



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 955 Sids Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Halfway between Fm 205 & M.m.s

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Heavy Commercial

CURRENT USE

PROPOSED ZONING Heavy Commercial

PROPOSED USE

Office / Commercial

ACREAGE 1.5 AC

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER TRI-TEX Construction

☐ APPLICANT

CONTACT PERSON DAVID LINDSAY

CONTACT PERSON

ADDRESS 955 Sids Rd

ADDRESS

Same

CITY, STATE & ZIP Rockwall tx 75032

CITY, STATE & ZIP

PHONE 214-460-0051

PHONE

E-MAIL david@tri-tex.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Lindsay [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 17 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF July, 2024

OWNER'S SIGNATURE

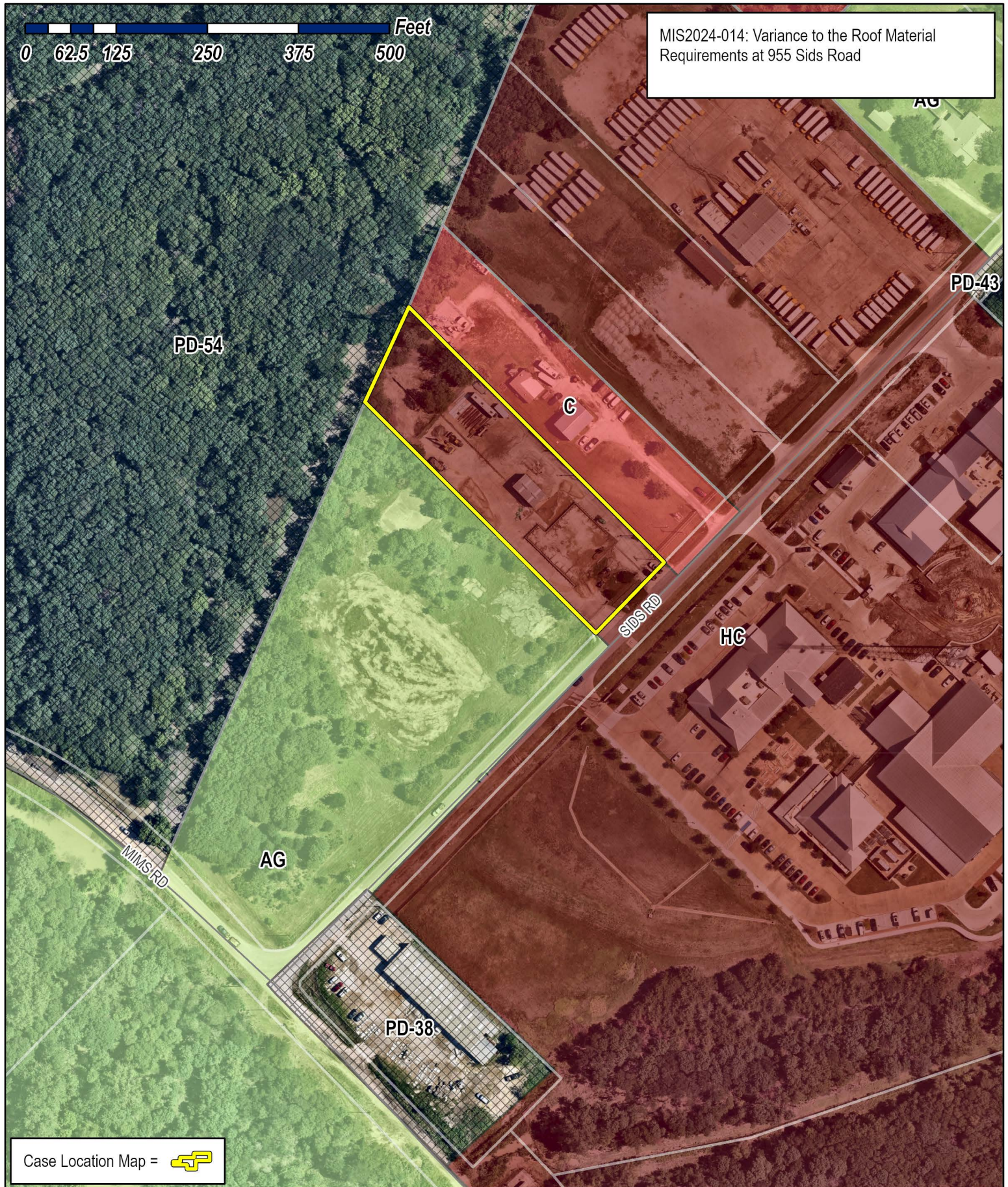
David Lindsay

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Terry Ottwell







Case Location Map = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





City of Rockwall  
Planning and Zoning Dept.

Re: 955 Sids Road  
Rockwall, Tx. 75032

I need to ask for a variance on the roofing material for my building. On the plans it calls out for stand and seam metal roofing. I am asking to use R-panel metal roofing instead. Originally on the plans I submitted they had R-Panel roofing shown and then city comments asked for the stand and seam material. At the time I was not aware of the change and that my architect had changed it, but once I spoke to Henry Lee we discussed it. I since have chased pricing on the materials and labor for the stand and seam / snap lock with multiple venders and pricing has come back way more expensive than expected. It will add \$ 70, 000 to my already strained budget. If I have to proceed with this roofing material it will put a big financial burden on me and is financially prohibitive even before I get to all the costs for the rest of the construction.

If allowed this Variance I would be willing to:

1. Change out the old chain link fencing and gates with a new rod iron materials. I feel that this would make a bigger improvement to the look of the property.
2. Update the appearance to the existing building (shop) to match the new building.

Also, I believe that the building will look better if the materials for the roof matches the R-Panel side walls and because the color is black it will not look much different. Please keep in mind that all the other building on that street have R-Paneled roofs except Rayburn Electric but they do not have a metal building with R-Panels side walls.

Thank you for your consideration in this matter.

David Lindsay

Tri-Tex Construction Inc.

