



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 922 Sios Rd.
SUBDIVISION POTT SHRIGLEY ADDITION
GENERAL LOCATION Sios & Goliad Rd.

LOT 1 BLOCK 1

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-43 CURRENT USE Light Assbly & FABRICATION
PROPOSED ZONING PD-43 PROPOSED USE Light Assbly & FABRICATION
ACREAGE 2.0 LOTS [CURRENT] LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>S&A Systems, Inc.</u>	<input checked="" type="checkbox"/> APPLICANT	<u>A-1 SERVICES</u>
CONTACT PERSON	<u>DON RAKOW/DON SHRIGLEY</u>	CONTACT PERSON	<u>TERRY LEE</u>
ADDRESS	<u>922 Sios Rd.</u>	ADDRESS	<u>1623 S. PEACHTREE ROAD</u>
CITY, STATE & ZIP	<u>Rockwall, Tx. 75082</u>	CITY, STATE & ZIP	<u>Brown Springs, Tx. 75180</u>
PHONE	<u>972-722-1009</u>	PHONE	<u>817-771-3993</u>
E-MAIL	<u>DON.RAKOW@FLEETWATCH.COM</u>	E-MAIL	<u>terry@BLUETONDNC.COM</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J.G. Shrigley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

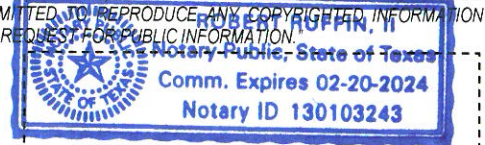
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 16 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF SEPTEMBER, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF SEPTEMBER, 20 22

