



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22025-029

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☒ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 609 E Rusk Street

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Corner of Rusk and N Clark Street

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-7 Medium Density Residential

CURRENT USE Community Theater

PROPOSED ZONING New PD

PROPOSED USE Community Theater and Practice Hall

ACREAGE 1.0061 Acres

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

☐ APPLICANT Architect

CONTACT PERSON Darlene Singleton

CONTACT PERSON Jonathan Brown, AIA

ADDRESS Rockwall Community Playhouse
609 E Rusk Street

ADDRESS JHP Architecture/Urban Design
8340 Meadow Road, Dallas, TX 75231

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Dallas, TX 75231

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Darlene Singleton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

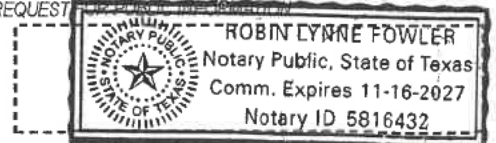
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6-4-25 DAY OF June, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 4th DAY OF June, 2025

OWNER'S SIGNATURE

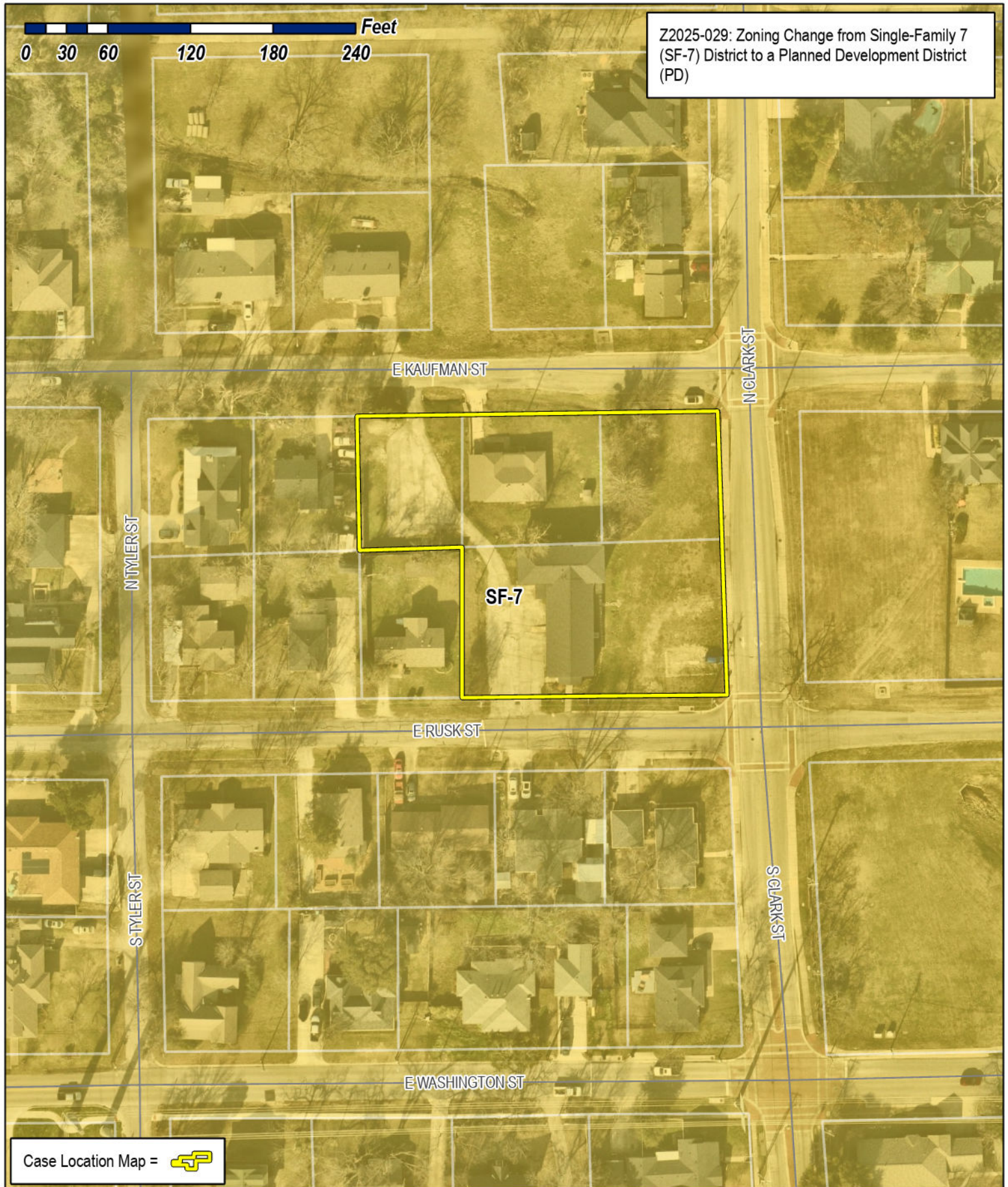
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Robin L. Fowler



MY COMMISSION EXPIRES

11-16-27



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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SOUTHWESTERN BELL TELEPHONE CO
ATTN: PROPERTY TAX DEPARTMENT
1010 Pine St # 9E-L-01
Saint Louis, MO 63101

QUINTON BILLY & AUTUMN
102 N TYLER ST
ROCKWALL, TX 75087

RESIDENT
102 S CLARK ST
ROCKWALL, TX 75087

GATES ROBERT V & CHRISTI C
104 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
106 S CLARK ST
ROCKWALL, TX 75087

KUPPER LEROY J ET UX
108 ELM CREST DR
ROCKWALL, TX 75087

HARPER LYDIA
1200 CLEVELAND STREET APT 327
DENTON, TX 76201

SMILEY KAREN APRIL
INDEPENDENT ADMINISTRATOR - ESTATE OF
ROBERT THOMAS WIKTORCH
1319 Nevarc Rd
Warminster, PA 18974

RESIDENT
180 SAN ANTONIO ST
ROCKWALL, TX 75087

MORGAN MARY FRANCES COLEY
180 SAN ANTONIO STREET
ROCKWALL, TX 75087

WIMPEE JOE AND
BEAU WIMPEE
1800 DALTON RD
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES 9 LLC
2 MANOR COURT
HEATH, TX 75032

RESIDENT
201 N CLARK ST
ROCKWALL, TX 75087

JORDAN JOHN & ALLISON
201 S Clark St
Rockwall, TX 75087

RAGSDALE DONALD K & FRANCES
202 N CLARK ST
ROCKWALL, TX 75087

RAGSDALE DONALD KIRK
202 N CLARK ST
ROCKWALL, TX 75087

RICH LISA
202 S CLARK ST
ROCKWALL, TX 75087

EDWARDS MORGAN BROOKE
203 N Clark St
Rockwall, TX 75087

RESIDENT
204 S CLARK ST
ROCKWALL, TX 75087

CAWTHON RICK AND PAULETTE DENISE
205 N CLARK ST
ROCKWALL, TX 75087

FOX JONATHAN
205 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
205 S CLARK ST
ROCKWALL, TX 75087

MCDONALD ROBERT G & MICHELLE A
206 N CLARK ST
ROCKWALL, TX 75087

RESIDENT
206 S CLARK ST
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE
207 WADE DRIVE
ROCKWALL, TX 75087

RESIDENT
210 TYLER ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

RESIDENT
211 TYLER ST
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

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DALLAS, TX 75214

MUNSON PARTNERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

RESIDENT
301 NASH ST
ROCKWALL, TX 75087

GLASS JERRY
301 MEADOWDALE DR
ROCKWALL, TX 75087

JOHNSON REVOCABLE LIVING TRUST
JOHNNY L AND JANICE W JOHNSON TRUSTEES
303 N CLARK ST
ROCKWALL, TX 75087

RESIDENT
304 N CLARK ST
ROCKWALL, TX 75087

DAVIS SHANN M
306 N CLARK ST
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA
3111 ANNETTE CT
GARLAND, TX 75044

RESIDENT
405 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
406 E KAUFMAN
ROCKWALL, TX 75087

RESIDENT
406 E RUSK
ROCKWALL, TX 75087

BOSS MORRIS E & DEBRA KAY
408 RIDGEVIEW DR
ROCKWALL, TX 75087

BARTON SHANNON G
501 E. KAUFMAN
ROCKWALL, TX 75087

TAMEZ PEDRO ET EX
502 E RUSK ST
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E
502 WILLIAMS ST
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R
503 E KAUFMAN
ROCKWALL, TX 75087

ARCHER KERRY ANNE
503 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
503 E WASHINGTON
ROCKWALL, TX 75087

CROW CAROL RICHARDSON
504 WILLIAMS
ROCKWALL, TX 75087

RESIDENT
505 E KAUFMAN
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX
505 E WASHINGTON ST
ROCKWALL, TX 75087

PYRON MARSHA G
505 PETERSON ST
ROYSE CITY, TX 75189

BIRKENBACK JOSSEPH M & OLGA M
506 E RUSK ST
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W
507 E RUSK ST
ROCKWALL, TX 75087

FRASIER MICHAEL H AND HEATHER C
510 WILLIAMS
ROCKWALL, TX 75087

FRASIER MICHAEL H AND HEATHER C
510 WILLIAMS
ROCKWALL, TX 75087

BETHEL TEMPLE BAPTIST
520 E WASHINGTON STREET
ROCKWALL, TX 75087

RESIDENT
601 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
601 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
601 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
602 E RUSK
ROCKWALL, TX 75087

PIERATT NATHAN AND SARA
602 E WASHINGTON ST
ROCKWALL, TX 75087

PATRICIA EDWARDS REVOCABLE TRUST
602 WILLIAMS ST
ROCKWALL, TX 75087

WALKER KELLI & JESSICA
603 E RUSK ST
ROCKWALL, TX 75087

WALKER KELLI & JESSICA
603 E Rusk St
Rockwall, TX 75087

GALVAN CARMAN
604 E KAUFMAN ST
ROCKWALL, TX 75087

HORNER ANDREA J
604 E. RUSK ST
ROCKWALL, TX 75087

HARPER VICKI DAWSON
605 E KAUFMAN ST
ROCKWALL, TX 75087

HARPER VICKI DAWSON
605 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
605 E RUSK
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE
605 E WASHINGTON STREET
ROCKWALL, TX 75087

CARSON HEATHER
606 E WASHINGTON ST
ROCKWALL, TX 75087

WILLIAMS JERRY LANE
608 E RUSK ST
ROCKWALL, TX 75087

WALLACE KATHERINE
608 E WASHINGTON ST
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE
609 E RUSK ST
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 EAST WASHINGTON STREET
ROCKWALL, TX 75087

RESIDENT
610 E KAUFMAN
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
702 E INTERURBAN ST
ROCKWALL, TX 75087

RESIDENT
706 INTERURBAN ST
ROCKWALL, TX 75087

RESIDENT
801 E WASHINGTON
ROCKWALL, TX 75087

BRYANT RANDALL E
811 S MAGNOLIA ST
ROCKPORT, TX 78382

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L Townsend Dr Ste 100
Rockwall, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

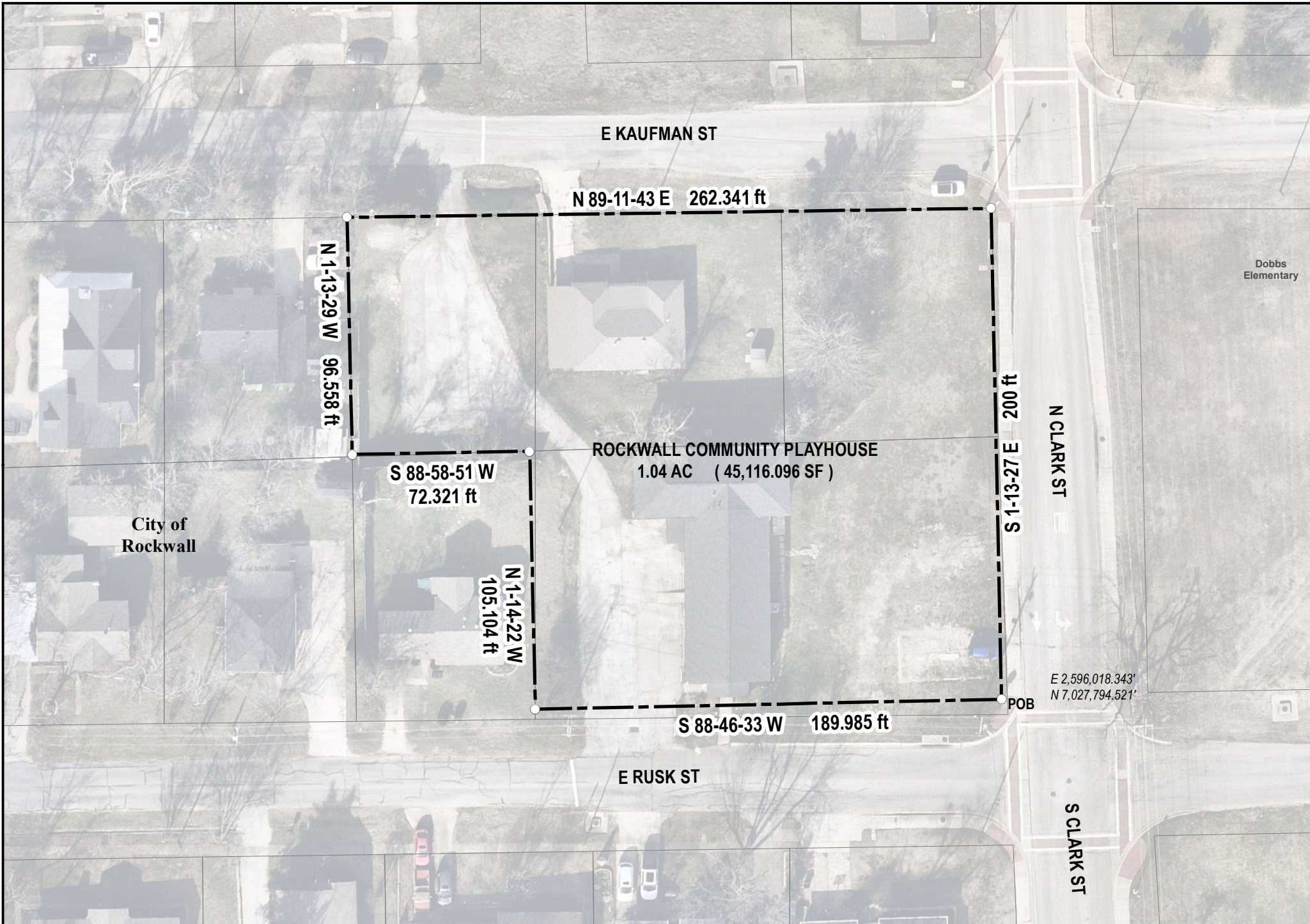
HENISEY CHUCK
PO BOX 797501
DALLAS, TX 75379

Legal Description

BEING 1.04 acres of land situated in Abstract 14, B.F. Boydstun Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING in the Northwest corner of North Clark Street and East Rusk Street, RCAD#14333, (*NAD83 Texas State Plane GPS Coordinate (Grid): E 2,596,018.343, N 7,027,794.521 Feet*);

- 1 **THENCE** South 88°-46'-33" West, along the Northern Right of Way of East Rusk Street, a distance of 189.985 feet for a corner;
- 2 **THENCE** North 01°-14'-22" West, a distance of 105.104 feet for a corner;
- 3 **THENCE** South 88°-58'-51" West, a distance of 72.321 feet for a corner;
- 4 **THENCE** North 01°-13'-29" West, a distance of 96.558 feet for a corner;
- 5 **THENCE** North 89°-11'-43" East, along the Southern Right of Way of East Kaufman Street, a distance of 262.341 feet for a corner;
- 6 **THENCE** South 01°-13'-27" East, along the Western Right of Way of North Clark Street, a distance of 200.00 feet to the POINT OF BEGINNING AND CONTAINING 1.04 acres of land (45,116.096 square feet) more or less.



City of
Rockwall

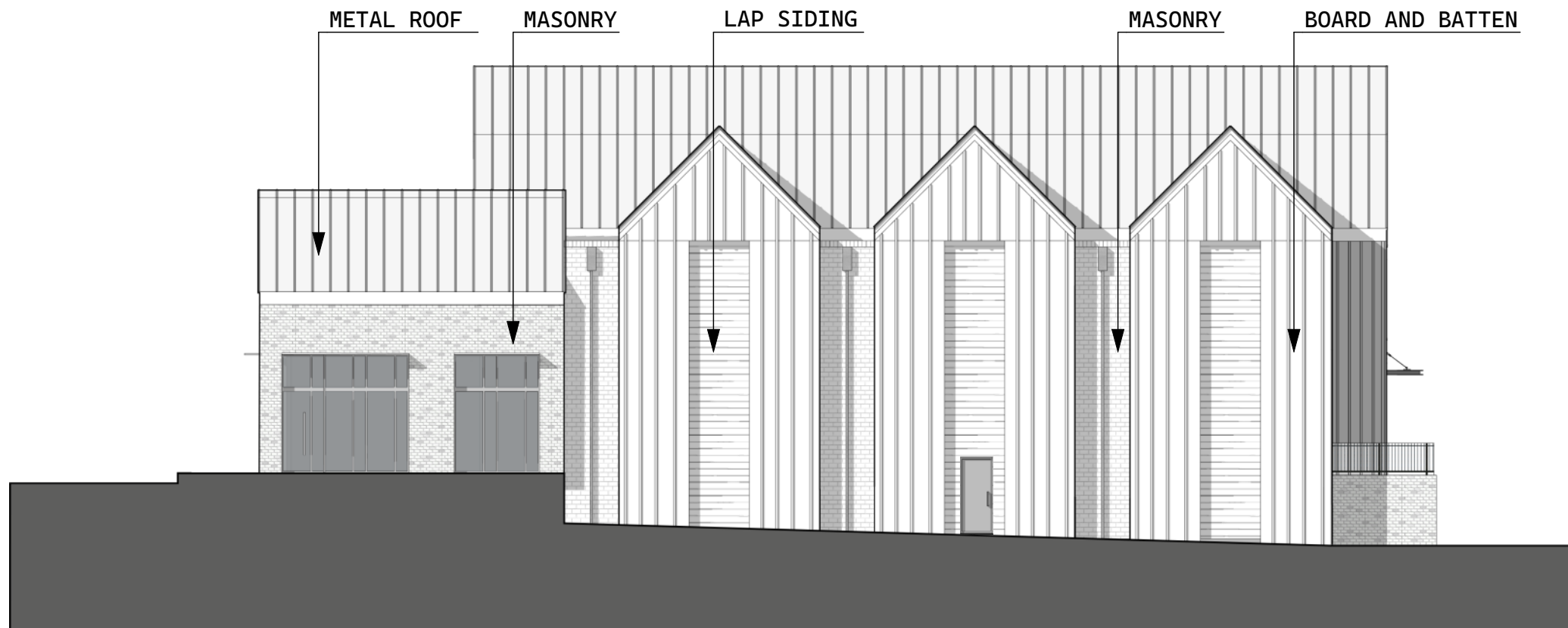


0 50 Feet

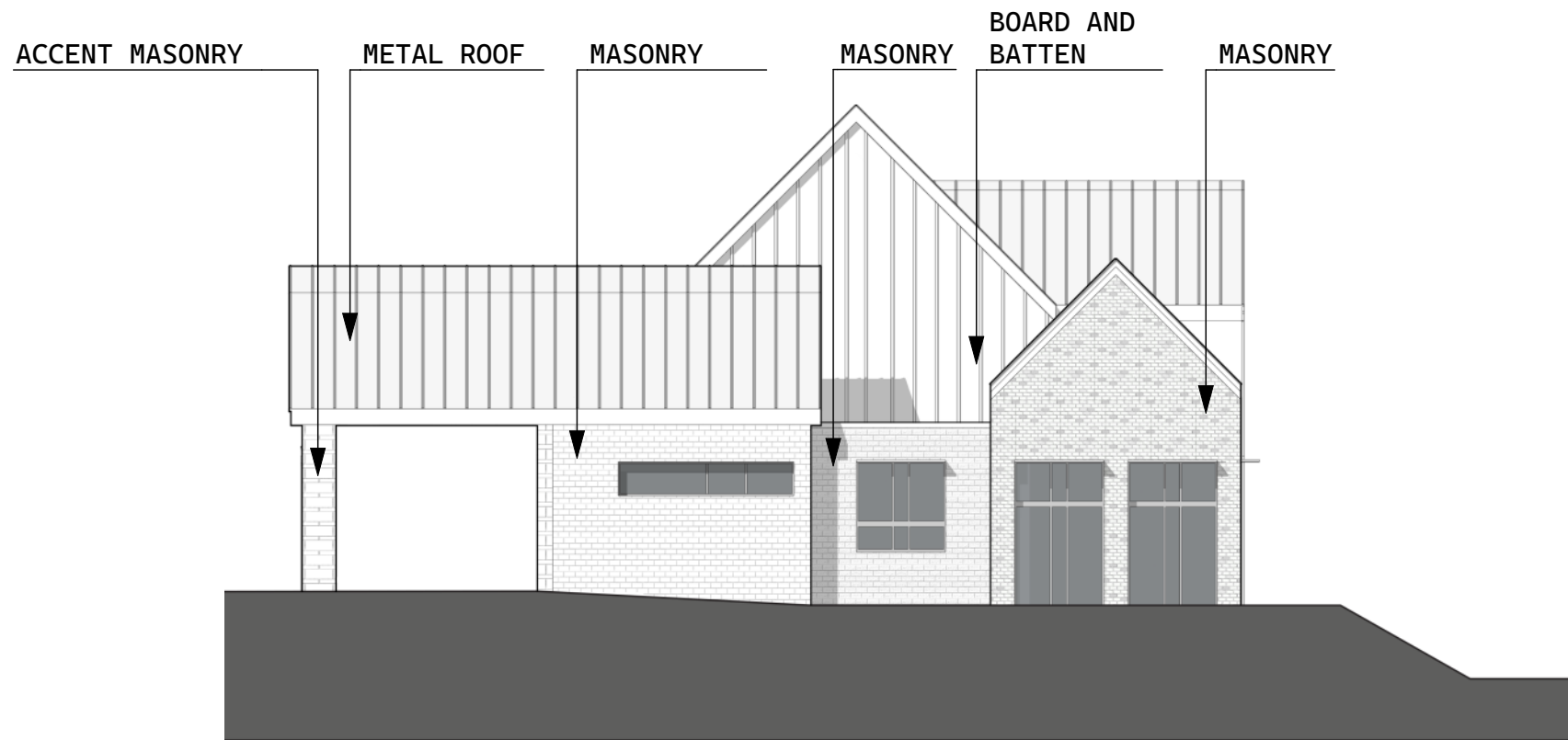
Date: 6/12/2025

1 inch = 50 feet

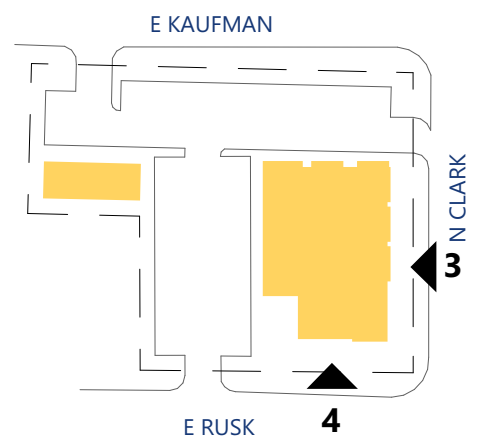
H2025-013



3 | THEATER - EAST ELEVATION
Scale: 1/16" = 1'-0"

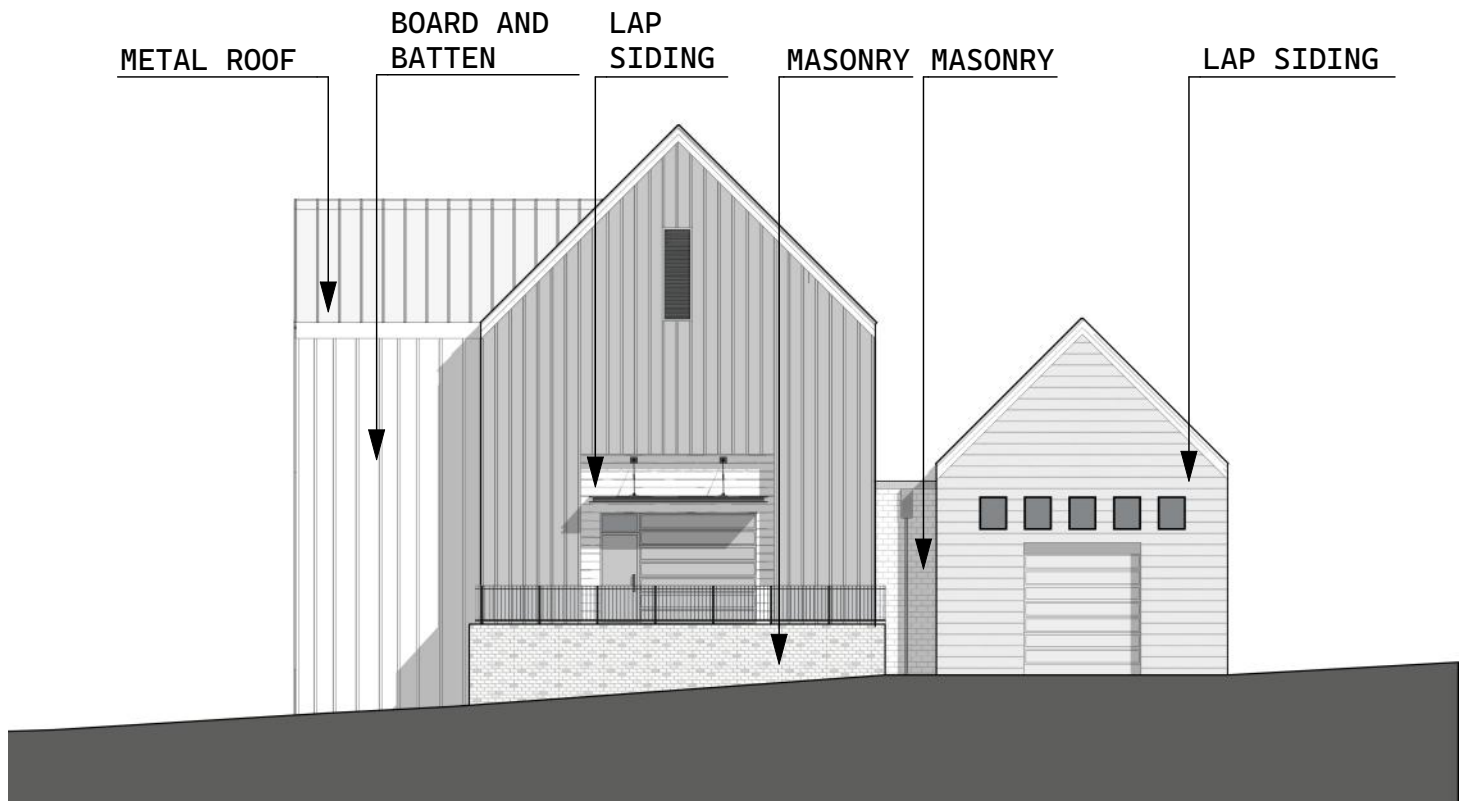


4 | THEATER - SOUTH ELEVATION
Scale: 1/16" = 1'-0"

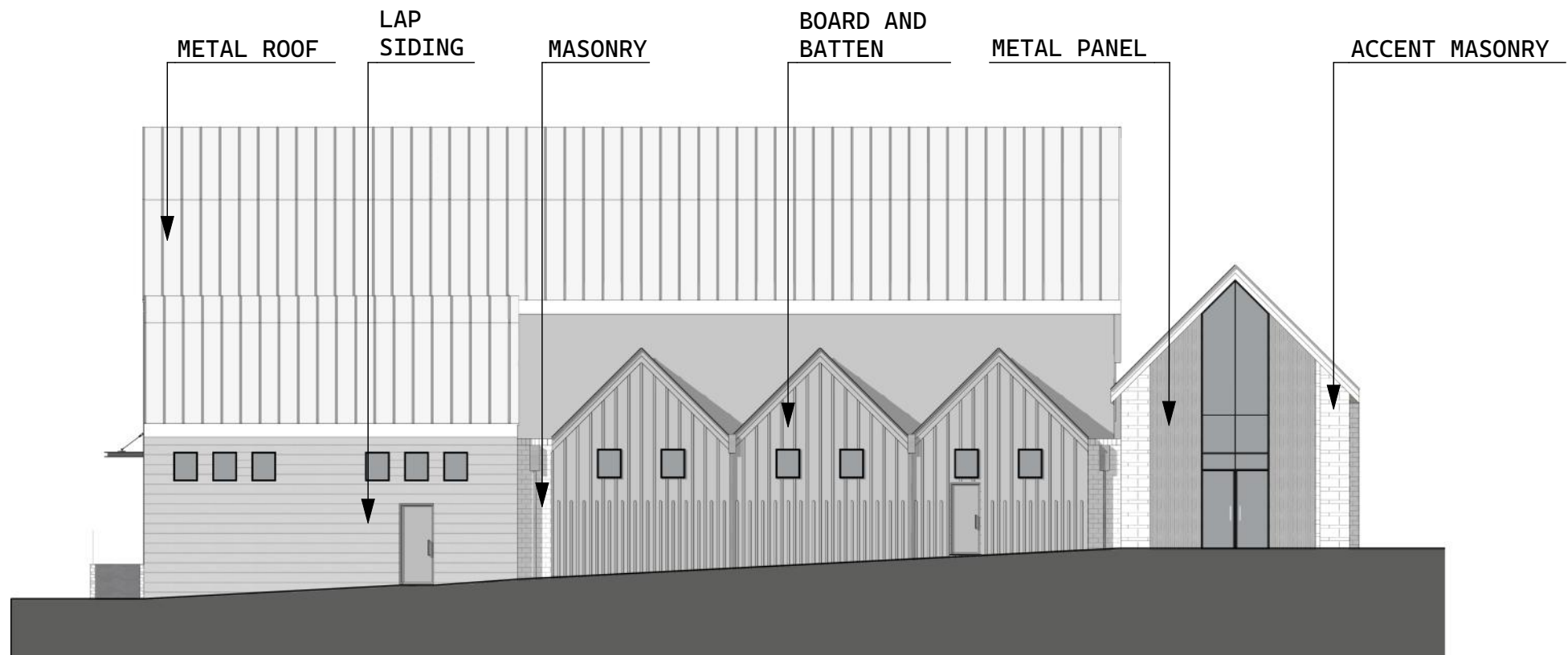


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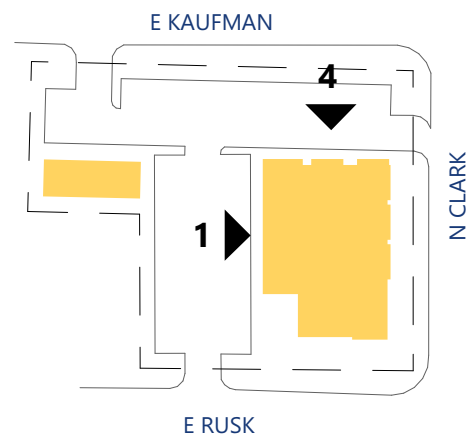
Key Plan
NOT TO SCALE



4 | THEATER - NORTH ELEVATION
Scale: 1/16" = 1'-0"

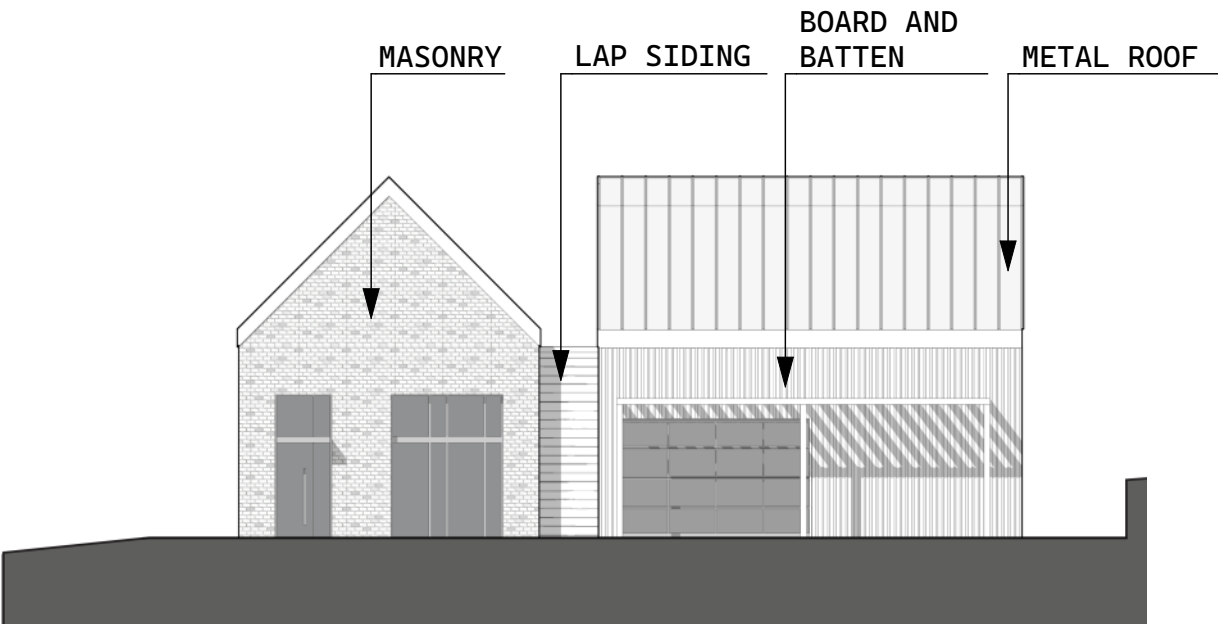


1 | THEATER - WEST ELEVATION
Scale: 1/16" = 1'-0"

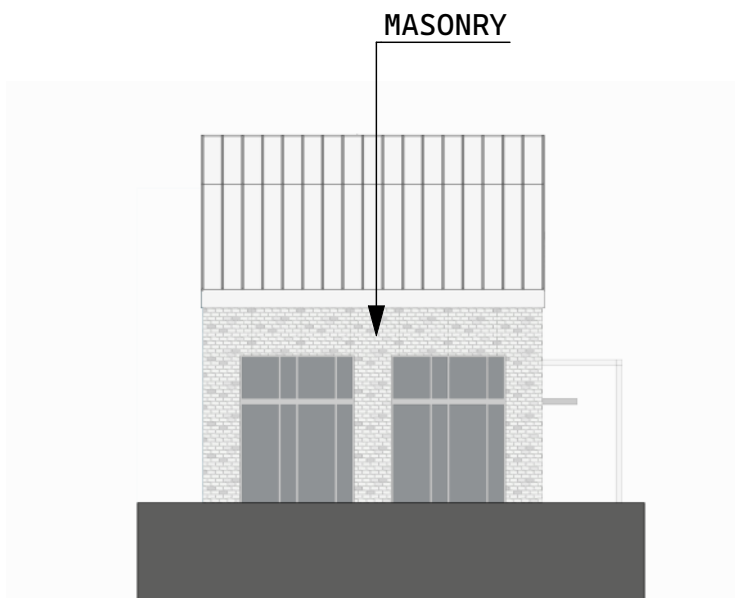


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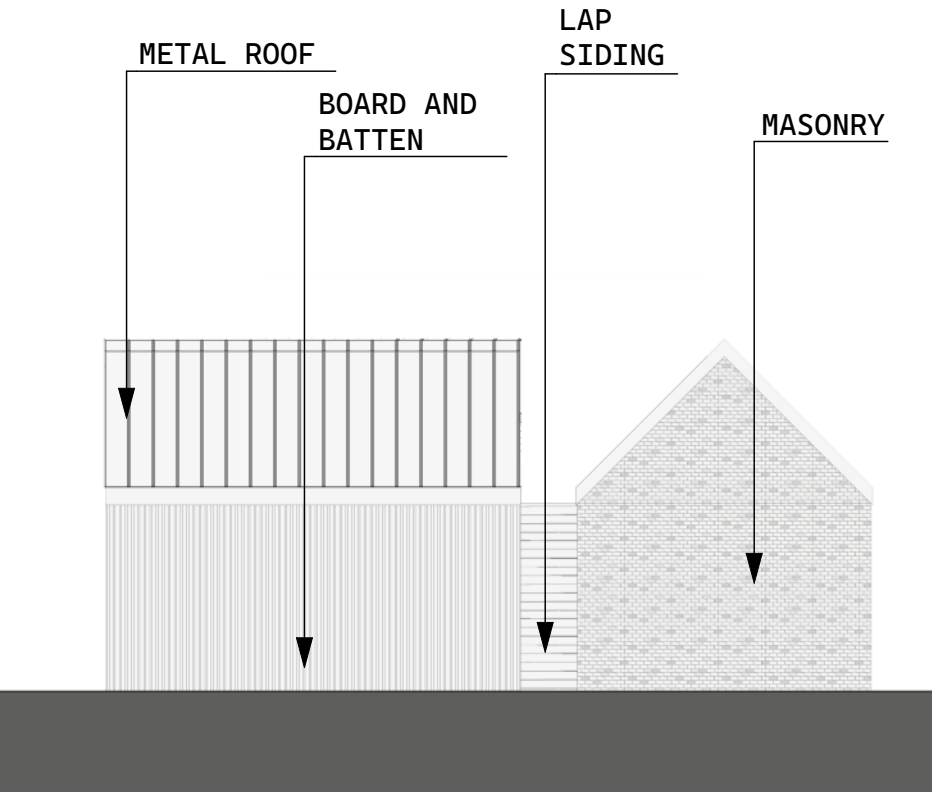
Key Plan
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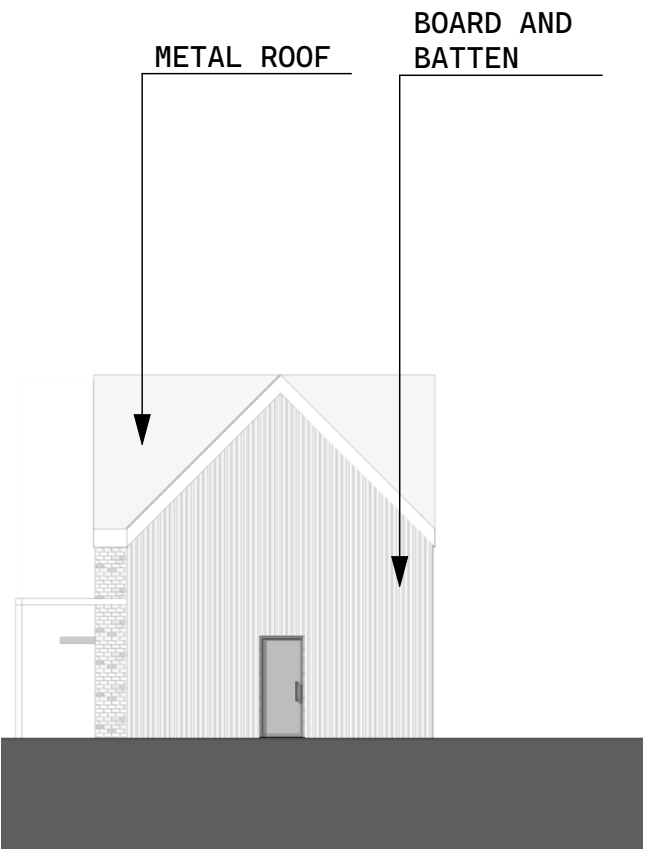
2 | PRACTICE HALL - NORTH ELEVATION
Scale: 1/16" = 1'-0"



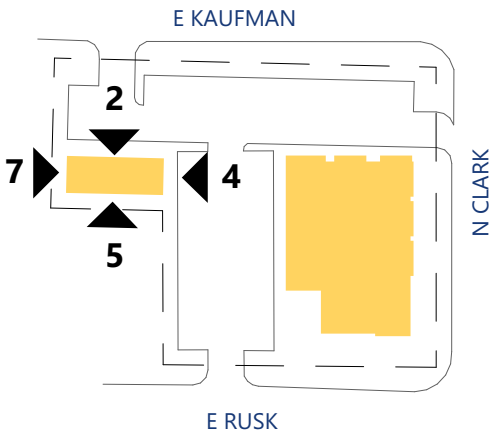
4 | PRACTICE HALL - EAST ELEVATION
Scale: 1/16" = 1'-0"



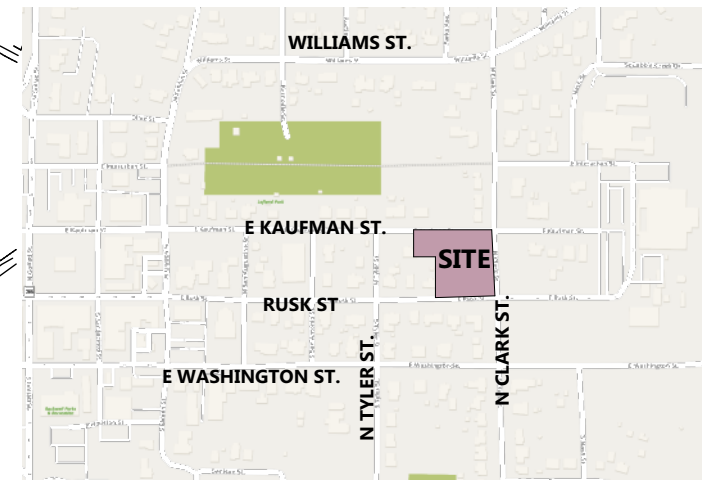
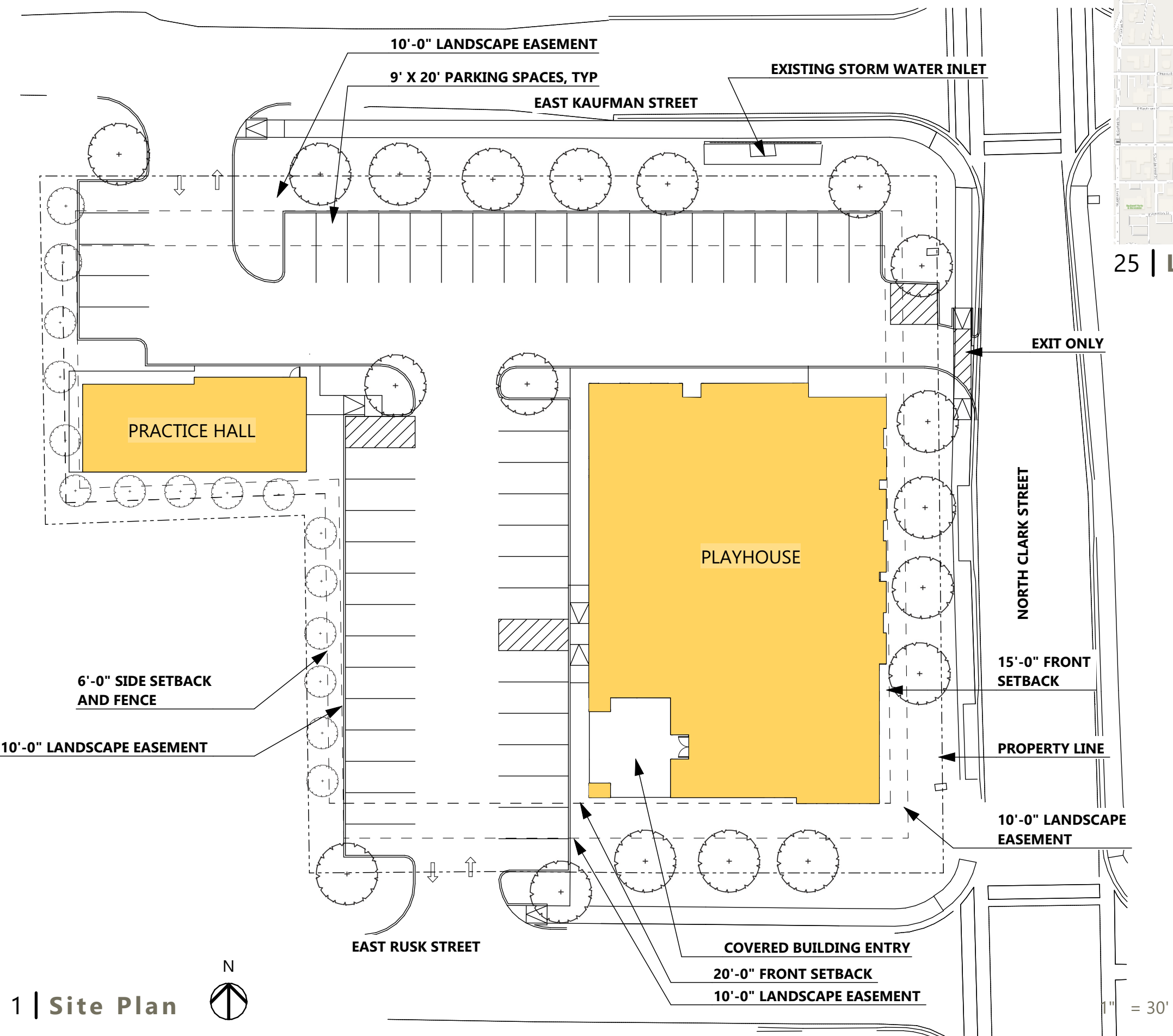
5 | PRACTICE HALL SOUTH ELEVATION
Scale: 1/16" = 1'-0"



7 | PRACTICE HALL - WEST ELEVATION
Scale: 1/16" = 1'-0"



1 | Key Plan
NOT TO SCALE



25 | Location Map

SITE PLAN NOTES AND LEGEND	
---	SETBACK LINE
----	PROPERTY LINE
PROJECT DATA	
SITE:	0.805 AC (35,065.8 SF)
CURRENT LAND USE:	84 SEAT COMMUNITY THEATER
PROPOSED LAND USE:	160 SEAT COMMUNITY THEATER
THEATER:	9,700 SF
PRACTICE HALL:	2,000 SF
TOTAL:	11,700 SF
PARKING PROVIDED:	52 SPACES

1 | Site Plan



Rockwall Community Playhouse
Rockwall, Texas

SITE PLAN

Copyright © JHP 2025. Not for
Regulatory Approval, Permit or
Construction. Carl M. Malcolm, Registered
Architect of State of Texas, Registration
No. 23379.

#2019009 thaole



Rockwall Community Playhouse
PD Ordinance Development Standards - DRAFT

Standards	Downtown District (DT) Code (Base Zoning)	Proposed with Planned Development (PD)
Setbacks & Lot Standards		
Front yard along E Kaufman	18 FT	20 FT
Front yard along E Clark	18 FT	15 FT
Front yard along E Rusk	20 FT	Compliant
Side Yard (adjacent to residential)	20 FT	10 FT
Build to (setback) measured from:	Street back of curb	Street right of way
Perimeter landscape buffer adjacent to public right-of-way	10 FT	Compliant
Perimeter landscape buffer adjacent to residential	20 FT	10 FT
Residential Proximity Slope	NA	None required
Minimum Lot Area	NA	NA
Minimum Lot Width	NA	NA
Minimum Lot Depth	NA	NA
Minimum Block Length	200 FT	Compliant
Maximum Block Length	600 FT	Compliant
Pedestrian walkway width	10-FT	4-FT
Building Height & Architectural Standards		
Max Building Height	2 stories	1 story; max 55 FT height
Min Building Height	2 stories	1 story
Requirement of tri-partite architecture?	Yes	No
Minimum window reveal	4"	No reveal required
Minimum inset requirement of primary entry from front building plane	5 FT	0 FT
Minimum spacing of functioning entries	30-FT	No minimum requirement
Can architectural elements of the primary building façade encroach beyond the build-to (setback) line?	Yes; 5-FT encroachment allowed with minor waiver	Yes; 15-FT encroachment (including doors, doors, flatwork) allowed without minor waiver
Min. façade requirements for ground floor exterior walls	100% brick, natural or cast stone	Min. 10% masonry; unlimited lap siding and board and batten; 20% max on all other materials (metal panel, etc.)
Overall Min. façade requirements for exterior walls facing street right-of-way	85% brick, natural or cast stone (excluding windows, doors, and other openings)	Min. 10% masonry; unlimited lap siding and board and batten; 20% max on all other materials (metal panel, etc.)
Windows and glazing	Minimum 30% and maximum 70% of each building elevation	No minimum (NA; theatre use)
Building color requirements	Dominant color of all buildings shall be muted shades of warm gray, red, green, beige and/or brown	Color requirements shall be approved at staff level during site plan process
Roof color requirements	Shall be a shade of cool gray, warm gray, brown or red	Color requirements shall be approved at staff level during site plan process
Non-residential at grade	Ground floor entry must be located at the approx. elevation of adjacent sidewalk	This shall only apply to main entry at west building face
Landscape Requirements		
Street Trees	Planted 20 FT on center	Compliant
Min. parking lot screening height	3 FT	Compliant
Min. parking lot screening opacity	80%	Compliant
Allowed parking lot screening materials	Evergreen plant materials	Compliant
Min. frequency of landscape islands	Every 10 parking spaces	No parking lot landscape islands required
Fencing requirements adjacent to residential	Masonry fence a minimum of 6 FT in height with canopy trees planted on 20-FT centers	Min 6 FT height board on board wood fencing
Retaining walls permitting within landscape buffer?	-	Yes
Parking & Access		
Min. offstreet parking required for theatre	1 space per 3 seats	1 space per 3.5 seats
Min. bicycle parking	1 space per 10 automobile parking spaces	Parking requirements to be approved at staff level during site plan process
Min. driveway spacing	200 FT	Right turn exit only onto Clark Street shall be permitted
Lighting, Mechanical & Refuse		
Photometric requirements	-	Photometrics shall be approved at staff level during site plan process
Required fixture	-	Fixtures to be approved at staff level during site plan process
Refuse requirements	-	No onsite commercial dumpster will be required. Residential trash bins shall be permitted.
LED lighting permitted	No	Yes
Permitting Process		
Downtown development plan required for building permit?	Yes	No