



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2592 FM 549

SUBDIVISION Loftland Lake Estates

LOT 2 BLOCK 1

GENERAL LOCATION 2592 FM 549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFE-4

CURRENT USE Residential

PROPOSED ZONING SFE-4

PROPOSED USE Residential

ACREAGE 5.05

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Michael Lewis

APPLICANT Michael Lewis

CONTACT PERSON Michael Lewis

CONTACT PERSON Michael Lewis

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

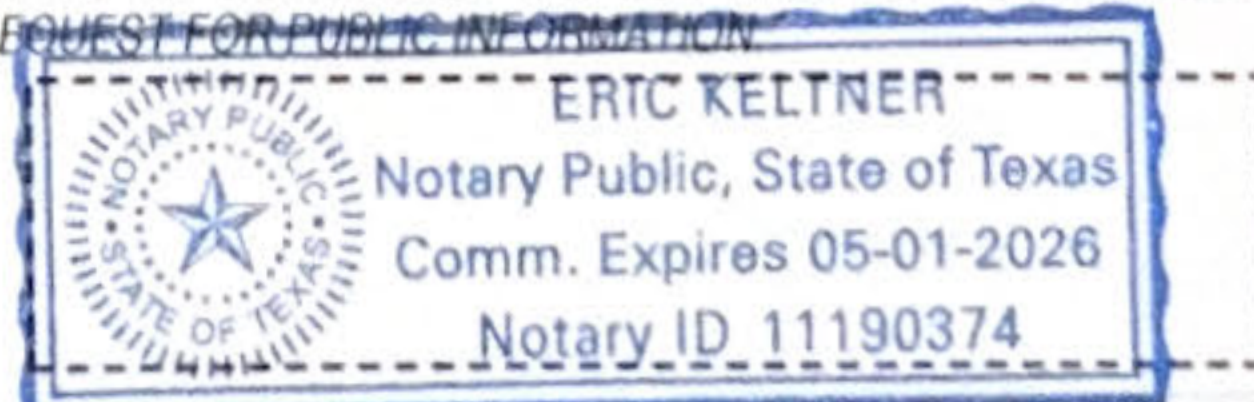
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 275.75 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF February, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

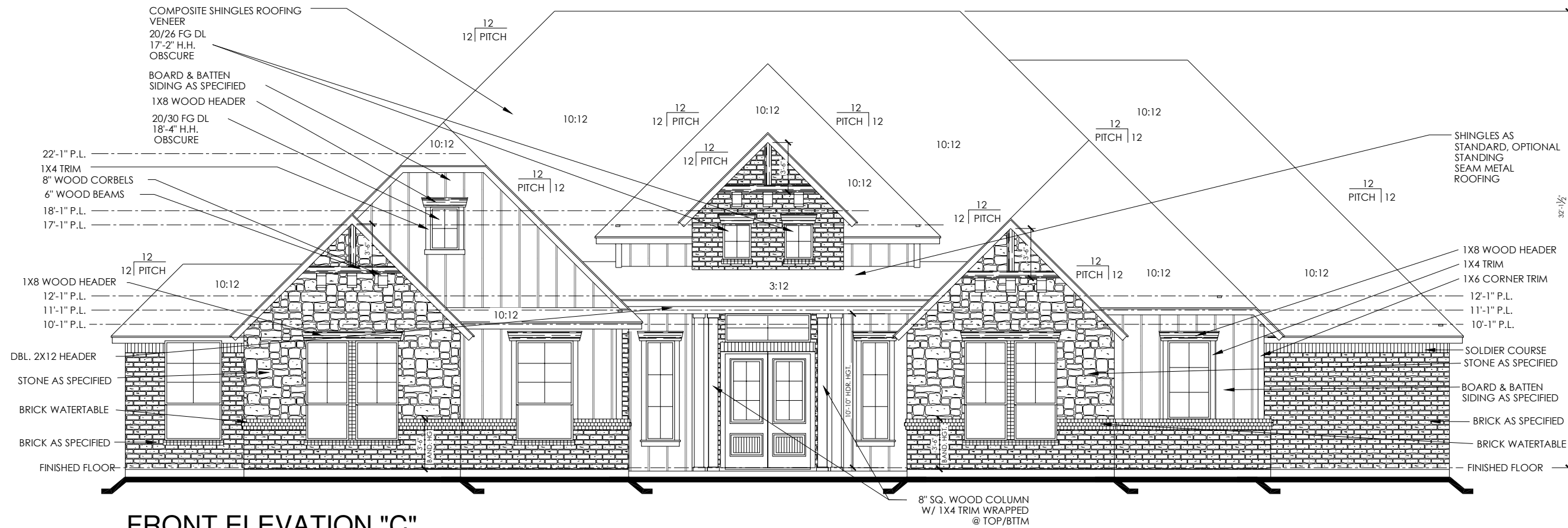
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF February, 2026

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

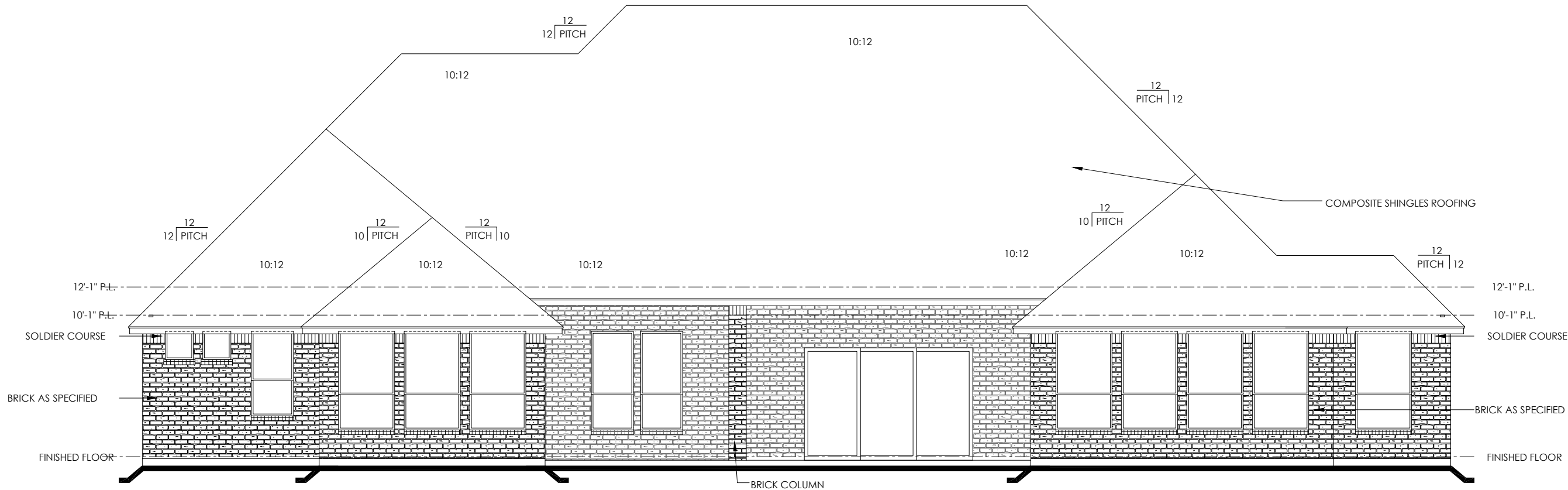


MY COMMISSION EXPIRES 5/1/2026



**FRONT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



**REAR ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

2592 FM 549

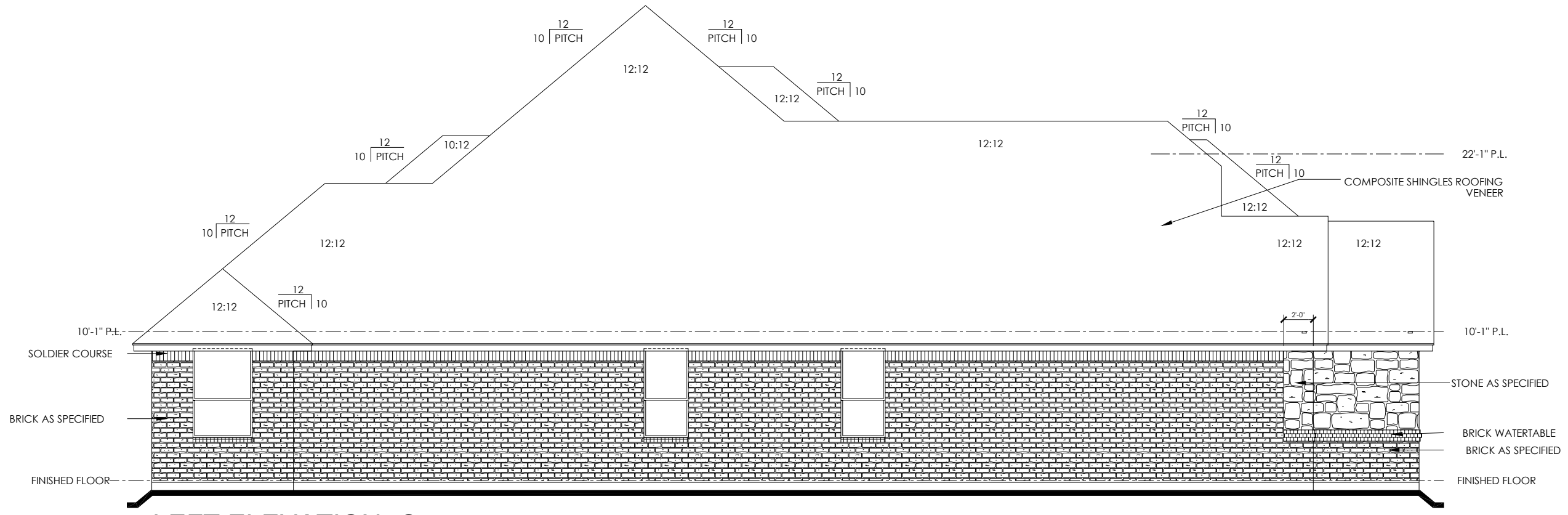
PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

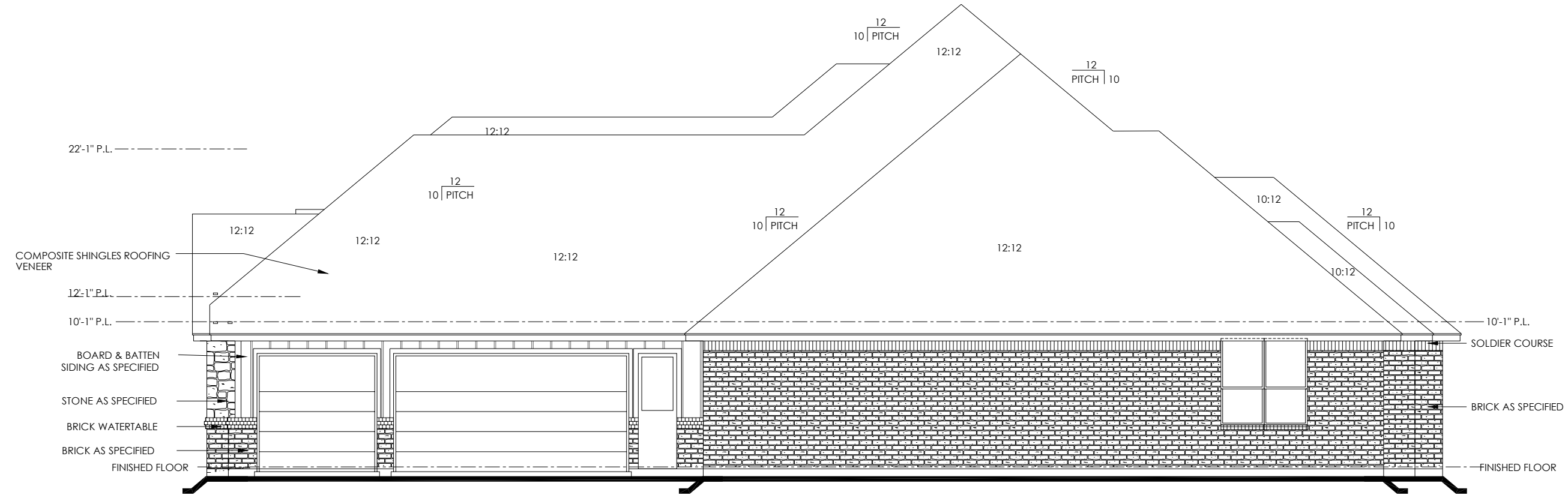
EXTERIOR  
ELEVATIONS "C"

SHEET 5



**LEFT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

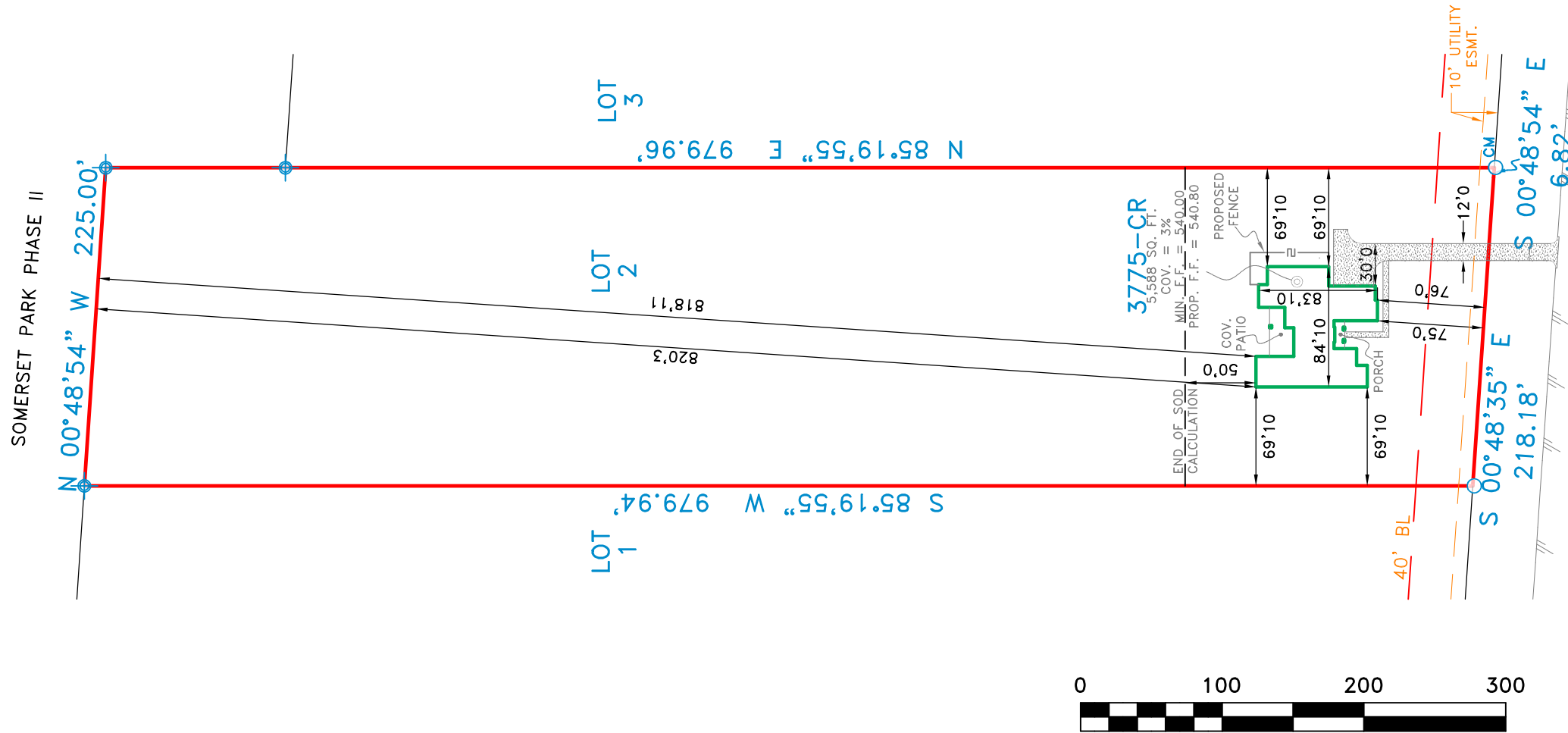
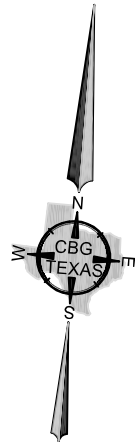


**RIGHT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



PLOT PLAN



**F.M. 549**  
100' R.O.W.

GENERAL NOTES

SPOT GRADE ELEVATIONS AND PAD AREA SHOWN ARE BASED ON GRADING PLANS PROVIDED BY BUILDER

WATER INLET NOT PRESENT

SCALE: 1" = 100'

SOD REAR:	1,329	SQ. YD.
FRONT & SIDES:	4,181	SQ. YD.
TOTAL SOD:	5,510	SQ. YD.
PATIO:	-	SQ. FT.
LEAD WALK:	326	SQ. FT.
CITY WALK:	-	SQ. FT.
DRIVEWAY:	2,314	SQ. FT.
APPROACH:	261	SQ. FT.
TOTAL:	2,901	SQ. FT.
FENCE:	-	LN. FT.
FENCE:	94	LN. FT.
LOT:	219,989	SQ. FT.

	RETAINING WALL PER GRADING PLAN
	WOOD FENCE
	FLATWORK
	PAD

DRAWING IS BASED ON RECORDED PLAT DATED OCT 17, 1994

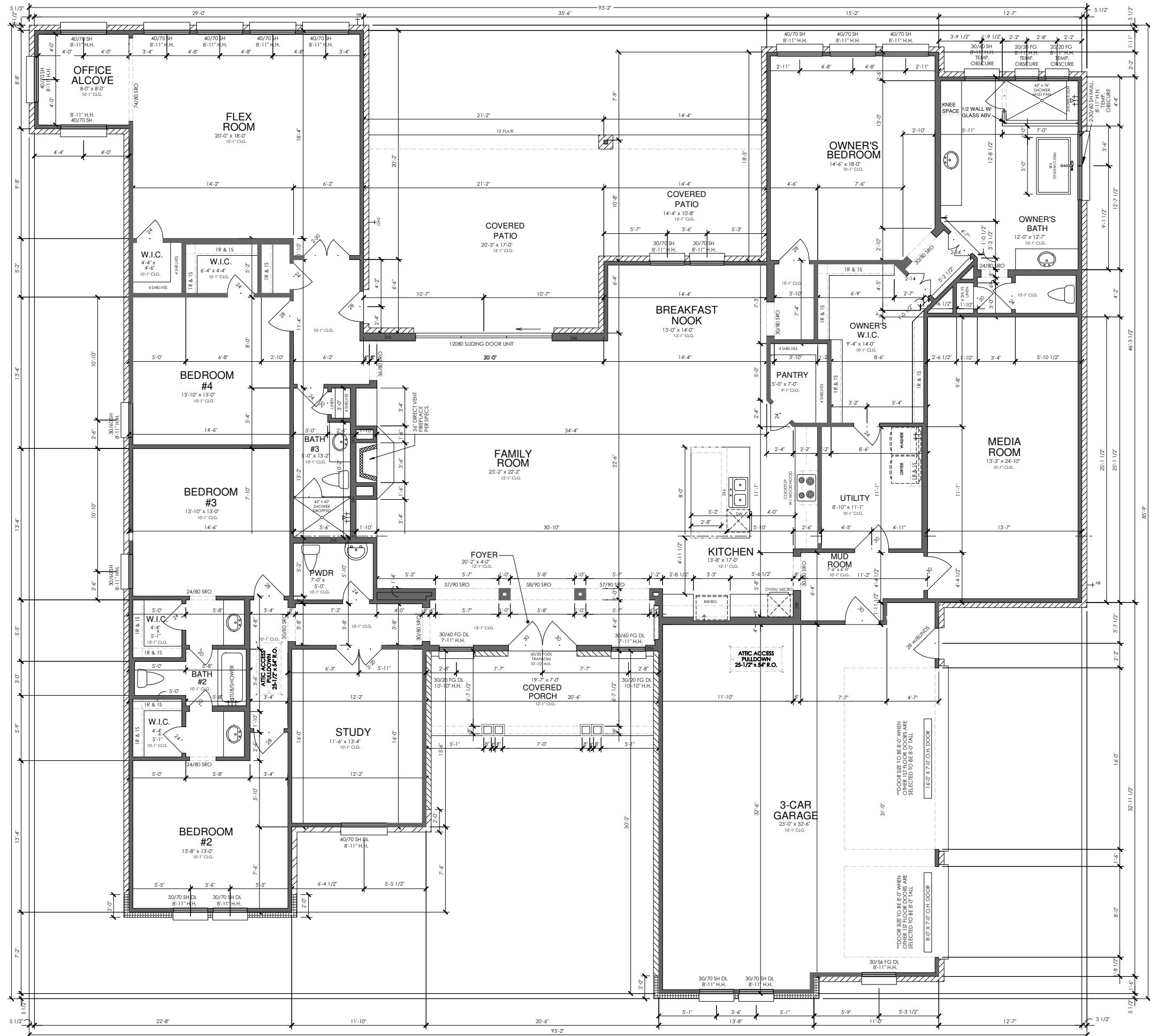
2592 FARM TO MARKET 549  
**LOT 2, BLOCK 1**  
**LOFLAND LAKE ESTATES**  
ROCKWALL, TEXAS

STRUCTURAL OPTIONS

- \* NO OPTIONS
- \* - - - -
- \* - - - -
- \* - - - -

**NOTE: BUILDER TO VERIFY ALL INFORMATION LISTED**

CBG SURVEYING TEXAS  
Firm No. 10168800  
(214) 349-9485  
DRAWN BY: AMF  
JOB# 11741  
DATE: 02/11/2026



**FIRST FLOOR PLAN "C"**

NTS (11"x17" SHEET) -- NTS (24"x36" SHEET)

2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

FIRST FLOOR  
PLAN "C"

SHEET 1

**ATTIC VENT CALCULATION**

NOTE: ATTIC AREAS WHICH USE THE 1:300 RATIO HAVE BEEN DESIGNED SO THAT 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED IN THE UPPER PORTION OF THE ATTIC SPACE AND 50% IN THE LOWER PORTION.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AGAINST THOSE NOTED ABOVE. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO IRC/IBC REQUIREMENTS.

ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

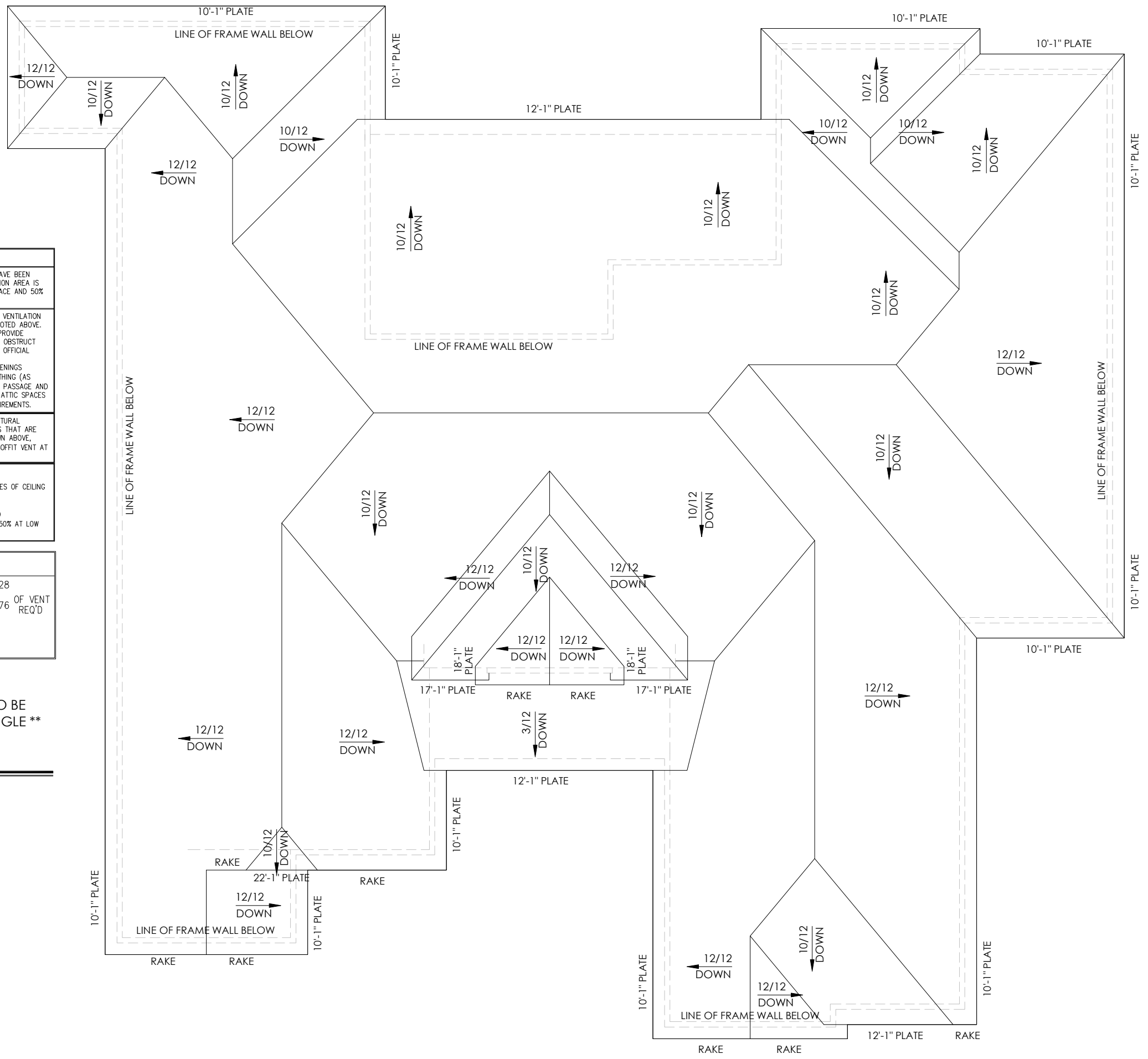
**FORMULA:**  
 1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING  
 \*144 SQ. IN. = 1 SQ. FT.  
 BLDG. CEILING (SF) X 144 BLDG. (SQ. IN.)  
 BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED  
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW  
 (PER 2006 IRC SECTION R806.2)

ATTIC AREA 'C'	
6212 X 144 =	894528
894528 / 300 =	2981.76 OF VENT REQ'D
2981.76 / 2 =	1490.88
1490.88 OF VENT AT HIGH &	
1490.88 OF VENT AT LOW	

\*\* NOTED COMPOSITE ROOF TO BE A 30-YEAR COMPOSITION SHINGLE \*\*

**ROOF PLAN "C"**

NTS (11"X17" SHEET) -- NTS (24"X36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

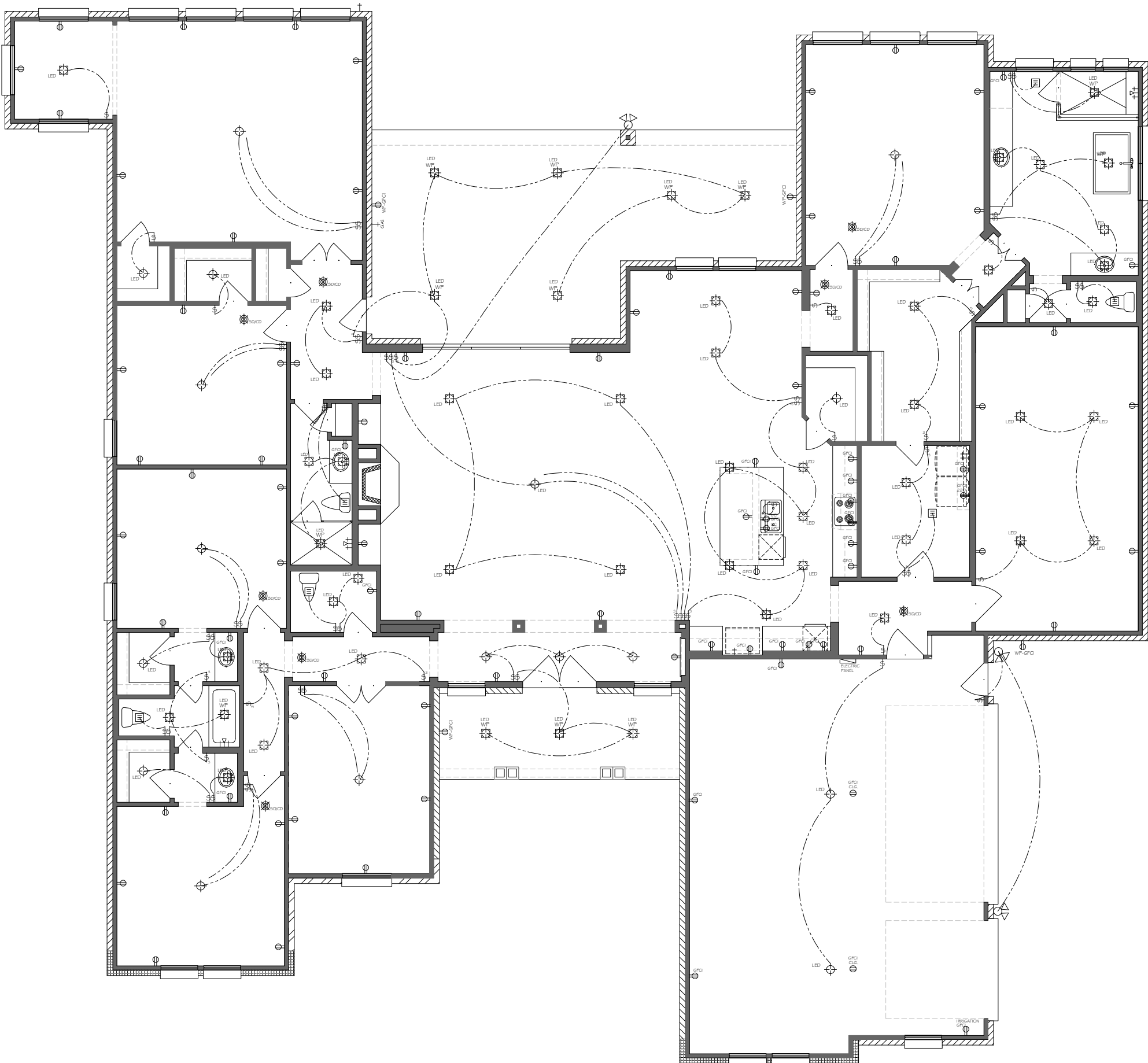
**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

ROOF PLAN "C"

SHEET 7

ELECTRICAL LEGEND	
	SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	RHEOSTAT
	DUPLEX
	GROUND FAULT CIRCUIT INTERRUPTED DUPLEX
	SPLIT WIRED DUPLEX
	220 VOLT OUTLET
	220 VOLT GROUND FAULT CIRCUIT INTERRUPTED DUPLEX
	QUADRUPLEX
	CEILING DUPLEX
	GROUND FAULT CIRCUIT INTERRUPTED CEILING DUPLEX
	FLOOR DUPLEX
	JUNCTION
	DOOR BELL
	GARAGE DOOR
	PHONE OUTLET
	TV OUTLET
	SPEAKER
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CEILING LIGHT
	RECESSED CEILING LIGHT - LED
	RECESSED EYBALL LIGHT
	WALL HUNG LIGHT
	EYEBALL LIGHT
	LANDSCAPING LIGHT
	FLOODLIGHT
	VENT
	VENT AND LIGHT
	HEAT AND LIGHT
	HEAT AND VENT
	HEAT, VENT AND LIGHT
	ELECTRICAL PANEL
	EMERGENCY DISCONNECT
	SURGE PROTECTOR



# FIRST FLOOR ELECTRICAL PLAN "C"

NTS (11"X17" SHEET) -- NTS (24"X36" SHEET)

2592 FM 549

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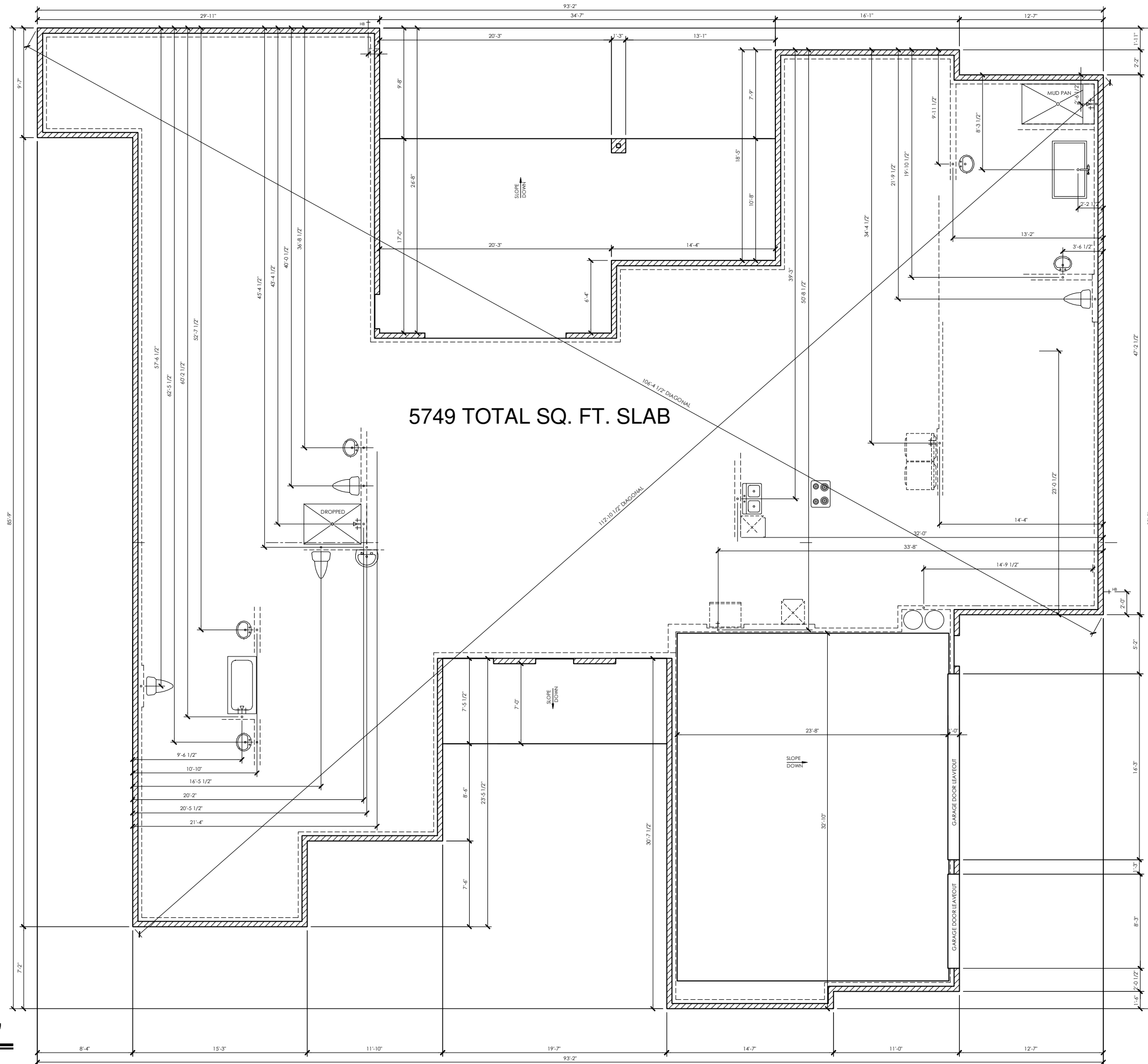
PLAN #3775  
SPERRY

FIRST FLOOR  
ELECTRICAL  
PLAN "C"

SHEET 4

**TOP OF SLAB PLAN "C"**

NTS (11"X17" SHEET) -- NTS (24"X36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

TOP OF SLAB  
PLAN "C"

SHEET 8



# DEVELOPMENT APPLICATION

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Planning and Zoning Department  
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Rockwall, Texas 75087

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PLANNING & ZONING CASE NO.

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CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

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- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

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## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2592 FM 549

SUBDIVISION Loftland Lake Estates

LOT 2 BLOCK 1

GENERAL LOCATION 2592 FM 549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFE-4

CURRENT USE Residential

PROPOSED ZONING SFE-4

PROPOSED USE Residential

ACREAGE 5.05

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

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## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Michael Lewis

APPLICANT Michael Lewis

CONTACT PERSON Michael Lewis

CONTACT PERSON Michael Lewis

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

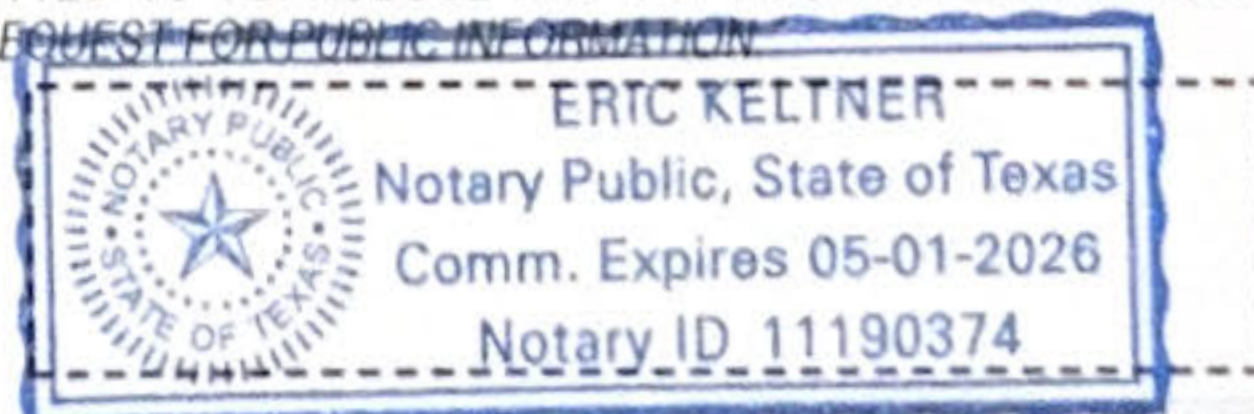
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 275.75 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF February, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

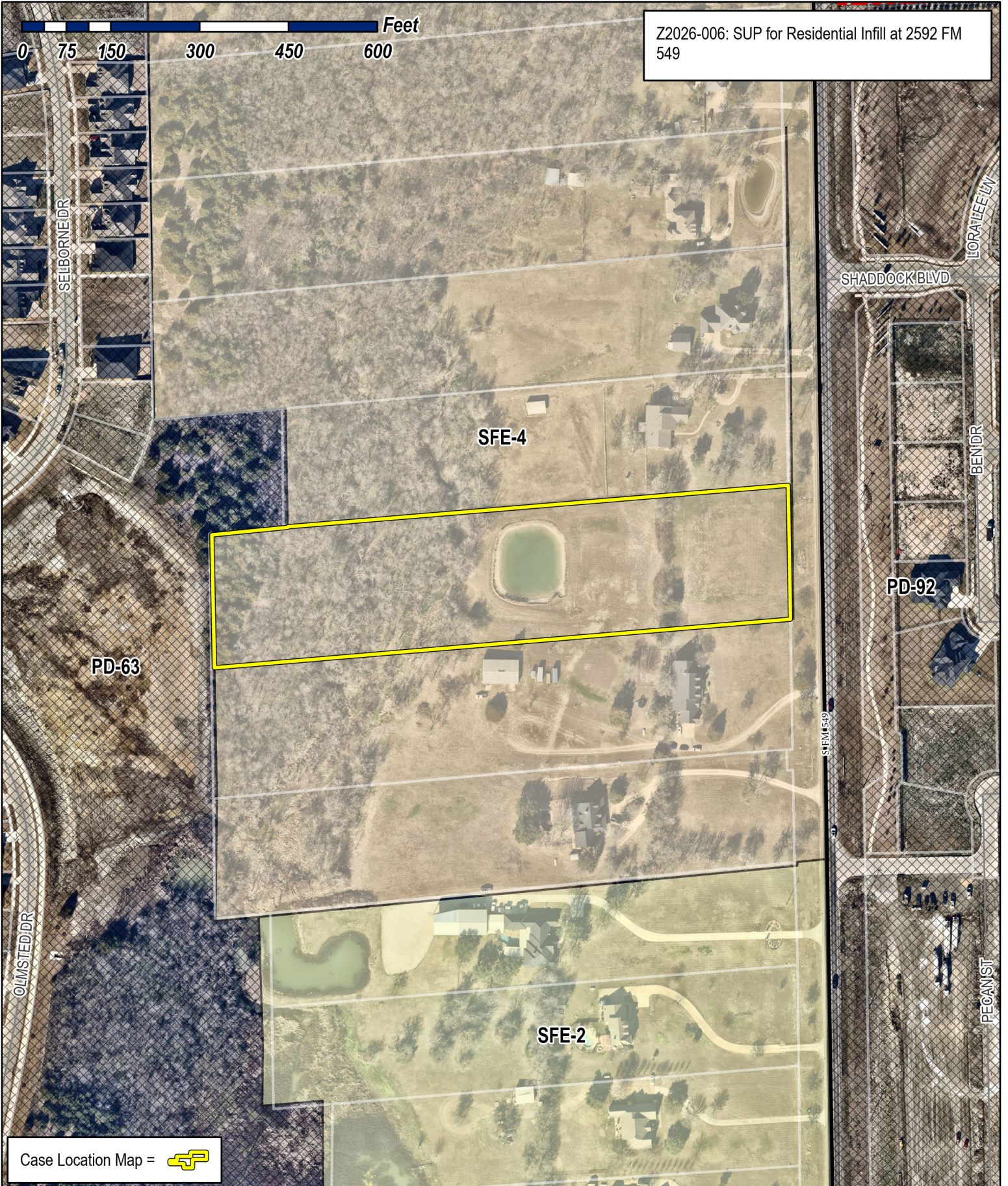
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OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 5/1/2026



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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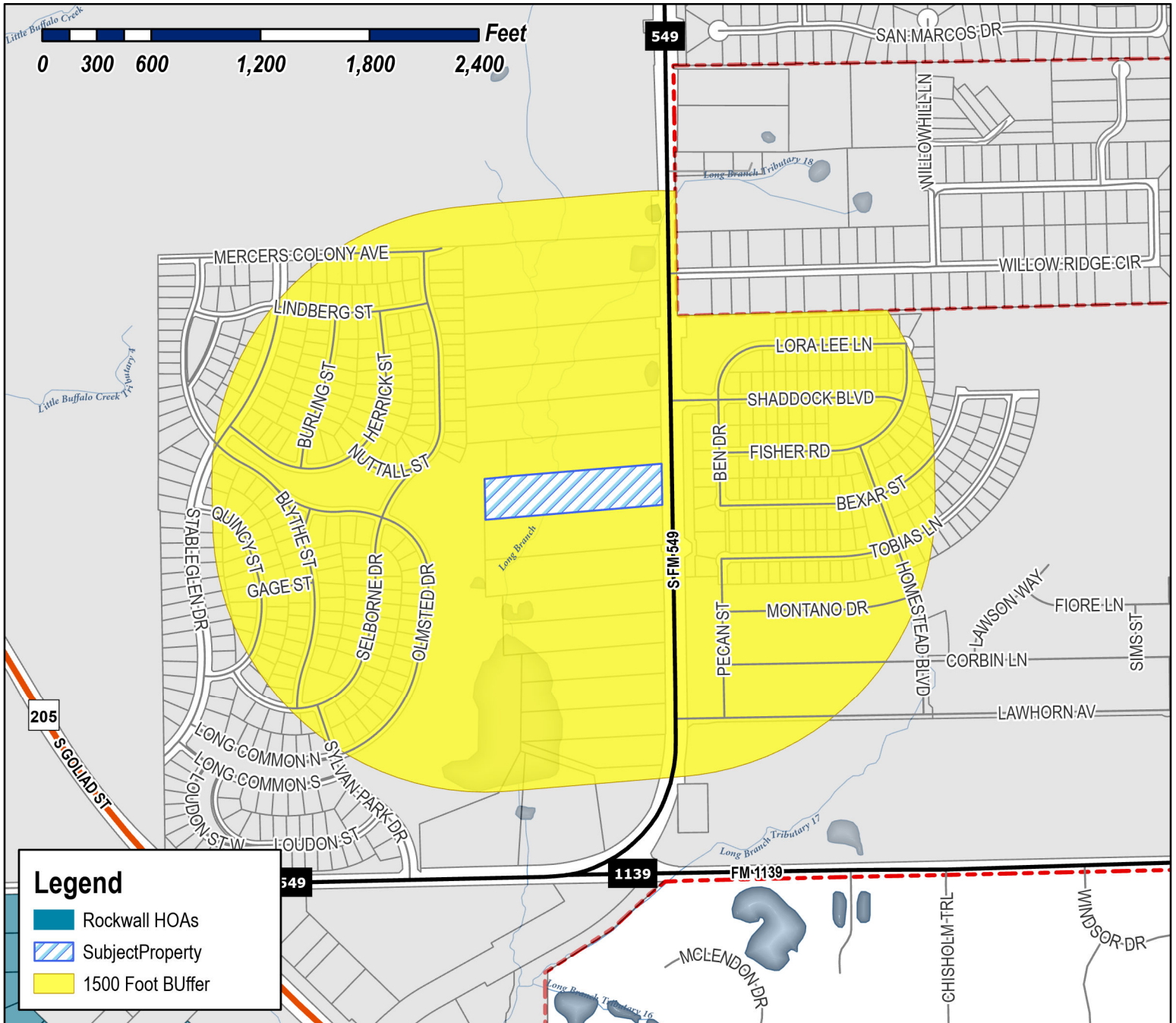




# City of Rockwall

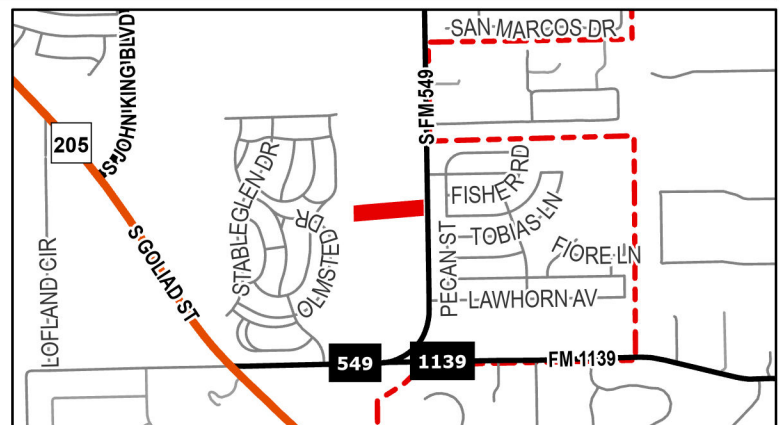
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**Case Number:** Z2026-006  
**Case Name:** SUP for Residential Infill at 2592 FM 549  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 (SFE-4)  
**Case Address:** 2592 FM 549

**Date Saved:** 2/13/2026  
 For Questions on this Case Call (972) 771-7745

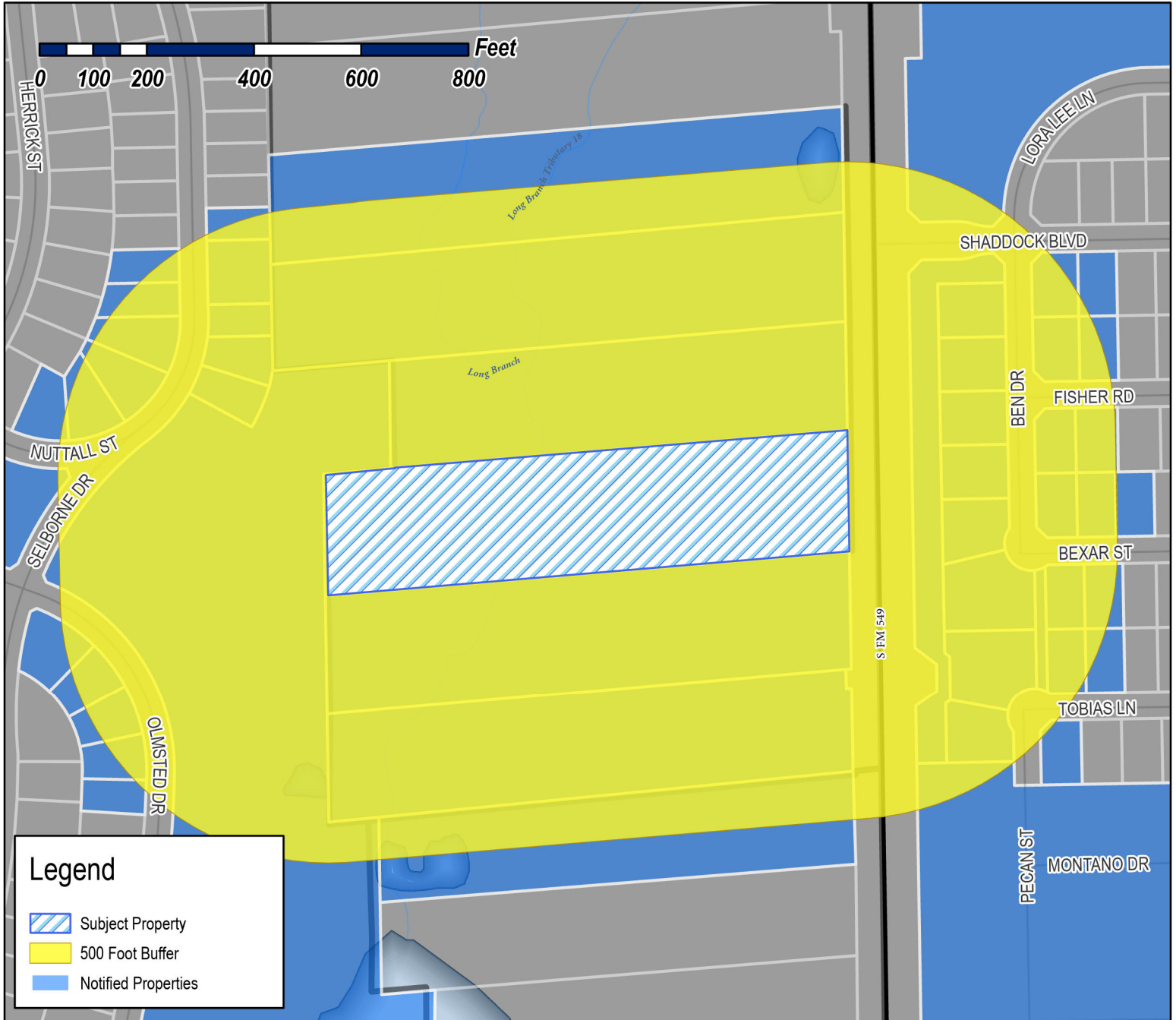




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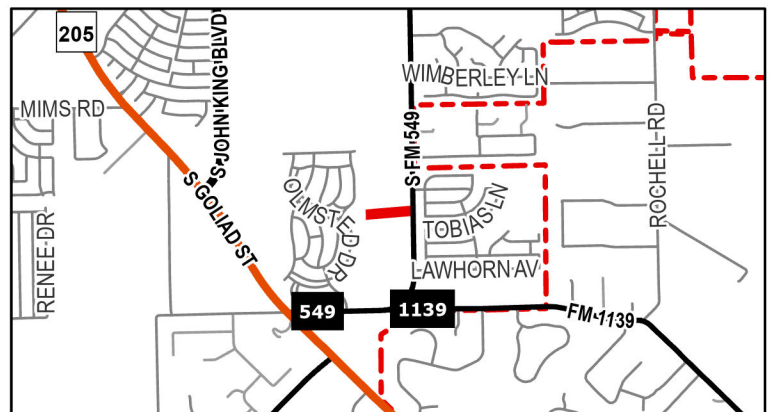
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**Case Number:** Z2026-006  
**Case Name:** SUP for Residential Infill at 2592 FM 549  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 (SFE-4)  
**Case Address:** 2592 FM 549

**Date Saved:** 2/13/2026

For Questions on this Case Call: (972) 771-7745



SYVRUD ZACHARY J  
108 Brentwood Dr  
Heath, TX 75032

DFH COVENTRY, LLC  
14701 PHILIPS HWY STE 300  
JACKSONVILLE, FL 32256

GRAND HOMES 2014 LP  
15455 Dallas Pkwy Ste 1000  
Addison, TX 75001

SOMERSET PARK COMMUNITY ASSOCIATION,  
INC  
1800 PRESTON PARK BLVD STE 200  
PLANO, TX 75093

SH DEV KLUTTS ROCKWALL LLC  
2400 DALLAS PARKWAY SUITE 460  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PARKWAY SUITE 560  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PKWY STE 460  
PLANO, TX 75093

ACOSTA ANTHONY  
2480 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L  
2516 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRIS AND SHERRI  
2516 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2521 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2548 FM549  
ROCKWALL, TX 75032

RESIDENT  
2592 FM549  
ROCKWALL, TX 75032

RESIDENT  
2624 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2628 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2638 S FM549  
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M  
2676 FM 549  
ROCKWALL, TX 75032

RESIDENT  
2716 FM549  
ROCKWALL, TX 75032

RESIDENT  
2994 S FM549  
ROCKWALL, TX 75032

RESIDENT  
3100 LORA LEE LN  
ROCKWALL, TX 75032

RESIDENT  
3101 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3101 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3102 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3103 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3103 SHADDOCK BLVD  
ROCKWALL, TX 75032

RESIDENT  
3104 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3105 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3106 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3106 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3107 SHADDOCK BLVD  
ROCKWALL, TX 75032

MORENO JOSE ROBERTO III & ANN MARIE  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3108 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3110 BEXAR ST  
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC  
3500 MAPLE AVENUE #1165  
DALLAS, TX 75219

RESIDENT  
3808 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3813 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3814 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3817 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3820 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3821 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3824 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3825 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3828 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3875 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3950 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3954 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4002 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4006 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4010 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4103 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4107 OLMSTED DR  
ROCKWALL, TX 75032

MCDONALD CHRISTINA MARIE  
4111 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4115 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4119 OLMSTED DR  
ROCKWALL, TX 75032

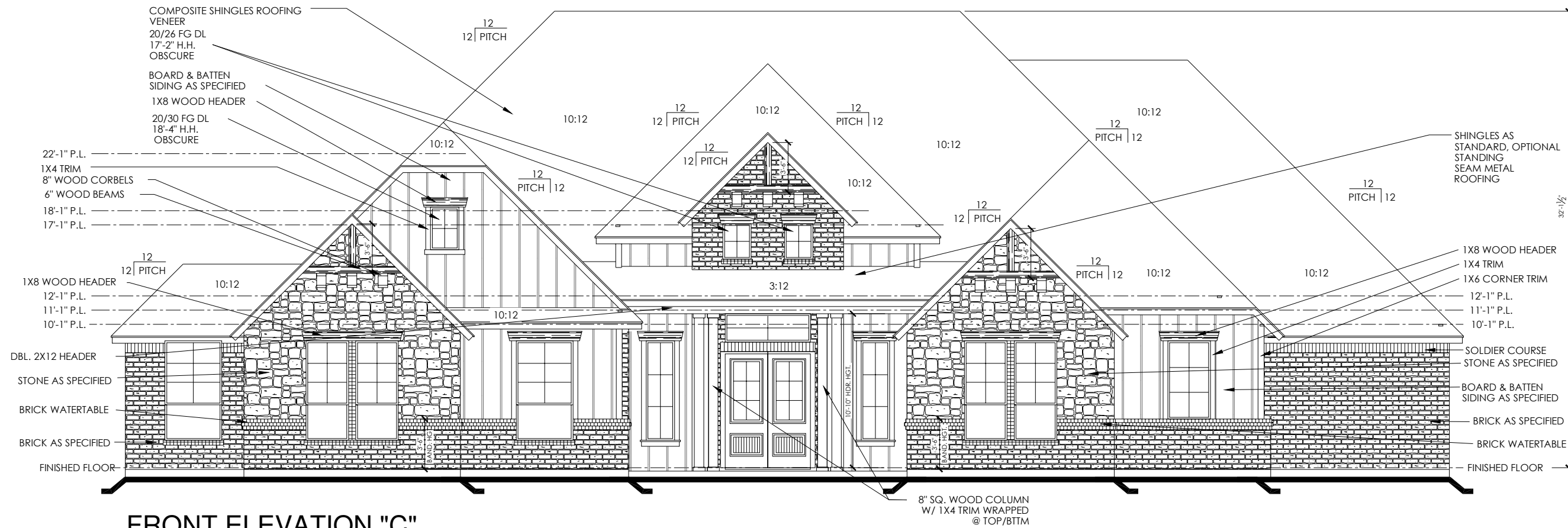
RESIDENT  
4120 PECAN ST  
ROCKWALL, TX 75032

LEWIS MIKE AND  
MAEGAN GREEN  
4208 ASHCREST ST  
MESQUITE, TX 75150

TRI POINTE HOMES DFW, LLC  
6201 W Plano Pkwy Ste 150  
Plano, TX 75093

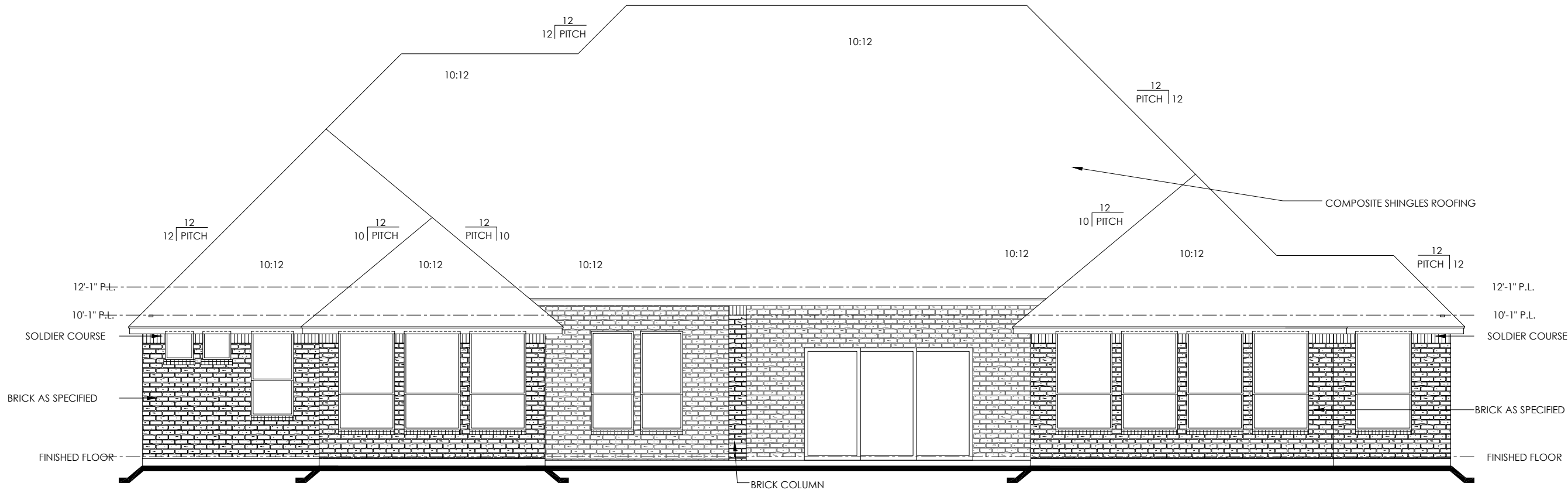
DREES CUSTOM HOMES LP  
6225 N STATE HIGHWAY 161 STE 150  
IRVING, TX 75038

POWERS FAMILY TRUST  
JAMES DWAIN & PATRICIA ANNETTE POWERS  
CO TRUSTEES  
PO BOX 850  
ROCKWALL, TX 75087



**FRONT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



**REAR ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

2592 FM 549

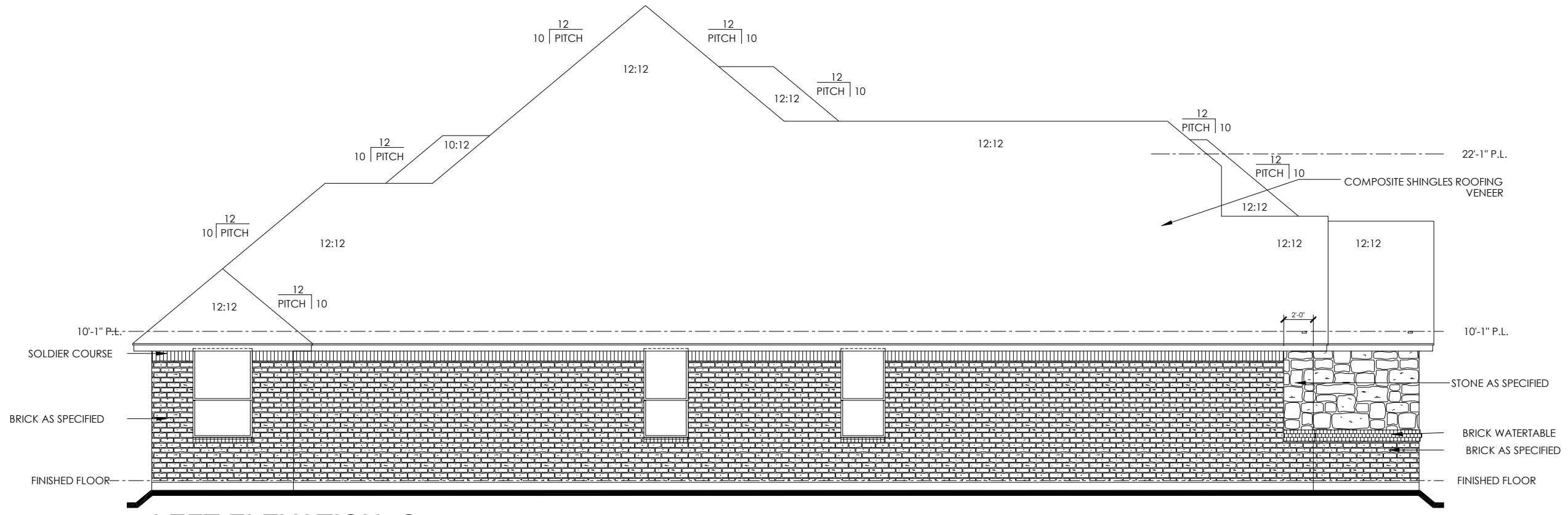
PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

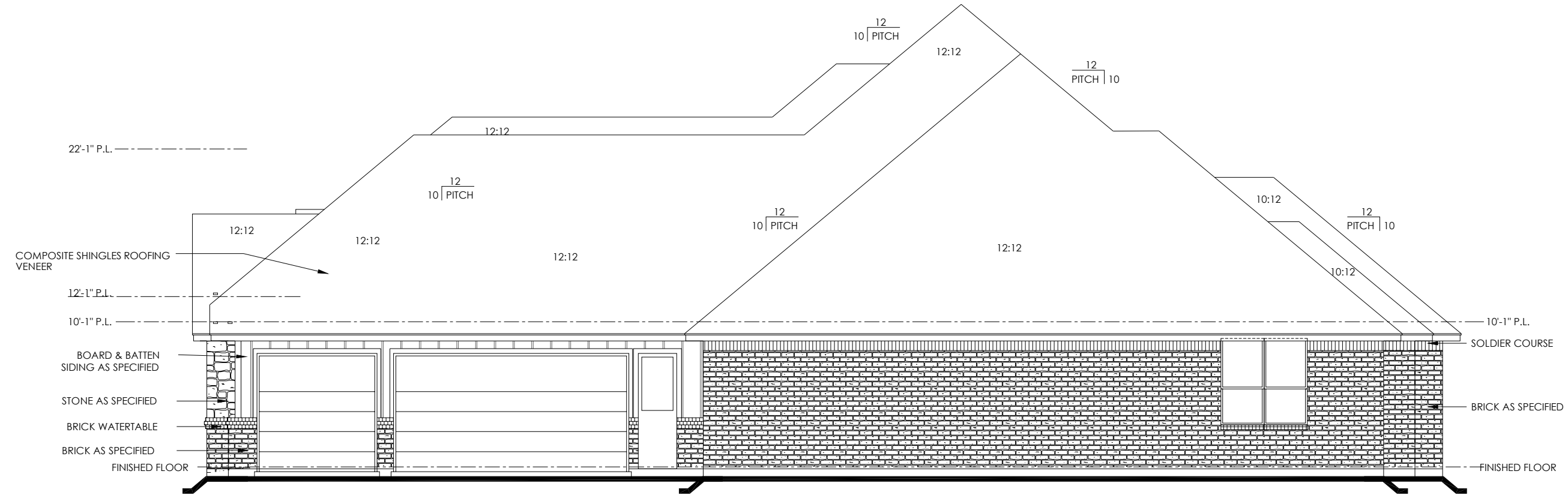
EXTERIOR  
ELEVATIONS "C"

SHEET 5



**LEFT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

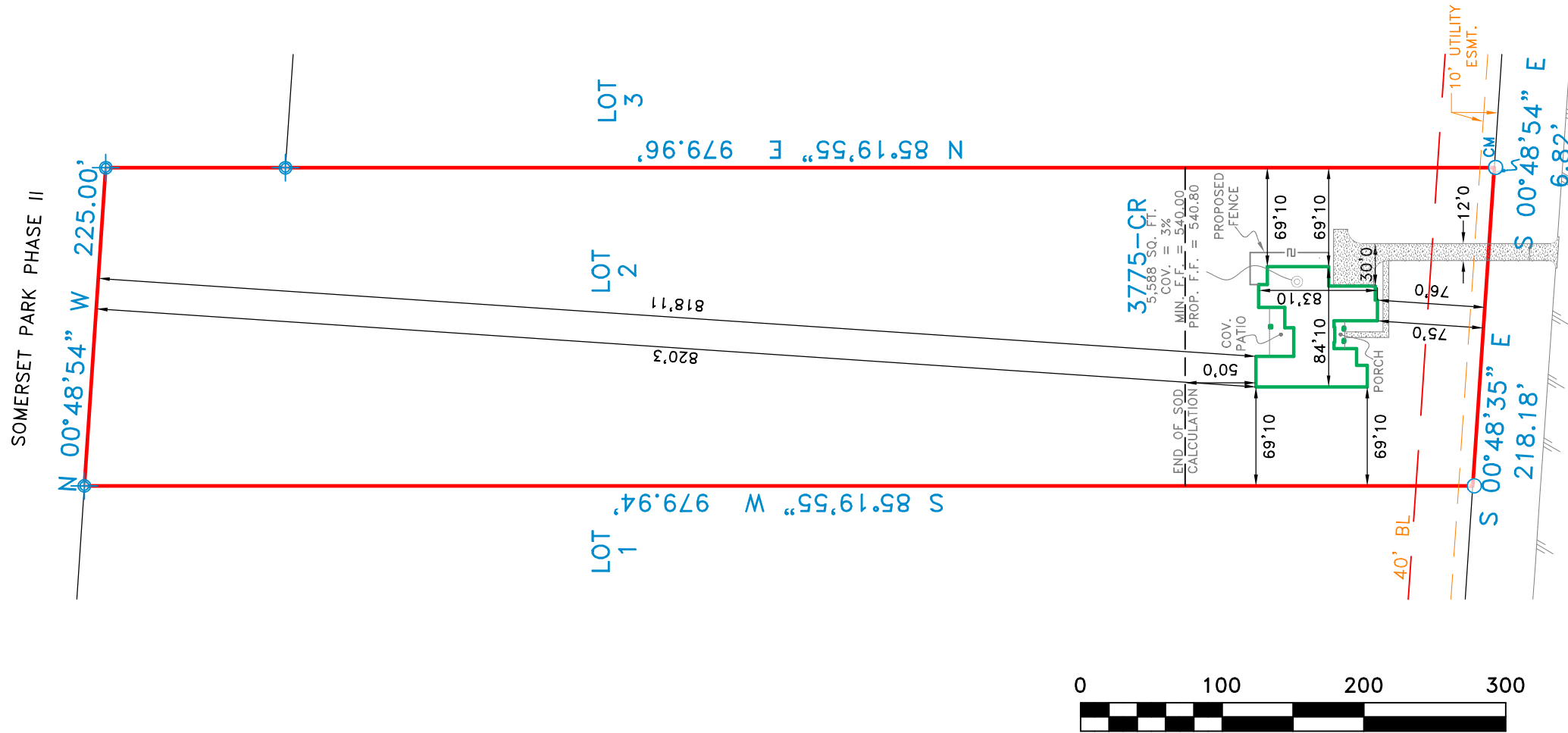


**RIGHT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



PLOT PLAN



**F.M. 549**  
100' R.O.W.

2592 FARM TO MARKET 549  
**LOT 2, BLOCK 1**  
**LOFLAND LAKE ESTATES**  
ROCKWALL, TEXAS

DRAWING IS BASED ON RECORDED PLAT DATED OCT 17, 1994

GENERAL NOTES

SPOT GRADE ELEVATIONS  
AND PAD AREA SHOWN ARE  
BASED ON GRADING PLANS  
PROVIDED BY BUILDER

WATER INLET NOT PRESENT

SCALE: 1" = 100'

SOD REAR:	1,329	SQ. YD.
FRONT & SIDES:	4,181	SQ. YD.
TOTAL SOD:	5,510	SQ. YD.
PATIO:	-	SQ. FT.
LEAD WALK:	326	SQ. FT.
CITY WALK:	-	SQ. FT.
DRIVEWAY:	2,314	SQ. FT.
APPROACH:	261	SQ. FT.
TOTAL:	2,901	SQ. FT.
FENCE:	-	LN. FT.
FENCE:	94	LN. FT.
LOT:	219,989	SQ. FT.