955 Sids Road  
Rockwall, Tx. 75032  
(214) 460-0051



## SITE PLAN



NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address

TURNKEY TRACT  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address

OFFICE BUILDING

955 SIDS ROAD  
ROCKWALL, TEXAS 75032  
SP2023-024

Project

Date 08 / 14 / 2023

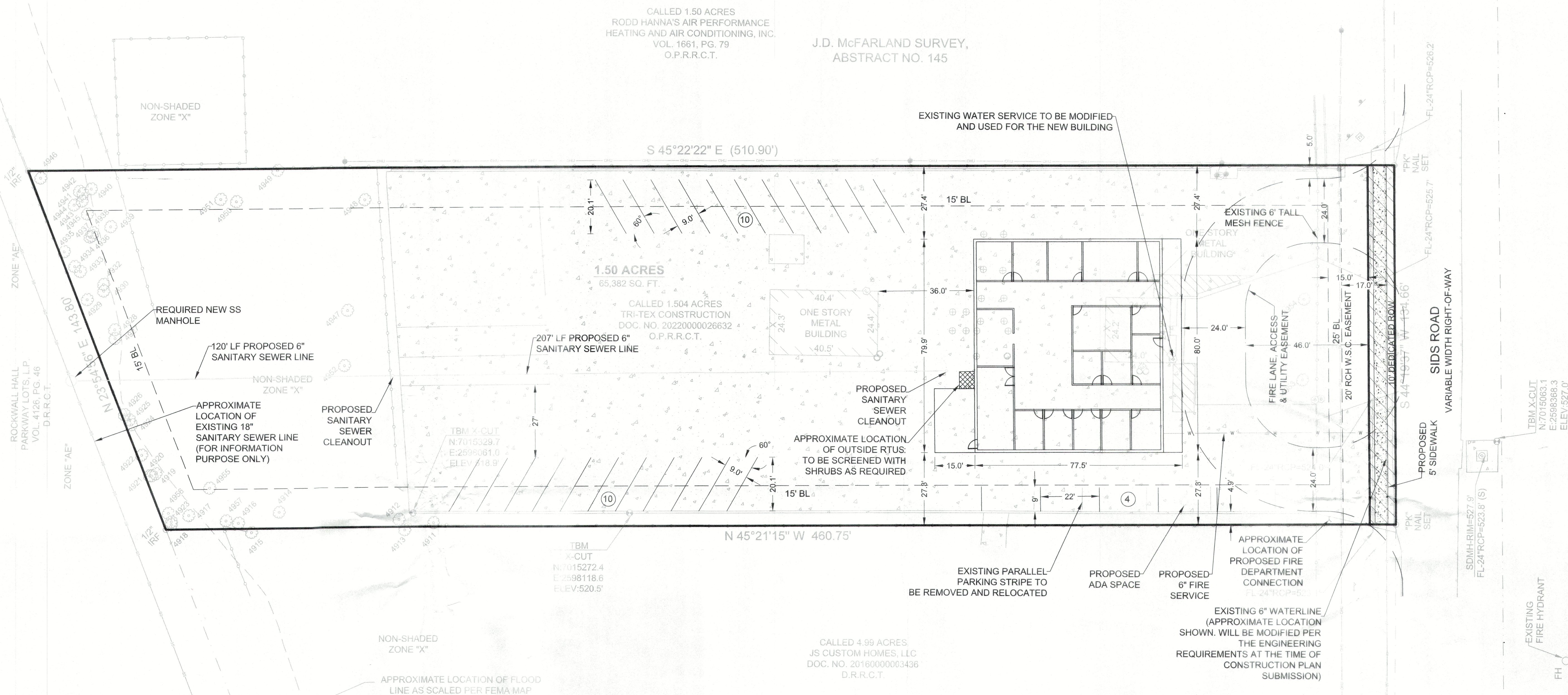
Scale

Sheet

04  
13

OWNER

TRI-TEX CONSTRUCTION INC  
797 N GROVE RD  
RICHARDSON, TEXAS 75081



**LOT AREA** 1.50 ACRES  
65,382 SF  
**BUILDING COVERAGE:** 5,600 SF

**NOTE:**

NO OUTSIDE STORAGE PROPOSED IN THIS PROJECT  
POLY CARTS WILL BE USED FOR GARBAGE.

**NOTE:**

ALL EXISTING WATER AND SANITARY SEWER CONNECTIONS TO THE  
EXISTING BUILDING WILL BE USED FOR THE PROPOSED BUILDING.

**NOTE:**

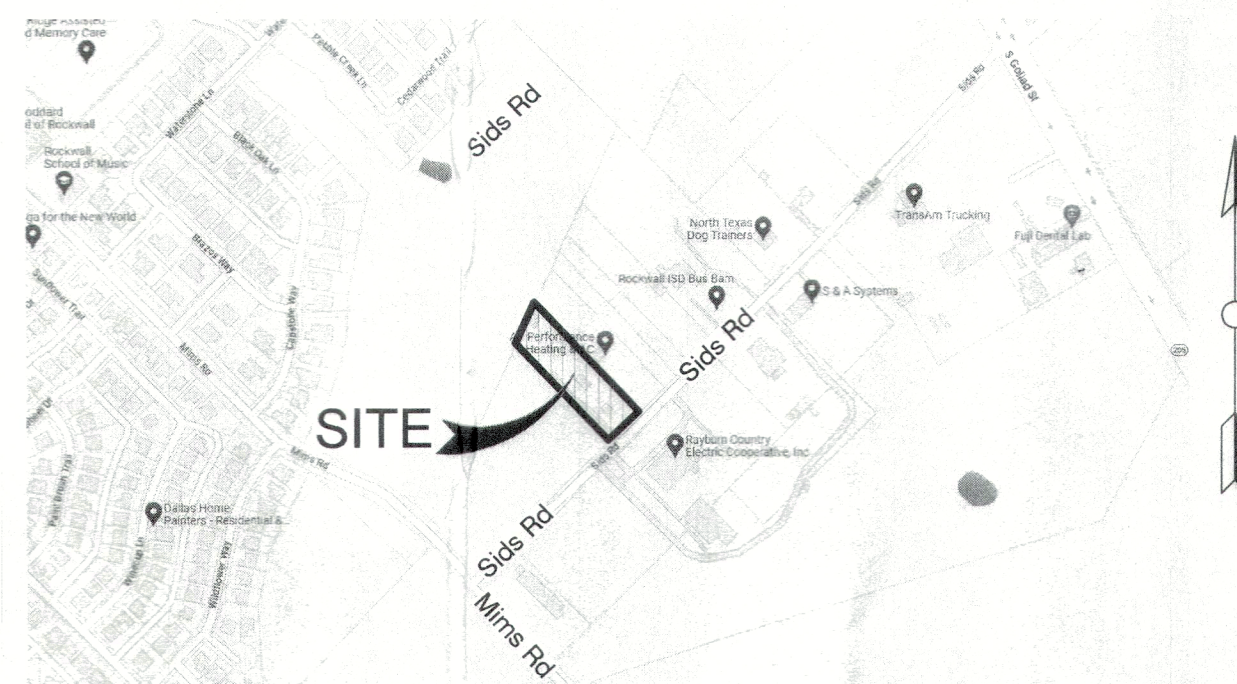
ALL PAD MOUNTED EQUIPMENT MUST BE SCREENED WITH FIVE (5)  
GALLON EVERGREEN SHRUBS.