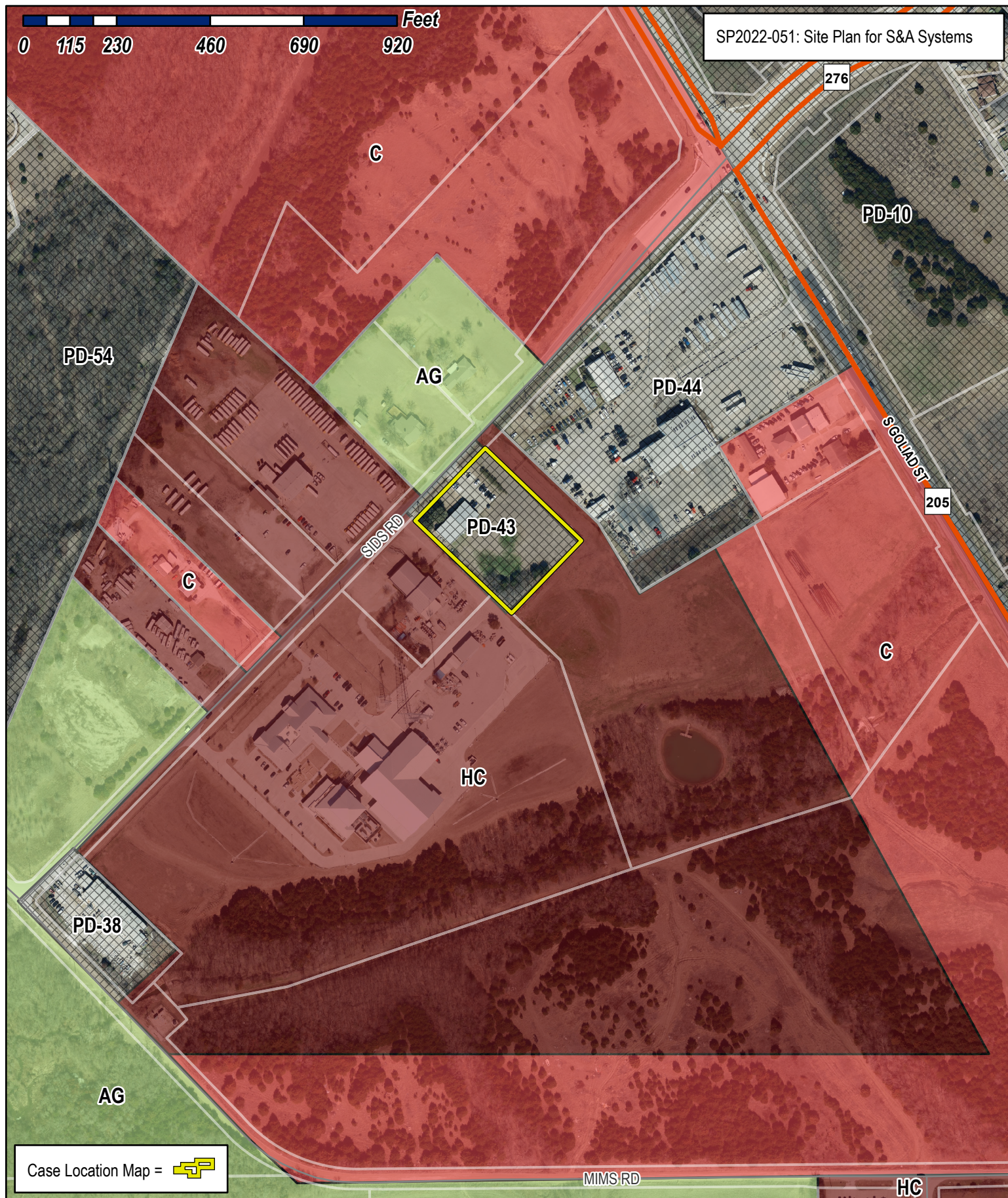
OWNER'S SIGNATURE

J.G. Shrigley

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 02/20/2024

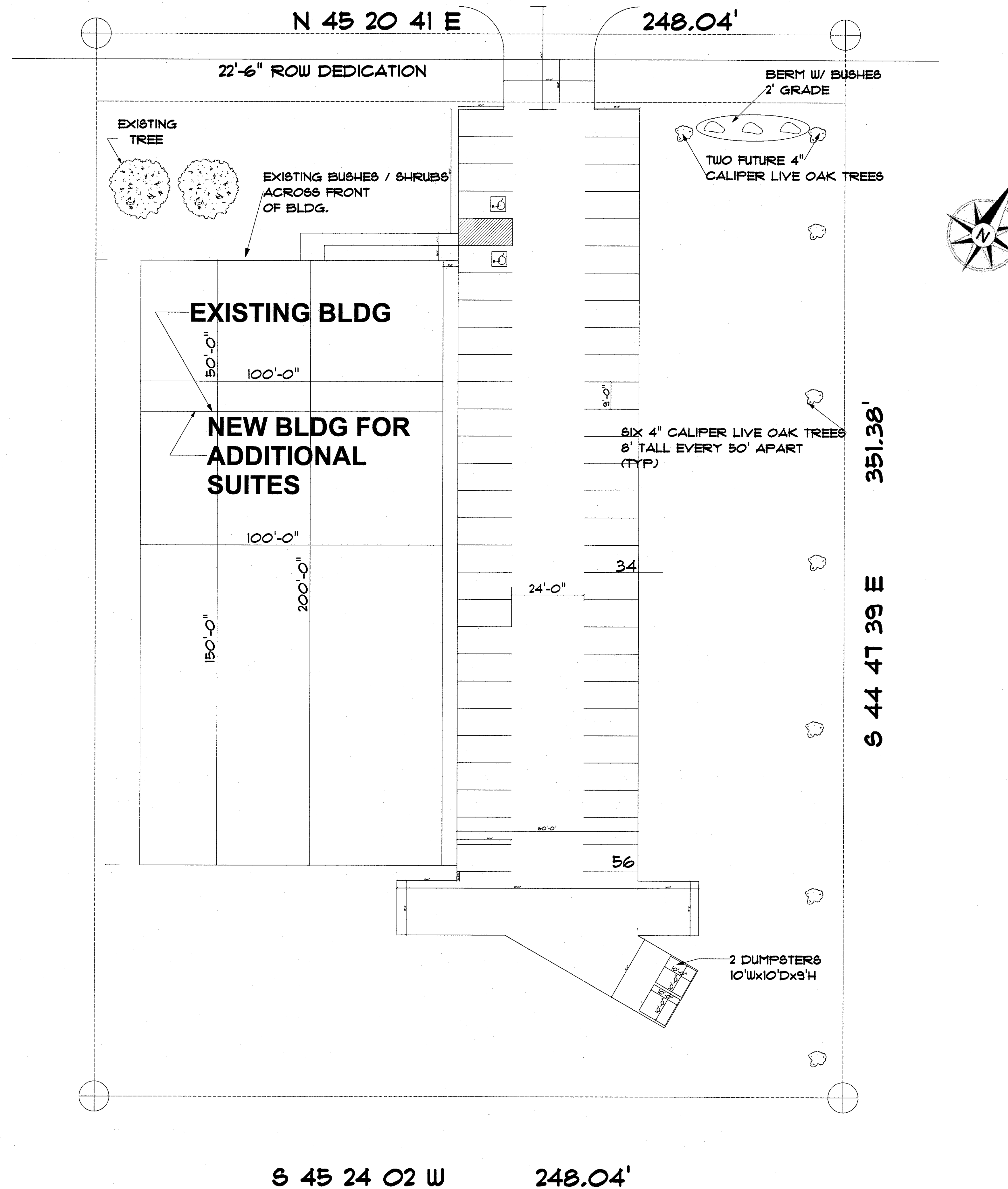


City of Rockwall

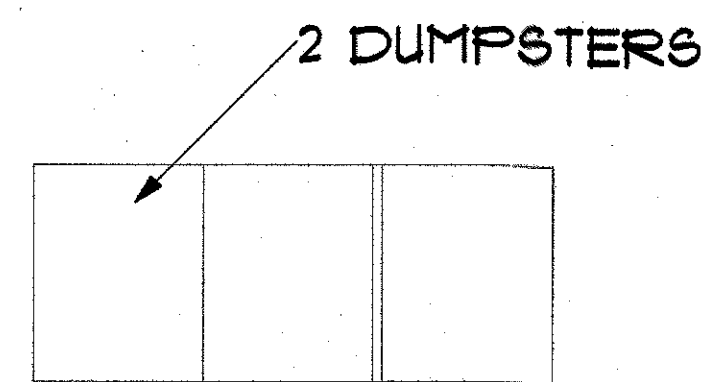
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

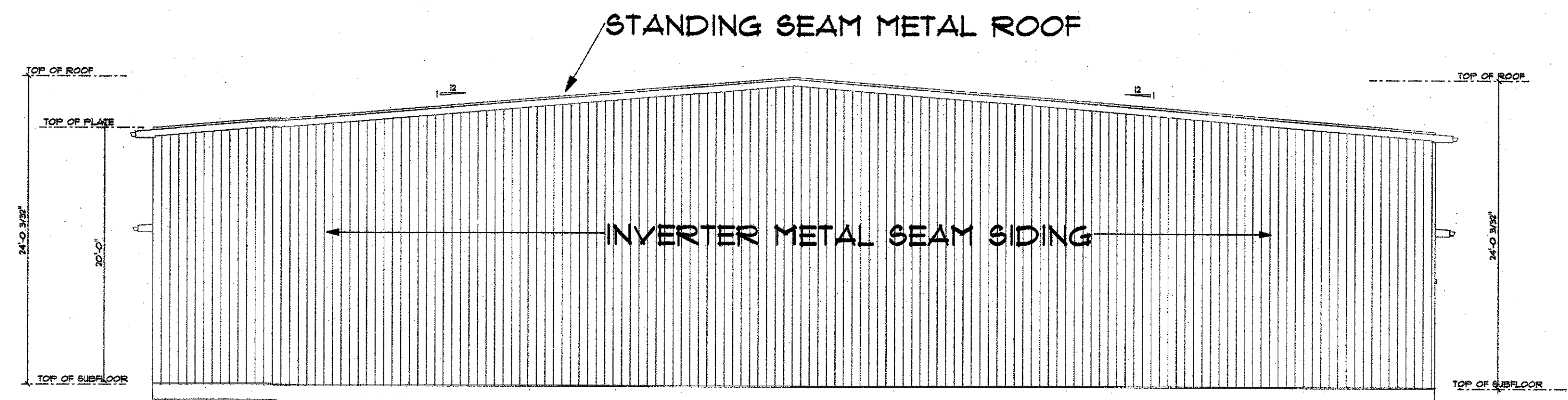
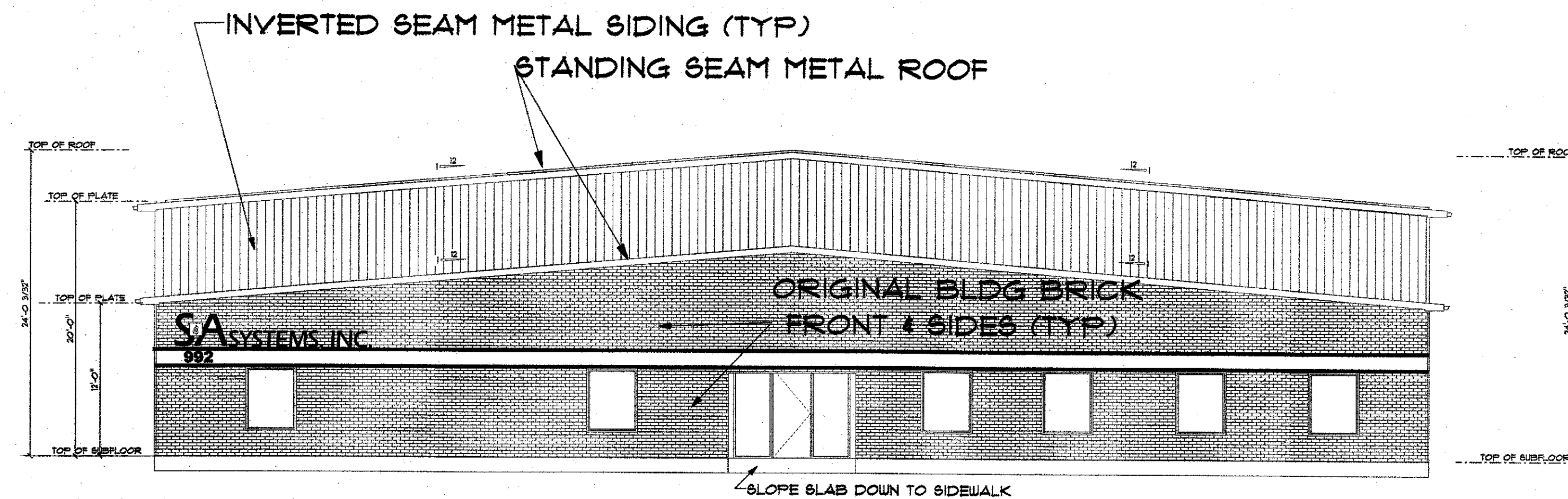




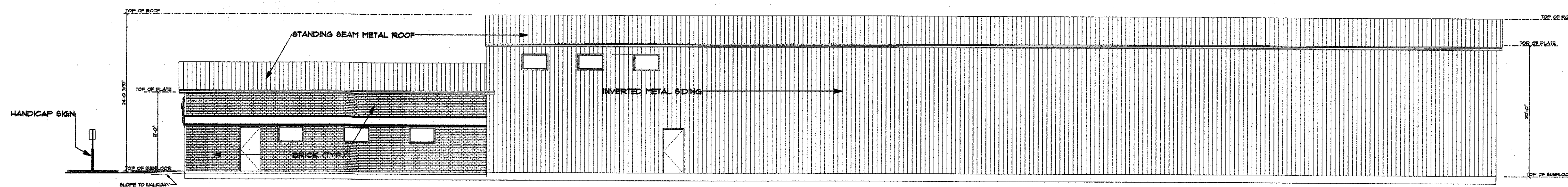
SITENEW
SCALE: 0.0547" = 1'-0"



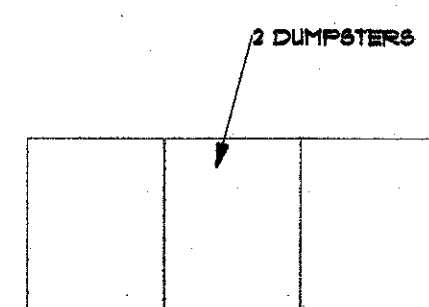
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



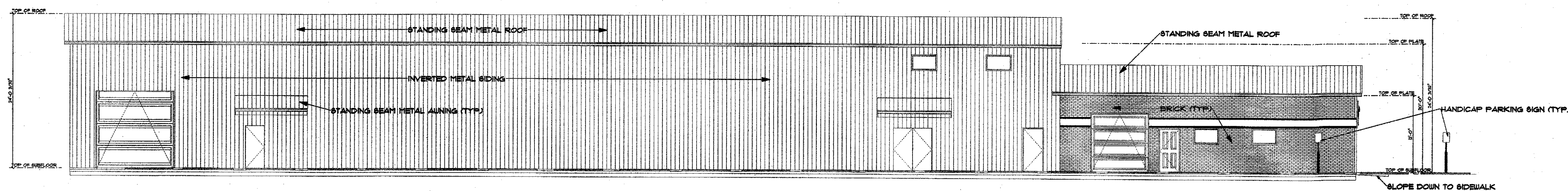
REAR ELEVATION
SCALE: 1/8" = 1'-0"



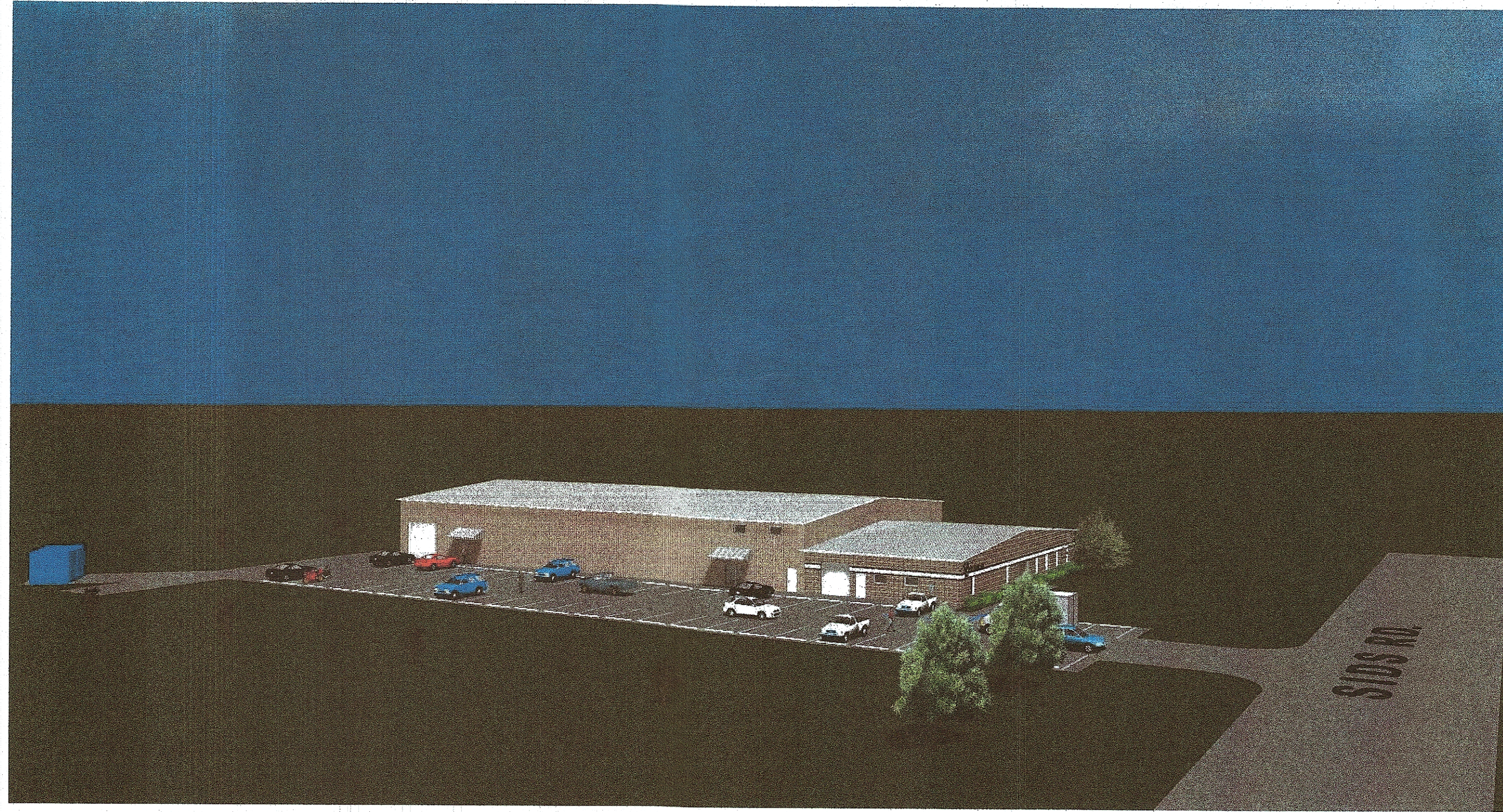
RIGHT ELEVATION
SCALE: 1" = 10'-0"



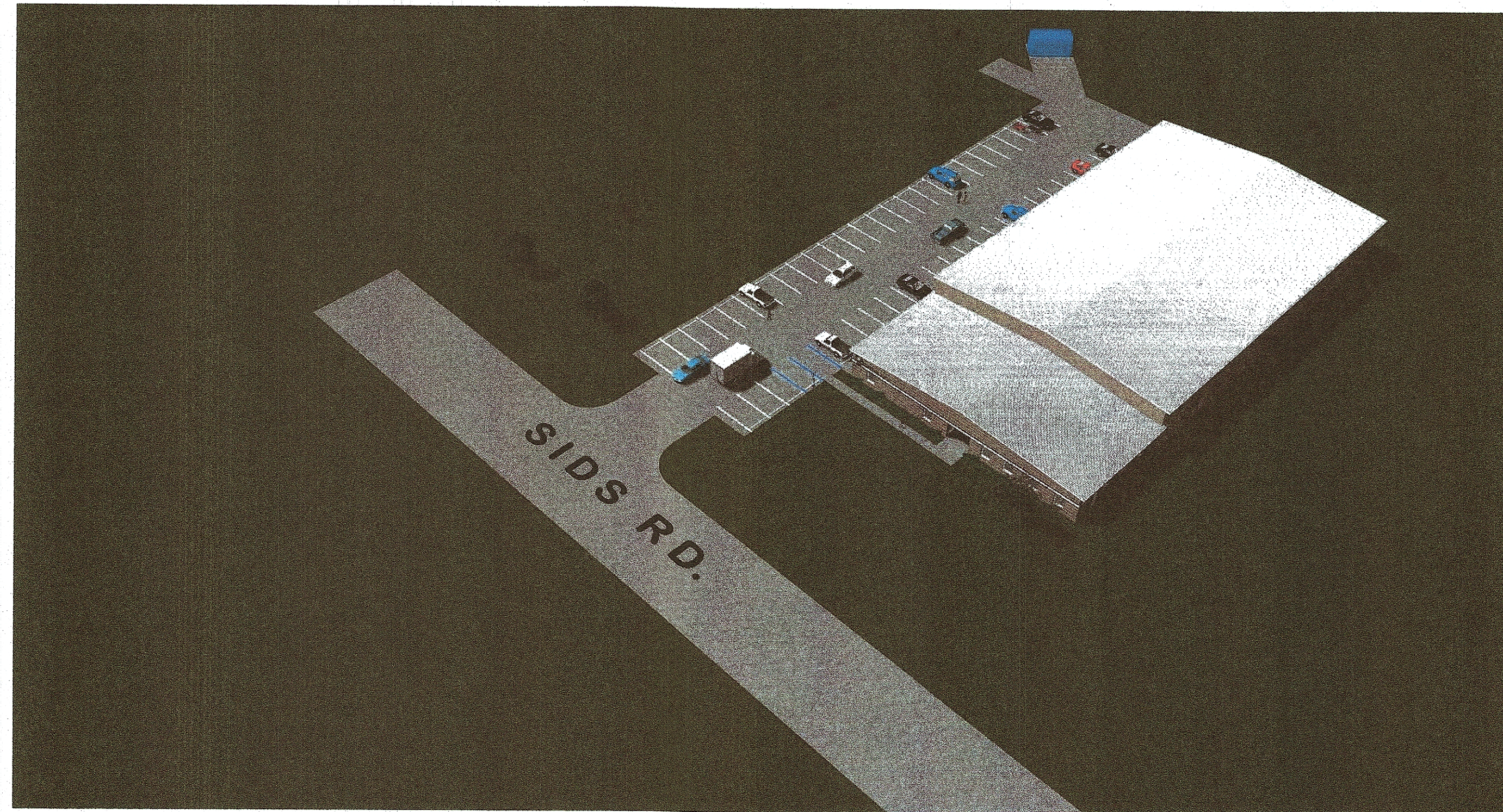
LEFT ELEVATION
SCALE: 1" = 10'-0"



INITIAL BUILD VIEWS



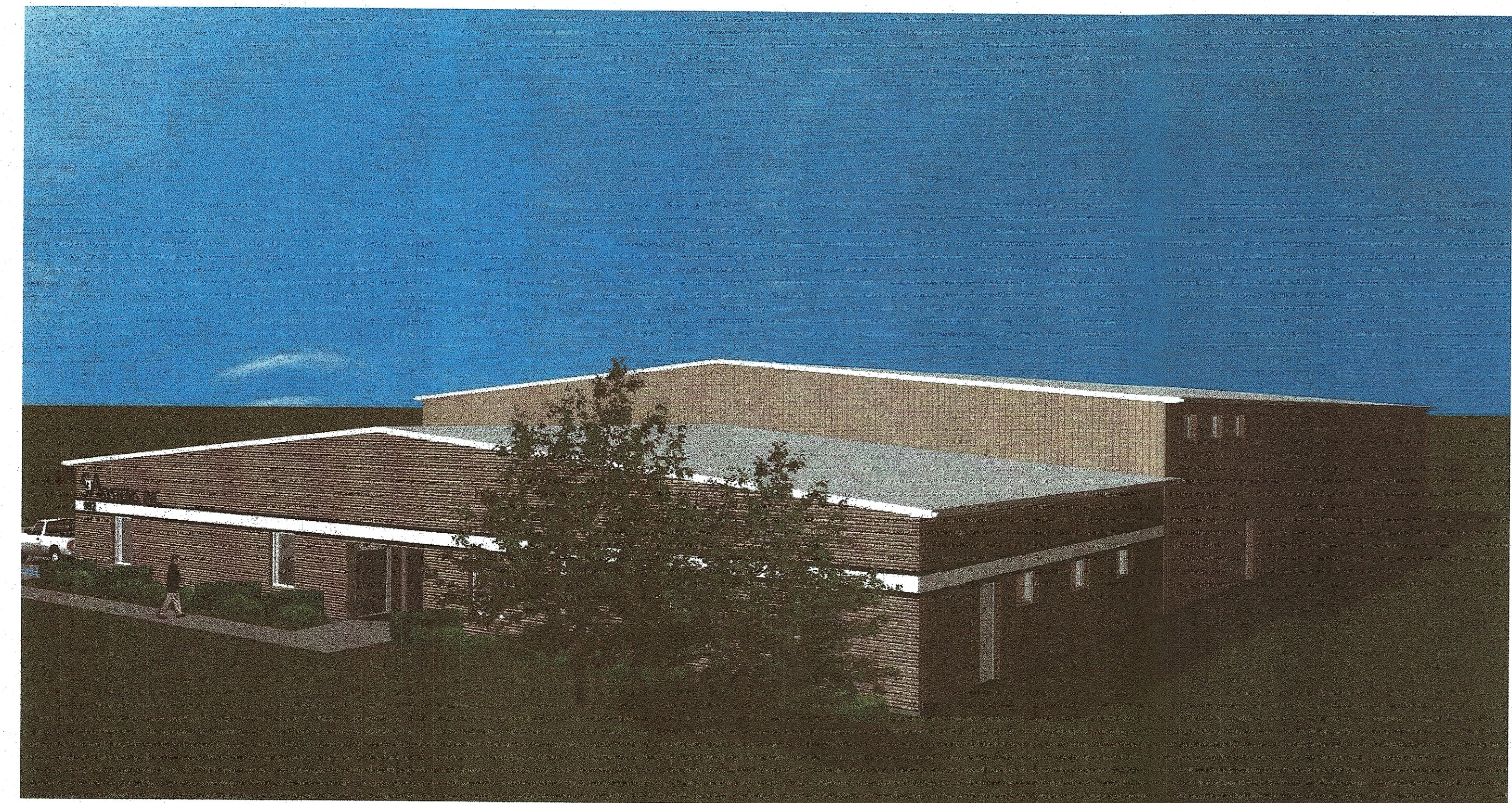
A



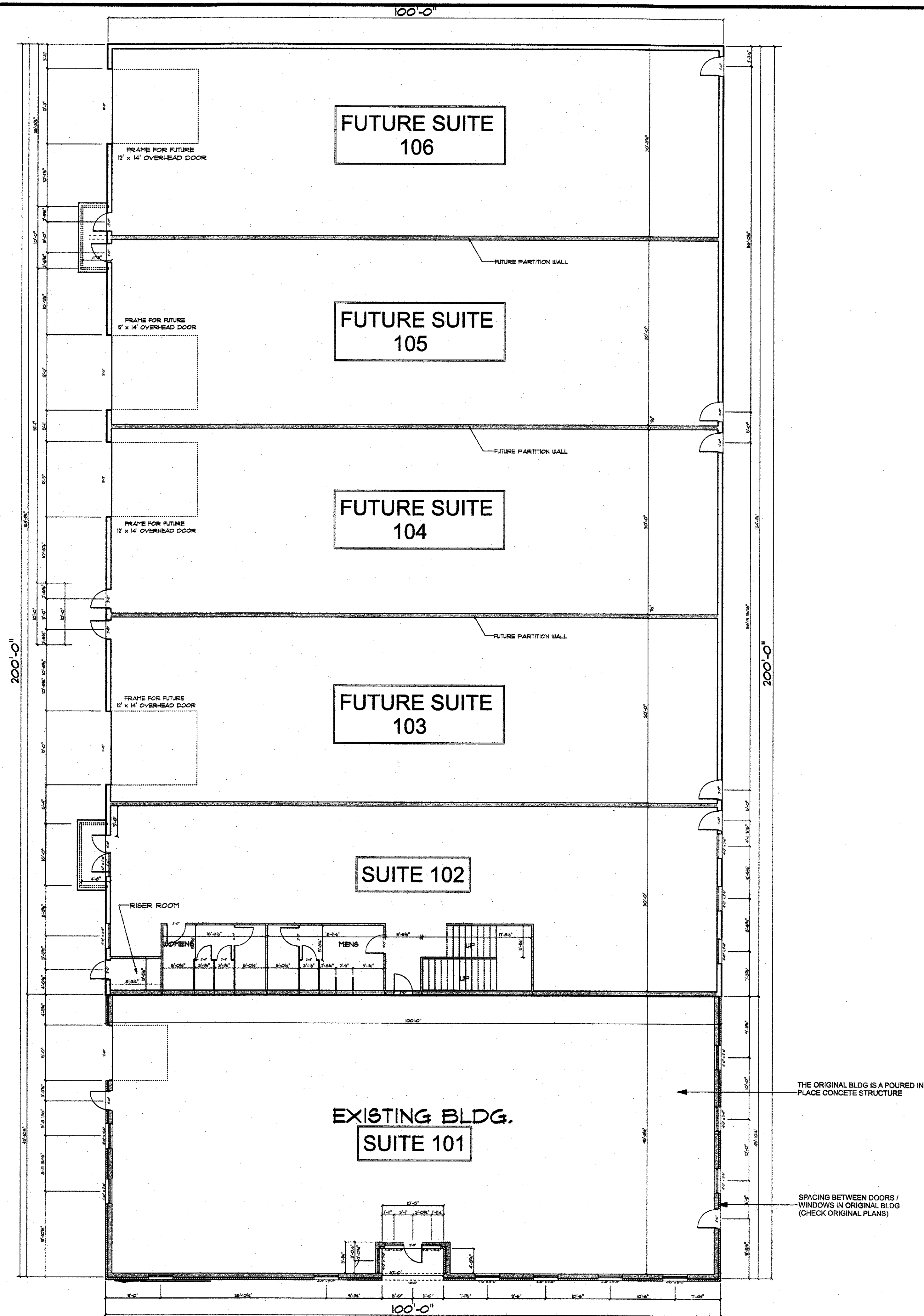
B



C



D



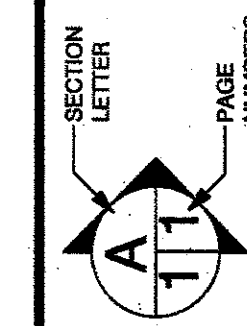
MAIN FLOOR
SCALE: 0.1018" = 1'-0"