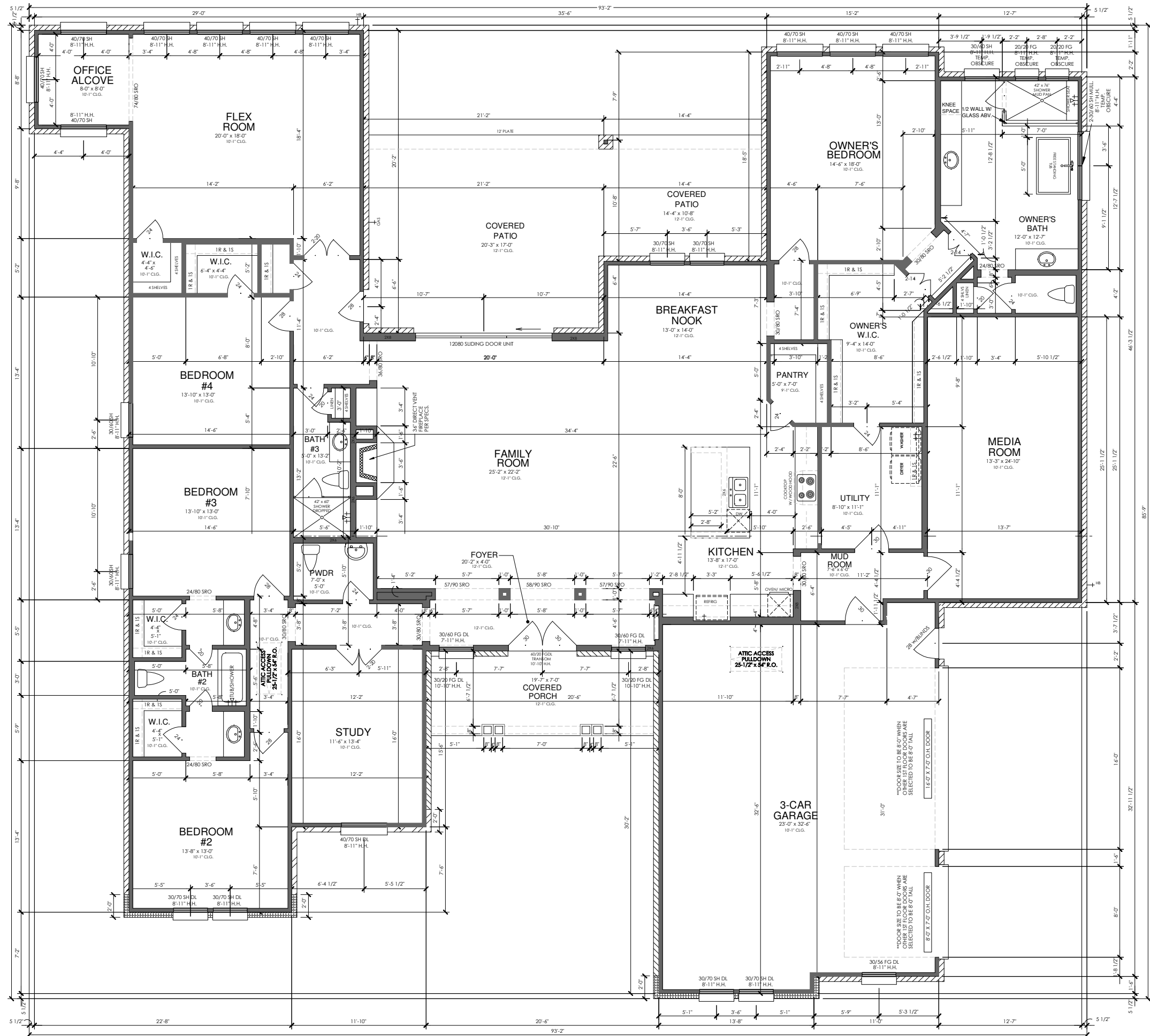
	RETAINING WALL PER GRADING PLAN
	WOOD FENCE
	FLATWORK
	PAD

STRUCTURAL OPTIONS

- \* NO OPTIONS
- \* ---
- \* ---
- \* ---

**NOTE: BUILDER TO VERIFY  
ALL INFORMATION LISTED**

CBG SURVEYING TEXAS  
Firm No. 10168800  
(214) 349-9485  
DRAWN BY: AMF  
JOB# 11741  
DATE: 02/11/2026



**FIRST FLOOR PLAN "C"**

NTS (11"x17" SHEET) -- NTS (24"x36" SHEET)

2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

FIRST FLOOR  
PLAN "C"

SHEET 1

**ATTIC VENT CALCULATION**

NOTE: ATTIC AREAS WHICH USE THE 1:300 RATIO HAVE BEEN DESIGNED SO THAT 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED IN THE UPPER PORTION OF THE ATTIC SPACE AND 50% IN THE LOWER PORTION.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AGAINST THOSE NOTED ABOVE. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO IRC/IBC REQUIREMENTS.

ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

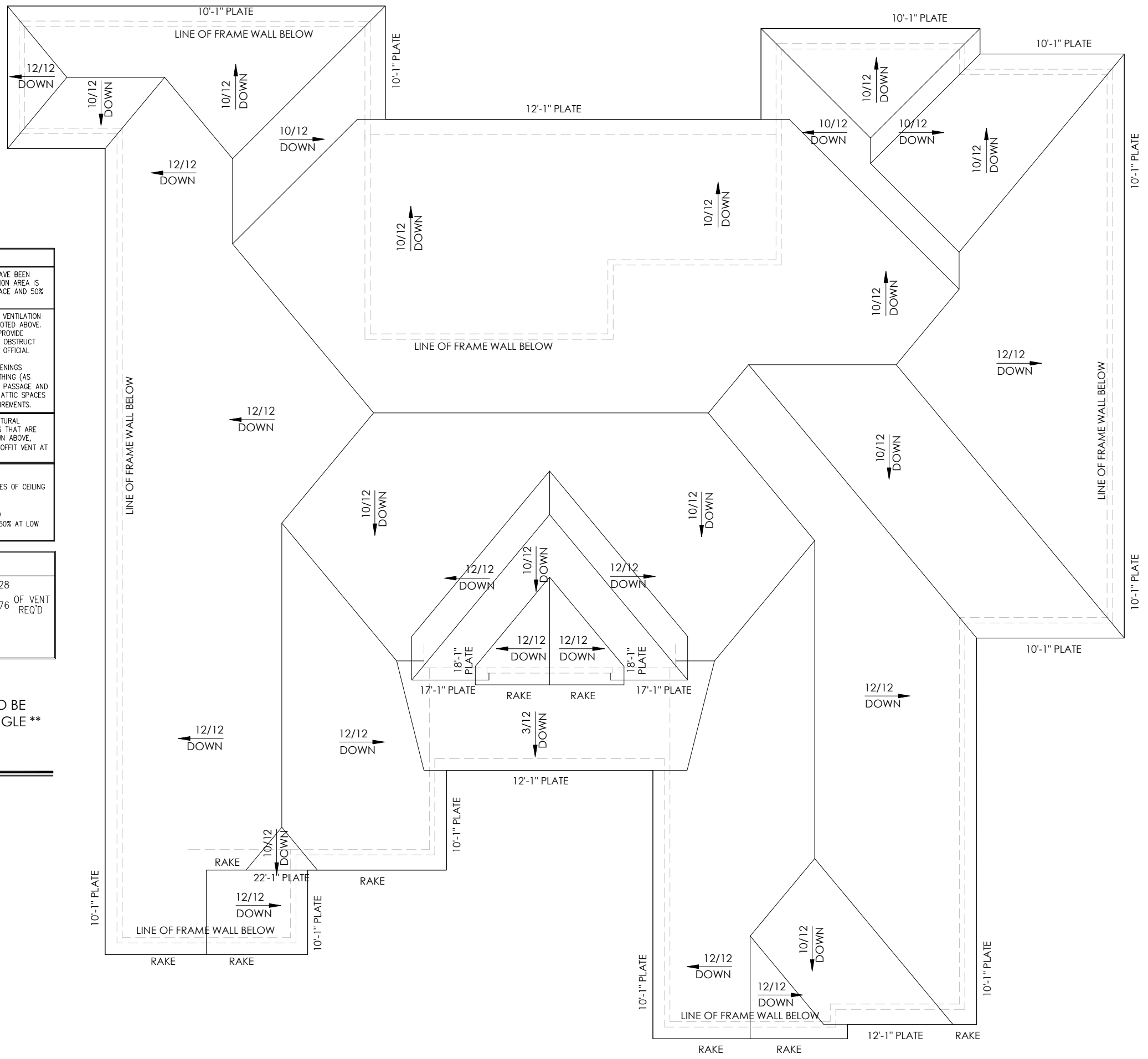
**FORMULA:**  
 1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING  
 \*144 SQ. IN. = 1 SQ. FT.  
 BLDG. CEILING (SF) X 144 BLDG. (SQ. IN.)  
 BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED  
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW  
 (PER 2006 IRC SECTION R806.2)

ATTIC AREA 'C'	
6212 X 144 =	894528
894528 / 300 =	2981.76 OF VENT REQ'D
2981.76 / 2 =	1490.88
1490.88 OF VENT AT HIGH &	
1490.88 OF VENT AT LOW	

\*\* NOTED COMPOSITE ROOF TO BE A 30-YEAR COMPOSITION SHINGLE \*\*

**ROOF PLAN "C"**

NTS (11"X17" SHEET) -- NTS (24"X36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

ROOF PLAN "C"

SHEET 7

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/19/2026

PROJECT NUMBER: Z2026-006  
PROJECT NAME: SUP for a Residential Infill  
SITE ADDRESS/LOCATIONS: 2592 FM 549

CASE CAPTION: Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP), superseding Ordinance No. 25-80 [S-389], allowing Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	02/17/2026	Approved w/ Comments

02/17/2026: Z2026-006: Specific Use Permit (SUP) for 2592 FM-549

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, and addressed as 2592 FM-549.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (Z2026-006) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is adjacent to the Lofland Lake Estates Ph 2, which has been in existence for more than ten (10) years, consists of seven (7) lots, and is 100% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the proposed garage is a side entry garage which will require a variance to the garage orientation requirements. This will be a discretionary decision for the Planning and Zoning Commission.

I.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

(1) The development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the SUP ordinance.

(2) The construction of a Single-Family Home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibits 'C' and the Floor Plan depicted in Exhibits 'D' of this ordinance.

M.8 Ordinances. Please review the attached draft ordinance prior to the February 24, 2026 Planning & Zoning Work Session meeting, and provide staff with your markups by March 3, 2026.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 3, 2026; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 10, 2026 Planning and Zoning Commission Public Hearing Meeting.

I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 24, 2026, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on March 10, 2026.

I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be March 16, 2026 (1st Reading) and April 6, 2026 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/18/2026	Approved w/ Comments

02/18/2026: 1. 10' water & sewer easement required along all TXDOT Roadways.

2. Will need to show and label existing floodplain. House will have to be a minimum of 2' above floodplain. No dirt, structures, or fences allowed within floodplain without an approved flood study.

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Existing flow patterns must be maintained.
- Lot to lot drainage is not allowed.
- The existing 100yr floodplain located in the back of the property must be shown and labeled on the plans.
- The minimum FFE for the proposed home must be called out when adjacent to a floodplain area. Minimum 2' above 100-year WSEL.
- Must show and meet erosion hazard setback for all creeks/streams (minimum 20').
- Any grading or modification to the floodplain will require a Flood Study. Review fees apply.
- Nothing is allowed within the floodplain (fences, buildings, parking and storage included).
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with the Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There are no existing sewer mains available for use. A septic system will be required and is permitted through Rockwall County.
- There is an existing 12" water main along FM 549 available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. No rock, gravel, or asphalt allowed.

- An engineered reinforced concrete pipe must be designed and installed as a culvert with concrete headwalls. Minimum of 18" culvert (if needed). Size and slope will need to be engineered to have capacity for the 100-year storm event
- No rock, gravel, or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/18/2026	Approved w/ Comments

02/18/2026: If approved, applicant will need to obtain a Building Permit prior to starting any work.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2026	Approved

02/19/2026: All one- and two-family dwellings exceeding 5,000 square feet shall be protected by an approved automatic fire sprinkler system.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/17/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/17/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/17/2026	Approved

No Comments

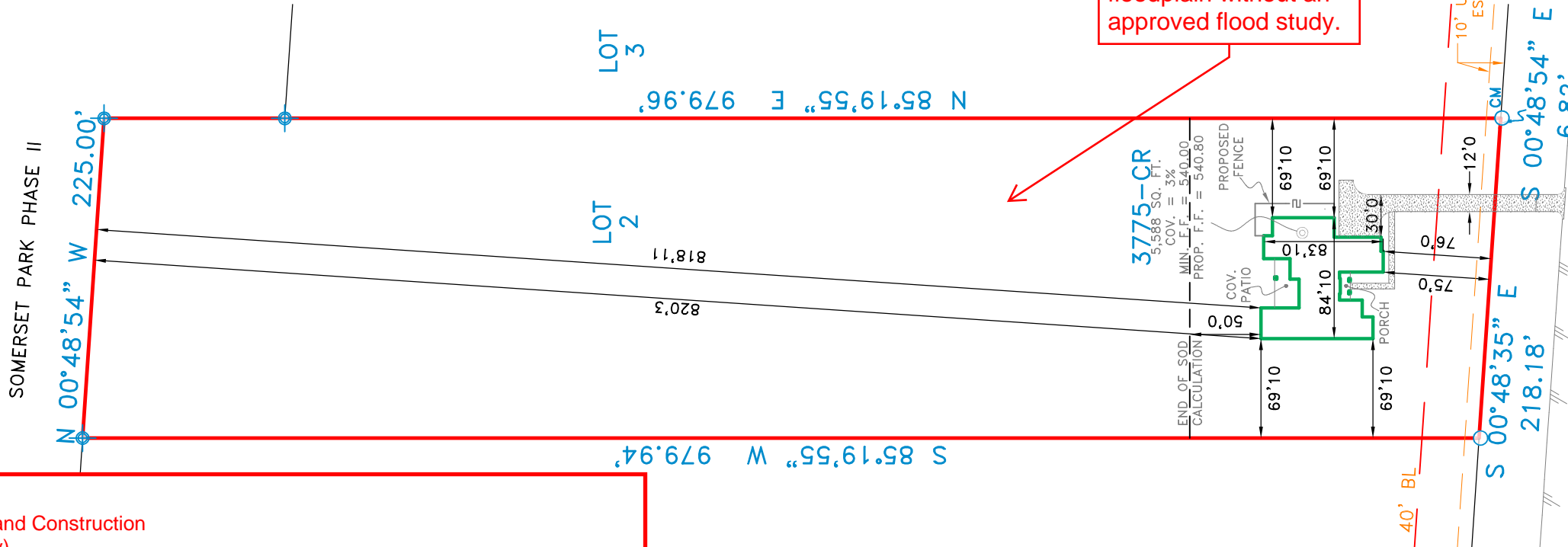


PLOT PLAN



10' water & sewer easement required along all TXDOT Roadways.

Will need to show and label existing floodplain. House will have to be a minimum of 2' above floodplain.  
No dirt, structures, or fences allowed within floodplain without an approved flood study.



F.M. 549  
100' R.O.W.



2592 FARM TO MARKET 549  
LOT 2, BLOCK 1  
OFLAND LAKE ESTATES  
ROCKWALL, TEXAS

ED ON RECORDED PLAT DATED OCT 17, 1994

- General Items:**
- Must meet City's 2023 Standards of Design and Construction
  - Impact Fees (Water, Wastewater & Roadway)
  - Existing flow patterns must be maintained.
  - Lot to lot drainage is not allowed.
  - The existing 100yr floodplain located in the back of the property must be shown and labeled on the plans.
  - The minimum FFE for the proposed home must be called out when adjacent to a floodplain area. Minimum 2' above 100-year WSEL.
  - Must show and meet erosion hazard setback for all creeks/streams (minimum 20').
  - Any grading or modification to the floodplain will require a Flood Study. Review fees apply.
  - Nothing is allowed within the floodplain (fences, buildings, parking and storage included).
  - Retaining walls 3' and over must be engineered.
  - All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
  - Will need to show A/C concrete pad and also any proposed fencing on the lot with the Building Permit.
  - Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
  - Will need to show how proposed home will be accessing utilities.
  - There are no existing sewer mains available for use. A septic system will be required and is permitted through Rockwall County.
  - There is an existing 12" water main along FM 549 available for use.
  - Water and sanitary sewer and storm sewer must be 10' apart.
  - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
  - Driveway must be steel reinforced concrete. No rock, gravel, or asphalt allowed.
  - An engineered reinforced concrete pipe must be designed and installed as a culvert with concrete headwalls. Minimum of 18" culvert (if needed). Size and slope will need to be engineered to have capacity for the 100-year storm event
  - No rock, gravel, or asphalt allowed in any area.
  - Additional comments may be provided at time of Building Permit.

STRUCTURAL OPTIONS  
\* NO OPTIONS  
\* ---  
\* ---  
\* ---

NOTE: BUILDER TO VERIFY ALL INFORMATION LISTED

CBG SURVEYING TEXAS  
Firm No. 10168800  
(214) 349-9485  
DRAWN BY: AMF  
JOB# 11741  
DATE: 02/11/2026

LOT 2, 218.269 SQ. FT.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2592 FM 549

SUBDIVISION Loftland Lake Estates

LOT 2 BLOCK 1

GENERAL LOCATION 2592 FM 549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFE-4

CURRENT USE Residential

PROPOSED ZONING SFE-4

PROPOSED USE Residential

ACREAGE 5.05

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Michael Lewis

APPLICANT Michael Lewis

CONTACT PERSON Michael Lewis

CONTACT PERSON Michael Lewis

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

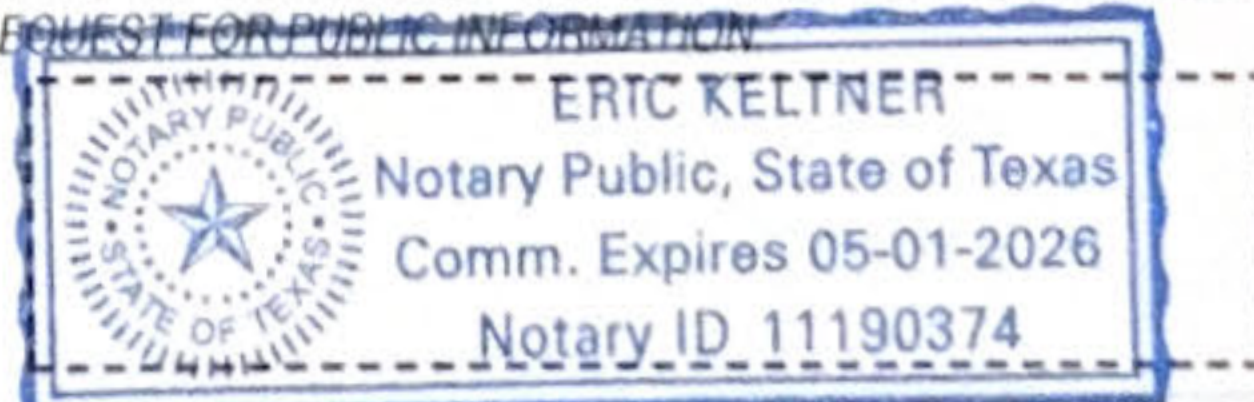
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 275.75 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF February, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

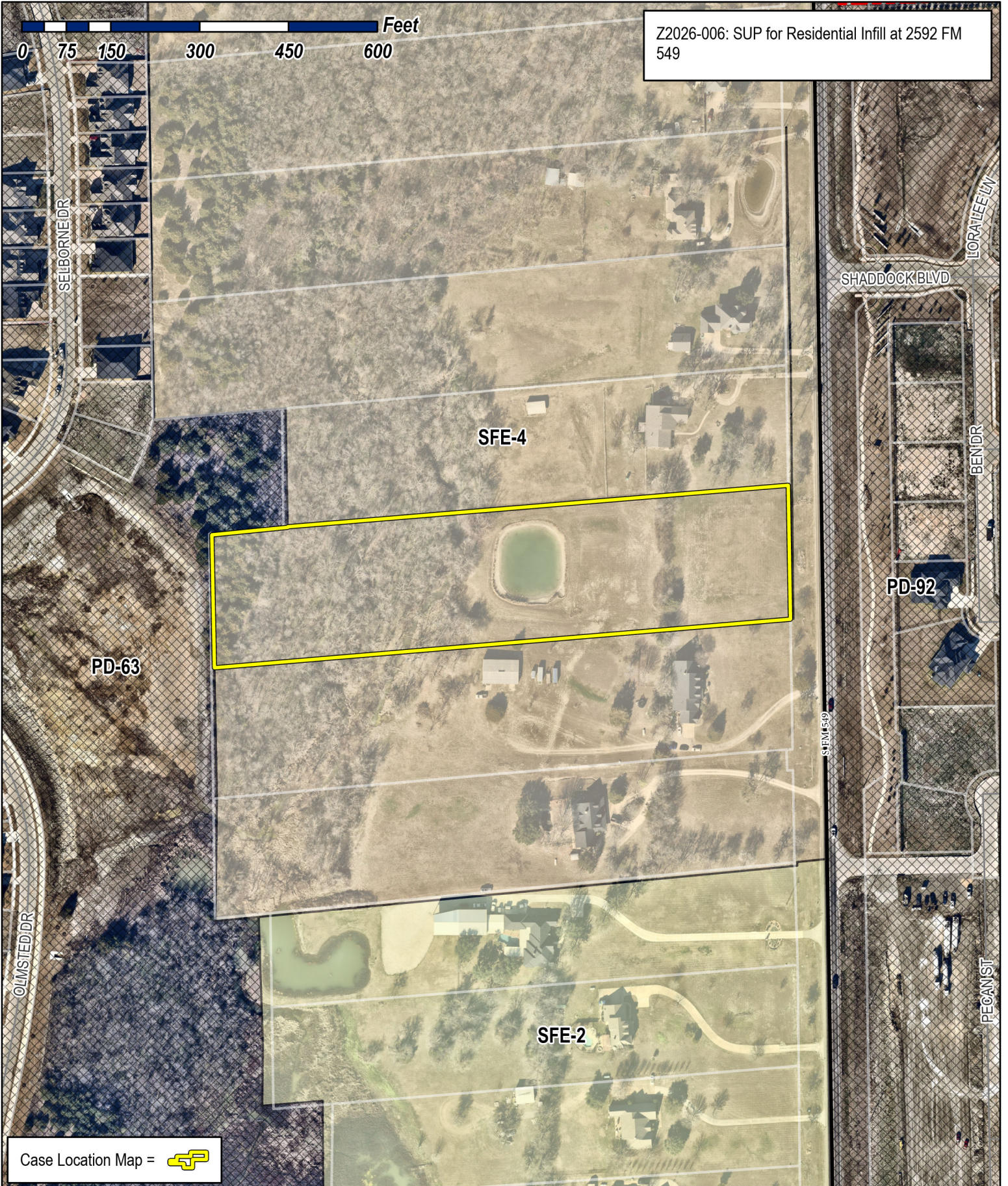
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF February, 2026

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 5/1/2026



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

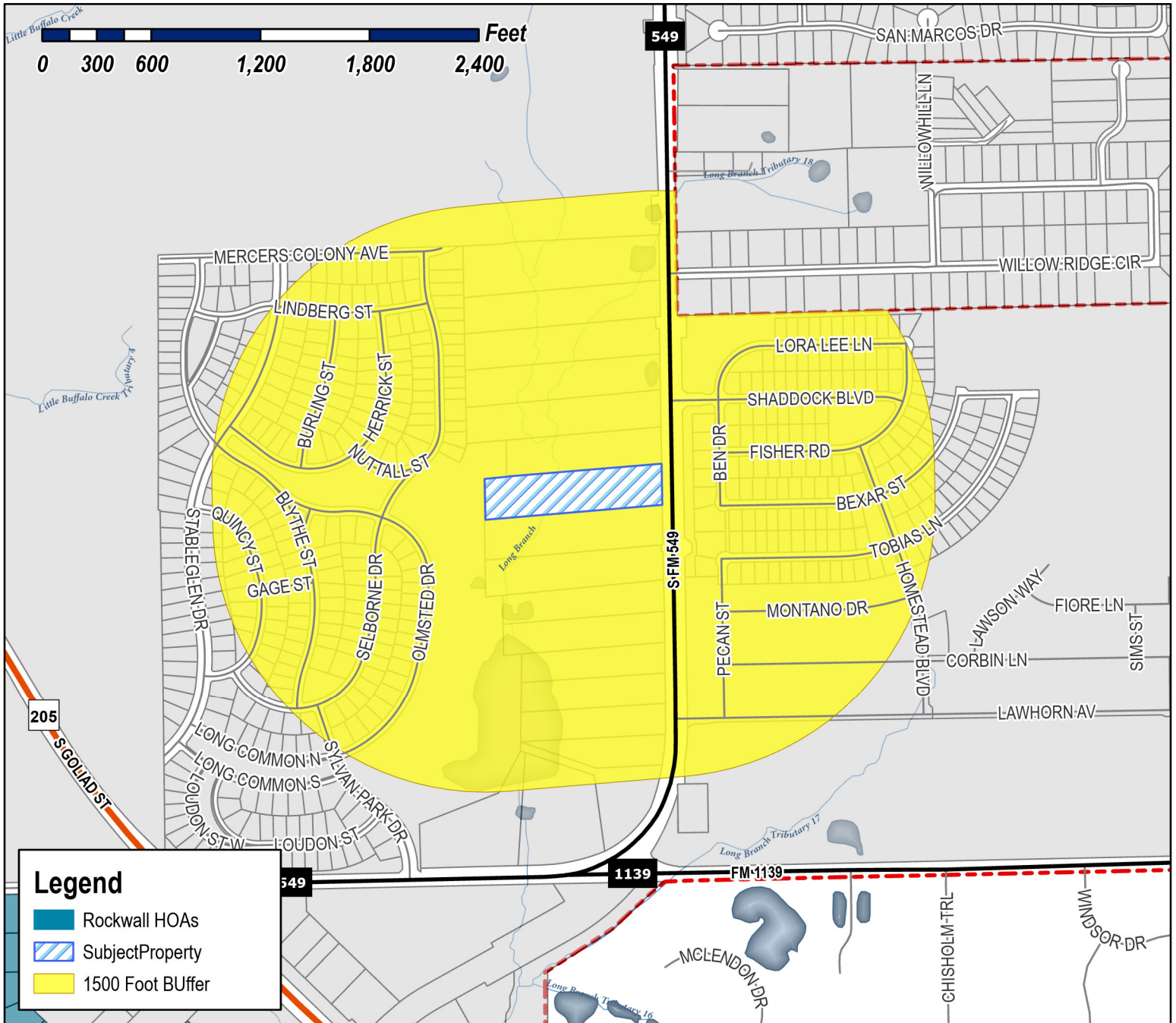




# City of Rockwall

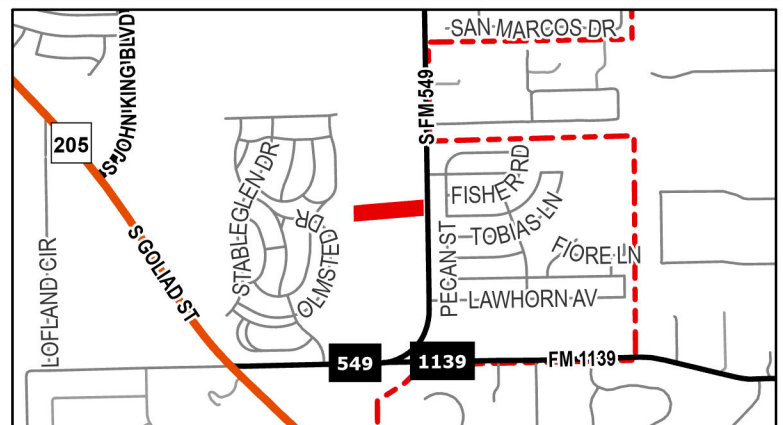
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**Case Number:** Z2026-006  
**Case Name:** SUP for Residential Infill at 2592 FM 549  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 (SFE-4)  
**Case Address:** 2592 FM 549

**Date Saved:** 2/13/2026  
 For Questions on this Case Call (972) 771-7745

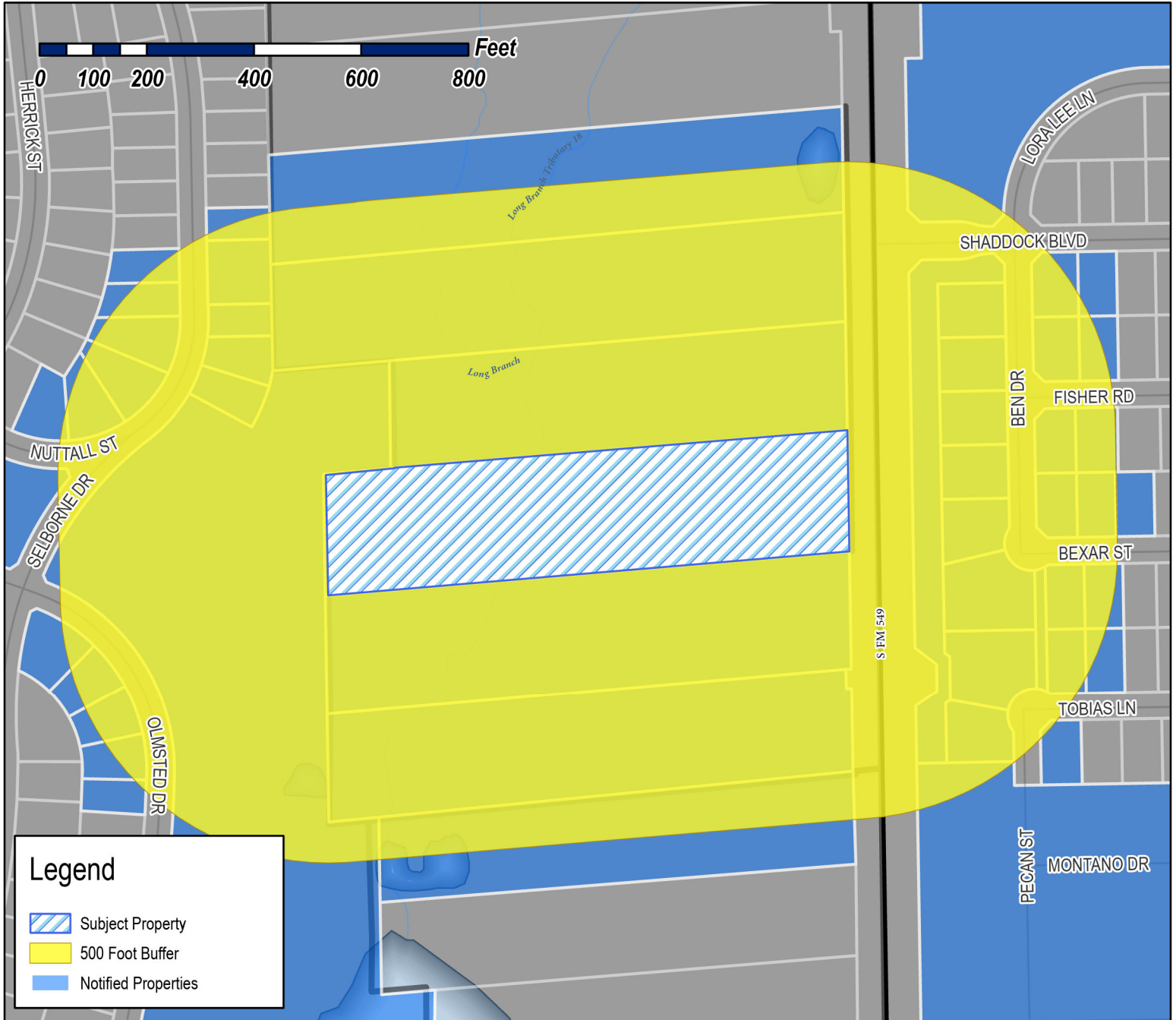




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(P): (972) 771-7745  
(W): www.rockwall.com

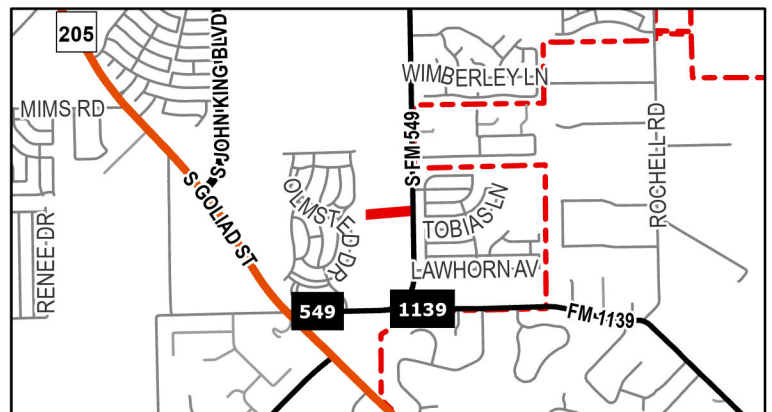
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2026-006  
**Case Name:** SUP for Residential Infill at 2592 FM 549  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 (SFE-4)  
**Case Address:** 2592 FM 549

**Date Saved:** 2/13/2026

For Questions on this Case Call: (972) 771-7745



SYVRUD ZACHARY J  
108 Brentwood Dr  
Heath, TX 75032

DFH COVENTRY, LLC  
14701 PHILIPS HWY STE 300  
JACKSONVILLE, FL 32256

GRAND HOMES 2014 LP  
15455 Dallas Pkwy Ste 1000  
Addison, TX 75001

SOMERSET PARK COMMUNITY ASSOCIATION,  
INC  
1800 PRESTON PARK BLVD STE 200  
PLANO, TX 75093

SH DEV KLUTTS ROCKWALL LLC  
2400 DALLAS PARKWAY SUITE 460  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PARKWAY SUITE 560  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PKWY STE 460  
PLANO, TX 75093

ACOSTA ANTHONY  
2480 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L  
2516 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRIS AND SHERRI  
2516 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2521 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2548 FM549  
ROCKWALL, TX 75032

RESIDENT  
2592 FM549  
ROCKWALL, TX 75032

RESIDENT  
2624 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2628 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2638 S FM549  
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M  
2676 FM 549  
ROCKWALL, TX 75032

RESIDENT  
2716 FM549  
ROCKWALL, TX 75032

RESIDENT  
2994 S FM549  
ROCKWALL, TX 75032

RESIDENT  
3100 LORA LEE LN  
ROCKWALL, TX 75032

RESIDENT  
3101 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3101 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3102 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3103 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3103 SHADDOCK BLVD  
ROCKWALL, TX 75032

RESIDENT  
3104 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3105 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3106 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3106 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3107 SHADDOCK BLVD  
ROCKWALL, TX 75032

MORENO JOSE ROBERTO III & ANN MARIE  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3108 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3110 BEXAR ST  
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC  
3500 MAPLE AVENUE #1165  
DALLAS, TX 75219

RESIDENT  
3808 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3813 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3814 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3817 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3820 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3821 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3824 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3825 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3828 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3875 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3950 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3954 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4002 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4006 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4010 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4103 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4107 OLMSTED DR  
ROCKWALL, TX 75032

MCDONALD CHRISTINA MARIE  
4111 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4115 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4119 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4120 PECAN ST  
ROCKWALL, TX 75032

LEWIS MIKE AND  
MAEGAN GREEN  
4208 ASHCREST ST  
MESQUITE, TX 75150

TRI POINTE HOMES DFW, LLC  
6201 W Plano Pkwy Ste 150  
Plano, TX 75093

DREES CUSTOM HOMES LP  
6225 N STATE HIGHWAY 161 STE 150  
IRVING, TX 75038

POWERS FAMILY TRUST  
JAMES DWAIN & PATRICIA ANNETTE POWERS  
CO TRUSTEES  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2026-006: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)*, superseding *Ordinance No. 25-80 [S-389]*, allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 10, 2026 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 16, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 16, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2026-006: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

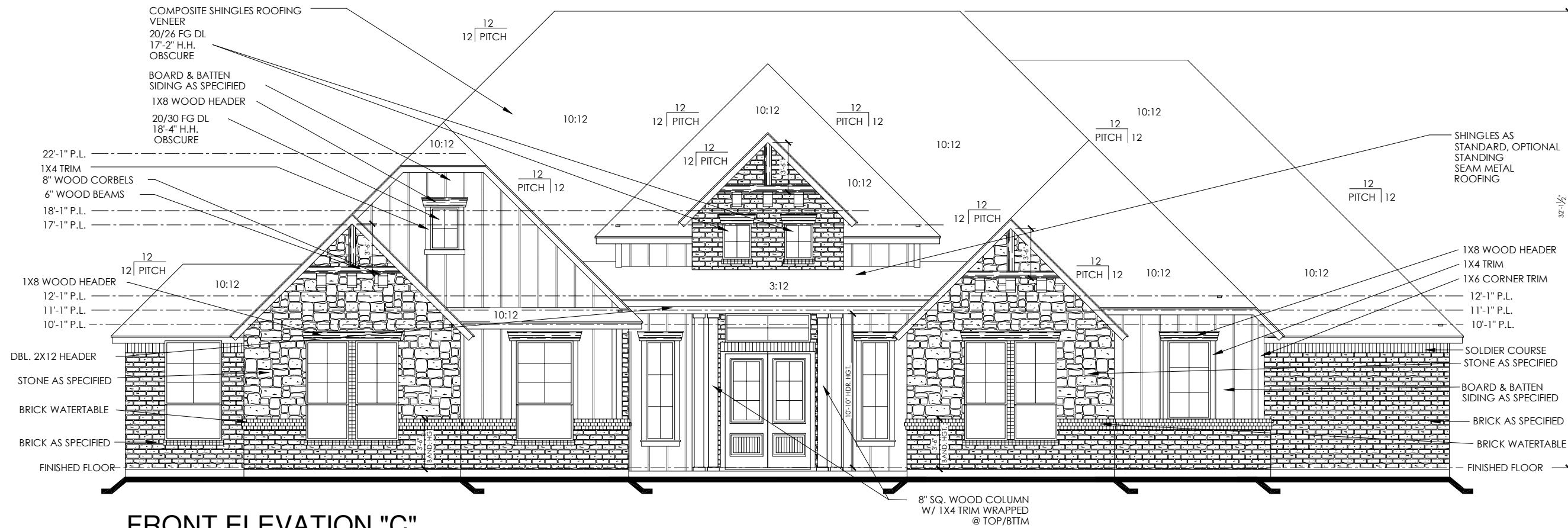
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

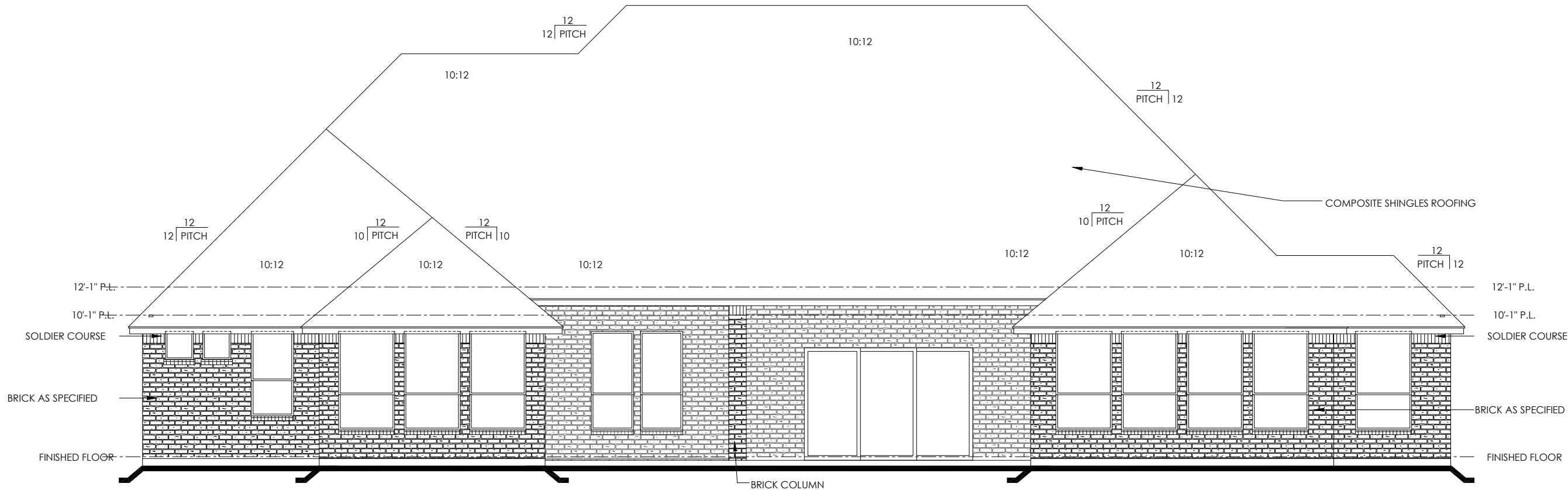
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**FRONT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



**REAR ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

2592 FM 549

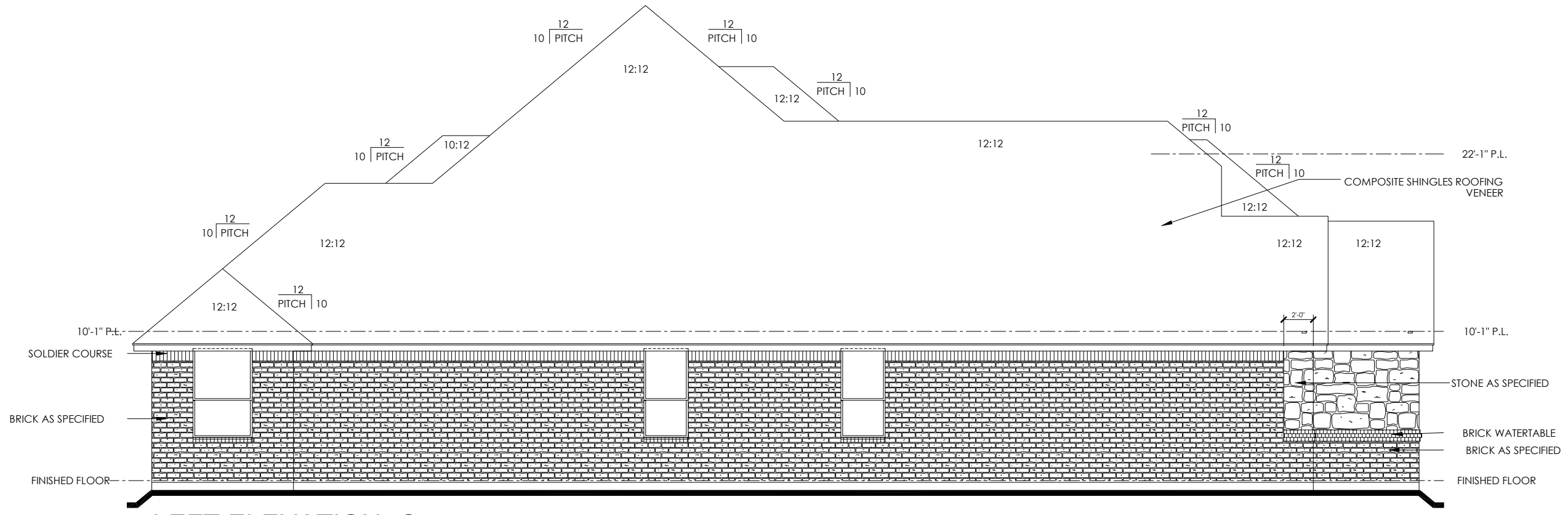
PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

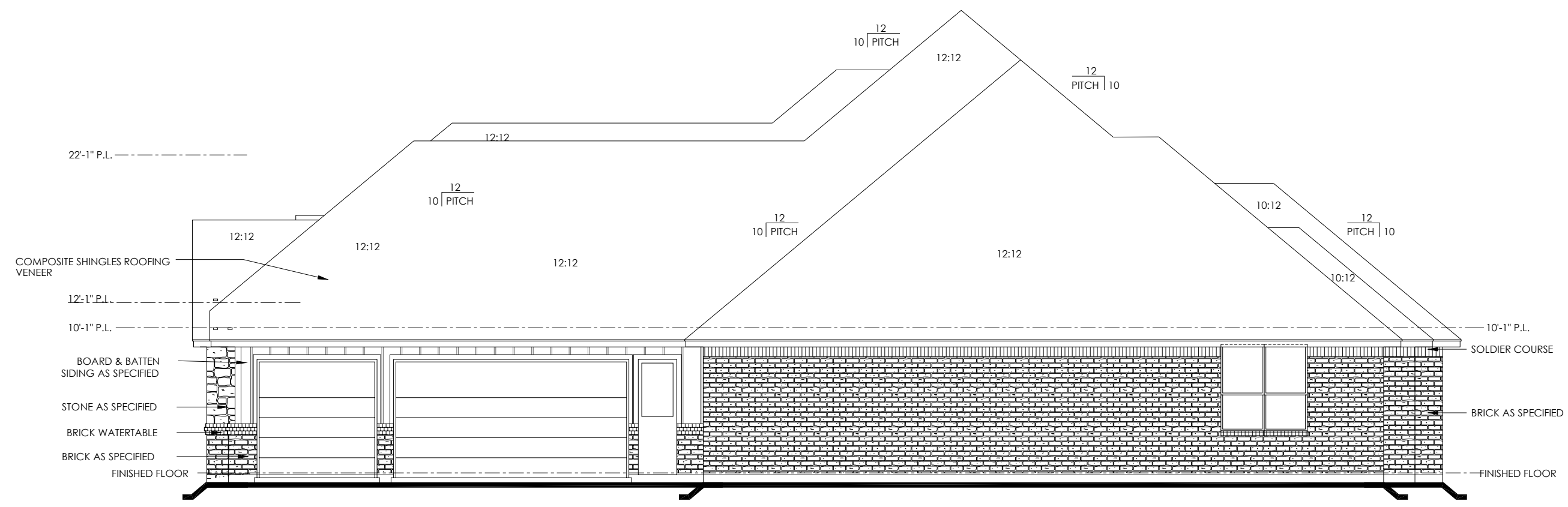
EXTERIOR  
ELEVATIONS "C"

SHEET 5



**LEFT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

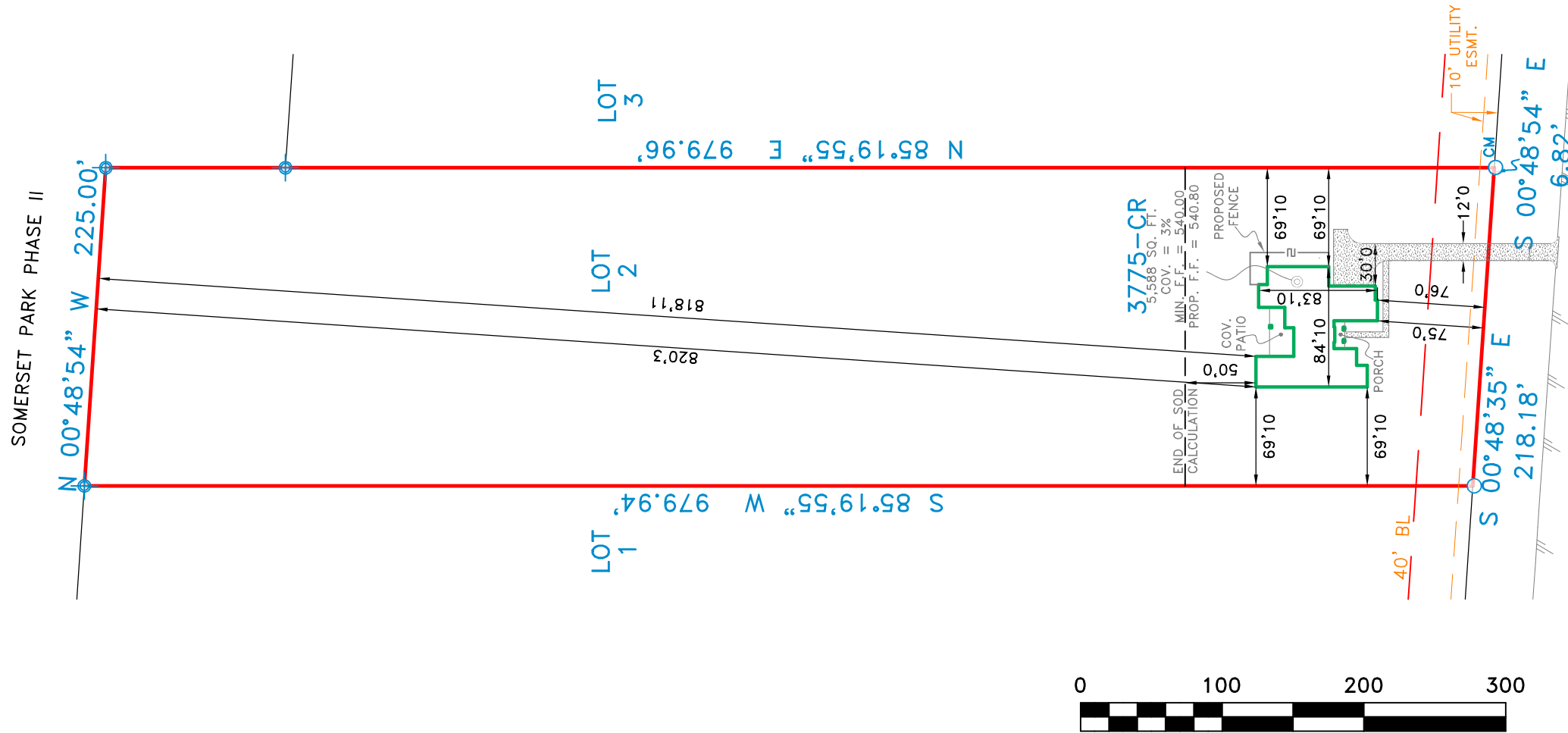


**RIGHT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



PLOT PLAN



**F.M. 549**  
100' R.O.W.

2592 FARM TO MARKET 549  
**LOT 2, BLOCK 1**  
**LOFLAND LAKE ESTATES**  
ROCKWALL, TEXAS

DRAWING IS BASED ON RECORDED PLAT DATED OCT 17, 1994

GENERAL NOTES

SPOT GRADE ELEVATIONS  
AND PAD AREA SHOWN ARE  
BASED ON GRADING PLANS  
PROVIDED BY BUILDER

WATER INLET NOT PRESENT

SCALE: 1" = 100'

SOD REAR:	1,329	SQ. YD.
FRONT & SIDES:	4,181	SQ. YD.
TOTAL SOD:	5,510	SQ. YD.
PATIO:	-	SQ. FT.
LEAD WALK:	326	SQ. FT.
CITY WALK:	-	SQ. FT.
DRIVEWAY:	2,314	SQ. FT.
APPROACH:	261	SQ. FT.
TOTAL:	2,901	SQ. FT.
FENCE:	-	LN. FT.
FENCE:	94	LN. FT.
LOT:	219,989	SQ. FT.

	RETAINING WALL PER GRADING PLAN
	WOOD FENCE
	FLATWORK
	PAD

STRUCTURAL OPTIONS

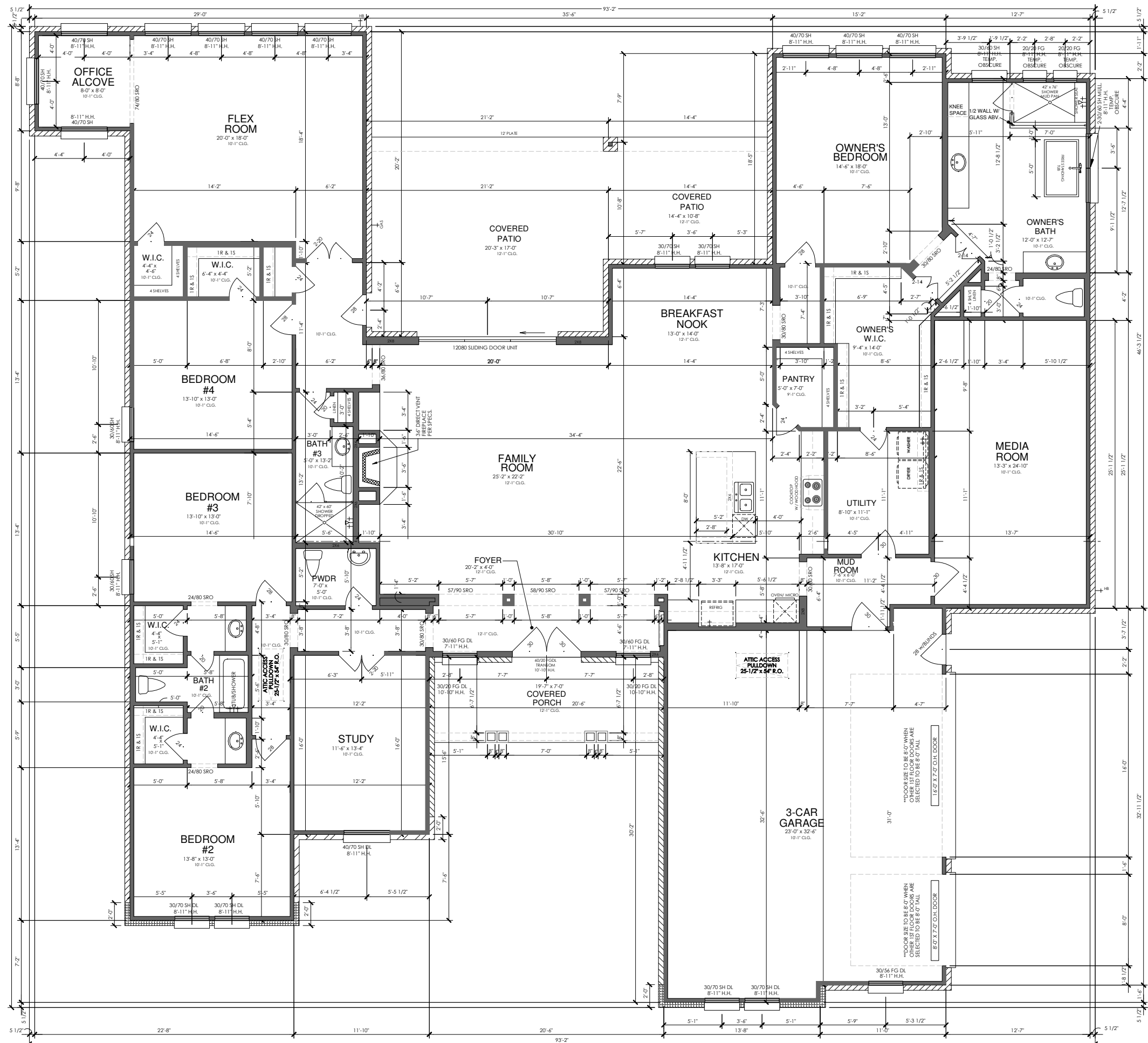
- \* NO OPTIONS
- \* - - - -
- \* - - - -
- \* - - - -

**NOTE: BUILDER TO VERIFY  
ALL INFORMATION LISTED**

CBG SURVEYING TEXAS  
Firm No. 10168800  
(214) 349-9485  
DRAWN BY: AMF  
JOB# 11741  
DATE: 02/11/2026

# FIRST FLOOR PLAN "C"

NTS (11"x17" SHEET) -- NTS (24"x36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

## KINDRED CUSTOM HOMES

PLAN #3775  
SPERRY

FIRST FLOOR  
PLAN "C"

SHEET 1

**ATTIC VENT CALCULATION**

NOTE: ATTIC AREAS WHICH USE THE 1:300 RATIO HAVE BEEN DESIGNED SO THAT 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED IN THE UPPER PORTION OF THE ATTIC SPACE AND 50% IN THE LOWER PORTION.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AGAINST THOSE NOTED ABOVE. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO IRC/IBC REQUIREMENTS.

ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

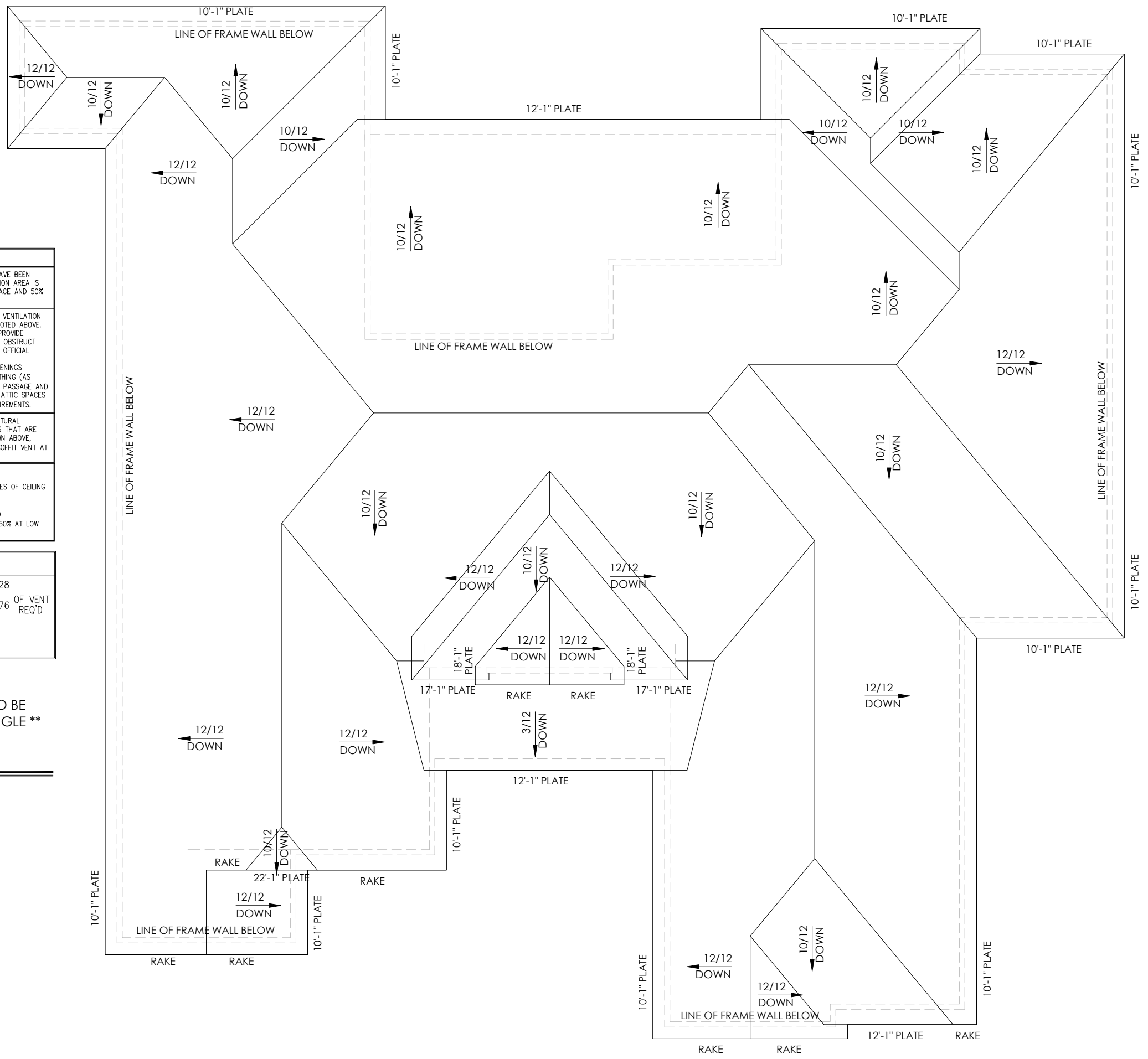
**FORMULA:**  
 1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING  
 \*144 SQ. IN. = 1 SQ. FT.  
 BLDG. CEILING (SF) X 144 BLDG. (SQ. IN.)  
 BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED  
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW  
 (PER 2006 IRC SECTION R806.2)

ATTIC AREA 'C'	
6212 X 144 =	894528
894528 / 300 =	2981.76 OF VENT REQ'D
2981.76 / 2 =	1490.88
1490.88 OF VENT AT HIGH &	
1490.88 OF VENT AT LOW	

\*\* NOTED COMPOSITE ROOF TO BE A 30-YEAR COMPOSITION SHINGLE \*\*

**ROOF PLAN "C"**

NTS (11"X17" SHEET) -- NTS (24"X36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

ROOF PLAN "C"

SHEET 7



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-071

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING SF	EXTERIOR MATERIALS
2480 S. FM-549	Single-Family home	1996	3,078	240	Brick
2516 S. FM-549	Single-Family home	1994	3,180	N/A	Siding & Brick
2548 S. FM-549	Single-Family home	1993	2,383	600	Brick
2592 S. FM-549	Single-Family home	Subject Property	3,287	1,267	Hardi-Board
2638 S. FM-549	Single-Family home	1998	2,753	2,400	Brick
2676 S. FM-549	Single-Family home	1995	2,791	N/A	Unknown
2716 S. FM-549	Single-Family home	1997	3,421	1,968	Stone & Brick
2744 S. FM-549	Single-Family home	1997	2,105	340	Brick & Siding
2778 S. FM-549	Single-Family home	1997	2,734	720	Stone & Brick
2816 S. FM-549	Single-Family home	1995	2,543	1,200	Brick & Siding
2844 S. FM-549	Single-Family home	1996	4,076	480	Brick
2884 S. FM-549	Single-Family home	1996	2,204	3,600	Brick & Stone
2914 S. FM-549	Single-Family home	2001	2,933	875	Brick
	AVERAGES:	1980	2,884	1,245	



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-071

**PLANNING AND ZONING DEPARTMENT**

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2480 S. FM-549



2498 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-071

**PLANNING AND ZONING DEPARTMENT**

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2548 S. FM-549



2638 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-071

**PLANNING AND ZONING DEPARTMENT**

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2716 S. FM-549



2744 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-071

**PLANNING AND ZONING DEPARTMENT**

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2778 S. FM-548



2816 S. FM-549



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-071

**PLANNING AND ZONING DEPARTMENT**

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2844 S. FM-549



2884 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-071

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



2914 S. S. FM-549

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 5.05-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, LOFLAND LAKE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* to allow the construction of a single family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM 549, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 25-80 (S-389)*.

**SECTION 2.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 3.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.04, *General Residential District Standards*, and Subsection 03.09, *Single Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and *Guest Quarters/Secondary Living Unit* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Single-Family Home* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibits 'C'* and the *Floor Plan* depicted in *Exhibits 'D'* of this ordinance.