**APPROVED:**

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A  
DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED  
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL  
ON THE 15 DAY OF August 2023  
WITNESS OUR HANDS, THIS 15 DAY OF August 2023  
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

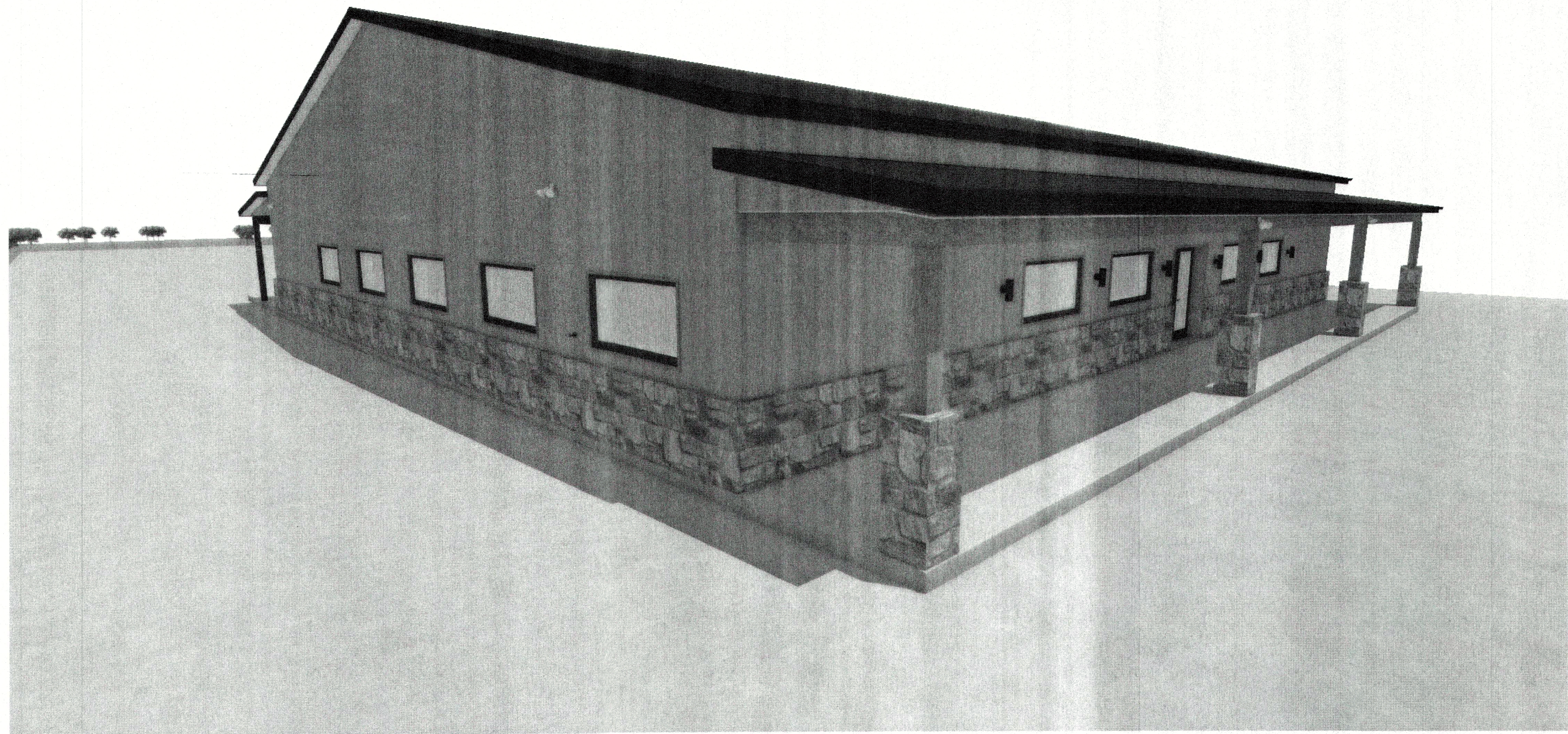
**SITE DATA:**

SITE AREA = 65,382 SF / 1.50 ACRE  
PARKING REQUIRED = OFFICE: 1 PER 300 SF = 19 SPACES  
PARKING PROVIDED = 24 SPACES  
ADA SPACES PROVIDED = 1 SPACE

