



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northeast corner of Data Drive and Springer Road

SUBDIVISION Rockwall Technology Park Phase V

LOT

Part of 1

BLOCK

B

GENERAL LOCATION Northeast corner of Data Drive and Springer Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial - SUP No. S-320

CURRENT USE Undeveloped

PROPOSED ZONING No Change

PROPOSED USE Heavy Manufacturing

ACREAGE 22

LOTS [CURRENT]

Part of Larger Lot

LOTS [PROPOSED]

1 New Lot

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Rockwall EDC

☒ APPLICANT Kimley-Horn and Associates, Inc.

CONTACT PERSON Phil Wagner

CONTACT PERSON Neda Hosseiny

ADDRESS 2610 Observation

ADDRESS 13455 Noel Road, Two Galleria Office Tower

Suite 104

Suite 700

CITY, STATE & ZIP Rockwall, Texas 75032

CITY, STATE & ZIP Dallas, Texas 75240

PHONE 972.772.0025

PHONE 972.770.1300

E-MAIL pwagner@rockwalledc.com

E-MAIL neda.hosseiny@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

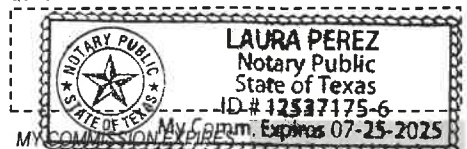
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

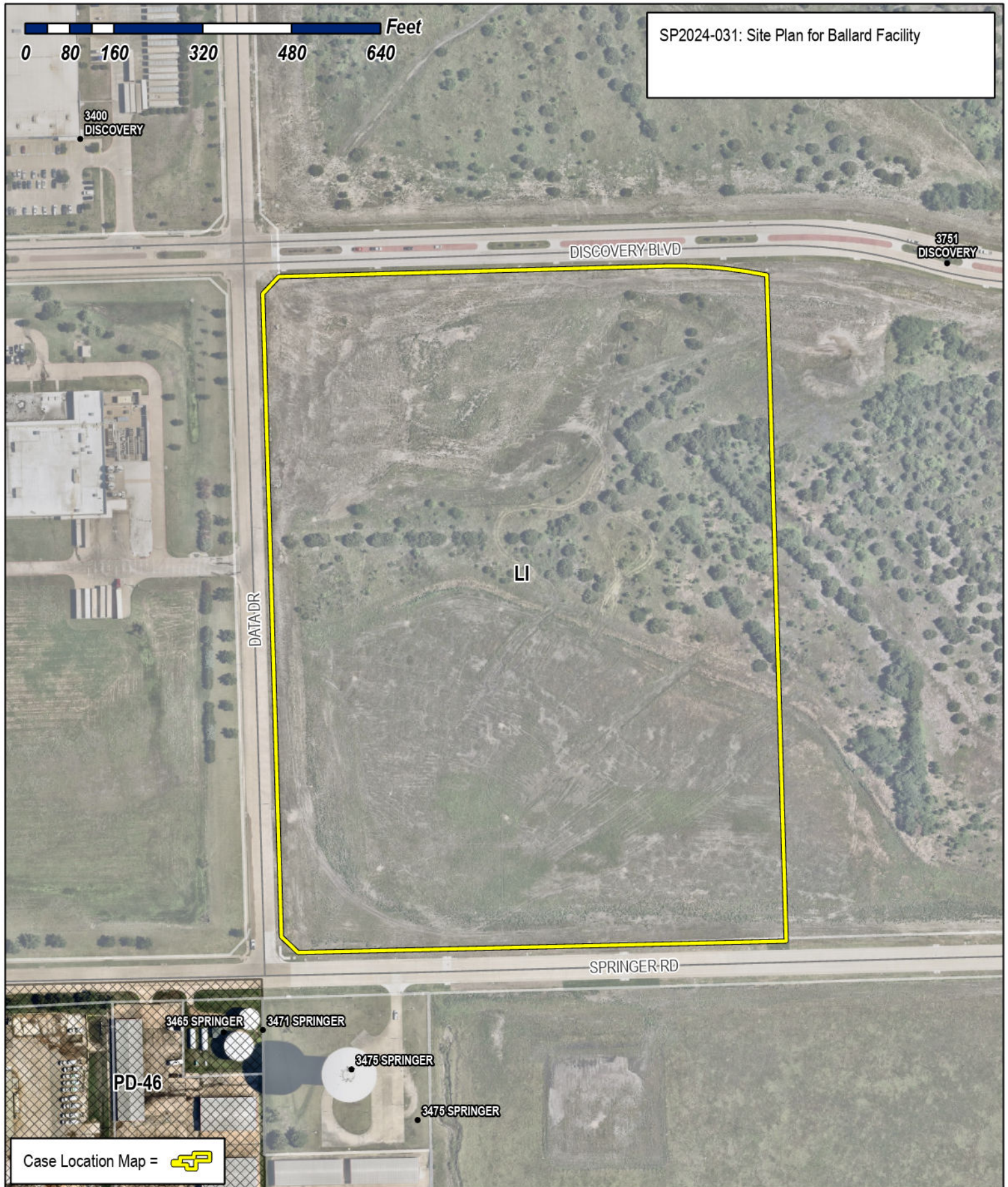
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 740.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2024.

OWNER'S SIGNATURE Phil Wagner

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Laura Perez





City of Rockwall

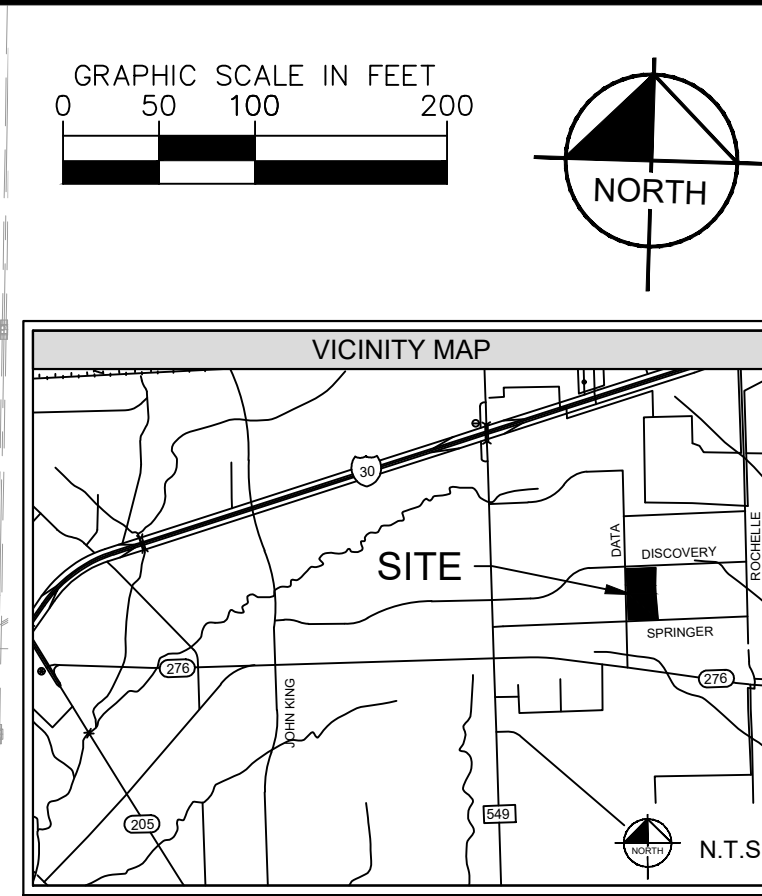
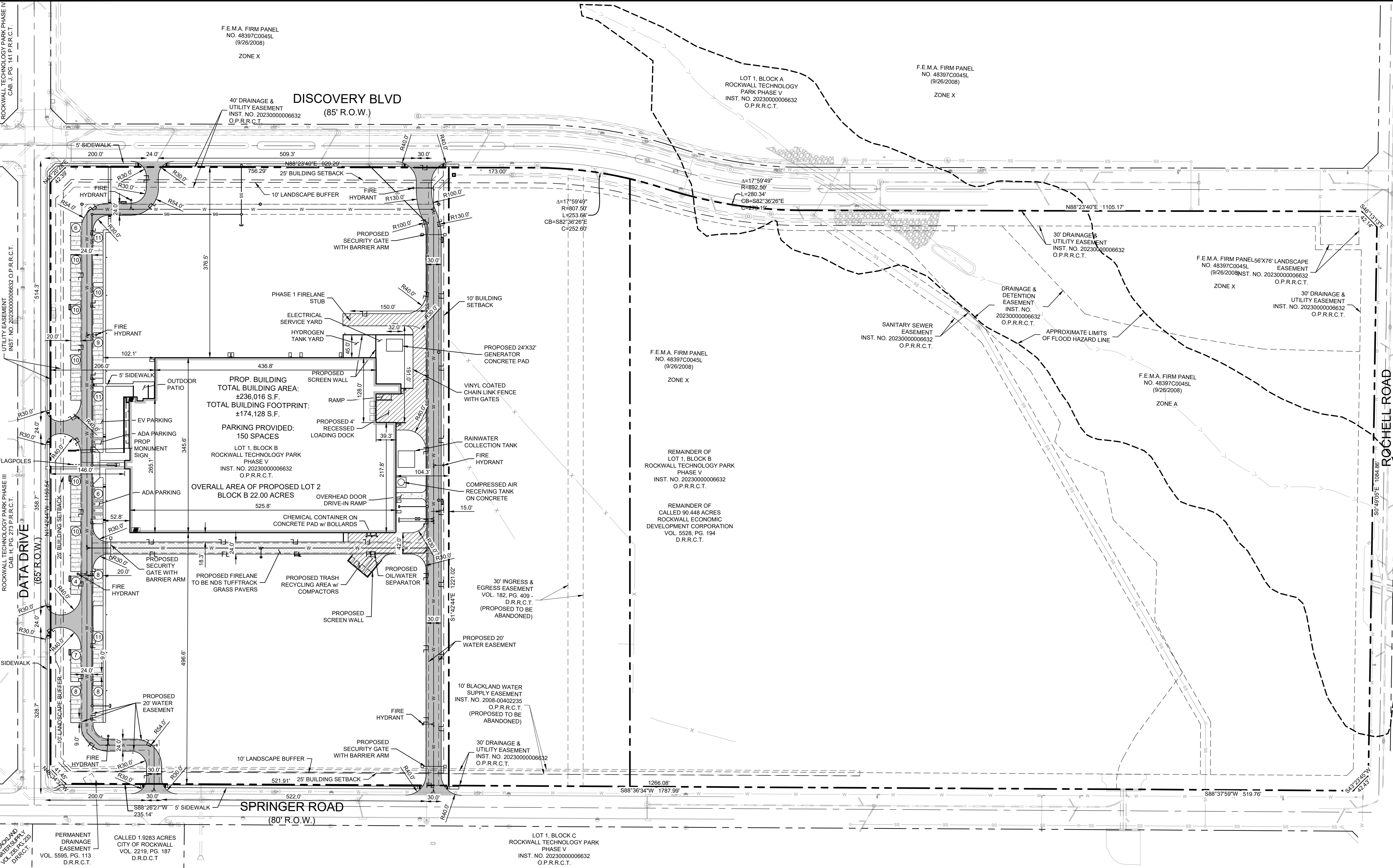
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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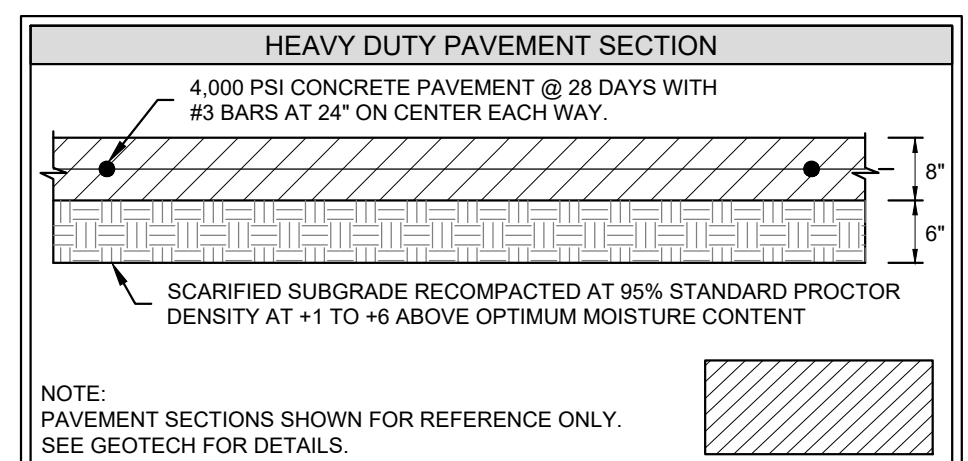
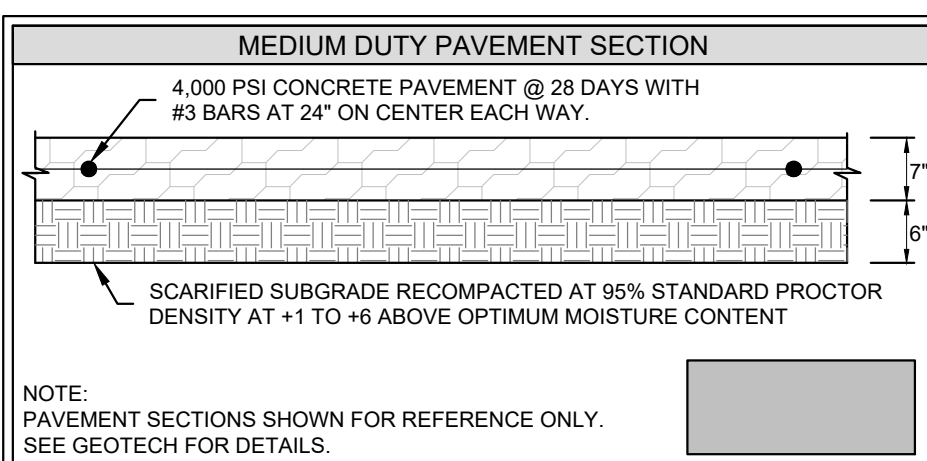
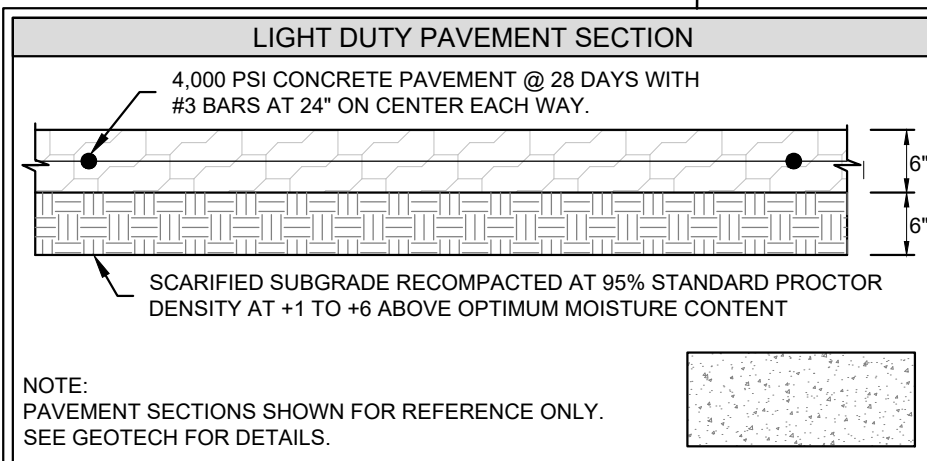
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LEGEND	
PROPERTY LINE	---
PROPOSED WATER	---
EXISTING WATER	---
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	---
PROPOSED UNDERGROUND ELECTRIC LINE	---
EXISTING UNDERGROUND ELECTRIC LINE	---
PROPOSED NATURAL GAS LINE	---
EXISTING NATURAL GAS LINE	---
PROPOSED WATER VALVE	---
EXISTING WATER VALVE	---
PROPOSED FIRE HYDRANT	---
EXISTING FIRE HYDRANT	---
PROPOSED WATER METER	---
EXISTING WATER METER	---
PROPOSED SANITARY SEWER CLEANOUT	---
EXISTING SANITARY SEWER CLEANOUT	---
PROPOSED SANITARY SEWER MANHOLE	---
EXISTING SANITARY SEWER MANHOLE	---

SITE SUMMARY TABLE	
ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%



PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES
PHASE 1 EMPLOYEE COUNT	198
ULTIMATE EMPLOYEE COUNT	540
PHASE 1 REQUIRED PARKING	149 TOTAL SPACES
	144 STANDARD SPACES
	5 ADA SPACES
ULTIMATE REQUIRED PARKING	405 TOTAL SPACES
	396 STANDARD SPACES
	9 ADA SPACES
PHASE 1 PROVIDED PARKING	133 STANDARD SPACES
	10 EV SPACES
	6 ADA SPACES
ULTIMATE PROVIDED PARKING	405 TOTAL SPACES SPACES
	386 STANDARD SPACES
	10 EV SPACES
	9 ADA SPACES

NOTES

THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.

SITE PLAN SIGNATURE BLOCK

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____, ____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN ROCKWALL TECHNOLOGY PARK PHASE V PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CITY PROJECT NO. SP-XXXXXX-XXXX

SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:

KIMLEY-HORN & ASSOCIATES, INC.

13455 NOEL ROAD

TWO GALLERIA OFFICE TOWER, SUITE 700

DALLAS, TEXAS 75240

PH (972) 770-1300

CONTACT: NEDA HOSSEINY, P.E.

DEVELOPER:

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION

2610 OBSERVATION TRAIL, SUITE 104

ROCKWALL, TX 75032

PH. (972) 772-0025

CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
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PRELIMINARY

FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

Kimley»Horn

Engineer: NEDA M. HOSSEINY

P.E. No. 126707

Date: 06/14/2024

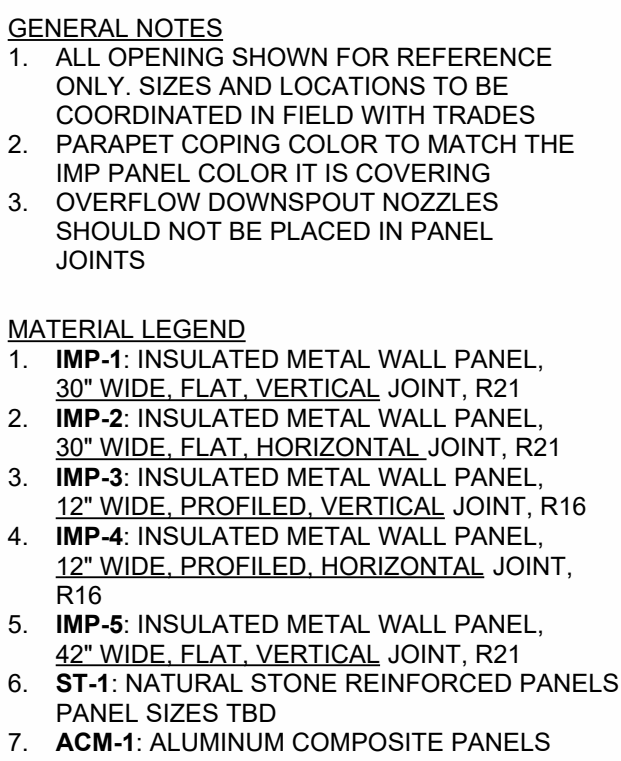
KHA PROJECT	068671058	DATE	06/14/2024	SCALE	AS SHOWN	DESIGNED BY	TAD	AKA	NKH
CHECKED BY									

PROJECT SATURN

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

**SITE PLAN
PHASE 1**

SHEET NUMBER
C-003



DISCLAIMER: THIS DRAWING IS TO BE PRINTED IN COLOR. IF THIS TEXT DOES NOT APPEAR IN COLOR, ANY USE OF THIS DRAWING IS AT THE SOLE RISK AND LIABILITY OF THE USER WHO RETAINS THE RESPONSIBILITY OF MEETING THE PROJECT REQUIREMENTS.

BALLARD™
 BALLARD POWER SYSTEMS, INC.
 9000 GLENLYON PARKWAY
 BURNABY, BC V5J 5J8
 P: 604-454-0900
 WWW.BALLARD.COM

PROJECT SATURN
Rockwall Technology Park, Rockwall,
TX 75302

GHAFARI

17101 MICHIGAN AVENUE
DEARBORN, MI 48126-2736 USA
TEL +1.313.441.3000
www.ghafari.com

CONSULTANT INFORMATION

REGISTRATION SEAL

REGISTRATION SEAL

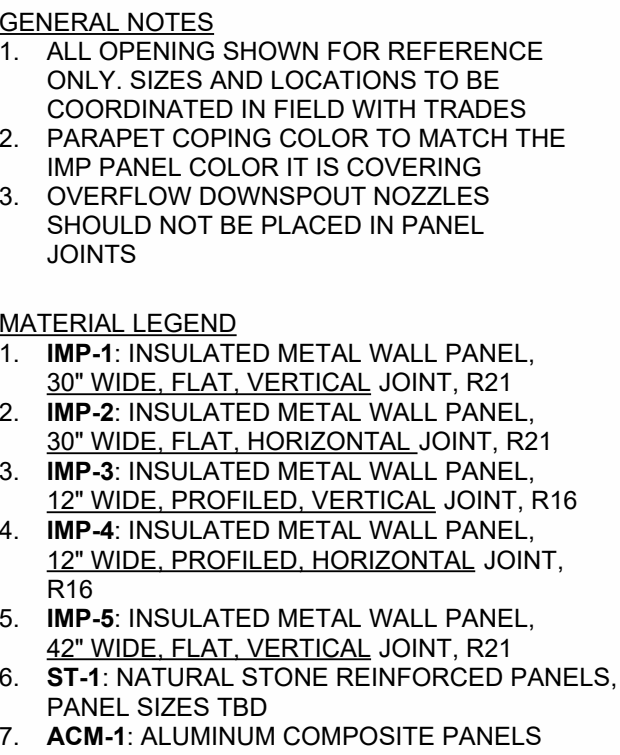
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CONSTRUCTION

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PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY
SHEET TITLE	

ARCHITECTURAL BUILDING ELEVATIONS

AE2-00-01
SHEET NUMBER



PROJECT SATURN
Rockwall Technology Park, Rockwall,
TX 75302

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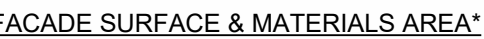
PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY
SHEET TITLE	

ARCHITECTURAL BUILDING ELEVATIONS

AE2-00-02
SHEET NUMBER

73-2-1

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VEST
TOTAL AREA = ± 13,250 SF

MP/ACM	= 6,500 SF	49%
GLAZING	= 4,350 SF	33%
STONE	= 2,400 SF	18%

NORTH	
TOTAL AREA	= ± 20,020 SF
MP	= 18,200 SF 91%
GLAZING	= 720 SF 4%
STONE	= 1,100 SF 5%

EAST
TOTAL AREA = ± 13,010 SF
MP = 12,900 SF | 99%
GLAZING = 110 SF | 1%
STONE = N/A

SOUTH	
TOTAL AREA	= ±20,100 SF
MP	= 17,900 SF 89%
GLAZING	= 1,880 SF 9%
STONE	= 320 SF 2%

DOCUMENTS; APPROXIMATED
AREAS.

ROCKWALL, TX
MINIMUM STANDARDS FOR ARTICULATION**

PRIMARY FACADES

VEST (Data Dr.)	
WALL HEIGHT (H)	= ± 37'-8"
WALL LENGTH (L)	= ± 175'
WALL PROJECTION	= ± 7'-10" - 8'-6"
	(MULTIPLE NOTED)
ENTRY ELEMENT (L)	= ± 66'
PROJECTION HEIGHT	= ± 4'-7"
ENTRY ELEMENT (W)	= ± 45'

SECONDARY FACADES

NORTH (Discovery Blvd.)

WALL HEIGHT (H)	= ± 37'-8"
WALL LENGTH (L)	= ± 437'
ARCH. ELEMENT (L)	= ± 35'
ARCH. ELEMENT (W)	= ± 3'-2" - 7'-8"
	(2nd FLOOR OVERHANG)
PROJECTION HEIGHT	= 14'-9"
	(2nd FLOOR)

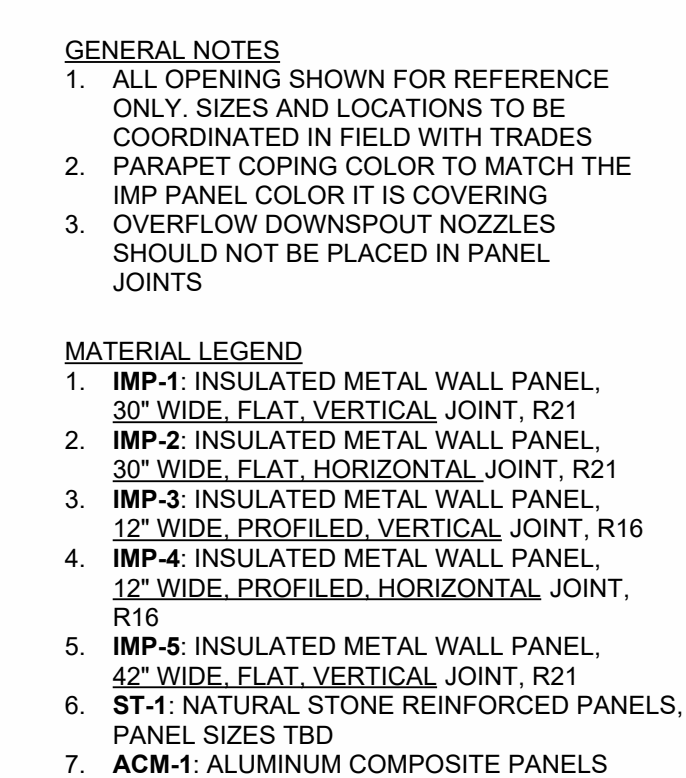
WALL HEIGHT [H]	=	± 37'-8"
WALL LENGTH [L]	=	± 217'-10"
ARCH. ELEMENT (L)	=	± 128'
ARCH. ELEMENT (W)	=	± 39'-6"
PROJECTION HEIGHT	=	N/A

SOUTH (Springer Rd.)

