



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2200 Ridge Road, Rockwall TX 75087

SUBDIVISION Sky Ridge Addition

LOT 8 BLOCK A

GENERAL LOCATION NW of YellowJacket & Ridge Road Intersection

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial District

CURRENT USE None

PROPOSED ZONING

PROPOSED USE Nail Salon & General Retail

ACREAGE 0.976

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Beauty Legacy, LLC

☐ APPLICANT Henry Nguyen Consulting, LLC

CONTACT PERSON Lien Nguyen

CONTACT PERSON Henry Nguyen

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

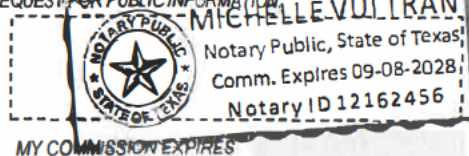
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Lien T. Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

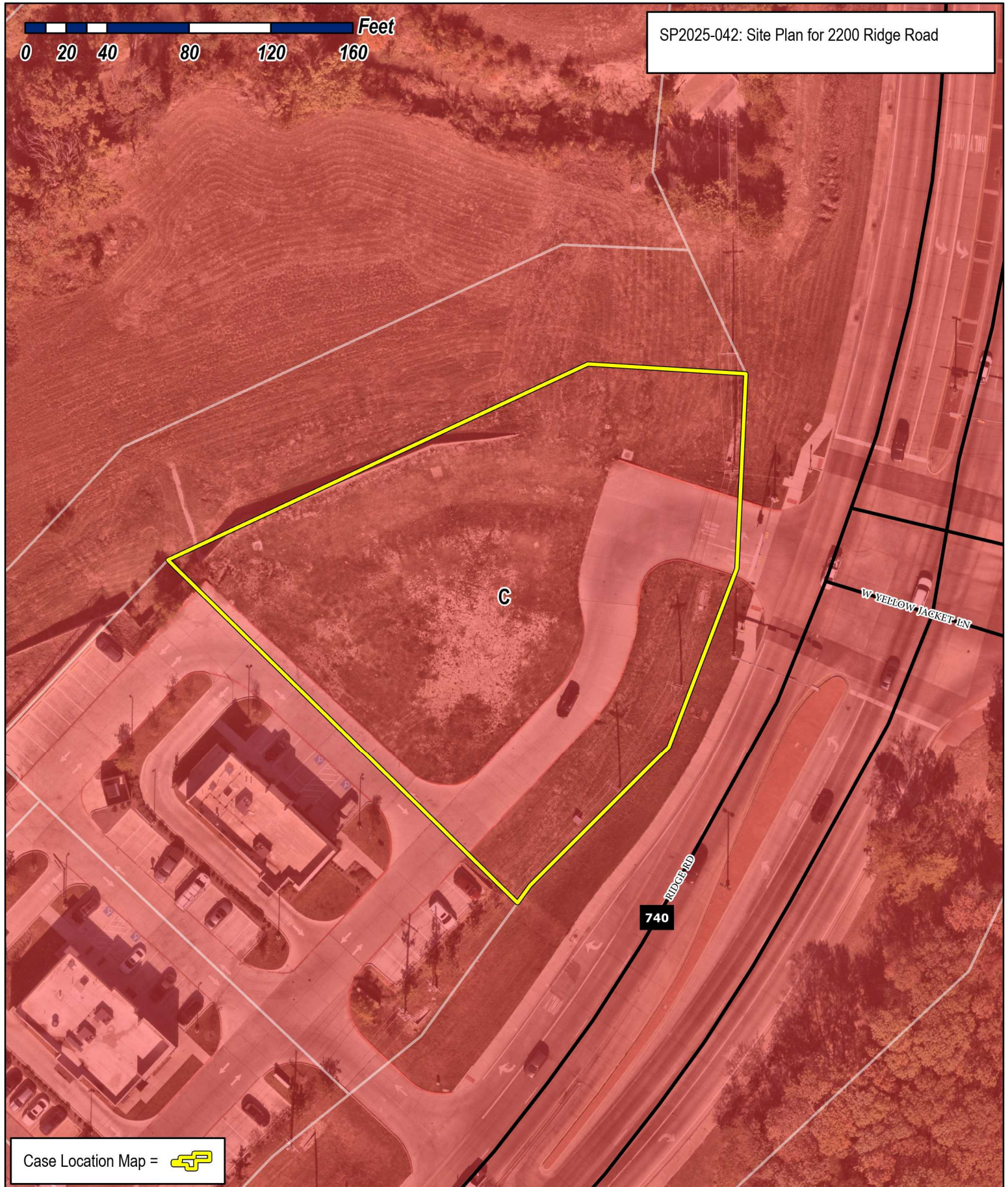
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF December, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



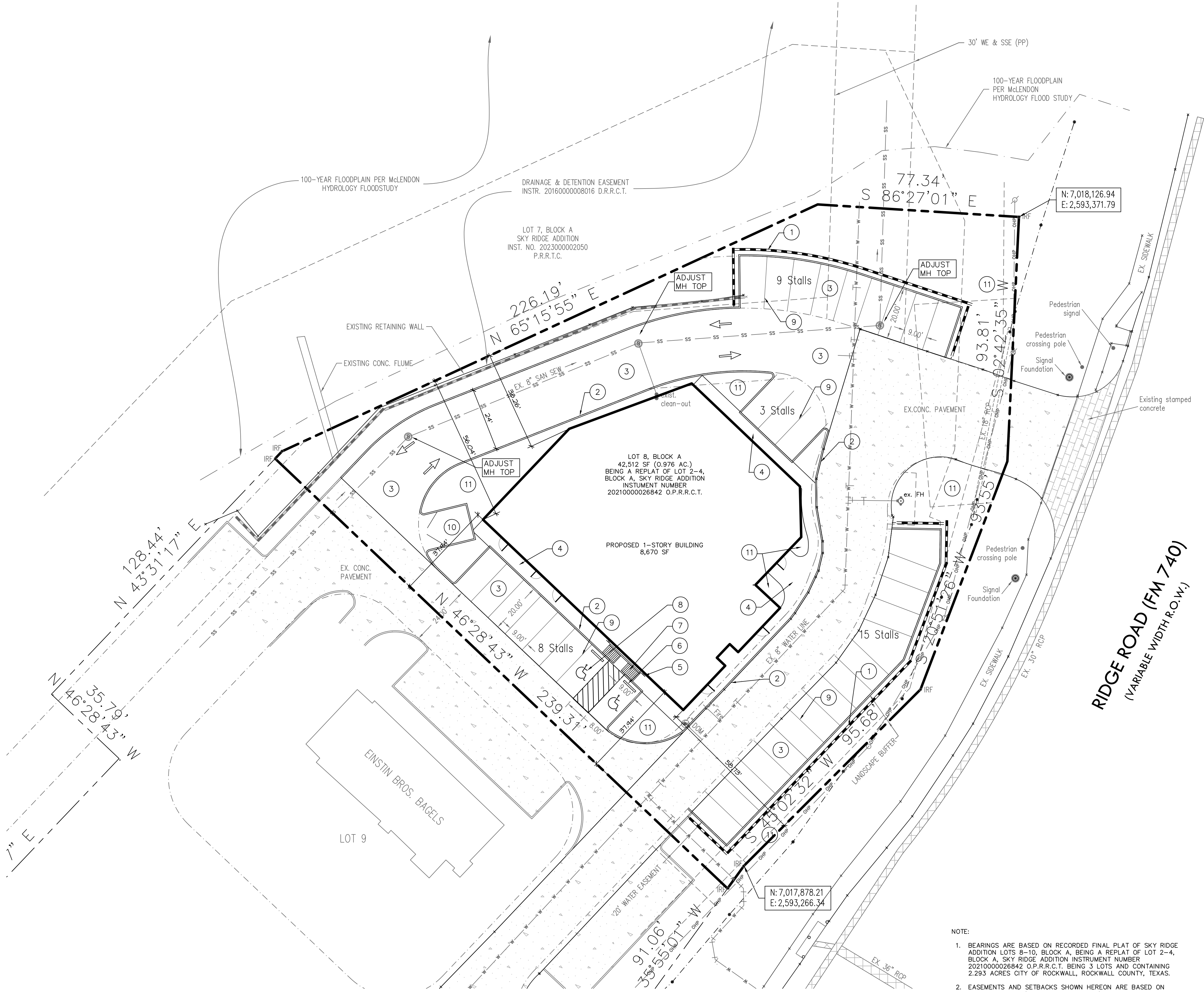
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Sep 10/2025 2:08pm henga
C:\Users\heng\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKY RIDGE ADDITION\8-SHEET SET\8-25-SITE PLAN.dwg



SITE DATA

LOT AREA	42,512 SF
BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	8,670 SF
FLOOR AREA RATIO	0.2039
TOTAL IMPERVIOUS AREA	31,613 SF (74% COVERAGE)
LANDSCAPE AREA	10,899 SF (26% COVERAGE)
EXISTING ZONING	C -COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (8500/250=34 required)
PROVIDED PARKING	35 SPACES

KEYNOTES

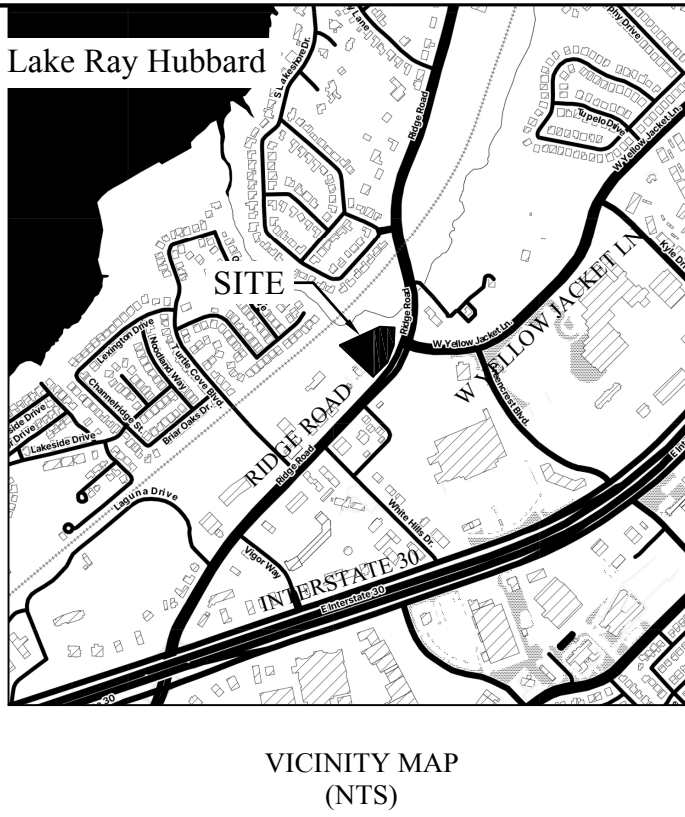
1. CONSTRUCT RETAINING WALL
2. CONSTRUCT MONOLITHIC CONCRETE CURB
3. INSTALL CONCRETE PAVEMENT
4. CONSTRUCT 4" THICK CONCRETE SIDEWALK
5. INSTALL HANDICAP SIGN
6. INSTALL PRECAST CONCRETE WHEELSTOPS
7. CONSTRUCT STANDARD ADA RAMP
8. PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
9. PAINT 4" SOLID STRIPE - WHITE
10. CONSTRUCT 8' TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
11. LANDSCAPE AREA

LEGEND

	EXISTING SIGNAL FOUNDATION
	EXISTING FIRE HYDRANT
	EXISTING SANITARY CLEANOUT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING CONCRETE PAVEMENT

NOTE:

1. BEARINGS ARE BASED ON RECORDED FINAL PLAT OF SKY RIDGE ADDITION LOTS 8-10, BLOCK A, BEING A REPLAT OF LOT 2-4, BLOCK A, SKY RIDGE ADDITION INSTRUMENT NUMBER 20210000026842 O.P.R.R.C.T. BEING 3 LOTS AND CONTAINING 2.293 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.
2. EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED ON RECORDED PLAT (CASE NO. P2023-005) UNLESS OTHERWISE NOTED.
3. UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ARE TO FACE OF CURB.



REVISIONS		Approved
Date	Description	

SKYRIDGE RETAIL

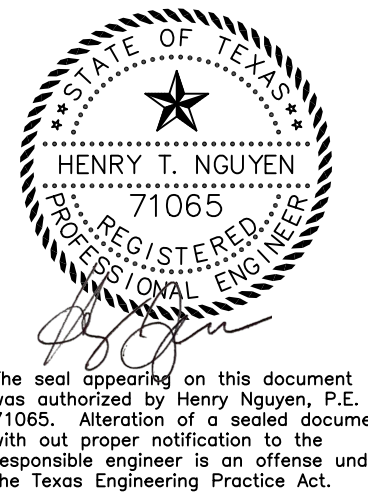
BUILDING

2200 RIDGE ROAD

ROCKWALL, TEXAS 75087

DESIGN	HNC
DRAWN	HNC
DATE	09/10/2025

Job#: 25001



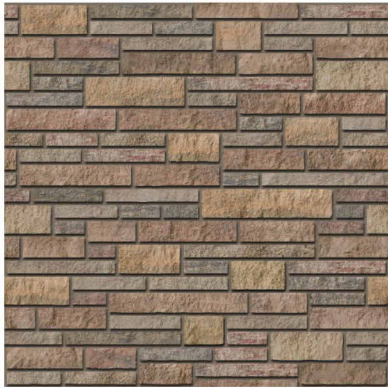
The seal appearing on this document was authorized by Henry Nguyen, P.E. 71065. Alteration of a sealed document with out proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

SITE PLAN

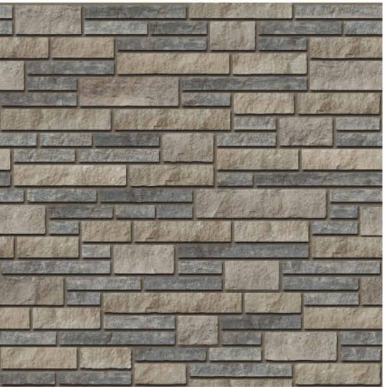
C1

GENERAL NOTES

1.
- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2.
- ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3.
- SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4.
- INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STACKED STONE
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - SOUTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,361.15	66.64%
OPENINGS, WINDOWS	1	681.43	33.36%
TOTAL WALL AREA		2,042.58	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100



1 SOUTH ELEVATION
1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: TT, NH
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A200

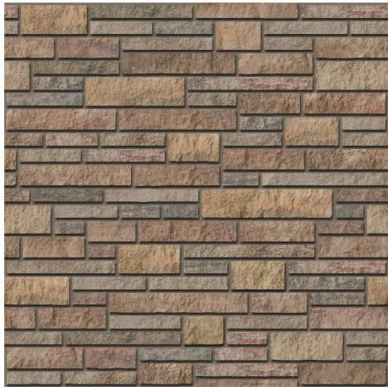
GENERAL NOTES

1.
- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS

2.
- ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.

3.
- SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING

4.
- INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - EAST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,665.53	76.06%
OPENINGS, WINDOWS	1	524.28	23.94%
TOTAL WALL AREA		2,189.81	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VANEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VANEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



1 EAST ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

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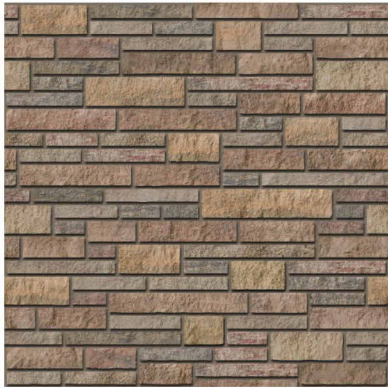
DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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GENERAL NOTES

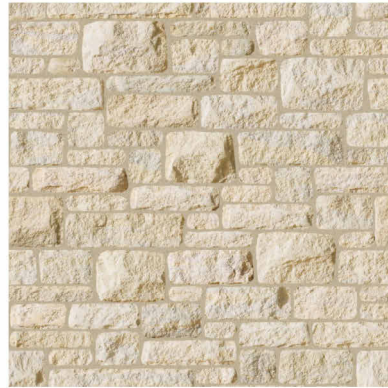
1.
- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
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- ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3.
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STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - WEST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,499.26	69.26%
WINDOWS, CLEAR GLASS	1	665.38	30.74%
TOTAL WALL AREA		2,164.64	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
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5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



1 WEST ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

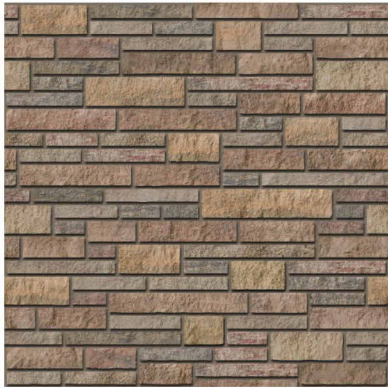
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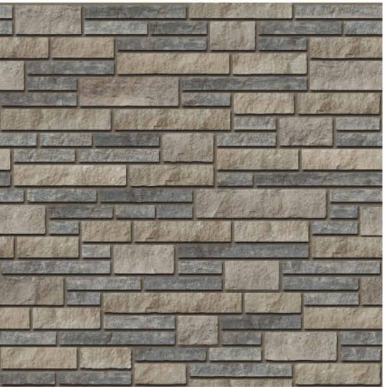
BUILDING ELEVATIONS
A202

GENERAL NOTES

1.
- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2.
- ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3.
- SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4.
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STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA

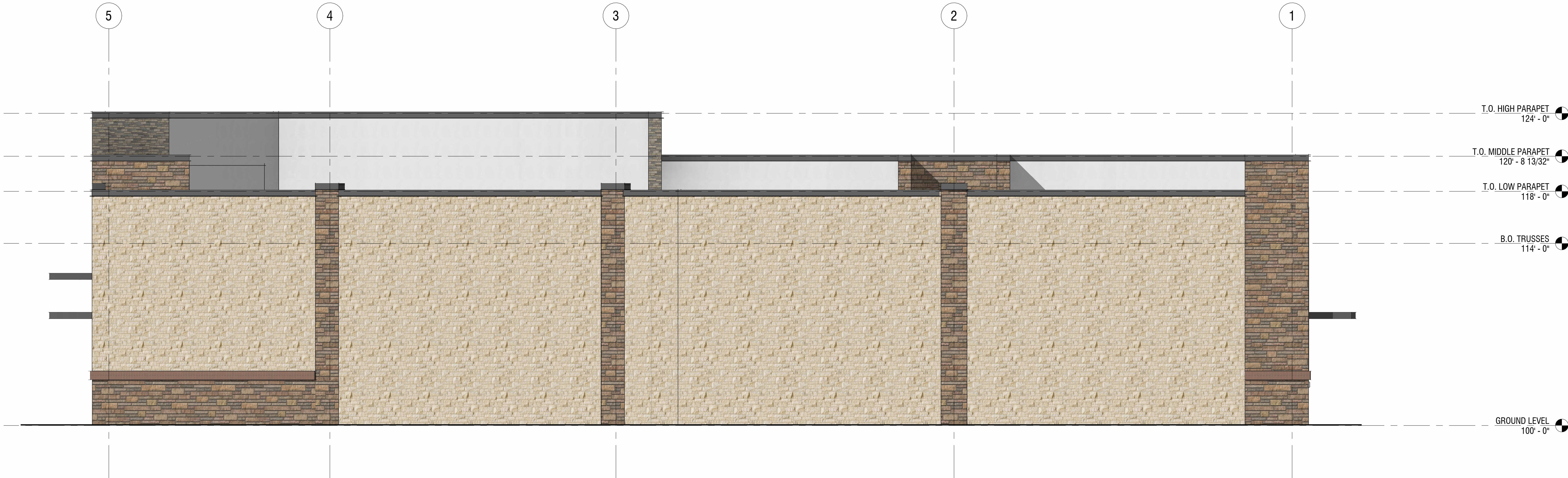
EXTERIOR MATERIALS - NORTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,648.32	100%
WINDOWS, CLEAR GLASS	1	0	0%
TOTAL WALL AREA		1,648.32	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100



SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025		
NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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BUILDING ELEVATIONS
A203



SKYRIDGE RETAIL BUILDING

LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

ARCHITECTURAL PRELIMINARY DESIGN

ARCHITECT
B + A ARCHITECTURE
100 W 31ST STREET, SUITE 100
KANSAS CITY, MISSOURI 64108
PH: 816-753-6100



ISSUED DATE: WEDNESDAY, AUGUST 27TH 2025

DRAWINGS INDEX:

A001: SITE PLAN

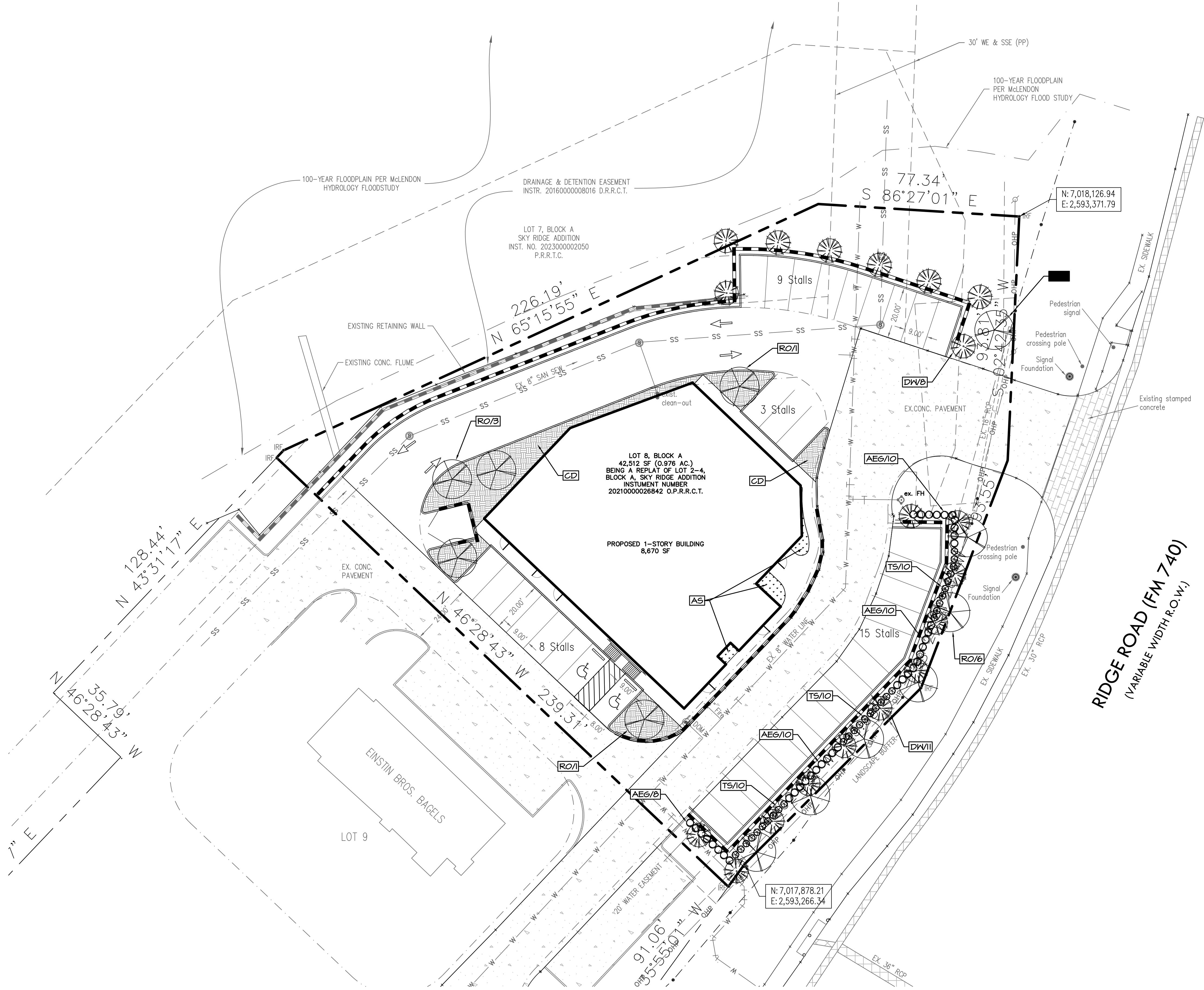
A002: FLOOR PLAN

A200-203: ELEVATIONS

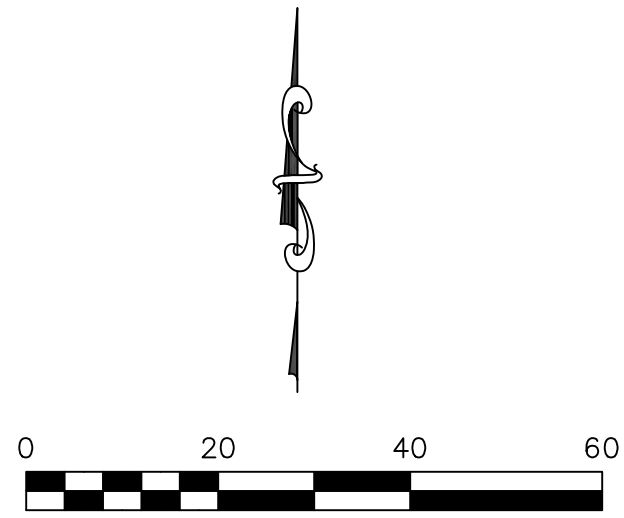
A700-704: RENDERINGS



Aug 28, 2025 10:16am hengz
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RIDGE ROAD (FM 740)
(VARIABLE WIDTH R.O.W.)



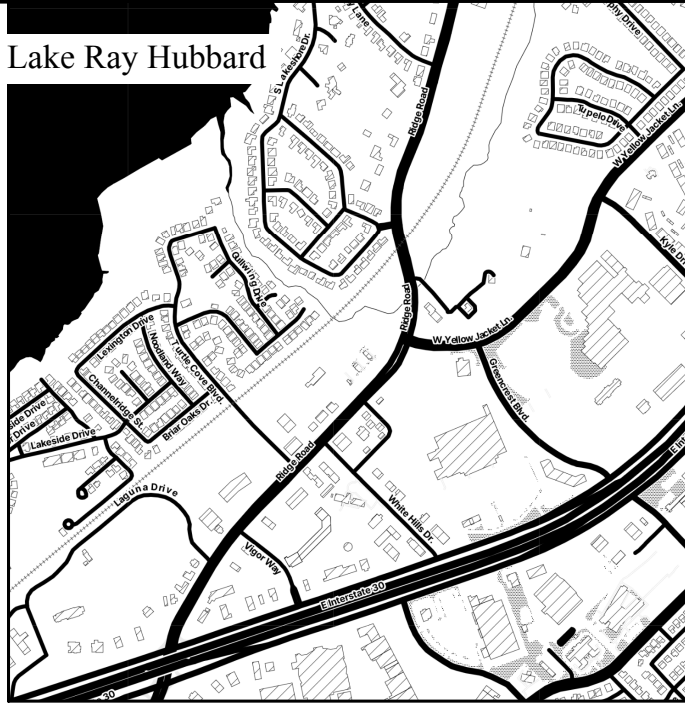
1. Overall Site Landscaping Percentage	
For Commercial Districts, the required landscaping is 20% of the net lot area.	
Required	Provided
20% x 42,512 sf = 8,502.40 sf	10,899 sf (26%)

2. Perimeter Landscaping (Buffers)	
A. Street Frontage Landscaping:	
Requirement: 10 feet along all public street frontages.	
Trees: Typically, one (1) large canopy tree per 50 linear feet of street frontage.	
Shrubs/Groundcover: The remaining area within the landscape strip must be covered with shrubs, groundcover, or turf.	
Required	Provided
10'	10'
Frontage = 283.04 LF/50 = 6 Trees	26
3 shrubs/10 LF x 283.04 LF = 85 Shrubs	85

3. Interior Parking Lot Landscaping	
Trees:	
Number/Coverage: one (1) shade tree per 10 number of parking spaces (1/10 x 35 spaces = 4 trees), or 20% of the parking lot area (20% x 5,760 sf = 1,152 sf).	
Island Requirements: Landscaped islands are typically required at the end of every parking row and within longer rows (e.g., for every 10-15 spaces). These islands must accommodate at least one large canopy tree.	
Shrubs/Groundcover: All areas within interior landscape islands and strips must be fully planted with shrubs, groundcover, or turf.	
Required	Provided
1 tree/10 parking spaces x 35 = 4 trees	5
5,760 sf x 20% = 1,152 sf	1,985 sf (34%)

LANDCAPE LEGEND

	CD	COMMON BURMUDA GRASS SOD
	AS	ASIATIC JASMINE
	RO	TEXAS RED OAK
	DW	DESERT WILLLOW
	AEG	EDWARD GOUCHER ABELIA
	TS	TEXAS SAGE
		PROPOSED RETAINING WALL



Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: henguyen@swbell.net
Texas Registered Engineering Firm F-16239

Approved

Description

Date

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN

HNC

DRAWN

HNC

DATE

08/28/2025

Job#:

25001

LANDSCAPE PLAN

L1

Aug 28, 2025 10:11am hengz
C:\Users\hengz\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKY RIDGE ADDITION\8-SHEET SET\8-2-LANDSCAPE.dwg

PLANT LIST						
SYMBOL	BOTANIC NAME	COMMON NAME	QTY.	UNIT	SIZE	NOTES
★						
GROUND COVER						
CD	CYNODON DACTYLON	COMMON BERMUDA GRASS SOD	1820	SF		SOLID SOD PER INDUSTRY STANDARD
AS	TRACHELOSPERMUM	ASITIC JASMINE	165	SF		
★						
TREES AND SHRUBS						
RO	QUERCUS BUCKLEYI	TEXAS RED OAK	12	EA	4" CAL	12' HEIGHT SPACING PER PLAN
DN	CHILOPSIS LINEARIS	DESERT WILLOW	19	EA	4" CAL	12' HEIGHT SPACING PER PLAN
AEG	ABELIA X 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	38	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.
TS	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	48	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.

GENERAL LAWN NOTES

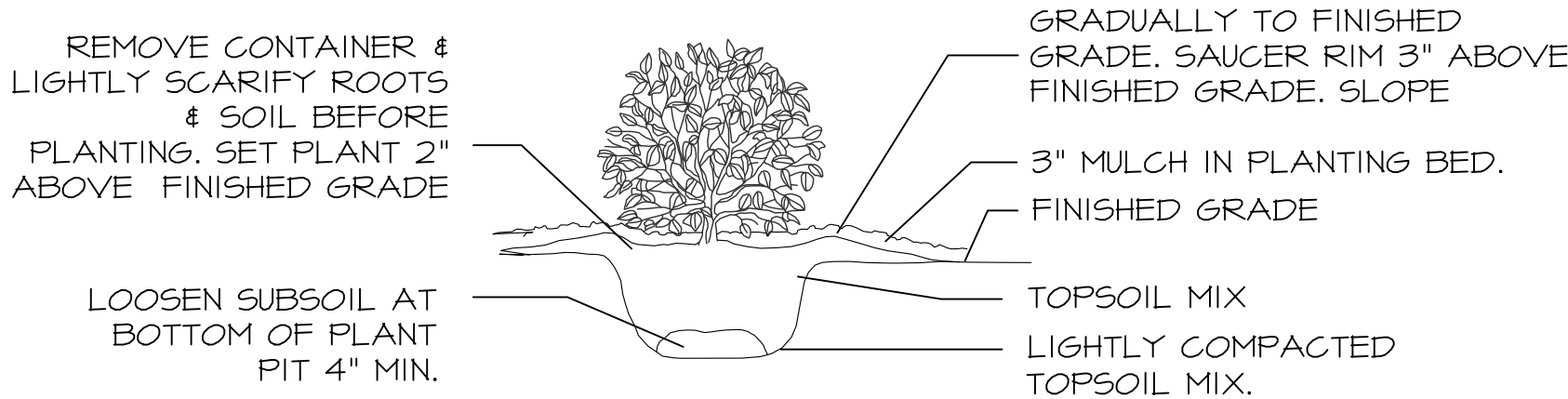
1. ALL LANDSCAPE/TURF AREAS TO BE INSTALLED WITH AUTOMATIC IRRIGATION SYSTEM MEETING CITY AND TCEQ STANDARD.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 4" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR TO APPLY 4" CLEAN TOPSOIL TO ALL TURF AREAS PRIOR TO INSTALLATION OF SOD OR HYDROMULCH.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
5. LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE.
6. REMOVE ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
7. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
8. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
9. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
10. WATER SOD THOROUGHLY AS SOD REESTABLISHMENT PROGRESSES.
11. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDA GRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

CUSTOM PLANTING SOIL:

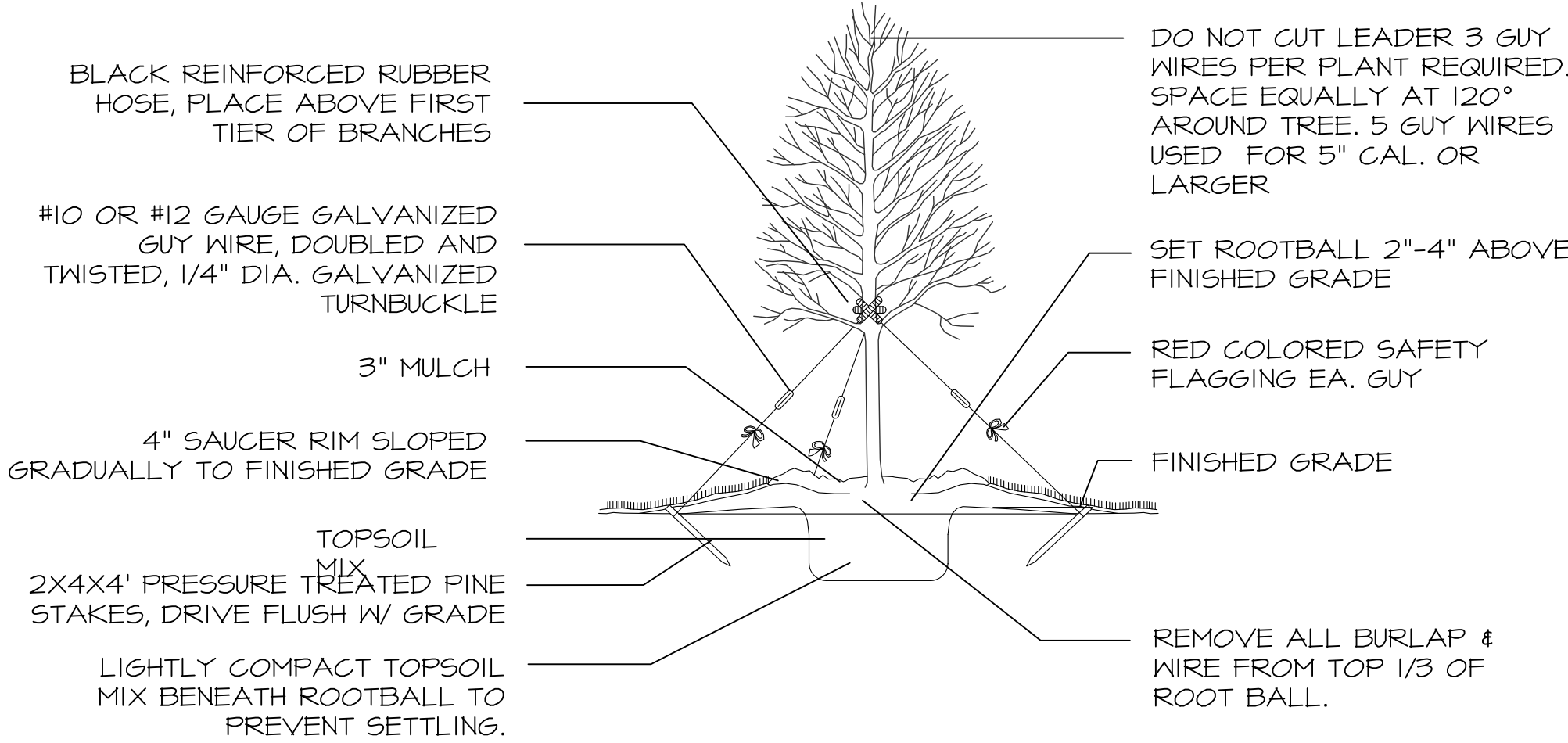
- AMENDED SOIL (IN SHRUB PLANTING BEDS & AT TREES)
PRODUCT: LANDSCAPERS BLEND (50/50)
DEPTH: 6" (TILLED INTO 6" OF EXISTING SOIL FOR A TOTAL DEPTH OF 12")
SUPPLIER: SOIL BUILDING SYSTEMS
CONTACT: 972-831-8181
INSTALLATION: PER SOIL BUILDING SYSTEMS SPECIFICATIONS

STEEL EDGING:

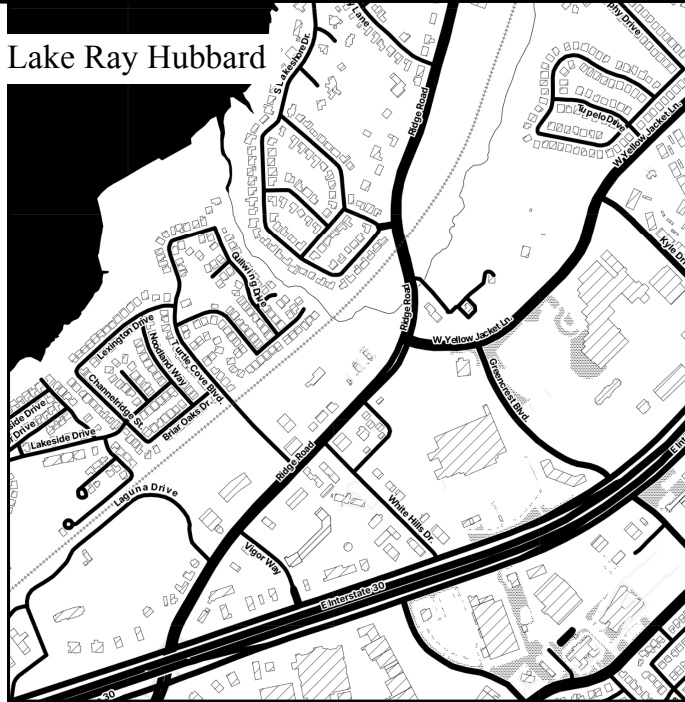
- METAL EDGING TO SEPARATE PLANTING BEDS FROM ADJACENT TURF.
PRODUCT: DURAEDGE
SIZE: 3/16" THICK x 4" HEIGHT x 16' LENGTH
NOTES: METAL EDGING SHALL NOT BE INSTALLED PARALLEL AGAINST CURBS AND SIDEWALKS. METAL EDGING SHALL BE TRIMMED WHERE IT ABUTTS SIDEWALKS AND CURBS TO AVOID SHARP EDGES.



A SHRUB PLANTING DETAIL
SCALE: NONE



B TREE PLANTING DETAIL
SCALE: NONE



Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: henguyen@swbell.net
Texas Registered Engineering Firm F-16239

Approved

Description

Date

REVISIONS

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN HNC

DRAWN HNC

DATE 08/28/2025

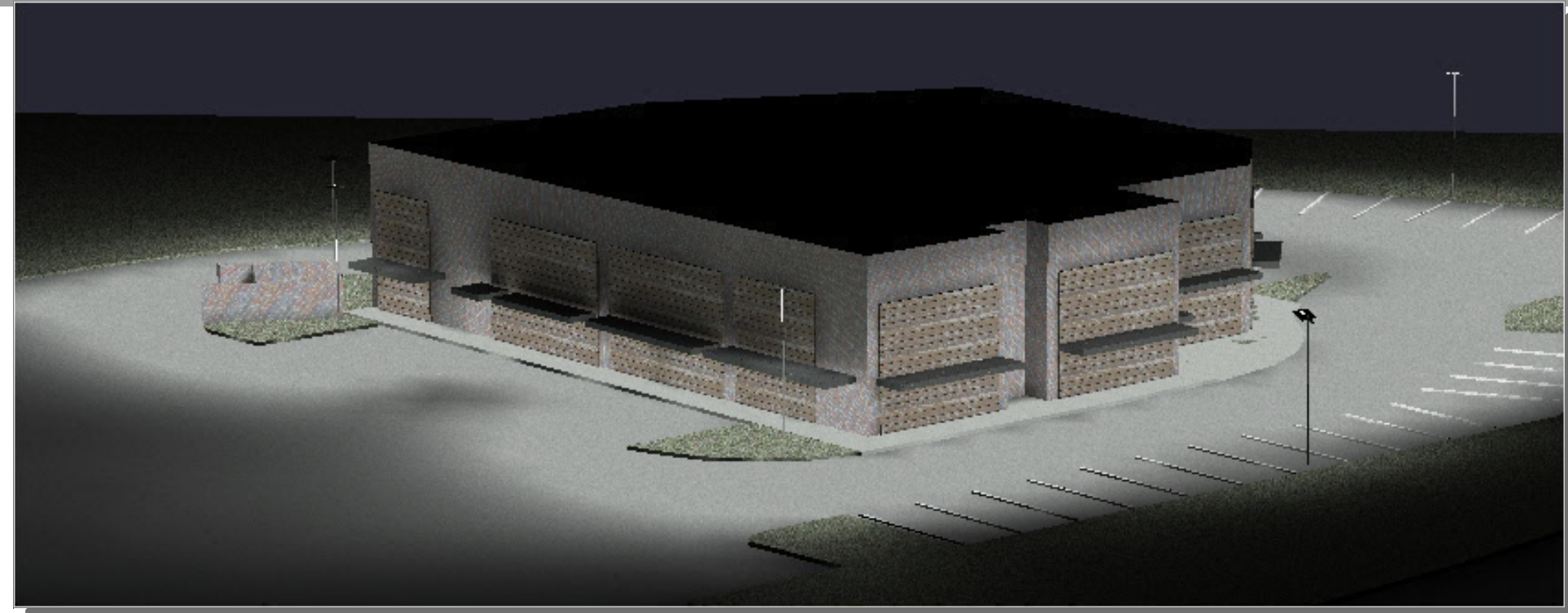
Job#: 25001

SEAL OF THE STATE OF TEXAS
HENRY T. NGUYEN
71065
REGISTERED PROFESSIONAL ENGINEER

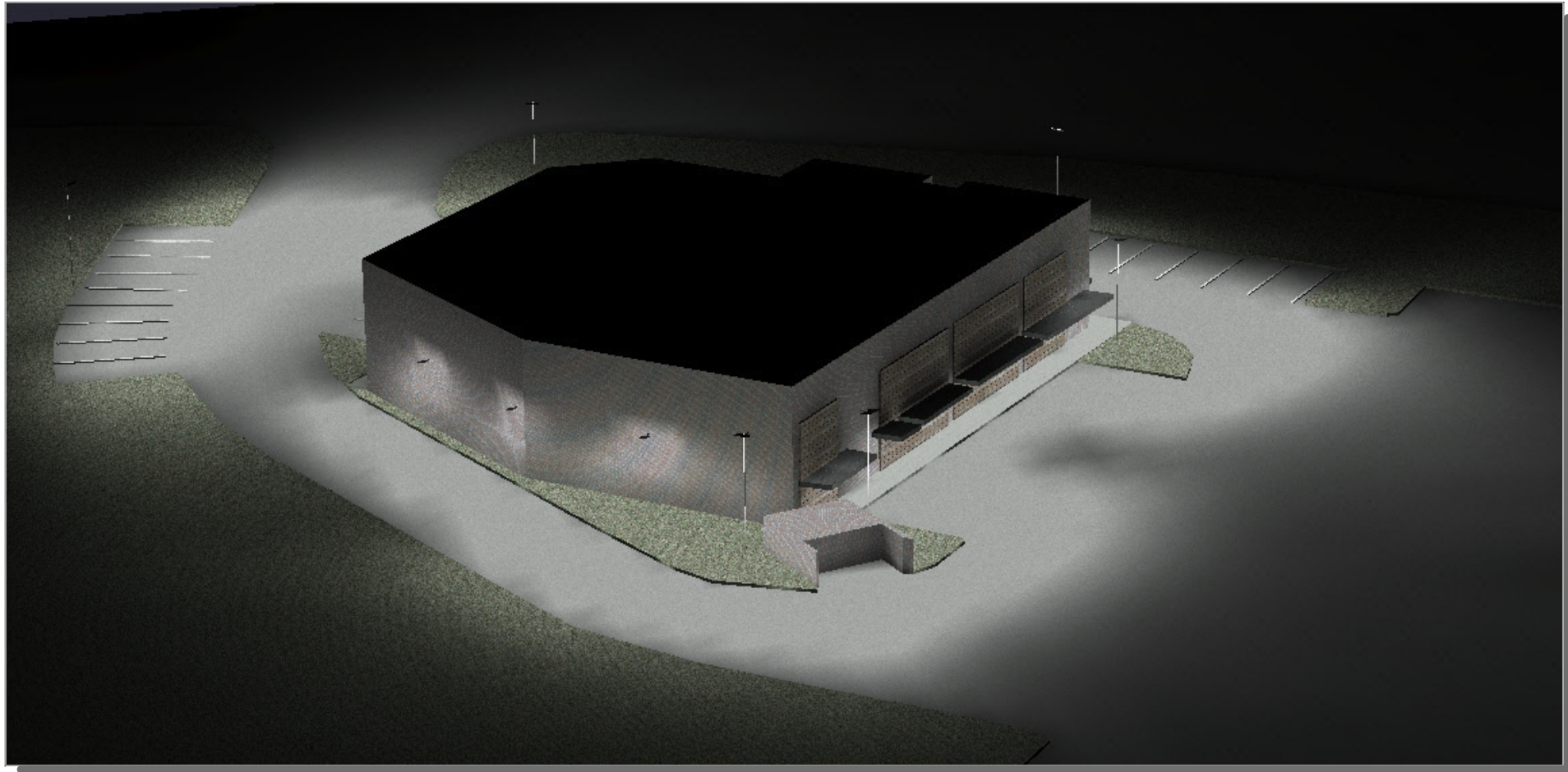
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LANDSCAPE PLAN

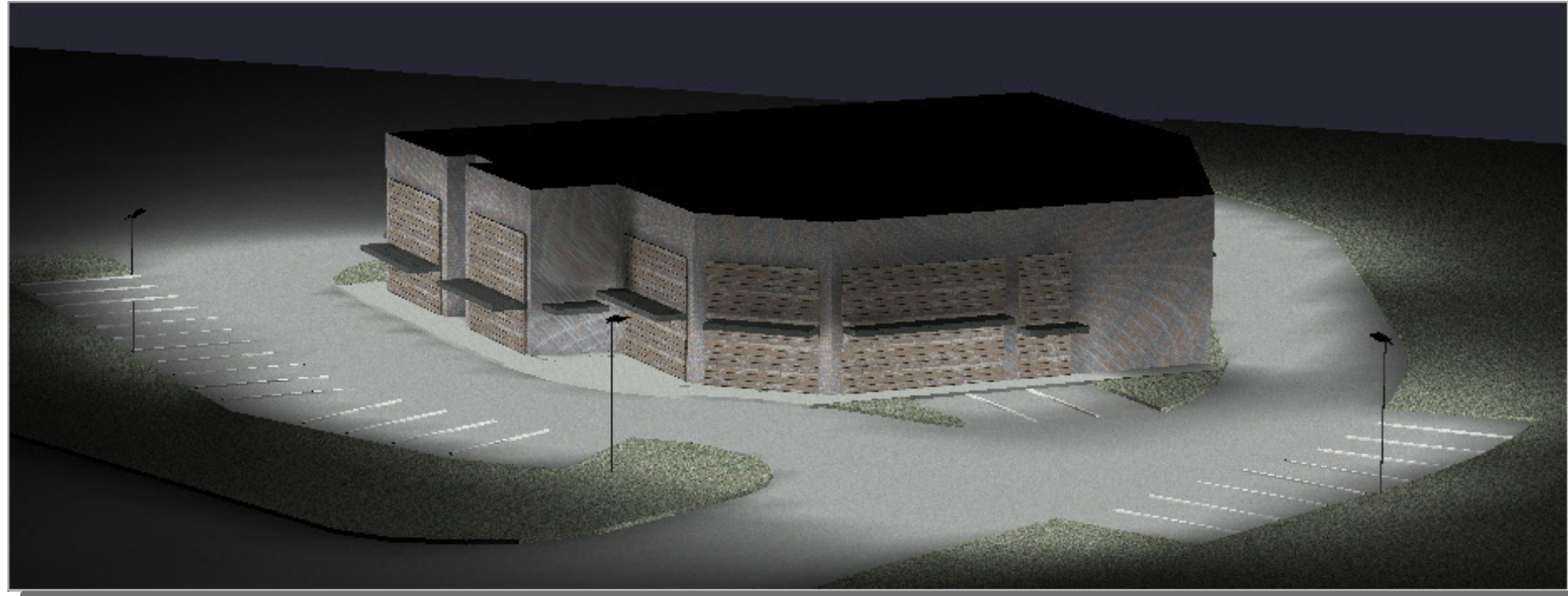
L2



RENDERED VIEW FROM THE SOUTH







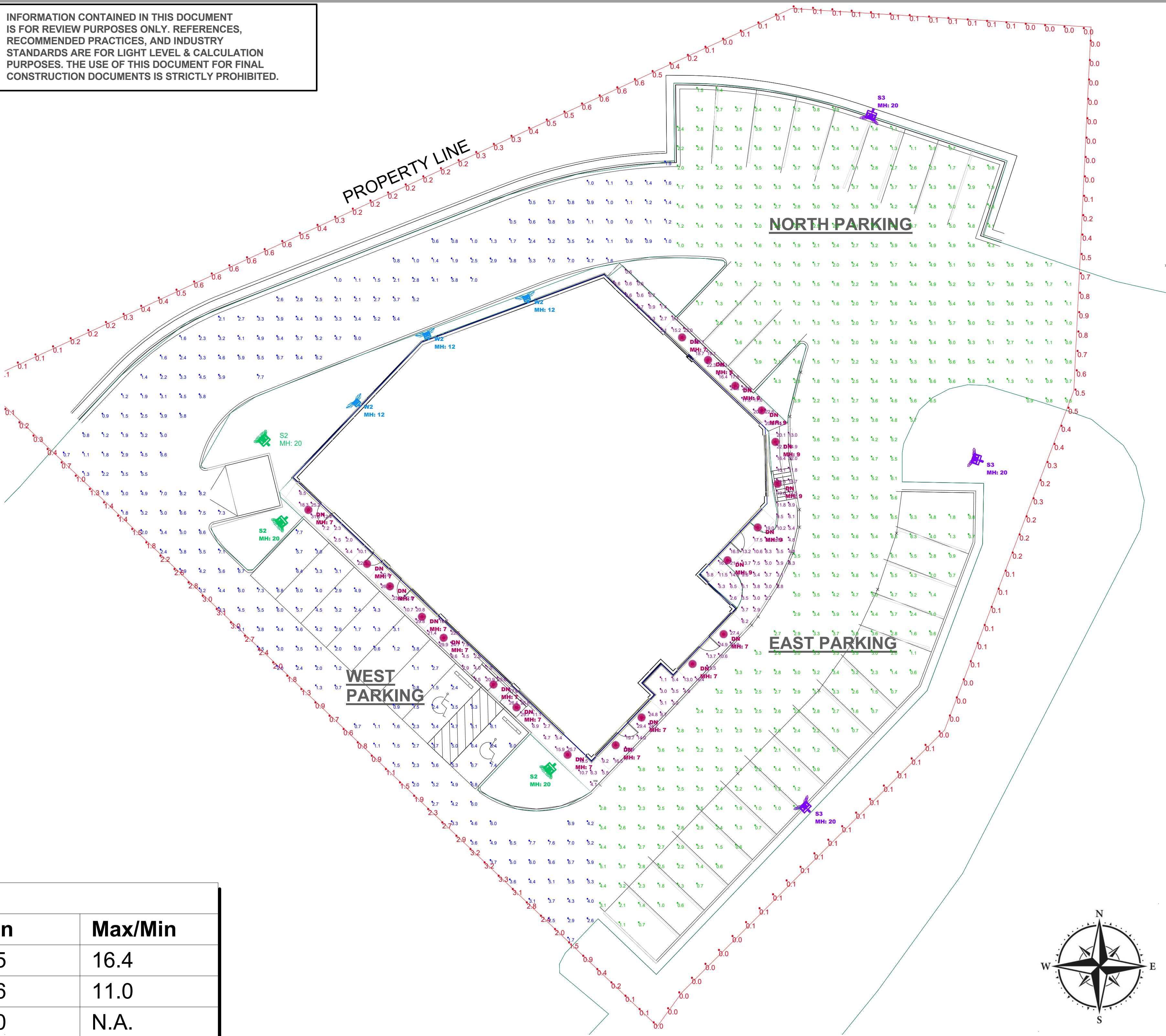
RENDERED VIEW FROM THE NORTH-WEST



RENDERING OF THE ENTRANCE, EAST SIDE

CALCULATION SUMMARY IN FOOT-CANDLES				
AREA	Avg	Max	Min	Max/Min
NORTH & WEST PARKING	3.5	8.2	0.5	16.4
NORTH AND EAST PARKING	2.9	6.6	0.6	11.0
PROPERTY LINE	0.6	3.3	0.0	N.A.
SIDEWALK	12.1	31.6	0.6	52.7

LIGHTING FIXTURE SCHEDULE							
SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS
	DN	20	NU4-RD-SW-30LM-30K-LOPRO	ALAPHABET-4 IN- ROUND-3000°K-LOW PROFILE HOUSING	0.900	26.72	2234
	S2	3	VP-2-320L-185-3K7-2-HSS-270-B	BEACON VIPER-MICROSTRIKE-3000°K-TYPE II OPTICS	0.900	185.9	13348
	S3	3	VP-2-320L-235-3K7-3-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE III -BACK CONTROL	0.900	238	18264
	W2	3	VPW2-18L-39-3K7-2	BEACON VIPER-WALL PACK-3000°K-TYPE II OPTICS	0.900	38.8	4683



SITE LIGHTING PHOTOMETRICS

ASSUMPTIONS:
Illuminance:
Parking Lot: 2-3 FC Avg.
Min. 0.5
Property Line: 1.0 or less
Soffit Down Lights:
Mount Centered in Canopy
(estimated at 7'-0" & 9'-0")
Wall Mounted:
12'-0"
Pole Mounted Fixtures:
20'-0" Pole and Base
Calculations Points @ Grade

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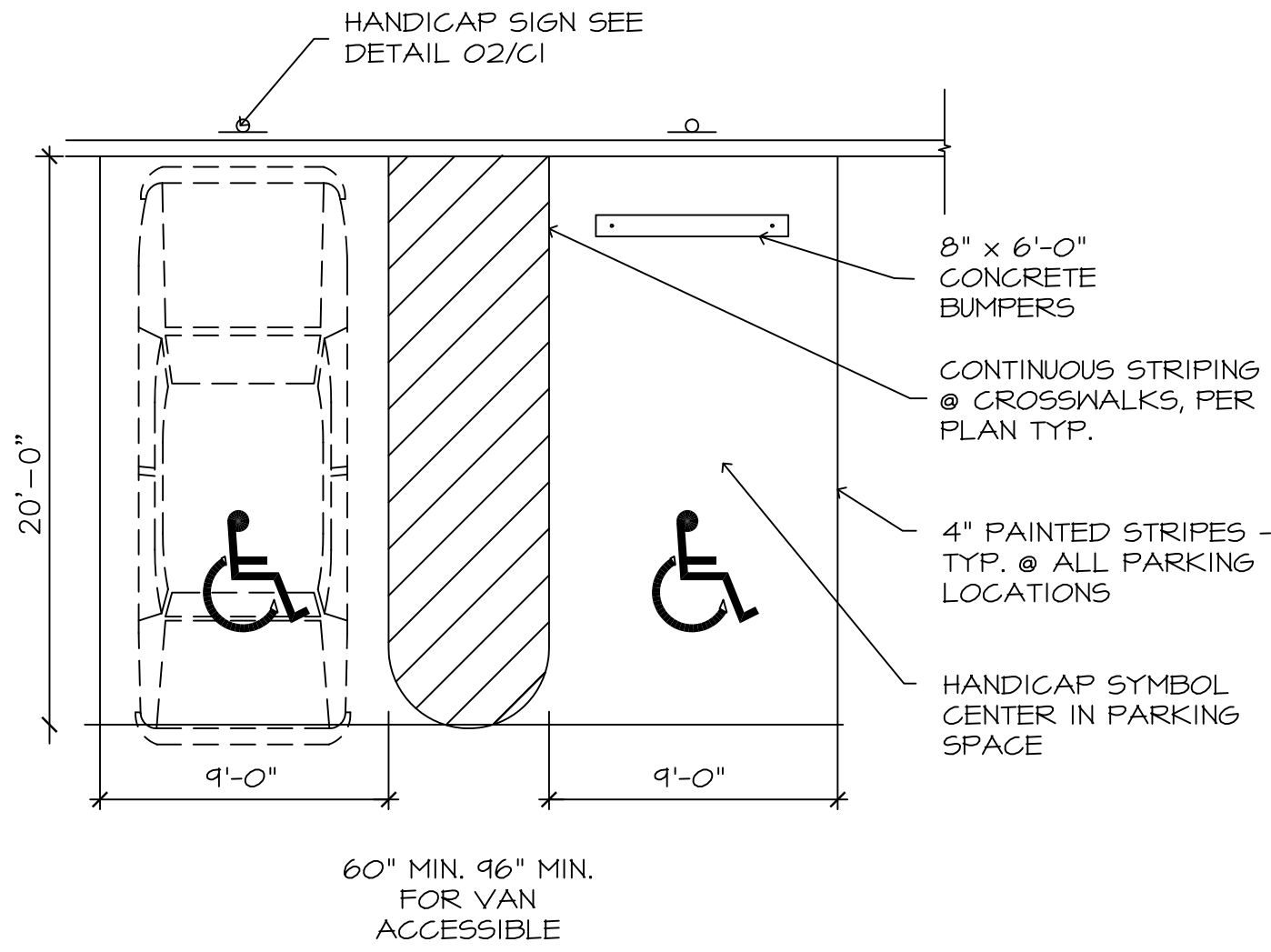
103 E 18th Avenue
North Kansas City, MO 64116
Phone: (816) 581-6300

SKYRIDGE RETAIL
LOT 2 - 2200 RIDGE RD,
ROCKWALL, TX 75087

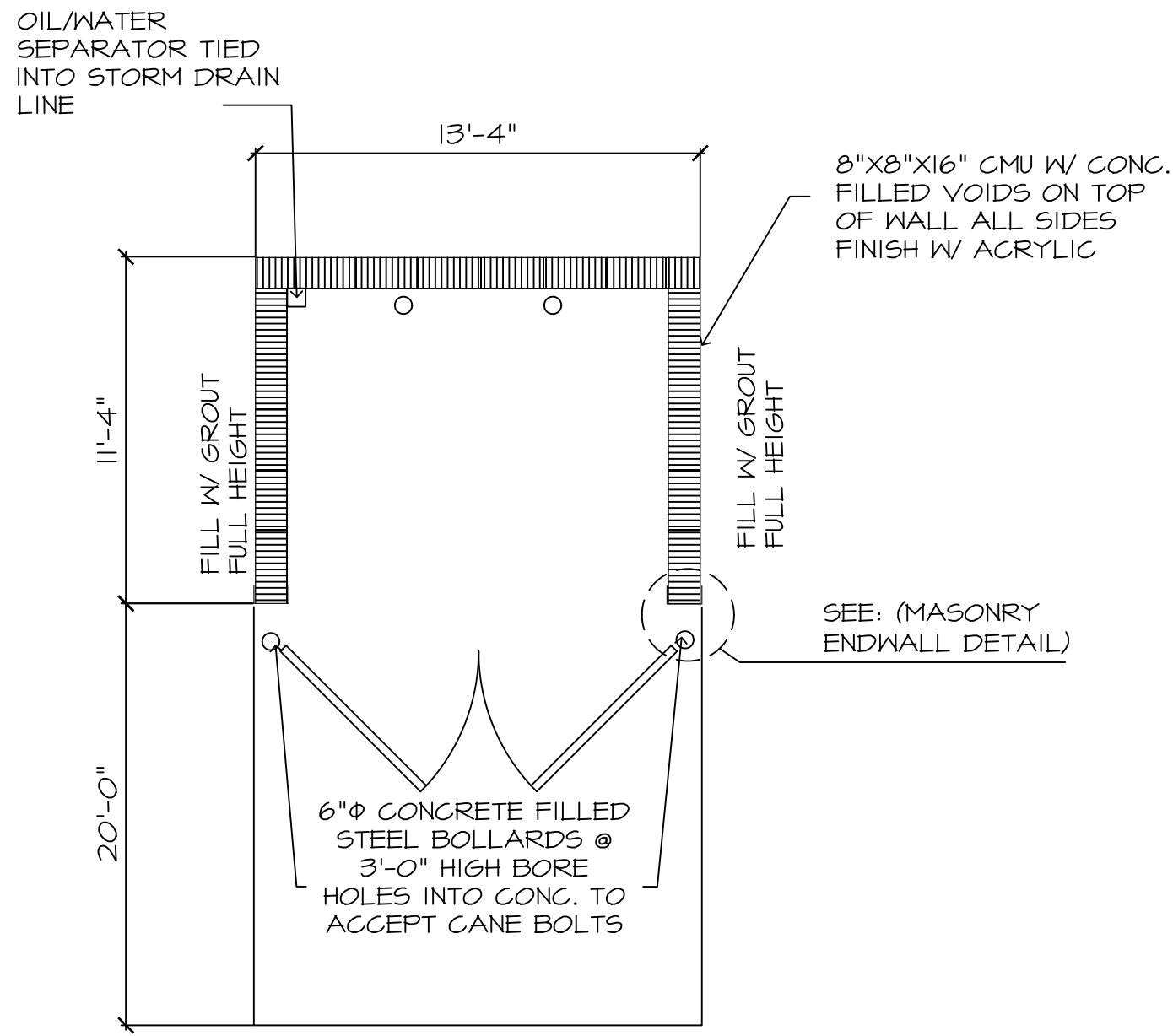
CALC-0242-SKYRIDGE RETAIL-ROCKWALL-TX

DESIGNED BY:	DJT
REVISIONS	
-	
-	
DATE:	8/27/2025

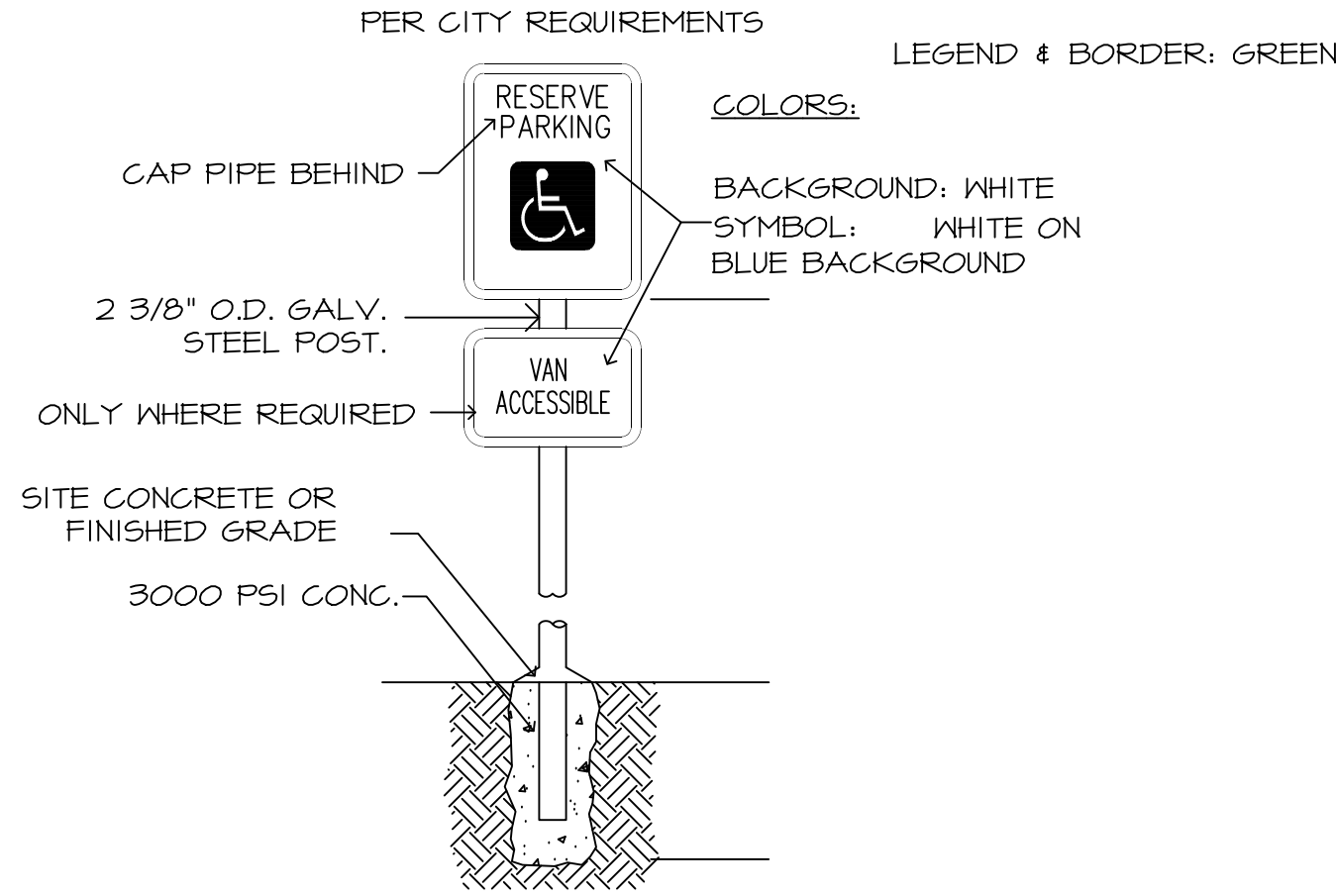
Aug 28/2025 10:14am hengz
C:\Users\hengz\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKY RIDGE ADDITION\8-SHEET_SETS\CA-1-CONSTRUCTION DETAILS Ldg



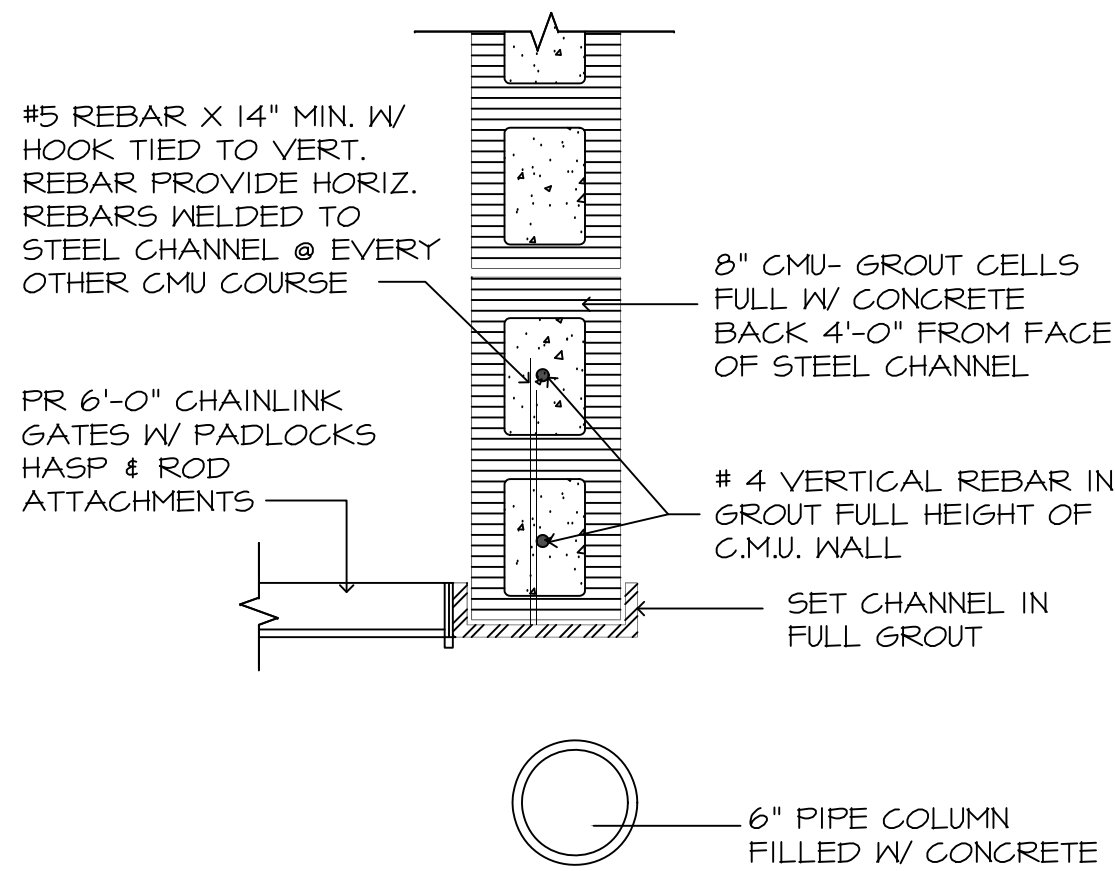
DETAIL - HANDICAP PARKING GRAPHICS
SCALE: NONE



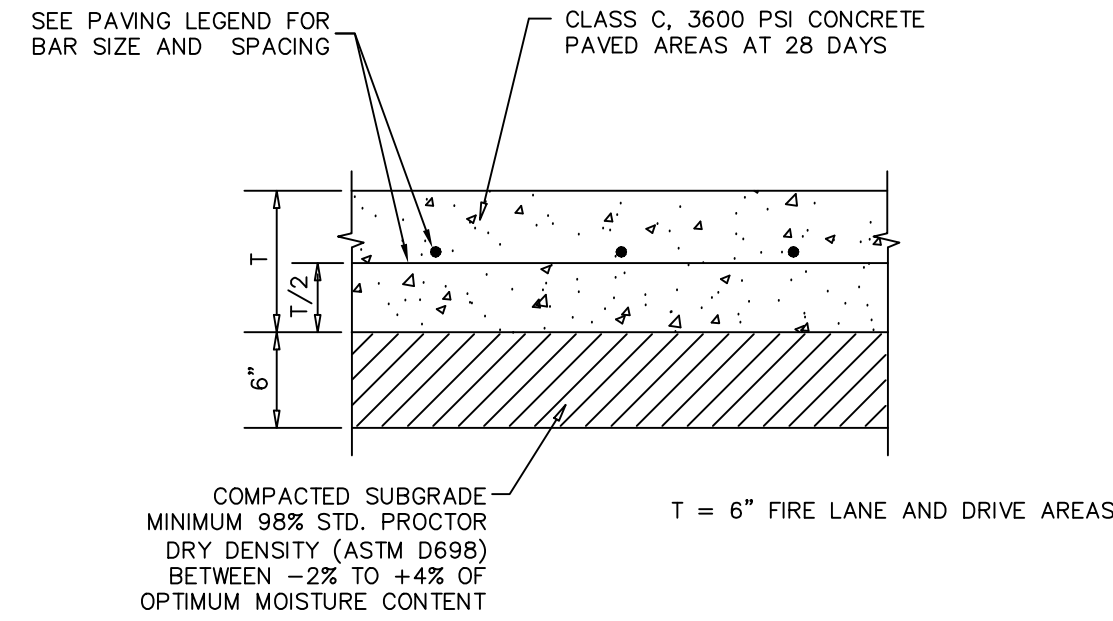
TRASH ENCLOSURE PLAN
SCALE: NONE



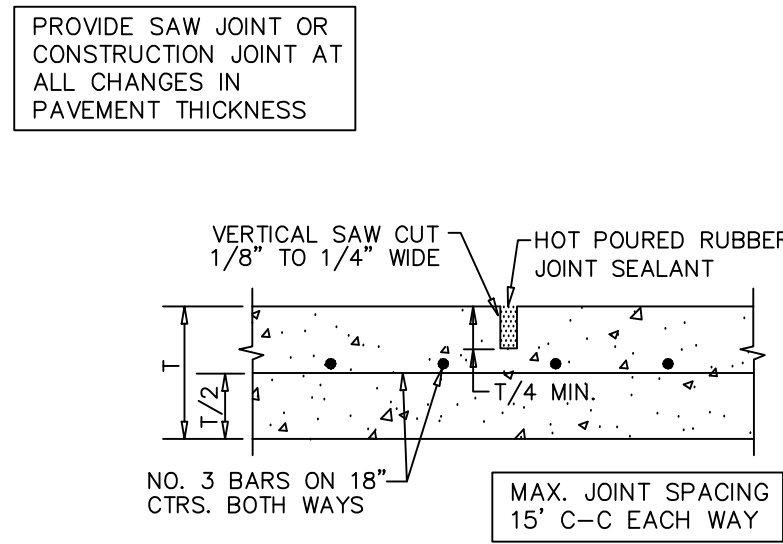
DETAIL - HANDICAP SIGN
SCALE: NONE



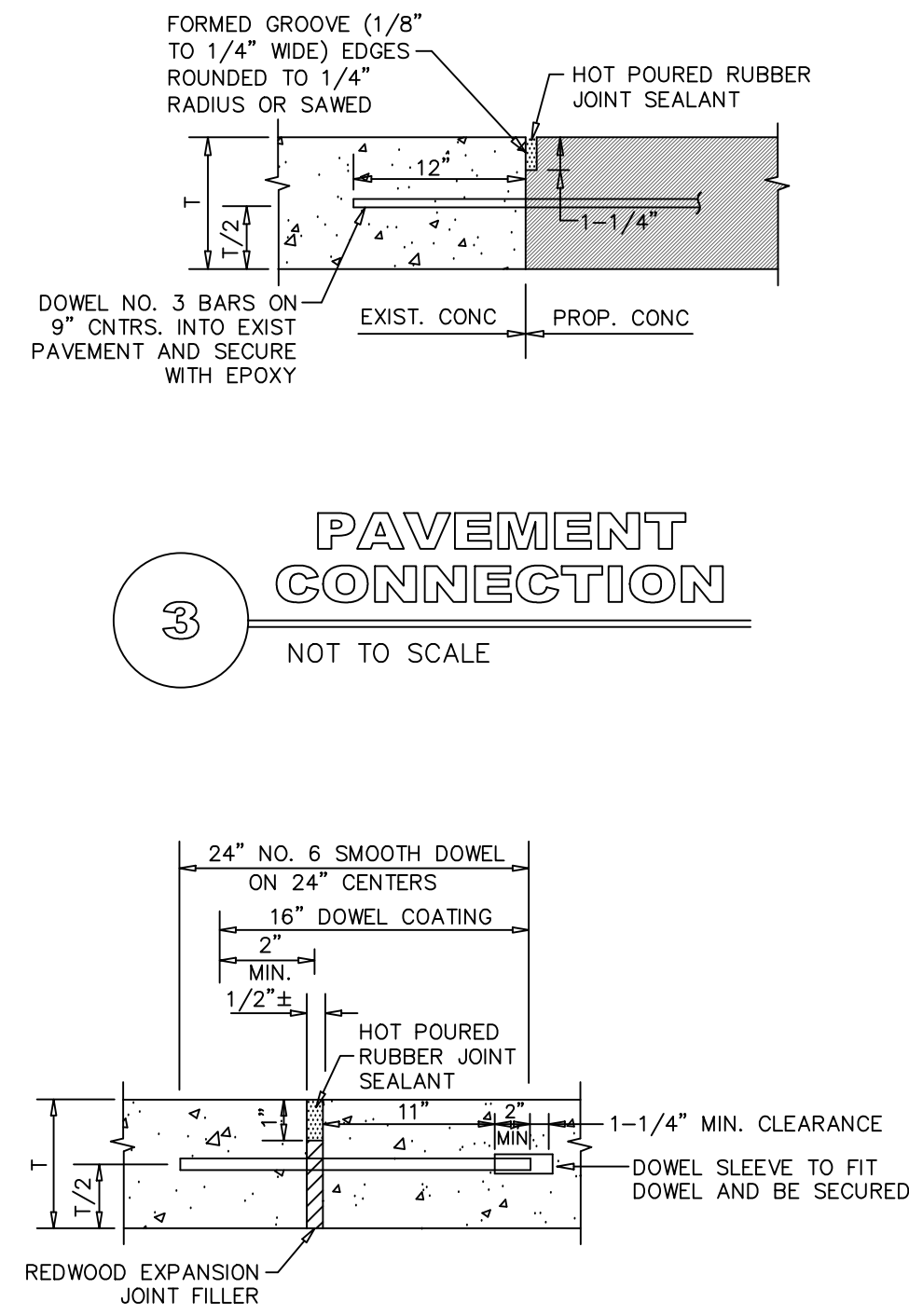
MASONRY ENDWALL DETAIL
SCALE: NONE



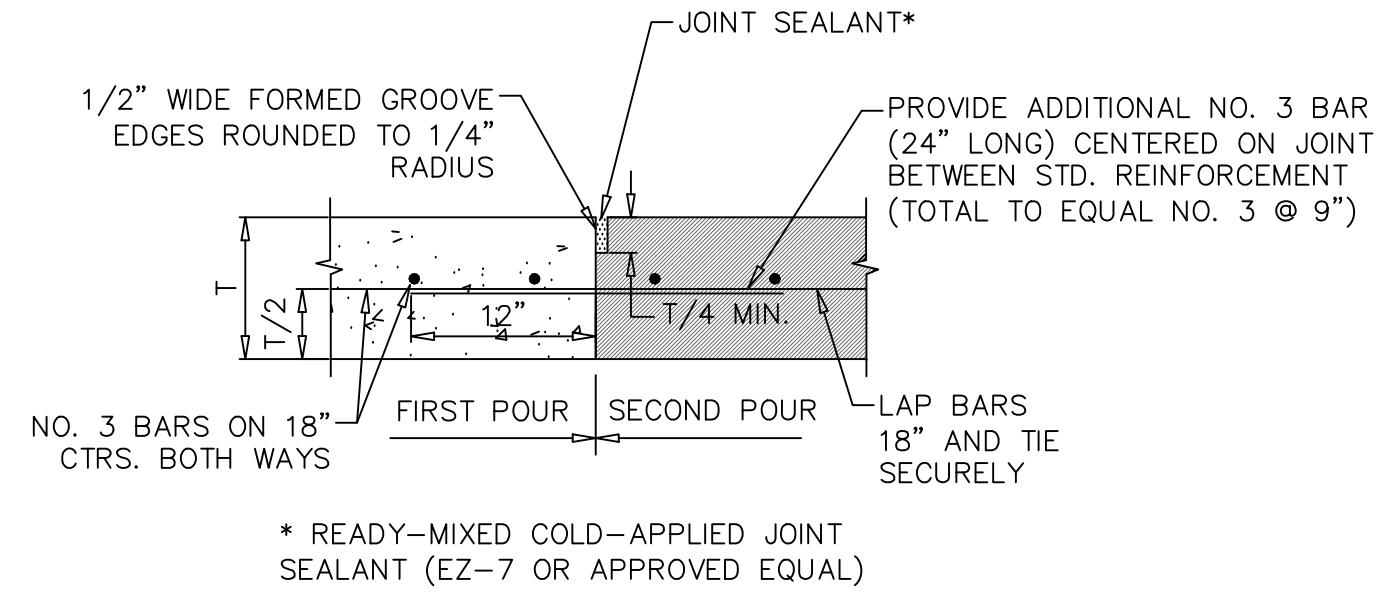
1 PAVEMENT SECTION
NOT TO SCALE



2 SAWED DUMMY JOINT
NOT TO SCALE



4 EXPANSION JOINT
NOT TO SCALE



5 CONSTRUCTION JOINT
NOT TO SCALE

REVISIONS		DESIGN		DATE		JOB#	
Approved	Description	HNC	HNC	DATE	DATE	DATE	DATE

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

Job#: 25001

SITE DETAILS

C8.1

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Texas Registered Engineering Firm F-16239

Henry T. Nguyen
REGISTERED PROFESSIONAL ENGINEER
71065

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