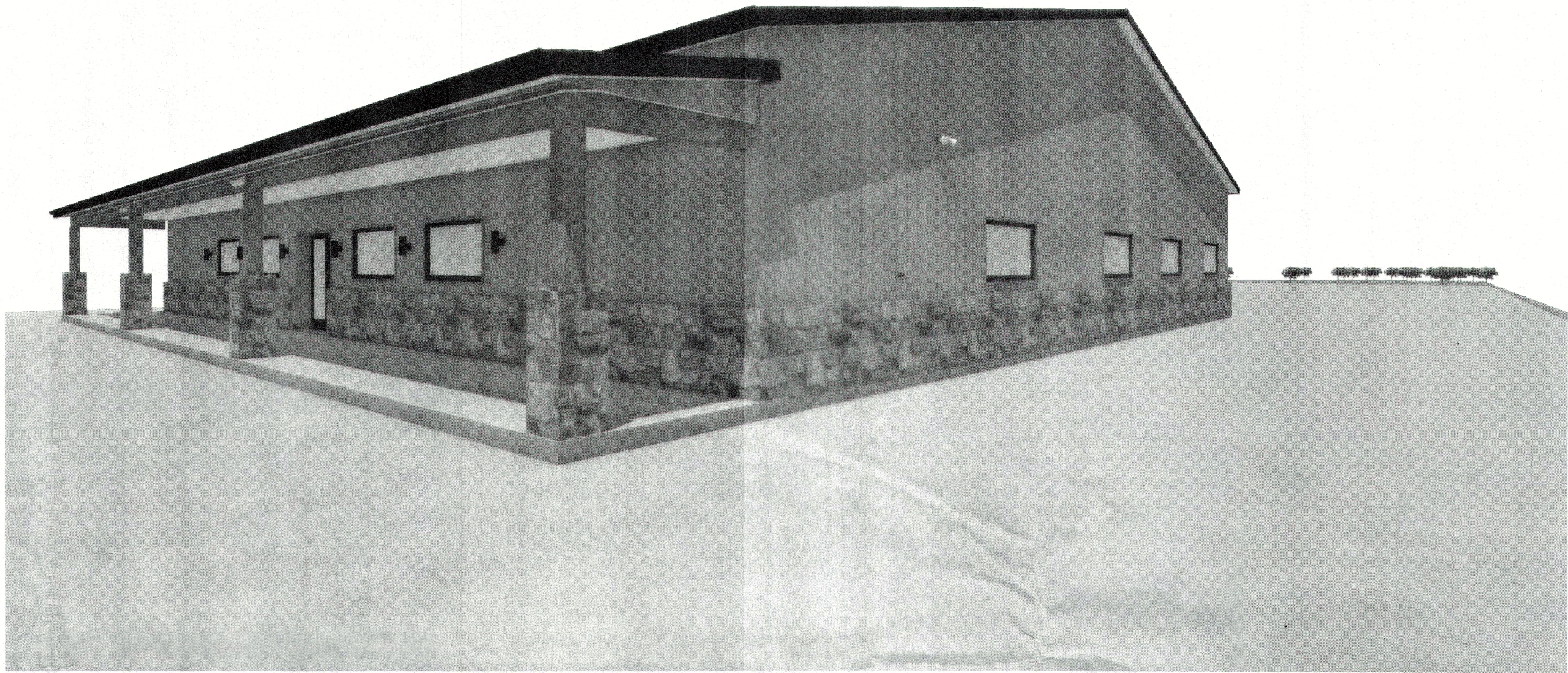


VICINITY MAP

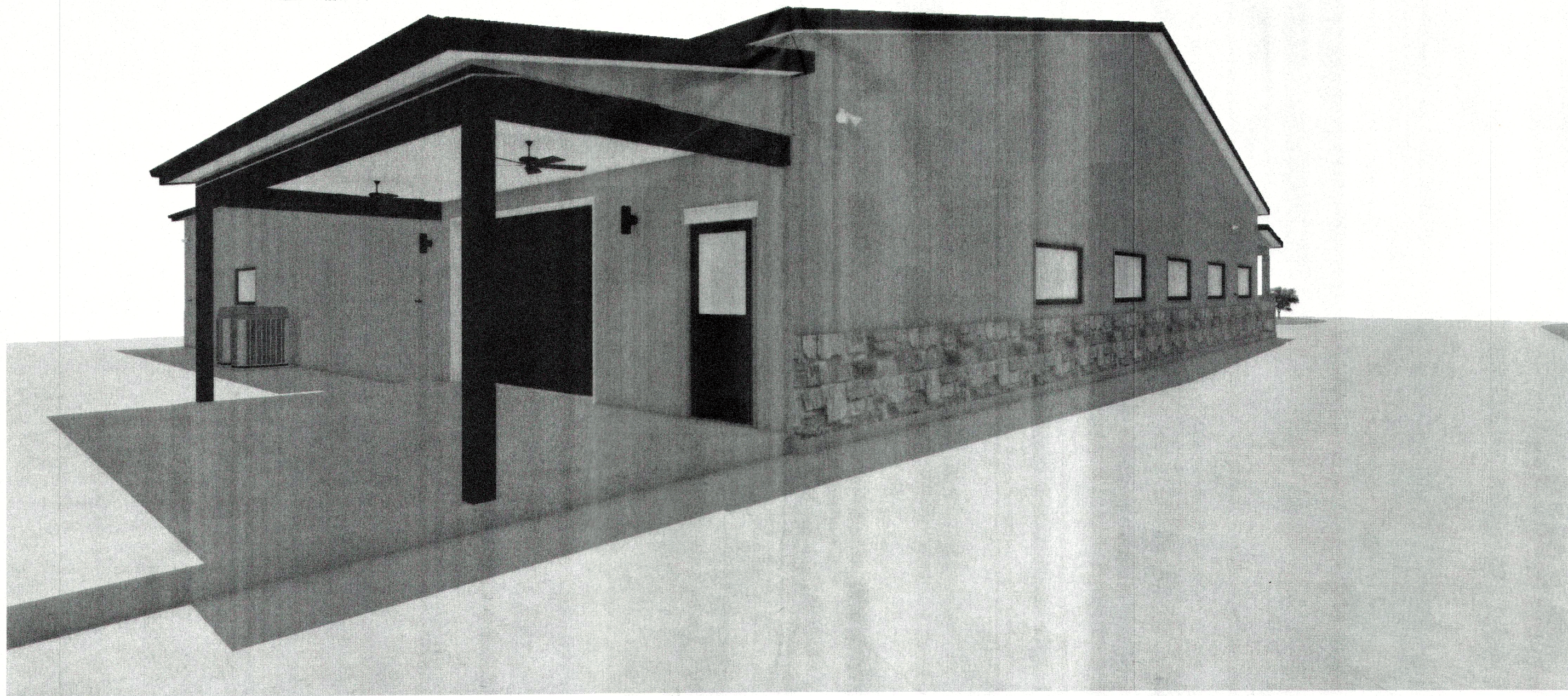




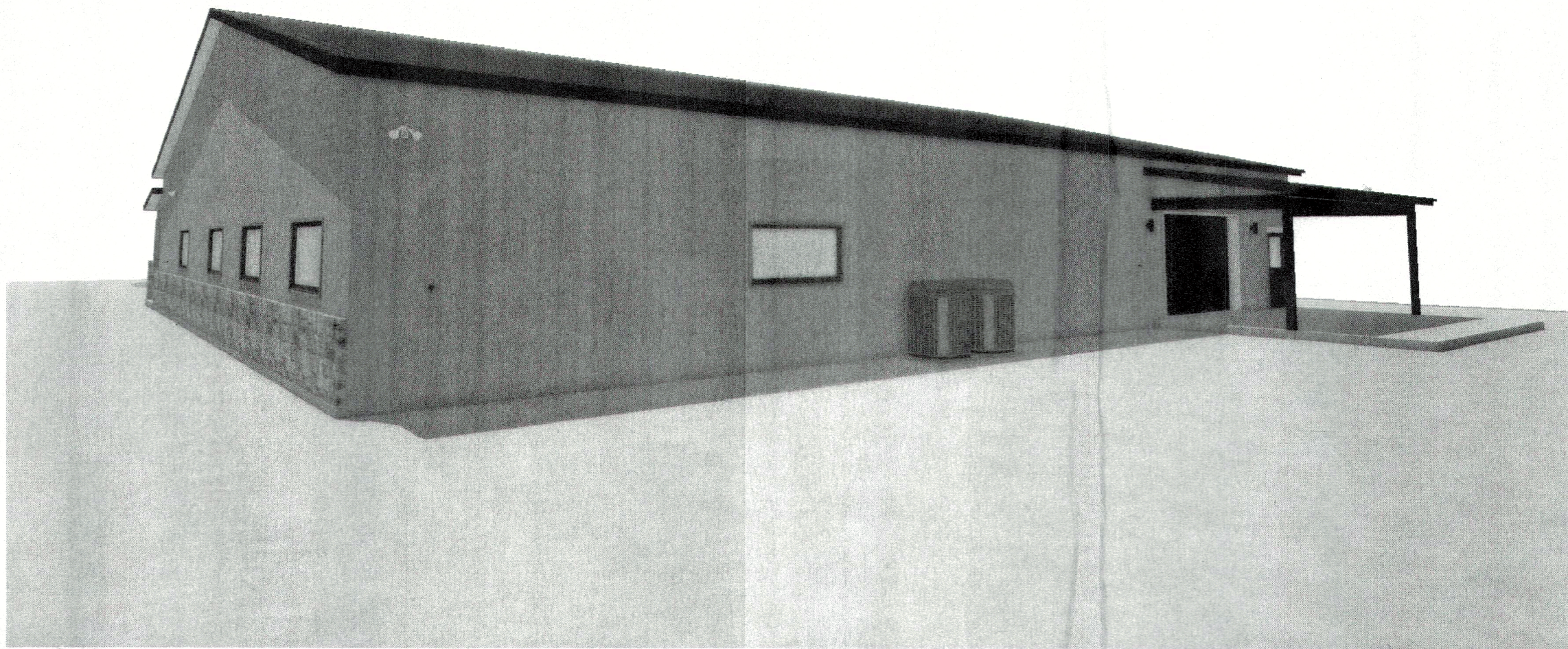
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/9/2023	A.J.H.	BID/REVIEW PLANS
REV 02	8/9/2023	A.J.H.	EXTENDED MAINSLOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	8/14/2023	A.J.H.	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.