WALL HEIGHT [H]	=	± 37'-8"
WALL LENGTH [L]	=	± 525'-6"
ARCH. ELEMENT (L)	=	N/A
ARCH. ELEMENT (W)	=	N/A
PROJECTION HEIGHT	=	N/A

**PRELIMINARY DESIGN
DOCUMENTS; APPROXIMATED
DIMENSIONS.

4 NORTH ELEVATION - AREA A
AE1-01-00 SCALE: 3/32" = 1'-0"



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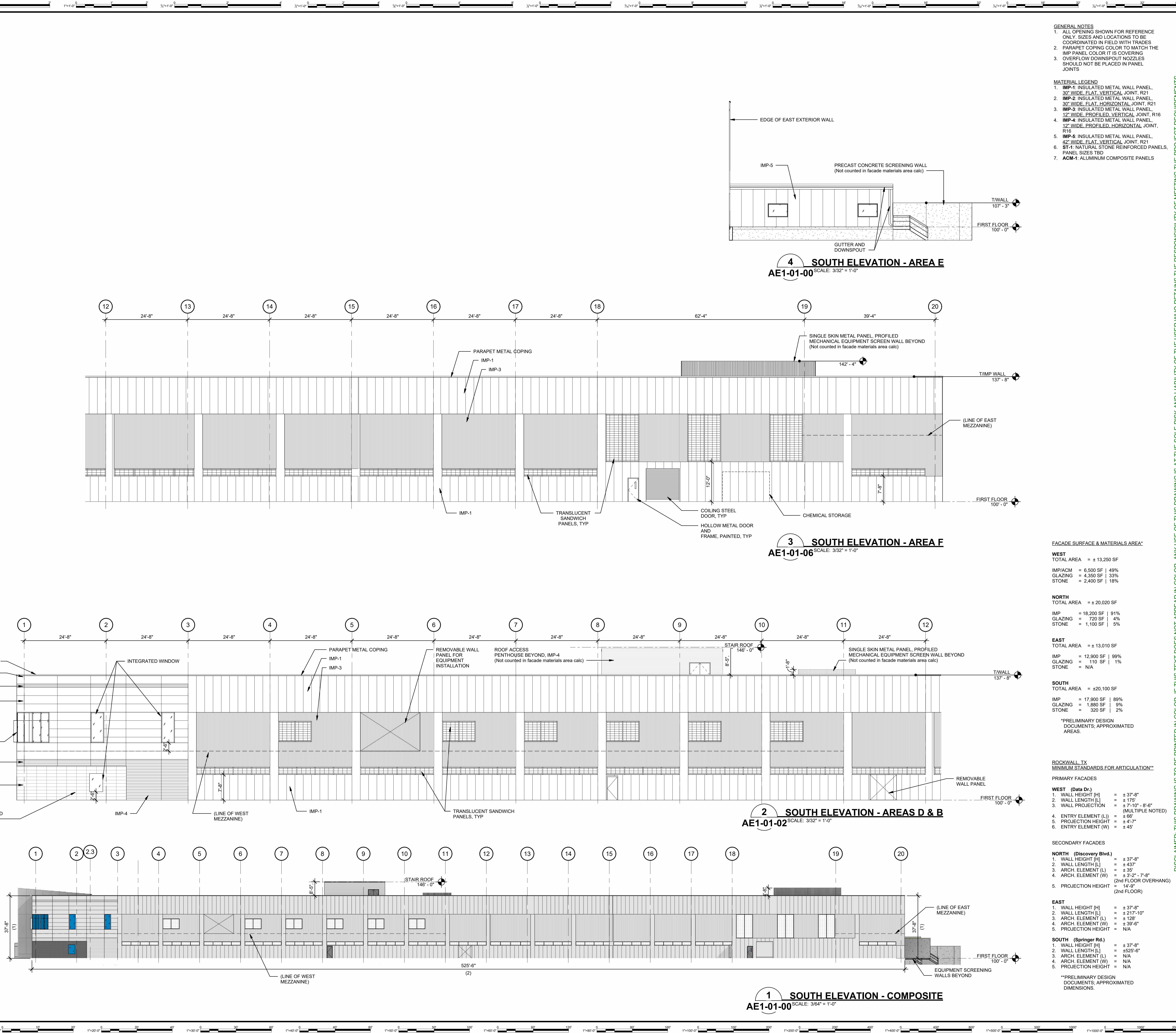
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PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY
SHEET TITLE	

ARCHITECTURAL BUILDING ELEVATIONS

AE2-00-03
SHEET NUMBER

GHAFARI ASSOCIATES © 2024 6/13/2024 10:01:43 PM



- GENERAL NOTES
1. ALL OPENING SHOWN FOR REFERENCE ONLY. SIZES AND LOCATIONS TO BE COORDINATED IN FIELD WITH TRADES
 2. PARAPET COPING COLOR TO MATCH THE IMP PANEL COLOR IT IS COVERING
 3. OVERFLOW DOWNSPOUT NOZZLES SHOULD NOT BE PLACED IN PANEL JOINTS
- MATERIAL LEGEND
1. IMP-1: INSULATED METAL WALL PANEL, 30" WIDE, FLAT, VERTICAL JOINT, R21
 2. IMP-2: INSULATED METAL WALL PANEL, 30" WIDE, FLAT, HORIZONTAL JOINT, R21
 3. IMP-3: INSULATED METAL WALL PANEL, 12" WIDE, PROFILED, VERTICAL JOINT, R16
 4. IMP-4: INSULATED METAL WALL PANEL, 12" WIDE, PROFILED, HORIZONTAL JOINT, R16
 5. IMP-5: INSULATED METAL WALL PANEL, 42" WIDE, FLAT, VERTICAL JOINT, R21
 6. ST-1: NATURAL STONE REINFORCED PANELS, PANEL SIZES TBD
 7. ACM-1: ALUMINUM COMPOSITE PANELS

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CONSULTANT INFORMATION

REGISTRATION SEAL

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FACADE SURFACE & MATERIALS AREA*

WEST
TOTAL AREA = ± 13,250 SF
IMP/ACM = 6,500 SF | 49%
GLAZING = 4,350 SF | 33%
STONE = 2,400 SF | 18%

NORTH
TOTAL AREA = ± 20,020 SF
IMP = 18,200 SF | 91%
GLAZING = 720 SF | 4%
STONE = 1,100 SF | 5%

EAST
TOTAL AREA = ± 13,010 SF
IMP = 12,900 SF | 99%
GLAZING = 110 SF | 1%
STONE = N/A

SOUTH
TOTAL AREA = ± 20,100 SF
IMP = 17,900 SF | 89%
GLAZING = 1,880 SF | 9%
STONE = 320 SF | 2%

*PRELIMINARY DESIGN DOCUMENTS, APPROXIMATED AREAS.

ROCKWALL, TX
MINIMUM STANDARDS FOR ARTICULATION**

PRIMARY FACADES

WEST (Data Dr.)
1. WALL HEIGHT (H) = ± 37'-8"
2. WALL LENGTH (L) = ± 175'
3. WALL PROJECTION (MULTIPLE NOTED) = ± 7'-10" - 8'-6"
4. ENTRY ELEMENT (L) = ± 66'
5. PROJECTION HEIGHT = ± 4'-7"
6. ENTRY ELEMENT (W) = ± 45'

SECONDARY FACADES

NORTH (Discovery Blvd.)
1. WALL HEIGHT (H) = ± 37'-8"
2. WALL LENGTH (L) = ± 437'
3. ARCH. ELEMENT (L) = ± 35'
4. ARCH. ELEMENT (W) = ± 3'-2" - 7'-8" (2nd FLOOR OVERHANG)
5. PROJECTION HEIGHT = ± 14'-0" (2nd FLOOR)

EAST
1. WALL HEIGHT (H) = ± 37'-8"
2. WALL LENGTH (L) = ± 217'-10"
3. ARCH. ELEMENT (L) = ± 126'
4. ARCH. ELEMENT (W) = ± 39'-6"
5. PROJECTION HEIGHT = N/A

SOUTH (Springer Rd.)
1. WALL HEIGHT (H) = ± 37'-8"
2. WALL LENGTH (L) = ± 525'-6"
3. ARCH. ELEMENT (L) = N/A
4. ARCH. ELEMENT (W) = N/A
5. PROJECTION HEIGHT = N/A

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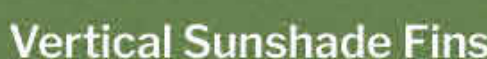
PROJECT # 2400033
PROJECT MANAGER B. JILBERT
DESIGNED BY J. TESTA
DRAWN BY J. JACKSON
QUALITY CHECK R. BARRY
SHEET TITLE

**ARCHITECTURAL
BUILDING ELEVATIONS**

AE2-00-04
SHEET NUMBER



*Building and equipment validation in-progress.
Landscape design in-progress/not shown.



*Landscape design not shown

REGISTRATION SEAL

AE9-00-91
SHEET NUMBER

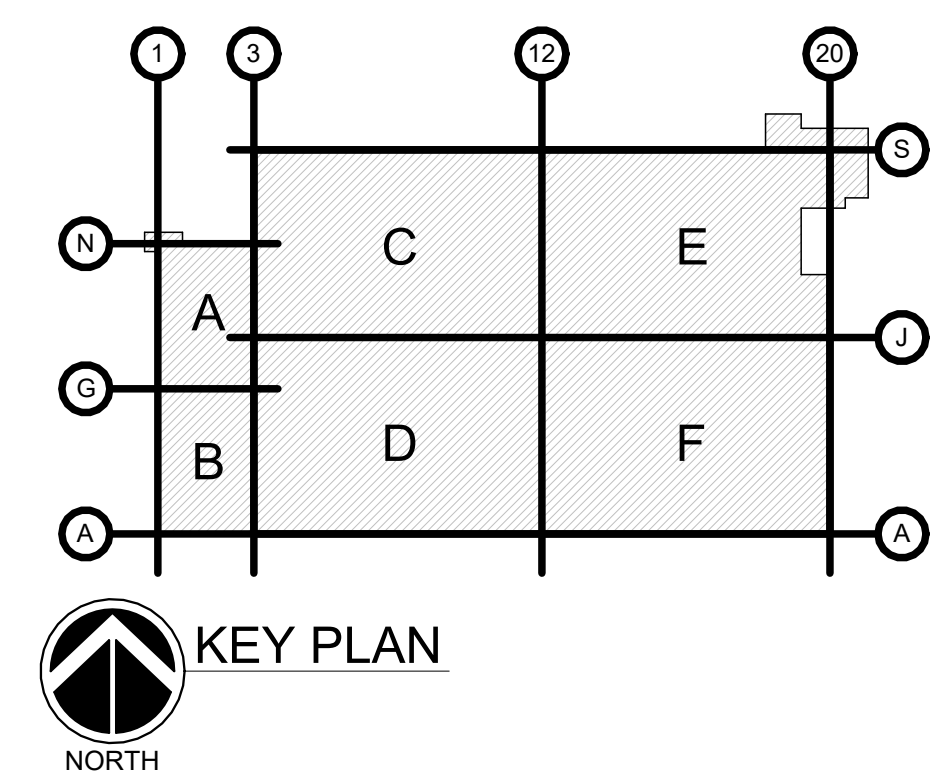
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REGISTRATION SEAL

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AE9-00-92
SHEET NUMBER



REGISTRATION SEAL

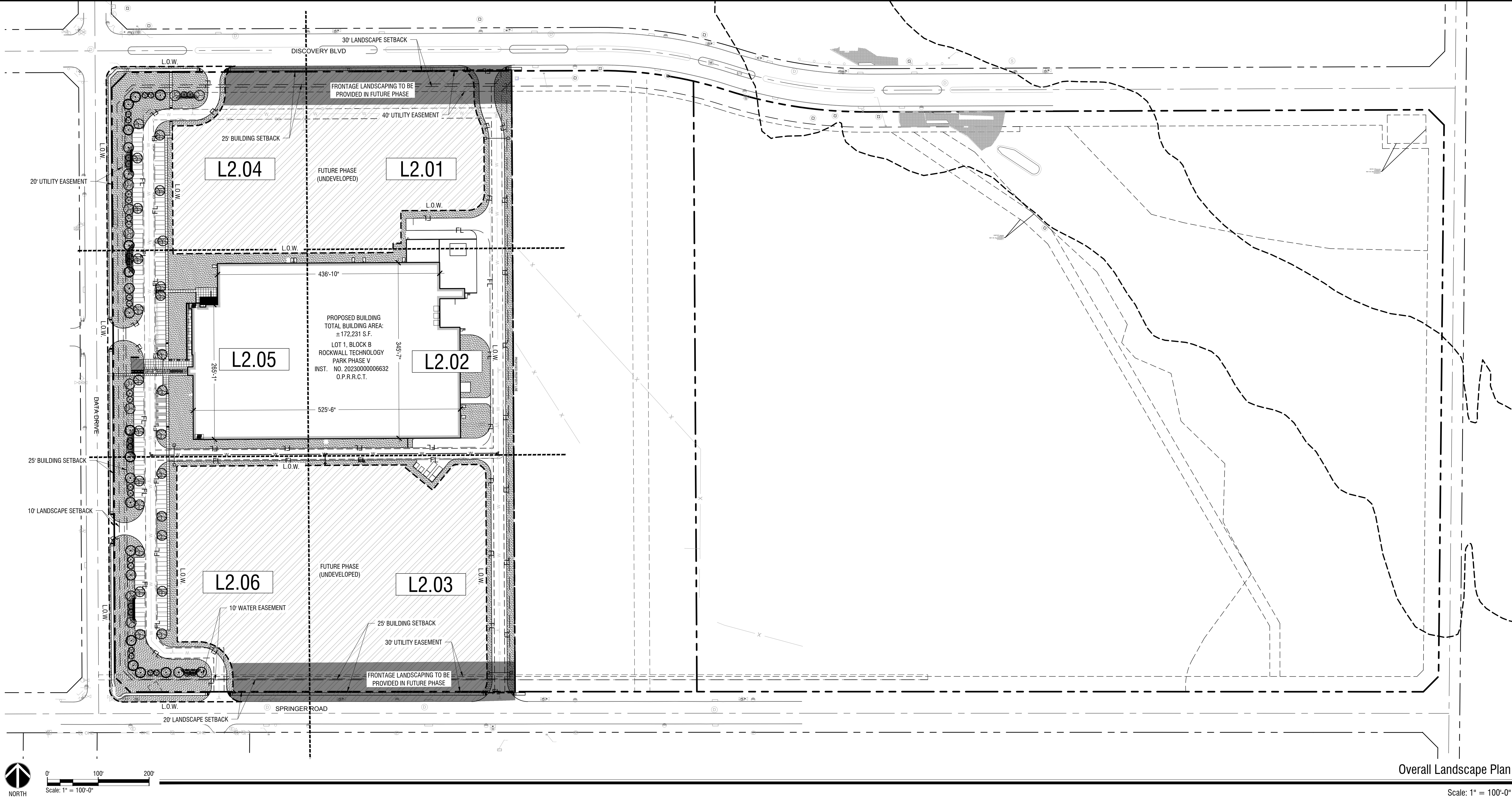
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AE1-01-00
SHEET NUMBER



Plotted By: Ferraro, Nick Date: June 13, 2024 06:07:09pm File Path: K:\MKN_LALP\projects\068671068 - project saturn\CAD_Sheets\CVAL\1.01 LANDSCAPE NOTES AND SITE CALCULATIONS.dwg

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PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE MENODED PER SPECIFICATIONS.
- ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7" MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14" MINIMUM CLEAR TRUNK HEIGHT.
- CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

IRRIGATION NOTES:

- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
- ALL PLANTING AREAS TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
- IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
- ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST THE OWNER.
- IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

TREE PROTECTION NOTES:

- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS

SITE PLAN ROCKWALL TECHNOLOGY PARK PHASE V PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
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P.L.A. Paul D. Freeland
L.A. No. 2458 Date: 06/14/2024

