

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

	STA	FF	USE	ONL	Y
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PLANNING & ZONING CASE NO.

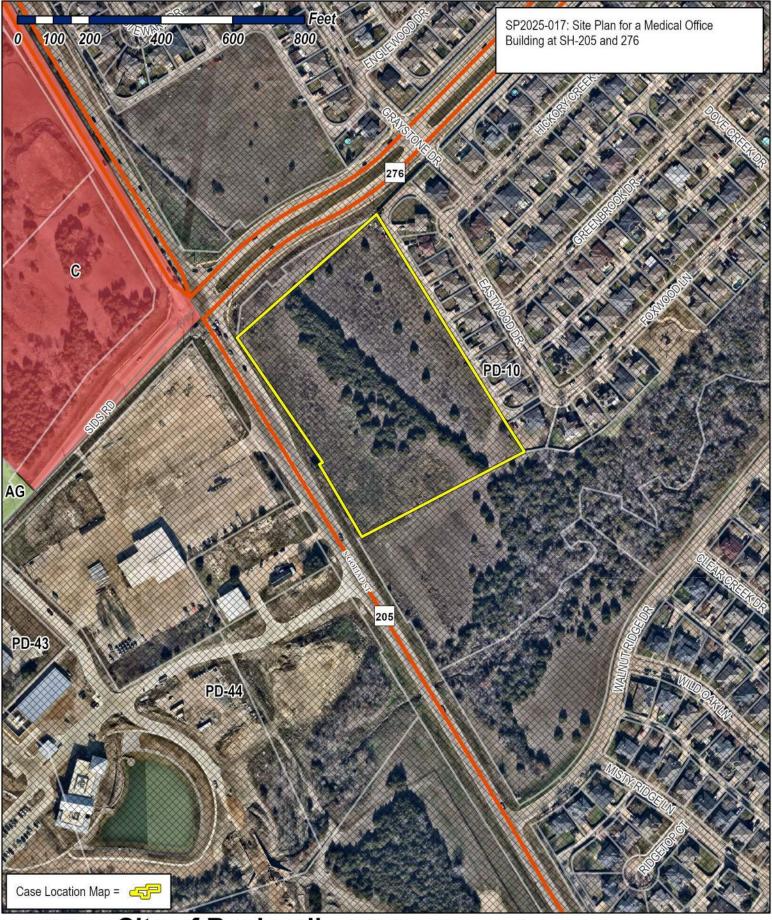
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE	OF DEVELOPMENT RE	QUEST [SELECT ONLY ONE BOX]:			
☐ PRELIMINARY ☐ FINAL PLAT (\$ ☐ REPLAT (\$300. ☐ AMENDING OF ☐ PLAT REINSTA SITE PLAN APPLI ☐ SITE PLAN (\$2	(\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 300.00 + \$20.00 ACRE) 1 00 + \$20.00 ACRE) 1 R MINOR PLAT (\$150.00) ITEMENT REQUEST (\$100.00)	☐ ZONING CHA ☐ SPECIFIC US ☐ PD DEVELOI OTHER APPLIC ☐ TREE REMO ☐ VARIANCE F NOTES: 1 IN DETERMINING T PER ACRE AMOUNT. 2 A \$1,000.00 FEE!	ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) NOTES: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY ROULEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING			
PROPERTY INFO	ORMATION [PLEASE PRINT]					
	S E Corner of the intersection of S	Goliad St and S	H 276			
SUBDIVISIO	N Unplatted - W.H. Barnes Survey,	Abstract No. 26	S LOT N/A BLOCK N/A			
GENERAL LOCATIO	N E Corner of the intersection of S					
	LAN AND PLATTING INFORMATION (PLEA					
CURRENT ZONIN			Undeveloped			
PROPOSED ZONIN			Medical Office			
	E 8.4841 LOTS [CURREN		LOTS [PROPOSED] 2			
ACREAG	0.4041 E013 [GUNNEN	i) IN/A	EOTO [I NOT OSED]			
REGARD TO ITS RESULT IN THE	APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF DENIAL OF YOUR CASE.	STAFF'S COMMENTS BY	AGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL			
	ANT/AGENT INFORMATION [PLEASE PRINT/C					
	Vue Real Estate		Kimley-Horn			
	Jeff Brockette	CONTACT PERSON	Jake Hodges			
ADDRESS	9600 N Central Expressway	ADDRESS	203 W Nash St, Suite 100			
	Suite 100					
CITY, STATE & ZIP	Dallas, Texas 75231	CITY, STATE & ZIP	Terrell, Texas 75160			
PHONE	Address	PHONE	972-588-4263			
E-MAIL	Dani.carr@vuerealestate.com	E-MAIL	Jake.Hodges@kimley-horn.com			
BEFORE ME, THE UNDE	ICATION [REQUIRED] PRIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEAR FION ON THIS APPLICATION TO BE TRUE AND CERTIFIED TH	ED JEHPIRUT. BY	ickotte [owner] the undersigned, who			
\$, TO COVER THE COST OF THIS APPLICATION, H , 20 BY SIGNING THIS APPLICATION, I AGF	IAS BEEN PAID TO THE CIT REE THAT THE CITY OF RO	OCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE			
NEORMATION CONTAINE SUBMITTED IN CONJUNC	ED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY I TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASS	SOCIATED OR IN RESPONSE	TO A REQUEST FOR RUBLIO INFORMATION L. TOMLINSON.			
GIVEN UNDER MY HAND	O AND SEAL OF OFFICE ON THIS THE THE DAY OF	ru 20 <u>0</u>	Notary Public, State of Texas Comm. Expires 06-02-2025 Notary ID 133133189			
	OWNER'S SIGNATURE	no	Winner Notary ID 133133189			

MY COMMISSION EXPIRES

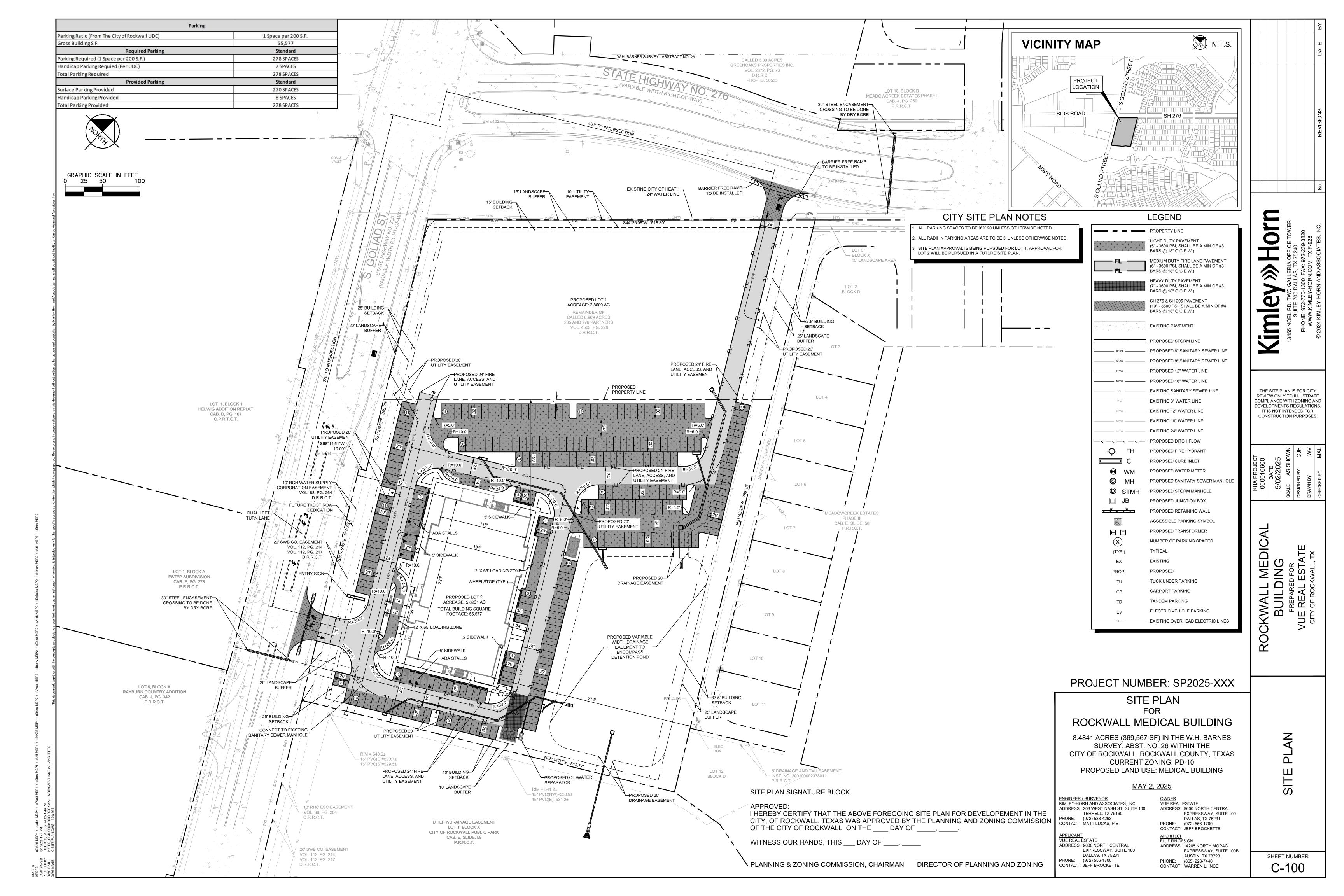


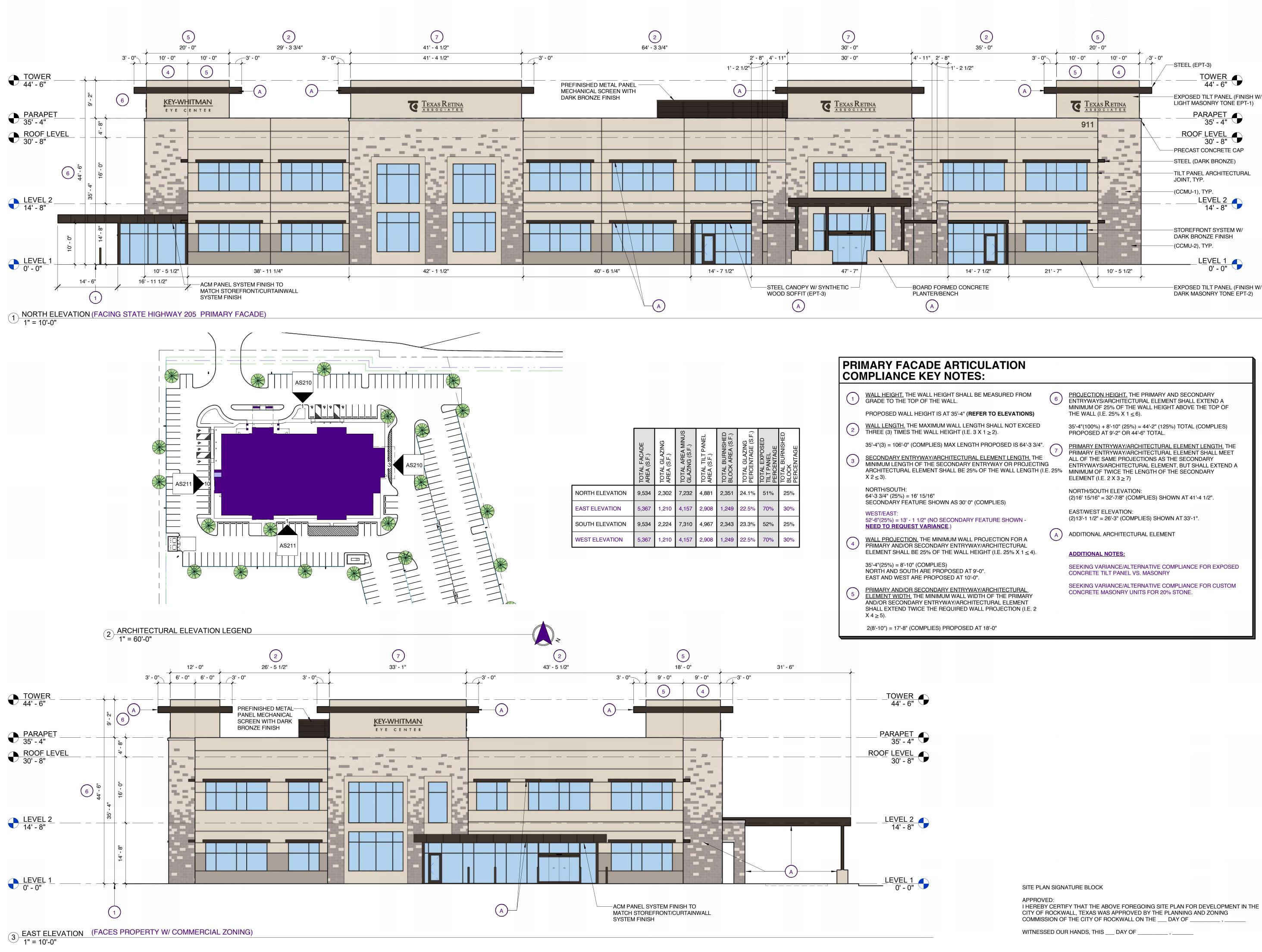


City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









SI #:

25101

LTY GROUP, LLC.
WALL MOB

ROCKW

SEAL:

RE



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS

DATE # DESCRIPTION

DATE: 2025.05.01

DRAWN BY: WLI

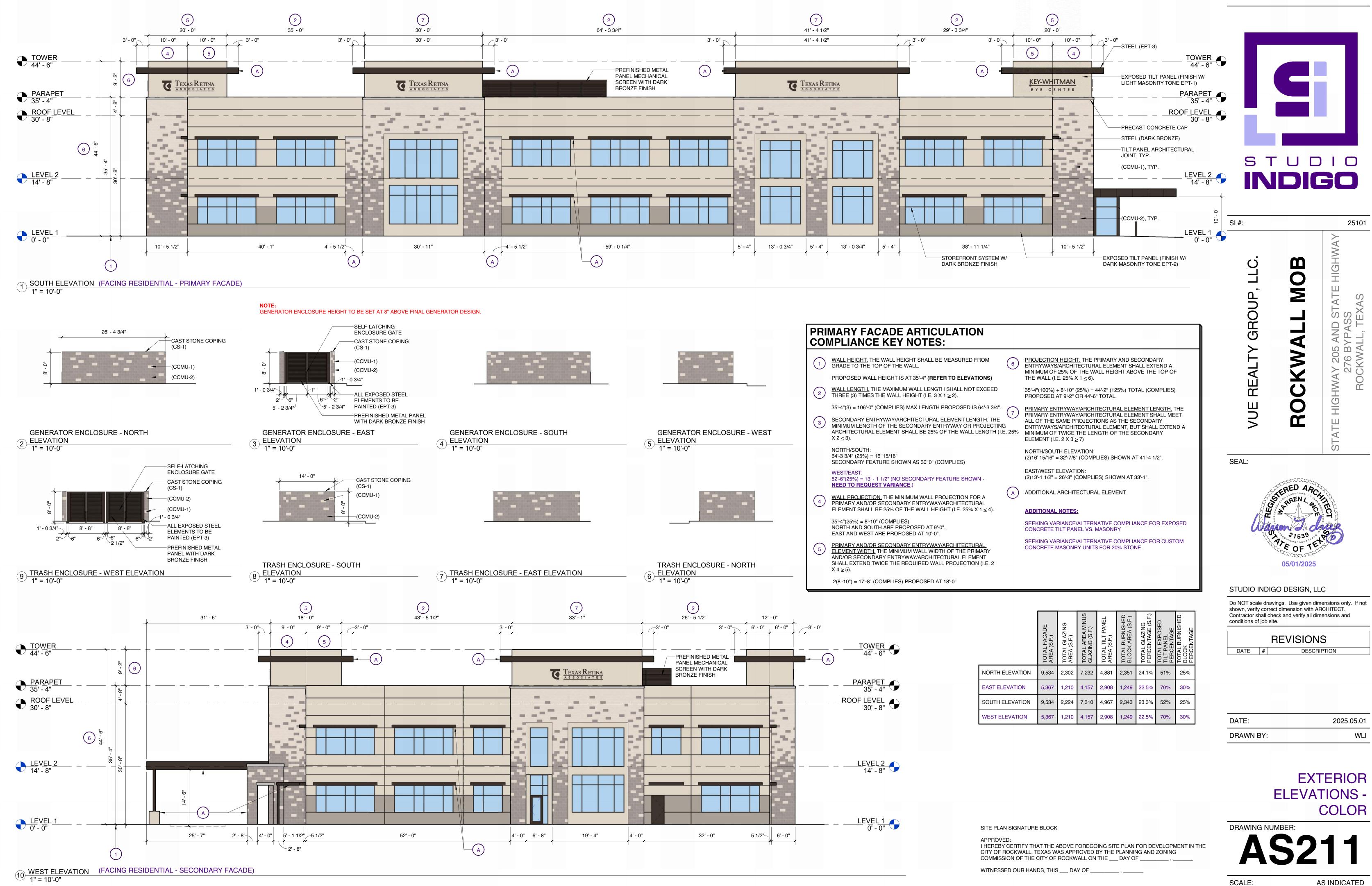
EXTERIOR ELEVATIONS -COLOR

DRAWING NUMBER:

AS210

SCALE: AS INDICATED

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

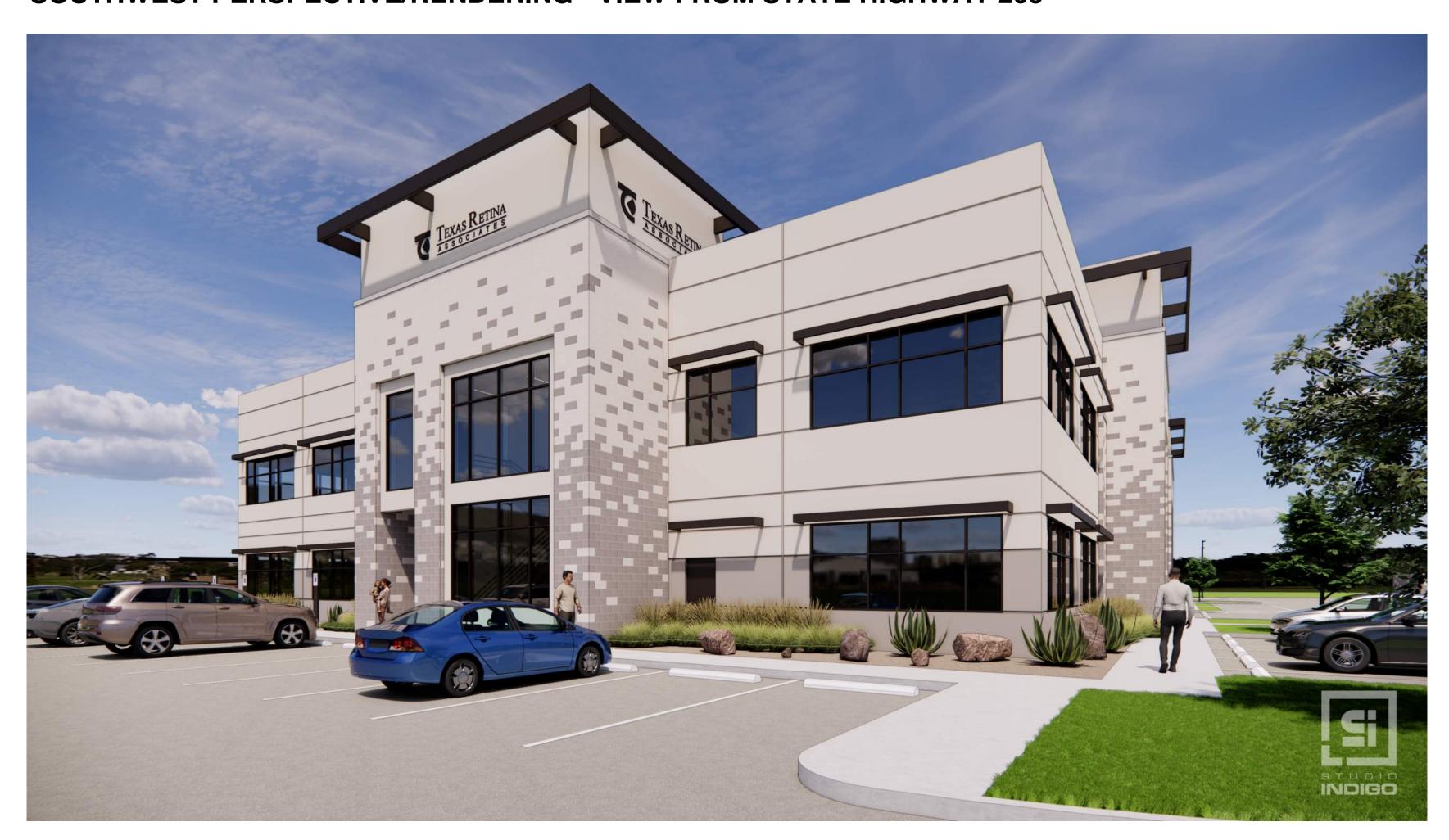


PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

AS INDICATED



SOUTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 205



SOUTHEAST PERSPECTIVE/RENDERING - VIEW FROM INTERIOR OF SITE

FINISH LEGEND - MATERIAL **BOARD**:



(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD



(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY MORTAR: TBD



STOREFRONT SYSTEM: MFR: KAWNEER OR EQUAL FINISH: DARK BRONZE ANODIZED



(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD



(EPT-1): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7516 KESTREL WHITE



(EPT-2): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7024 FUNCTIONAL GRAY



(EPT-3): EXTERIOR PAINT MFR: SHERWIN WILLIAMS



(CS-1):
CONCRETE CAST STONE
MFR: SITEWORKS ARCHITECTURAL
CAST STONE
FINISH: NATURAL





STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS DESCRIPTION DATE #

DATE:

DRAWN BY:

2025.05.01

AS INDICATED

BUILDING MATERIAL SAMPLE **BOARD & COLOR** RENDERINGS

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE

SITE PLAN SIGNATURE BLOCK

WITNESSED OUR HANDS, THIS ___ DAY OF



NORTHWEST PERSPECTIVE/RENDERING - VIEW FROM DRIVE

FINISH LEGEND - MATERIAL **BOARD**:



(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD



(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY MORTAR: TBD



STOREFRONT SYSTEM: MFR: KAWNEER OR EQUAL FINISH: DARK BRONZE ANODIZED



(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD



(EPT-1): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7516 KESTREL WHITE



(EPT-2): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7024 FUNCTIONAL GRAY



(EPT-3): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7048 - URBANE BRONZE



(CS-1):
CONCRETE CAST STONE
MFR: SITEWORKS ARCHITECTURAL
CAST STONE
FINISH: NATURAL



SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS DATE # DESCRIPTION

DATE:

2025.05.01

AS INDICATED

Author

DRAWN BY:

BUILDING MATERIAL SAMPLE **BOARD & COLOR**

RENDERINGS

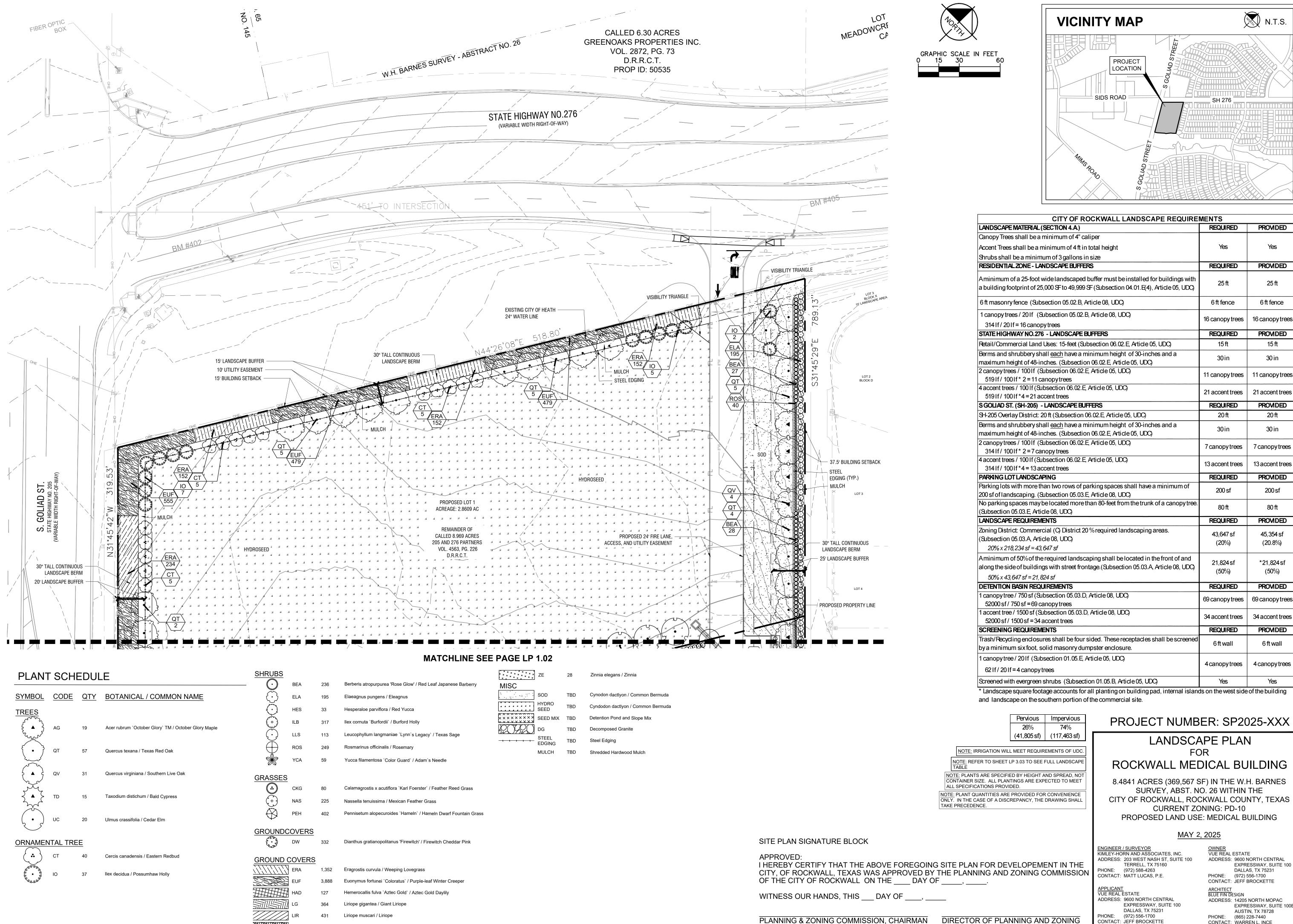
SCALE:

SITE PLAN SIGNATURE BLOCK

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _

WITNESSED OUR HANDS, THIS ___ DAY OF

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



N.T.S.

CITY OF ROCKWALL LANDSCAPE REQUIRE	MENTS	
LANDSCAPE MATERIAL (SECTION 4.A.)	REQUIRED	PROVIDED
Canopy Trees shall be a minimum of 4" caliper		
Accent Trees shall be a minimum of 4 ft in total height	Yes	Yes
Shrubs shall be a minimum of 3 gallons in size		
RESIDENTIAL ZONE - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
Aminimum of a 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF (Subsection 04.01.E(4), Article 05, UDC)	25 ft	25 ft
6 ft masonry fence (Subsection 05.02.B, Article 08, UDC)	6 ft fence	6 ft fence
1 canopy trees / 20 lf (Subsection 05.02.B, Article 08, UDC) 314 lf / 20 lf = 16 canopy trees	16 canopy trees	16 canopy trees
STATE HIGHWAY NO.276 - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
Retail/Commercial Land Uses: 15-feet (Subsection 06.02.E, Article 05, UDC)	15 ft	15 ft
Berms and shrubbery shall <u>each</u> have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopytrees / 100 lf (Subsection 06.02.E, Article 05, UDC) 519 lf / 100 lf * 2 = 11 canopytrees	11 canopy trees	11 canopy trees
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC) 519 lf / 100 lf *4 = 21 accent trees	21 accent trees	21 accent trees
S GOLIAD ST. (SH-205) - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
SH-205 Overlay District: 20 ft (Subsection 06.02.E, Article 05, UDC)	20 ft	20 ft
Berms and shrubbery shall <u>each</u> have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopy trees / 100 lf (Subsection 06.02.E, Article 05, UDC) 314 lf / 100 lf * 2 = 7 canopy trees	7 canopy trees	7 canopy trees
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC) 314 lf / 100 lf *4 = 13 accent trees	13 accent trees	13 accent trees
PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping. (Subsection 05.03.E, Article 08, UDC)	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree. (Subsection 05.03.E, Article 08, UDC)	80 ft	80 ft
LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
Zoning District: Commercial (C) District 20 % required landscaping areas. (Subsection 05.03.A, Article 08, UDC) 20% x 218, 234 sf = 43, 647 sf	43,647 sf (20%)	45,354 sf (20.8%)
Aminimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. (Subsection 05.03.A, Article 08, UDC) $50\% \times 43,647$ sf = 21,824 sf	21,824 sf (50%)	*21,824 sf (50%)
DETENTION BASIN REQUIREMENTS	REQUIRED	PROMDED
1 canopy tree / 750 sf (Subsection 05.03.D, Article 08, UDC) 52000 sf / 750 sf = 69 canopy trees	69 canopy trees	69 canopy trees
1 accent tree / 1500 sf (Subsection 05.03.D, Article 08, UDC) 52000 sf / 1500 sf = 34 accent trees	34 accent trees	34 accent trees
SCREENING REQUIREMENTS	REQUIRED	PROVIDED
Trash/Recycling enclosures shall be four sided. These receptacles shall be screened by a minimum six foot, solid masonry dumpster enclosure.		6 ft wall
1 canopytree / 201f (Subsection 01.05.E, Article 05, UDC) 621f / 201f = 4 canopytrees	4 canopy trees	4 canopy trees
	Yes	Yes
Screened with evergreen shrubs (Subsection 01.05.B, Article 05, UDC)	res	_l res

MAY 2, 2025

OWNER VUE REAL ESTATE

CONTACT: JEFF BROCKETTE

ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE ARCHITECT BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (865) 228-7440

CONTACT: WARREN L. INCE

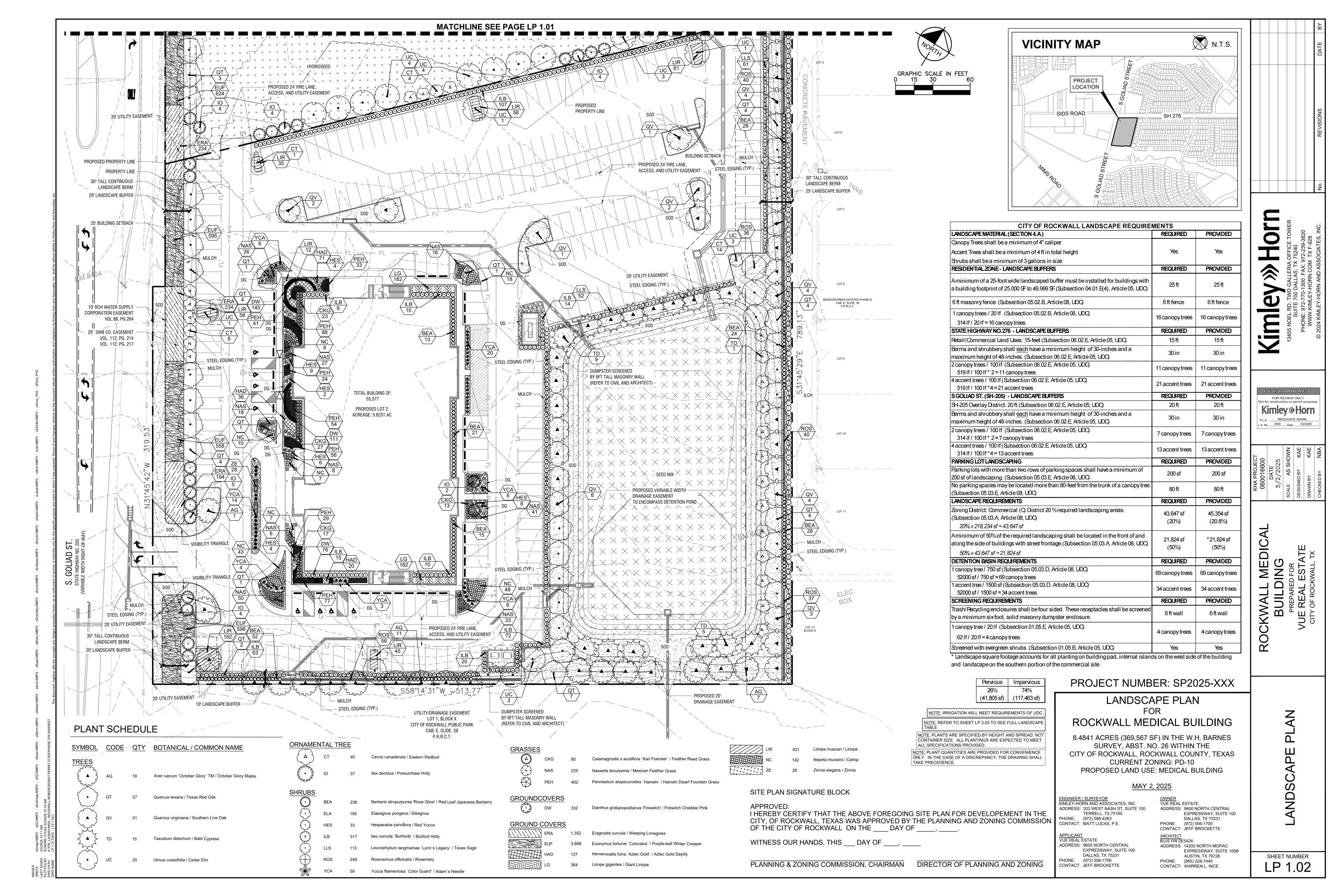
AND

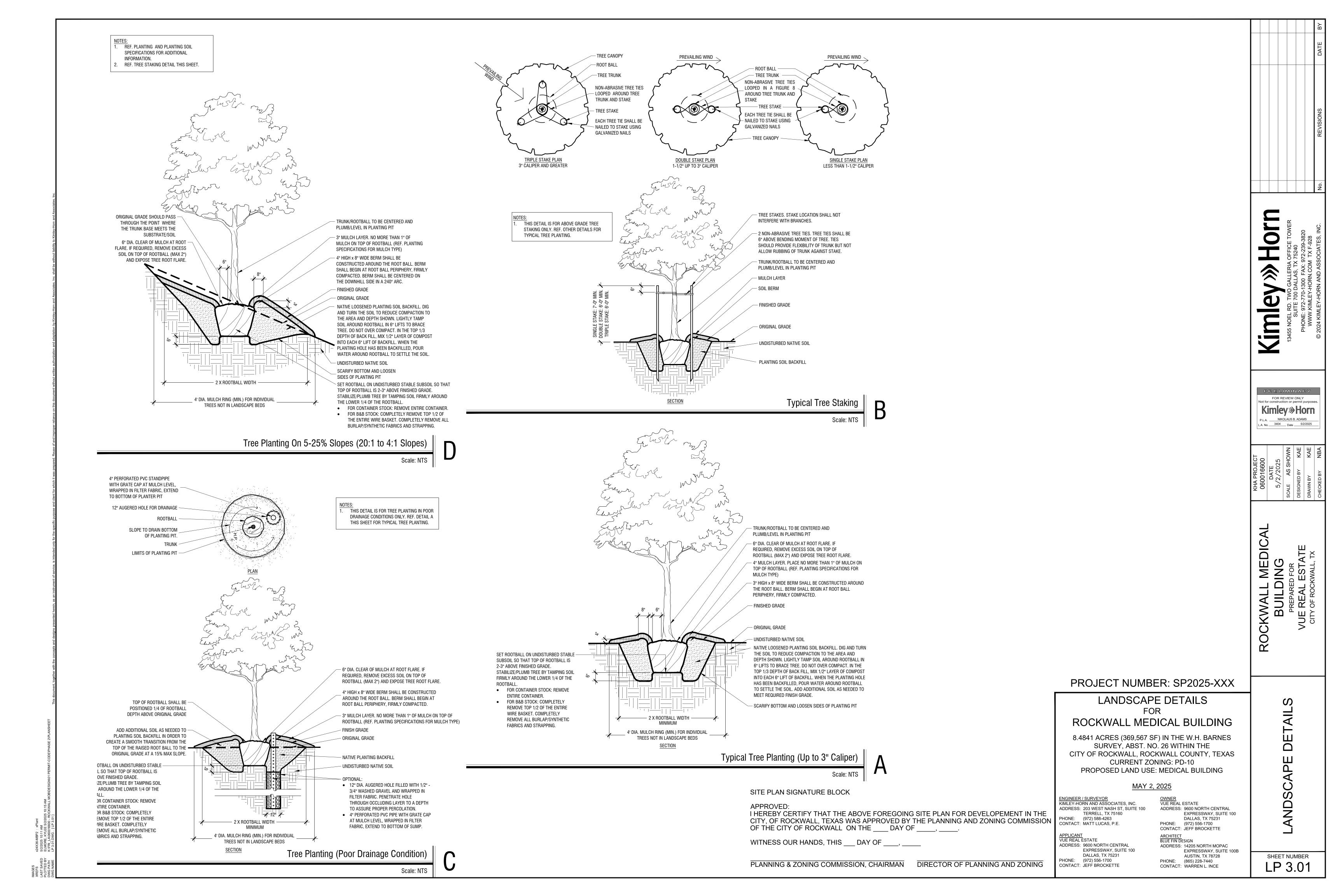
SHEET NUMBER LP 1.01

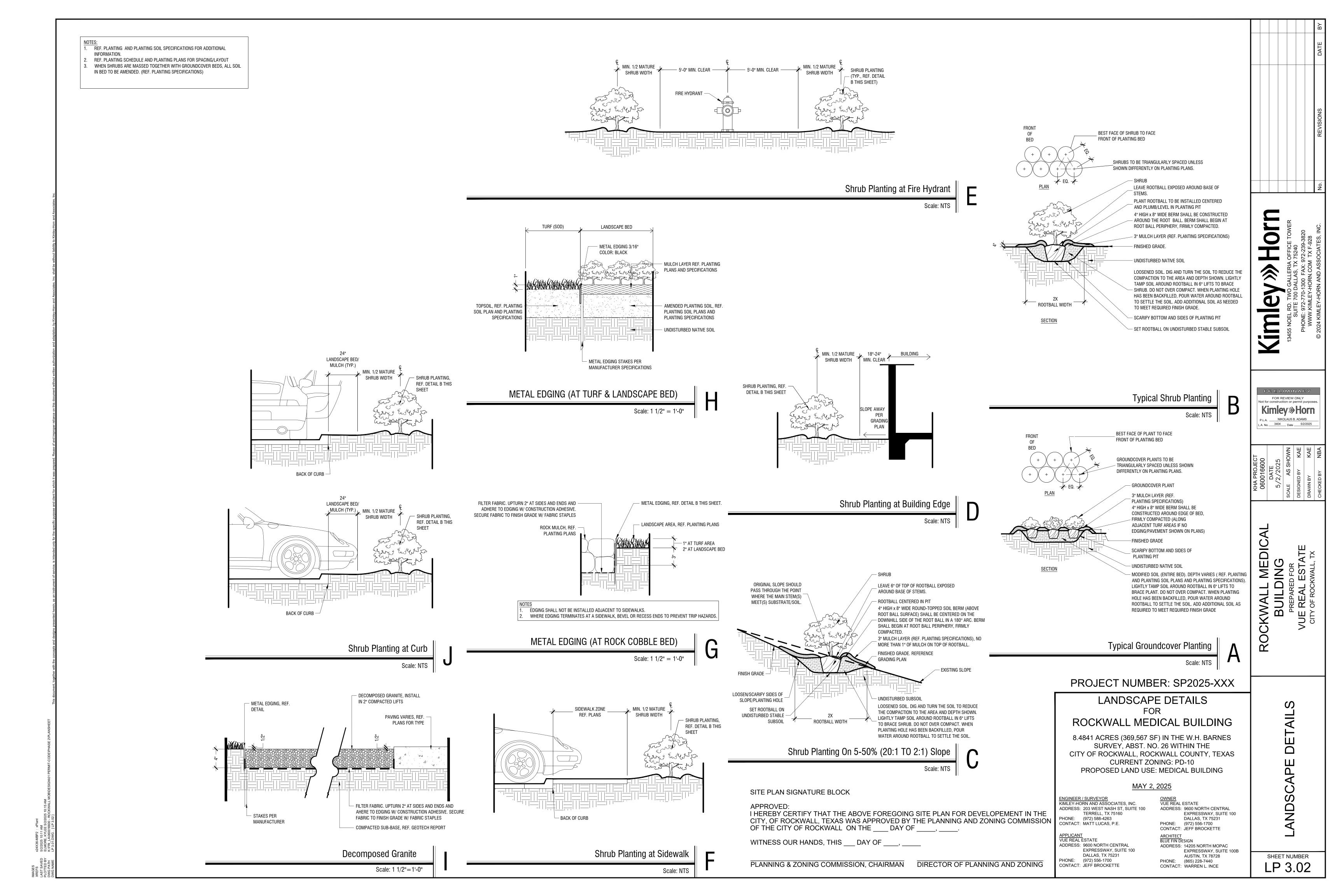
Kimley Horn

L.A. No. 3404 Date 5/2/2025

SCKWALL MEDICA
BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX







NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- 3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY
- 4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
- 5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- 6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.

7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN

- 8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
- 9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT. PROVIDE IRRIGATION AS NECESSARY
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE
- 11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.

MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED

- 12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD AND IRRIGATED.
- 13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- 14. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF TRASH, DEBRIS, STONES, WEEDS. AND TWIGS/BRANCHES
- 15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS. 16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER. B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT. STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR

AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN

MATERIALS SAMPLES TOPSOIL ONE (1) CUBIC YARD

PLANTS ONE (1) OF EACH VARIETY 2. PLANT MATERIALS

A PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCI ATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG. SOUND. HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR LIPON DELIVERY TO THE SITE AS DETERMINED BY THE OWNER FOR QUALITY SIZE ANI VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

D. MATERIALS

1. ASTM D5268. NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL

2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

3 VERIEY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO

4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.

5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 NCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES

6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE

7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE

8 AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.

a. ORGANIC SOIL AMENDMENTS 1 MANURE: WELL-ROTTED LINEFACHED STABLE OR CATTLE MANURE CONTAINING NOT MORE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO

2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.

3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.

4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.

5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS. WORM CASTINGS: EARTHWORMS.

b. INORGANIC SOIL AMENDMENTS

1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8

SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE. 2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR,

WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.

3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.

4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM

5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

c. PLANTING SOIL MIX

1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED 2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCEN ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS PFR PI ANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN

2. SOD/SEED AREA TOPSOIL ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY

OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES

IN 1 GAL (MIN.) CONTAINER.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL. NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE. THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA: IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE

FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14
3. SOD - 8-8-8 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS. ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10 MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM. NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

M. CONTAINER GROWN STOCK

O. NATIVE STOCK

P. MATERIALS LIST

Q. FINE GRADING

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT

THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS. 3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE. THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.

THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A

GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE. 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES. CONDUITS. SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3 SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS JTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW. FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

THREE (3) TABLETS PER 3 GAL. PLANT

 FOUR (4) TABLETS PER 10 GAL. PLANT - LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH

WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT 13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE

DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION. 14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF

DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM

THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PI

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE

WITNESS OUR HANDS, THIS ___ DAY OF ____, ____

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING. ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL. AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER. TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS

SOD AND THOROUGHLY WATERED IN.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

F PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS. SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER, AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

6. LAWN MAINTENANCE

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

T. CLEAN-UP LIPON COMPLETION OF ALL PLANTING WORK AND REFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY

THE OWNER'S AUTHORIZED REPRESENTATIVE

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED

U. PLANT MATERIAL MAINTENANCE ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, ULTIVATING. SPRAYING. AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GU SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER, MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM) 1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3 REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION

SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE

AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME

ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE

PROJECT NUMBER: SP2025-XXX

LANDSCAPE PLAN **ROCKWALL MEDICAL BUILDING**

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **CURRENT ZONING: PD-10** PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

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VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL **EXPRESSWAY SUITE 100** DALLAS, TX 75231 PHONE: (972) 556-1700

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VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE BLUE FIN DESIGN

ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (865) 228-7440 CONTACT: WARREN L. INCE

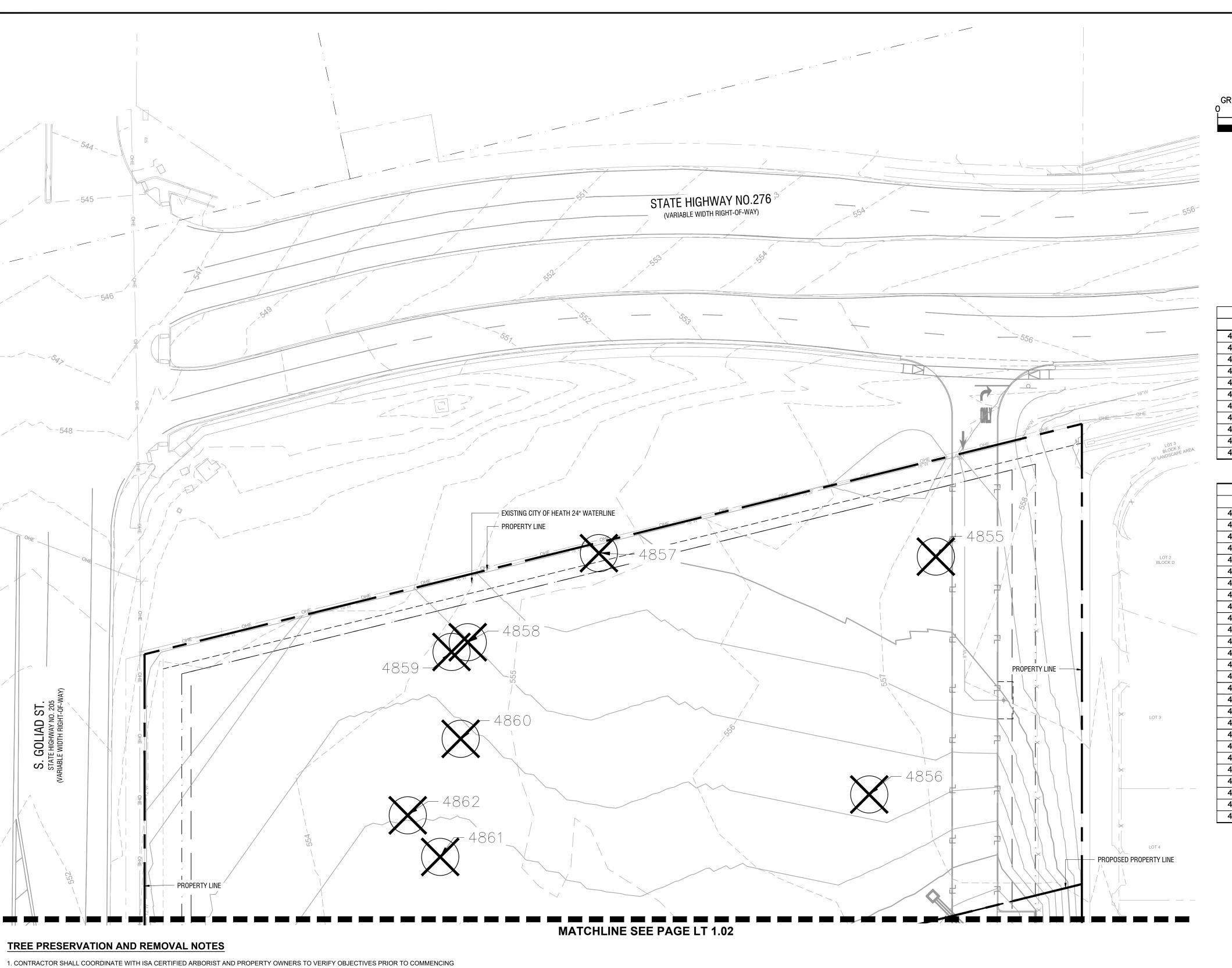
PRELIMINARY FOR REVIEW ONLY **Kimley** WHorn P.L.A. NIKOLAUS B. ADAMS L.A. No. 3404 Date 5/2/2025

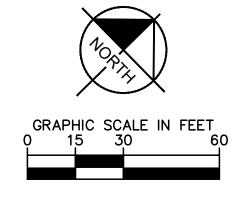
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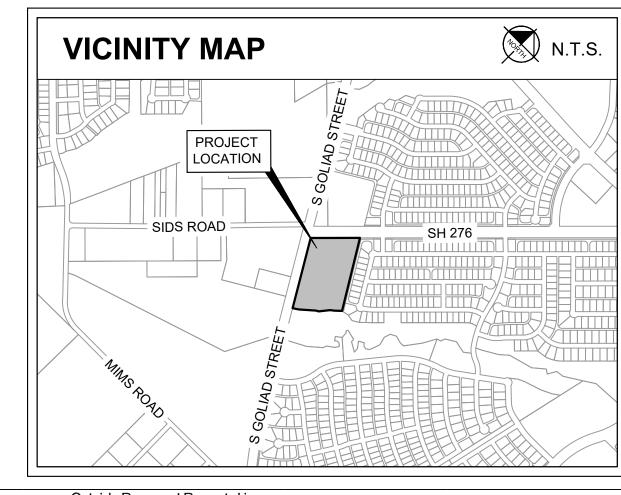
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> SHEET NUMBER LP 3.03

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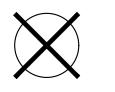


	Outside Proposed Property Line							
#	SPECIES	CALIPER(IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)			
4855	Eastern Redcedar / Juniperus virginiana	13.9 (15 ft tall)	Remove	Healthy (5)	4			
4856	Eastern Redcedar / Juniperus virginiana	17.3 (20 ft tall)	Remove	Healthy (5)	4			
4857	Eastern Redcedar / Juniperus virginiana	13.7 (15 ft tall)	Remove	Healthy (5)	4			
4858	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4			
4859	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4			
4860	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4			
4861	Eastern Redcedar / Juniperus virginiana	18.8 (20 ft tall)	Remove	Healthy (5)	4			
4862	Eastern Redcedar / Juniperus virginiana	12.2 (12 ft tall)	Remove	Healthy (5)	4			
4863	Eastern Redcedar / Juniperus virginiana	12.3 (12 ft tall)	Remove	Healthy (5)	4			
4865	Eastern Redcedar / Juniperus virginiana	14.7 (15 ft tall)	Remove	Healthy (5)	4			
4866	Eastern Redcedar / Juniperus virginiana	12.6 (12 ft tall)	Remove	Healthy (5)	4			
				Total Mitigation Required:	44			

# SPECISS CALIPER (IN) PROTECT OR REMOVE TREE HEALTH (1-5) MITIGATION REQURED (IN) 4864 Eastern Redcedar / Juniperus virginiana 11 (10ft tall) Remove Healthy (5) 4 4867 Chittamwood / Sderoxyton lanuginosum 9.1 (10ft tall) Remove Declining (1) 0 4868 Eastern Redcedar / Juniperus virginiana 15.4 (15ft tall) Remove Healthy (5) 4 4870 Eastern Redcedar / Juniperus virginiana 19.1 (20ft tall) Remove Healthy (5) 4 4871 Eastern Redcedar / Juniperus virginiana 19.1 (20ft tall) Remove Healthy (5) 4 4872 Eastern Redcedar / Juniperus virginiana 18.2 (20ft tall) Remove Healthy (5) 4 4873 Eastern Redcedar / Juniperus virginiana 18.2 (20ft tall) Remove Healthy (5) 4 4874 Eastern Redcedar / Juniperus virginiana 18.2 (20ft tall) Remove Healthy (5) 4 4875 Eastern Redcedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4 4876 Eastern Redcedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4 4877 Eastern Redcedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4 4878 Eastern Redcedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4 4879 Eastern Redcedar / Juniperus virginiana 14.4 (10ft tall) Remove Healthy (5) 4 4880 Eastern Redcedar / Juniperus virginiana 15.3 (15ft tall) Remove Healthy (5) 4 4881 Eastern Redcedar / Juniperus virginiana 15.3 (15ft tall) Remove Healthy (5) 4 4882 Eastern Redcedar / Juniperus virginiana 15.6 (15ft tall) Remove Healthy (5) 4 4883 Eastern Redcedar / Juniperus virginiana 15.6 (15ft tall) Remove Healthy (5) 4 4884 Eastern Redcedar / Juniperus virginiana 13.2 (15ft tall) Remove Healthy (5) 4 4885 Eastern Redcedar / Juniperus virginiana 13.2 (15ft tall) Remove Healthy (5) 4 4886 Eastern Redcedar / Juniperus virginiana 13.2 (15ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus virginiana 13.2 (15ft tall) Remove Healthy (5) 4 4888 Eastern Redcedar / Juniperus virginiana 13.2 (15ft tall) Remove Healthy (5) 4 4886 Eastern Redcedar / Juniperus virginiana 13.2 (15ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus v	Inside Proposed Property Line						
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### Bastern Redcedar / Juniperus virginiana 14.2 (15 ft tall) Remove Healthy (5) 4 ### Bastern Redcedar / Juniperus virginiana 19.1 (20 ft tall) Remove Healthy (5) 4 #### Bastern Redcedar / Juniperus virginiana 11.1 (10 ft tall) Remove Healthy (5) 4 #################################	4867	Chittamwood / Sideroxylon lanuginosum	9.1 (10 ft tall)	Remove	Declining (1)	0	
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4872 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4873 Eastern Redcedar / Juniperus virginiana 11.1 (10 ft tall) Remove Healthy (5) 4 4874 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4875 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4876 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4877 Eastern Redcedar / Juniperus virginiana 11.2 (10 ft tall) Remove Healthy (5) 4 4878 Eastern Redcedar / Juniperus virginiana 12.4 (12 ft tall) Remove Healthy (5) 4 4879 Eastern Redcedar / Juniperus virginiana 14 (15 ft tall) Remove Healthy (5) 4 4880 Eastern Redcedar / Juniperus virginiana 15.6 (15 ft tall) Remove Healthy (5) 4 4881 Eastern Redcedar / Juniperus virginiana 13.1 (15 ft tall) Remove Healthy (5) 4 </td <td>4870</td> <td>Eastern Redcedar / Juniperus virginiana</td> <td>19.1 (20 ft tall)</td> <td>Remove</td> <td>Healthy (5)</td> <td>4</td>	4870	Eastern Redcedar / Juniperus virginiana	19.1 (20 ft tall)	Remove	Healthy (5)	4	
4873 Eastern Redcedar / Juniperus virginiana 11.1 (10 ft tall) Remove Healthy (5) 4 4874 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4875 Eastern Redcedar / Juniperus virginiana 11.4 (10 ft tall) Remove Healthy (5) 4 4876 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4877 Eastern Redcedar / Juniperus virginiana 11.2 (10 ft tall) Remove Healthy (5) 4 4878 Eastern Redcedar / Juniperus virginiana 12.4 (12 ft tall) Remove Healthy (5) 4 4879 Eastern Redcedar / Juniperus virginiana 14 (15 ft tall) Remove Healthy (5) 4 4880 Eastern Redcedar / Juniperus virginiana 15.6 (15 ft tall) Remove Healthy (5) 4 4881 Eastern Redcedar / Juniperus virginiana 13.1 (15 ft tall) Remove Healthy (5) 4 4883 Eastern Redcedar / Juniperus virginiana 14.4 (15 ft tall) Remove Healthy (5) 4 </td <td>4871</td> <td>Eastern Redcedar / Juniperus virginiana</td> <td>11 (10 ft tall)</td> <td>Remove</td> <td>Healthy (5)</td> <td>4</td>	4871	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4	
4874 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4875 Eastern Redcedar / Juniperus virginiana 11.4 (10 ft tall) Remove Healthy (5) 4 4876 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4877 Eastern Redcedar / Juniperus virginiana 11.2 (10 ft tall) Remove Healthy (5) 4 4878 Eastern Redcedar / Juniperus virginiana 12.4 (12 ft tall) Remove Healthy (5) 4 4879 Eastern Redcedar / Juniperus virginiana 14 (15 ft tall) Remove Healthy (5) 4 4880 Eastern Redcedar / Juniperus virginiana 15.3 (15 ft tall) Remove Healthy (5) 4 4881 Eastern Redcedar / Juniperus virginiana 15.6 (15 ft tall) Remove Healthy (5) 4 4882 Eastern Redcedar / Juniperus virginiana 13.1 (15 ft tall) Remove Healthy (5) 4 4884 Eastern Redcedar / Juniperus virginiana 14.4 (15 ft tall) Remove Healthy (5) 4 </td <td>4872</td> <td>Eastern Redcedar / Juniperus virginiana</td> <td>18.2 (20 ft tall)</td> <td>Remove</td> <td>Healthy (5)</td> <td>4</td>	4872	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4	
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4876 Eastern Redcedar / Juniperus virginiana 14.3 (15 ft tall) Remove Healthy (5) 4 4877 Eastern Redcedar / Juniperus virginiana 11.2 (10 ft tall) Remove Healthy (5) 4 4878 Eastern Redcedar / Juniperus virginiana 12.4 (12 ft tall) Remove Healthy (5) 4 4879 Eastern Redcedar / Juniperus virginiana 14 (15 ft tall) Remove Healthy (5) 4 4880 Eastern Redcedar / Juniperus virginiana 15.3 (15 ft tall) Remove Healthy (5) 4 4881 Eastern Redcedar / Juniperus virginiana 15.6 (15 ft tall) Remove Healthy (5) 4 4882 Eastern Redcedar / Juniperus virginiana 13.1 (15 ft tall) Remove Healthy (5) 4 4883 Eastern Redcedar / Juniperus virginiana 14.4 (15 ft tall) Remove Healthy (5) 4 4884 Eastern Redcedar / Juniperus virginiana 13.2 (15 ft tall) Remove Healthy (5) 4 4885 Eastern Redcedar / Juniperus virginiana 12.3 (10 ft tall) Remove Healthy (5) 4 4886 Eastern Redcedar / Juniperus virginiana 15.7 (15 ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus virginiana 15.5 (10 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4	4874	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4	
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4880 Eastern Redcedar / Juniperus virginiana 15.3 (15 ft tall) Remove Healthy (5) 4 4881 Eastern Redcedar / Juniperus virginiana 15.6 (15 ft tall) Remove Healthy (5) 4 4882 Eastern Redcedar / Juniperus virginiana 13.1 (15 ft tall) Remove Healthy (5) 4 4883 Eastern Redcedar / Juniperus virginiana 14.4 (15 ft tall) Remove Healthy (5) 4 4884 Eastern Redcedar / Juniperus virginiana 13.2 (15 ft tall) Remove Healthy (5) 4 4885 Eastern Redcedar / Juniperus virginiana 12.3 (10 ft tall) Remove Healthy (5) 4 4886 Eastern Redcedar / Juniperus virginiana 15.7 (15 ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus virginiana 11.5 (10 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 15.5 (15 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4878	Eastern Redcedar / Juniperus virginiana	12.4 (12 ft tall)	Remove	Healthy (5)	4	
4881 Eastern Redcedar / Juniperus virginiana 15.6 (15 ft tall) Remove Healthy (5) 4 4882 Eastern Redcedar / Juniperus virginiana 13.1 (15 ft tall) Remove Healthy (5) 4 4883 Eastern Redcedar / Juniperus virginiana 14.4 (15 ft tall) Remove Healthy (5) 4 4884 Eastern Redcedar / Juniperus virginiana 13.2 (15 ft tall) Remove Healthy (5) 4 4885 Eastern Redcedar / Juniperus virginiana 12.3 (10 ft tall) Remove Healthy (5) 4 4886 Eastern Redcedar / Juniperus virginiana 15.7 (15 ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus virginiana 11.5 (10 ft tall) Remove Healthy (5) 4 4896 Cedar Em / Umus crassifolia 15.5 (15 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4879	Eastern Redcedar / Juniperus virginiana	14 (15 ft tall)	Remove	Healthy (5)	4	
4882Eastern Redcedar / Juniperus virginiana13.1 (15 ft tall)RemoveHealthy (5)44883Eastern Redcedar / Juniperus virginiana14.4 (15 ft tall)RemoveHealthy (5)44884Eastern Redcedar / Juniperus virginiana13.2 (15 ft tall)RemoveHealthy (5)44885Eastern Redcedar / Juniperus virginiana12.3 (10 ft tall)RemoveHealthy (5)44886Eastern Redcedar / Juniperus virginiana15.7 (15 ft tall)RemoveHealthy (5)44887Eastern Redcedar / Juniperus virginiana11.5 (10 ft tall)RemoveHealthy (5)44896Eastern Redcedar / Juniperus virginiana18.2 (20 ft tall)RemoveHealthy (5)44897Eastern Redcedar / Juniperus virginiana14.9 (15 ft tall)RemoveHealthy (5)44898Eastern Redcedar / Juniperus virginiana14.9 (15 ft tall)RemoveHealthy (5)44898Eastern Redcedar / Juniperus virginiana14.9 (15 ft tall)RemoveHealthy (5)4	4880	Eastern Redcedar / Juniperus virginiana	15.3 (15 ft tall)	Remove	Healthy (5)	4	
4883Eastern Redcedar / Juniperus virginiana14.4 (15 ft tall)RemoveHealthy (5)44884Eastern Redcedar / Juniperus virginiana13.2 (15 ft tall)RemoveHealthy (5)44885Eastern Redcedar / Juniperus virginiana12.3 (10 ft tall)RemoveHealthy (5)44886Eastern Redcedar / Juniperus virginiana15.7 (15 ft tall)RemoveHealthy (5)44887Eastern Redcedar / Juniperus virginiana11.5 (10 ft tall)RemoveHealthy (5)44895Cedar Bm / Ulmus crassifolia15.5 (15 ft tall)RemoveHealthy (5)44896Eastern Redcedar / Juniperus virginiana18.2 (20 ft tall)RemoveHealthy (5)44897Eastern Redcedar / Juniperus virginiana14.9 (15 ft tall)RemoveHealthy (5)44898Eastern Redcedar / Juniperus virginiana14.8 (15 ft tall)RemoveHealthy (5)4	4881	Eastern Redcedar / Juniperus virginiana	15.6 (15 ft tall)	Remove	Healthy (5)	4	
4884 Eastern Redcedar / Juniperus virginiana 13.2 (15 ft tall) Remove Healthy (5) 4 4885 Eastern Redcedar / Juniperus virginiana 12.3 (10 ft tall) Remove Healthy (5) 4 4886 Eastern Redcedar / Juniperus virginiana 15.7 (15 ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus virginiana 11.5 (10 ft tall) Remove Healthy (5) 4 4895 Cedar Em / Ulmus crassifolia 15.5 (15 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4882	Eastern Redcedar / Juniperus virginiana	13.1 (15 ft tall)	Remove	Healthy (5)	4	
4885 Eastern Redcedar / Juniperus virginiana 12.3 (10 ft tall) Remove Healthy (5) 4 4886 Eastern Redcedar / Juniperus virginiana 15.7 (15 ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus virginiana 11.5 (10 ft tall) Remove Healthy (5) 4 4895 Cedar Em / Umus crassifolia 15.5 (15 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4883	Eastern Redcedar / Juniperus virginiana	14.4 (15 ft tall)	Remove	Healthy (5)	4	
4886 Eastern Redcedar / Juniperus virginiana 15.7 (15 ft tall) Remove Healthy (5) 4 4887 Eastern Redcedar / Juniperus virginiana 11.5 (10 ft tall) Remove Healthy (5) 4 4895 Cedar	4884	Eastern Redcedar / Juniperus virginiana	13.2 (15 ft tall)	Remove	Healthy (5)	4	
4887 Eastern Redcedar / Juniperus virginiana 11.5 (10 ft tall) Remove Healthy (5) 4 4895 Cedar Em / Ulmus crassifolia 15.5 (15 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4885	Eastern Redcedar / Juniperus virginiana	12.3 (10 ft tall)	Remove	Healthy (5)	4	
4895 Cedar Em / Ulmus crassifolia 15.5 (15 ft tall) Remove Healthy (5) 4 4896 Eastern Redcedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4886	Eastern Redcedar / Juniperus virginiana	15.7 (15 ft tall)	Remove	Healthy (5)	4	
4896 Eastern Red cedar / Juniperus virginiana 18.2 (20 ft tall) Remove Healthy (5) 4 4897 Eastern Red cedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Red cedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4887	Eastern Redcedar / Juniperus virginiana	11.5 (10 ft tall)	Remove	Healthy (5)	4	
4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4895	Cedar ⊞m / Ulmus crassifolia	15.5 (15 ft tall)	Remove	Healthy (5)	4	
4898 Eastern Red cedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4896	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4	
	4897	Eastern Redcedar / Juniperus virginiana	14.9 (15 ft tall)	Remove	Healthy (5)	4	
4899 Eastern Red cedar / Juniperus virginiana 18.5 (20 ft tall) Remove Healthy (5) 4	4898	Eastern Redcedar / Juniperus virginiana	14.8 (15 ft tall)	Remove	Healthy (5)	4	
	4899	Eastern Redcedar / Juniperus virginiana	18.5 (20 ft tall)	Remove	Healthy (5)	4	

TREE PRESERVATION LEGEND

Total Mitigation Required:



EXISTING TREE TO BE REMOVED

Grand Total Mitigation Required: 148 in

NOTE: TREE REMOVAL PERMIT SHALL BE REQUESTED AT THE TIME OF TREE REMOVAL.

SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160

PHONE: (972) 556-1700 ARCHITECT BLUE FIN DESIGN

EXPRESSWAY, SUITE 100 AUSTIN, TX 78728 PHONE: (865) 228-7440 CONTACT: WARREN L. INCE

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 CONTACT: JEFF BROCKETTE ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B

SHEET NUMBER LT 1.01

FOR REVIEW ONLY Not for construction or permit purp

Kimley»Horn

P.L.A. NIKOLAUS B. ADAMS
L.A. No. 3404 Date 5/2/2025

PROJECT NUMBER: SP2025-XXX

TREE PRESERVATION PLAN

ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION CONTACT: MATT LUCAS, P.E. OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ___.

APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN SIGNATURE BLOCK

WITNESS OUR HANDS, THIS ___ DAY OF ____, ____

APPROVED:

EACH EXISTING TREE THROUGH THE USE OF HAND DIGGING, OR WITH THE USE OF AN APPROVED MECHANICAL DEVICE. TREES SHALL BE HARVESTED AS BALLED & BURLAPPED TREE SPECIMENS, PER ANSI Z60 STANDARDS, AND TRANSPORTED TO NEW LOCATION ON SITE, OR AT ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

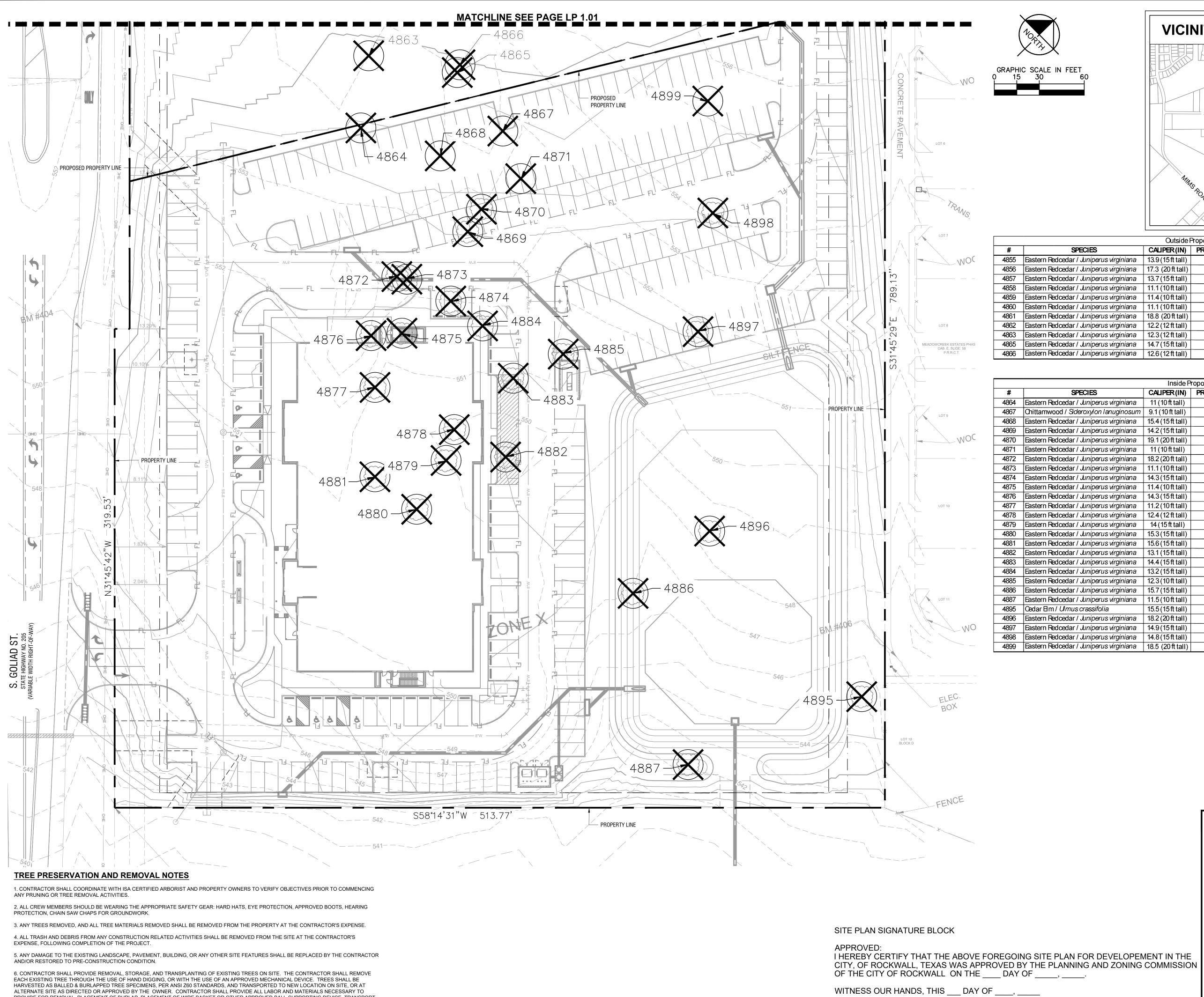
5. ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR

6. CONTRACTOR SHALL PROVIDE REMOVAL, STORAGE, AND TRANSPLANTING OF EXISTING TREES ON SITE. THE CONTRACTOR SHALL REMOVE

2. ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.

AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.

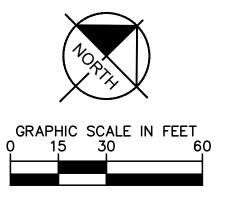
3. ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE. 4. ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.

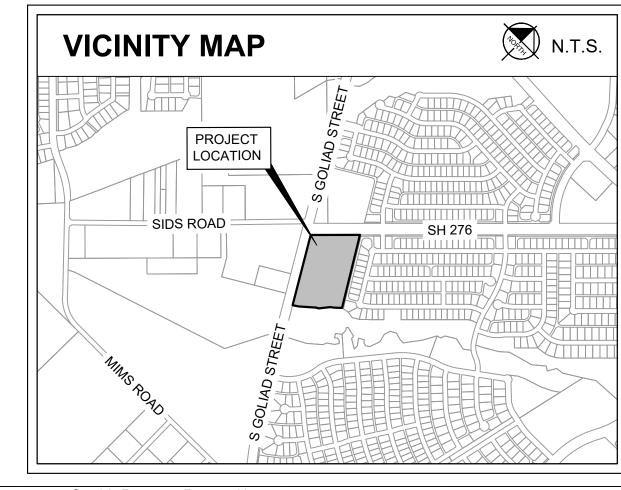


ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO

PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT

TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.





	Outside Proposed Property Line						
#	SPECIES	CALIPER(IN)	PROTECT OR REVIOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)		
4855	Eastern Redcedar / Juniperus virginiana	13.9 (15 ft tall)	Remove	Healthy (5)	4		
4856	Eastern Redcedar / Juniperus virginiana	17.3 (20 ft tall)	Remove	Healthy (5)	4		
4857	Eastern Redcedar / Juniperus virginiana	13.7 (15 ft tall)	Remove	Healthy (5)	4		
4858	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4859	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4		
4860	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4861	Eastern Redcedar / Juniperus virginiana	18.8 (20 ft tall)	Remove	Healthy (5)	4		
4862	Eastern Redcedar / Juniperus virginiana	12.2 (12 ft tall)	Remove	Healthy (5)	4		
4863	Eastern Redcedar / Juniperus virginiana	12.3 (12 ft tall)	Remove	Healthy (5)	4		
4865	Eastern Redcedar / Juniperus virginiana	14.7 (15 ft tall)	Remove	Healthy (5)	4		
4866	Eastern Redcedar / Juniperus virginiana	12.6 (12 ft tall)	Remove	Healthy (5)	4		
				Total Mitigation Required:	44		

	Inside Proposed Property Line						
#	SPECIES	CALIPER(IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)		
4864	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4		
4867	Chittamwood / Sideroxylon lanuginosum	9.1 (10 ft tall)	Remove	Declining (1)	0		
4868	Eastern Redcedar / Juniperus virginiana	15.4 (15 ft tall)	Remove	Healthy (5)	4		
4869	Eastern Redcedar / Juniperus virginiana	14.2 (15 ft tall)	Remove	Healthy (5)	4		
4870	Eastern Redcedar / Juniperus virginiana	19.1 (20 ft tall)	Remove	Healthy (5)	4		
4871	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4		
4872	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4		
4873	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4874	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4		
4875	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4		
4876	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4		
4877	Eastern Redcedar / Juniperus virginiana	11.2 (10 ft tall)	Remove	Healthy (5)	4		
4878	Eastern Redcedar / Juniperus virginiana	12.4 (12 ft tall)	Remove	Healthy (5)	4		
4879	Eastern Redcedar / Juniperus virginiana	14 (15 ft tall)	Remove	Healthy (5)	4		
4880	Eastern Redcedar / Juniperus virginiana	15.3 (15 ft tall)	Remove	Healthy (5)	4		
4881	Eastern Redcedar / Juniperus virginiana	15.6 (15 ft tall)	Remove	Healthy (5)	4		
4882	Eastern Redcedar / Juniperus virginiana	13.1 (15 ft tall)	Remove	Healthy (5)	4		
4883	Eastern Redcedar / Juniperus virginiana	14.4 (15 ft tall)	Remove	Healthy (5)	4		
4884	Eastern Redcedar / Juniperus virginiana	13.2 (15 ft tall)	Remove	Healthy (5)	4		
4885	Eastern Redcedar / Juniperus virginiana	12.3 (10 ft tall)	Remove	Healthy (5)	4		
4886	Eastern Redcedar / Juniperus virginiana	15.7 (15 ft tall)	Remove	Healthy (5)	4		
4887	Eastern Redcedar / Juniperus virginiana	11.5 (10 ft tall)	Remove	Healthy (5)	4		
4895	Cedar ⊞m / Ulmus crassifolia	15.5 (15 ft tall)	Remove	Healthy (5)	4		
4896	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4		
4897	Eastern Redcedar / Juniperus virginiana	14.9 (15 ft tall)	Remove	Healthy (5)	4		
4898	Eastern Redcedar / Juniperus virginiana	14.8 (15 ft tall)	Remove	Healthy (5)	4		
4899	Eastern Redcedar / Juniperus virginiana	18.5 (20 ft tall)	Remove	Healthy (5)	4		

TREE PRESERVATION LEGEND

Total Mitigation Required:



Grand Total Mitigation Required: 148 in

NOTE: TREE REMOVAL PERMIT SHALL BE REQUESTED AT THE TIME OF TREE REMOVAL.

PROJECT NUMBER: SP2025-XXX

ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

TERRELL, TX 75160

EXPRESSWAY, SUITE 100 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE ARCHITECT BLUE FIN DESIGN

ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (865) 228-7440 CONTACT: WARREN L. INCE

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL

Kimley»Horn

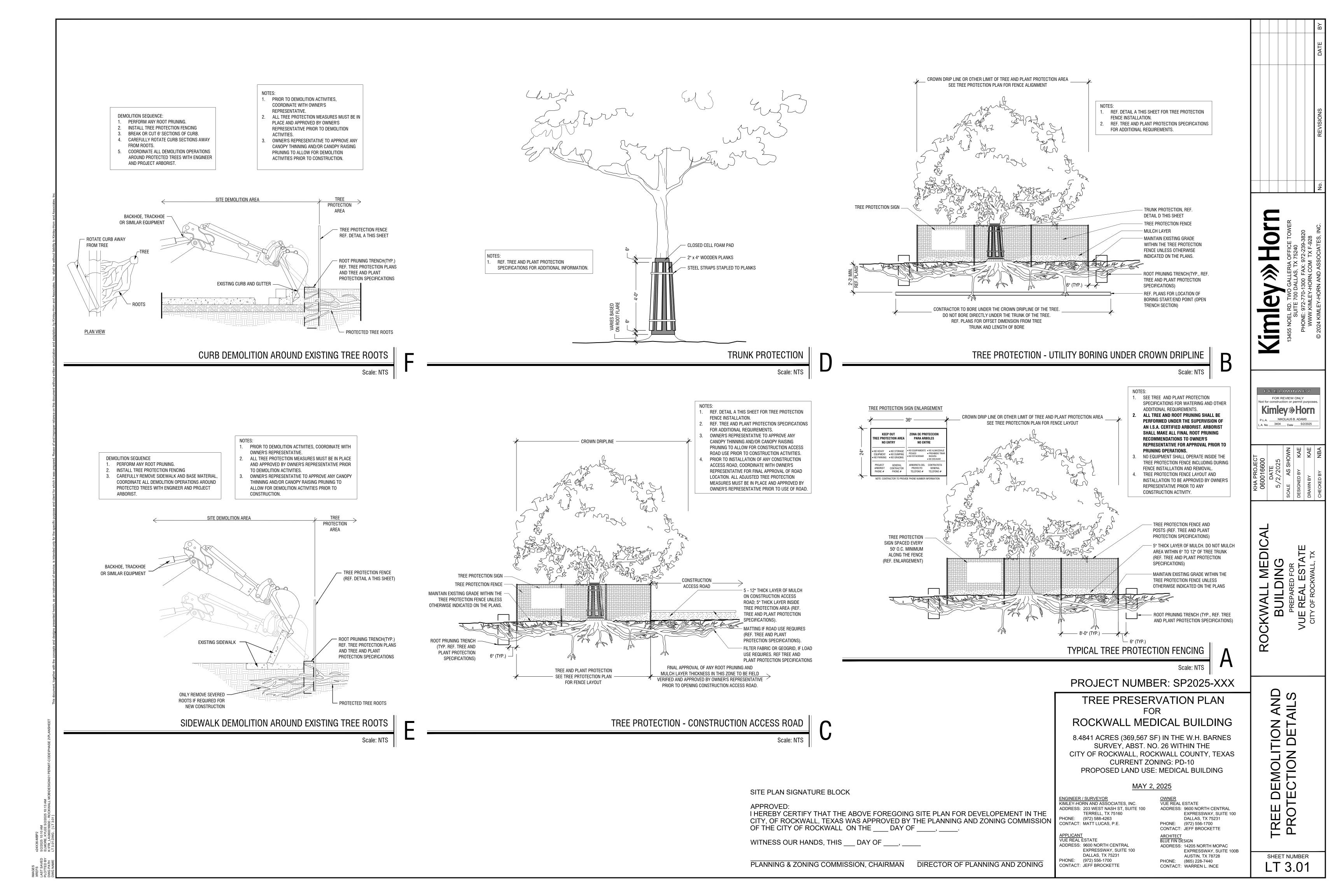
SHEET NUMBER LT 1.02

TREE PRESERVATION PLAN

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 CONTACT: MATT LUCAS, P.E.

APPLICANT VUE REAL ESTATE

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



EXISTING TREES AND OTHER PLANTS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. 1. PROVIDE PRECONSTRUCTION EVALUATIONS

2. PROVIDE PROTECTION OF ROOT ZONES AND ABOVE GROUND TREES AND PLANTS

PROVIDE PRUNING OF EXISTING TREES AND PLANTS. 4. COORDINATE WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR MODIFICATIONS TO THE SOIL WITHIN THE ROOT ZONE OF EXISTING TREES AND PLANTS.

SERVICES NECESSARY FOR. AND INCI DENTAL TO PERFORMING ALL OPERATIONS IN CONNECTION WITH PROTECTION OF

PROVIDE ALL INSECT AND DISEASE CONTROL.

6. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE CONSTRUCTION PERIOD B. AS RECOMMENDED BY THE ARBORIST REPORT.

7. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE POST CONSTRUCTION PLANT MAINTENANCE PERIOD.

8. REMOVE TREE PROTECTION FROM AROUND AND UNDER TREES AND PLANTS.

9. CLEAN UP AND DISPOSAL OF ALL EXCESS AND SURPLUS MATERIAL 1.2 CONTRACT DOCUMENTS

SHALL CONSIST OF SPECIFICATIONS AND GENERAL CONDITIONS AND THE DRAWINGS. THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR. MATERIALS. AND SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE DOCUMENTS ARE TO BE CONSIDERED AS ONE. WHATEVER IS CALLED FOR BY ANY PARTS SHALL BE AS BINDING AS IF

B. IT IS THE INTENT OF THIS SECTION THAT THE REQUIREMENTS APPLY TO ALL OTHER SECTIONS OF THE PROJECT SPECIFICATION SUCH THAT ANY SUBCONTRACTOR MUST COMPLY WITH THE RESTRICTIONS ON WORK WITHIN DESIGNATED 1.12 PRE-CONSTRUCTION CONFERENCE TREE AND PLANT PROTECTION AREAS

1.3 RELATED DOCUMENTS AND REFERENCES

A. RELATED DOCUMENTS: 1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND

DIVISION I SPECIFICATIONS APPLY TO WORK OF THIS SECTION. 2. IRRIGATION SPECIFICATIONS 3 PLANTING SPECIFICATIONS

REFERENCES: THE FOLLOWING SPECIFICATIONS AND STANDARDS OF THE ORGANIZATIONS AND DOCUMENTS LISTED IN THIS PARAGRAPH FORM A PART OF THE SPECIFICATION TO THE EXTENT REQUIRED BY THE REFERENCES THERETO. IN THE EVENT THAT THE REQUIREMENTS OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATION CONFLICT WITH THIS SPECIFICATION SECTION, THE REQUIREMENTS OF THIS SPECIFICATION SHALL PREVAIL. IN THE EVENT THAT THE REQUIREMENTS OF ANY OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATIONS CONFLICT WITH EACH OTHER, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL

1. ANSI A300 - STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE (9 PARTS), MOST 1.13 QUALITY ASSURANCE

2. INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES (ISA BMP) MOST CURRENT EDITIONS.

 a. TREE PRUNING b. SOIL MANAGEMENT FOR URBAN TREES

c. Tree support systems: cabling, bracing, guying, and propping

d. TREE LIGHTING PROTECTION SYSTEMS

e. MANAGING TREES DURING CONSTRUCTION

f. TREE PLANTING

g. TREE RISK ASSESSMENT h. TREE INVENTORY

i. INTEGRATED PEST MANAGEMENT i. TREE INJECTIONS

CURRENT EDITION.

k. Tree and shrub fertilization 3. PRUNING PRACTICES SHALL CONFORM WITH RECOMMENDATIONS "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN

INDUSTRY"; PUBLISHED BY URBAN TREE FOUNDATION, VISALIA, CALIFORNIA; MOST CURRENT EDITION. 4. GLOSSARY OF ARBORICULTURAL TERMS, INTERNATIONAL SOCIETY OF ARBORICULTURE, CHAMPAIGN IL, MOST

1.4 VERIFICATION

ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY INFORM A. THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE INFORMATION ON THE DRAWINGS AND THE ACTUAL CONDITIONS, REFRAINING FROM DOING ANY WORK IN SAID AREAS UNTIL GIVEN APPROVAL TO DO SO BY THE OWNER'S REPRESENTATIVE

1.5 PERMITS AND REGULATIONS

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS RELATED TO THIS SECTION OF THE WORK UNLESS PREVIOUSLY EXCLUDED UNDER PROVISION OF THE CONTRACT OR GENERAL CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES BEARING ON THE OPERATION OR CONDUCT OF THE WORK AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT A CONFLICT EXISTS BETWEEN PERMIT REQUIREMENTS AND THE WORK OUTLINED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING INCLUDING A DESCRIPTION OF ANY NECESSARY CHANGES AND CHANGES TO THE CONTRACT PRICE RESULTING

FROM CHANGES IN THE WORK. WHEREVER REFERENCES ARE MADE TO STANDARDS OR CODES IN ACCORDANCE WITH WHICH WORK IS TO BE PERFORMED PART 3 EXECUTION OR TESTED. THE EDITION OR REVISION OF THE STANDARDS AND CODES CURRENT ON THE EFFECTIVE DATE OF THIS CONTRACT SHALL APPLY, UNLESS OTHERWISE EXPRESSLY SET FORTH.

IN CASE OF CONFLICT AMONG ANY REFERENCED STANDARDS OR CODES OR BETWEEN ANY REFERENCED STANDARDS AND CODES AND THE SPECIFICATIONS. THE MORE RESTRICTIVE STANDARD OR CODE SHALL APPLY OR OWNER'S REPRESENTATIVE SHALL DETERMINE WHICH SHALL GOVERN.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON

THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES OR INJURY DUE TO HIS/HER ACTIONS.

THE OWNER'S REPRESENTATIVE MAY ORDER CHANGES IN THE WORK, AND THE CONTRACT SUM SHOULD BE ADJUSTED ACCORDINGLY. ALL SUCH ORDERS AND ADJUSTMENTS PLUS CLAIMS BY THE CONTRACTOR FOR EXTRA COMPENSATION

1.7 CHANGES IN THE WORK

MUST BE MADE AND APPROVED IN WRITING BEFORE EXECUTING THE WORK INVOLVED. 1.8 CORRECTION OF WORK THE CONTRACTOR SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT

3.4

PREPARATION

AND SHALL REMEDY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE OWNER'S

REPRESENTATIVE, AT THE SOONEST POSSIBLE TIME THAT CAN BE COORDINATED WITH OTHER WORK AND SEASONAL WEATHER DEMANDS

1.9 DEFINITIONS ALL TERMS IN THIS SPECIFICATION SHALL BE AS DEFINED IN THE "GLOSSARY OF ARBORICULTURAL TERMS" OR AS

1. OWNER'S REPRESENTATIVE: THE PERSON APPOINTED BY THE OWNER TO REPRESENT THEIR INTEREST IN THE REVIEW AND APPROVAL OF THE WORK AND TO SERVE AS THE CONTRACTING AUTHORITY WITH THE CONTRACTOR. THE

OWNER'S REPRESENTATIVE MAY APPOINT OTHER PERSONS TO REVIEW AND APPROVE ANY ASPECTS OF THE WORK. 2. REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION IS INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG TERM STABILITY, HEALTH OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT PLANTS ARE NOT FREE OF DEFECTS, AND THAT PLANT CONDITIONS CHANGE WITH D. TIME. THIS SPECIFICATION ALSO RECOGNIZES THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSION JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE OWNER'S

REPRESENTATIVE EXPERT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE. 3. SHRUB: WOODY PLANTS WITH MATURE HEIGHT APPROXIMATELY LESS THAN 25 FEET.

4. TREE AND PLANT PROTECTION AREA: AREA SURROUNDING INDIVIDUAL TREES, GROUPS OF TREES, SHRUBS, OR OTHER VEGETATION TO BE PROTECTED DURING CONSTRUCTION, AND DEFINED BY A CIRCLE CENTERED ON THE TRUNK WITH EACH TREE WITH A RADIUS EQUAL TO THE CLOWN DRIPLINE UNLESS OTHERWISE INDICATED BY THE OWNER'S REPRESENTATIVE OR THE CONSTRUCTION DRAWINGS.

5. TREE: SINGLE AND MULTI-STEMMED PLANTS, INCLUDING PALMS WITH ANTICIPATED MATURE HEIGHT APPROXIMATELY GREATER THAN 25 FEET OR ANY PLANT IDENTIFIED ON THE PLANS AS A TREE

1.10 SUBMITTALS

A. ARBORIST REPORT

1. PRIOR TO THE START OF CONSTRUCTION, SUBMIT, FOR APPROVAL BY THE OWNER'S REPRESENTATIVE, THE REPORT OF A CONSULTING ARBORIST WHO IS A REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED ARBORIST, WHICH DETAILS THE FOLLOWING INFORMATION FOR ALL TREES TO REMAIN WITHIN THE AREA DESIGNATED ON THE DRAWINGS AS THE TREE AND PLANT PROTECTION AREA. THE REPORT SHALL INCLUDE THE FOLLOWING:

a. A DESCRIPTION OF EACH TREE TO REMAIN INDICATING ITS GENUS AND SPECIES, CONDITION INCLUDING ANY VISIBLE DAMAGE TO THE ROOT SYSTEM OR SOIL WITHIN THE ROOT ZONE, TREE DIAMETER AT BREAST HEIGHT (DBH) AND APPROXIMATE HEIGHT AND CANOPY SPREAD, SIZE AND ANY VISIBLE DISEASE, INSECT INFESTATIONS AND OR

BRANCH AND TRUNK STRUCTURAL DEFICIENCIES. b. THE REPORT SHALL NOTE ALL TREES OR PARTS OF TREES, WHICH ARE CONSIDERED A HAZARD OR SIGNIFICANT OR

EACH TREE, WHICH MAY REASONABLY BE IDENTIFIED AS A POTENTIAL HAZARD TREE. c. RECOMMENDATIONS AS TO TREATMENT OF ALL INSECT, DISEASE AND STRUCTURAL PROBLEMS ENCOUNTERED.

d. RECOMMENDATIONS FOR FERTILIZER TREATMENTS, IF ANY. e. A PLAN OF THE SITE SHOWING THE LOCATION OF ALL TREES INCLUDED IN THE REPORT.

PRODUCT DATA 1. SUBMIT MANUFACTURER PRODUCT DATA AND LITERATURE DESCRIBING ALL PRODUCTS REQUIRED BY THIS SECTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE SUBMITTAL BEFORE THE START OF ANY WORK AT THE

QUALIFICATIONS SUBMITTAL 1. FOR EACH APPLICABLE PERSON EXPECTED TO WORK ON THE PROJECT, PROVIDE COPIES OF THE QUALIFICATIONS AND EXPERIENCE OF THE CONSULTING ARBORIST, PROOF OF EITHER THE REGISTERED CONSULTING ARBORIST® (RCA)

WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED MASTER ARBORIST, ANY ISA

CERTIED ARBORISTS, AND ANY REQUIRED HERBICIDE/PESTICIDE LICENSE TO THE OWNER'S REPRESENTATIVE, FOR REVIEW PRIOR TO THE START OF WORK. 1.11 OBSERVATION OF THE WORK

A. THE OWNER'S REPRESENTATIVE MAY INSPECT THE WORK AT ANY TIME.

SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE

1. THE FOLLOWING CONTRACTORS SHALL ATTEND THE PRECONSTRUCTION CONFERENCE:

a. GENERAL CONTRACTOR. b. CONSULTING ARBORIST/CERTIFIED ARBORIST

c. TREE AND PLANT PROTECTION SUB-CONTRACTOR.

d FARTHWORK SUB-CONTRACTOR

e. ALL SITE UTILITY SUB-CONTRACTORS THAT MAY BE REQUIRED TO DIG OR TRENCH INTO THE SOIL.

f. LANDSCAPE SUB-CONTRACTOR. g. IRRIGATION SUB-CONTRACTOR.

h. PRIOR TO THIS MEETING, MARK ALL TREES AND PLANTS TO REMAIN AND OR BE REMOVED AS DESCRIBED IN THIS SPECIFICATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE

A. CONTRACTOR QUALIFICATIONS:

1. ALL PRUNING, BRANCH TIE BACK, TREE REMOVAL, ROOT PRUNING, AND FERTILIZING REQUIRED BY THIS SECTION SHALL BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF ISA CERTIFIED ARBORIST. SUBMIT

AFOREMENTIONED INDIVIDUAL'S QUALIFICATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE. 2. ALL APPLICATIONS OF PESTICIDE OR HERBICIDE SHALL BE PERFORMED BY A PERSON MAINTAINING A CURRENT STATE LICENSE TO APPLY CHEMICAL PESTICIDES VALID IN THE JURISDICTION OF THE PROJECT. SUBMIT COPIES OF ALL

PART 2 PRODUCTS

2.1 TREE PROTECTION SIGN:

A. HEAVY-DUTY PLASTIC LAMINATED OR CORRUGATED PLASTIC SIGNS, 24 INCHES X 36 INCHES, WHITE COLORED BACKGROUND WITH BLACK 2 INCH HIGH OR LARGER LETTERS BLOCK LETTERS. THE SIGNS SHALL BE STAKED ADJACENT TO EXISTING TREES. THE TREE PROTECTION SIGN SHALL READ "KEEP OUT - TREE AND PLANT PROTECTION AREA" AND OTHER PROJECT INFORMATION AS SHOWN ON DRAWINGS.

REQUIRED STATE LICENSING CERTIFICATES INCLUDING APPLICABLE CHEMICAL APPLICATOR LICENSES.

MATTING FOR VEHICLE AND WORK PROTECTION SHALL BE HEAVY DUTY MATTING DESIGNED FOR VEHICLE LOADING OVER TREE ROOTS, ALTURNAMATS AS MANUFACTURED BY ALTURNAMATS, INC. FRANKLIN, PA 16323 OR APPROVED EQUAL. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL

GEOGRID SHALL BE WOVEN POLYESTER FABRIC WITH PVC COATING, UNI-AXIAL OR BIAXIAL GEOGRID, INERT TO BIOLOGICAL

DEGRADATION, RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS, ACIDS. 1. GEOGRID SHALL BE MIRAGRID 2XT AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL

SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL

2.4 FILTER FABRIC A. FILTER FABRIC SHALL BE NONWOVEN POLYPROPYLENE FIBERS, INERT TO BIOLOGICAL DEGRADATION AND RESISTANT OF NATURALLY OCCURRING CHEMICALS, ALKALIS AND ACIDS.

1. MIRAFI 135 N AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL

3.1 SITE EXAMINATION EXAMINE THE SITE, TREE, PLANT AND SOIL CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY CONDITIONS THAT MAY IMPACT THE SUCCESSFUL TREE AND PLANT PROTECTIONS THAT IS THE INTENT OF THIS SECTION.

THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK. PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES. COORDINATE THE RELOCATION OF ANY IRRIGATION LINES CURRENTLY PRESENT ON THE IRRIGATION PLAN, HEADS OR THE CONDUITS OF OTHER UTILITY LINES OR STRUCTURES THAT ARE IN CONFLICT WITH TREE LOCATIONS. TREE ROOTS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS ENCOUNTERED.

THE TREE AND PLANT PROTECTION AREA IS DEFINED AS ALL AREAS INDICATED ON THE TREE PROTECTION PLAN. WHERE NO LIMIT OF THE TREE AND PLANT PROTECTION AREA IS DEFINED ON THE DRAWINGS, THE LIMIT SHALL BE THE

DRIP LINE (OUTER EDGE OF THE BRANCH CROWN) OF EACH TREE. PRIOR TO THE PRECONSTRUCTION MEETING, LAYOUT THE LIMITS OF THE TREE AND PLANT PROTECTION AREA AND THEN ALIGNMENTS OF REQUIRED TREE AND PLANT PROTECTION FENCING AND ROOT PRUNING. OBTAIN THE OWNER'S

FLAG ALL TREES AND LARGE SHRUBS TO BE REMOVED BY WRAPPING ORANGE PLASTIC RIBBON AROUND THE TRUNK AND OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND LARGE SHRUBS TO BE REMOVED PRIOR TO THE START OF TREE AND SHRUB REMOVAL. AFTER APPROVAL, MARK ALL TREES AND SHRUBS TO BE REMOVED WITH ORANGE PAINT IN A BAND COMPLETELY AROUND THE BASE OF THE TREE OR LARGE SHRUB 4.5 FEET ABOVE THE GROUND. FI AG ALL TREES AND LARGE SHRUBS TO REMAIN WITH WHITE PLASTIC RIBBON TIED COMPLETELY AROUND THE TRUNK

REPRESENTATIVE'S APPROVAL OF THE LIMITS OF THE PROTECTION AREA AND THE ALIGNMENT OF ALL FENCING AND ROOT

OR EACH TREE AND ON A PROMINENT BRANCH FOR EACH SHRUB. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND SHRUBS TO REMAIN PRIOR TO THE START OF TREE AND SHRUB REMOVAL PRIOR TO ANY CONSTRUCTION ACTIVITY AT THE SITE INCLUDING UTILITY WORK, GRADING, STORAGE OF MATERIALS, OR INSTALLATION OF TEMPORARY CONSTRUCTION FACILITIES, INSTALL ALL TREE PROTECTION FENCING, FILTER FABRIC, SILT FENCE, TREE PROTECTION SIGNS, GEOGRID, MULCH AND OR WOOD CHIPS AS SHOWN ON THE DRAWINGS.

VOLUMETRIC SOIL MOISTURE LEVEL, IN ALL SOILS WITHIN THE TREE AND PLANT PROTECTION AREA SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT TO A DEPTH OF AT LEAST 8 INCHES. NO SOIL WORK OR OTHER ACTIVITY SHALL BE PERMITTED WITHIN THE TREE AND PLANT PROTECTION AREA WHEN THE VOLUMETRIC SOIL MOISTURE IS ABOVE FIELD CAPACITY. THE PERMANENT WILT POINT AND FIELD CAPACITY FOR EACH TYPE OF SOIL TEXTURE SHALL BE DEFINED AS FOLLOWS (NUMBERS INDICATE PERCENTAGE VOLUMETRIC SOIL MOISTURE):

SOIL TYPE PERMANENT WILT POINT V/V FIELD CAPACITY V/V SAND, LOAMY SAND, SANDY LOAM 12 - 18% 5 - 8% LOAM, SANDY CLAY, SANDY CLAY LOAM 27 - 36% 14 - 25%

CLAY LOAM. SILT LOAM 11 - 22% 31 - 36% SILTY CLAY SILTY CLAY LOAM 22 - 27% 38 - 41%

VOLUMETRIC SOIL MOISTURE SHALL BE MEASURED WITH A DIGITAL, ELECTRIC CONDUCTIVITY METER. THE METER SHALL BE THE DIGITAL SOIL MOISTURE METER, DSMM500 BY GENERAL SPECIALTY TOOLS AND INSTRUMENTS, OR APPROVED

THE CONTRACTOR SHALL CONFIRM THE SOIL MOISTURE LEVELS WITH A MOISTURE METER. IF THE MOISTURE IS TOO HIGH,

SUSPEND OPERATIONS UNTIL THE SOIL MOISTURE DRAINS TO BELOW FIELD CAPACITY.

EXTREME RISK LEVEL. INCLUDE THE INTERNATIONAL SOCIETY OF ARBORICULTURE HAZARD EVALUATION SHEET FOR A. FINAL RECOMMENDATIONS ON ANY ROOT PRUNING REQUIREMENTS AND PROCEDURES ARE TO BE DETERMINED BY THE PROJECT ARBORIST AND PROVIDED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY ROOT PRUNING. B. PRIOR TO ANY EXCAVATING INTO THE EXISTING SOIL GRADE WITHIN 25 FEET OF THE LIMIT OF THE TREE AND PLANT PROTECTION AREA OR TREES TO REMAIN, ROOT PRUNE ALL EXISTING TREES TO A DEPTH OF 24 INCHES BELOW EXISTING GRADE IN ALIGNMENTS FOLLOWING THE EDGES OF THE TREE AND PLANT PROTECTION AREA OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ROOT PRUNING SHALL BE IN CONFORMANCE WITH ANSI A300

> 1. USING A ROCK SAW, CHAIN TRENCHER OR SIMILAR TRENCHING DEVICE, MAKE A VERTICAL CUT WITHIN 2 FEET OF THE LIMIT OF GRADING.

2. AFTER COMPLETION OF THE CUT, MAKE CLEAN CUTS WITH A LOPPER, SAW OR PRUNER TO REMOVE ALL TORN ROOT ENDS ON THE TREE SIDE OF THE EXCAVATION, AND BACKFILL THE TRENCH IMMEDIATELY WITH EXISTING SOIL, FILLING ALL VOIDS.

3.7 INSTALLATION OF GEOGRIDS, FILTER FABRIC, MATTING, AND OR AGGREGATE

INSTALL GEOGRIDS, FILTER FABRIC, MATTING, AND/OR AGGREGATE IN AREAS AND DEPTHS SHOWN ON THE PLANS AND DETAILS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IN GENERAL IT IS THE INTENT OF THIS SPECIFICATION TO 3.11 PRUNING: PROVIDE THE FOLLOWING LEVELS OF PROTECTION:

1. AREAS WHERE FOOT TRAFFIC OR STORAGE OF LIGHTWEIGHT MATERIALS IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF FILTER FABRIC UNDER THE 6 INCHES OF MULCH. 2. AREAS WHERE OCCASIONAL LIGHT VEHICLE TRAFFIC IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF

GEOGRIDS UNDER 8 INCHES OF MULCH. 3. AREAS WHERE HEAVY VEHICLE TRAFFIC IS UNAVOIDABLE PROVIDE A LAYER OF GEOGRIDS UNDER 8 - 12 INCHES OF

MULCH AND A LAYER OF MATTING OVER THE MULCH.

THE OWNER'S REPRESENTATIVE SHALL APPROVE THE APPROPRIATE LEVEL OF PROTECTION. IN THE ABOVE REQUIREMENTS, LIGHT VEHICLE IS DEFINED AS A TRACK SKID STEER WITH A GROUND PRESSURE OF 4 PSI OR LIGHTER. A HEAVY VEHICLE IS ANY VEHICLE WITH A TIRE OR TRACK PRESSURE OF GREATER THAN 4 PSI. LIGHTWEIGHT MATERIALS ARE ANY PACKAGED MATERIALS THAT CAN BE PHYSICALLY MOVED BY HAND INTO THE LOCATION. BULK

MATERIALS SUCH AS SOIL, OR AGGREGATE SHALL NEVER BE STORED WITHIN THE TREE AND PLANT PROTECTION AREA.

3.8 PROTECTION:

A. PROTECT THE TREE AND PLANT PROTECTION AREA AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.

3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA: THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION AREA WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT;

STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND 3.13 WEED REMOVAL SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE A. AREA ANY REASON. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW. IN THE EVENT THAT CONSTRUCTION/VEHICULAR ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE $_{
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PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. TREE PROTECTION FOR THE REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: 1. IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH

EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL. 2. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN MULCH AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER

ARBORIST. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE

IN DIAMETER SHALL NOT BE CUT WITHOUT THE APPROVAL OF THE OWNERS REPRESENTATIVE AND PROJECT

ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS B. 3. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE C. POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY D. INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF

BY THE CONTRACTOR

ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PARTS 1 AND 8) AND BE

3.16 REMOVAL OF TREE AND PLANT PROTECTION PERFORMED UNDER SUPERVISION OF THE I.S.A. CERTIFIED ARBORIST. 4. MATTING: INSTALL TEMPORARY MATTING OR AN ADDITIONAL 12 INCH MULCH LAYER OVER THE MULCH SPECIFIED HEREFORD WITHIN THESE SPECIFICATIONS TO THE EXTENT INDICATED. DO NOT PERMIT FOOT TRAFFIC, SCAFFOLDING, VEHICULAR TRAFFIC, OR THE STORAGE OF MATERIALS WITHIN THE TREE AND PLANT PROTECTION AREA TO OCCUR OFF

OF THE TEMPORARY MATTING. 5. TRUNK PROTECTION: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A CLOSED CELL FOAM PAD AND A RING OF 2" x 4" x 4'-0" PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE. TRUNK PROTECTION MUST BY KEPT IN PLACE NO LONGER THAN 12 MONTHS. IF CONSTRUCTION REQUIRES WORK NEAR A PARTICULAR TREE TO CONTINUE LONGER THAN 12 MONTHS, THE STEEL BANDS SHALL BE INSPECTED EVERY SIX MONTHS AND LOOSENED IF THEY ARE FOUND TO HAVE BECOME TIGHT.

6. AIR EXCAVATION TOOL: IF EXCAVATION FOR FOOTINGS OR UTILITIES IS REQUIRED WITHIN THE TREE AND PLANT PROTECTION AREA, AIR EXCAVATION TOOL TECHNIQUES SHALL BE USED WHERE PRACTICAL OR AS DESIGNED ON THE

a. REMOVE THE MULCH FROM AN AREA APPROXIMATELY 18 INCHES BEYOND THE LIMITS OF THE HOLE OR TRENCH TO BE EXCAVATED. COVER THE MULCH FOR A DISTANCE OF NOT LESS THAN 15 FEET AROUND THE LIMIT OF THE EXCAVATION AREA WITH FILTER FABRIC OR PLASTIC SHEETING TO PROTECT THE MULCH FROM SILT. MOUND THE MULCH SO THAT THE PLASTIC SLOPES TOWARDS THE EXCAVATION.

b. USING A SPRINKLER OR SOAKER HOSE, APPLY WATER SLOWLY TO THE AREA OF THE EXCAVATION FOR A PERIOD OF AT LEAST 4 HOURS, APPROXIMATELY 12 HOURS PRIOR TO THE WORK SO THAT THE GROUND WATER LEVEL IS AT OR NEAR FIELD CAPACITY AT THE BEGINNING OF THE WORK. FOR EXCAVATIONS THAT GO BEYOND THE DAMP SOIL, REWET THE SOIL AS NECESSARY TO KEEP SOIL MOISTURE NEAR FIELD CAPACITY. C. USING AN AIR EXCAVATION TOOL SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE INTENDED PURPOSE. AND

AT PRESSURES RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT, FRACTURE THE EXISTING SOIL TO THE SHAPE AND THE DEPTHS REQUIRED. WORK AT RATES AND USING TECHNIQUES THAT DO NOT HARM TREE ROOTS. AIR PRESSURE SHALL BE A MAXIMUM OF 90-100 PSL. 1.) THE AIR EXCAVATION TOOL SHALL BE "AIR-SPADE" AS MANUFACTURED BY CONCEPT ENGINEERING GROUP, INC.,

VERONA, PA (412) 826-8800, OR AIR KNIFE AS MANUFACTURED BY EASY USE AIR TOOLS, INC. ALLISON PARK, PA

(866) 328-5723 OR APPROVED EQUAL. d. USING A COMMERCIAL, HIGH-POWERED VACUUM TRUCK IF REQUIRED, REMOVE THE SOIL FROM THE EXCAVATION PRODUCED BY THE AIR KNIFE EXCAVATION. THE VACUUM TRUCK SHOULD GENERALLY OPERATE SIMULTANEOUSLY E WITH THE HOSE OPERATOR, SUCH THAT THE SOIL PRODUCED IS PICKED UP FROM THE EXCAVATION HOLE, AND THE EXPOSED ROOTS CAN BE OBSERVED AND NOT DAMAGED BY THE ONGOING OPERATION. DO NOT DRIVE THE VACUUM TRUCK INTO THE TREE AND PLANT PROTECTION AREA UNLESS THE AREA IS PROTECTED FROM COMPACTION AS END OF SECTION 015639

APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE. e. REMOVE ALL EXCAVATED SOIL AND EXCAVATED MULCH, AND CONTAMINATED SOIL AT THE END OF THE EXCAVATION. f. SCHEDULE THE WORK SO THAT FOUNDATIONS OR UTILITY WORK IS COMPLETED IMMEDIATELY AFTER THE EXCAVATION. DO NOT LET THE ROOTS DRY OUT. MIST THE ROOTS SEVERAL TIMES DURING THE DAY. IF THE

EXCAVATED AREA MUST REMAIN OPEN OVER NIGHT, MIST THE ROOTS AND COVER THE EXCAVATION WITH BLACK

PLASTIC. g. DISPOSE OF ALL SOIL IN A MANNER THAT MEETS LOCAL LAWS AND REGULATIONS. h. RESTORE SOIL WITHIN THE TRENCH AS SOON AS THE WORK IS COMPLETED. UTILIZE SOIL OF SIMILAR TEXTURE TO THE REMOVED SOIL AND LIGHTLY COMPACT WITH HAND TOOLS. LEAVE SOIL MOUNDED OVER THE TRENCH TO A

HEIGHT OF APPROXIMATELY 10% OF THE TRENCH DEPTH TO ACCOUNT FOR SETTLEMENT i. RESTORE ANY GEOGRIDS, FILTER FABRIC, OR MULCH AND OR MATTING THAT WAS PREVIOUSLY REQUIRED FOR THE

3.10 TREE REMOVAL:

REMOVE ALL TREES INDICATED BY THE DRAWINGS AND SPECIFICATIONS, AS REQUIRING REMOVAL, IN A MANNER THAT WILL NOT DAMAGE ADJACENT TREES OR STRUCTURES OR COMPACTS THE SOIL.

REMOVE TREES THAT ARE ADJACENT TO TREES OR STRUCTURES TO REMAIN, IN SECTIONS, TO LIMIT THE OPPORTUNITY OF DAMAGE TO ADJACENT CROWNS, TRUNKS, GROUND PLANE ELEMENTS AND STRUCTURES. DO NOT DROP TREES WITH A SINGLE CUT UNLESS THE TREE WILL FALL IN AN AREA NOT INCLUDED IN THE TREE AND PLANT PROTECTION AREA. NO TREE TO BE REMOVED WITHIN 50 FEET OF THE TREE AND PLANT PROTECTION AREA SHALL

BE PUSHED OVER OR UP-ROOTED USING A PIECE OF GRADING EQUIPMENT. PROTECT ADJACENT PAVING, SOIL, TREES, SHRUBS, GROUND COVER PLANTINGS AND UNDERSTORY PLANTS TO REMAIN FROM DAMAGE DURING ALL TREE REMOVAL OPERATIONS, AND FROM CONSTRUCTION OPERATIONS. PROTECTION SHALL INCLUDE THE ROOT SYSTEM, TRUNK, LIMBS, AND CROWN FROM BREAKAGE OR SCARRING, AND THE SOIL FROM

COMPACTION. REMOVE STUMPS AND IMMEDIATE ROOT PLATE FROM EXISTING TREES TO BE REMOVED. GRIND TRUNK BASES AND LARGE BUTTRESS ROOTS TO A DEPTH OF THE LARGEST BUTTRESS ROOT OR AT LEAST 18 INCHES BELOW THE TOP MOST ROOTS WHICH EVER IS LESS AND OVER THE AREA OF THREE TIMES THE DIAMETER OF THE TRUNK (DBH).

1. FOR TREES WHERE THE STUMP WILL FALL UNDER NEW PAVED AREAS, GRIND ROOTS TO A TOTAL DEPTH OF 18 INCHES BELOW THE EXISTING GRADE. IF THE SIDES OF THE STUMP HOLE STILL HAVE GREATER THAN APPROXIMATELY 20% WOOD VISIBLE. CONTINUE GRINDING OPERATION DEEPER AND OR WIDER UNTIL THE RESULTING HOLE HAS LESS THAN 20% WOOD, REMOVE ALL WOOD CHIPS PRODUCED BY THE GRINDING OPERATION AND BACK FILL IN 8 INCH LAYERS WITH CONTROLLED FILL OF A QUALITY ACCEPTABLE TO THE SITE ENGINEER FOR FILL MATERIAL UNDER STRUCTURES COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR. THE OWNER'S REPRESENTATIVE SHALL APPROVE EACH HOLE AT THE END OF THE GRINDING OPERATION.

2. IN AREAS WHERE THE TREE LOCATION IS TO BE A PLANTING BED OR LAWN, REMOVE ALL WOODCHIPS AND BACKFILL STUMP HOLES WITH PLANTING SOIL AS DEFINED IN THE SOIL MANAGEMENT SPECIFICATIONS, IN MAXIMUM OF 12 INCH LAYERS AND COMPACT TO 80 - 85% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR.

WITHIN SIX MONTHS OF THE ESTIMATED DATE OF SUBSTANTIAL COMPLETION, PRUNE ALL DEAD OR HAZARDOUS BRANCHES LARGER THAN 2 INCH IN DIAMETER FROM ALL TREES TO REMAIN.

IMPLEMENT ALL PRUNING RECOMMENDATIONS FOUND IN THE ARBORIST REPORT. PRUNE ANY LOW. HANGING BRANCHES AND VINES FROM EXISTING TREES AND SHRUBS THAT OVERHANG WALKS, STREETS

AND DRIVES, OR PARKING AREAS AS FOLLOWS: 1. WALKS - WITHIN 8 FEET VERTICALLY OF THE PROPOSED WALK ELEVATION.

2. PARKING AREAS - WITHIN 12 FEET VERTICALLY OF THE PROPOSED PARKING SURFACE ELEVATION.

3. STREETS AND DRIVES - WITHIN 14 FEET VERTICALLY OF THE PROPOSED DRIVING SURFACE ELEVATION. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1 - PRUNING), ISA BMP: TREE PRUNING AND THE "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY."

PERFORM OTHER PRUNING TASK AS INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE. WHERE TREE SPECIFIC DISEASE VECTORS REQUIRE, STERILIZE ALL PRUNING TOOLS BETWEEN THE WORK IN INDIVIDUAL

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ENSURE THAT ADEQUATE WATER IS PROVIDED TO ALL PLANTS AND TREES TO BE PRESERVED DURING THE ENTIRE CONSTRUCTION PERIOD. ADEQUATE WATER IS DEFINED TO BE MAINTAINING SOIL MOISTURE ABOVE THE PERMANENT WILT POINT TO A DEPTH OF 8 INCHES OR GREATER THE CONTRACTOR SHALL ADJUST THE AUTOMATIC IRRIGATION SYSTEM, IF AVAILABLE, AND APPLY ADDITIONAL WATER,

USING HOSES OR WATER TANKS AS REQUIRED PERIODICALLY TEST THE MOISTURE CONTENT IN THE SOIL WITHIN THE ROOT ZONE TO DETERMINE THE WATER CONTENT.

DURING THE CONSTRUCTION PERIOD, CONTROL ANY PLANTS THAT SEED IN AND AROUND THE FENCED TREE AND PLANT

1. ALL PLANTS THAT ARE NOT SHOWN ON THE PLANTING PLAN OR ON THE TREE AND PLANT PROTECTION PLAN TO REMAIN SHALL BE CONSIDERED AS WEEDS. AT THE END OF THE CONSTRUCTION PERIOD PROVIDE ONE FINAL WEEDING OF THE TREE AND PLANT PROTECTION AREA.

3.14 INSECT AND DISEASE CONTROLLER MONITOR ALL PLANTS TO REMAIN FOR DISEASE AND INSECT INFESTATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. PROVIDE ALL DISEASE AND INSECT CONTROL REQUIRED TO KEEP THE PLANTS IN A HEALTHY STATE USING THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). ALL PESTICIDES SHALL BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR.

3.15 CLEAN-UP DURING TREE AND PLANT PROTECTION WORK, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONCE A WEEK.

1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL. OIL, TRASH OR DEBRIS DEPOSITED BY THE CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAYS AND NEIGHBORING

ONCE TREE PROTECTION WORK IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS. MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE TO THE WORK OR OTHER WORK AT THE SITE REMOVE AND DISPOSE OF ALL EXCESS MULCH, WOOD CHIPS, PACKAGING, AND OTHER MATERIAL BROUGHT TO THE SITE

PROTECTION AREA AT LEAST THREE TIMES A YEAR.

AT THE END OF THE CONSTRUCTION PERIOD OR WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE REMOVE ALL FENCING, GEOGRIDS AND FILTER FABRIC, TRUNK PROTECTION AND OR ANY OTHER TREE AND PLANT PROTECTION

3.17 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN

ANY TREES OR PLANTS DESIGNATED TO REMAIN AND WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE. TREES SHALL BE REPLACED WITH A TREE OF SIMILAR SPECIES AND 3 INCH CALIPER, SHRUBS SHALL BE REPLACED WITH A PLANT OF SIMILAR SPECIES AND FOLIAL SIZE OR THE LARGEST SIZE PLANTS REASONABLY AVAILABLE WHICH EVER IS LESS. WHERE REPLACEMENT PLANTS ARE TO BE LESS THAN THE SIZE OF THE PLANT THAT IS DAMAGED, THE OWNER'S REPRESENTATIVE SHALL APPROVE THE SIZE AND QUALITY OF THE REPLACEMENT PLANT. 1. ALL TREES AND PLANTS SHALL BE INSTALLED PER THE REQUIREMENTS OF PLANTING SPECIFICATIONS

PLANTS THAT ARE DAMAGED SHALL BE CONSIDERED AS REQUIRING REPLACEMENT OR APPRAISAL IN THE EVENT THAT THE DAMAGE AFFECTS MORE THAN 25% OF THE CROWN, 25% OF THE TRUNK CIRCUMFERENCE, OR ROOT PROTECTION AREA, OR THE TREE IS DAMAGED IN SUCH A MANNER THAT THE TREE COULD DEVELOP INTO A POTENTIAL HAZARD. TREES AND SHRUBS TO BE REPLACED SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE.

1. THE OWNER'S REPRESENTATIVE MAY ENGAGE AN INDEPENDENT CONSULTING ARBORIST TO ASSESS ANY TREE OR PLANT THAT APPEARS TO HAVE BEEN DAMAGED TO DETERMINE THEIR HEALTH OR CONDITION. 2. CONTRACTOR SHALL PAY ALL FINES AND MITIGATION COSTS ASSOCIATED WITH LOSS OF PROTECTED TREES DAMAGED

BY CONTRACTOR'S FORCES. ANY TREE THAT IS DETERMINED TO BE DEAD, DAMAGED OR POTENTIALLY HAZARDOUS BY THE OWNER'S ARBORIST AND UPON THE REQUEST OF THE OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. TREE REMOVAL SHALL INCLUDE ALL CLEAN UP OF ALL WOOD PARTS AND GRINDING OF THE STUMP TO A DEPTH SUFFICIENT TO PLANT THE REPLACEMENT TREE OR PLANT, REMOVAL OF ALL CHIPS FROM THE STUMP SITE AND FILLING THE RESULTING HOLE WITH TOPSOIL. ANY REMEDIAL WORK ON DAMAGED EXISTING PLANTS RECOMMENDED BY THE CONSULTING ARBORIST SHALL BE

INCLUDING INJECTIONS, COMPENSATORY WATERING, ADDITIONAL MULCHING, AND COULD INCLUDE APPLICATION TREE GROWTH REGULATORS (TGR). REMEDIAL WORK MAY EXTEND UP TO TWO YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION TO ALLOW FOR ANY REQUIREMENTS OF MULTIPLE APPLICATIONS OR THE NEED TO UNDERTAKE APPLICATIONS AT REQUIRED SEASONS OF THE

COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER. REMEDIAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO:

SOIL COMPACTION REMEDIATION AND VERTICAL MULCHING, PRUNING AND OR CABLING, INSECT AND DISEASE CONTROL

PROJECT NUMBER: SP2025-XXX

TREE PRESERVATION PLAN

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **CURRENT ZONING: PD-10** PROPOSED LAND USE: MEDICAL BUILDING

ROCKWALL MEDICAL BUILDING

MAY 2, 2025

ADDRESS: 203 WEST NASH ST. SUITE 100 TERRELL, TX 75160 (972) 588-4263 CONTACT: MATT LUCAS, P.E.

DALLAS, TX 75231

VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE AUSTIN, TX 78728

PRELIMINAR

P.L.A. ____ NIKOLAUS B. ADAMS

L.A. No. 3404 Date 5/2/2025

FOR REVIEW ONLY

SHEET NUMBER LT 3.01

SITE PLAN SIGNATURE BLOCK

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

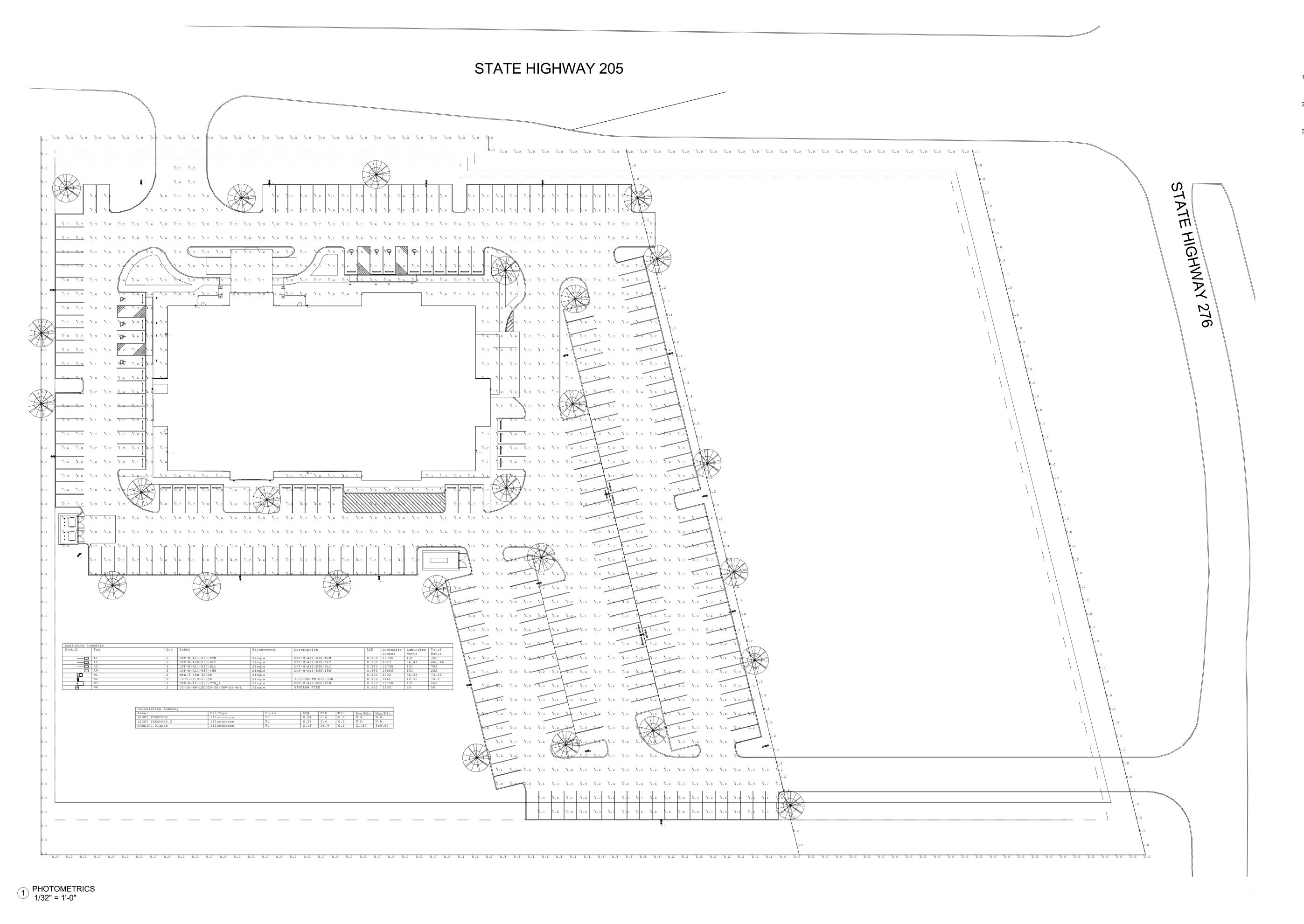
WITNESS OUR HANDS, THIS ___ DAY OF ____, ____

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.

APPLICANT VUE REAL ESTATE

ADDRESS: 9600 NORTH CENTRAL **EXPRESSWAY SUITE 100** PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B PHONE: (865) 228-7440 CONTACT WARREN I INCE



NOTES

- POLE LIGHTS ARE 20 FEET OR LESS IN HEIGHT WHEN 100 FEET OR LESS FROM RESIDENTIAL
- FULL CUTOFF LIGHTS ARE REQUIRED TO BE SHIELDED FROM A POINT 5 FEET ABOVE
- MAXIMUM LIGHT LEVEL AT RESIDENTIAL PROPERTY LINE IS 0.25 FOOT CANDLE.

PROPERTY LINES.



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT.
Contractor shall check and verify all dimensions and conditions of job site.

> **REVISIONS** DESCRIPTION

ELECTRICAL SITE PLAN -PHOTOMETRICS

DRAWN BY:

DRAWING NUMBER:

AS INDICATED

BLUEPRINT TEXAS FIRM REGISTRATION #F-26973 BLUEPRINT-ENGINEERING.COM SCALE: