



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$1000.00)

TIMOTHY RAMOO
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01RA0025482
Qualified in SUFFOLK County
Commission Expires 06/03/2028

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **568 E Interstate 30**

SUBDIVISION **LaJolla Point Addition PH2**

LOT **17**

BLOCK **A**

GENERAL LOCATION **vacant restaurant (former Taco Cabana) on NWQ of I-30 and Ridge Rd**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial Zoning, with Scenic Overlay and IH30 Overla**

CURRENT USE **Restaurant**

PROPOSED ZONING **Same**

PROPOSED USE **Restaurant**

ACREAGE **1.37**

LOTS [CURRENT] **17**

LOTS [PROPOSED] **A**

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **Shake Shack Texas, LLC**

☒ APPLICANT **Shake Shack #1745**

CONTACT PERSON **Erika Lizardo**

CONTACT PERSON **Regina Laman**

ADDRESS **225 Varick St, Suite 301**

ADDRESS **225 Varick St Suite 301**

CITY, STATE & ZIP **New York, NY 10014**

CITY, STATE & ZIP **New York NY 10014**

PHONE **862-384-1057**

PHONE **972-396-8409**

E-MAIL **elizardo@hdgroupinc.com**

E-MAIL **rlaman@hdgroupinc.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Erika Lizardo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF May 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

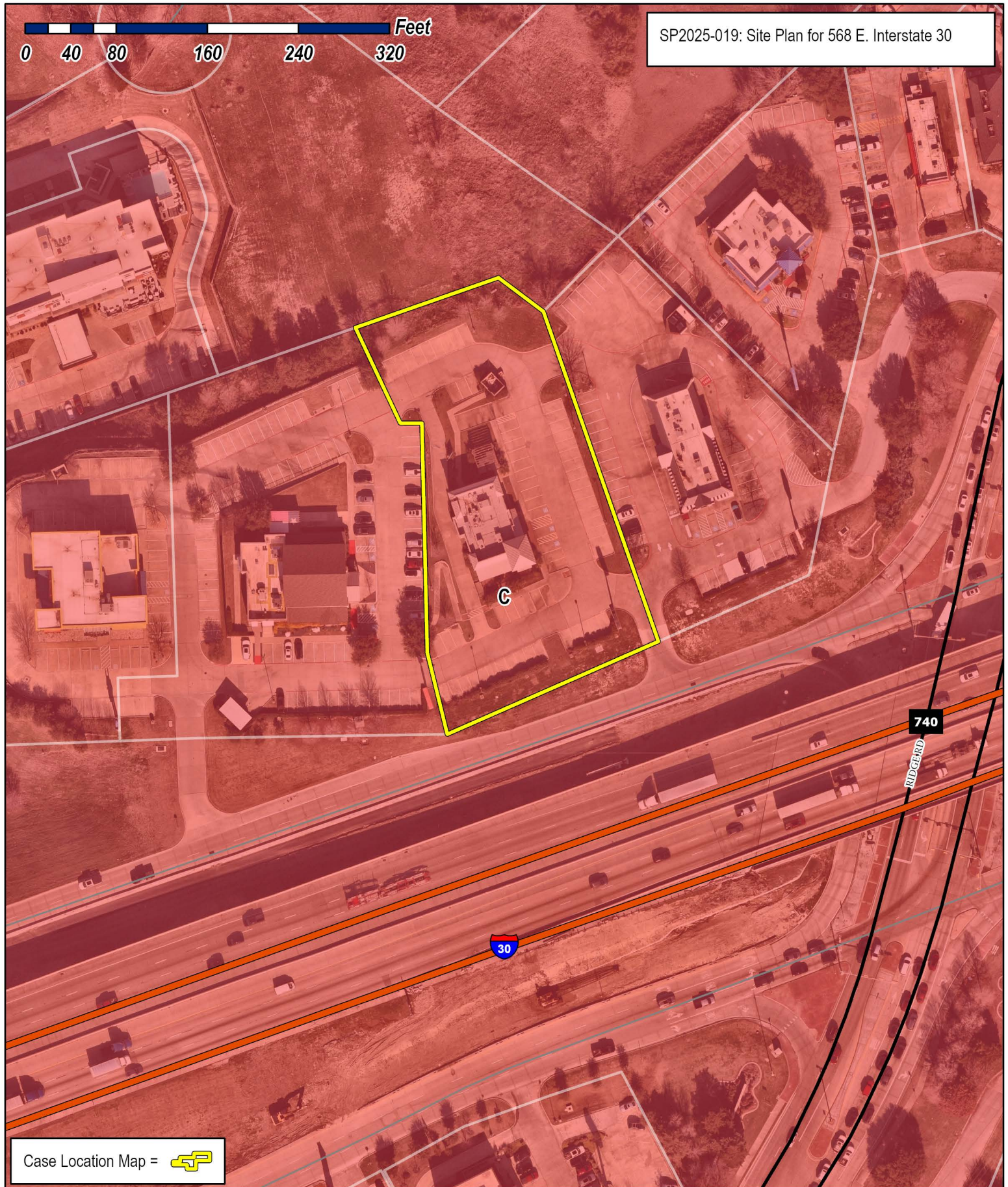
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF May 2025.

OWNER'S SIGNATURE
Erika Lizardo

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01RA0025482
Qualified in SUFFOLK County
Commission Expires 06/03/2028

MY COMMISSION EXPIRES 06/03/2028



Case Location Map = 

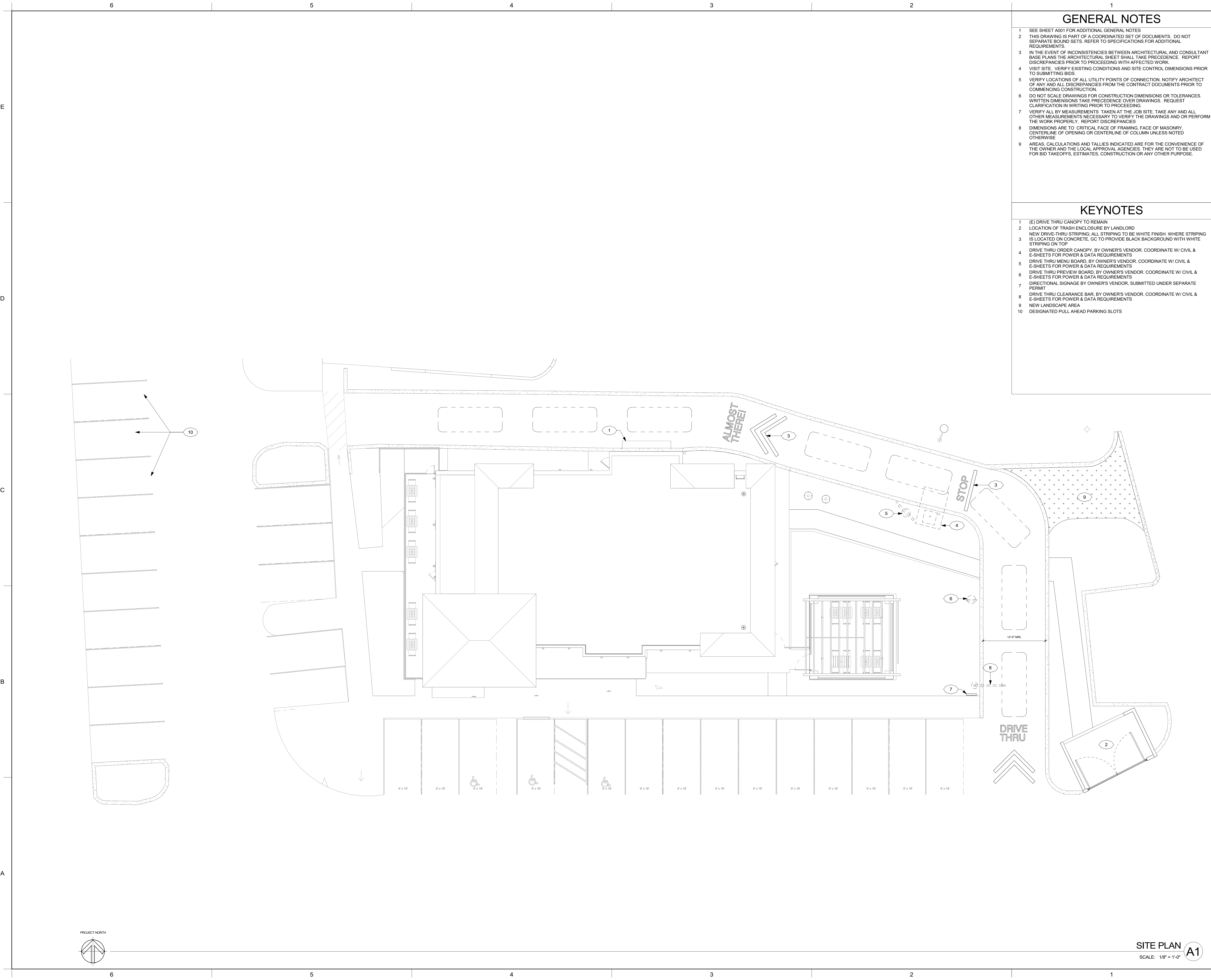


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





GENERAL NOTES

- 1 SEE SHEET A001 FOR ADDITIONAL GENERAL NOTES
- 2 THIS DRAWING IS PART OF A COORDINATED SET OF DOCUMENTS. DO NOT SEPARATE BOUND SETS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 3 IN THE EVENT OF INCONSISTENCIES BETWEEN ARCHITECTURAL AND CONSULTANT BASE PLANS THE ARCHITECTURAL SHEET SHALL TAKE PRECEDENCE. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- 4 VISIT SITE. VERIFY EXISTING CONDITIONS AND SITE CONTROL DIMENSIONS PRIOR TO SUBMITTING BIDS
- 5 VERIFY LOCATIONS OF ALL UTILITY POINTS OF CONNECTION. NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES FROM THE CONTRACT DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION.
- 6 DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS OR TOLERANCES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. REQUEST CLARIFICATION IN WRITING PRIOR TO PROCEEDING.
- 7 VERIFY ALL BY MEASUREMENTS TAKEN AT THE JOB SITE. TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM THE WORK PROPERLY. REPORT DISCREPANCIES
- 8 DIMENSIONS ARE TO CRITICAL FACE OF FRAMING, FACE OF MASONRY, CENTERLINE OF OPENING OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE
- 9 AREAS, CALCULATIONS AND TALLIES INDICATED ARE FOR THE CONVENIENCE OF THE OWNER AND THE LOCAL APPROVAL AGENCIES. THEY ARE NOT TO BE USED FOR BID TAKEOFFS, ESTIMATES, CONSTRUCTION OR ANY OTHER PURPOSE.

KEYNOTES

- 1 (E) DRIVE THRU CANOPY TO REMAIN
- 2 LOCATION OF TRASH ENCLOSURE BY LANDLORD
- 3 NEW DRIVE-THRU STRIPING; ALL STRIPING TO BE WHITE FINISH, WHERE STRIPING IS LOCATED ON CONCRETE, GC TO PROVIDE BLACK BACKGROUND WITH WHITE STRIPING ON TOP
- 4 DRIVE THRU ORDER CANOPY, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 5 DRIVE THRU MENU BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 6 DRIVE THRU PREVIEW BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 7 DIRECTIONAL SIGNAGE BY OWNER'S VENDOR, SUBMITTED UNDER SEPARATE PERMIT
- 8 DRIVE THRU CLEARANCE BAR, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- 9 NEW LANDSCAPE AREA
- 10 DESIGNATED PULL AHEAD PARKING SLOTS

zebra
Z E B R A P R O J E C T S , I N C .
14614 N KIERLAND BLVD, SUITE N500
SCOTTSDALE, ARIZONA 85254
PHONE: 480.912.1169 zbr.global

STORE NO:
00000

SHAKE SHACK®
ROCKWALL, TX
8501 ROCKWALL AVENUE
SUITE 100
ROCKWALL, TX 75087

| REVISION | |
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STATUS:
TEST FIT

PRELIMINARY:
Preliminary Documents Are for Design Review only and not intended for bidding, negotiating, permitting or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

NOT FOR CONSTRUCTION

FIELD VERIFICATION:
The contractor shall verify all signed dimensions and condition at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

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SHEET NAME:
SITE PLAN

DATE: 03/05/25 PROJECT NO: 40402
DRAWN: AA SCALE:

SHEET NO:
SP101

SITE PLAN
SCALE: 1/8" = 1'-0" A1



| EXTERIOR FINISH LEGEND | | | |
|------------------------|--------------------------------------------------------------------------------------------------------|--------|--------------------------------------------------------------------------------------------------------|
| X-WF-5 | LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA | X-WF-6 | LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7058 ALABASTER |
| | | | |
| | | | |
| EX-WF-1 | LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA | PT-101 | LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7059 IRON ORE |
| | | | |
| | | | |
| PT-111 | LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7059 IRON ORE | M-101 | LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK |
| | | | |
| | | | |
| SD-1 | LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT COLOR: BLACK | SD-2 | LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT COLOR: WHITE |
| | | | |
| | | | |

STORE NO:
TX #1745

SHAKE SHACK
ROCKWALL, TX
14664 N KIERLAND BLVD, SUITE N500
SCOTTSDALE, ARIZONA 85254
PHONE: 480.912.1169 zbr.global

| REVISION | |
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STATUS:
75% CD PROGRESS SET

PRELIMINARY:
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SHEET NAME:
COLORED ELEVATIONS

DATE: 05/14/25
PROJECT NO: 40402

DRAWN: JF
SCALE:

SHEET NO:
A203



| EXTERIOR FINISH LEGEND | | | |
|------------------------|------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--|
| X-WF-5 | LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA | LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7058 ALABASTER | |
| | | | |
| EX-WF-1 | LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA | LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7059 IRON ORE | |
| | | | |
| PT-111 | LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7059 IRON ORE | LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK | |
| | | | |
| SD-1 | LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT BLACK | LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL ALUMINIUM NEW PAINT WHITE | |
| | | | |

STORE NO:
TX #1745

SHAKE SHACK
ROCKWALL, TX
8501 ROCKWALL BLVD
SUITE 100
ROCKWALL, TX 75087

| REVISION | |
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STATUS:
75% CD PROGRESS SET

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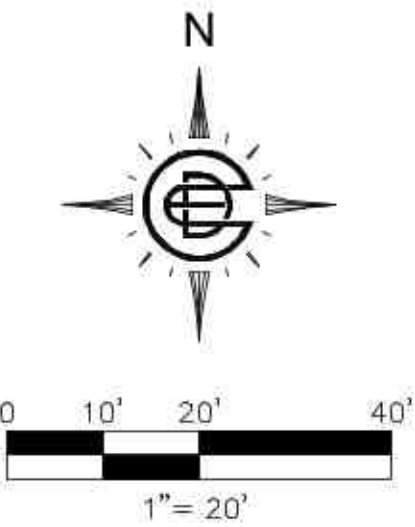
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SHEET NAME:
COLORED ELEVATIONS

DATE: 04/16/25 PROJECT NO: 40402

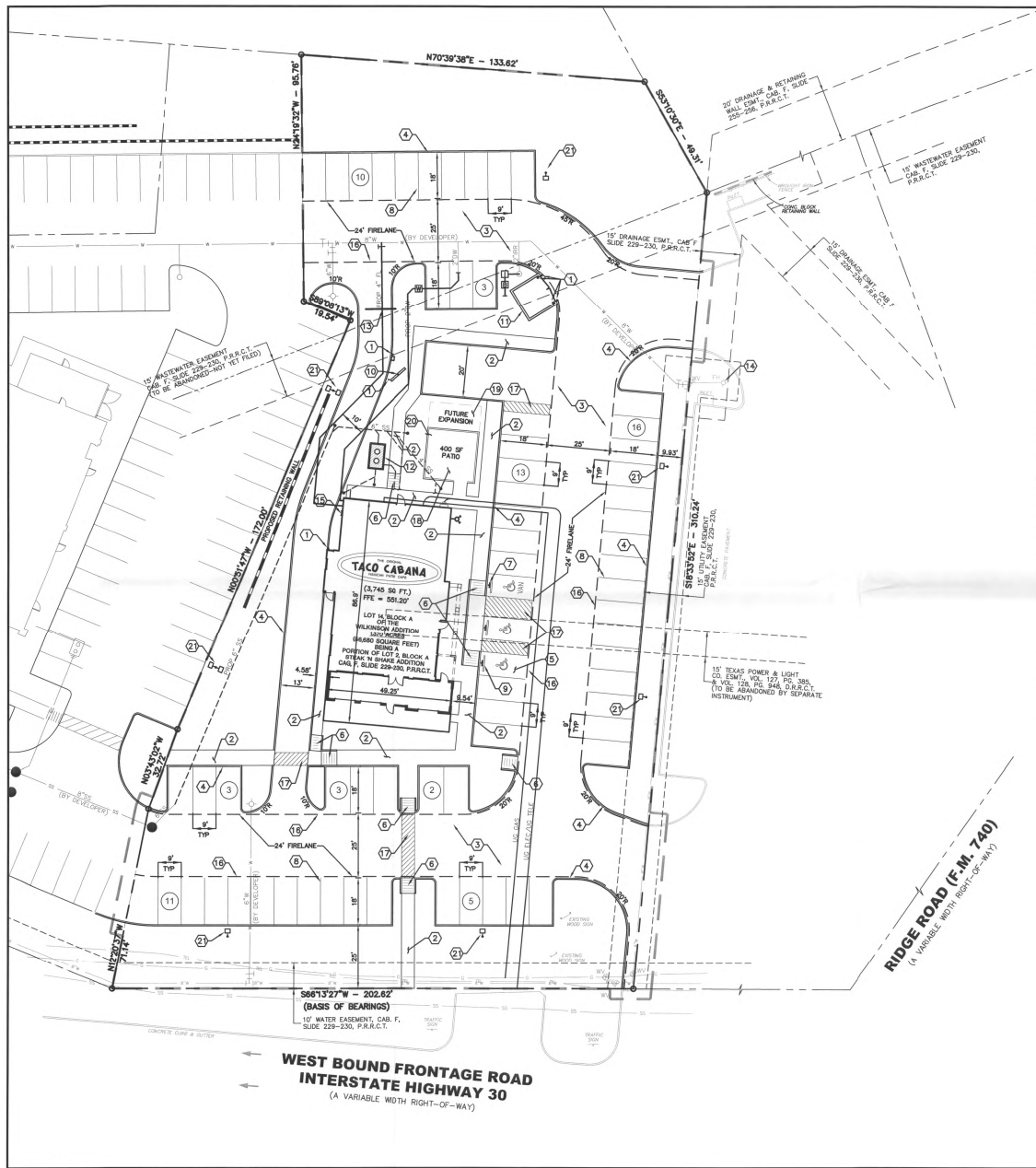
DRAWN: JF SCALE:

SHEET NO:
A204



VICINITY MAP
1" = 500'

| CONCEPT SITE PLAN | |
|-------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| RESTAURANT | |
| 568 E INTERSTATE 30 | |
| CITY OF ROCKWALL, TEXAS | |
| | ENGINEER  5300 TOWN & COUNTRY BOULEVARD, SUITE 100 FRISCO, TEXAS 75034 469-850-0900 dec-enr.com TBP# FIRM NO. F-20255 |
| | ISSUE DATE 04/16/25 |
| | DEC FILE NO. 105621 |
| | CITY FILE NO. PSP |



KEY NOTES:

1. BOLLARD (SEE DETAIL)
2. SIDEWALK (SEE DETAIL)
3. PAVEMENT (SEE DETAIL)
4. CURB (SEE DETAIL)
5. HANDICAP PARKING (SEE DETAIL)
6. HANDICAP RAMP (SEE DETAIL)
7. HANDICAP SIGN (SEE DETAIL)
8. 4" YELLOW STRIPING (SEE NOTE 4, THIS SHEET)
9. WHEEL STOP (SEE DETAIL)
10. MENU BOARD (SEE DETAIL 6.11)
11. DUMPSTER ENCLOSURE (SEE STRUCTURAL PLANS)
12. GREASE TRAP (SEE MEP PLANS)
13. TRAFFIC CLEARANCE BAR (SEE DETAIL)
14. EXISTING FIRE HYDRANT
15. ROOF ACCESS LADDER (SEE ARCH)
16. FIRE LANE STRIPING (SEE DETAIL)
17. 4" YELLOW STRIPING @ 45°
18. OUTDOOR PATIO AREA
19. FUTURE EXPANSION AREA
20. METAL RAILING & GATE (SEE ARCH)
21. LIGHT POST (SEE PHOTOMETRIC PLAN)

SITE SUMMARY

| | |
|---------------------------------------|---------------------|
| LOT AREA - 1.37 AC. 59,668.62 SQ. FT. | 4,180/104-S2 SPACES |
| PROPOSED USE - RESTAURANT | 69 SPACES |
| PARKING PROVIDED | 2 STD / 1 VAN |
| HANDICAP PARKING PROVIDED | 2 STD / 1 VAN |
| BUILDING SQUARE FOOTAGE | 3,745 SQ. FT. |
| BUILDING HEIGHT | 28' 00" |
| LOT COVERAGE | 6.28% |
| SQUARE FOOTAGE OF IMPERVIOUS SURFACE | 38,978.03 SQ. FT. |
| LANDSCAPED OPEN SPACE REQUIRED | 8,890.29 SQ. FT. |
| (10% OF TOTAL SITE AREA) | 20,701.98 SQ. FT. |
| LANDSCAPED OPEN SPACE PROVIDED | 34.69% |
| OPEN SPACE | |



VICINITY MAP

LEGEND

| EXISTING | PROPOSED | |
|-----------------------------|-----------------------------|--|
| 1/2" IRON ROD SET | 1/2" IRON ROD FOUND | |
| IRON PIPE FOUND | IRON PIPE FOUND | |
| RAIL FOUND | RAIL FOUND | |
| COMPUTED POINT | COMPUTED POINT | |
| MONUMENT FOUND | MONUMENT FOUND | |
| POINT OF BEGINNING | POINT OF BEGINNING | |
| BENCHMARK | BENCHMARK | |
| RECORD INFORMATION | RECORD INFORMATION | |
| LIGHT POLE | LIGHT POLE | |
| POWER POLE | POWER POLE | |
| DOWN CUT | DOWN CUT | |
| FIRE HYDRANT | FIRE HYDRANT | |
| WATER VALVE | WATER VALVE | |
| WATER METER | WATER METER | |
| GAS METER | GAS METER | |
| MONITORING WELL | MONITORING WELL | |
| WIRE FENCE | WIRE FENCE | |
| WOOD FENCE | WOOD FENCE | |
| CHAIN LINK FENCE | CHAIN LINK FENCE | |
| ELECTRICAL MANHOLE | ELECTRICAL MANHOLE | |
| WASTEWATER MANHOLE | WASTEWATER MANHOLE | |
| STORMWATER MANHOLE | STORMWATER MANHOLE | |
| WATER MANHOLE | WATER MANHOLE | |
| CLEAN OUT | CLEAN OUT | |
| DRAINAGE INLET | DRAINAGE INLET | |
| CURB INLET | CURB INLET | |
| CURB & GUTTER | CURB & GUTTER | |
| FIRE LANE | FIRE LANE | |
| HANDICAPPED PARKING SPACE | HANDICAPPED PARKING SPACE | |
| SIGN | SIGN | |
| VARIABLE HEIGHT | VARIABLE HEIGHT | |
| C.M.U. BUFFERING WALL | C.M.U. BUFFERING WALL | |
| ELECTRIC PULL BOX | ELECTRIC PULL BOX | |
| ELECTRIC METER | ELECTRIC METER | |
| TELEPHONE SERVICE BOX | TELEPHONE SERVICE BOX | |
| BOLLARD | BOLLARD | |
| OVER HEAD ELEC. LINE | OVER HEAD ELEC. LINE | |
| OVER HEAD TELEPHONE | OVER HEAD TELEPHONE | |
| 3-INCH WATER LINE | 3-INCH WATER LINE | |
| WATER LINE | WATER LINE | |
| WASTEWATER LINE | WASTEWATER LINE | |
| FORCE MAIN | FORCE MAIN | |
| UNDERGROUND ELECTRIC | UNDERGROUND ELECTRIC | |
| UNDERGROUND TELEPHONE | UNDERGROUND TELEPHONE | |
| GAS LINE | GAS LINE | |
| PROPERTY LINE | PROPERTY LINE | |
| LEASE LINE | LEASE LINE | |
| CONTOUR | CONTOUR | |
| SPOT ELEVATION | SPOT ELEVATION | |
| TOP OF CURB ELEVATION | TOP OF CURB ELEVATION | |
| EDGE OF PAVEMENT ELEVATION | EDGE OF PAVEMENT ELEVATION | |
| GUTTER ELEVATION | GUTTER ELEVATION | |
| CUT/FILL SLOPES | CUT/FILL SLOPES | |
| FLOW DIRECTION | FLOW DIRECTION | |
| CONCRETE SURFACE | CONCRETE SURFACE | |
| LEVEL AREA | LEVEL AREA | |
| MIN. 2% SLOPE ANY DIRECTION | MIN. 2% SLOPE ANY DIRECTION | |
| NUMBER OF PARKING SPACES | NUMBER OF PARKING SPACES | |
| LIMITS OF CONSTRUCTION | LIMITS OF CONSTRUCTION | |
| FIRE LANE | FIRE LANE | |
| LIGHT POLE FIXTURES | LIGHT POLE FIXTURES | |
| 4' FROM BACK-OF-CURB | 4' FROM BACK-OF-CURB | |

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB.
2. ALL RADI ARE 2.0' UNLESS OTHERWISE NOTED.
3. ALL PROPOSED PARKING SHALL BE 9.0'x18.0' UNLESS OTHERWISE NOTED.
4. STRIPING SHALL BE SHOWN WILLIAMS PRO-MAR TRAFFIC MARKING PAINT - YELLOW.
5. LIGHT POLE FOUNDATION, STAND AND FIXTURE TO MATCH EXISTING LIGHTING WITHIN SHOOTING CENTER. LIGHT POLE FIXTURES TO BE LOCATED FOUR FEET FROM BACK-OF-CURB.

LEGAL DESCRIPTION:

A 1.37 ACRE TRACT OF LAND SITUATED IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF LOT 2, BLOCK A, STEVEN SHAW ADDITION, ACCORDING TO PLAT 1 RECORDS IN CABINET F, SLIDE 228-230, AND BEING A PORTION OF LOT 1, BLOCK A, LA JOLLA POINTS ADDITION, ACCORDING TO PLAT RECORDS IN CABINET F, SLIDE 205, SAID TRACT ALSO BEING A PART OF THE LA JOLLA POINTS ADDITION-PHASE 2 ACCORDING TO PLAT RECORDS IN CABINET 5, SLIDE 131 AND 132.

BENCHMARK NOTE:

BRASS MONUMENT IN CONCRETE 1 (ONE) FOOT WEST OF BACK OF CURB, 8 FEET NORTHEAST OF AN EXISTING WYE INLET, 40 FEET SOUTH OF ENTRANCE OF LAKESIDE VILLAGE ON VILLAGE ROAD. ELEVATION=508.05

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PRELIMINARY
FOR REVIEW ONLY
Not for Construction or Permit Preparation
Author: SANDRA M. HERNANDEZ
Checker: J. L. BERRY
Date: 03-30-07

THE ORIGINAL
TACO CABANA
MEXICAN EATERY CAFE

SITE PLAN
TACO CABANA
PROPOSED LOT 14, BLOCK A
ROCKWALL, TEXAS

Scale: 1"=20' Date: 03-30-07
Designed By: BPI
Drawn By: JMB
Checked By: SMH
File: F:\30109-133\109133SPN.dwg
Project No.: 30109-133

SHEET
C3