S&A SYSTEMS, INC.
982 Side Rd.
Rockwall
Texas
75082
PHONE: 972-722-1009
FAX:
MOBILE:

D Designs
CUSTOM HOME DESIGNS

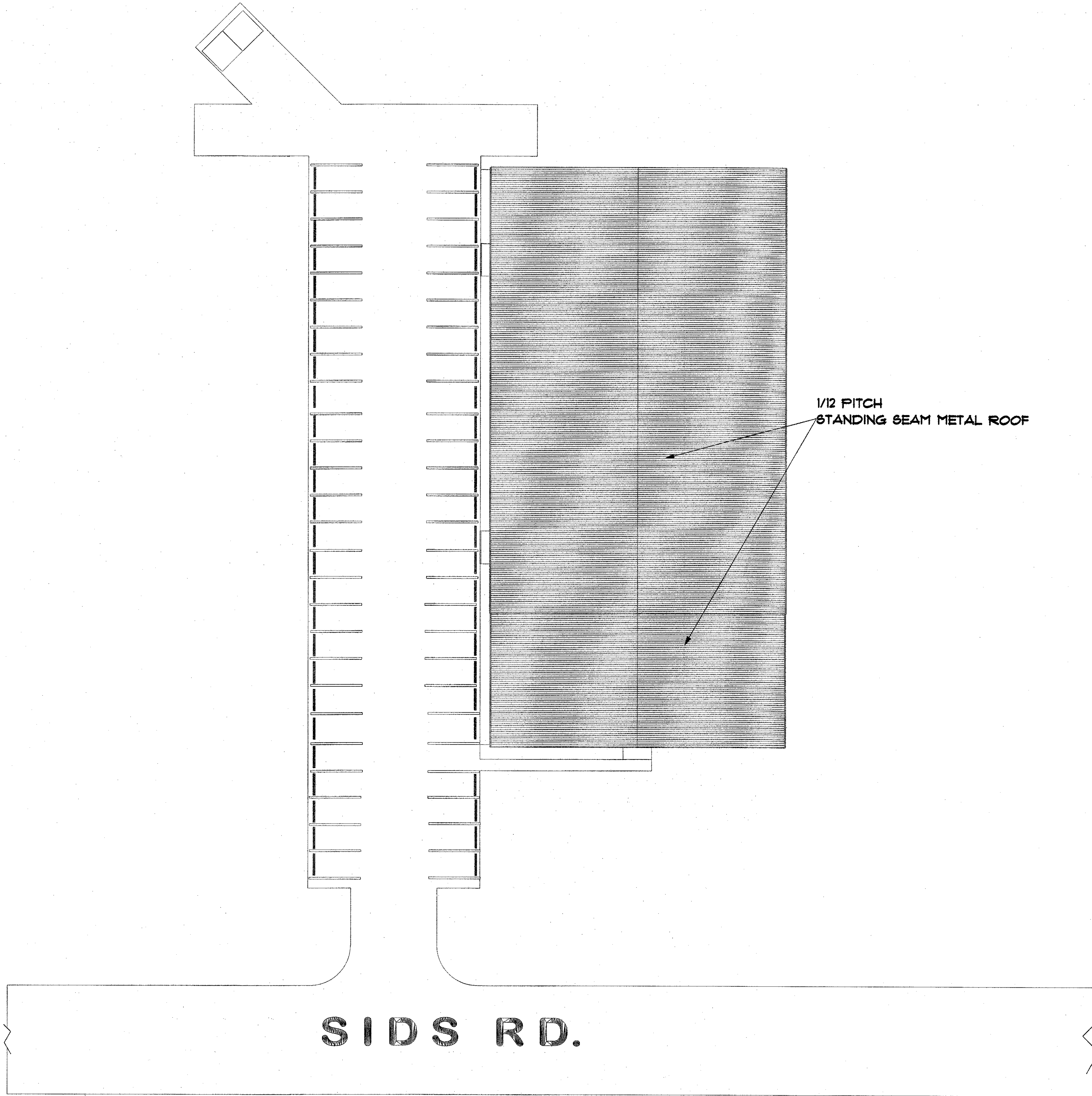
PHONE: 903-521-9299
FAX:
MOBILE:

