception of knowing what the restaurant is and the applicant adding a walking  
248 trial. As was explained earlier, certain uses are not permitted in GR areas due to their close proximity to residential streets. In this case,  
249 the applicant does meet the screening requirements and stacking requirements. Quail Run Road is considered to be a residential  
250 roadway and what is not being met is that their only access road is off of that residential roadway. Other non-conformance issues are  
251 the lack of parking spaces and the trash enclosure is facing Pecan Valley which, according to the ordinance, cannot be facing a public  
252 street. Another waiver would be the driveway spacing requirement as it is only 37 feet from the intersection where the minimum is 100-  
253 feet. Staff sent out 35 notices to property owners and residents within 500-feet of the subject property and 13 came back in opposition of  
254 the case with 1 being in favor. Staff also notified the Shores at Lake Ray Hubbard, Random Oaks, Stone Creek, Quail Run, and Lakeview  
255 Summit Homeowner Associations as they were the ones within 1500-feet from the subject property. Mr. Miller then advised that the  
256 applicant and Staff were present and available to answer questions.

257  
258 Commissioner Deckard asked what the max capacity would be at the restaurant.

259  
260 Chairman Chodun asked if there was an issue with part of the property being in a flood zone.

261  
262 Chairman Chodun asked the applicant to come forward.

263  
264 Casey Orr (Engineer)  
265 121 S. Main Street  
266 Henderson, TX 75654  
267

**SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**The motion passed by a vote of 7 ayes to 0 nays.**

- 2. Z2020-035** - Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *Restaurant with 2,000 SF or More with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary **(1st Reading)**.

**Planning Director, Ryan Miller, indicated that the applicant has made a request to be able to withdraw this request. The applicant indicated that they will be withdrawing and terminating the contract on the property.**

**Mayor Pro Tem Fowler moved to allow the applicant to withdraw. Councilmember Daniels seconded the motion, which passed by a vote of 6 ayes to 1 nay (Pruitt).**

- 3. Z2020-036** - Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (i.e. *Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary. **(1st reading)**

**Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out to adjacent property owners and residents. One notice was received back in favor. In addition, the Planning & Zoning Commission voted 5-1 to recommend denial of this request this evening. As a result, its approval will require a 6-1 vote of Council this evening.**

**Steve Simons  
4513 Dartmoor Lane  
Colleyville, TX**

**Mr. Simons handed out ordinance regulations for some other cities (i.e. Lewisville) regarding their regulations on U.S. flags and associated flag poles. He shared that Mr. Cooley has very tall U.S. flag poles at his dealerships in Irving, TX. He understands that 120' flag pole is the tallest that the City of Rockwall may potentially approve.**

**Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak. There being no one indicating such, he then closed the public hearing.**

**Councilmember Johannesen moved to deny Z2020-036. Councilmember Hohenshelt seconded the motion. Following brief discussion, the motion to deny the request passed by a vote of 7 ayes to 0 nays.**

**City Attorney Frank Garza briefly weighed in, sharing that any ordinance that would attempt to regulate "content" of what is actually placed on a flag pole is a "gray area" that would pose**

challenges on what is and is not Constitutional. It would have to be an ordinance that only regulated height and not content. Councilmembers Daniels and Johannesen instructed staff to go through the process of bringing back an ordinance that would change the regulations and allow increased heights for flag poles.

4. **Z2020-037** - Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary. (1st reading)

Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out to 35 residents and property owners located within 500' of the subject property. Thirteen responses were received back in opposition, and one notice was received back in favor. In addition, the Planning & Zoning Commission voted 4 to 2 to recommend denial of this request. As such, if it is to be approved this evening, it will require at least 6 council members to vote in favor of it.

Following brief discussion, Councilmember Johannesen moved to remand Z2020-037 back to the Planning & Zoning Commission. Councilmember Hohenshelt seconded the motion. The motion passed by a vote of 7 ayes to 0 nays.

5. **Z2020-038** - Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary (1st Reading).

Planning Director Ryan Miller provided background information pertaining to this agenda item. 144 notices were sent out to adjacent property owners and residents located within 500' of the subject property; however, no notices were received back by staff.

The applicant briefly came forth and introduced himself. Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed the Public Hearing.

Councilmember Macalik moved to approve Z2020-038. Councilmember Johannesen seconded the motion. Following extensive discussion about septic systems being allowed on lots less than one acre (note: this will not be on city sewer service), the ordinance was read as follows:

**CITY OF ROCKWALL  
ORDINANCE NO. 20-45  
SPECIFIC USE PERMIT NO. S-236**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,  
TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75)  
[ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC)**



September 28, 2020

TO: Clay E. Cooley  
ATTN: Mary Pinedo  
1251 E. Airport Freeway  
Irving, TX 75062

CC: Symonds Flags and Poles, Inc.  
Nabiha "Bea" Saeed  
7503 Flagstone Drive, Building 30  
Fort Worth, TX 76118

FROM: Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2020-036; SUP for 1540 E. IH-30

Mr. Cooley:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was denied by the City Council on September 21, 2020. The following is a record of all voting records:

Planning and Zoning Commission

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Conway absent. According to Subsection 02.03(G), Protest of a Zoning Change, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "(i)f such change {zoning change or Specific Use Permit (SUP)} is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (i.e. three-fourths vote of those members present), with a minimum of four (4) votes in the affirmative required for approval."

City Council

On September 21, 2020, the City Council approved a motion to deny the applicant's request for a Specific Use Permit by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant's discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 771-7745.

Sincerely,

Ryan Miller, AICP  
Director of Planning and Zoning

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *STRUCTURE THAT EXCEEDS 60-FEET IN HEIGHT IN A LIGHT INDUSTRIAL (LI) DISTRICT* TO ALLOW THE CONSTRUCTION OF TWO (2) FLAG POLES ON A 4.39-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK 1, ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Davin Marceau of the Charles Morgan Group, LP on behalf of Chase Cooley for the approval of a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of two (2) flag poles on an existing, new motor vehicle dealership on a 4.39-acre parcel of land being described as Lot 3, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of two (2) flag poles on an existing motor vehicle dealership in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified

Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, and Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction and continued operation of two (2) flag poles on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of two (2) flag poles on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of two (2) flag poles on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed flag poles shall not exceed a maximum overall height of 120-feet as measured from grade.
- 4) The flags shall be maintained in good condition free of tears, rips, fraying, or fading.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of

any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF MARCH, 2026.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: February 17, 2026

2<sup>nd</sup> Reading: March 2, 2026

**Exhibit 'A'**  
**Location Map and Survey**

Address: 1540 E. IH-30

Legal Description: Lot 3, Block 1, Rockwall Recreational Addition

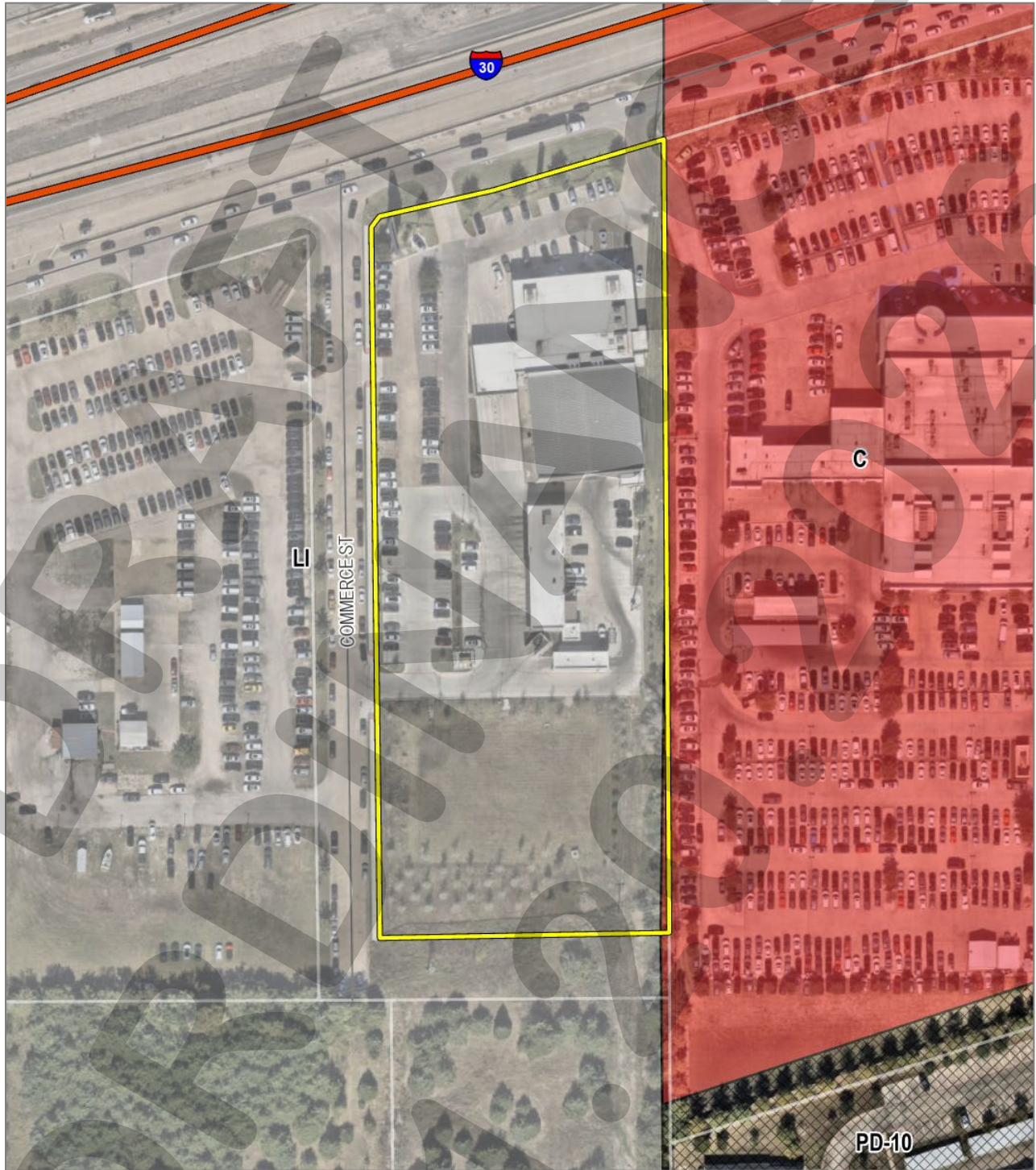
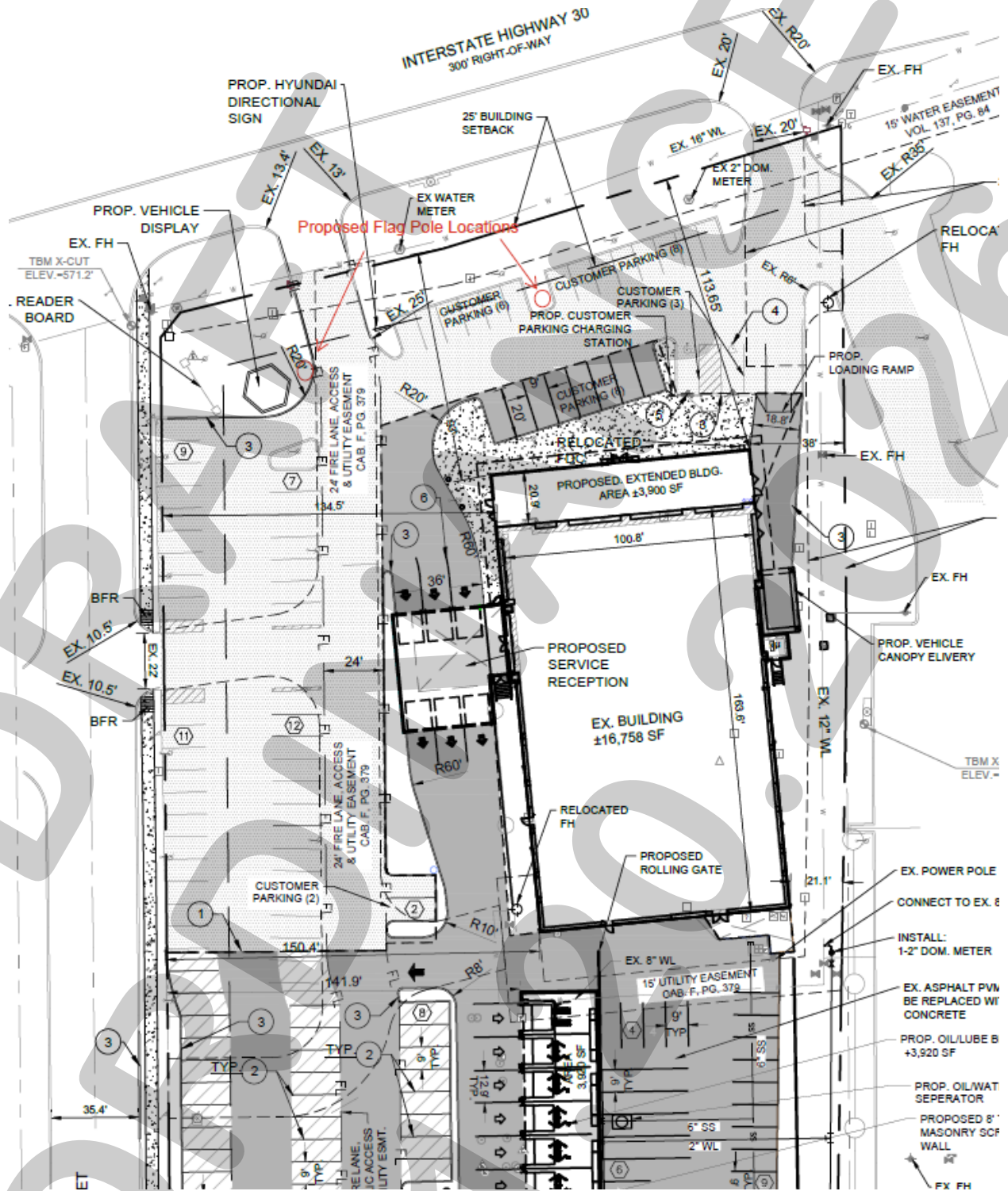
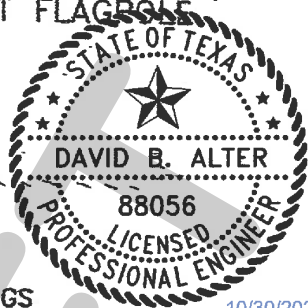


Exhibit 'B':  
Concept Plan



**Exhibit 'C':  
Flag Pole Elevations**

**DIMINISHING SECTION STEEL  
CONCEALED HALYARD  
GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

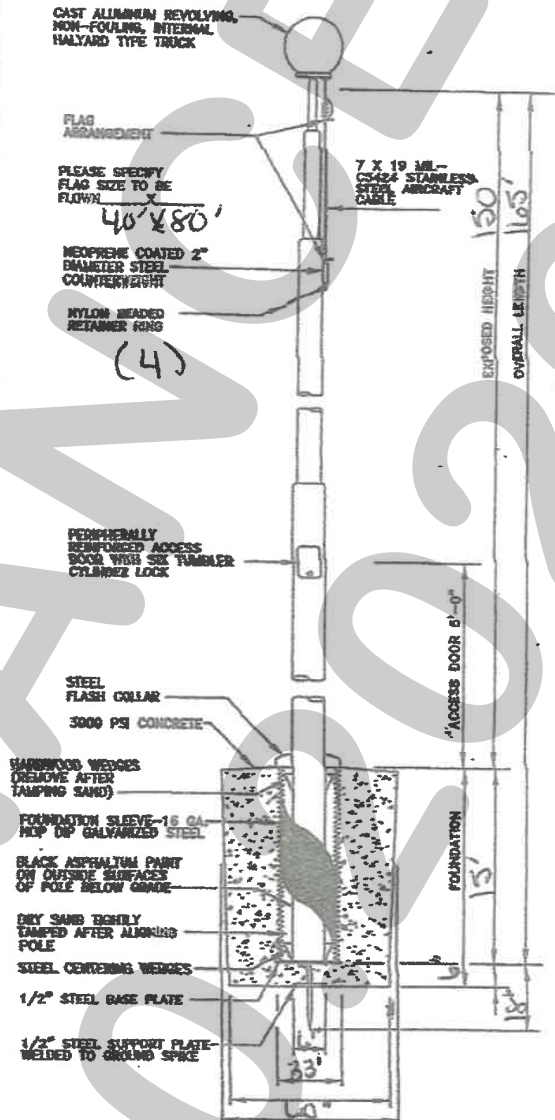
**FINAL:** (The flagpole division of NAAMM recommends that no Final, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.) 10/30/2025

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130". Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A seiffing plate 6" square is securely welded to the ground spike 5" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT. R:	SH. IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai	Rockwall		White

*TX Flag  
40' x 80'*

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

## Miller, Ryan

---

**From:** Miller, Ryan  
**Sent:** Friday, December 19, 2025 2:49 PM  
**To:** 'dm@tmgconst.com'; 'racheal@tmgconst.com'  
**Cc:** 'chase@comeseeclay.com'  
**Subject:** Project Comments: Z2025-076  
**Attachments:** Draft Ordinance (12.16.2025).pdf; Project Comments (12.19.2025).pdf

Mr. Marceau ...

Attached are the project comments and draft ordinance for your Specific Use Permit (SUP) request. Please review these documents and let me know if you have any questions. We will also need you to send an email stating that you are good with moving forward with the draft ordinance or provide us with markups in **RED**. The meeting schedule for this case is as follows:

Planning and Zoning Commission Meeting: January 13, 2026  
City Council [*First Reading*]: January 20, 2026  
City Council [*Second Reading*]: February 2, 2026

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is **REQUIRED** to be at all meetings. Should you have any questions please let me know. Thanks.



**RYAN C. MILLER, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
RMILLER@ROCKWALL.COM  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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HELPFUL LINKS | CITY OF ROCKWALL WEBSITE | PLANNING & ZONING DIVISION WEBSITE | MUNICIPAL CODE WEBSITE  
GIS DIVISION WEBSITE | UNIFIED DEVELOPMENT CODE

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**NOTES:**

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.

## Miller, Ryan

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**From:** Davin Marceau <DM@tmgconst.com>  
**Sent:** Tuesday, December 23, 2025 1:51 PM  
**To:** Miller, Ryan; Racheal Booth  
**Cc:** chase@comeseeclay.com; Zack Amick  
**Subject:** Re: Project Comments: Z2025-076

Hi Ryan,

The draft ordinance is accurate relative to our conversation this morning. I appreciate your time and the conversation.

**Davin Marceau**  
**Operations, The Charles Morgan Group, LP**

972-772-9089 Office | 469-668-8686 Mobile | [www.tmgconst.com](http://www.tmgconst.com)

[dm@tmgconst.com](mailto:dm@tmgconst.com) | 1551 I-30 Suite 100 Rockwall, TX 75087

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**From:** Miller, Ryan <RMiller@rockwall.com>  
**Sent:** Tuesday, December 23, 2025 8:24 AM  
**To:** Davin Marceau <DM@tmgconst.com>; Racheal Booth <racheal@tmgconst.com>  
**Cc:** chase@comeseeclay.com <chase@comeseeclay.com>; Zack Amick <za@tmgconst.com>  
**Subject:** RE: Project Comments: Z2025-076

Davin ... Per our conversation this morning, the Light Industrial (LI) District allows a maximum height of 120-feet, not 150-feet. Based on this, I changed the ordinance back to 120-feet. At your convenience please review and let me know if you are good with the changes. Thanks.



**RYAN C. MILLER, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
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**From:** Davin Marceau <DM@tmgconst.com>  
**Sent:** Monday, December 22, 2025 8:54 AM  
**To:** Miller, Ryan <RMiller@rockwall.com>; Racheal Booth <racheal@tmgconst.com>  
**Cc:** chase@comeseeclay.com; Zack Amick <za@tmgconst.com>  
**Subject:** Re: Project Comments: Z2025-076

Hi Ryan,

My revisions are written as comment bubbles in their respective PDFs. I've also attached the original site plan submitted to show the requested locations of both flag poles. Please review and let me know if you have any questions.

Thanks,

**Davin Marceau**  
Operations, The Charles Morgan Group, LP

972-772-9089 Office | 469-668-8686 Mobile | [www.tmgconst.com](http://www.tmgconst.com)

[dm@tmgconst.com](mailto:dm@tmgconst.com) | 1551 I-30 Suite 100 Rockwall, TX 75087

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**From:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Sent:** Friday, December 19, 2025 2:49 PM  
**To:** Davin Marceau <[DM@tmgconst.com](mailto:DM@tmgconst.com)>; Racheal Booth <[racheal@tmgconst.com](mailto:racheal@tmgconst.com)>  
**Cc:** [chase@comeseeclay.com](mailto:chase@comeseeclay.com) <[chase@comeseeclay.com](mailto:chase@comeseeclay.com)>  
**Subject:** Project Comments: Z2025-076

Mr. Marceau ...

Attached are the project comments and draft ordinance for your Specific Use Permit (SUP) request. Please review these documents and let me know if you have any questions. We will also need you to send an email stating that you are good with moving forward with the draft ordinance or provide us with markups in **RED**. The meeting schedule for this case is as follows:

Planning and Zoning Commission Meeting: January 13, 2026  
City Council [*First Reading*]: January 20, 2026  
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Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is **REQUIRED** to be at all meetings. Should you have any questions please let me know. Thanks.



**RYAN C. MILLER, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)  
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[GIS DIVISION WEBSITE](#) | [UNIFIED DEVELOPMENT CODE](#)

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January 27, 2026

TO: Davin Marceau  
The Charles Morgan Group, LP  
1551 E. IH-30, Suite 100  
Rockwall, Texas 75087

CC: Chase Cooley  
1540 E. IH-30 Rockwall, LLC  
1251 E. Airport Freeway  
Irving, Texas 75062

FROM: Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2025-076; Specific Use Permit (SUP) for 1540 E. IH-30

Mr. Marceau:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was denied by the City Council on January 20, 2026. The following is a record of all actions taken on this case:

Planning and Zoning Commission

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-0, with Commissioner Roth absent and one (1) vacancy.

City Council

On January 20, 2026, the City Council approved a motion to deny the Specific Use Permit (SUP) by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant's discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Miller", is written over the typed name.

Ryan Miller, AICP  
Director of Planning and Zoning