### 3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF APRIL, 2026.

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2026

2<sup>nd</sup> Reading: April 6, 2026

**Exhibit 'A':  
Location Map**

Address: 2592 FM-549

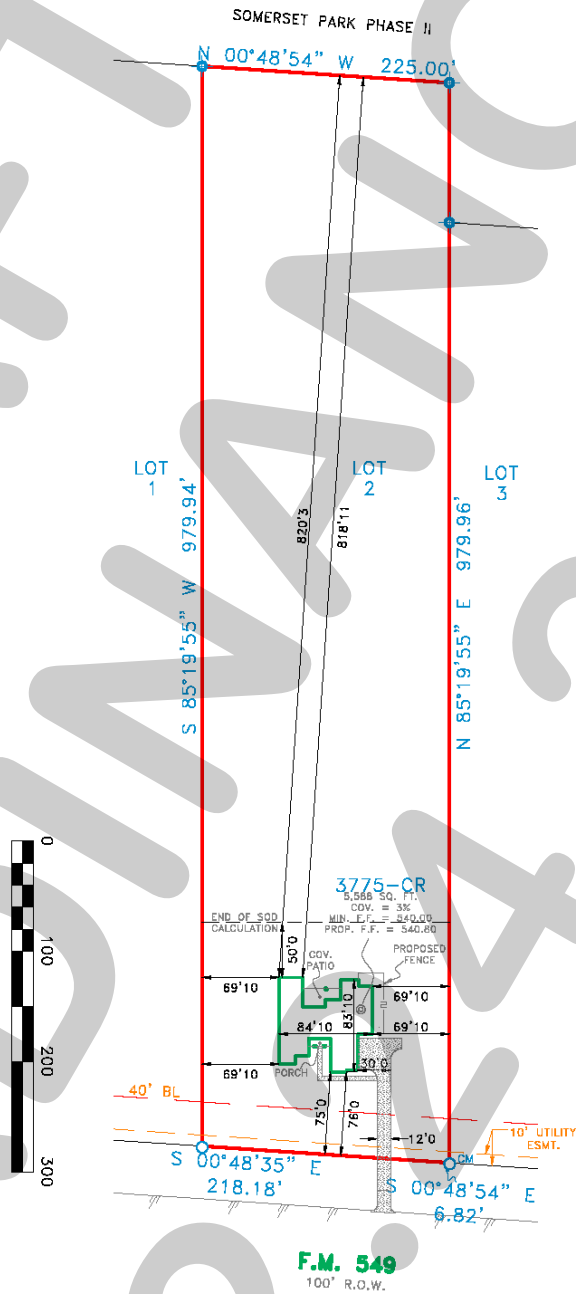
Legal Description: Lot 2, Block 1, Lofland Lake Estates Addition



**Exhibit 'B':**  
**Residential Plot Plan**



DRAFT  
ORDINANCE 2026





**Exhibit 'C':  
Building Elevations**

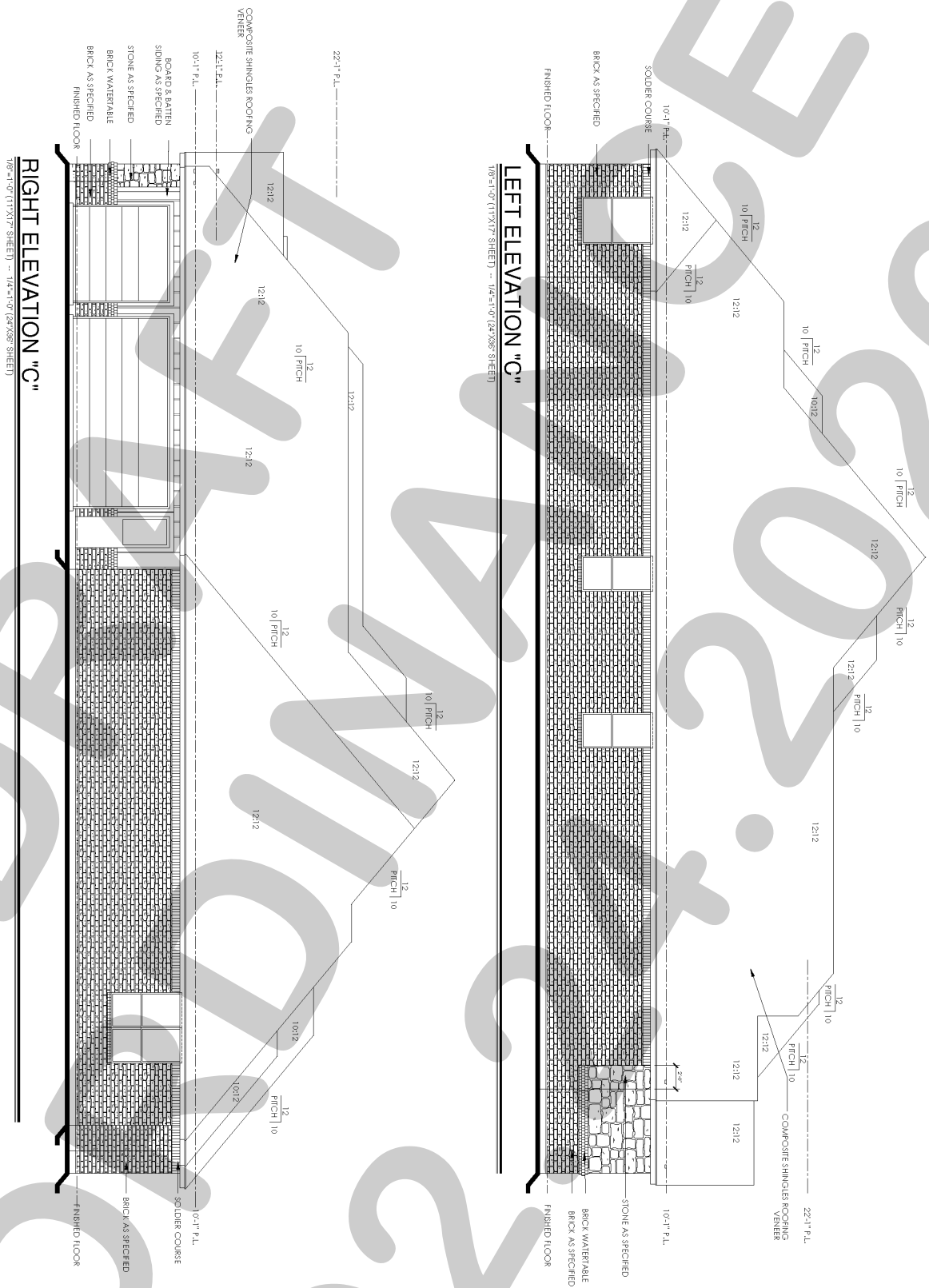
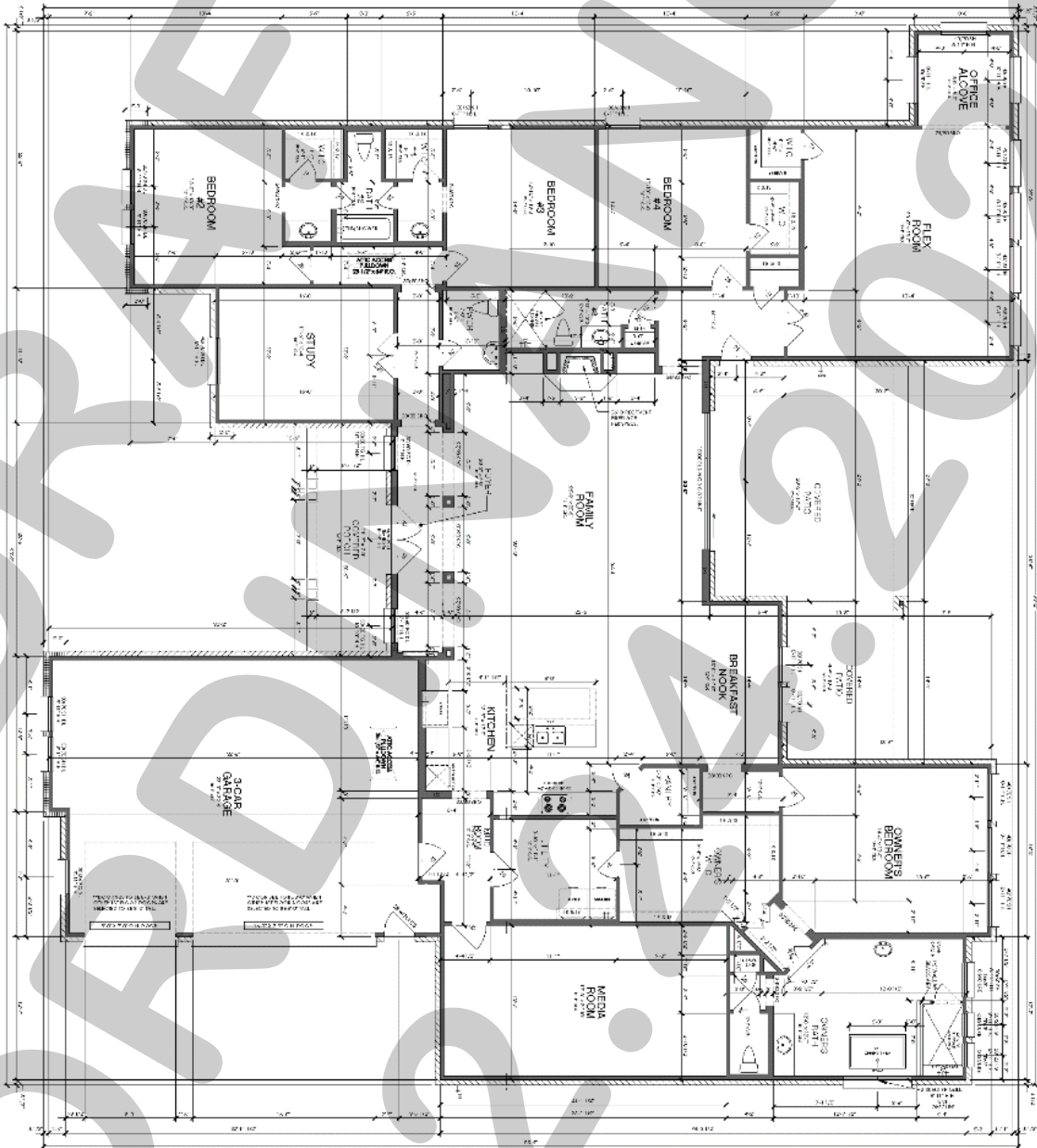


Exhibit 'D':  
Floor Plan

FIRST FLOOR PLAN "C"  
ANSI 117-37-31-201 - 11/20/2002 SHEET





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 10, 2026  
**APPLICANT:** Michael Lewis  
**CASE NUMBER:** Z2026-006; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 2592 FM 549*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP), superseding *Ordinance No. 25-80 [S-389]*, allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

### BACKGROUND

The subject property was annexed on July 21, 1997, by *Ordinance No. 97-14 [Case No. A1997-001]*. At the time of annexation, the property was zoned Agricultural (AG) District. On June 3, 2002, the City Council approved a *Zoning Change [Case No. PZ2001-103]* from Agricultural (AG) District to Single-Family Estate 4.0 (SFE-4.0) District for the Lofland Lake Estates Addition including the subject property. The subject property has remained vacant since annexation. On December 1, 2026, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2025-071; Ordinance No. 25-80, S-389*] for *Residential Infill Adjacent to an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* on the subject property. This ordinance will be superseded by this request should the City Council approve this Specific Use Permit (SUP).

### PURPOSE

The applicant -- *Michael Lewis* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, and Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 2592 FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 4.00-acre parcel of land [*i.e. 2548 S FM-549*] zoned Single-Family Estate 4.0 (SFE-4.0) District. Beyond this are five (5) parcels of land [*i.e. 2516, 2480, 2424, 2390, 2380 S FM-549*] that make up a part of the Lofland Lake Estates Addition. All of these properties are developed with single-family homes and are zoned Single-Family Estate 4.0 (SFE-4.0) District except for 2390 S. FM 549, which is vacant.

South: Directly south of the subject property are two (2) parcels of land [*i.e. 2638 and 2676 S FM-549*], zoned Single Family Estate 4.0 (SFE-4.0) District, and developed with single family homes. Beyond that is seven (7) parcels of land [*i.e. 2716, 2744, 2778, 2816, 2844, 2884, and 2914 S FM-549*], zoned Single-Family Estate 2.0 (SFE-2.0) District, and developed with single family homes. Beyond this is S FM-549 which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**East:** Directly east of the subject property is S FM-549 which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is Homestead Phase 1 Subdivision, which consists of 186 residential lots, was incorporated on July 3, 2024, and is zoned Planned Development 92 (PD-92) for Single-Family 8.4 (SF-8.4) District land uses. Beyond this is the corporate limits of the City of Rockwall.

**West:** Directly west of the subject property is the Somerset Park Phase 2 Subdivision, which consists of 171 residential lots, was incorporated on August 31, 2022, and is zoned Planned Development 63 (PD-63) District for Single Family 10 (SF-10) District land uses. Beyond this is a 16.90-acre tract of land (*i.e. portion of Tract 3, Abstract No. 123, of the A Johnson Survey*), which is zoned Planned Development 103 (PD-103) for limited Commercial (C) District land uses. Beyond this is SH-205 which is classified as a P6D (*i.e. Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located adjacent to Phase 2 of the Lofland Lake Estates Subdivision, which has been in existence since January 6, 1995, consists of seven (7) lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within 500-feet of an established subdivision and being zoned Single-Family Estate 4.0 (SFE-4.0) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...". The following is a summary of observations concerning the housing within Phases 1 & 2 of the Lofland Lake Estates Subdivision compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing within Lofland Lake Estates	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face FM-549
Year Built	1900 - 2022	N/A
Building SF on Property	752 SF – 5,408 SF	5,510 SF
Building Architecture	Mostly Single-Family Homes	Comparable Architecture to the Surrounding New Single-Family Homes
Building Setbacks:		
Front	20-Feet or Greater	86-Feet
Side	10-feet or Greater	69-Feet
Rear	10-feet or Greater	More than 500-Feet
Building Materials	Brick, Siding, and Stone	Stone, Brick, Wood Siding
Roofs	Composite & Asphalt Shingles	Composite and Asphalt Shingle

The Specific Use Permit (SUP) request for the single-family home does appear to be in conformance with the density and dimensional requirements stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties within the Lofland Lake Estates Subdivision and the proposed building elevations in the attached packet.

If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed single-family home. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

**NOTIFICATIONS**

On February 20, 2026, staff mailed 62 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received one (1) notice in opposition of the applicant's request.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 25-80 (S-389)*.
- (2) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.

- b) The construction of a *Single-Family Home* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibits 'C'* and the *Floor Plan* depicted in *Exhibits 'D'* of this ordinance.
- (3) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2592 FM 549

SUBDIVISION Loftland Lake Estates

LOT 2 BLOCK 1

GENERAL LOCATION 2592 FM 549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFE-4

CURRENT USE Residential

PROPOSED ZONING SFE-4

PROPOSED USE Residential

ACREAGE 5.05

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Michael Lewis

APPLICANT Michael Lewis

CONTACT PERSON Michael Lewis

CONTACT PERSON Michael Lewis

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

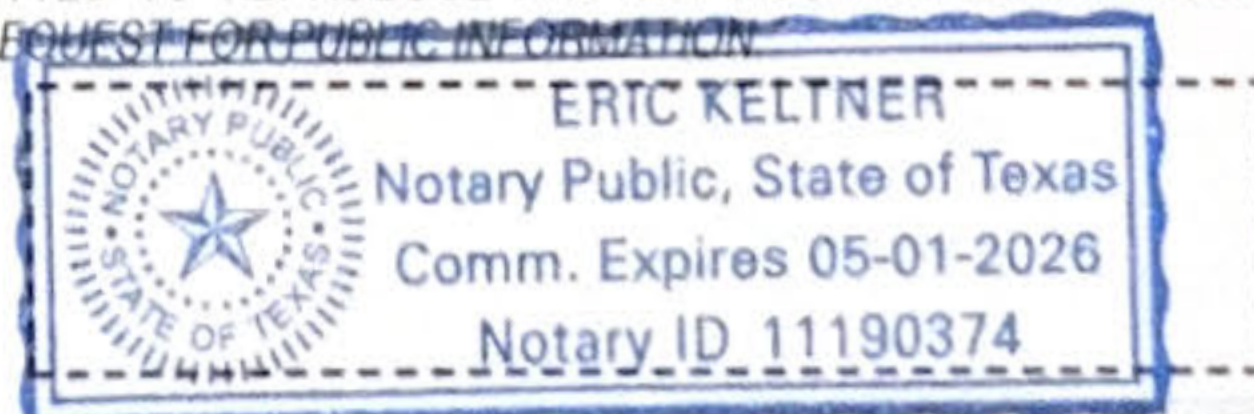
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 275.75 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF February, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

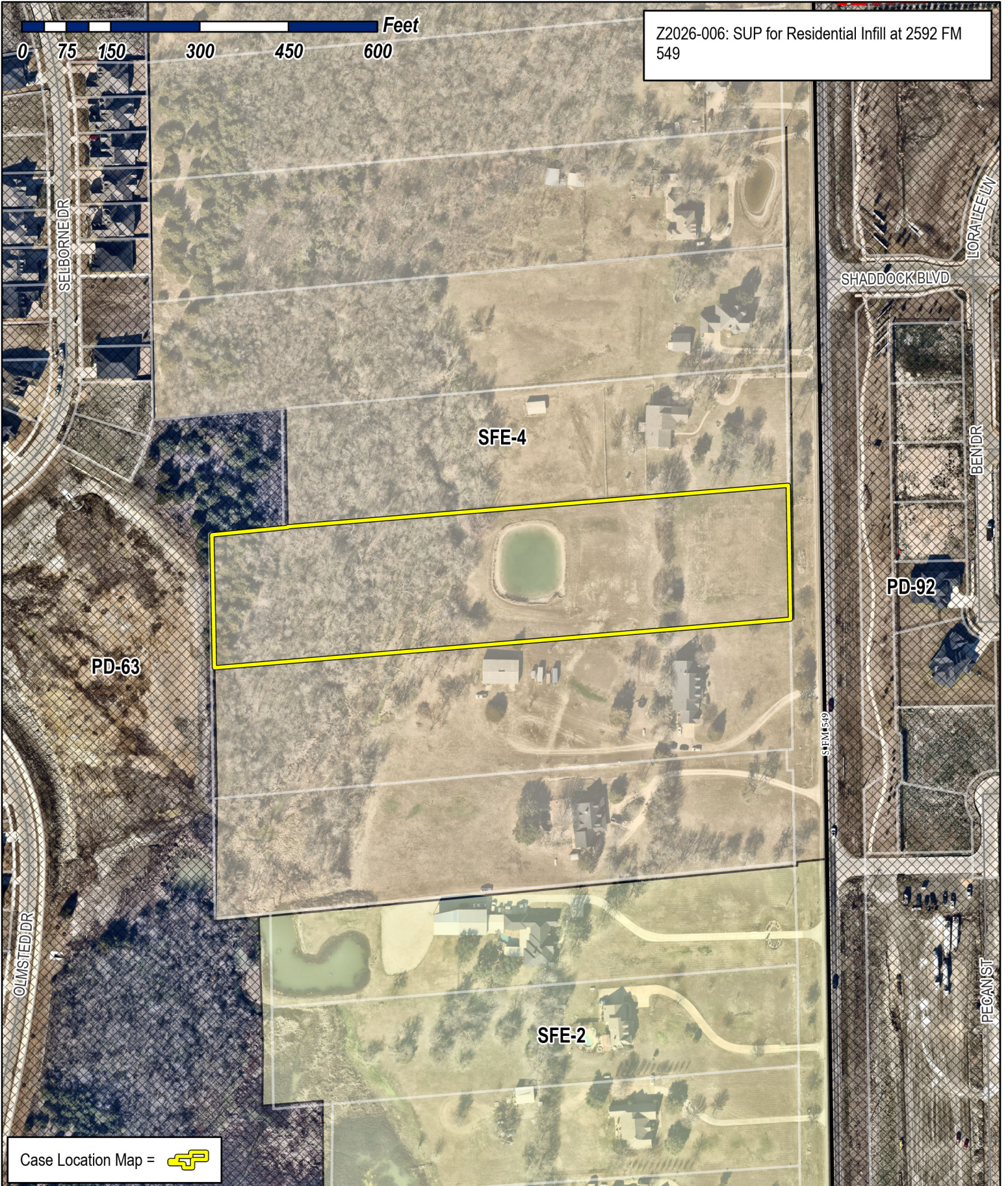
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF February, 2026

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 5/1/2026



Z2026-006: SUP for Residential Infill at 2592 FM 549

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

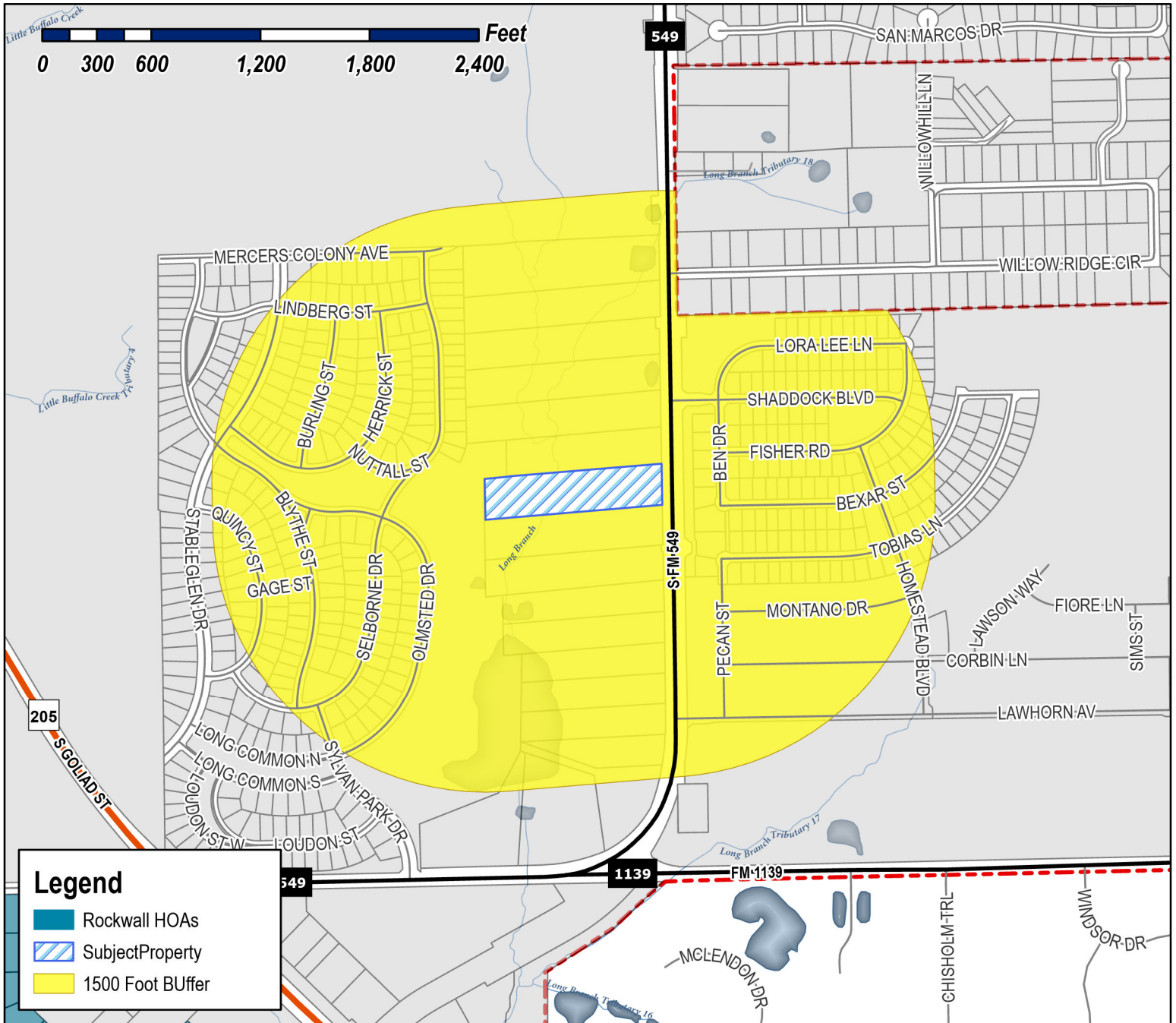




# City of Rockwall

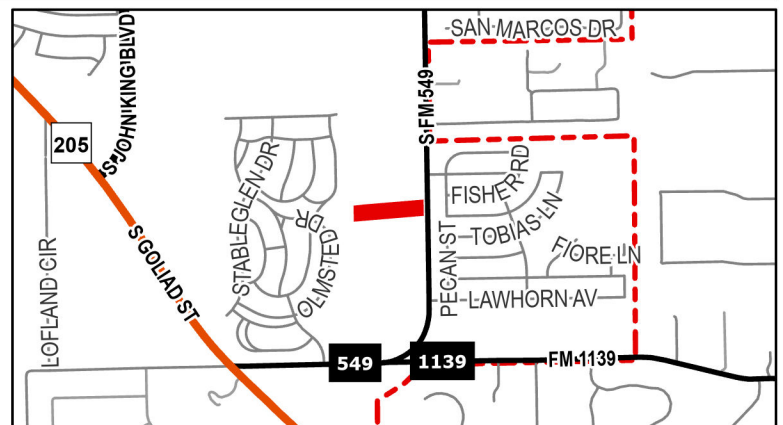
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**Case Number:** Z2026-006  
**Case Name:** SUP for Residential Infill at 2592 FM 549  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 (SFE-4)  
 District  
**Case Address:** 2592 FM 549

**Date Saved:** 2/13/2026  
 For Questions on this Case Call (972) 771-7745

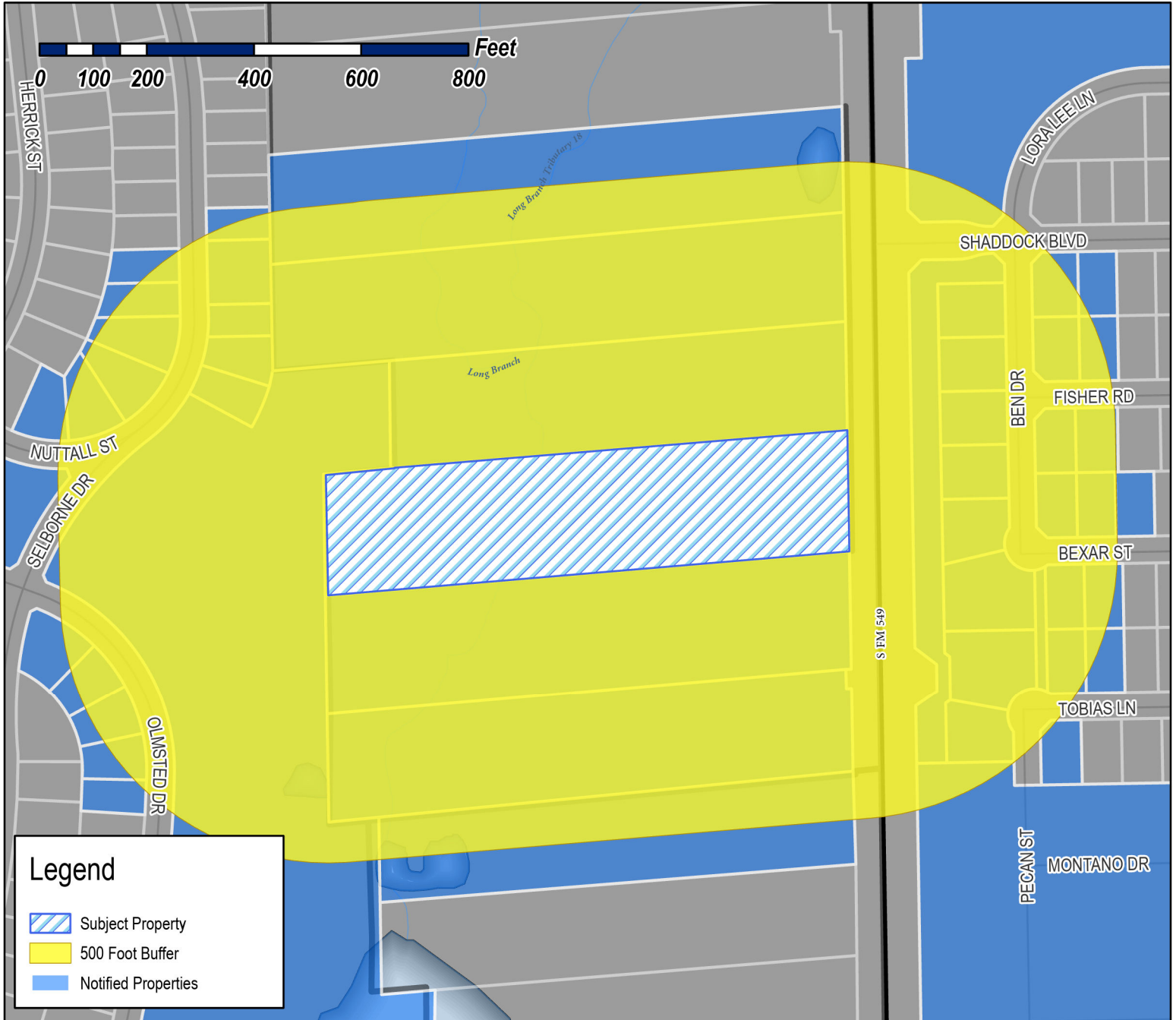




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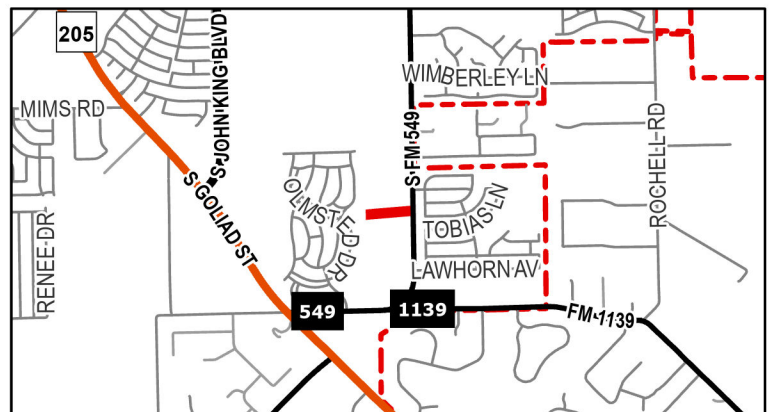
**Legend**

-  Subject Property
-  500 Foot Buffer
-  Notified Properties

**Case Number:** Z2026-006  
**Case Name:** SUP for Residential Infill at 2592 FM 549  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 (SFE-4)  
 District  
**Case Address:** 2592 FM 549

**Date Saved:** 2/13/2026

For Questions on this Case Call: (972) 771-7745



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2026-006: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)*, superseding *Ordinance No. 25-80 [S-389]*, allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 10, 2026 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 16, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 16, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2026-006: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

## Case No. Z2026-006: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I love the fact it is quiet and less homes. I love how we have natural life of the trees and animals. We go on walks everyday and its peaceful w/ fewer homes.

Name: Katelyn N. Wbara  
Address: 3813 Selborne Drive, Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SYVRUD ZACHARY J  
108 Brentwood Dr  
Heath, TX 75032

DFH COVENTRY, LLC  
14701 PHILIPS HWY STE 300  
JACKSONVILLE, FL 32256

GRAND HOMES 2014 LP  
15455 Dallas Pkwy Ste 1000  
Addison, TX 75001

SOMERSET PARK COMMUNITY ASSOCIATION,  
INC  
1800 PRESTON PARK BLVD STE 200  
PLANO, TX 75093

SH DEV KLUTTS ROCKWALL LLC  
2400 DALLAS PARKWAY SUITE 460  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PARKWAY SUITE 560  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PKWY STE 460  
PLANO, TX 75093

ACOSTA ANTHONY  
2480 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L  
2516 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRIS AND SHERRI  
2516 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2521 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2548 FM549  
ROCKWALL, TX 75032

RESIDENT  
2592 FM549  
ROCKWALL, TX 75032

RESIDENT  
2624 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2628 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2638 S FM549  
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M  
2676 FM 549  
ROCKWALL, TX 75032

RESIDENT  
2716 FM549  
ROCKWALL, TX 75032

RESIDENT  
2994 S FM549  
ROCKWALL, TX 75032

RESIDENT  
3100 LORA LEE LN  
ROCKWALL, TX 75032

RESIDENT  
3101 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3101 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3102 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3103 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3103 SHADDOCK BLVD  
ROCKWALL, TX 75032

RESIDENT  
3104 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3105 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3106 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3106 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3107 SHADDOCK BLVD  
ROCKWALL, TX 75032

MORENO JOSE ROBERTO III & ANN MARIE  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3108 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3110 BEXAR ST  
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC  
3500 MAPLE AVENUE #1165  
DALLAS, TX 75219

RESIDENT  
3808 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3813 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3814 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3817 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3820 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3821 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3824 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3825 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3828 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3875 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3950 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3954 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4002 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4006 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4010 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4103 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4107 OLMSTED DR  
ROCKWALL, TX 75032

MCDONALD CHRISTINA MARIE  
4111 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4115 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4119 OLMSTED DR  
ROCKWALL, TX 75032

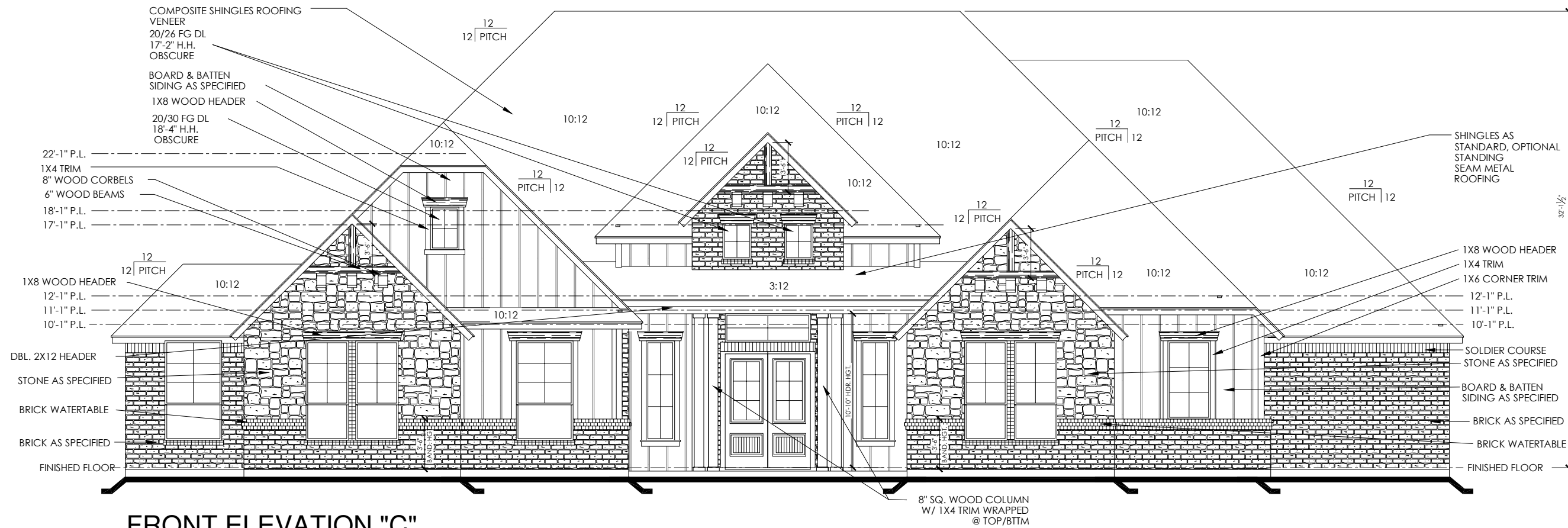
RESIDENT  
4120 PECAN ST  
ROCKWALL, TX 75032

LEWIS MIKE AND  
MAEGAN GREEN  
4208 ASHCREST ST  
MESQUITE, TX 75150

TRI POINTE HOMES DFW, LLC  
6201 W Plano Pkwy Ste 150  
Plano, TX 75093

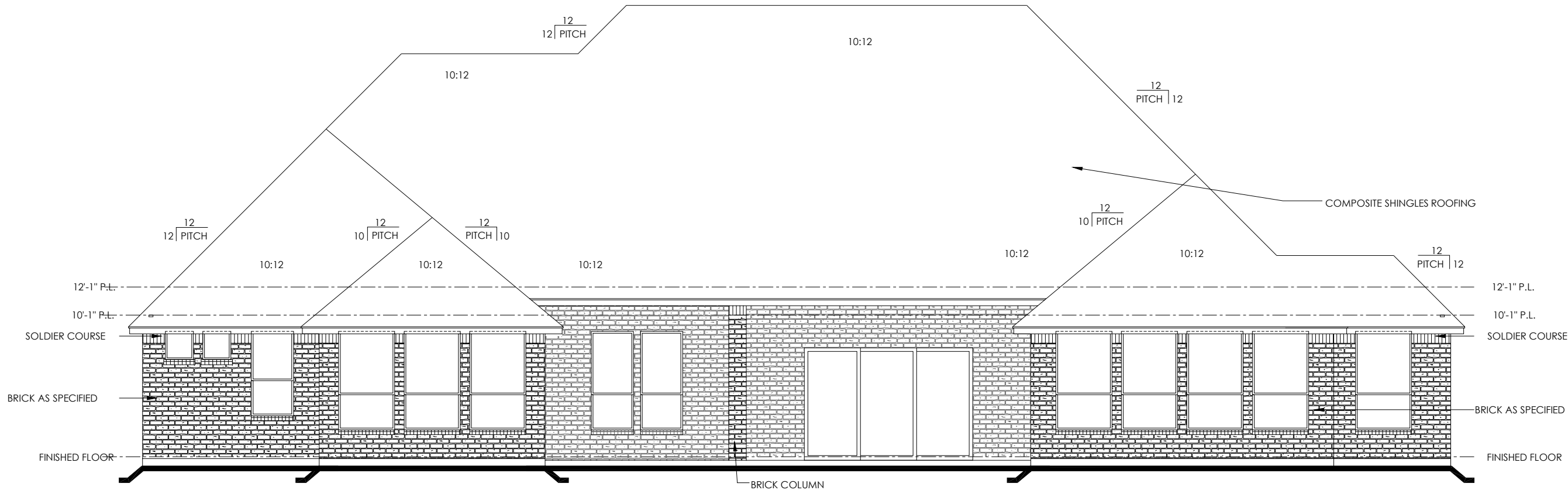
DREES CUSTOM HOMES LP  
6225 N STATE HIGHWAY 161 STE 150  
IRVING, TX 75038

POWERS FAMILY TRUST  
JAMES DWAIN & PATRICIA ANNETTE POWERS  
CO TRUSTEES  
PO BOX 850  
ROCKWALL, TX 75087



**FRONT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



**REAR ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

2592 FM 549

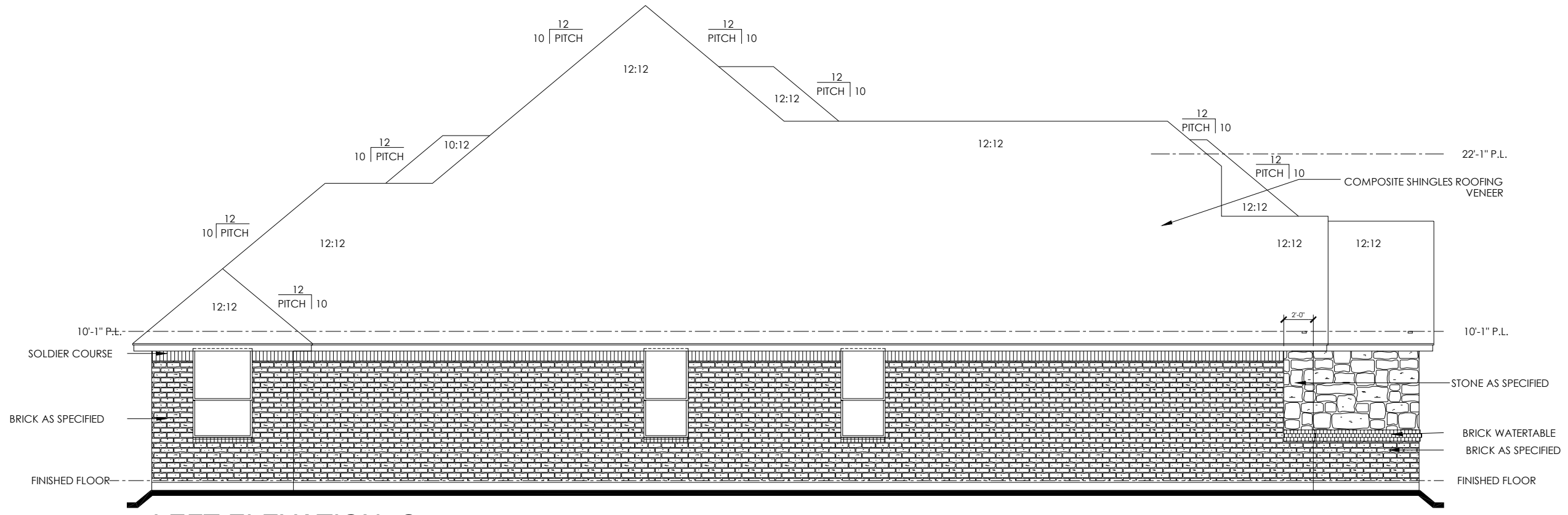
PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

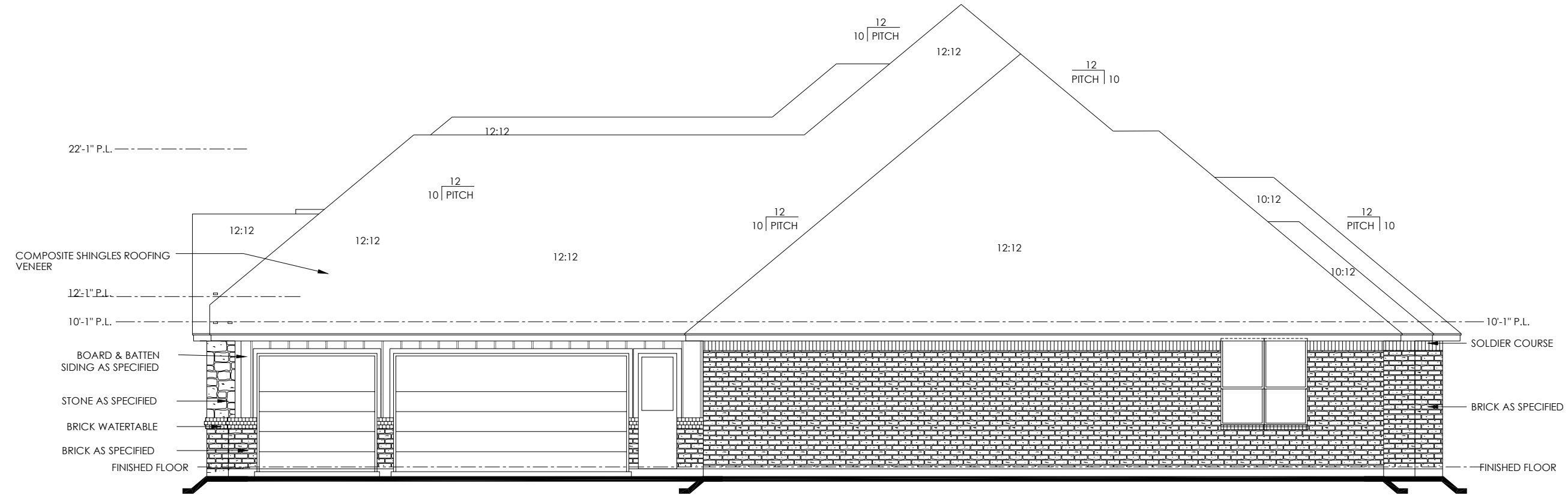
EXTERIOR  
ELEVATIONS "C"

SHEET 5



**LEFT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

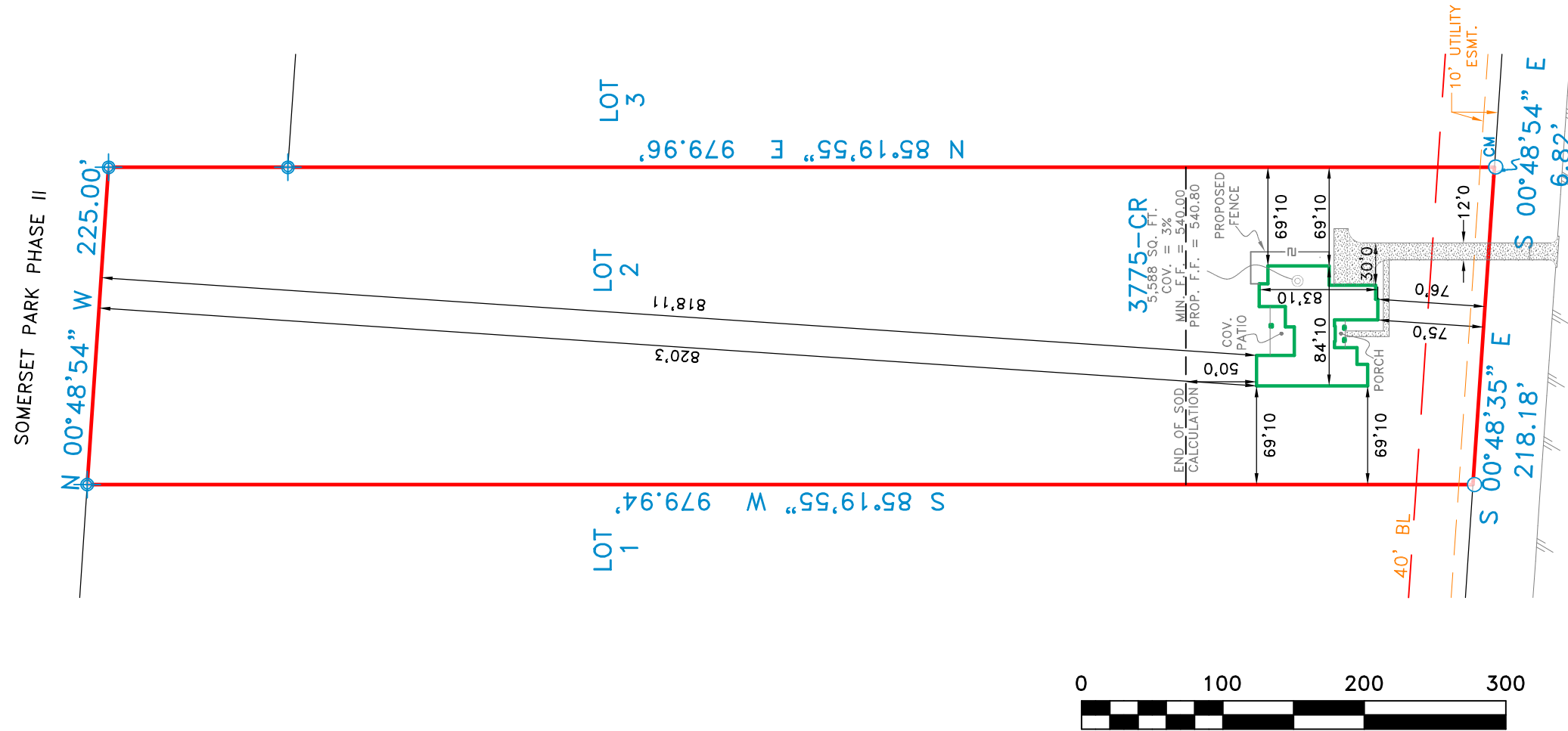


**RIGHT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



PLOT PLAN



**F.M. 549**  
100' R.O.W.

2592 FARM TO MARKET 549  
**LOT 2, BLOCK 1**  
**LOFLAND LAKE ESTATES**  
ROCKWALL, TEXAS

DRAWING IS BASED ON RECORDED PLAT DATED OCT 17, 1994

GENERAL NOTES

SPOT GRADE ELEVATIONS  
AND PAD AREA SHOWN ARE  
BASED ON GRADING PLANS  
PROVIDED BY BUILDER

WATER INLET NOT PRESENT

SCALE: 1" = 100'

SOD REAR:	1,329	SQ. YD.
FRONT & SIDES:	4,181	SQ. YD.
TOTAL SOD:	5,510	SQ. YD.
PATIO:	-	SQ. FT.
LEAD WALK:	326	SQ. FT.
CITY WALK:	-	SQ. FT.
DRIVEWAY:	2,314	SQ. FT.
APPROACH:	261	SQ. FT.
TOTAL:	2,901	SQ. FT.
FENCE:	-	LN. FT.
FENCE:	94	LN. FT.
LOT:	219,989	SQ. FT.

	RETAINING WALL PER GRADING PLAN
	WOOD FENCE
	FLATWORK
	PAD

STRUCTURAL OPTIONS

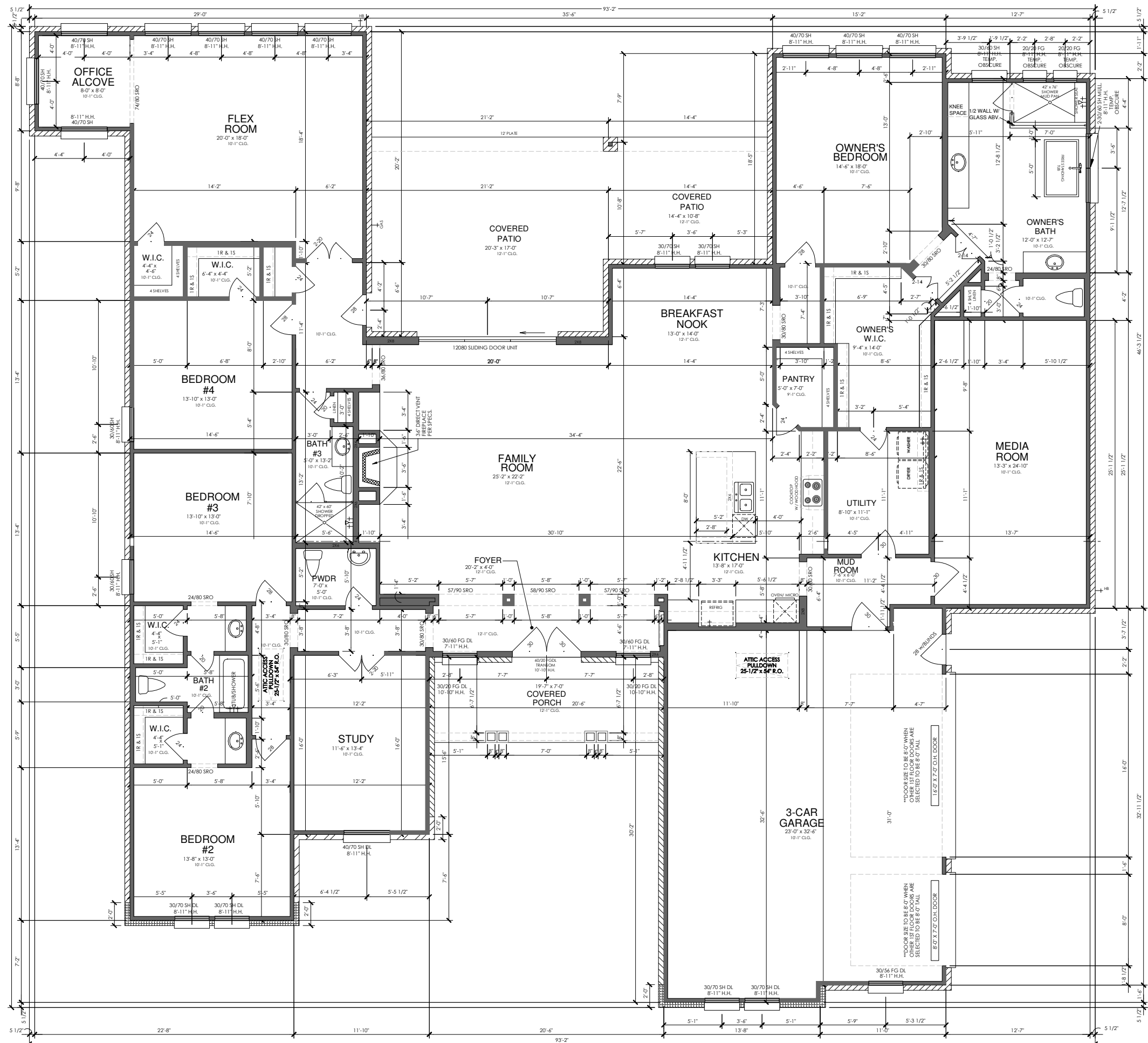
- \* NO OPTIONS
- \* - - - -
- \* - - - -
- \* - - - -

**NOTE: BUILDER TO VERIFY  
ALL INFORMATION LISTED**

CBG SURVEYING TEXAS  
Firm No. 10168800  
(214) 349-9485  
DRAWN BY: AMF  
JOB# 11741  
DATE: 02/11/2026

# FIRST FLOOR PLAN "C"

NTS (11"x17" SHEET) -- NTS (24"x36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

## KINDRED CUSTOM HOMES

PLAN #3775  
SPERRY

FIRST FLOOR  
PLAN "C"

SHEET 1

**ATTIC VENT CALCULATION**

NOTE: ATTIC AREAS WHICH USE THE 1:300 RATIO HAVE BEEN DESIGNED SO THAT 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED IN THE UPPER PORTION OF THE ATTIC SPACE AND 50% IN THE LOWER PORTION.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AGAINST THOSE NOTED ABOVE. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO IRC/IBC REQUIREMENTS.

ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

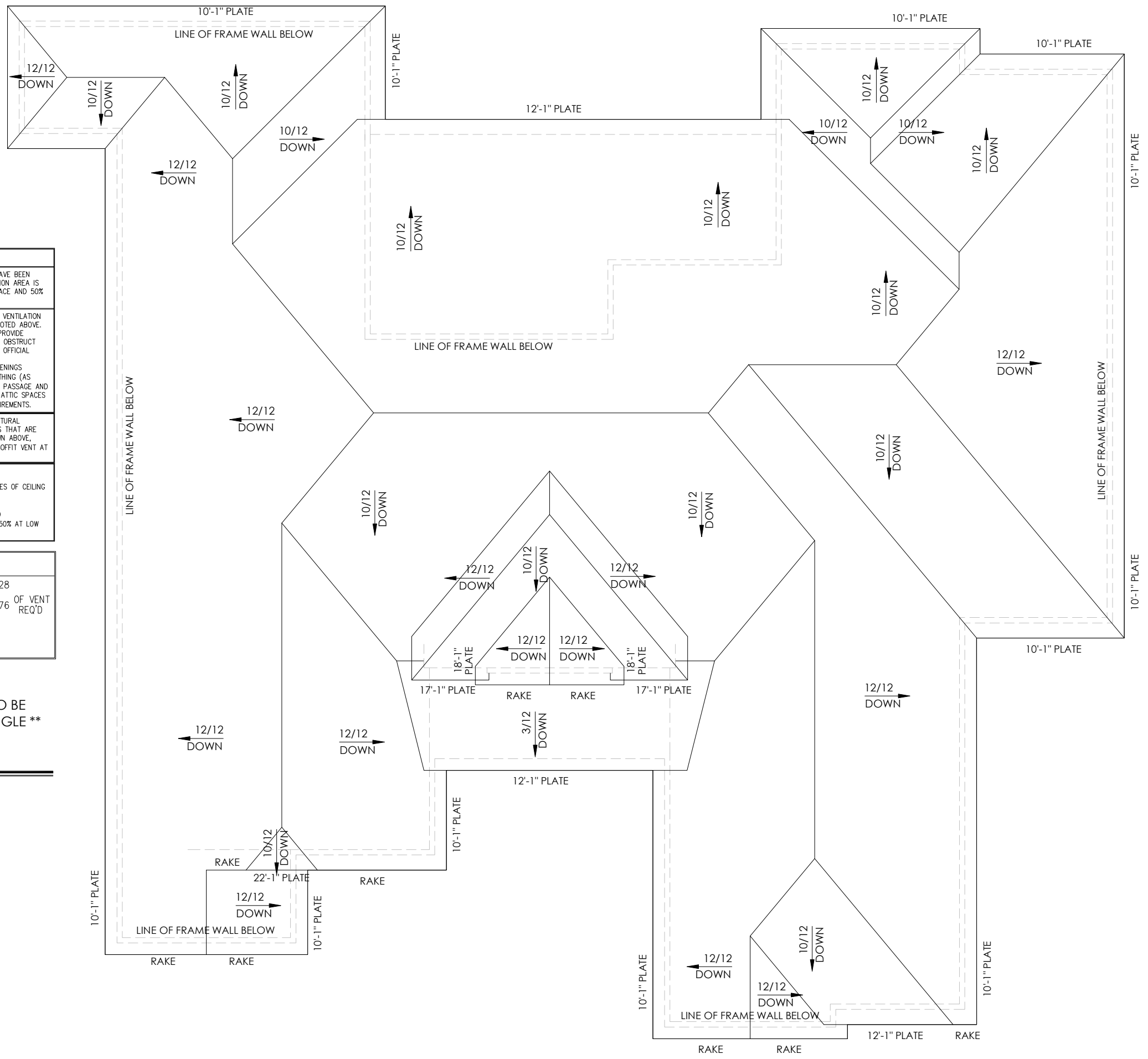
**FORMULA:**  
 1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING  
 \*144 SQ. IN. = 1 SQ. FT.  
 BLDG. CEILING (SF) X 144 BLDG. (SQ. IN.)  
 BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED  
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW  
 (PER 2006 IRC SECTION R806.2)

ATTIC AREA 'C'	
6212 X 144 =	894528
894528 / 300 =	2981.76 OF VENT REQ'D
2981.76 / 2 =	1490.88
1490.88 OF VENT AT HIGH &	
1490.88 OF VENT AT LOW	

\*\* NOTED COMPOSITE ROOF TO BE A 30-YEAR COMPOSITION SHINGLE \*\*

**ROOF PLAN "C"**

NTS (11"X17" SHEET) -- NTS (24"X36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

ROOF PLAN "C"

SHEET 7



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING SF	EXTERIOR MATERIALS
2480 S. FM-549	Single-Family home	1996	3,078	240	Brick
2516 S. FM-549	Single-Family home	1994	3,180	N/A	Siding & Brick
2548 S. FM-549	Single-Family home	1993	2,383	600	Brick
2592 S. FM-549	Single-Family home	Subject Property	5,510	1,267	Stone, Brick, & Siding
2638 S. FM-549	Single-Family home	1998	2,753	2,400	Brick
2676 S. FM-549	Single-Family home	1995	2,791	N/A	Unknown
2716 S. FM-549	Single-Family home	1997	3,421	1,968	Stone & Brick
2744 S. FM-549	Single-Family home	1997	2,105	340	Brick & Siding
2778 S. FM-549	Single-Family home	1997	2,734	720	Stone & Brick
2816 S. FM-549	Single-Family home	1995	2,543	1,200	Brick & Siding
2844 S. FM-549	Single-Family home	1996	4,076	480	Brick
2884 S. FM-549	Single-Family home	1996	2,204	3,600	Brick & Stone
2914 S. FM-549	Single-Family home	2001	2,933	875	Brick
	AVERAGES:	1980	2,884	1,245	



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

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2480 S. FM-549



2498 S. FM-549



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

**PLANNING AND ZONING DEPARTMENT**

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2548 S. FM-549



2638 S. FM-549



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

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2716 S. FM-549



2744 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

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2778 S. FM-548



2816 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

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2844 S. FM-549



2884 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

### PLANNING AND ZONING DEPARTMENT

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2914 S. S. FM-549

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 5.05-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, LOFLAND LAKE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* to allow the construction of a single family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM 549, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 25-80 (S-389)*.

**SECTION 2.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 3.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.04, *General Residential District Standards*, and Subsection 03.09, *Single Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and *Guest Quarters/Secondary Living Unit* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Single-Family Home* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibits 'C'* and the *Floor Plan* depicted in *Exhibits 'D'* of this ordinance.

### 3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF APRIL, 2026.

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2026

2<sup>nd</sup> Reading: April 6, 2026

**Exhibit 'A':  
Location Map**

Address: 2592 FM-549

Legal Description: Lot 2, Block 1, Lofland Lake Estates Addition



**Exhibit 'B':  
Residential Plot Plan**

GENERAL NOTES  
SPOT GRADE ELEVATIONS



DRAFT  
ORDINANCE 2026

SOMERSET PARK PHASE II

N 00°48'54" W 225.00'

APPROXIMATE LOCATION OF  
VARIABLE WIDTH FLOOD  
ESMT. VOL. 91, PG. 563

APPROX. LOCATION  
ZONE AE 100YR  
4859700043L  
DATE 08/26/2008

TOP OF BANK  
820'3  
818'11

APPROX. LOCATION  
ZONE X N.F.H.A.

LOT 1

LOT 2

LOT 3

3775-CR  
5,568 SQ. FT.  
COV. = 3%MIN. F.F. = 843.00  
PROP. F.F. = 584.00

END OF SOD  
CALCULATION

50'0  
COV. PATIO  
PROPOSED FENCE

69'10  
84'10  
83'10  
69'10  
69'10

69'10 PORCH 30'0

40' BL

10' UTILITY  
ESMT.

APPROX. LOC. OF  
FIBER OPTIC LINE

APPROX. LOC. OF  
12" WATER LINE

S 00°48'35" E 218.18'  
S 00°48'54" E 6.82'

**F.M. 549**  
100' R.O.W.





**Exhibit 'C':**  
**Building Elevations**

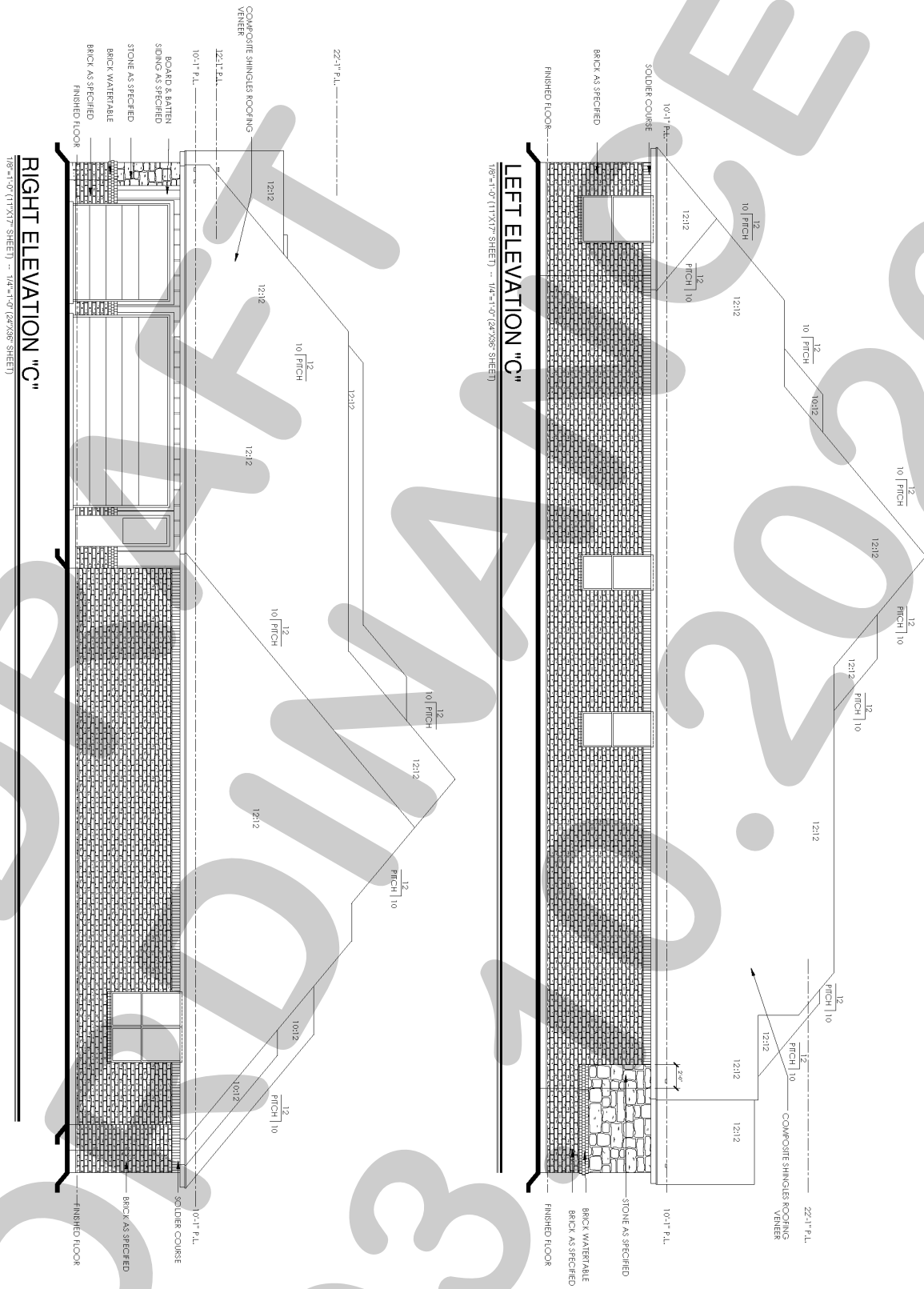
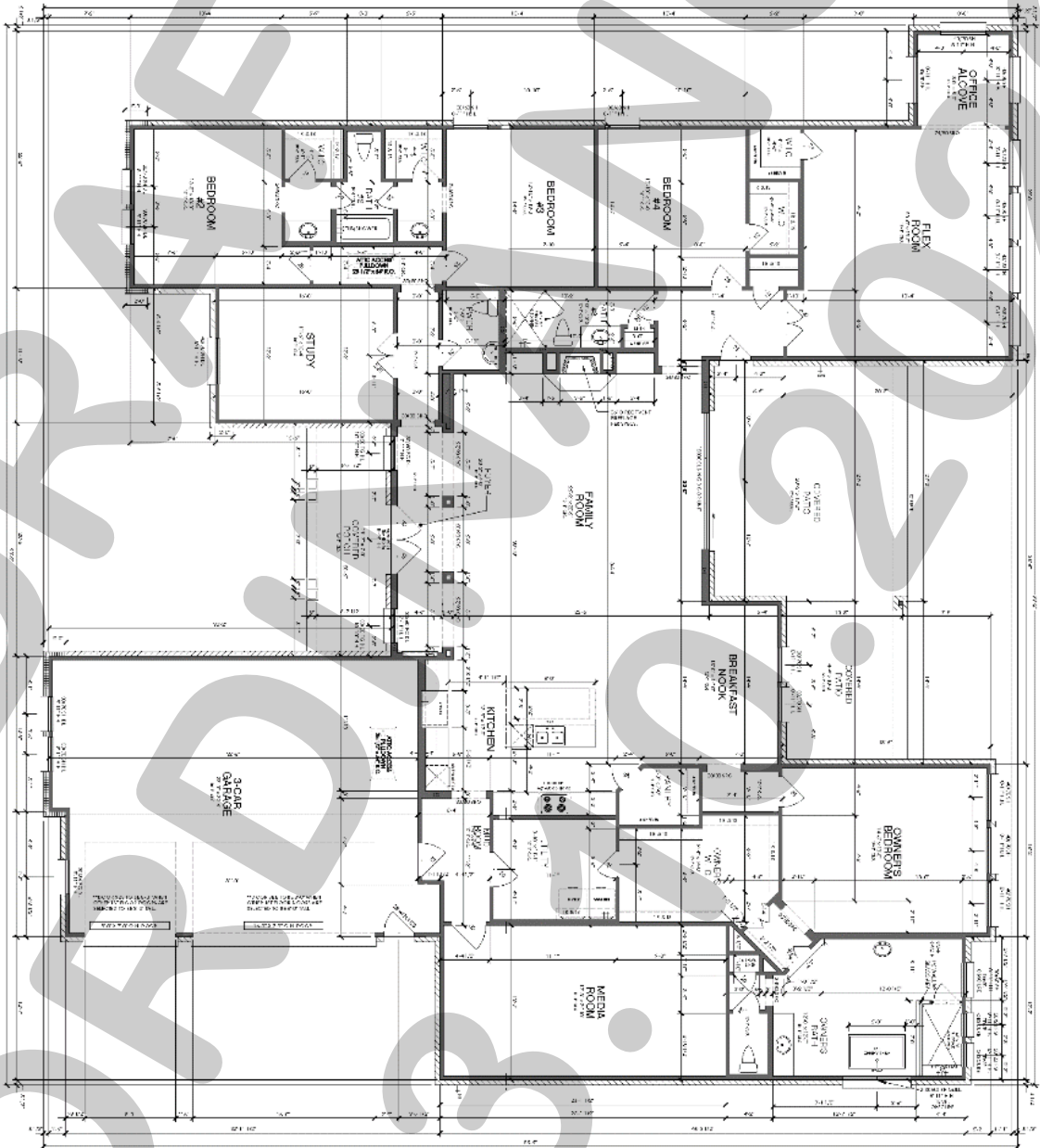


Exhibit 'D':  
Floor Plan

FIRST FLOOR PLAN "C"  
ANSI 111 X17 SIZE - 1/8" = 1'-0" SHEET





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** March 16, 2026  
**APPLICANT:** Michael Lewis  
**CASE NUMBER:** Z2026-006; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 2592 FM 549*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP), superseding *Ordinance No. 25-80 [S-389]*, allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

### BACKGROUND

The subject property was annexed on July 21, 1997, by *Ordinance No. 97-14 [Case No. A1997-001]*. At the time of annexation, the property was zoned Agricultural (AG) District. On June 3, 2002, the City Council approved a *Zoning Change [Case No. PZ2001-103]* from Agricultural (AG) District to Single-Family Estate 4.0 (SFE-4.0) District for the Lofland Lake Estates Addition including the subject property. The subject property has remained vacant since annexation. On December 1, 2026, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2025-071; Ordinance No. 25-80, S-389*] for *Residential Infill Adjacent to an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* on the subject property. This ordinance will be superseded by this request should the City Council approve this Specific Use Permit (SUP).