KHA PROJECT 068671068	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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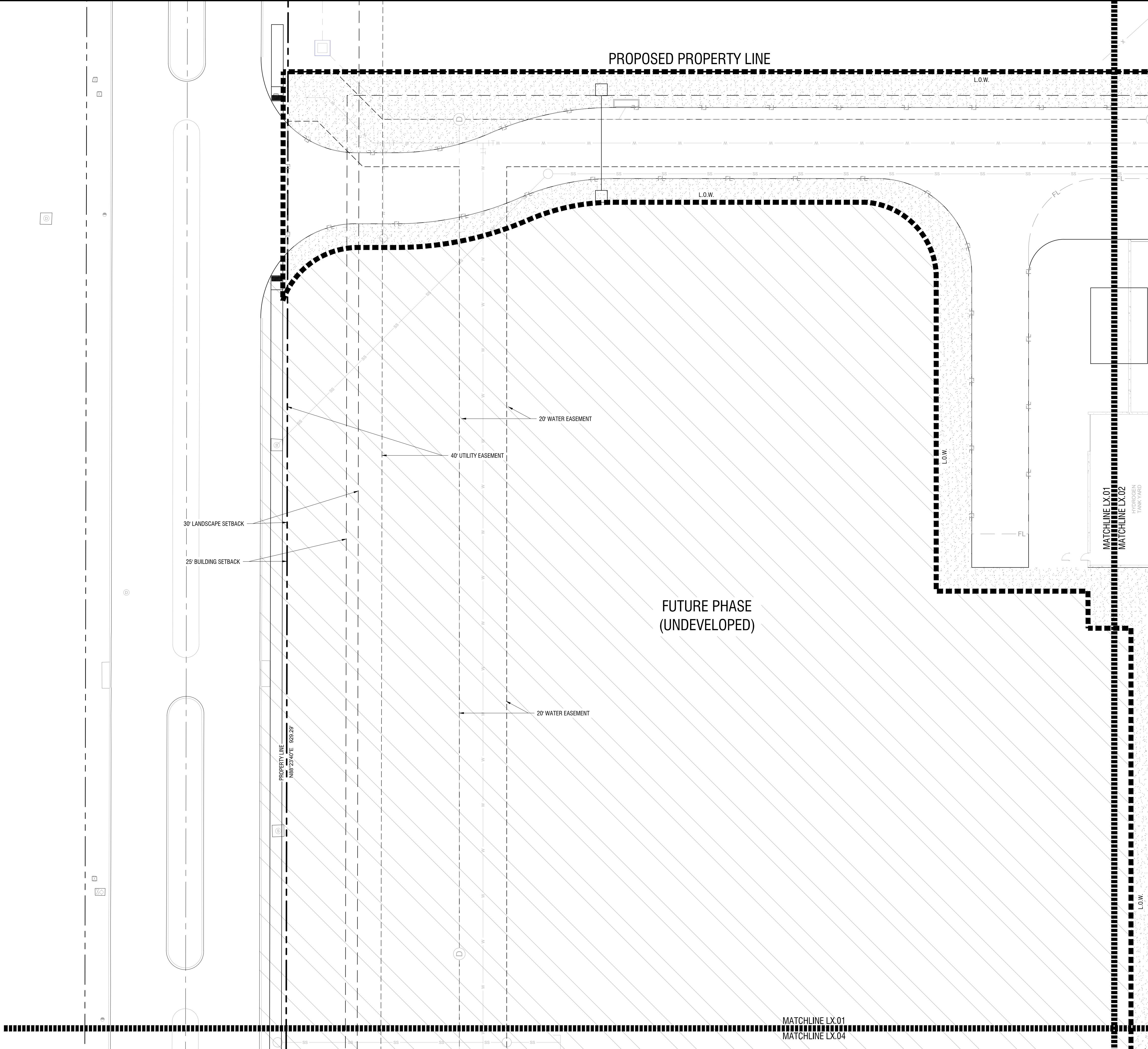
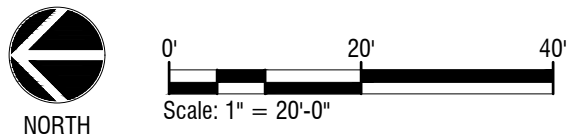
PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OVERALL LANDSCAPE PLAN

CASE NO. SP2xxx-xx
SHEET NUMBER
L1.02

Plotted By: Ferraro, Nick Date: June 13, 2024 05:39:00pm File Path: K:\MKN_LALP_projects\0666710B8 - project solum\CAD\Sheets\CVAL\L2.01 LANDSCAPE PLAN.dwg

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Landscape Plan

Scale: 1" = 20'-0"

PLANT SCHEDULE

SYMBOL COMMON / BOTANICAL NAME

TREES

- Bald Cypress / Taxodium distichum
- Cedar Elm / Ulmus crassifolia
- Live Oak / Quercus virginana
- Texas Red Oak / Quercus buckleyi

FLOWERING TREES

- Mexican Buckeye / Ungnadia speciosa
- Possumhaw Holly / Ilex decidua
- Yaupon Holly / Ilex vomitoria

SHRUBS

- Brakelights Red Yucca / Hesperaloe parviflora 'Brakelights' TM
- Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
- Glossy Abelia / Abelia x grandiflora
- Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
- Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'

SYMBOL COMMON / BOTANICAL NAME

GROUND COVERS

- Asian Jasmine / Trachelospermum asiaticum
- Berkeley Sedge / Carex divisa
- Bermuda Grass / Cynodon dactylon
- Giant Liriope / Liriope gigantea
- Wintercreeper / Euonymus fortunei

SITE PLAN ROCKWALL TECHNOLOGY PARK PHASE V PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
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CONTACT: LEE SWEETLAND

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2610 OBSERVATION TRAIL, SUITE 104
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CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley»Horn

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P.L.A. Paul D. Freeland
L.A. No. 2458 Date: 06.14.2024

KHA PROJECT 0666710B8	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

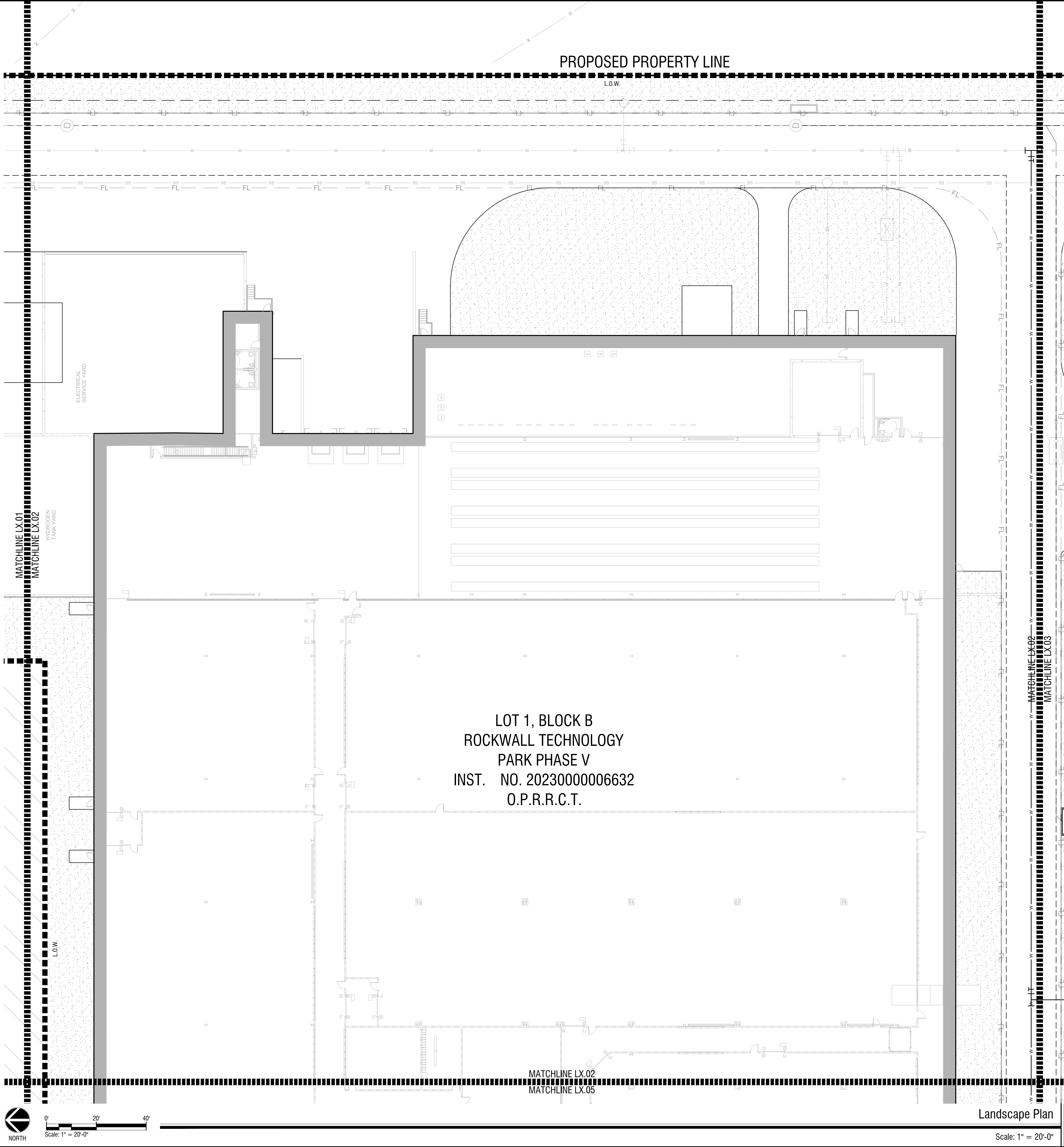
LANDSCAPE PLAN

CASE NO. SP2xxx-xx
SHEET NUMBER
L2.01

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Plotted By: Ferraro, Nick Date: June 13, 2024 05:39:10pm File Path: K:\MKM\LALP\projects\068671058 - project saturn\CAD\Sheets\CIVIL\L2.01 LANDSCAPE PLAN.dwg

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PLANT SCHEDULE

SYMBOL COMMON / BOTANICAL NAME

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- Yaupon Holly / Ilex vomitoria

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- Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'

SYMBOL COMMON / BOTANICAL NAME

GROUND COVERS

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- Giant Liriope / Liriope gigantea
- Wintercreeper / Euonymus fortunei

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
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CONTACT: LEE SWEETLAND

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NO.	REVISIONS	DATE	BY



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L.A. No.	2458		
KHA PROJECT	068671058	DATE	JUNE 2024
SCALE	AS SHOWN	DESIGNED BY	PDF
DRAWN BY	NLF	CHECKED BY	PDF

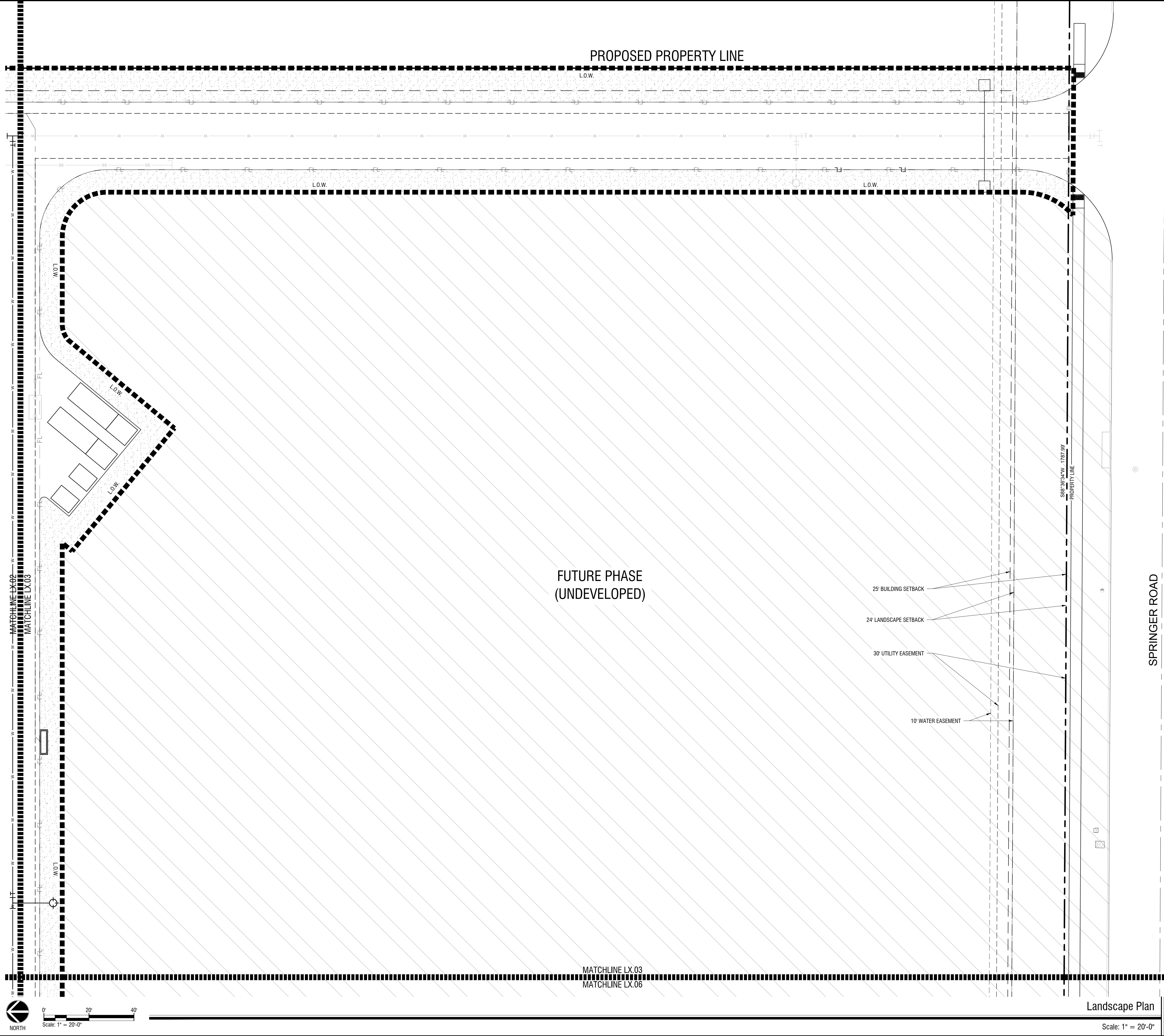
PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

CASE NO. SP2xxx-xx
SHEET NUMBER
L2.02

Plotted By: Ferraro, Nick Date: June 13, 2024 05:39:20pm File Path: K:\MKN_LALP_projects\0666710B8 - project saturn\CAD_Sheets\QVAL\2.01 LANDSCAPE PLAN.dwg

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PLANT SCHEDULE	
SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
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	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Brakelights Red Yucca / Hesperaloe parviflora 'Brakelights' TM
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Asian Jasmine / Trachelospermum asiaticum
	Berkeley Sedge / Carex divisa
	Bermuda Grass / Cynodon dactylon
	Giant Liriope / Liriope gigantea
	Wintercreeper / Euonymus fortunei

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
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PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
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CONTACT: PHIL WAGNER

LANDSCAPE PLAN

CASE NO. SP2xxx-xx
SHEET NUMBER
L2.03

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PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

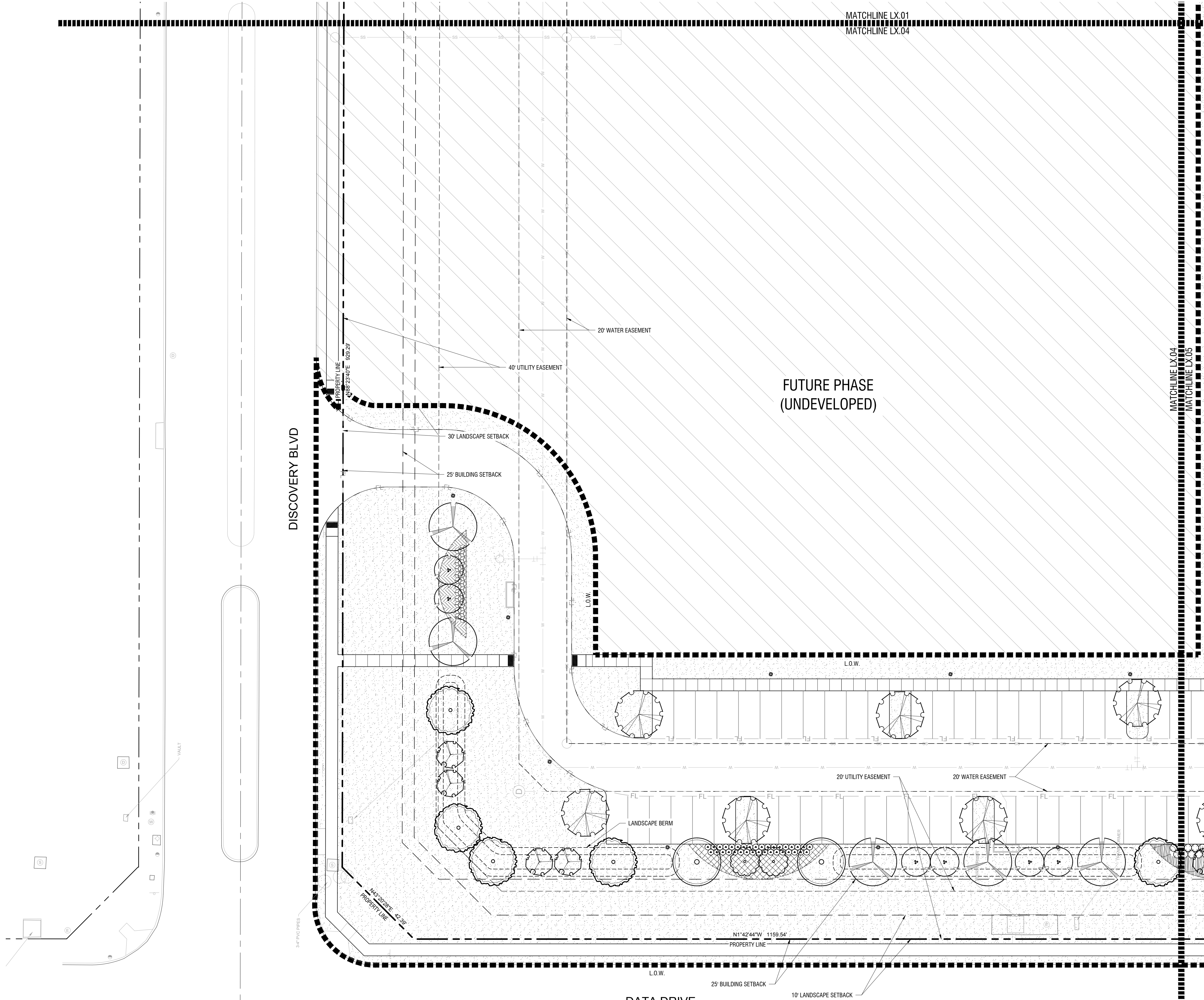
LANDSCAPE PLAN

KHA PROJECT 0666710B8	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PLANT SCHEDULE

SYMBOL COMMON / BOTANICAL NAME

TREES

- Bald Cypress / Taxodium distichum
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SYMBOL COMMON / BOTANICAL NAME

GROUND COVERS

- Asian Jasmine / Trachelospermum asiaticum
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- Wintercreeper / Euonymus fortunei

SITE PLAN ROCKWALL TECHNOLOGY PARK PHASE V PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
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CONTACT: LEE SWEETLAND

DEVELOPER:
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DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

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P.L.A. Paul D. Freeland
L.A. No. 2458 Date: 06.14.2024

KHA PROJECT 066671058	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

CASE NO. SP2xxx-xx
SHEET NUMBER
L2.04

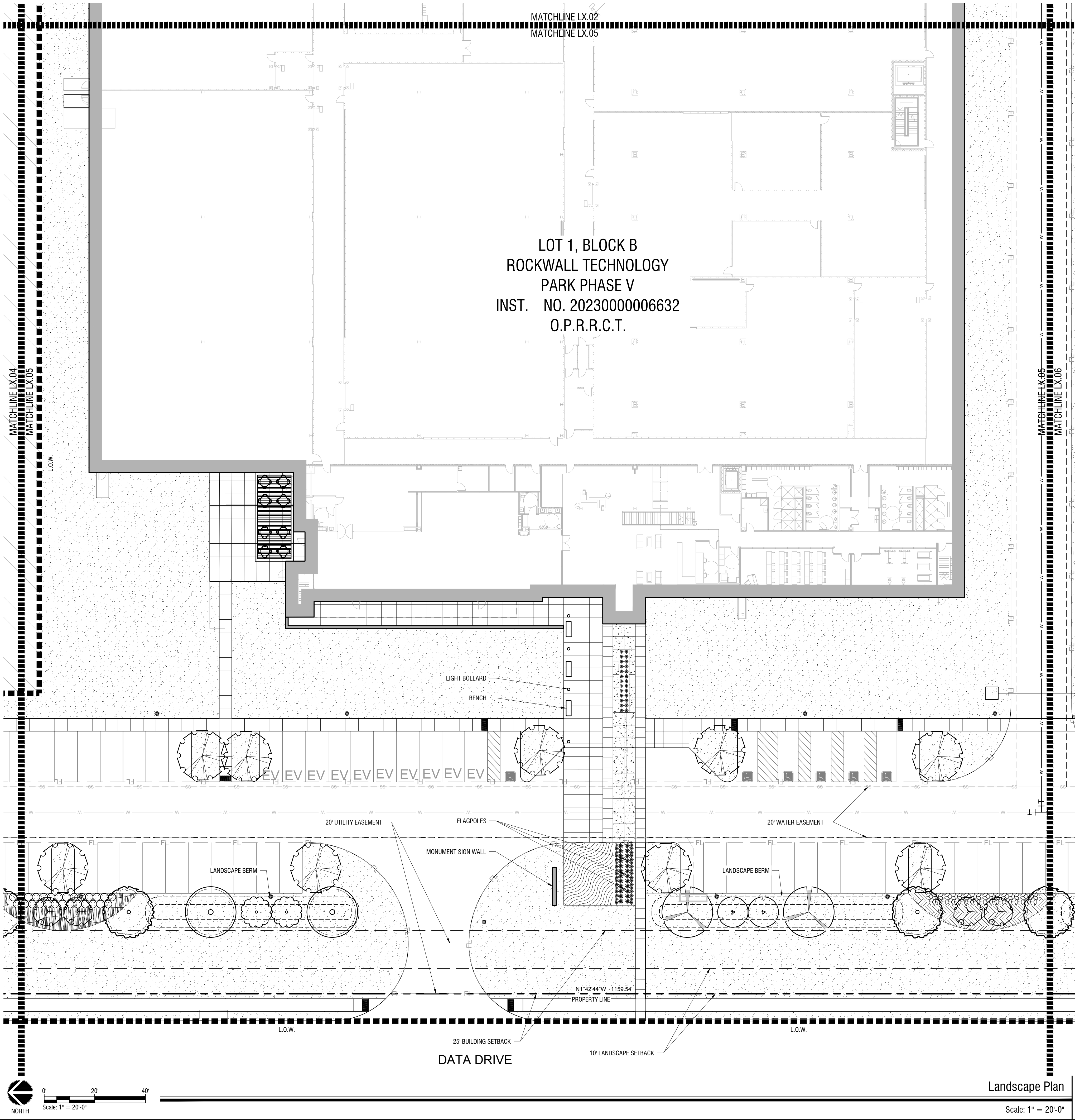
Landscape Plan

Scale: 1" = 20'-0"

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SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
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L.A. No. 2458 Date: 06.14.2024

KHA PROJECT 066671058	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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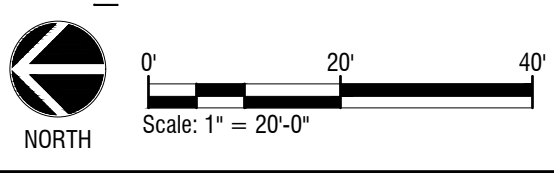
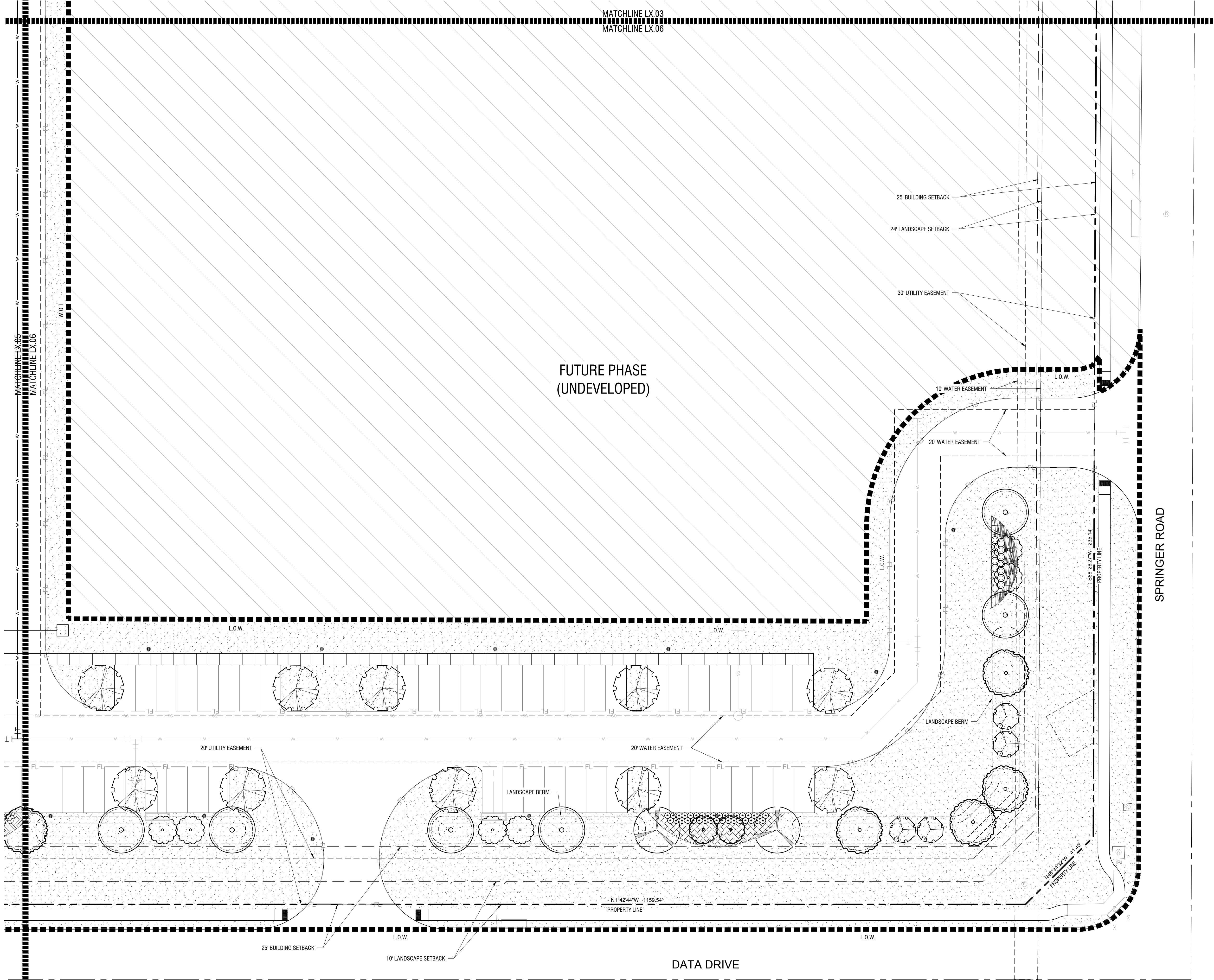
PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