SCALE: 0.1018" = 1'-0"
DRAWN BY: Dan Daugherty
DATE: Wednesday, July 27, 2022



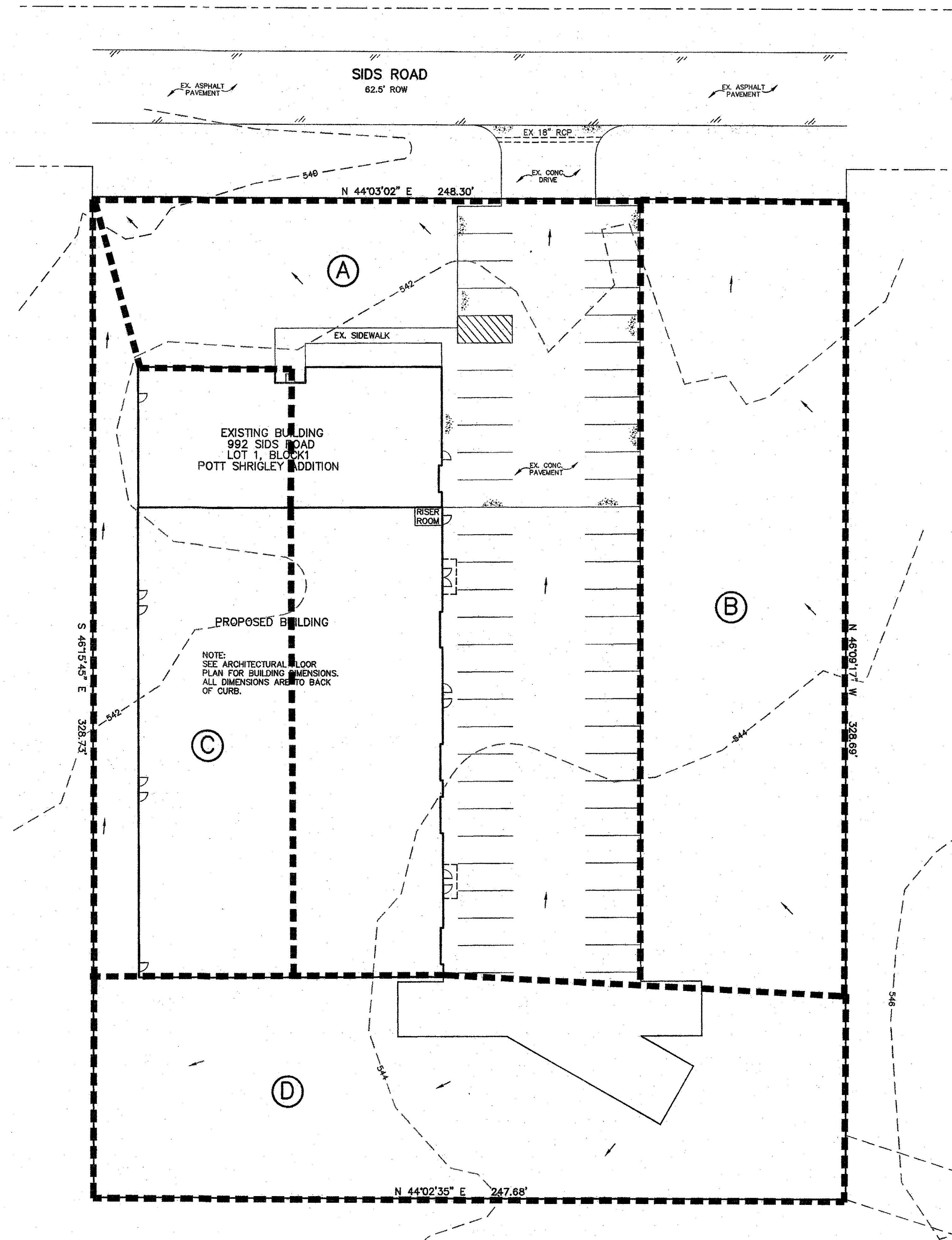
APPROVED:
CHECKED BY:

PAGE: 1/5
FLOOR PLAN

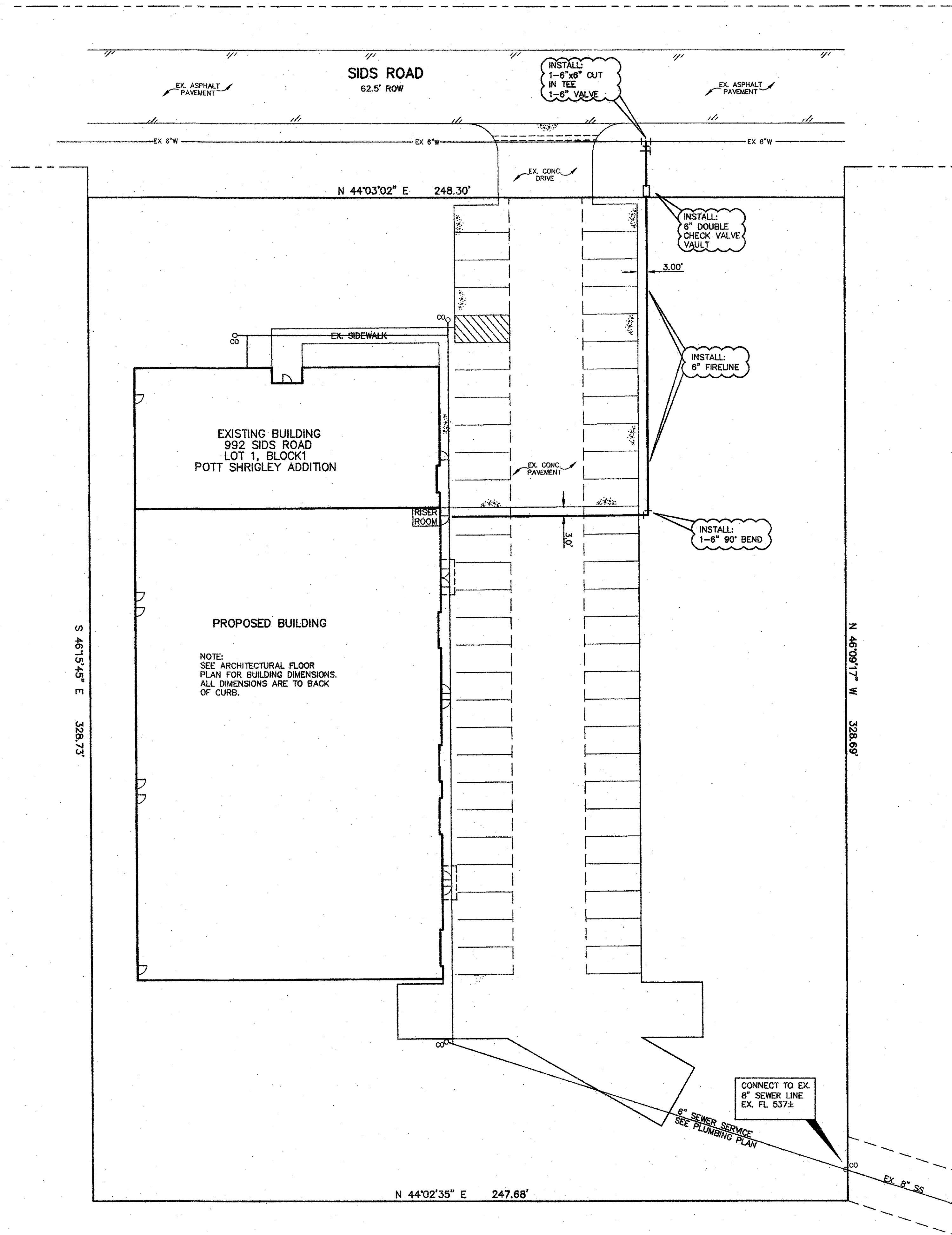


TOP ELEVATION
SCALE: 1" = 20'-0"

Z:\projects\2022\2022105 Rockwell\basesite.dwg Sat Aug 20 15:31:44 2022



Z:\Projects\2022\202205 Rockwall\basessite.dwg Sun Aug 14 10:59:07 2022



GENERAL NOTES

- All work shall be in accordance with these plans, City of Rockwall Standards and NCTCOG 3rd Edition.
- Two year maintenance bonds on water and sewer to be furnished by the contractor.
- Engineering department is to be notified 48 hours prior to any construction.
- All water lines to have 42 inch minimum cover or as required to clear other utilities.
- Water mains shall be Class 200 PVC, DR-14, sizes 4" to 15".
- Fire hydrants shall be Mueller No. 24015 or equal.
- Manhole rings and covers shall be 400# or bolt on.
- Contractor shall use PVC SDR 26 Sewer pipe. PVC pipe shall have a maximum deflection of 5% (as per City of Rockwall Specifications.)
- Valves shall be resilient seat gate valves.
- Trench excavation for trenches 5 feet or more in depth shall be in accordance with all provisions of Part 1926, Subpart P -- Excavations, Trenching and shoring of the Occupational Safety and Health's Standards and Interpretations. It shall be the responsibility of the Contractor to conform to the above stated provisions and to supply Trench Safety Plans if required by the City.
- The locations of all utilities indicated on the plans are taken from available public records. The exact location and depth of all utilities indicated must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all existing utilities in the construction of this project. Any utilities damaged during the construction of this project shall be repaired at the Contractor's expense.
- All Reinforced Concrete Pipe shall be Class III.
- Megalugs at all change in direction.
- Blue EMS locator pads to be installed on the waterline at every bend, service, and valve.
- Fire hydrants shall have 5' clearance around, and min 3' from back of curb.
- Water and Sanitary Sewer service lines indicated on this plan are schematic in nature. Contractor / Plumber shall verify location of utilities exiting building prior to installation of service line from meter or main line.
- Green EMS locator pad shall be installed on sewer line where the service connects to main and at double cleanout.

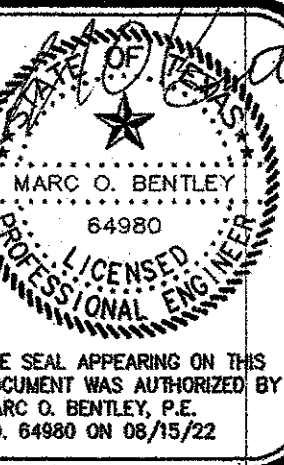


CALL BEFORE YOU DIG

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

Marc Bentley, PE

CIVIL ENGINEER
1855 EMERALD BAY
ROCKWALL, TEXAS 75087
PH: 214-957-1406



WATER/SEWER PLAN

S & A SYSTEMS, INC
CITY OF ROCKWALL, TEXAS

No.	Date	Revision

Scale: 1"=20'
File Name: BASESITE
Date: AUG 2022
Project No.: 2022105

Sheet
C1