



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2025-055

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1301 S. Goliad St, Rockwall, TX

SUBDIVISION The Standard - Rockwall Addition

LOT 27

BLOCK A

GENERAL LOCATION Located on the corner of S Goliad and Community Ln

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-68, SH-205 Overlay

CURRENT USE None, Vacant lot

PROPOSED ZONING PD-68, SH-205 Overlay

PROPOSED USE Business (Medical Office Bldg)

ACREAGE 1.4384

LOTS [CURRENT] One (1)

LOTS [PROPOSED] One (1)

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER East Shore J/V

☒ APPLICANT Palm Development Partners, LLC

CONTACT PERSON Donna Perry, Venture Manager

CONTACT PERSON Lisa Deaton, Chief Operations Officer

ADDRESS

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Donna Perry, Venture Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 278.77 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 2025

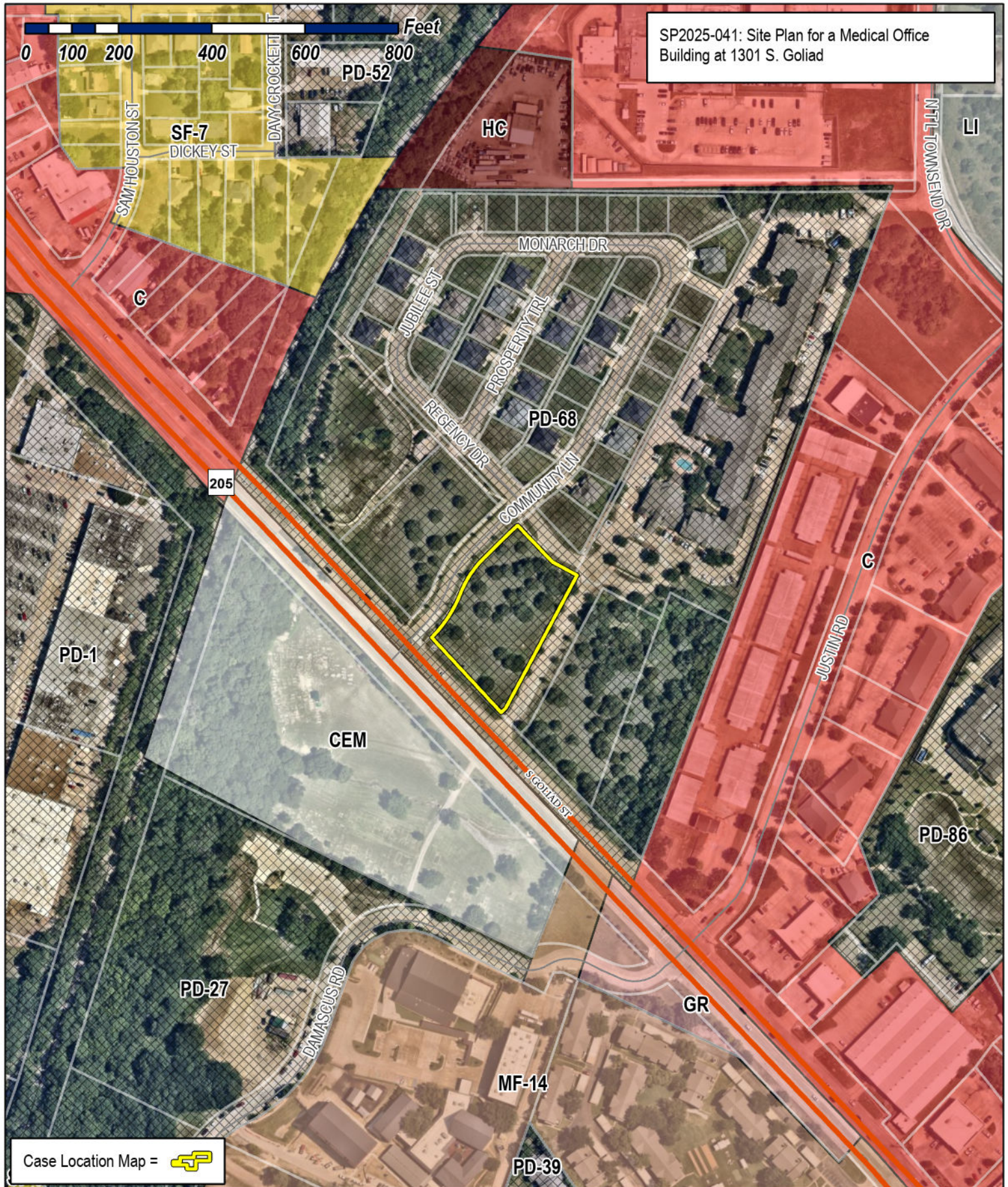
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



ERICA OLSEN
Notary ID #134706923
My Commission Expires
January 9, 2028

MY COMMISSION EXPIRES



SP2025-041: Site Plan for a Medical Office Building at 1301 S. Goliad

Case Location Map =

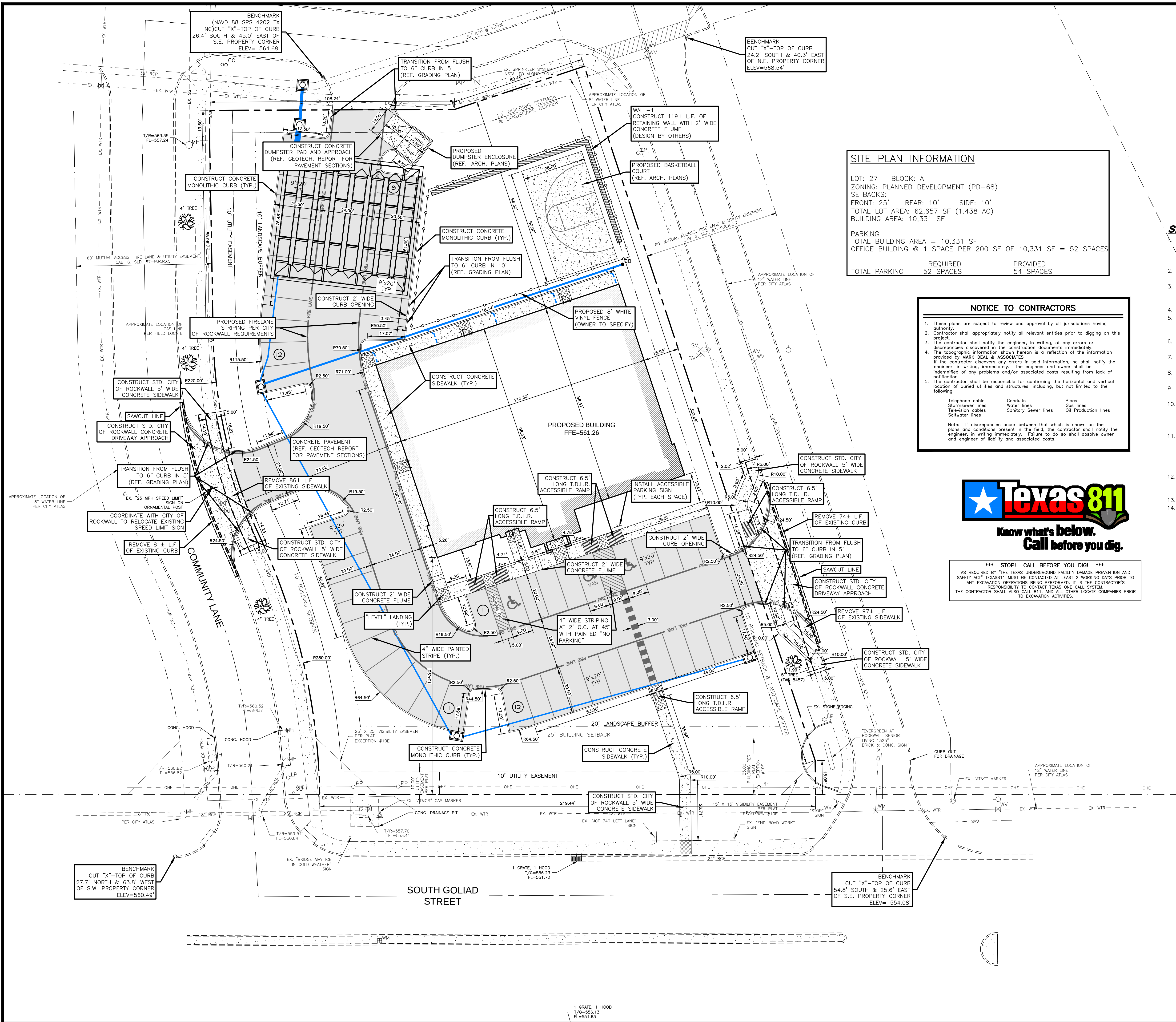


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE PLAN INFORMATION

LOT: 27 BLOCK: A
ZONING: PLANNED DEVELOPMENT (PD-68)
SETBACKS:
FRONT: 25' REAR: 10' SIDE: 10'
TOTAL LOT AREA: 62,657 SF (1.438 AC)
BUILDING AREA: 10,331 SF

PARKING
TOTAL BUILDING AREA = 10,331 SF
OFFICE BUILDING @ 1 SPACE PER 200 SF OF 10,331 SF = 52 SPACES

	REQUIRED	PROVIDED
TOTAL PARKING	52 SPACES	54 SPACES

NOTICE TO CONTRACTORS

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- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by MARK DEAL & ASSOCIATES. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormsewer lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing, immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

LEGEND

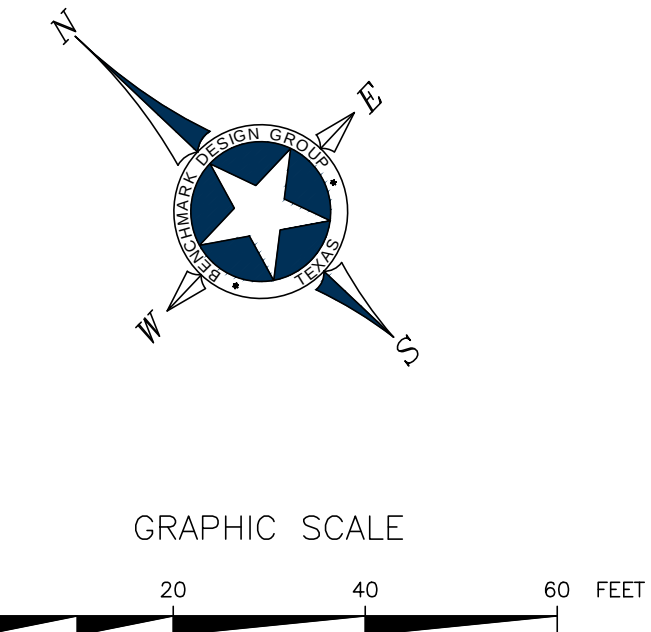
TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
---	PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)

THE STANDARD - ROCKWALL ADDITION
LOT: 27 BLOCK: A
ZONING: PLANNED DEVELOPMENT (PD-68), SH-205 OVERLAY

OWNER
EAST SHORE J/V
54499 GLEN LAKES DRIVE #110
DALLAS, TX 75231
ATTN: DONNA PERRY, VENTURE MANAGER
PHONE: 580-236-3911

CIVIL ENGINEER
BENCHMARK DESIGN GROUP
2301 THREE LAKES PARKWAY
TYLER, TX 75703
ATTN: GREG MITCHELL, P.E.
PHONE: 903-534-5353

PLANNING AND ZONING CHAIRMAN
PLANNING DIRECTOR



- SITE NOTES:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
 - ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL CURB RADII SHOWN ARE TO BACK OF CURB.
 - ALL PAVING DIMENSIONS ARE TO BACK OF CURB, WHERE APPLICABLE, OR TO THE EDGE OF PAVEMENT WHEN NO CURB IS PROPOSED, UNLESS OTHERWISE NOTED.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
 - THE EARTHWORK FOR ALL BUILDING SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - ALL PAVEMENT MARKING PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING", WHITE ON ASPHALT, YELLOW ON CONCRETE. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN, DRY SURFACE USING TEMPLATE OR STRIPING MACHINE. STRIPES SHALL BE 4" WIDE UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
 - FOR SITE UTILITIES, SEE UTILITY PLAN.
 - ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY OR AUTHORITY HAVING JURISDICTION (AHJ).

SUBMITTAL / REVISIONS	DATE	BY
SITE PLAN SUBMITTAL	10-17-25	CCB

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



BENCHMARK
DESIGN GROUP

DRAWN BY: CCB
CHECKED BY: JGM
DATE: JUNE 2025
JOB NO: 2025.036

MINDFUL WELLNESS
1301 S. GOLIAD ST.

CASE NO.
Z2025-055
SHEET NO.
C-4



REVISIONS				
NO.	DATE	BY	DESCRIPTION	

CONSULTANT

Preliminary
Not For Construction

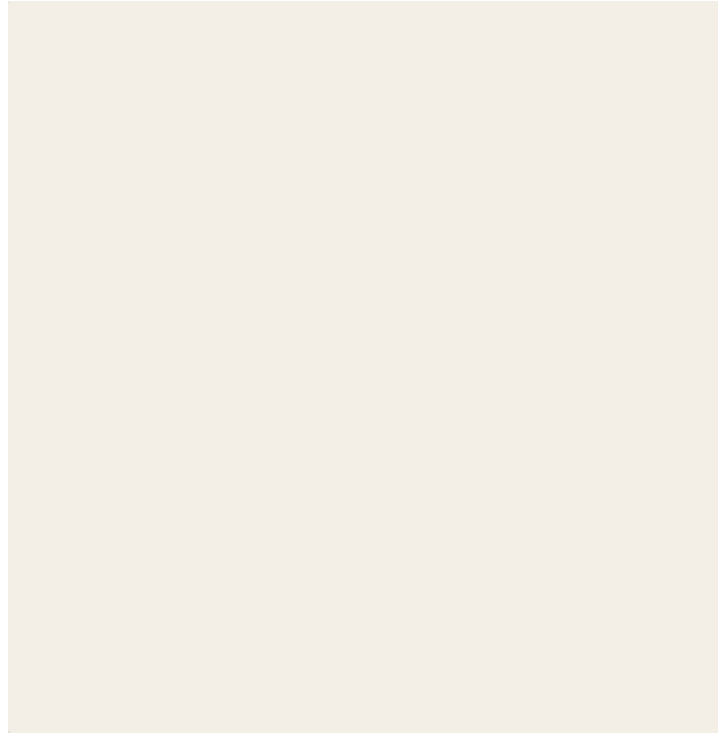
TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS
www.tlmae.com
117 East Lafayette Street Jackson, Tennessee
731.988.9840 (phone) - 731.988.9959 (fax)

RENDERING
MINDFUL HEALTH
ROCKWALL, TEXAS FACILITY
FOR
PALM DEVELOPMENT
1301 S. GOLIAD ST. ROCKWALL, TEXAS 75087

Exterior Material Specifications



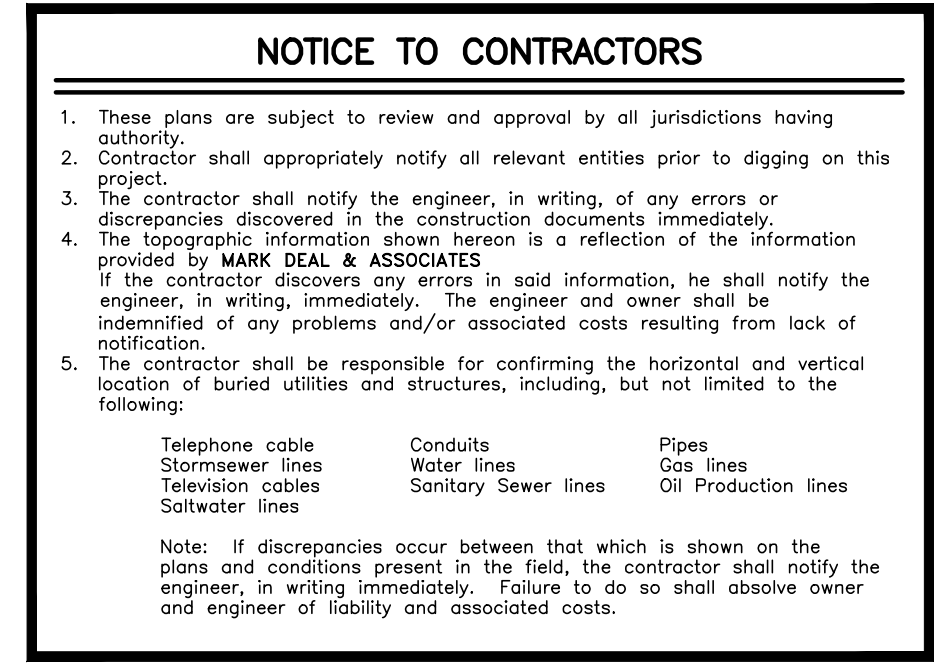
Mountain Stone, Classic Series
Profile: Ledgeplus
Color: Aspen



Dryvit EIFS
Color: Super White



Exterior Metal Finish
Color: Dark Bronze



PLANNING AND ZONING CHAIRMAN

PLANNING DIRECTOR

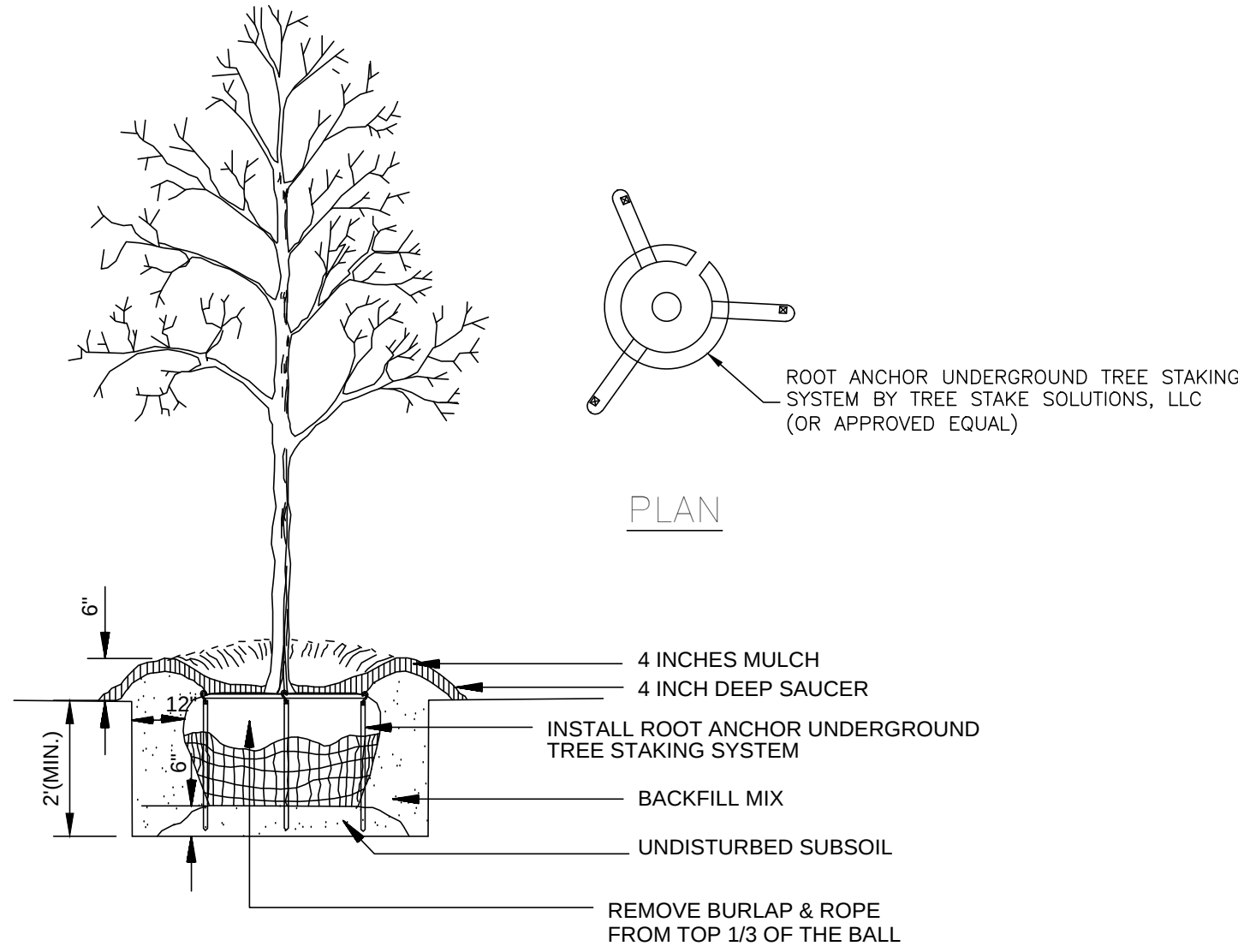
F:\Projects\2025\2025.036 Palm Development - Rockwall, TX.dwg, 10/14/2025 11:11:34 AM, Benchmark

GENERAL LANDSCAPE NOTES:

TREES OVERHANGING SIDEWALKS, DRIVEWAYS OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7') FEET.
TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9') FEET.
TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES, AND FIRELANES WILL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN (14') FEET.
ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS.
HARDWOOD MULCH SHALL BE PLACED AT A MINIMUM 4" DEPTH THROUGHOUT LANDSCAPED BEDS.
NO TREE OR SHRUB SHALL BE PLANTED IN ANY SERVITUDE OR EASEMENT WITHOUT THE WRITTEN PERMISSION OF THE USER AGENCY(IES).

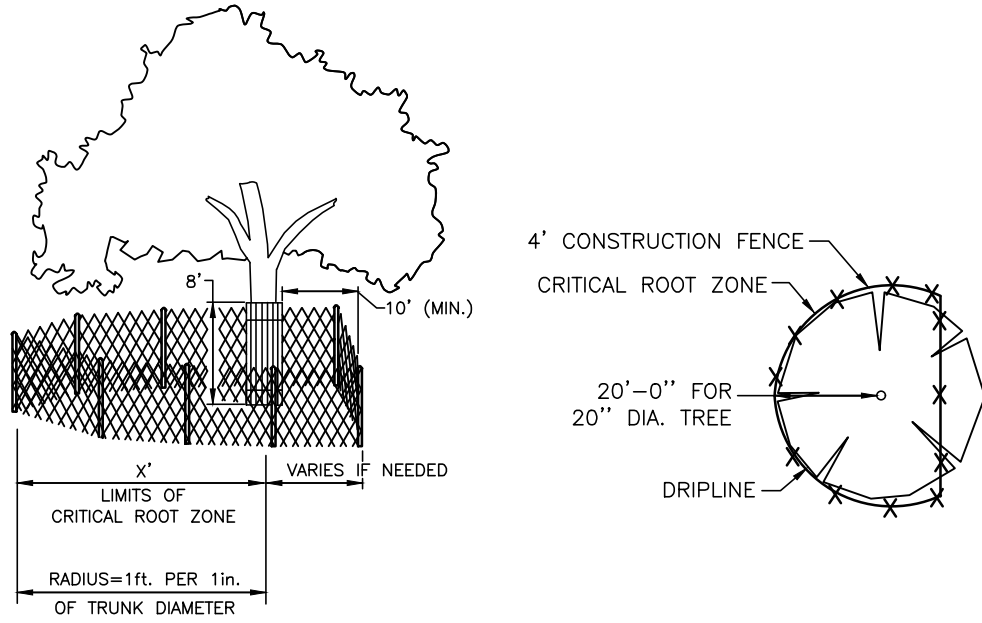
IRRIGATION NOTES

VERIFY "STATIC" PRESSURE AVAILABLE AT THE SITE AND NOTIFY THE ENGINEER IF LESS THAN 55 P.S.I.
AN 18" DEPTH TRENCH SHALL BE REQUIRED FOR ALL PRESSURE LINES. A 12" DEPTH TRENCH SHALL BE REQUIRED FOR ALL LATERAL LINES.
PURPLE PRIMER SHALL BE REQUIRED ON ALL WELDS BEFORE GLUING.
SHAKE PRESSURE LINE IN TRENCH AT LEAST ONE (1') FOOT PER 100', TO ALLOW FOR THERMAL EXPANSION.
ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN APPROPRIATE BOXES AS PER MANUFACTURERS RECOMMENDATIONS.
ALL IRRIGATION PRODUCTS SHOWN ON THIS PLAN SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
ALL LATERAL LINES SHALL BE CLASS 200 PVC.
ADJUSTMENTS TO HEADS MAY BE REQUIRED DURING CONSTRUCTION.
ALL IRRIGATION LINES ARE TO BE LOCATED WITHIN LANDSCAPED AREAS AND PLACED ADJACENT TO CURBS WHENEVER POSSIBLE.
NO IRRIGATION LINES SHALL BE PLACED IN POSSIBLE CONFLICT WITH OTHER TRADES OR UTILITIES.
ALL LINES UNDER PAVEMENT SHALL BE SLEEVED WITH SCH 40 WITH IRRIGATION WIRING IN A SEPARATE 2" SCH 40 SLEEVE.
IRRIGATION CONTRACTOR IS TO ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS.
110 VOLT AC TO BE PROVIDED BY GENERAL CONTRACTOR TO THE CONTROLLER.
BACKFLOW PREVENTION DEVICE TO BE PER CITY REQUIREMENTS - 1" FEBCO B05Y- LOCATED IN HOT-BOX FIBERGLASS, FLIP-TOP ENCLOSURE OR APPROVED EQUAL, ENCLOSURE MUST COMPLY WITH ASSE 1060.
NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE ENGINEER SHOWN ON THESE PLANS.
CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS IN THE WORK AREA.
ALL SLEEVES UNDER PAVEMENT TO EXTEND A MINIMUM 12" BEYOND PAVING.
THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THIS PLAN WHEN IT IS OBVIOUS THAT THE IRRIGATION DESIGN IS IN CONFLICT WITH ON-SITE FEATURES THAT MAY NOT HAVE BEEN CONSIDERED IN THE DESIGN. IN THE EVENT THAT THIS HAPPENS IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IN WRITING. IF THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY REVISIONS.



TYPICAL TREE PLANTING DETAIL

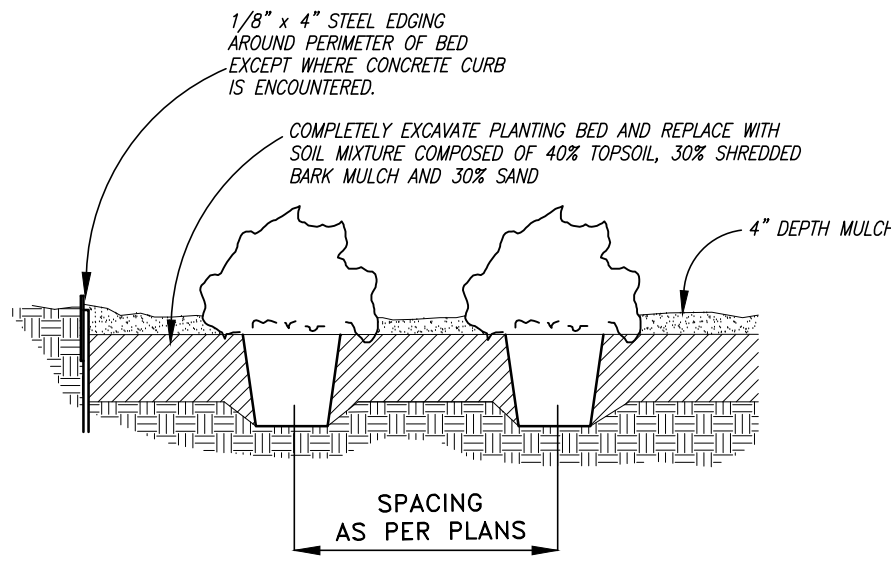
NOT TO SCALE



IF "X" IS NOT ACHIEVABLE, CONTRACTOR SHALL PROVIDE AT LEAST 10" (MIN.). IF LESS THAN 10", THEN ADD BOARDS STRAPPED TO TRUNK.

TREE PROTECTION DETAIL

N.T.S.



TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE

THE STANDARD - ROCKWALL ADDITION
LOT: 27 BLOCK: A
ZONING: PLANNED DEVELOPMENT
(PD-68), SH-205 OVERLAY

OWNER
EAST SHORE J/V
54499 GLEN LAKES DRIVE #110
DALLAS, TX 75231
ATTN: DONNA PERRY, VENTURE MANAGER
PHONE: 580-236-3911

CIVIL ENGINEER
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PHONE: 903-534-5353

PLANNING AND ZONING CHAIRMAN

PLANNING DIRECTOR

MINDFUL WELLNESS
1301 S. GOLIAD ST.

LANDSCAPE
DETAILS

CASE NO.

Z2025-055

SHEET NO.

L-2

BY	DATE	REVISIONS	SUBMITTAL /
CCB	10-17-25	SITE PLAN SUBMITTAL	

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



DRAWN BY: CCB

CHECKED BY: JGM

DATE: JUNE 2025

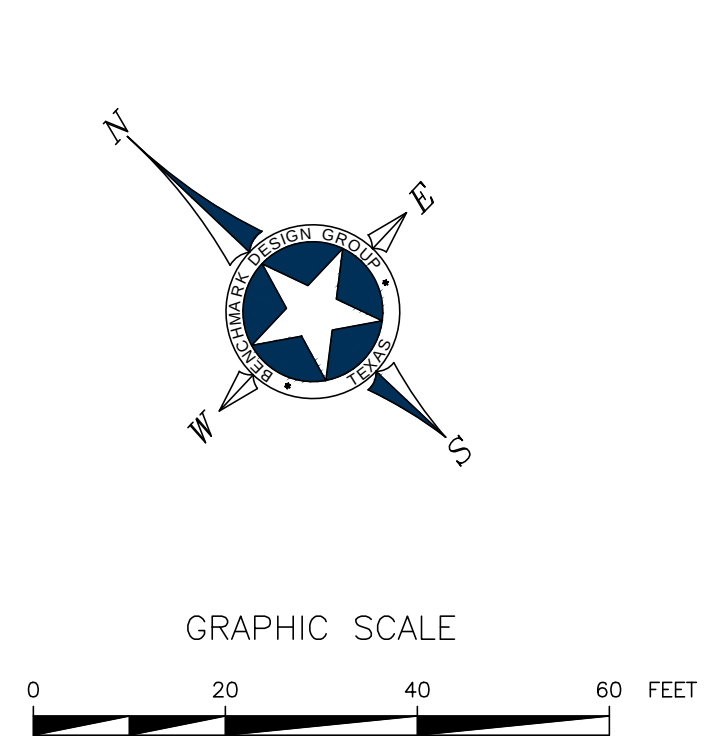
JOB NO: 2025.036



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 - Stormwater lines
 - Sanitary sewer lines
 - Conduits
 - Water lines
 - Sanitary sewer lines
 - Pipes
 - Gas lines
 - Oil Production lines
 - Saltwater lines

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LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE

EXISTING TREE TO BE REMOVED

EXISTING TREE TO REMAIN

PROPOSED TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
17		OAK	Texas Red Oak	Quercus Falcata	4" caliper
18		MAPLE	October Glory Maple	Acer rubrum 'october glory'	4" caliper
7		WILLOW	Desert Willow	Chilopsis linearis	4" minimum height
9		SUMAC	Flameleaf Sumac	Rhus lanceolata	4" minimum height

TREE MITIGATION		
TREE MITIGATION (140" CALIPER/4" CALIPER)	REQUIRED 35 EA	PROVIDED 35 EA

Tree Mitigation Table									
ITEM#	TAG#	SPECIES	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
1	37	Cedar	24	Remove	5	N	N	N	4"
2	8446	Cedar	18	Remove	5	N	N	N	4"
3	8447	Cedar	24	Remove	5	N	N	N	4"
4	8448	Cedar	30	Remove	5	N	N	N	4"
5	8449	Cedar	24	Remove	5	N	N	N	4"
6	8450	Cedar	24	Remove	5	N	N	N	4"
7	8452	Cedar	10	Remove	5	N	N	N	4"
8	8453	Cedar	21	Remove	5	N	N	N	4"
9	8454	Cedar	36	Remove	4	N	N	N	4"
10	8455	Cedar	27	Remove	5	N	N	N	4"
11	8456	Cedar	21	Remove	5	N	N	N	4"
12	8459	Cedar	21	Remove	5	N	N	N	4"
13	8460	Cedar	21	Remove	5	N	N	N	4"
14	8461	Cedar	21	Remove	5	N	N	N	4"
15	8462	Cedar	18	Remove	5	N	N	N	4"
16	8463	Cedar	21	Remove	4	N	N	N	4"
17	8464	Cedar	15	Remove	1	Y	Y	Y	0
18	8465	Cedar	21	Remove	5	N	N	N	4"
19	8466	Cedar	27	Remove	5	N	N	N	4"
20	8467	Cedar	27	Remove	5	N	N	N	4"
21	8468	Cedar	27	Remove	5	N	N	N	4"
22	8469	Cedar	12	Remove	5	N	N	N	4"
23	8470	Cedar	12	Remove	5	N	N	N	4"
24	8471	Cedar	12	Remove	5	N	N	N	4"
25	8472	Cedar	24	Remove	5	N	N	N	4"
26	8474	Cedar	18	Remove	5	N	N	N	4"
27	8475	Cedar	27	Remove	5	N	N	N	4"
28	8476	Cedar	12	Remove	5	N	N	N	4"
29	8477	Cedar	12	Remove	5	N	N	N	4"
30	8478	Cedar	12	Remove	5	N	N	N	4"
31	8479	Cedar	12	Remove	5	N	N	N	4"
32	8480	Cedar	12	Remove	5	N	N	N	4"
33	8481	Cedar	18	Remove	5	N	N	N	4"
34	8483	Cedar	18	Remove	5	N	N	N	4"
35	8484	Cedar	24	Remove	5	N	N	N	4"
36	8488	Cedar	24	Remove	5	N	N	N	4"
Total:									140"

THE STANDARD - ROCKWALL ADDITION
LOT: 27 BLOCK: A
ZONING: PLANNED DEVELOPMENT
(PD-68), SH-205 OVERLAY

OWNER
EAST SHORE J/V
54499 GLEN LAKES DRIVE #110
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PLANNING AND ZONING CHAIRMAN

PLANNING DIRECTOR

BY	DATE	REVISIONS	SUBMITTAL
CCB	10-17-25		SITE PLAN SUBMITTAL

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



BENCHMARK
DESIGN GROUP

DRAWN BY: CCB

CHECKED BY: JGM

DATE: JUNE 2025

JOB NO: 2025.036

MINDFUL WELLNESS
1301 S. GOLIAD ST.

TREESCAPE PLAN

CASE NO.
Z2025-055

SHEET NO.
L-3