CASE NO. SP2xxx-xx
SHEET NUMBER
L2.05

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PROJECT SATURN

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SITE PLAN

ROCKWALL TECHNOLOGY PARK PHASE V

PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

LANDSCAPE PLAN

CASE NO. SP2xxx-xx
SHEET NUMBER
L2.06

Kimley»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-9820
WWW.KIMLEY-HORN.COM TX F-928 INC.
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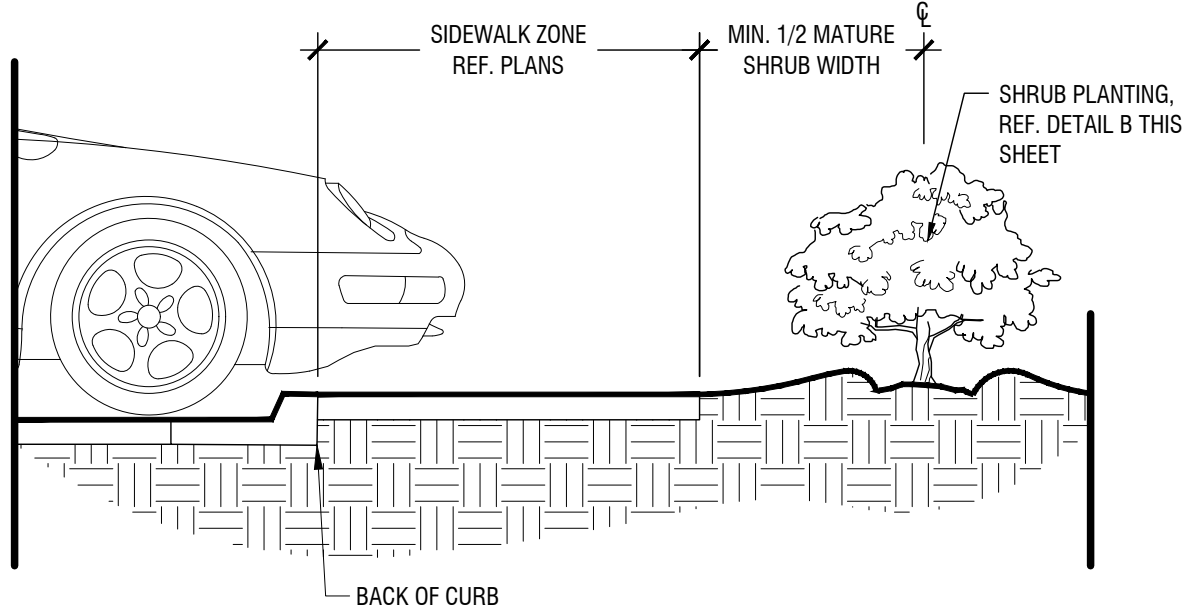
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Kimley»Horn
P.L.A. Paul D. Freeland
L.A. No. 2458 Date: 06.14.2024

KHA PROJECT 066671058	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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Plotted By: Ferraro, Nick Date: June 13, 2024 05:23:10pm File Path: K:\MKR\ALP\projects\06867058 - project saturn\CAD\Sheets\CIVIL\L2.07 PLANTING DETAILS.dwg

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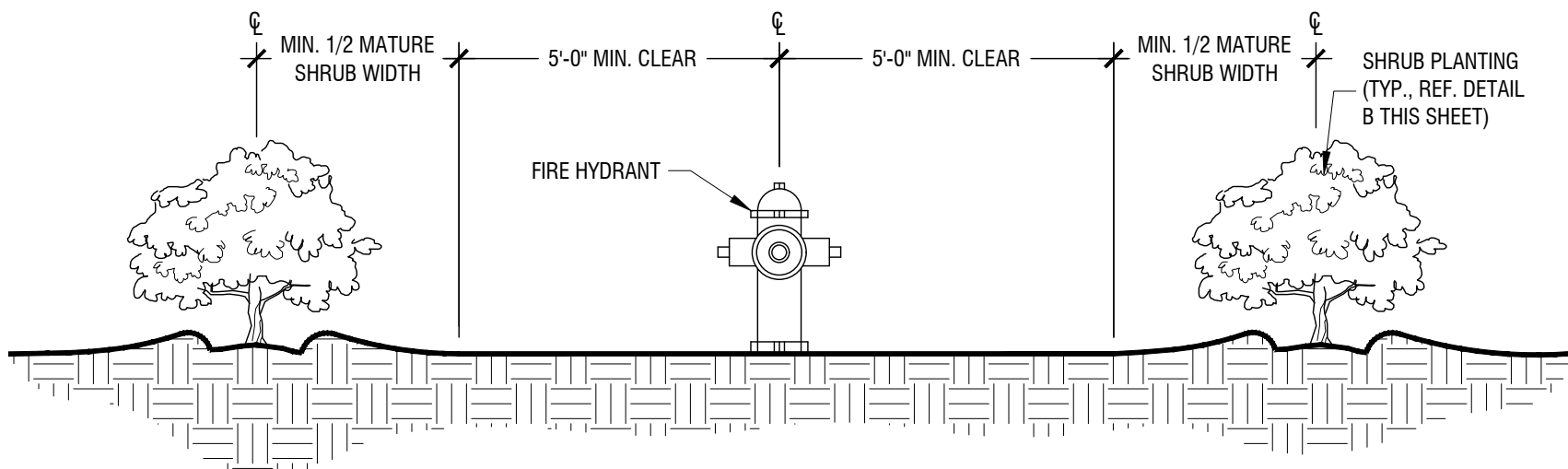
- NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Sidewalk

Scale: NTS

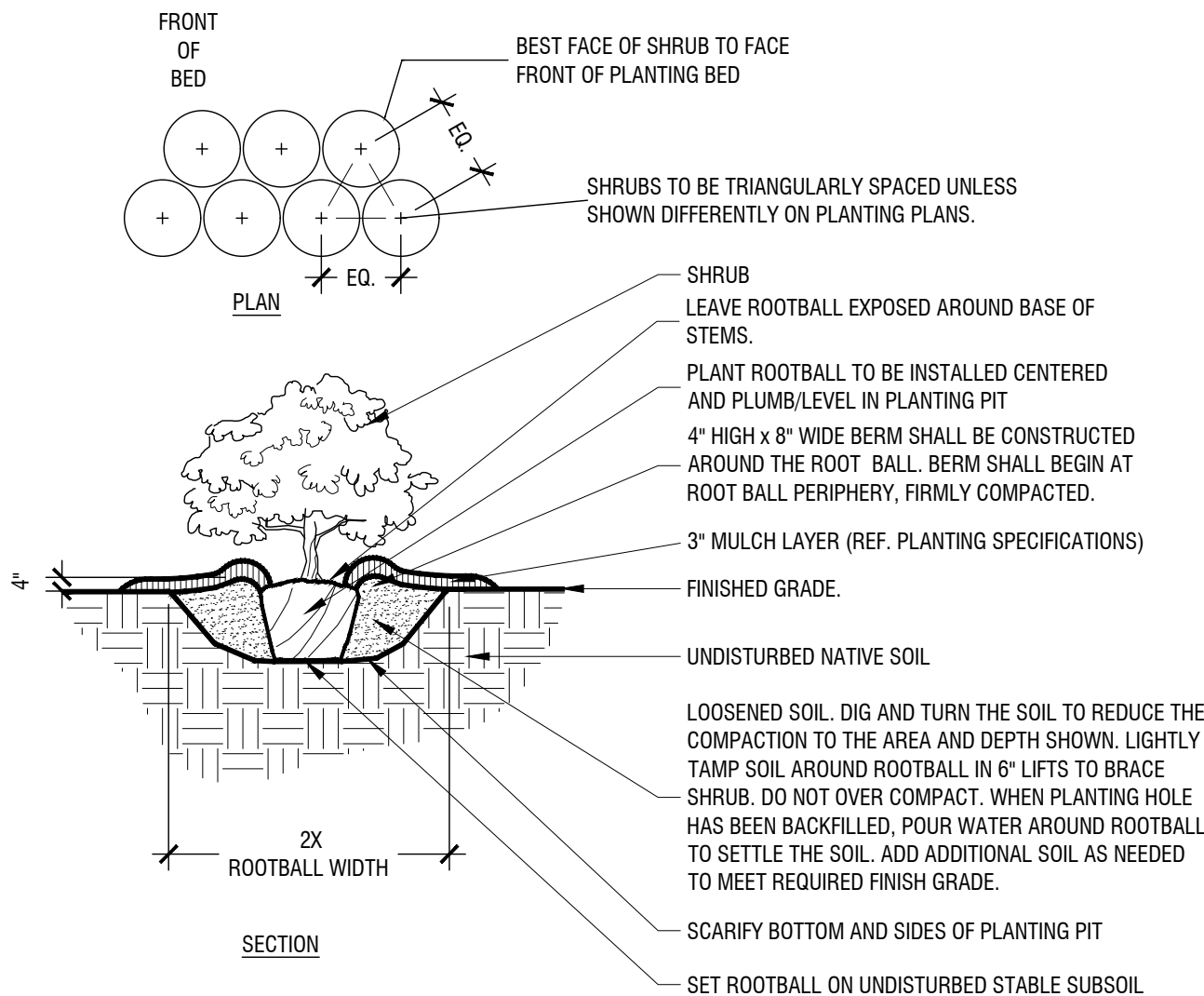
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Shrub Planting at Fire Hydrant

Scale: NTS

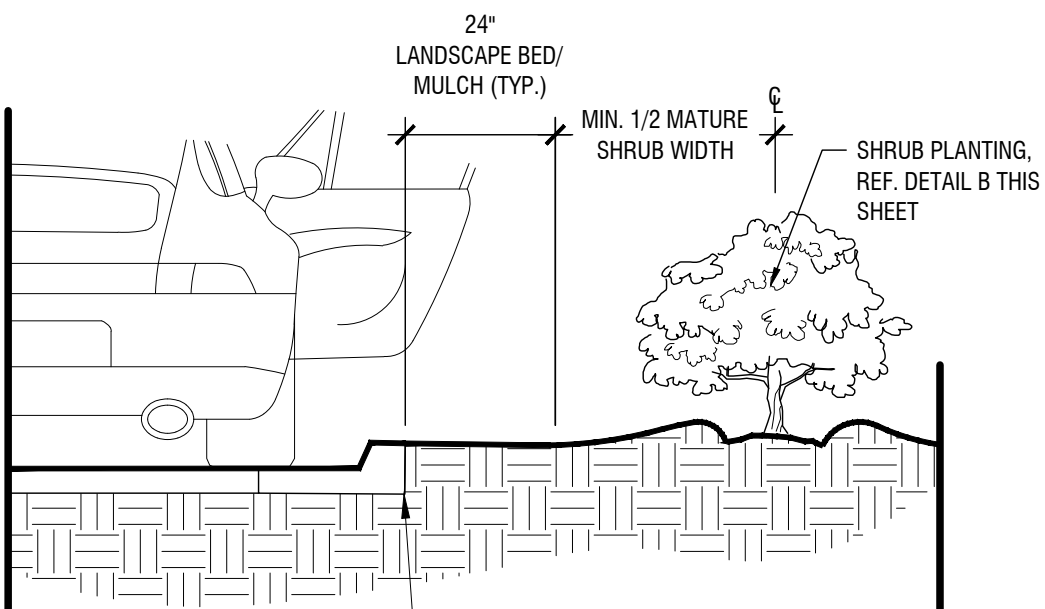
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Typical Shrub Planting

Scale: NTS

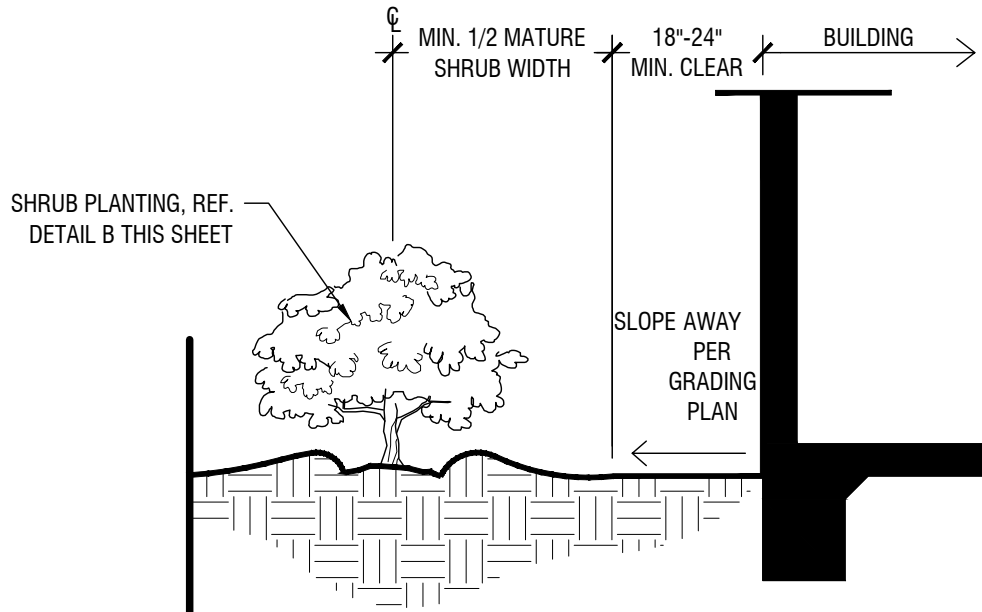
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Shrub Planting at Curb

Scale: NTS

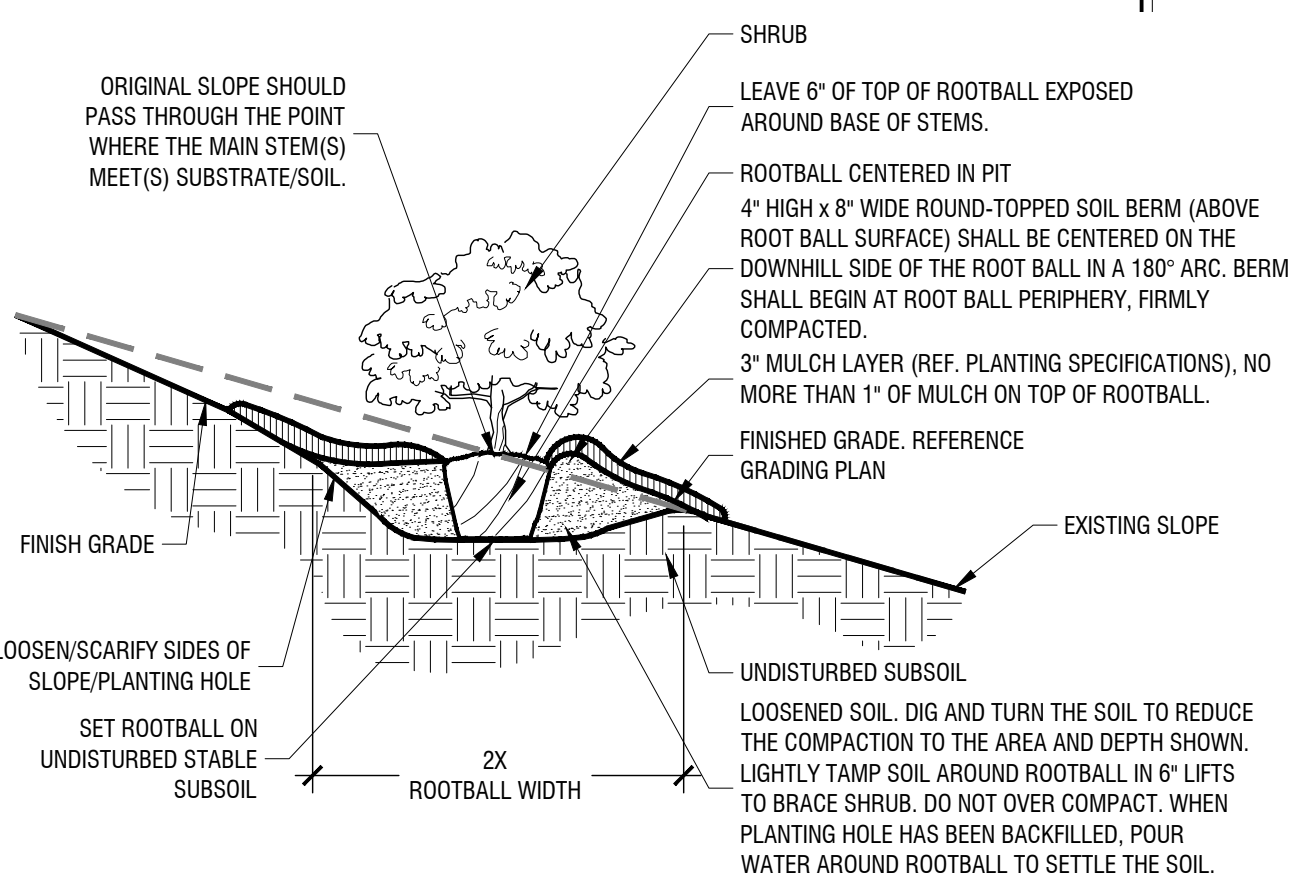
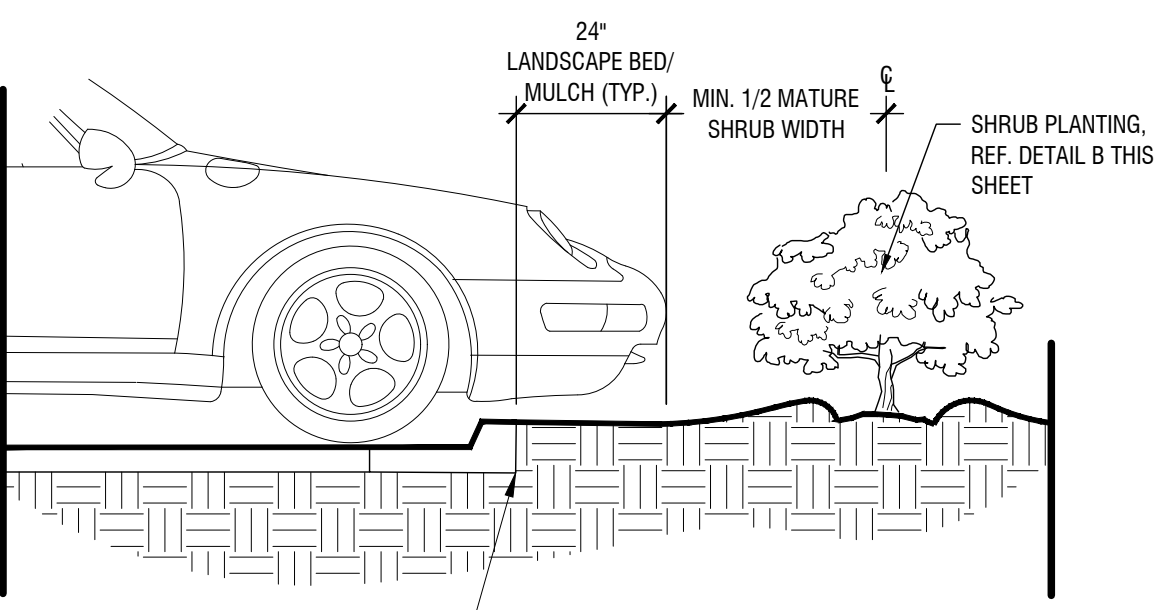
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Shrub Planting at Building Edge

Scale: NTS

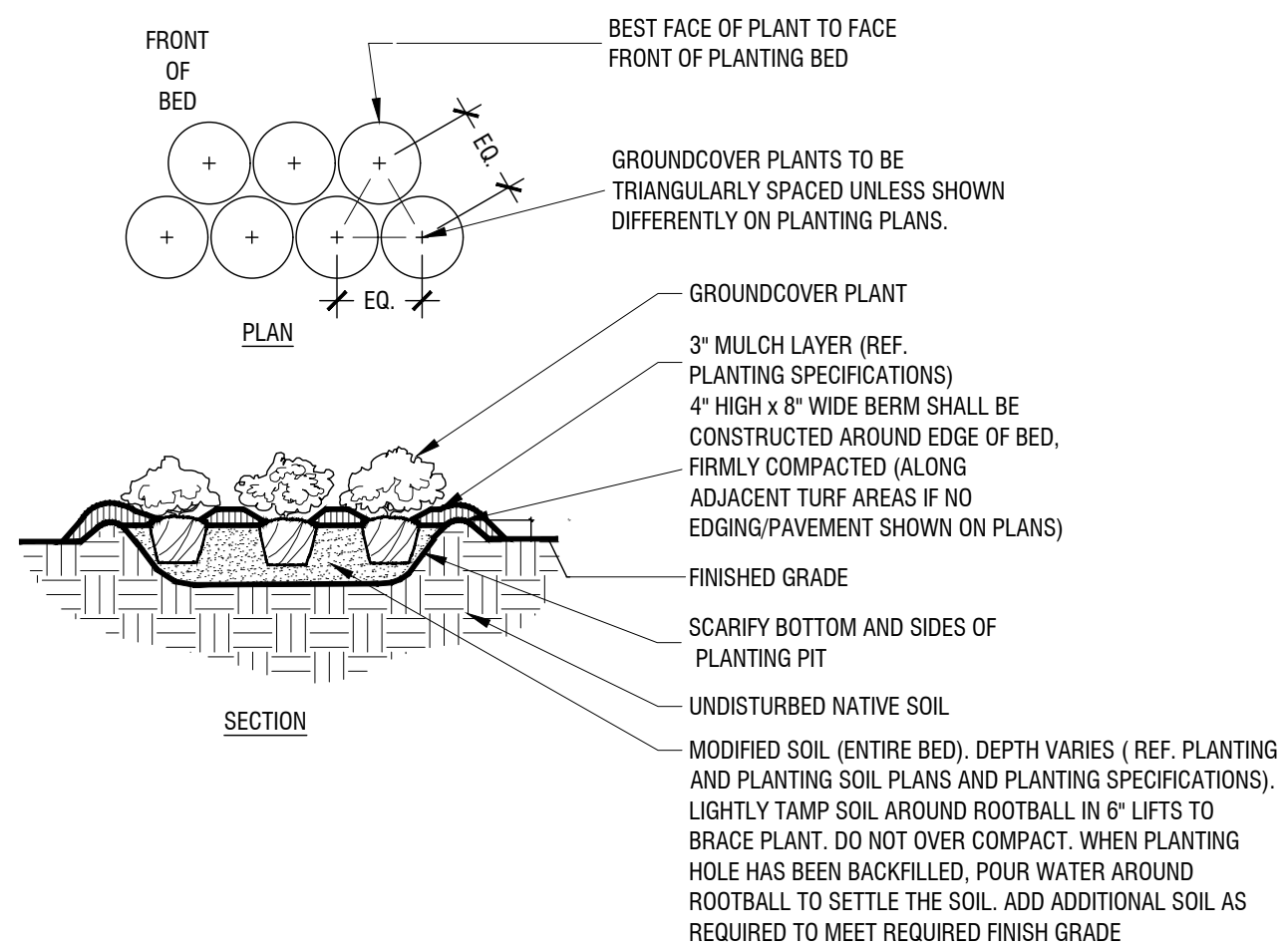
D



Shrub Planting On 5-50% (20:1 TO 2:1) Slope

Scale: NTS

C



Typical Groundcover Planting

Scale: NTS

A

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
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ROCKWALL, TX 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY



13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
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WWW.KIMLEY-HORN.COM TX F-928
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KHA PROJECT				DATE				SCALE				DESIGNED BY				DRAWN BY				CHECKED BY			
06867058				JUNE 2024				AS SHOWN				PDF				N/A				PDF			
FOR REVIEW ONLY				Not for construction or permit purposes				Kimley-Horn				Paul D. Freeland				06/14/2024				2458			
P.L.A.				L.A. No.				2458				Date				06/14/2024							

PROJECT SATURN

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

PLANTING DETAILS	
CASE NO. SP2xxx-xx	SHEET NUMBER
L2.07	

TREE PROTECTION NOTES:

1. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
2. PRIOR TO THE CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
3. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
4. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
5. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
6. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
7. NO TRENCING SHALL BE ALLOWED WITHIN THE DRIP LINE OF A TREE, UNLESS APPROVED BY THE CITY.
8. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR OFF-SITE.
9. ALL TREE REMOVAL/MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

TREE SURVEY:

TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	MULTIPLE-STEMMED	ACTION	CLASS	REPLACEMENT RATIO	MITIGATION REQUIRED
6070	12.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.1
6071	15.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	7.95
6072	12.3	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.15
6073	13.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.5
6074	11.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	5.6
6075	12.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.1
6076	11.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	5.5
6077	11.1	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	5.55
6078	12.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.1
6079	12.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.25
6080	16.6	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	8.3
6081	14.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	7.35
6082	13.3	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.65
6083	16.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	8.25
6084	16.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6085	4.6	Hercules-club	<i>Zanthoxylum clava-herculis</i>	Healthy	Single	Preserve	Unprotected		
6086	14.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6087	15.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6088	13.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6089	17.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	8.95
6090	21.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	10.6
6091	11.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	Remove	Secondary	0.5:1	5.5
6092	13.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.6
6093	17.6	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	8.8
6094	17.8	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	8.9
6095	12.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	6.35
6096	13.3	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6097	12.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6098	13.8	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	Preserve	Secondary	0.5:1	
6099	11.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Remove	Secondary	0.5:1	5.6
6100	11.8	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6101	11.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	Preserve	Secondary	0.5:1	
6102	14.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6103	12.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6104	18.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6105	13.8	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	Preserve	Secondary	0.5:1	
6106	11.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6107	12.1	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6108	12.8	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6109	13.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6110	11.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Multi	Preserve	Secondary	0.5:1	
6111	12.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Forked	Preserve	Secondary	0.5:1	

Kimley-Horn red tree tag series: 6070-6111. Protected trees measuring 4-inches or larger at DBH were tagged in accordance with the City of Rockwall Ordinance.

Tree Inches Being Removed	Tree Inches	Mitigation Inches
Total tree inches being removed - Primary - 1:1	0	0
Total tree inches being removed - Secondary - 0.5:1	307.3	153.7
Total tree inches being removed - Feature - 2:1	0	0.0
Total tree inches being removed	307.3	153.65
Mitigation Inches		153.65
Proposed Tree Inches Per Planting Plan		332
NET TOTAL		-178.35
Tree Inches Being Relocated	Tree Inches	Mitigation Inches
Total small tree inches being relocated - 1:1	0	0
Total large and medium trees being relocated - < 6" - 1:1	0	0
Total large and medium trees being relocated - 7"-12" - 2:1	0	0
Total large and medium trees being relocated - 12"-24" - 3:1	0	0
Total large and medium trees being relocated - > 24" - 5:1	0	0
Total tree inches being relocated	0	0

[illegible]

Kimley»»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
DALLAS, TEXAS 75244
PHONE: 972.770.1300 FAX: 972.239.3820
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P.L.A. _____	Page/ D. Freeland
L.A. No. 2458	Date 06.14.2024.

KHA PROJECT 068671058	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NJF	CHECKED BY PDF
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PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREE SURVEY AND TREESCAPE CALCULATIONS

CASE NO. SP2xxx-xx
SHEET NUMBER L3.01

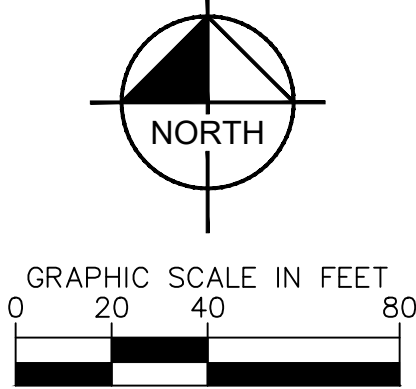
SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: KYLE FREELAND, P.L.A.