### PURPOSE

The applicant -- *Michael Lewis* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, and Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 2592 FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 4.00-acre parcel of land [*i.e. 2548 S FM-549*] zoned Single-Family Estate 4.0 (SFE-4.0) District. Beyond this are five (5) parcels of land [*i.e. 2516, 2480, 2424, 2390, 2380 S FM-549*] that make up a part of the Lofland Lake Estates Addition. All of these properties are developed with single-family homes and are zoned Single-Family Estate 4.0 (SFE-4.0) District except for 2390 S. FM 549, which is vacant.

South: Directly south of the subject property are two (2) parcels of land [*i.e. 2638 and 2676 S FM-549*], zoned Single Family Estate 4.0 (SFE-4.0) District, and developed with single family homes. Beyond that is seven (7) parcels of land [*i.e. 2716, 2744, 2778, 2816, 2844, 2884, and 2914 S FM-549*], zoned Single-Family Estate 2.0 (SFE-2.0) District, and developed with single family homes. Beyond this is S FM-549 which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**East:** Directly east of the subject property is S FM-549 which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is Homestead Phase 1 Subdivision, which consists of 186 residential lots, was incorporated on July 3, 2024, and is zoned Planned Development 92 (PD-92) for Single-Family 8.4 (SF-8.4) District land uses. Beyond this is the corporate limits of the City of Rockwall.

**West:** Directly west of the subject property is the Somerset Park Phase 2 Subdivision, which consists of 171 residential lots, was incorporated on August 31, 2022, and is zoned Planned Development 63 (PD-63) District for Single Family 10 (SF-10) District land uses. Beyond this is a 16.90-acre tract of land (*i.e. portion of Tract 3, Abstract No. 123, of the A Johnson Survey*), which is zoned Planned Development 103 (PD-103) for limited Commercial (C) District land uses. Beyond this is SH-205 which is classified as a P6D (*i.e. Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located adjacent to Phase 2 of the Lofland Lake Estates Subdivision, which has been in existence since January 6, 1995, consists of seven (7) lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within 500-feet of an established subdivision and being zoned Single-Family Estate 4.0 (SFE-4.0) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...". The following is a summary of observations concerning the housing within Phases 1 & 2 of the Lofland Lake Estates Subdivision compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing within Lofland Lake Estates	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face FM-549
Year Built	1900 - 2022	N/A
Building SF on Property	752 SF – 5,408 SF	5,510 SF
Building Architecture	Mostly Single-Family Homes	Comparable Architecture to the Surrounding New Single-Family Homes
Building Setbacks:		
Front	20-Feet or Greater	86-Feet
Side	10-feet or Greater	69-Feet
Rear	10-feet or Greater	More than 500-Feet
Building Materials	Brick, Siding, and Stone	Stone, Brick, Wood Siding
Roofs	Composite & Asphalt Shingles	Composite and Asphalt Shingle

The Specific Use Permit (SUP) request for the single-family home does appear to be in conformance with the density and dimensional requirements stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties within the Lofland Lake Estates Subdivision and the proposed building elevations in the attached packet.

If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed single-family home. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

**NOTIFICATIONS**

On February 20, 2026, staff mailed 62 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received one (1) notice in opposition of the applicant's request.

**CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 25-80 (S-389)*.
- (2) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.

- b) The construction of a *Single-Family Home* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibits 'C'* and the *Floor Plan* depicted in *Exhibits 'D'* of this ordinance.
- (3) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On March 10, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 5-0, with Commissioners Brock and Bentley absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2592 FM 549

SUBDIVISION Loftland Lake Estates

LOT 2 BLOCK 1

GENERAL LOCATION 2592 FM 549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFE-4

CURRENT USE Residential

PROPOSED ZONING SFE-4

PROPOSED USE Residential

ACREAGE 5.05

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Michael Lewis

APPLICANT Michael Lewis

CONTACT PERSON Michael Lewis

CONTACT PERSON Michael Lewis

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

## NOTARY VERIFICATION [REQUIRED]

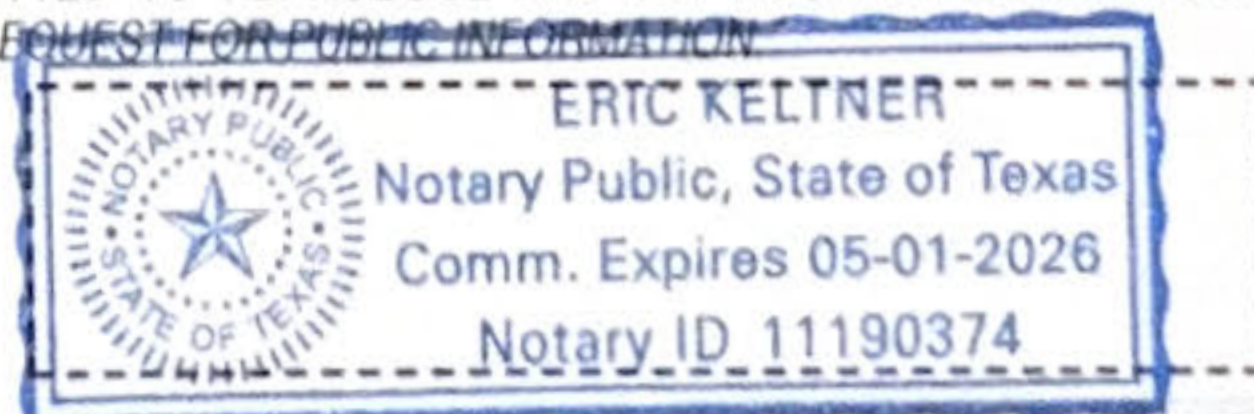
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 275.75 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF February, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

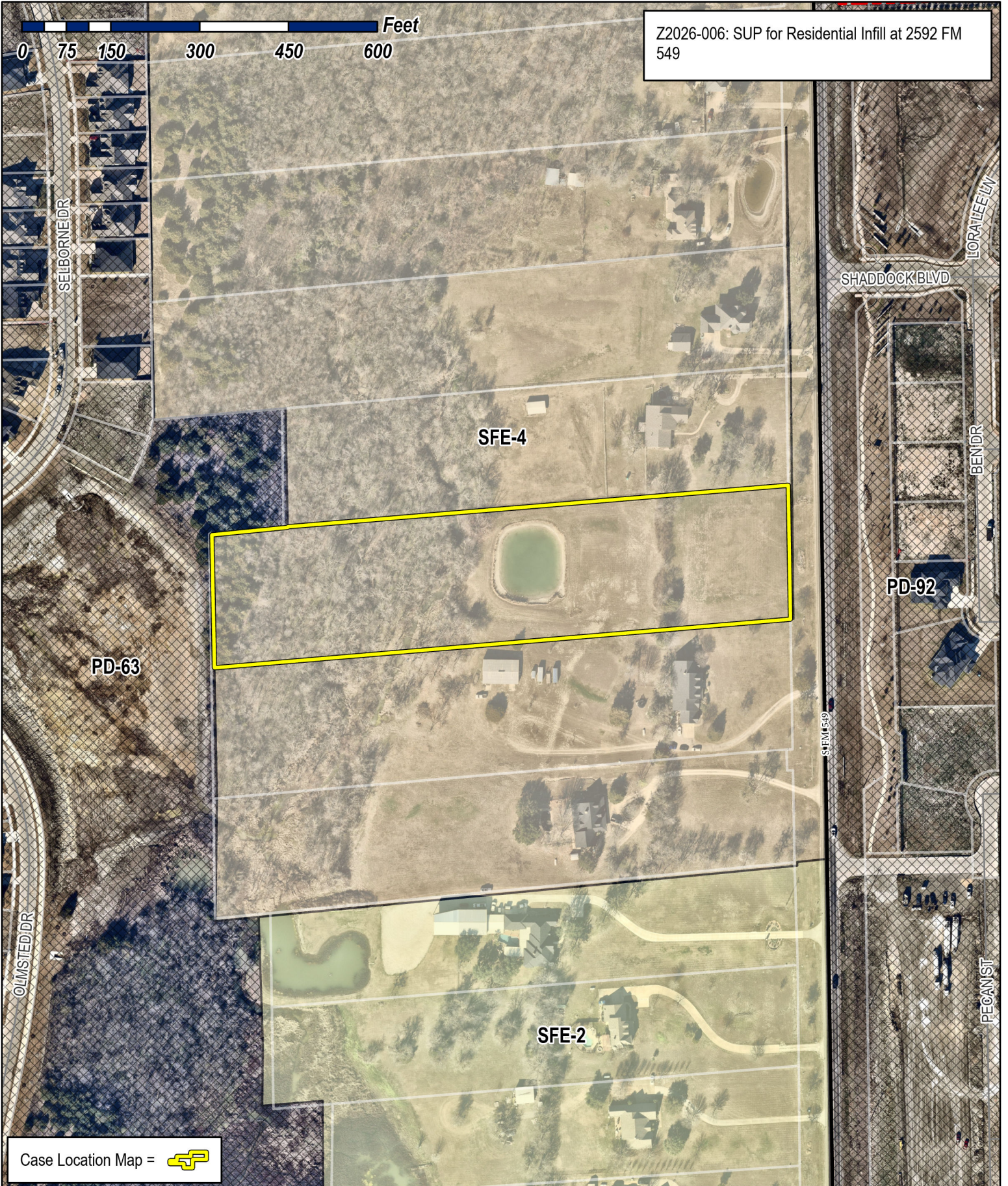
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF February, 2026

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 5/1/2026



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

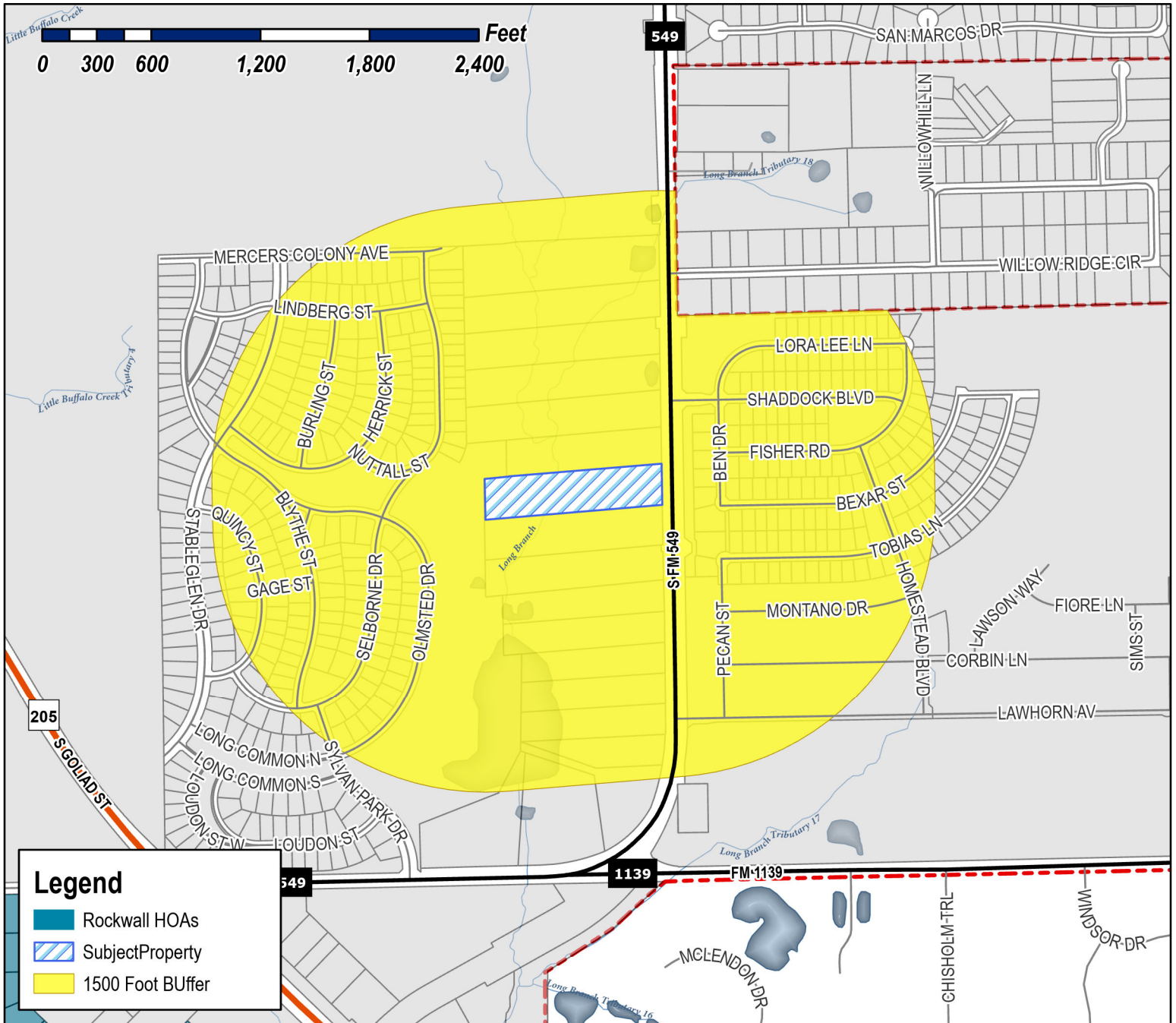




# City of Rockwall

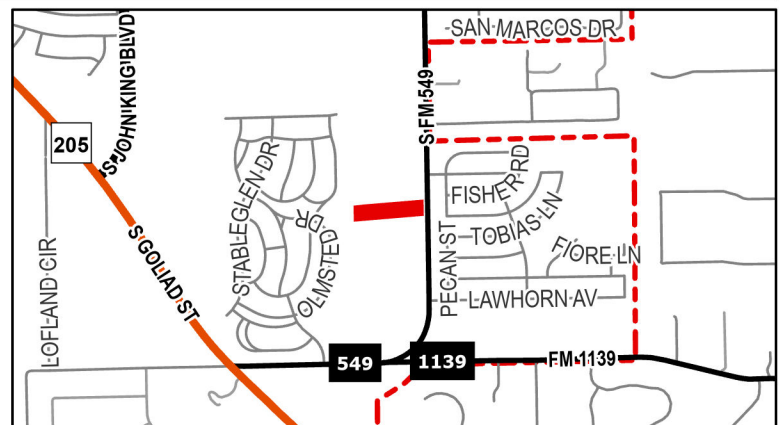
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**Case Number:** Z2026-006  
**Case Name:** SUP for Residential Infill at 2592 FM 549  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 (SFE-4)  
**Case Address:** 2592 FM 549

**Date Saved:** 2/13/2026  
 For Questions on this Case Call (972) 771-7745

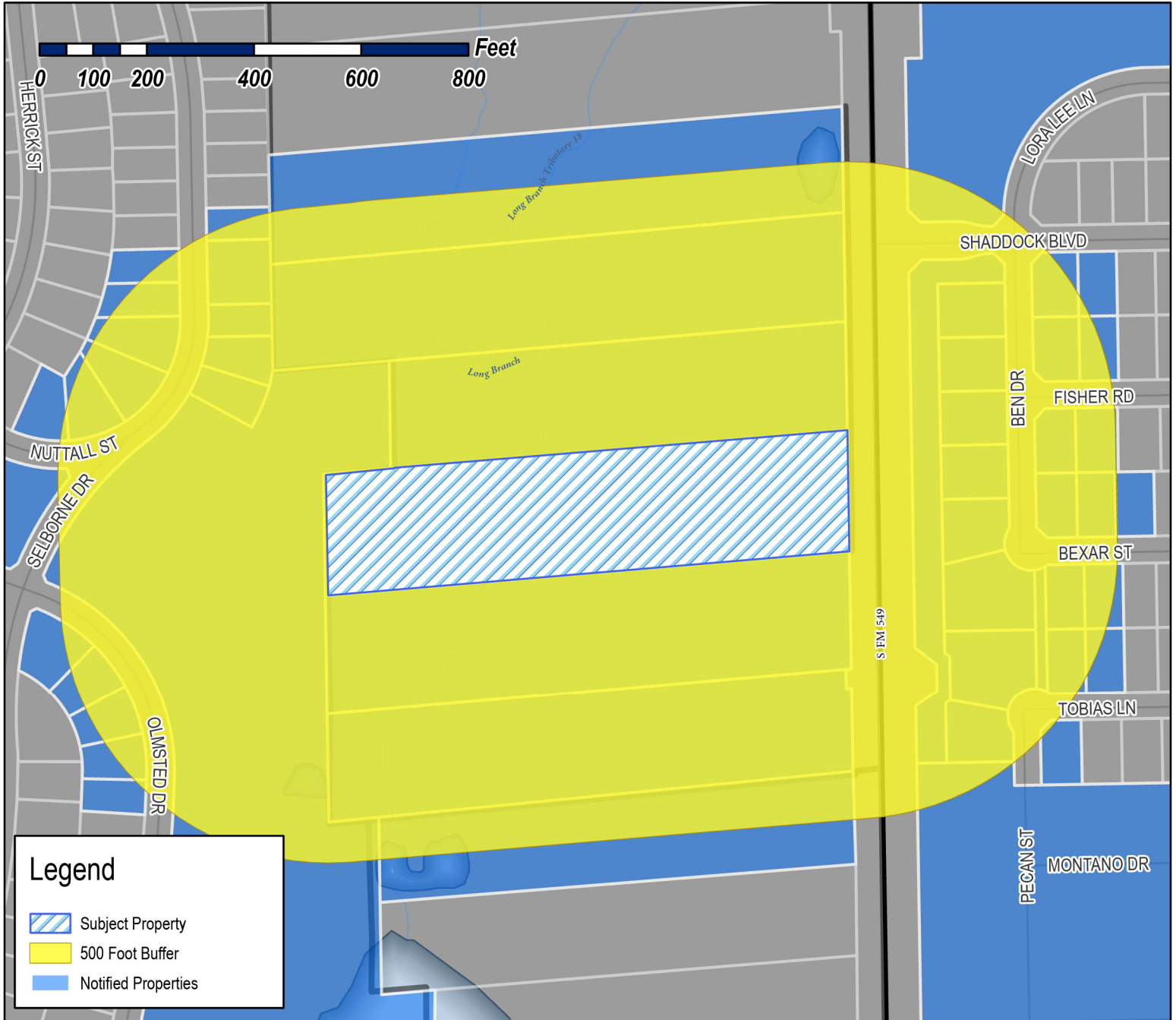




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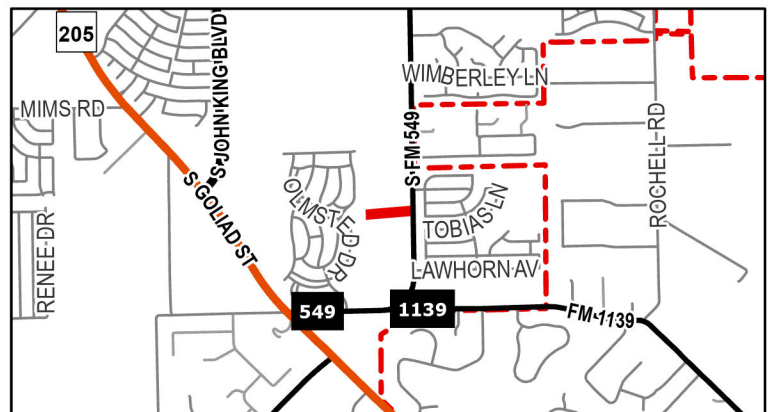
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**Date Saved:** 2/13/2026

For Questions on this Case Call: (972) 771-7745



SYVRUD ZACHARY J  
108 Brentwood Dr  
Heath, TX 75032

DFH COVENTRY, LLC  
14701 PHILIPS HWY STE 300  
JACKSONVILLE, FL 32256

GRAND HOMES 2014 LP  
15455 Dallas Pkwy Ste 1000  
Addison, TX 75001

SOMERSET PARK COMMUNITY ASSOCIATION,  
INC  
1800 PRESTON PARK BLVD STE 200  
PLANO, TX 75093

SH DEV KLUTTS ROCKWALL LLC  
2400 DALLAS PARKWAY SUITE 460  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PARKWAY SUITE 560  
PLANO, TX 75093

SHADDOCK HOMES, LTD  
2400 DALLAS PKWY STE 460  
PLANO, TX 75093

ACOSTA ANTHONY  
2480 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L  
2516 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRIS AND SHERRI  
2516 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2521 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2548 FM549  
ROCKWALL, TX 75032

RESIDENT  
2592 FM549  
ROCKWALL, TX 75032

RESIDENT  
2624 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2628 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2638 S FM549  
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M  
2676 FM 549  
ROCKWALL, TX 75032

RESIDENT  
2716 FM549  
ROCKWALL, TX 75032

RESIDENT  
2994 S FM549  
ROCKWALL, TX 75032

RESIDENT  
3100 LORA LEE LN  
ROCKWALL, TX 75032

RESIDENT  
3101 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3101 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3102 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3103 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3103 SHADDOCK BLVD  
ROCKWALL, TX 75032

RESIDENT  
3104 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3105 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3106 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3106 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3107 SHADDOCK BLVD  
ROCKWALL, TX 75032

MORENO JOSE ROBERTO III & ANN MARIE  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3108 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3110 BEXAR ST  
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC  
3500 MAPLE AVENUE #1165  
DALLAS, TX 75219

RESIDENT  
3808 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3813 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3814 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3817 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3820 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3821 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3824 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3825 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3828 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3875 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3950 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3954 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4002 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4006 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4010 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4103 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4107 OLMSTED DR  
ROCKWALL, TX 75032

MCDONALD CHRISTINA MARIE  
4111 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4115 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4119 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4120 PECAN ST  
ROCKWALL, TX 75032

LEWIS MIKE AND  
MAEGAN GREEN  
4208 ASHCREST ST  
MESQUITE, TX 75150

TRI POINTE HOMES DFW, LLC  
6201 W Plano Pkwy Ste 150  
Plano, TX 75093

DREES CUSTOM HOMES LP  
6225 N STATE HIGHWAY 161 STE 150  
IRVING, TX 75038

POWERS FAMILY TRUST  
JAMES DWAIN & PATRICIA ANNETTE POWERS  
CO TRUSTEES  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2026-006: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)*, superseding *Ordinance No. 25-80 [S-389]*, allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 10, 2026 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 16, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 16, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2026-006: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
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**Ryan Miller, AICP**  
Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2026-006: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

I love the fact it is quiet and less homes. I love how we have natural life of the trees and animals. We go on walks everyday and its peaceful w/ fewer homes.

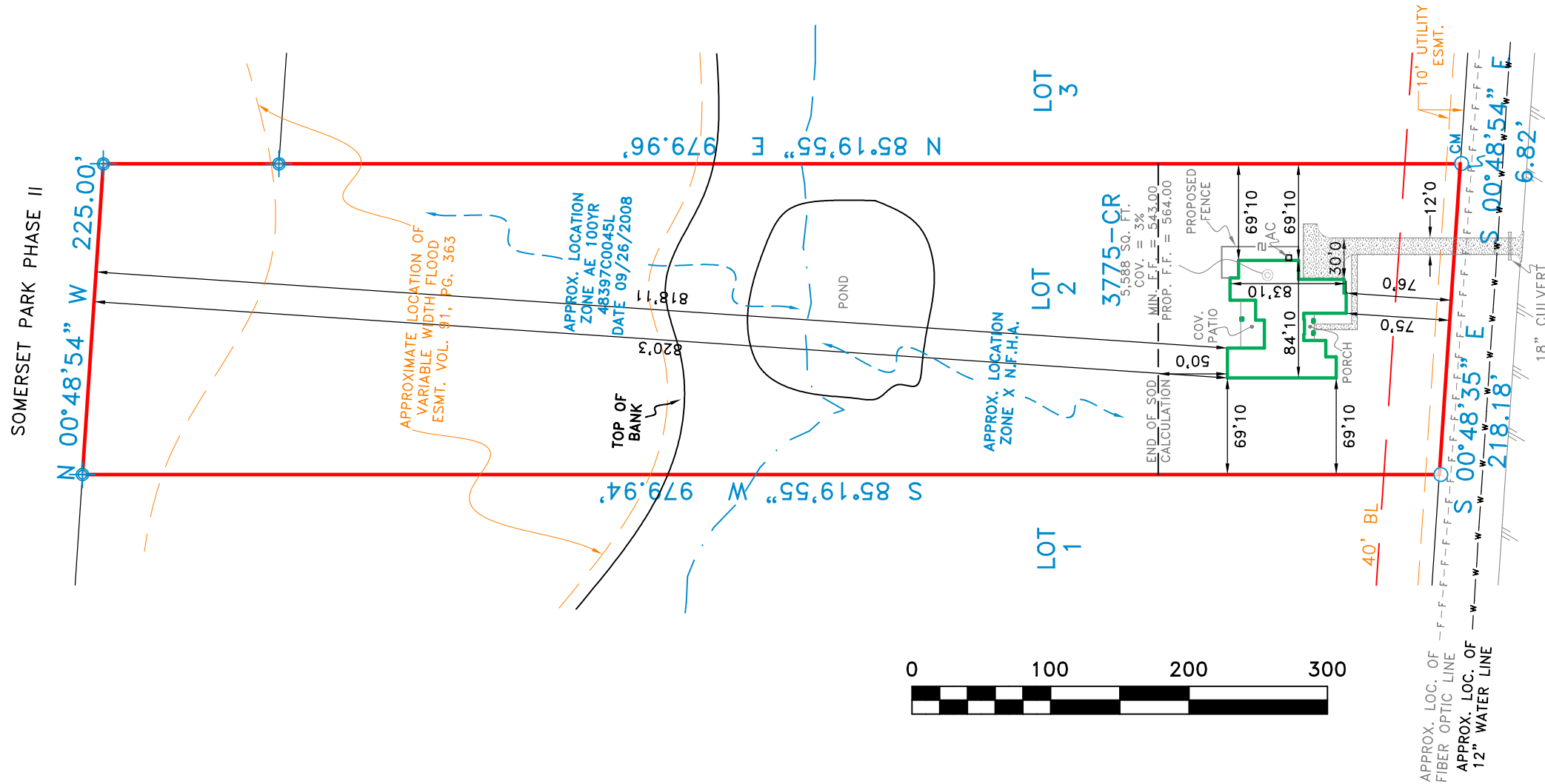
Name: Katelyn N. Wbara  
Address: 3813 Selborne Drive, Rockwall, TX 75032

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



PLOT PLAN



**F.M. 549**  
100' R.O.W.

2592 FARM TO MARKET 549  
**LOT 2, BLOCK 1**  
**LOFLAND LAKE ESTATES**  
ROCKWALL, TEXAS

DRAWING IS BASED ON RECORDED PLAT DATED OCT 17, 1994

GENERAL NOTES

SPOT GRADE ELEVATIONS AND PAD AREA SHOWN ARE BASED ON GRADING PLANS PROVIDED BY BUILDER

WATER INLET NOT PRESENT

SCALE: 1" = 100'

SOD REAR:	1,329	SQ. YD.
FRONT & SIDES:	4,181	SQ. YD.
TOTAL SOD:	5,510	SQ. YD.
PATIO:	-	SQ. FT.
LEAD WALK:	326	SQ. FT.
CITY WALK:	-	SQ. FT.
DRIVEWAY:	2,314	SQ. FT.
APPROACH:	261	SQ. FT.
TOTAL:	2,901	SQ. FT.
FENCE:	-	LN. FT.
FENCE:	94	LN. FT.
LOT:	219,989	SQ. FT.

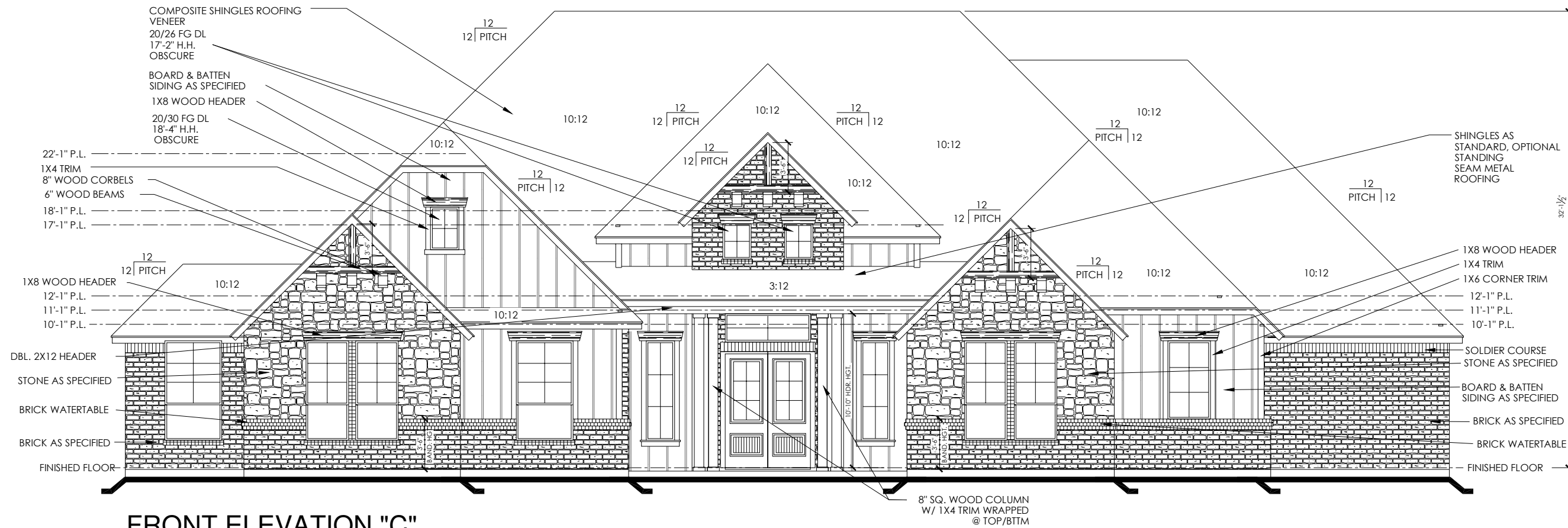
	RETAINING WALL PER GRADING PLAN
	WOOD FENCE
	FLATWORK
	PAD

STRUCTURAL OPTIONS

- \* NO OPTIONS
- \* ---
- \* ---
- \* ---

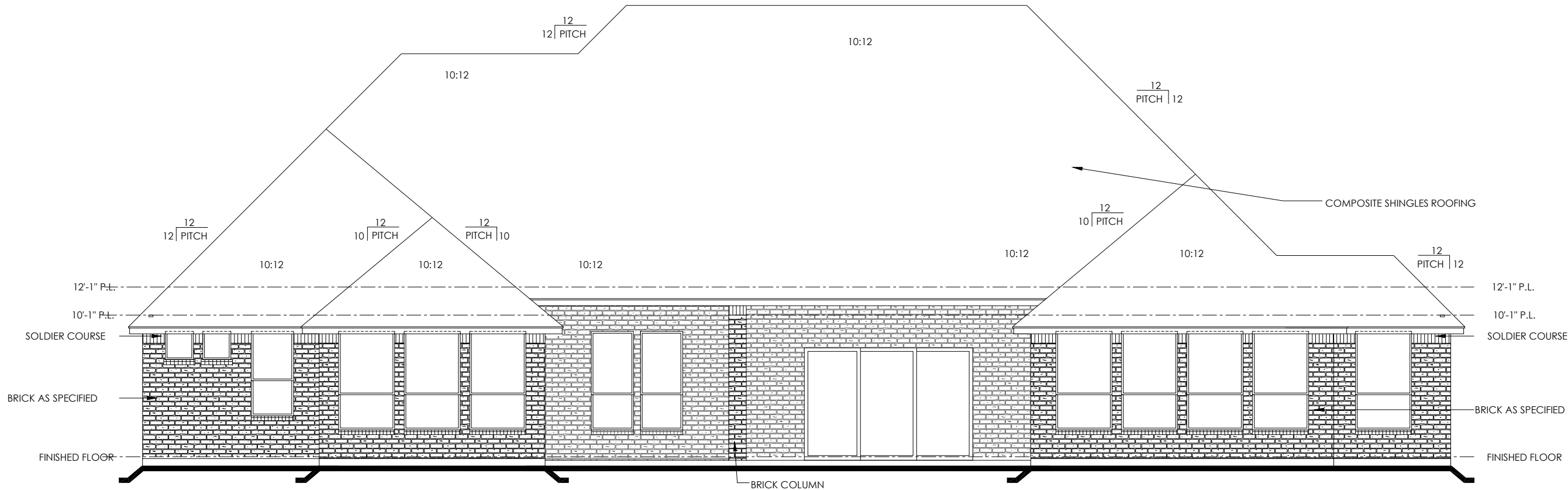
**NOTE: BUILDER TO VERIFY ALL INFORMATION LISTED**

CBG SURVEYING TEXAS  
Firm No. 10168800  
(214) 349-9485  
DRAWN BY: AMF  
JOB# 11741  
DATE: 02/11/2026  
REV. DATE: 02/23/2026



**FRONT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)



**REAR ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

2592 FM 549

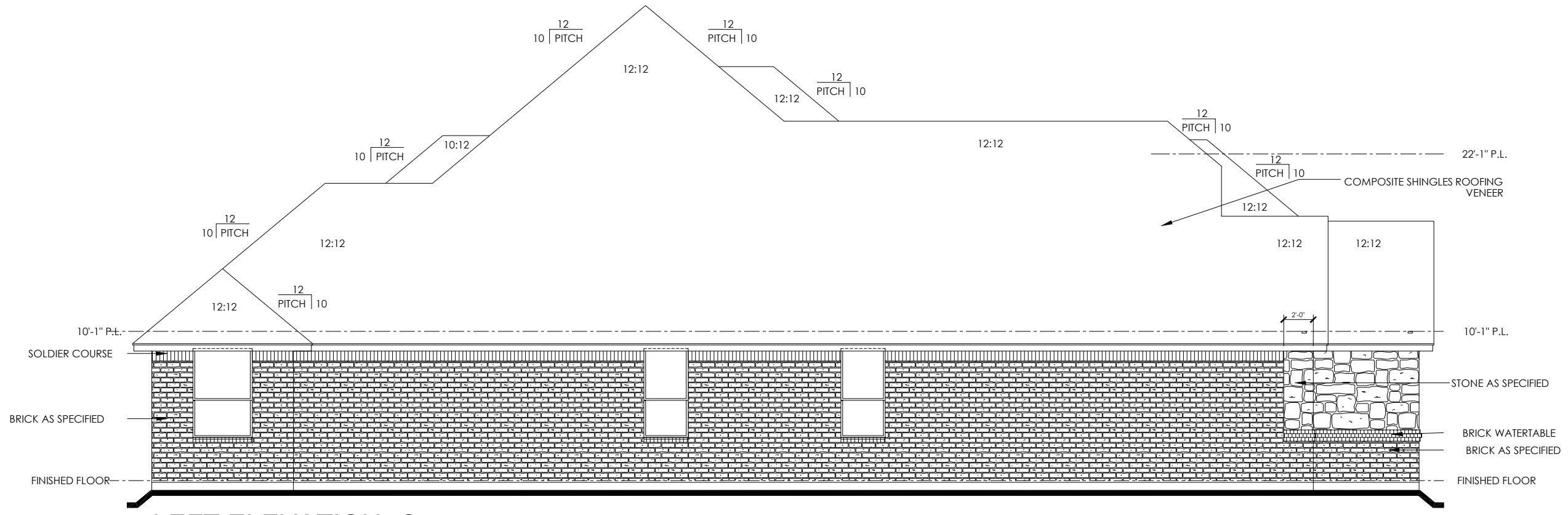
PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

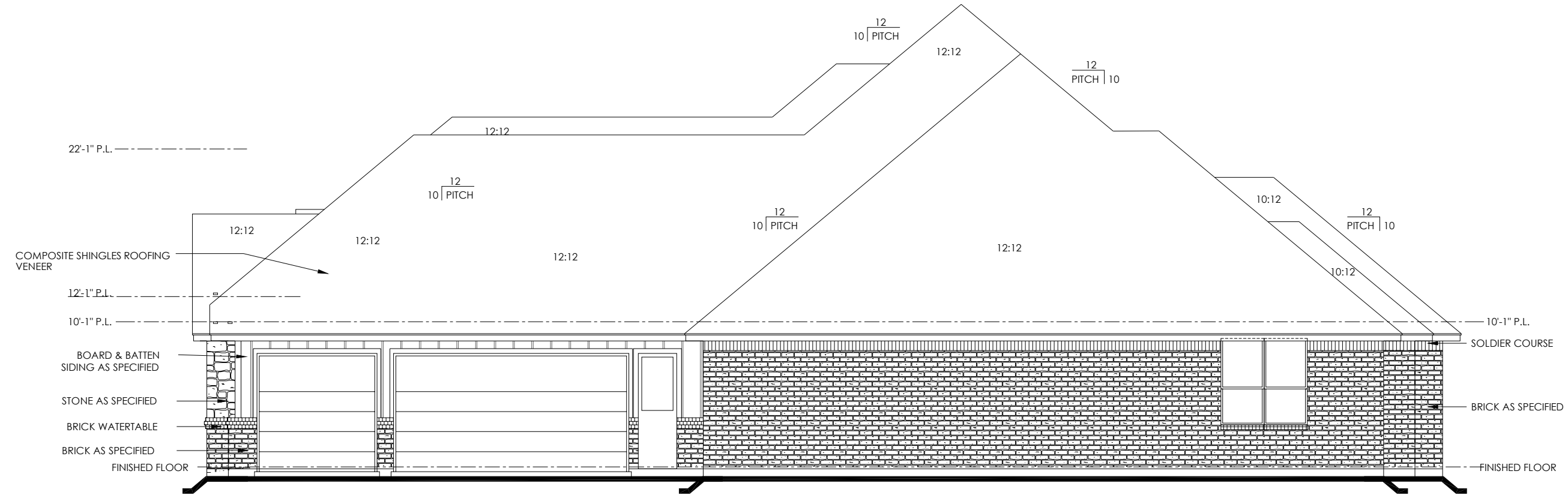
EXTERIOR  
ELEVATIONS "C"

SHEET 5



**LEFT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

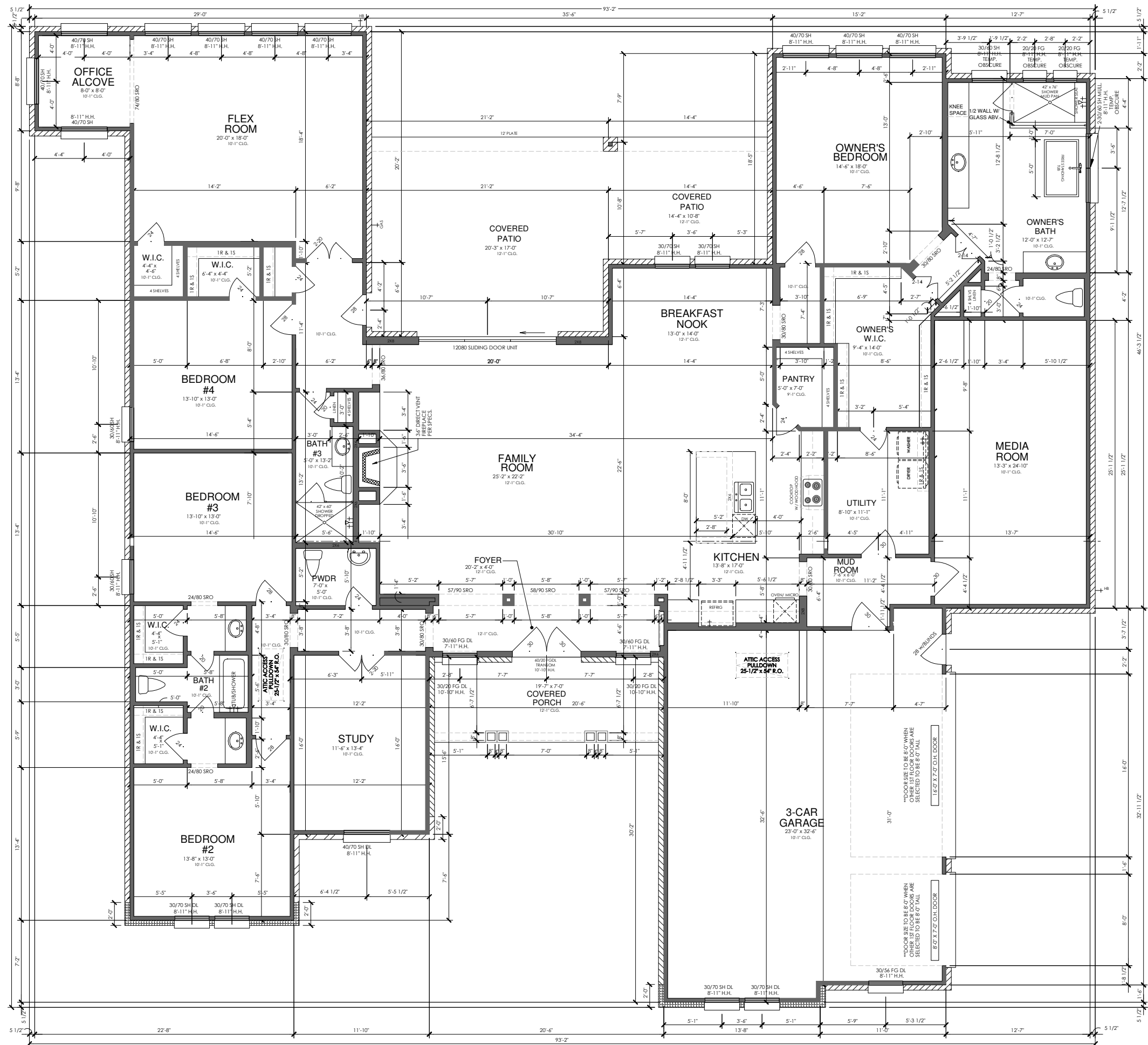


**RIGHT ELEVATION "C"**

1/8"=1'-0" (11"X17" SHEET) -- 1/4"=1'-0" (24"X36" SHEET)

# FIRST FLOOR PLAN "C"

NTS (11"x17" SHEET) -- NTS (24"x36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

## KINDRED CUSTOM HOMES

PLAN #3775  
SPERRY

FIRST FLOOR  
PLAN "C"

SHEET 1

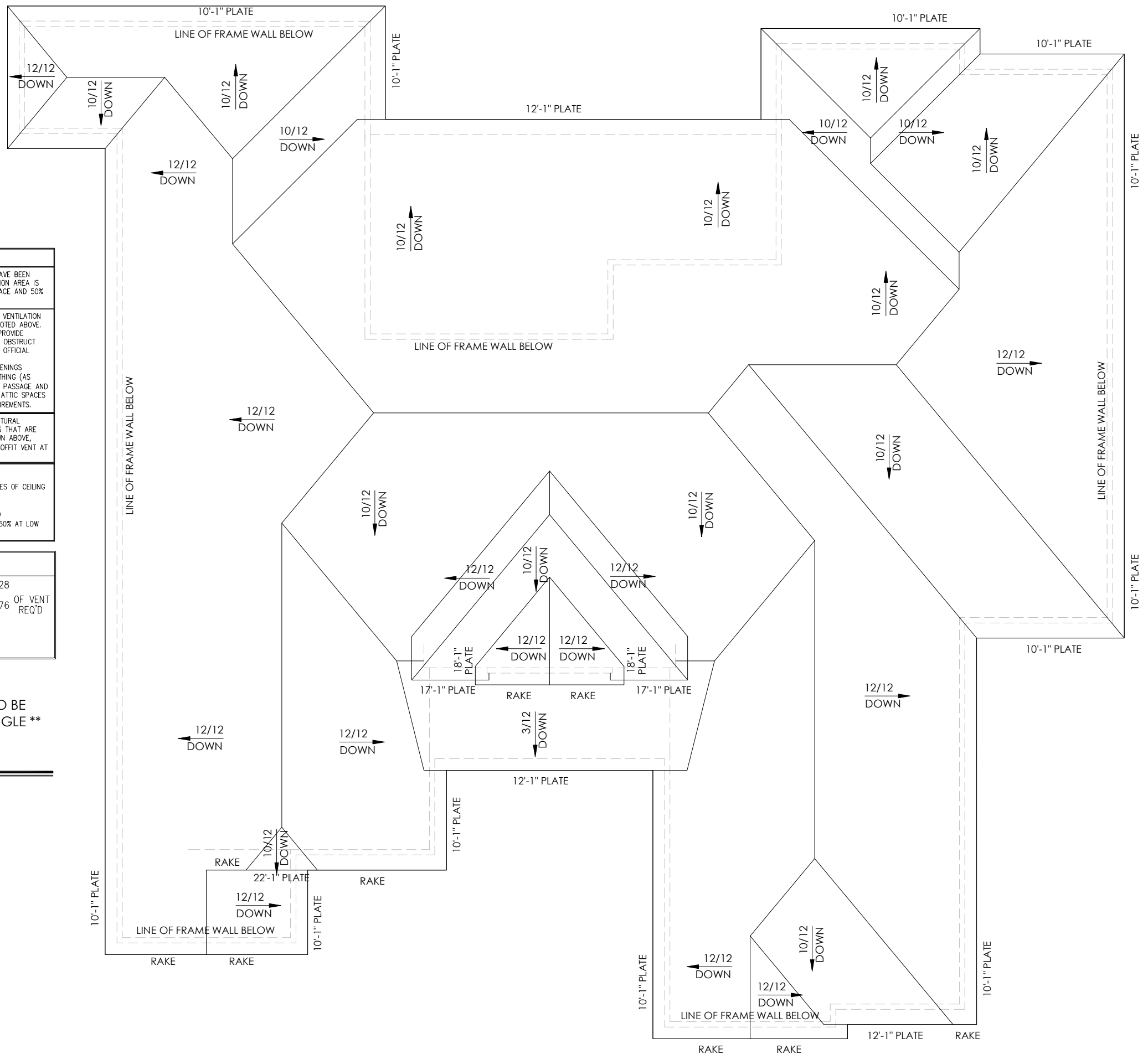
ATTIC VENT CALCULATION	
NOTE: ATTIC AREAS WHICH USE THE 1:300 RATIO HAVE BEEN DESIGNED SO THAT 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED IN THE UPPER PORTION OF THE ATTIC SPACE AND 50% IN THE LOWER PORTION.	
GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AGAINST THOSE NOTED ABOVE. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.	
ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO IRC/IBC REQUIREMENTS.	
ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.	
FORMULA:	
1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING *144 SQ. IN. = 1 SQ. FT.	
BLDG. CEILING (SF) X 144 BLDG (SQ. IN.)	
BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED	
SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW (PER 2006 IRC SECTION R806.2)	

ATTIC AREA 'C'	
6212 X 144 =	894528
894528 / 300 =	2981.76 OF VENT REQ'D
2981.76 / 2 =	1490.88
1490.88 OF VENT AT HIGH &	
1490.88 OF VENT AT LOW	

\*\* NOTED COMPOSITE ROOF TO BE A 30-YEAR COMPOSITION SHINGLE \*\*

### ROOF PLAN "C"

NTS (11"X17" SHEET) -- NTS (24"X36" SHEET)



2592 FM 549

PRINTED DATE:  
2-10-26 MDS-JLP

**KINDRED CUSTOM HOMES**

PLAN #3775  
SPERRY

ROOF PLAN "C"

SHEET 7



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING SF	EXTERIOR MATERIALS
2480 S. FM-549	Single-Family home	1996	3,078	240	Brick
2516 S. FM-549	Single-Family home	1994	3,180	N/A	Siding & Brick
2548 S. FM-549	Single-Family home	1993	2,383	600	Brick
2592 S. FM-549	Single-Family home	Subject Property	5,510	1,267	Stone, Brick, & Siding
2638 S. FM-549	Single-Family home	1998	2,753	2,400	Brick
2676 S. FM-549	Single-Family home	1995	2,791	N/A	Unknown
2716 S. FM-549	Single-Family home	1997	3,421	1,968	Stone & Brick
2744 S. FM-549	Single-Family home	1997	2,105	340	Brick & Siding
2778 S. FM-549	Single-Family home	1997	2,734	720	Stone & Brick
2816 S. FM-549	Single-Family home	1995	2,543	1,200	Brick & Siding
2844 S. FM-549	Single-Family home	1996	4,076	480	Brick
2884 S. FM-549	Single-Family home	1996	2,204	3,600	Brick & Stone
2914 S. FM-549	Single-Family home	2001	2,933	875	Brick
	AVERAGES:	1980	2,884	1,245	



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

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2480 S. FM-549



2498 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

**PLANNING AND ZONING DEPARTMENT**

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2548 S. FM-549



2638 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



2716 S. FM-549



2744 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

**PLANNING AND ZONING DEPARTMENT**

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2778 S. FM-548



2816 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

**PLANNING AND ZONING DEPARTMENT**

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2844 S. FM-549



2884 S. FM-549



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2026-006

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---



2914 S. S. FM-549

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 5.05-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, LOFLAND LAKE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* to allow the construction of a single family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM 549, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 25-80 (S-389)*.

**SECTION 2.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 3.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.04, *General Residential District Standards*, and Subsection 03.09, *Single Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and *Guest Quarters/Secondary Living Unit* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Single-Family Home* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibits 'C'* and the *Floor Plan* depicted in *Exhibits 'D'* of this ordinance.

### 3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF APRIL, 2026.

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2026

2<sup>nd</sup> Reading: April 6, 2026

**Exhibit 'A':  
Location Map**

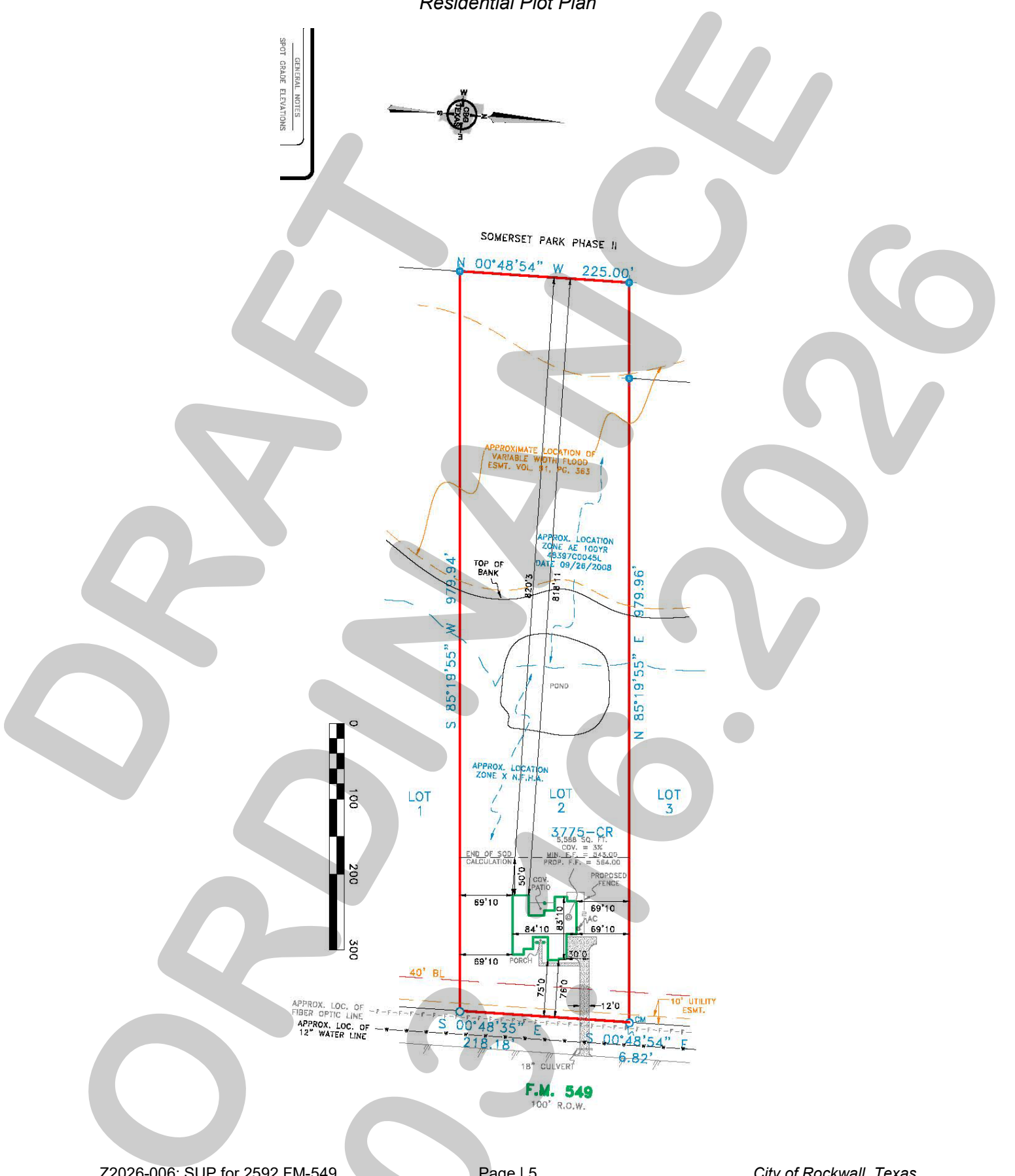
Address: 2592 FM-549

Legal Description: Lot 2, Block 1, Lofland Lake Estates Addition



**Exhibit 'B':**  
Residential Plot Plan

GENERAL NOTES  
SPOT GRADE ELEVATIONS



SOMERSET PARK PHASE II

N 00°48'54" W 225.00'

APPROXIMATE LOCATION OF VARIABLE WIDTH FLOOD ESMT. VOL. 91, PG. 563

APPROX. LOCATION ZONE AE 100YR 4859700043L DATE 08/26/2008

TOP OF BANK  
820'3  
818'11

S 85°19'55" W 979.94'

N 85°19'55" E 979.96'

APPROX. LOCATION ZONE X N.F.H.A.

LOT 1

LOT 2

LOT 3



3775-CR  
5,569 SQ. FT.  
COV. = 3%MIN. F.F. = 843.00  
PROP. F.F. = 584.00

END OF SOD CALCULATION

50'0

PROPOSED FENCE

69'10

69'10

84'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

69'10

APPROX. LOC. OF FIBER OPTIC LINE  
APPROX. LOC. OF 12" WATER LINE

40' BL

10' UTILITY ESMT.

S 00°48'35" E 218.18'

S 00°48'54" E 6.82'

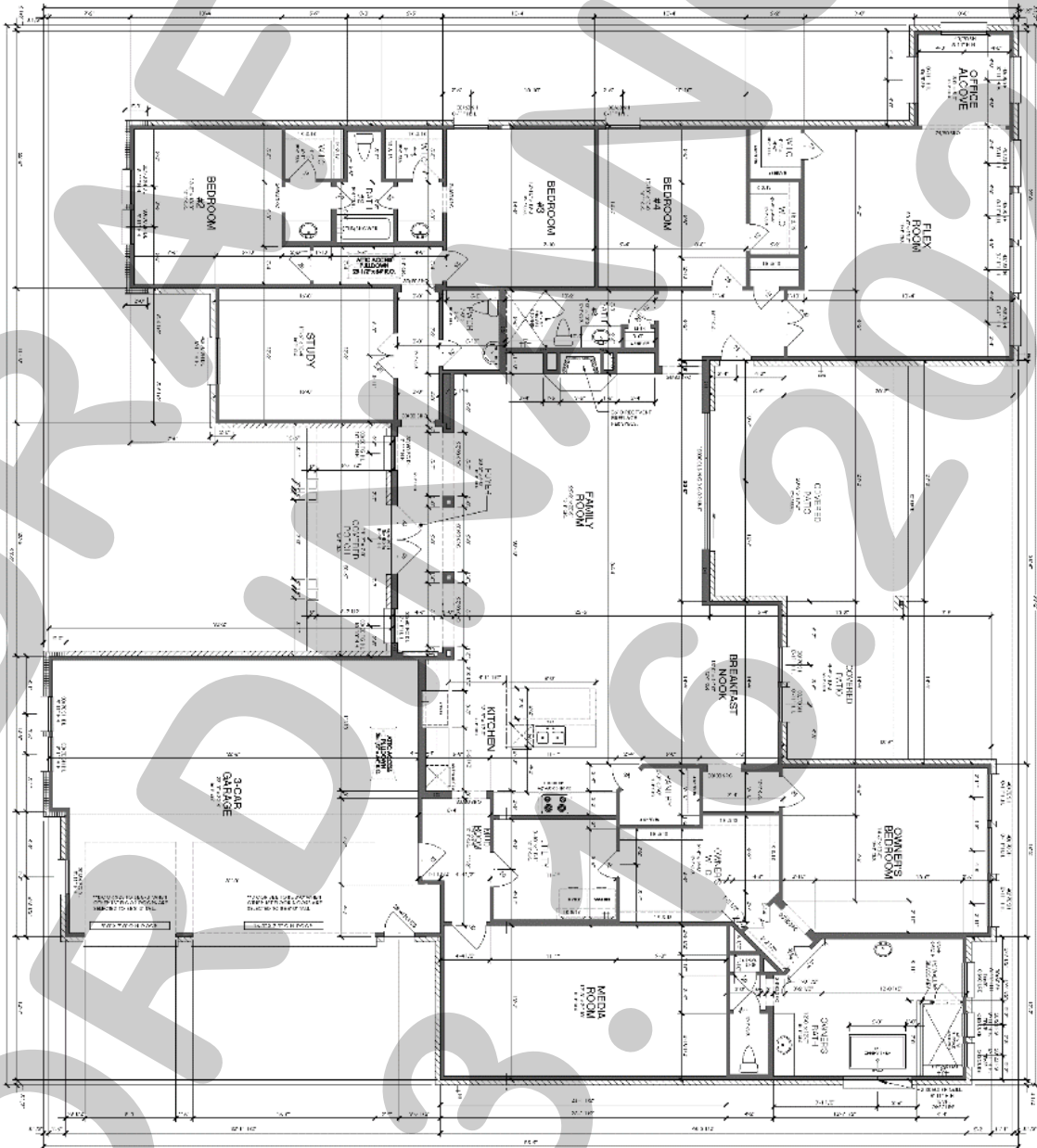
F.M. 549  
100' R.O.W.





Exhibit 'D':  
Floor Plan

FIRST FLOOR PLAN "C"  
1/15/21 10:27:51 AM - 11/2/2020 SHEET





April 7, 2026

TO: Michael Lewis  
4208 Ashcrest Street  
Mesquite, Texas 75150

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2026-006; *Specific Use Permit (SUP) for Residential Infill at 2592 FM 549*

Michael:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on April 6, 2026. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 25-80 (S-389)*.
- (2) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
  - b) The construction of a *Single-Family Home* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibits 'C'* and the Floor Plan depicted in *Exhibits 'D'* of this ordinance.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 10, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit by a vote of 5-0, with Commissioners Brock and Bentley absent.

City Council

On March 16, 2026, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.  
On April 6, 2026, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 26-10, S-393*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6488.

Sincerely,



Bethany Ross; *Senior Planner*  
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 26-10

SPECIFIC USE PERMIT NO. S-393

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 5.05-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, LOFLAND LAKE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* to allow the construction of a single family home on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM 549, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

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**SECTION 3.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.04, *General Residential District Standards*, and Subsection 03.09, *Single Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and *Guest Quarters/Secondary Living Unit* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Single-Family Home* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibits 'C'* and the *Floor Plan* depicted in *Exhibits 'D'* of this ordinance.

### 3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

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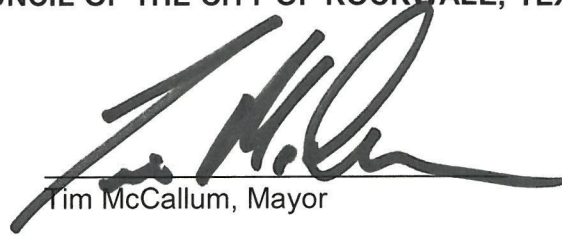
**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF APRIL, 2026.



Tim McCallum, Mayor

ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1<sup>st</sup> Reading: March 16, 2026

2<sup>nd</sup> Reading: April 6, 2026

**Exhibit 'A':  
Location Map**

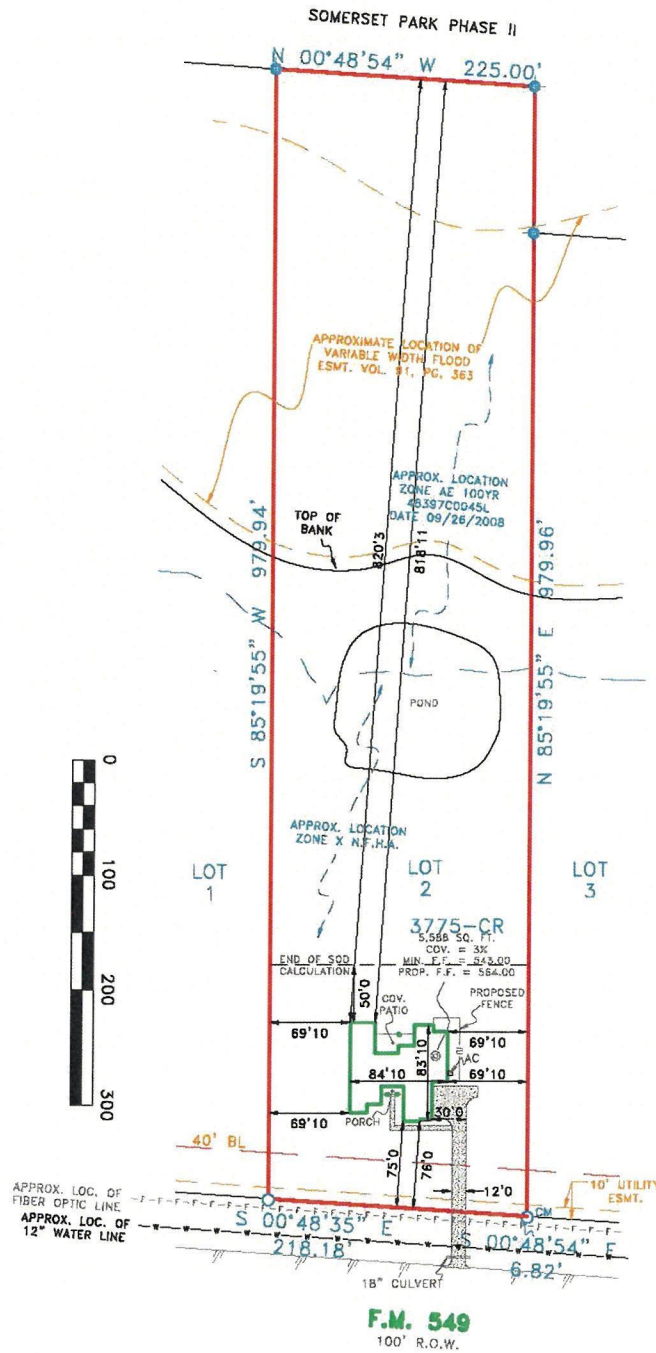
Address: 2592 FM-549

Legal Description: Lot 2, Block 1, Lofland Lake Estates Addition



# Exhibit 'B': Residential Plot Plan

GENERAL NOTES  
SPOT GRADE ELEVATIONS





# Exhibit 'C': Building Elevations

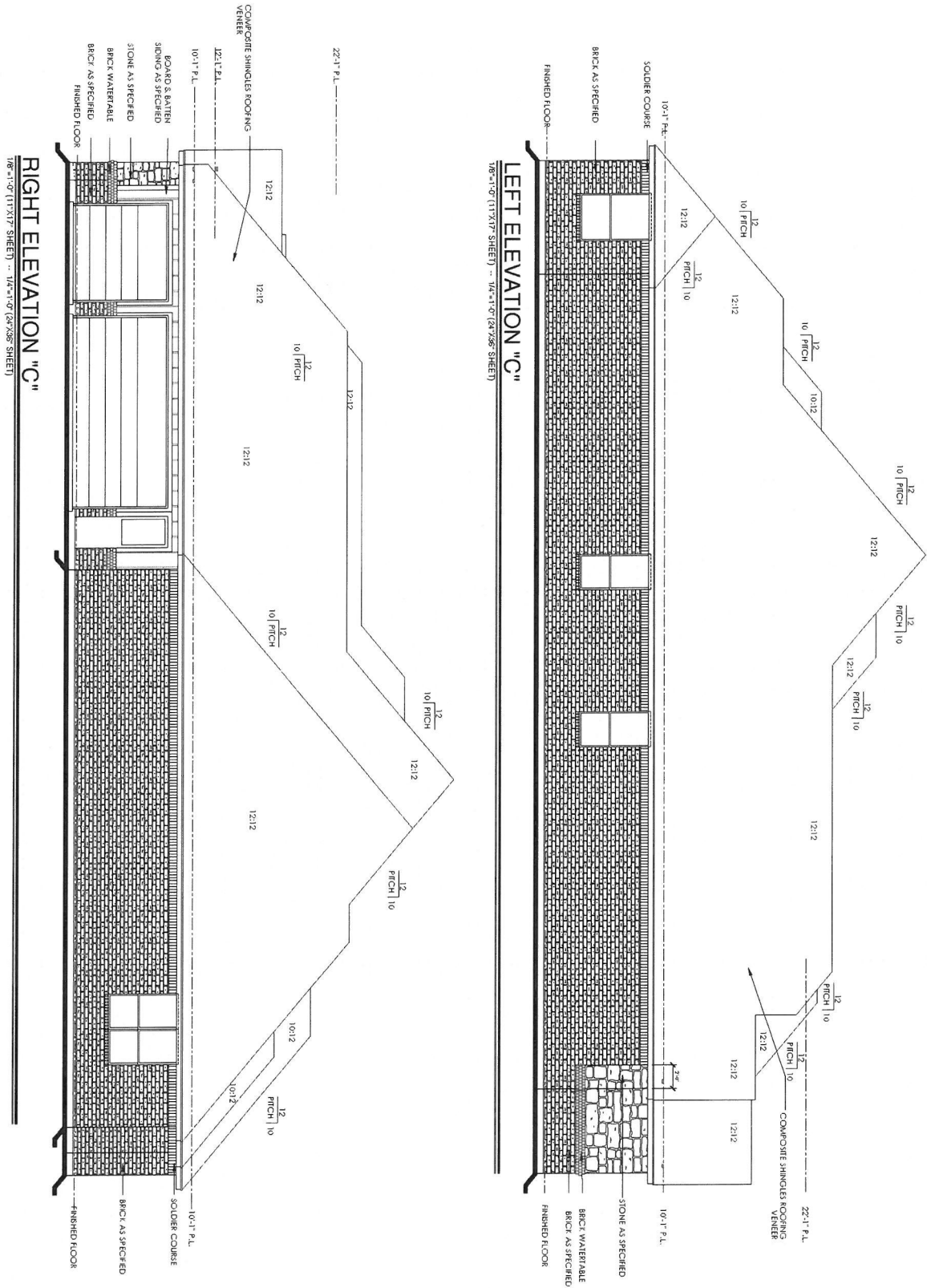


Exhibit 'D':  
Floor Plan

FIRST FLOOR PLAN "C"