*[Signature]*  
Chairman of Planning & Zoning Commission

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST -2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO	
To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.	BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
MIN. CODE RECOMMENDATIONS: ELECTRICAL SYSTEM CODE: SEC.2701 MECHANICAL SYSTEM CODE: SEC.2801 PLUMBING SYSTEM CODE: SEC.2901 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)	

**GENERAL NOTES:**  
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.  
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).  
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.  
**BUILDING PERFORMANCE:**  
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

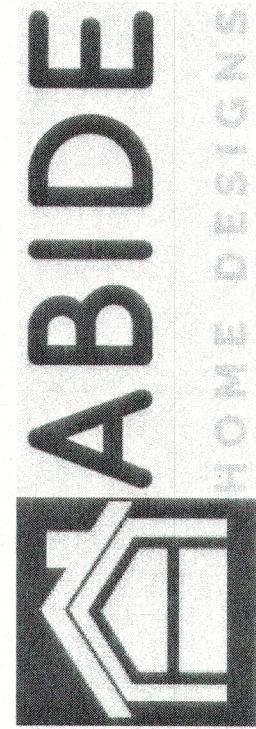
Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	SITE PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	FRAMING PLAN - 1F
9	ELECTRICAL PLAN
10	CABINET PLAN

REV 03

PLANS PREPARED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-593-0454  
AARON@ABIDEHOMEDESIGNS.COM

PROJECT  
OVERVIEW

TRI-TEX CONSTRUCTION  
INC.  
955 SIDS RD  
ROCKWALL, TX 75082



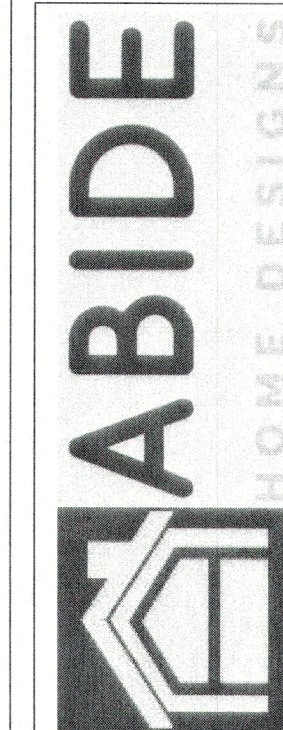
DATE:  
8/14/2023

SCALE:  
1/4"=1'

SHEET:  
1



## ELEVATIONS

TRI-TEX CONSTRUCTION  
INC.  
955 SIDS RD  
ROCKWALL, TX 75032

DATE:

8/14/2023

SCALE:

1/4"=1'

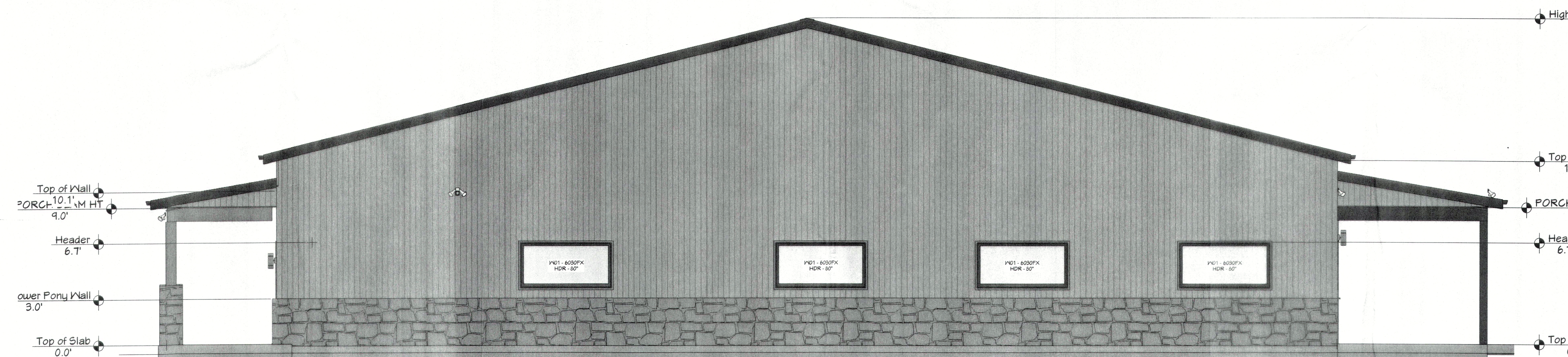
SHEET:

2



## Exterior Elevation Front

MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
R PANEL: 429 SF  
STONE PONY WALL: 245 SF



## Exterior Elevation Right

MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
R PANEL: 884 SF  
STONE PONY WALL: 212 SF

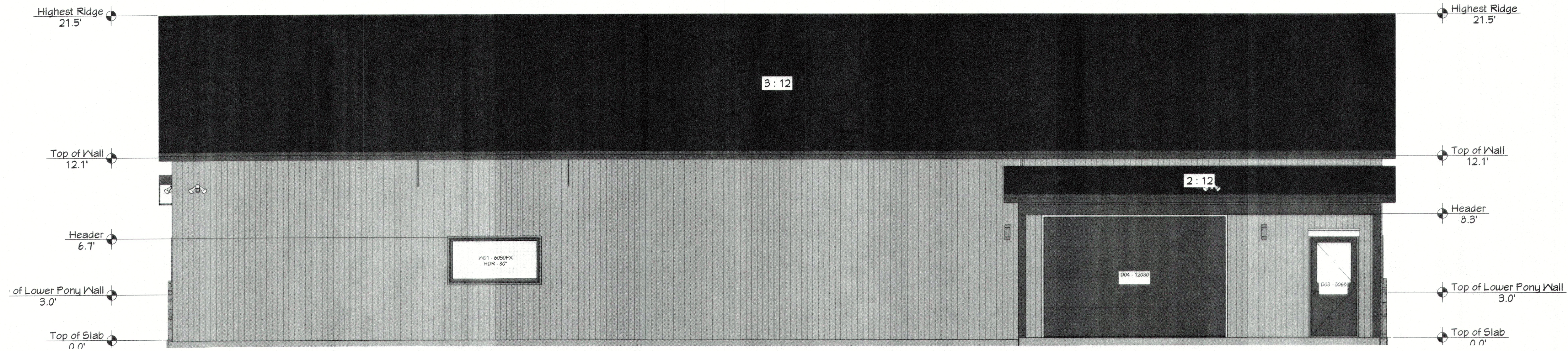
APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August 2023.

*[Signature]*  
Planning & Zoning Commission, Chairman

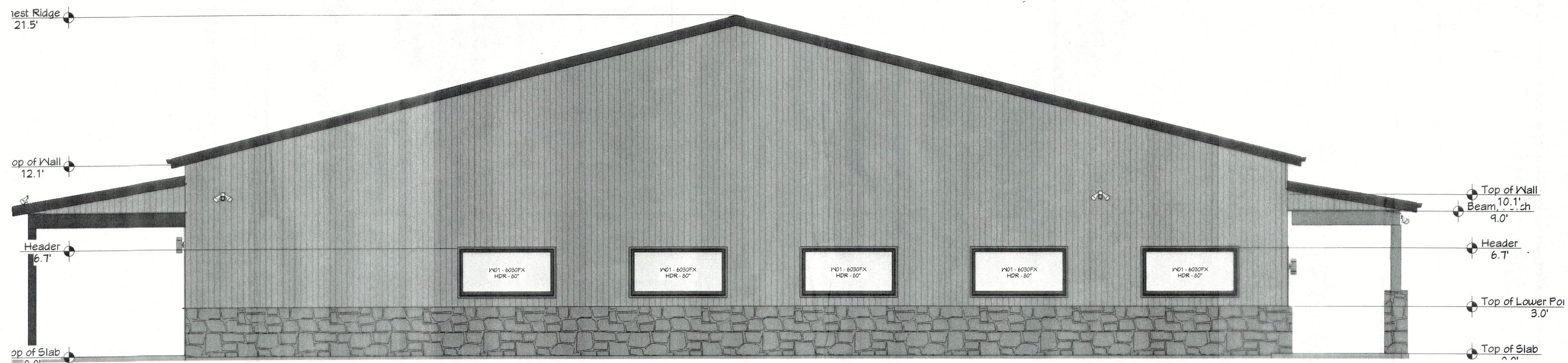
*[Signature]*  
Director of Planning & Zoning

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	





Exterior Elevation Back  
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
 R PANEL: 1017 SF



Exterior Elevation Left  
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
 R PANEL: 866 SF  
 STONE PONY WALL: 212 SF

APPROVED:  
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.  
 [Signature] [Signature]  
 Chairman Director of Planning & Zoning



GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IBC AND 2006 IMC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 7" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:  
1F OFFICES/COMMON SPACES: VINYL TILE  
1F BATHS: TILE

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ. FT.)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	M ADA TLT	41	121 1/8"
1	OFFICE 7	195	121 1/8"
1	OFFICE 6	158	121 1/8"
1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	109 1/8"
1	OFFICE 7	131	121 1/8"
1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
1	WOMEN'S RESTROOM	57	121 1/8"
1	COMMON HALL 1	298	121 1/8"
1	STORAGE	101	121 1/8"
1	M TLT 2	26	121 1/8"
1	OFFICE 1	157	121 1/8"
1	OFFICE 2	157	121 1/8"
1	OFFICE 3	158	121 1/8"
1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	239	109 1/8"
TOTALS:		5933	

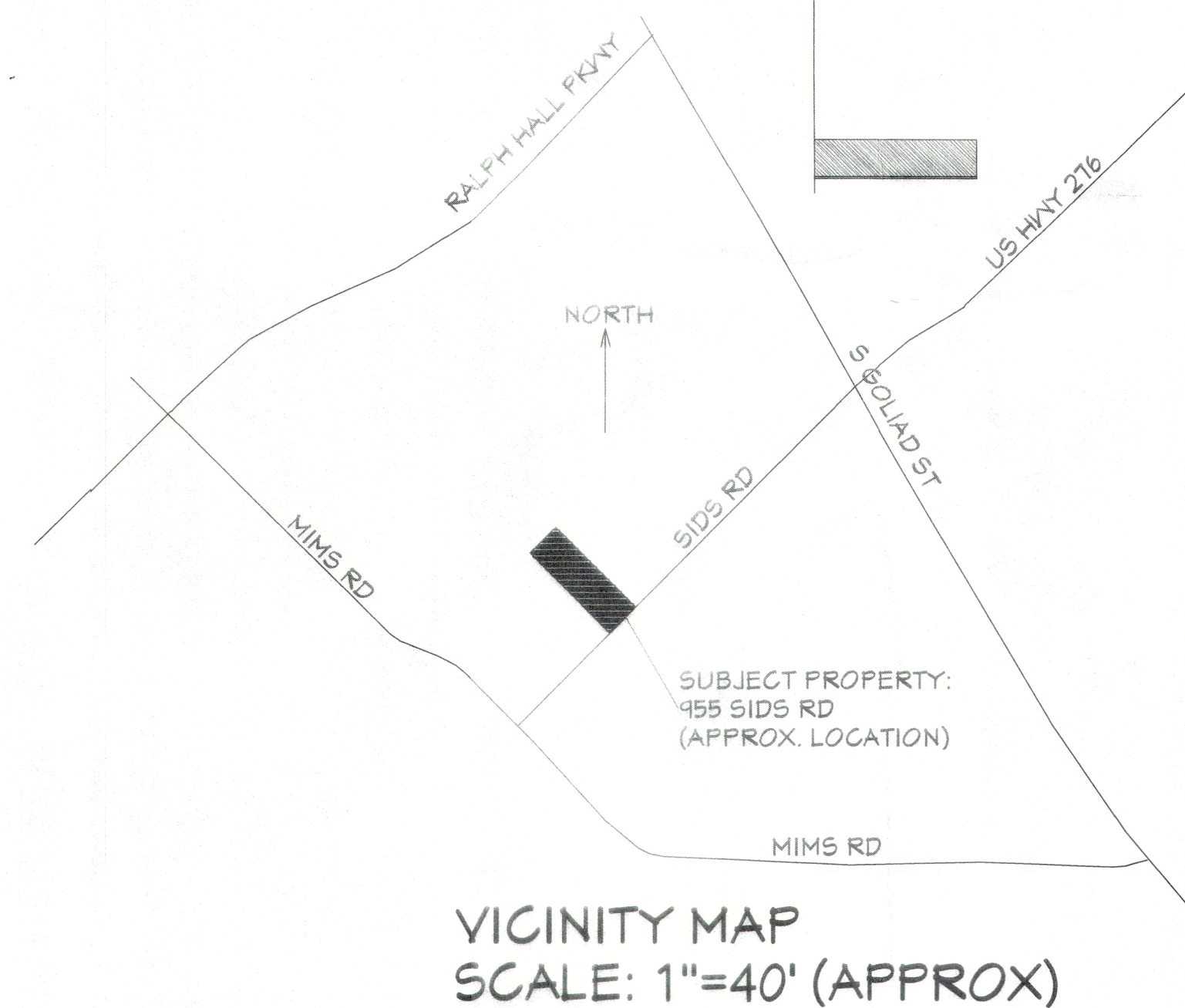
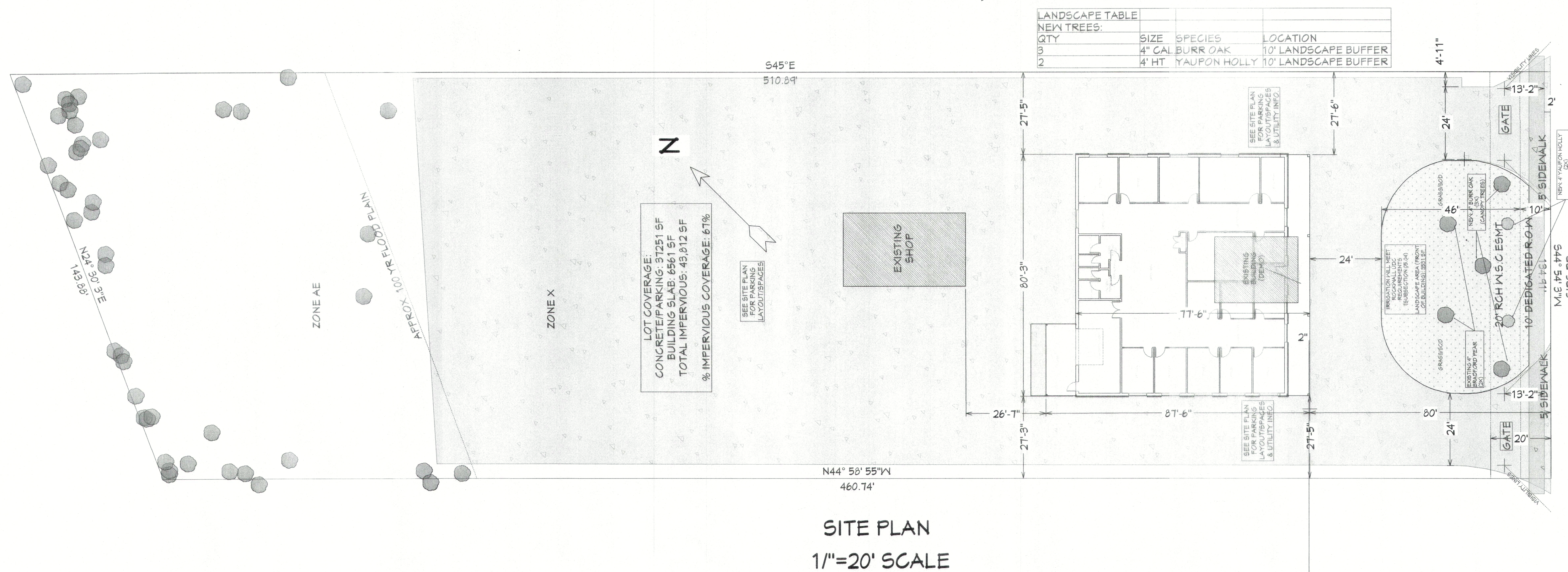
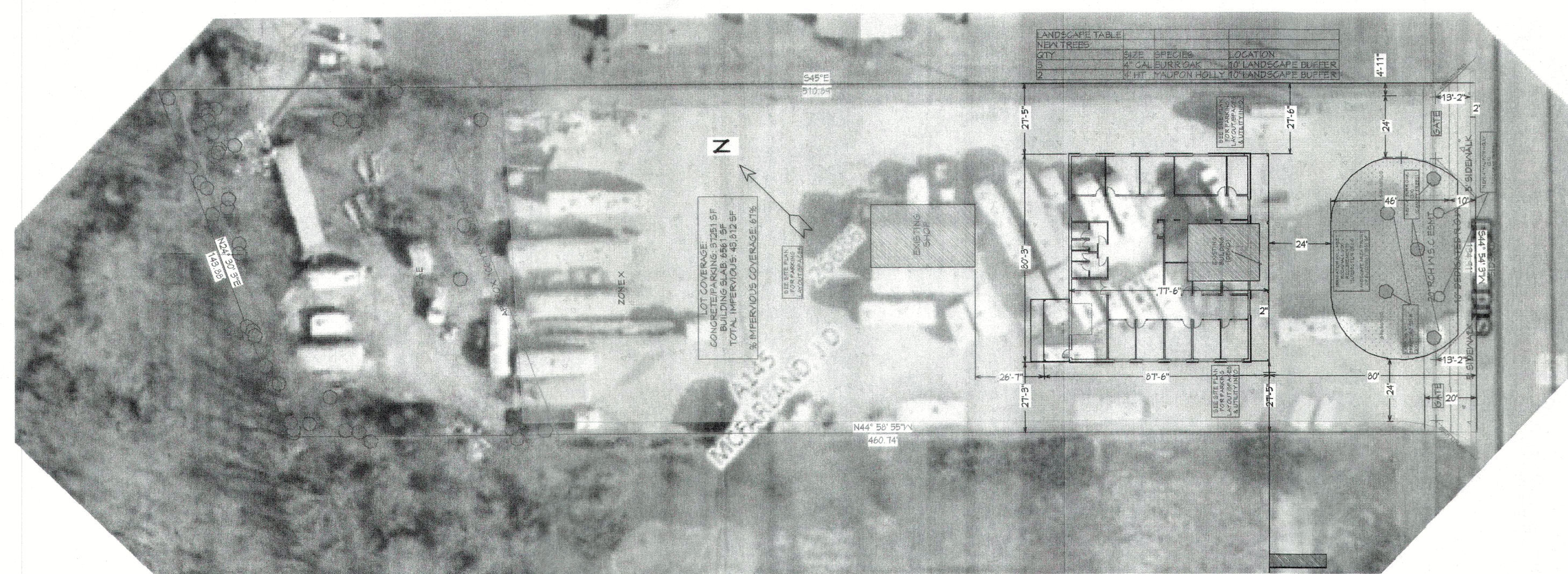
DOOR SCHEDULE

NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DIVIDED LITES	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	5468 L/R IN	IN	OUT	DOUBLE HINGED- 84 INTERIOR	80 "	64 "		1+1	3/4"x6 1/2"	
D02	1	11	3068 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		0+1	3/4"x4 1/2"	
D03	1	1	3068 L EX	EX	OUT	EXT. HINGED-GLASS PANEL	80 "	36 "	1	1+0	3/4"x11 1/2"	
D04	1	1	12080	EX	IN	GARAGE-MODERN STEEL - FLUSH	96 "	144 "		4	3/4"x11 1/2"	
D05	1	1	4068 L/R IN	IN	IN	DOUBLE HINGED- 84 INTERIOR	80 "	48 "		1+1	3/4"x4 1/2"	
D06	1	1	2668 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		0+1	3/4"x4 1/2"	
D08	1	1	6068 R EX	EX	IN	EXT. DOUBLE HINGED-GLASS PANEL	80 "	72 "	1	1+1	3/4"x11 1/2"	
D11	1	1	2668 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		1+0	3/4"x4 1/2"	
D12	1	8	3068 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		1+0	3/4"x4 1/2"	

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE
W01	19	1	6030FX	FIXED GLASS	72 "	36 "	80"	1	
W02	7	1	5030FX	FIXED GLASS	60 "	36 "	80"	1	





SITE DATA:

PROPERTY WILL REMAIN ZONED AS-IS:  
COMMERCIAL, F1

PHOTOMETRICS - EXISTING SITE LIGHTING RETAINED. ALL LIGHTING SHALL BE DOWNWARD FACING AND FULLY SHIELDED.

DEVELOPER: TRI-TEX CONSTRUCTION INC.

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [15] day of August, 2023.

WITNESS OUR HANDS, this [15] day of August, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning





FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/3/2023	AJH	BID/REVIEW PLANS
REV 02	3/8/2023	AJH	EXTENDED MAINSCOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	3/14/2023	AJH	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS
REV 04	11/10/2023	AJH	UPDATED NOTES & SITE PLAN SHT
REV 05	12/6/2023	AJH	UPDATED SITE/LANDSCAPE PLAN
REV 06	12/22/2023	AJH	REVISED INTERIOR OFFICE LAYOUT, UPDATED ELECTRICAL/CLNG PLAN

BUILDERS COPY

Keep On Job Site At All Times  
For Inspection Use

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table	
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5	SCHEDULES & STYLE
6	SITE & LANDSCAPE PLAN
7	FOUNDATION/ROUGH-IN PLAN
8	ROOF PLAN - 1F
9	FRAMING PLAN - 1F
10	ELECTRICAL PLAN
11	CABINET PLAN

REV 06

PLANS PREPARED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0459  
AARON@ABIDEHOMEDESIGNS.COM

PROJECT  
OVERVIEW

TRI-TEX CONSTRUCTION  
INC.  
955 SIDS RD  
ROCKWALL, TX 75032



DATE:

2/12/2024

SCALE:

1/4"=1'

SHEET:

2



Keep On Job Site At All Times  
For Inspection Use

PLANS PREPARED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0459  
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS

TRI-TEX CONSTRUCTION  
INC.  
955 SIDS RD  
ROCKWALL, TX 75082



DATE:

2/12/2024

SCALE:

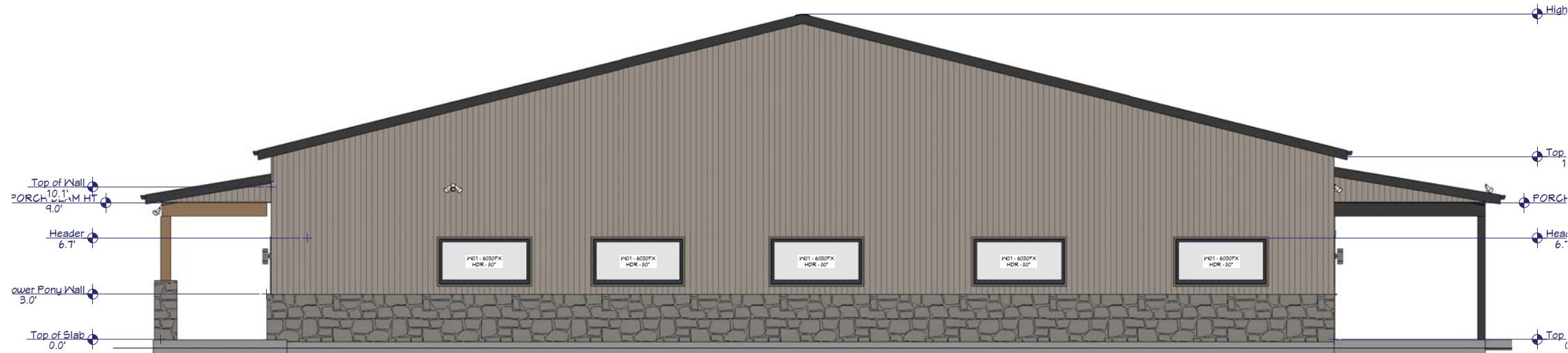
1/4"=1'

SHEET:

3



Exterior Elevation Front  
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
R PANEL: 429 SF  
STONE PONY WALL: 245 SF (36%)



Exterior Elevation Right  
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
R PANEL: 884 SF  
STONE PONY WALL: 212 SF (20%)

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
	(SEE STYLE SHEET FOR ADDITIONAL INFO.)



Keep On Job Site At All Times  
For Inspection Use

REV 06

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AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0459  
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS  
(CONT.)

TRI-TEX CONSTRUCTION  
INC.  
955 SIDS RD  
ROCKWALL, TX 75032



DATE:

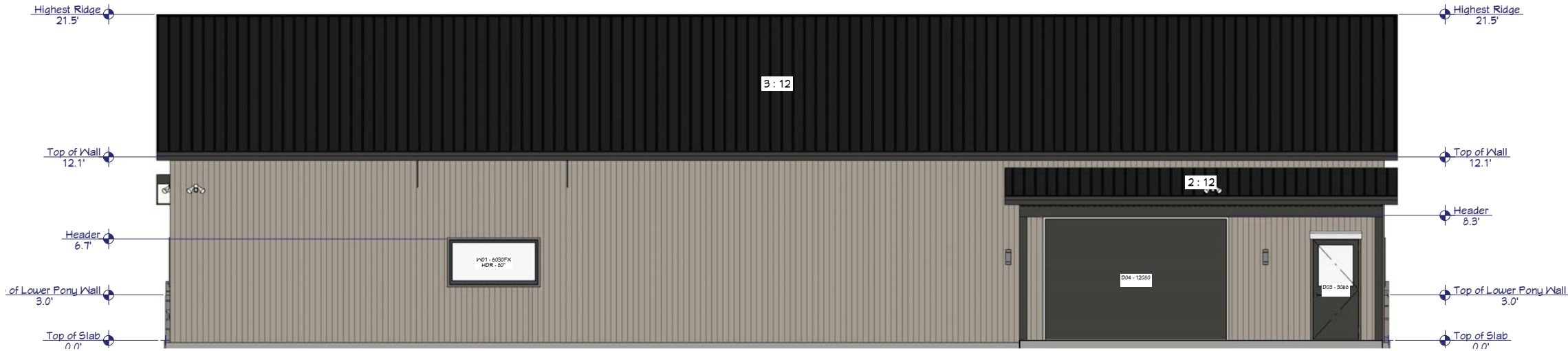
2/12/2024

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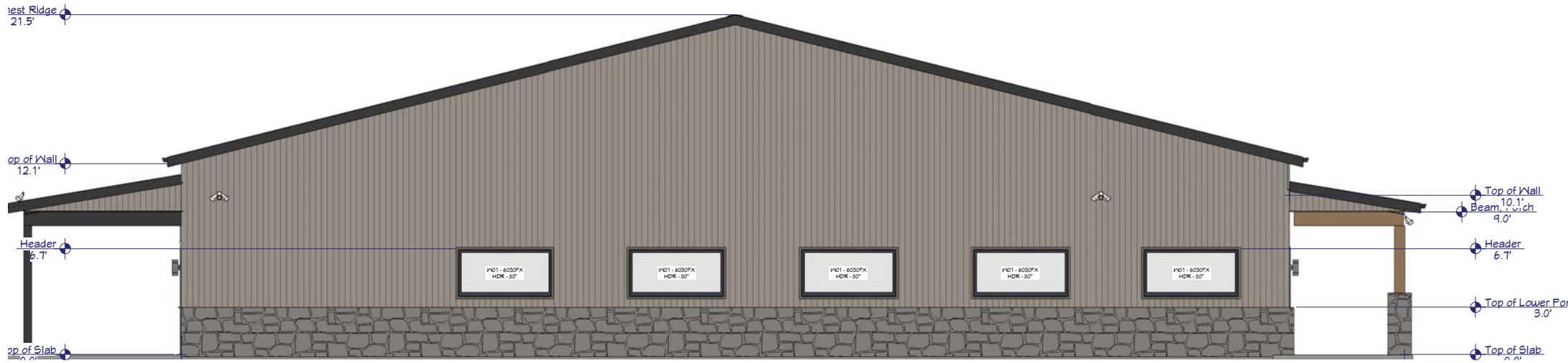
1/4"=1'

SHEET:

4



Exterior Elevation Back  
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
R PANEL: 1017 SF (100%)



Exterior Elevation Left  
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):  
R PANEL: 866 SF  
STONE PONY WALL: 212 SF (20%)