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DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER



PHOTOMETRIC CRITERIA	
	ILLUMINANCE MAXIMUM (FC)
PROPERTY LINE	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.18	0.30	4.40	3.93
WESTERN DRIVE AISLE	1.50	0.30	4.50	5.00
EASTERN DRIVE AISLE	0.99	0.20	4.30	4.95
POPEY LINE	0.06	0.00	0.20	N/A

MATCHLINE: SEE SHEET E-102

LUMINAIRE SCHEDULE													
SYMBOL	LABEL	QTY	DESCRIPTION	ARRANGEMENT	LLF	MAKE AND MODEL	WATTS	LUMENS	MOUNT HEIGHT	LAMP	DISTRIBUTION TYPE	VOLTAGE	LIGHT POLE MODEL
	S1	10	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P6-40K-T2M- MVOLT-SPA-PIRH-DOBXD	165	20,302	20'	LED	TYPE 2	120-277	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S2	3	WALL MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX2-LED-P5-40K-T4M- MVOLT-SPA-PIRH-DOBXD	325	40,738	30'	LED	TYPE 4	120-277	N/A
	S3	5	WALL MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX2-LED-P5-40K-T3M- MVOLT-SPA-PIRH-DOBXD	325	40,183	30'	LED	TYPE 3	120-277	N/A



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NTMWD UTILITIES LOCATED BY NTMWD NOT 811

EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

Kimley»Horn

55 NOEL ROAD, TWO GALLERIA OFFICE TOWER
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Kimley»Horn
Engineer DUSTIN J. COLWELL
P.E. No. 125914
Date 06/14/2024

DATE	06/07/2024
SCALE	AS SHOWN
DESIGNED BY	TAD
DRAWN BY	AKA
CHECKED BY	NMU

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PHOTOMETRIC PLAN

SHEET NUMBER
E-101

Plotted By: Neilenboach, David Date: June 14, 2012 10:32:44am File Path: \\krimley-horn.com\Civil\DAL\DAL_Civil\068671058-Project Search\Cad\PlanSheets E-Phot.dwg
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PHOTOMETRIC CRITERIA	
	ILLUMINANCE MAXIMUM (FC)
PROPERTY LINE	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.18	0.30	4.40	3.93
WESTERN DRIVE AISLE	1.50	0.30	4.50	5.00
EASTERN DRIVE AISLE	0.99	0.20	4.30	4.95
POPEY LINE	0.06	0.00	0.20	N/A

Kimley»Horn

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 Engineer DUSTIN J. COLWELL
 P.E. No. 125914
 Date 06/14/2024

KHA PROJECT 068671058	DATE 06/07/2024
SCALE	AS SHOWN
DESIGNED BY	TAD
DRAWN BY	AKA
CHECKED BY	NMU

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PHOTOMETRIC PLAN

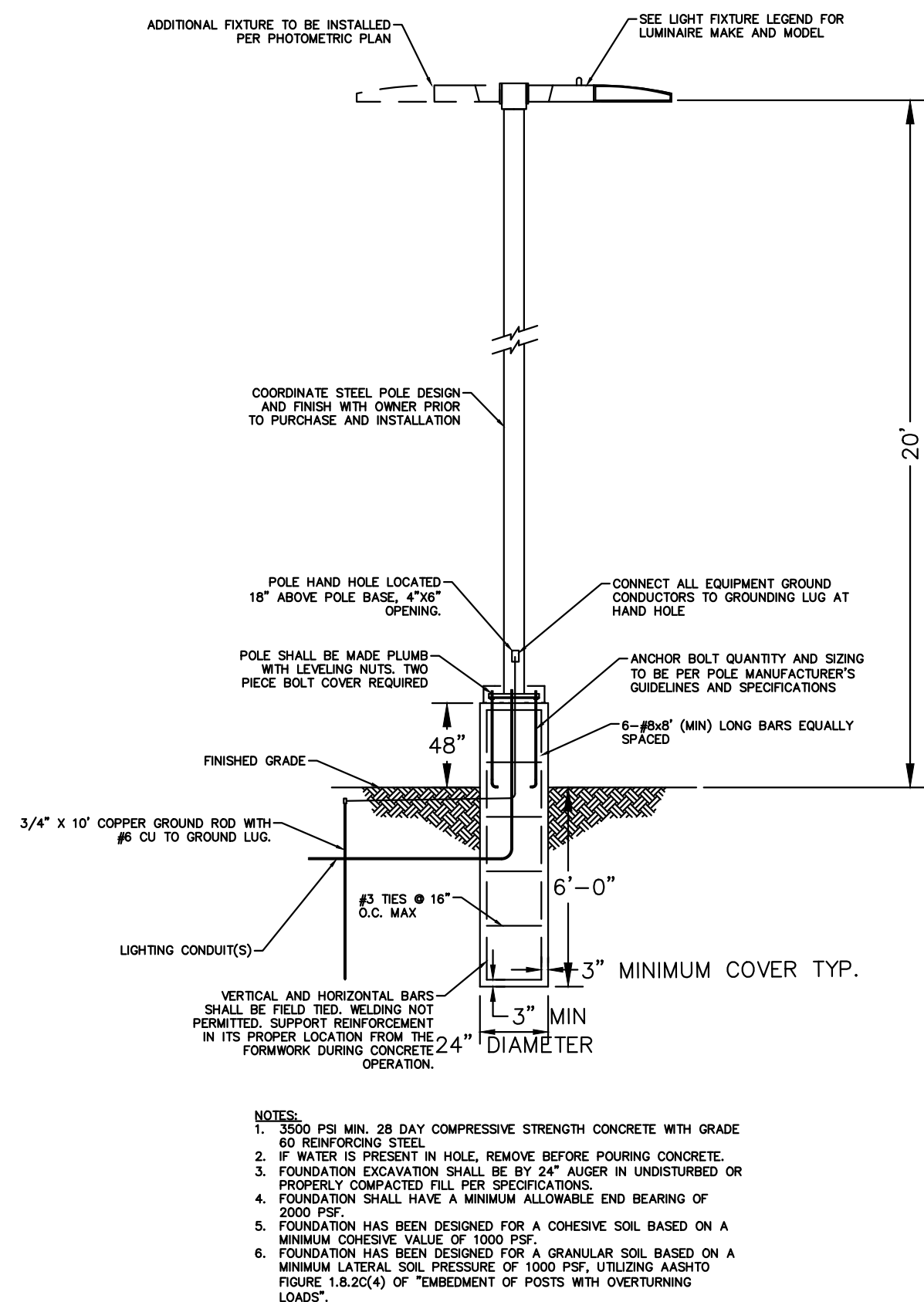
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E-102



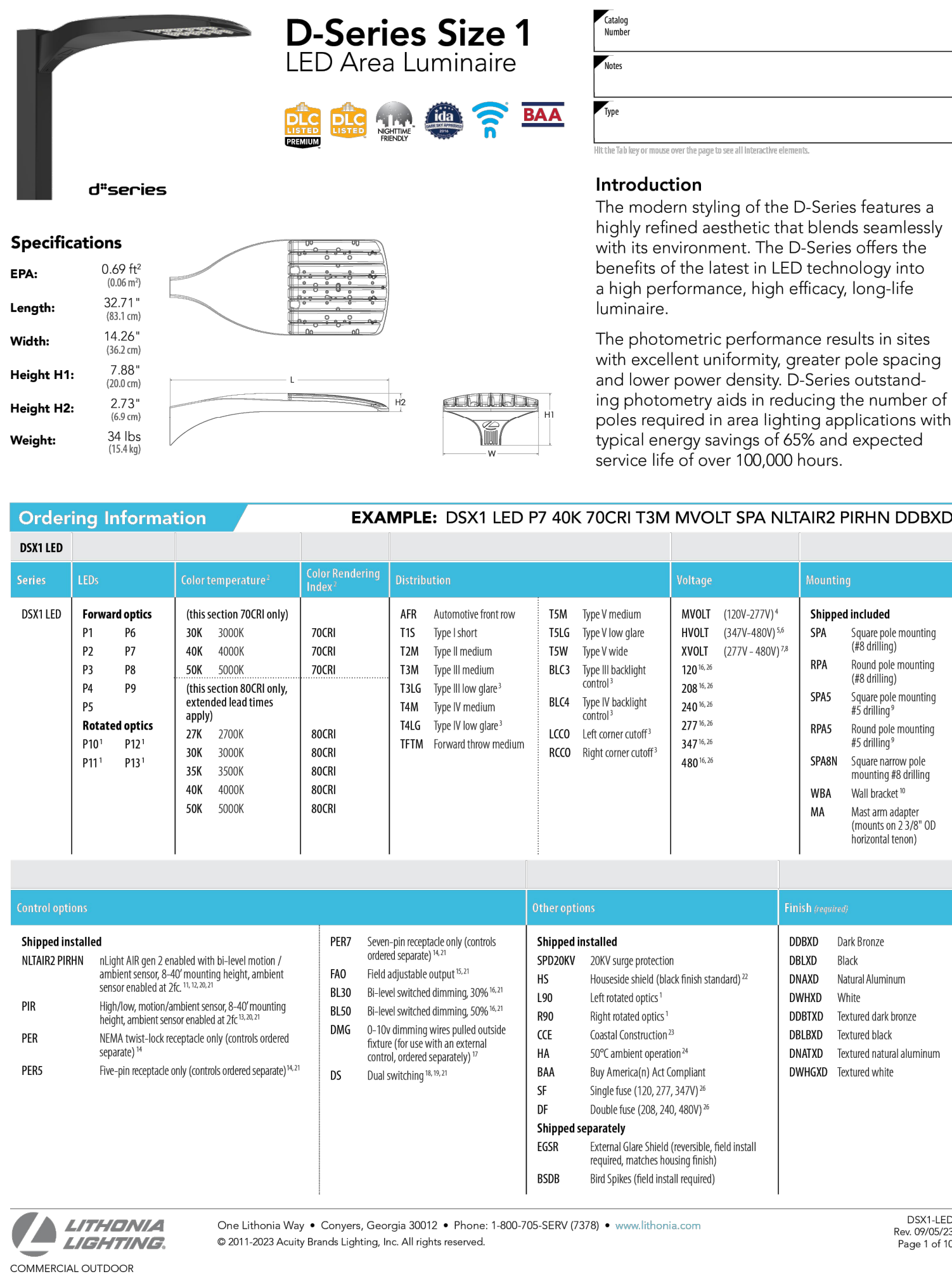
NTMWD UTILITIES LOCATED BY NTMWD NOT 811

CAUTION!!

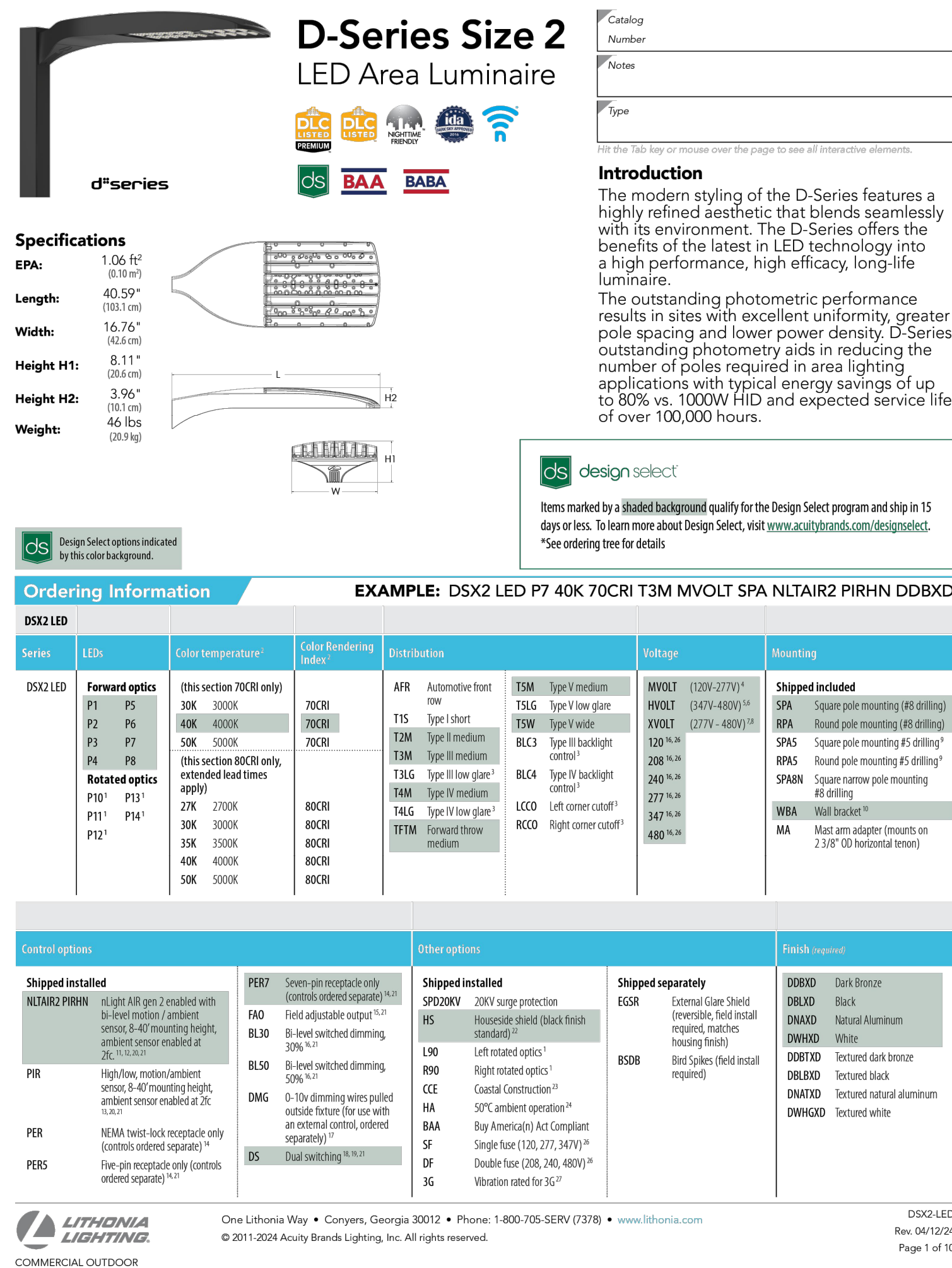
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1 POLE FOUNDATION DETAIL
E-103 N.T.S.



2 PHOTOMETRIC CUTSHEETS
E-103 N.T.S.



DSX2-LED
Rev. 04/12/24
Page 1 of 10



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NTMWD UTILITIES LOCATED BY NTMWD NOT 811

CAUTION!!
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PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PHOTOMETRIC DETAILS

SHEET NUMBER
E-103

[illegible]

Kimley»Horn

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REVISIONS	DATE	BY
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REVISIONS

NO	REVISIONS	DATE	BY
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Kimley»Horn

Engineer DUSTIN J. COLWELL

P.E. No. 125914

Date 06/14/2024

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DRAWN BY	AKA
CHECKED BY	NIMU

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CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS