



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☒ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 924 North Alamo Rd Rockwall, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential A-1

CURRENT USE Residential A-1

PROPOSED ZONING PD50

PROPOSED USE Residential A-1

ACREAGE .2080

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Caroline Harklau

☒ APPLICANT Caroline Harklau

CONTACT PERSON

CONTACT PERSON

ADDRESS 312 Dartbrook

ADDRESS 312 Dartbrook

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Rockwall, Texas 75087

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

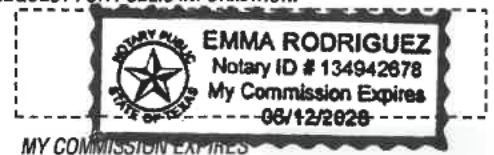
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9th DAY OF June, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Caroline Harklau
Emma Rodriguez



MY COMMISSION EXPIRES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

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DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☒ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 975 N. Alamo Rd. Rockwall, TX 75087

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential A-1

CURRENT USE Residential A-1

PROPOSED ZONING PD50

PROPOSED USE Residential A-1

ACREAGE .885 LOTS [CURRENT] _____

LOTS [PROPOSED] _____

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Strategic Management Services ☒ APPLICANT

CONTACT PERSON Dyron Durham

CONTACT PERSON Dyron Durham

ADDRESS 14124 Edgecrest Dr

ADDRESS 14124 Edgecrest Dr.

CITY, STATE & ZIP Dallas, TX 75254

CITY, STATE & ZIP Dallas, TX 75254

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dyron Durham [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

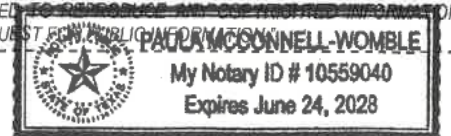
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5th DAY OF JUNE, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF JUNE, 2025.

OWNER'S SIGNATURE

Dyron Durham

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Paula McConnell-Womble



MY COMMISSION EXPIRES 06-24-28



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CITY ENGINEER:

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SITE PLAN APPLICATION FEES:

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NOTES:

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 923 N ALAMO RD, Rockwall, Tx 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION A0124 JHB JONES, TRACT 34, ACRES .50

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential A1

CURRENT USE Residential A1

PROPOSED ZONING PD 50

PROPOSED USE Residential A1

ACREAGE .50

LOTS [CURRENT]

LOTS [PROPOSED]

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OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER SHELI HUDSON

☒ APPLICANT SAME

CONTACT PERSON SHELI HUDSON

CONTACT PERSON SAME

ADDRESS 923 N ALAMO RD

ADDRESS SAME

CITY, STATE & ZIP Rockwall tx 75087

CITY, STATE & ZIP SAME

PHONE

PHONE SAME

E-MAIL

E-MAIL SAME

NOTARY VERIFICATION [REQUIRED]

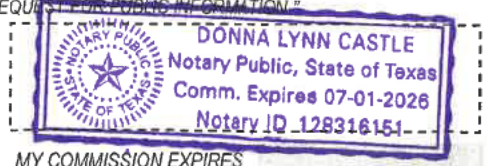
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sheli Hudson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION: ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5th DAY OF June, 20 25 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF JUNE, 20 25.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES



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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

925 N. Alamo Rd. Rockwall, Tx 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

Residential A1

CURRENT USE

Residential A1

PROPOSED ZONING

PD 50

PROPOSED USE

Residential A1

ACREAGE

.50

LOTS [CURRENT]

LOTS [PROPOSED]

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OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Mike Crawford

☒ APPLICANT

Mike Crawford

CONTACT PERSON

Mike Crawford

CONTACT PERSON

Mike Crawford

ADDRESS

925 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall, Tx 75087

CITY, STATE & ZIP

Rockwall, Tx 75087

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MIKE CRAWFORD [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 500, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5th DAY OF JUNE, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

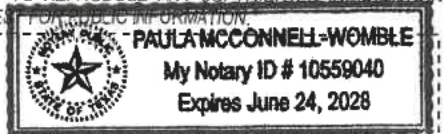
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF JUNE, 2025.

OWNER'S SIGNATURE

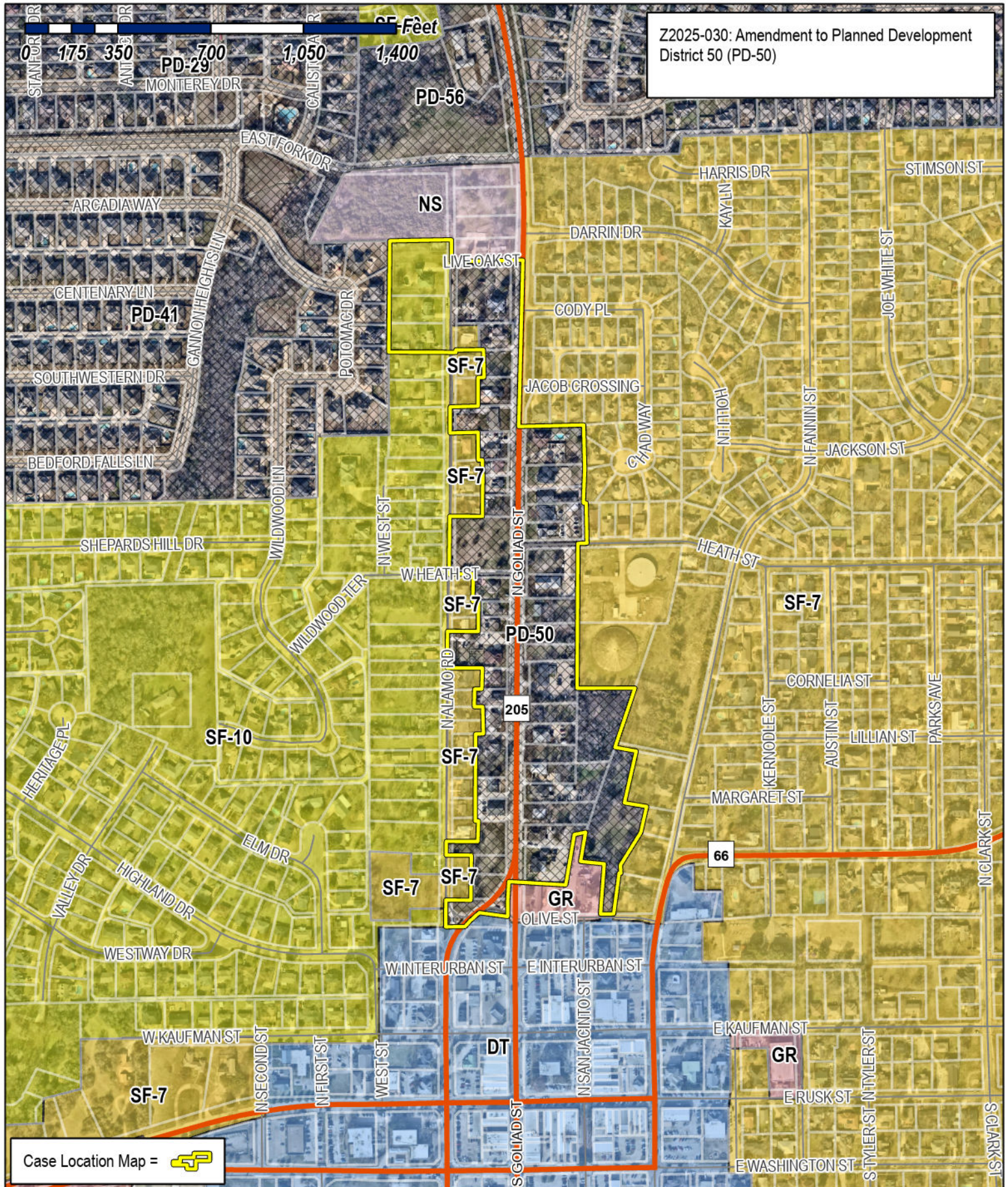
Mike Crawford

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Paula McConnell-Womble



MY COMMISSION EXPIRES 06-24-28



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

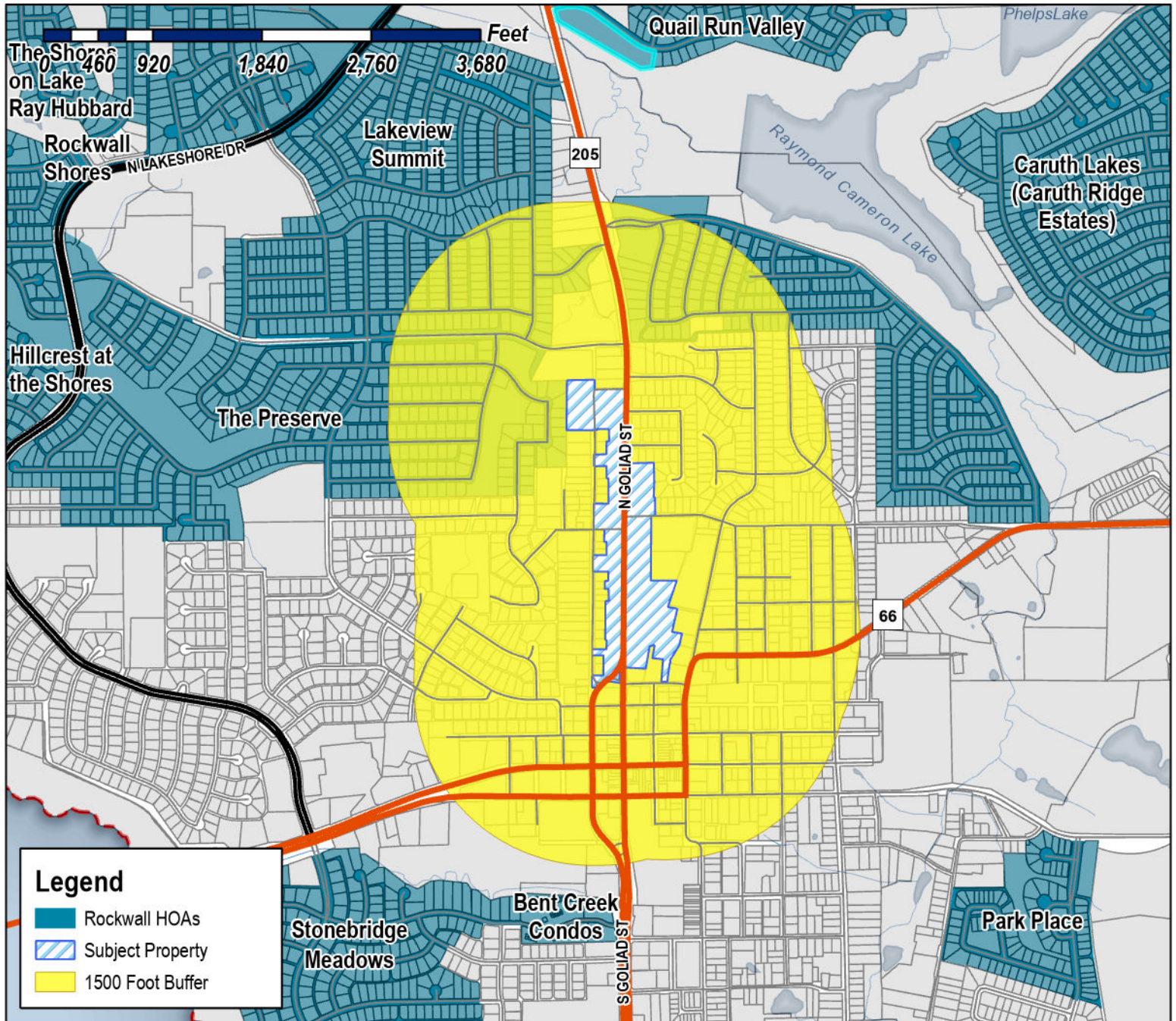




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Case Number: Z2025-030
Case Name: Amendment to Planned Development District 50(PD-50)
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)
Case Address: 923,924,925 & 975 N. Alamo

Date Saved: 6/9/2025

For Questions on this Case Call (972) 771-7745

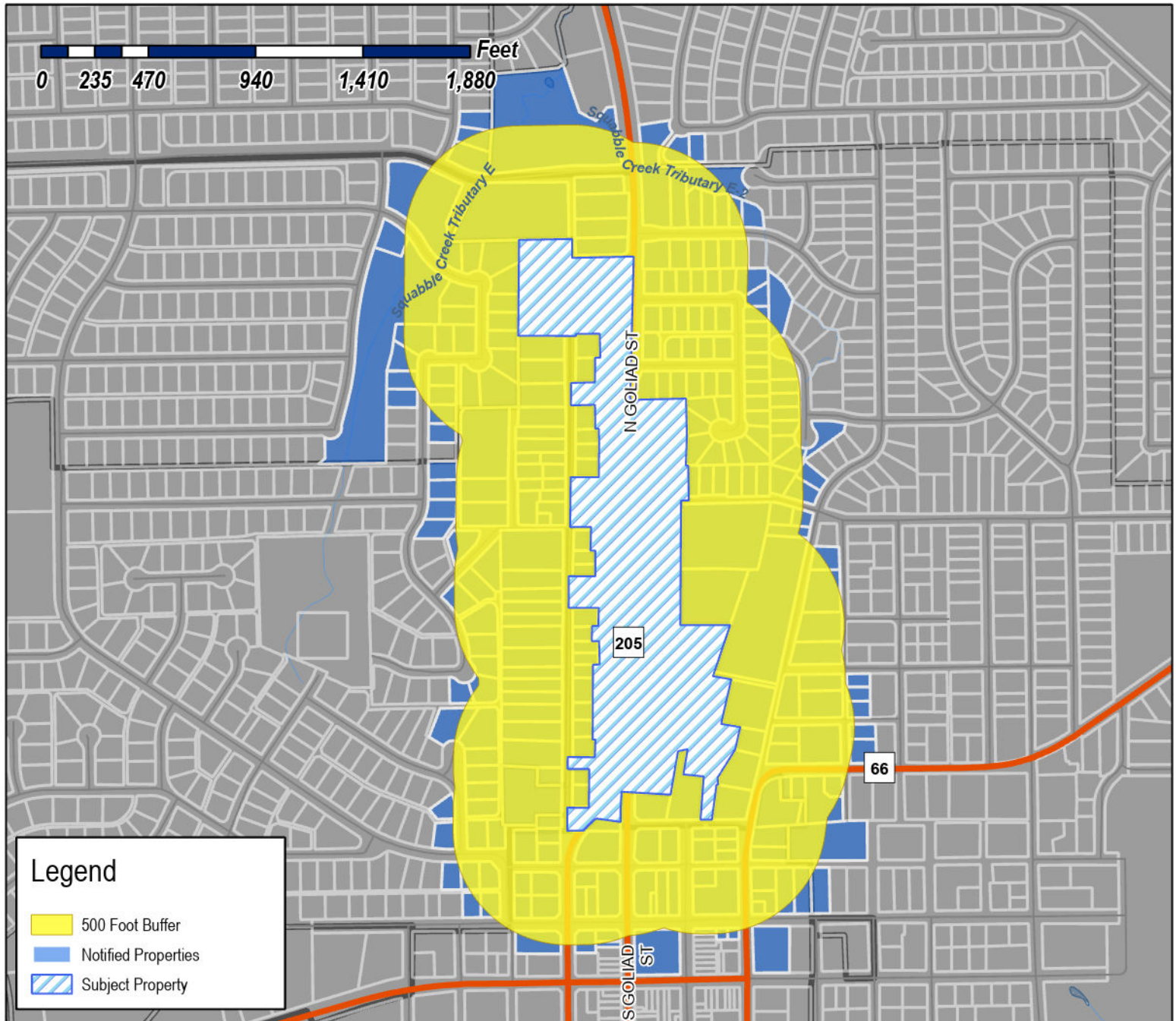




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Case Number: Z2025-030

Case Name: Amendment to Planned Development District 50(PD-50)

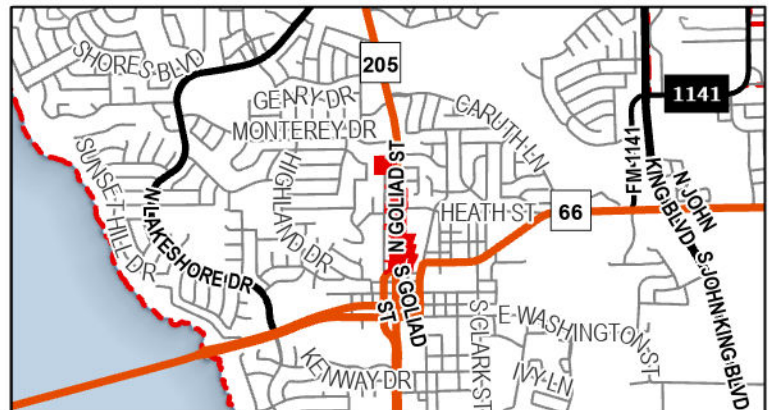
Case Type: Zoning

Zoning: Planned Development District 50 (PD-50)

Case Address: 923, 924, 925 & 975 N. Alamo

Date Saved: 6/9/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
100 E HEATH
ROCKWALL, TX 75087

PAREDES FERNANDO
1001 HOLLI LANE
ROCKWALL, TX 75087

RESIDENT
1001 N GOLIAD
ROCKWALL, TX 75087

RHODES NANCY CLAYCOMB
1003 HOLLI LN
ROCKWALL, TX 75087

RESIDENT
1005 HOLLI LN
ROCKWALL, TX 75087

RESIDENT
101 E RUSK
ROCKWALL, TX 75087

MUMMEY MAURICE E ETUX
1010 HOLLI LANE
ROCKWALL, TX 75087

HIS COVENANT CHILDREN INC
102 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
102 W KAUFMAN
ROCKWALL, TX 75087

THE CANO REAL ESTATE INVESTMENT GROUP,
LLC
1025 Michael Gdns
Rockwall, TX 75087

CALLIER JENNA AND LOGAN
104 RUSH CREEK
HEATH, TX 75032

RESIDENT
104 W KAUFMAN
ROCKWALL, TX 75087

CONFIDENTIAL OWNER
105 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
105 N ALAMO
ROCKWALL, TX 75087

RESIDENT
105 N FANNIN ST
ROCKWALL, TX 75087

MBK3 PROPERTY HOLDING CO LLC
105 OLIVE ST
ROCKWALL, TX 75087

WIMPEE JOE
105 W KAUFMAN ST
ROCKWALL, TX 75087

PRECISION GLOBAL CORPORATION
106 W Kaufman St
Rockwall, TX 75087

MANLEY MICHAEL J AND MARY F
1065 MIDNIGHT PASS
ROCKWALL, TX 75087

RESIDENT
107 E KAUFMAN
ROCKWALL, TX 75087

MORGAN JEFFREY E
1071 MIDNIGHT PASS
ROCKWALL, TX 75087

TANG SHIFANG AND
HAO DENG
1079 MIDNIGHT PASS
ROCKWALL, TX 75087

RESIDENT
108 INTERURBAN
ROCKWALL, TX 75087

RESIDENT
109 E KAUFMAN
ROCKWALL, TX 75087

CURANOVIC JOHN
109 ELM CREST DR
ROCKWALL, TX 75087

RESIDENT
109 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
111 N GOLIAD ST
ROCKWALL, TX 75087

WAGNER GERALD P
112 LOS PECES
GUN BARRELL, TX 75156

HILL TOBY VERN H & ANGELA DAWN
113 E HEATH ST
ROCKWALL, TX 75087

KING BOBBY R ETUX
113 Summit Ridge Dr
Rockwall, TX 75087

RESIDENT
115 E HEATH ST
ROCKWALL, TX 75087

JARED LONDON CAIN 2005 TRUST
1150 CRESTCOVE DR
ROCKWALL, TX 75087

RESIDENT
116 N SAN JACINTO
ROCKWALL, TX 75087

STORY CATHERINE C
117 E HEATH ST
ROCKWALL, TX 75087

GARRISON MONA AND RONALD
119 E HEATH STREET
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

SFR TEXAS ACQUISITIONS 3 LLC
120 S Riverside Plz Ste 2000
Chicago, IL 60606

FITE CENTRE LLC
1200 FRONTIER TRAIL
ROCKWALL, TX 75032

RAC OF ROCKWALL LLC
1220 CRESTCOVE
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

380 PROPERTY INC
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

PELLERIN DAVID P & JODY J
1260 CALISTOGA DRIVE
ROCKWALL, TX 75087

HARRIS CYNTHIA ANN
1266 CALISTOGA DR
ROCKWALL, TX 75087

FORBIS WILLIAM RUSSELL III & LYNN
1272 CALISTOGA DR
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES LLC
138 SAWGRASS DR
ROCKWALL, TX 75032

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

VANDERSLICE ROBERT
1408 S LAKESHORE DRIVE
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES
1410 S GOLIAD ST APT 1707
ROCKWALL, TX 75087

STRATEGIC MANAGEMNET SERVICES LLC
14124 EDGECREST DR
DALLAS, TX 75254

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

RAYWAY PROPERTIES LLC
1572 N MUNSON RD
ROYSE CITY, TX 75189

WRIGHT JOHN M & SUSAN L
1605 SEASCAPE CT
ROCKWALL, TX 75087

CGC GROUP INC
1690 LAKE FOREST DR
ROCKWALL, TX 75087

ARISTA KAUFMAN LLC
1717 Main St Ste 2950
Dallas, TX 75201

BARNETT JOSEPH RODNEY & LADONNA
1855 HIDDEN HILLS
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW
192 JACOB CROSSING
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S
193 JACOB CROSSING
ROCKWALL, TX 75087

BLACK SHIRLEY M
193 PORT SAINT CLAIRE
ARANSAS PASS, TX 78336

RESIDENT
194 CODY PLACE
ROCKWALL, TX 75087

CROY DANNY L
195 CODY PL
ROCKWALL, TX 75087

RESIDENT
196 JACOB CROSSING
ROCKWALL, TX 75087

STEWART DEBORAH LYNN
196 DARRIN DR
ROCKWALL, TX 75087

GALLEGOS JUAN ADOLFO
197 DARRIN DR
ROCKWALL, TX 75087

RESIDENT
198 CODY PLACE
ROCKWALL, TX 75087

KANSIER GAYLE
198 DARRIN DR
ROCKWALL, TX 75087

RESIDENT
199 DARRIN DR
ROCKWALL, TX 75087

KEANE PARKER F
199 Cody Pl
Rockwall, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST
CHRISTOPHER CHARLES SIEBERT & JANE M
SIEBERT - TRUSTEES
199 JACOB XING
ROCKWALL, TX 75087

917 PROPERTIES LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC
2 MANOR COURT
HEATH, TX 75032

RESIDENT
200 JACOB CROSSING
ROCKWALL, TX 75087

SELLERS ROBERT STEVEN
200 DARRIN DRIVE
ROCKWALL, TX 75087

RESIDENT
201 OLIVE ST
ROCKWALL, TX 75087

MCWHIRTER CRAIG L
201 DARRIN DR
ROCKWALL, TX 75087

COMMUNITY BANK
201 E KAUFMAN ST
ROCKWALL, TX 75087

CITY LIFT STATION
201 E WASHINGTON ST
ROCKWALL, TX 75087

LUSH BEAUTY SALON
201 N ALAMO RD
ROCKWALL, TX 75087

MEYERS STUART A & BRENDA S
2010 INDUSTRIAL BLVD STE 611
ROCKWALL, TX 75087

RESIDENT
202 INTERURBAN ST
ROCKWALL, TX 75087

MILLER ROBERT AND KATY
202 CODY PL
ROCKWALL, TX 75087

GANDY GEORGIA KNEL
202 DARRIN DR
ROCKWALL, TX 75087

LOVELL CHRISTINE MARRE AND JOSHUA
202 E HEATH
ROCKWALL, TX 75087

RESIDENT
202 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
202 N WEST ST
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 NORTH SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
203 JACOB CROSSING
ROCKWALL, TX 75087

CLAY KAREN L
203 CODY PL
ROCKWALL, TX 75087

DAVIS ROBERT C
203 DARRIN
ROCKWALL, TX 75087

BLANKENSHIP JAMES WISE & LISA
203 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
203 N ALAMO
ROCKWALL, TX 75087

NELSON THERESE D
204 DARRIN DR
ROCKWALL, TX 75087

RESIDENT
204 E KAUFMAN
ROCKWALL, TX 75087

PENRY TROY D AND ELIZABETH A
204 HARRIS DR
ROCKWALL, TX 75087

PHILLIPS TERESA
204 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
204 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
204 N WEST ST
ROCKWALL, TX 75087

RESIDENT
204 W HEATH ST
ROCKWALL, TX 75087

DHANBAD MINING INFOMATICS LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

DRAKE EDWARD J II & JENNIFER R
205 DARRIN DRIVE
ROCKWALL, TX 75087

BASCO JUSTIN AND PAMELA
206 Cody Pl
Rockwall, TX 75087

RUDOLPH COLLIN J
206 DARRIN DRIVE
ROCKWALL, TX 75087

RESIDENT
206 N FANNIN ST
ROCKWALL, TX 75087

CRISWELL BARBARA
206 S Clark St
Rockwall, TX 75087

PRITCHETT JOHNETTA
206 W HEATH ST
ROCKWALL, TX 75087

RESIDENT
207 JACOB CROSSING
ROCKWALL, TX 75087

MITCHELL KELLI A &
RYAN S WENZEL
207 CODY PL
ROCKWALL, TX 75087

RESIDENT
208 JACOB CROSSING
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC
208 SUMMIT RIDGE
ROCKWALL, TX 75087

RESIDENT
208 W HEATH ST
ROCKWALL, TX 75087

HENSON ORA LOUISE
209 DARRIN DR
ROCKWALL, TX 75087

CONFIDENTIAL
210 CODY PL
ROCKWALL, TX 75087

CALDWELL KARISSA A
211 CODY PLACE
ROCKWALL, TX 75087

MOFFATT DANA MICHELLE
211 JACOB CROSSING
ROCKWALL, TX 75087

SHIPLEY JASON P & ELIZABETH
212 JACOB XING
ROCKWALL, TX 75087

FOSTER EDWARD M & TERI L
214 CODY PL
ROCKWALL, TX 75087

WELLS LEE E & LYNDA S
2146 HARRELL STREET
GREENVILLE, TX 75402

MURRAY JOHN DAVID
215 CODY PLACE
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
2175 LAKE FOREST DR
ROCKWALL, TX 75087

DUZAN TIMOTHY AND ANGELA
219 CODY PL
ROCKWALL, TX 75087

HILLTOP ESCAPES INC
2234 RANDAS WAY
ROCKWALL, TX 75087

KHATER CHARLES ETUX
2368 E FM 552
ROCKWALL, TX 75087

ROCKWALL RUSTIC RANCH LLC
240 WILLOWCREST
ROCKWALL, TX 75032

SEYMORE INVESTMENTS LLC
242 C NATIONAL DR
ROCKWALL, TX 75032

HOLLON GREGORY D
2778 S FM 549
ROCKWALL, TX 75032

TTAAM N ALAMO SERIES LLC
2801 NETWORK BLVD STE 300
FRISCO, TX 75034

WEST MICHAEL
299 SHENNENDOAH LANE
ROCKWALL, TX 75087

RESIDENT
301 HIGHLAND DR
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST
301 COOPER COURT
ROCKWALL, TX 75087

ORTAMOND DONALD J & JANA R
301 MARGARET ST
ROCKWALL, TX 75087

BEDFORD TERRI W
301 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
301 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
301 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
301 N SAN JACINTO
ROCKWALL, TX 75087

FERRIS BETH
301 WILDWOOD LN
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S TRUSTEES
2023 G J MATTINGLY REVOCABLE TRUST
302 ARCADIA WAY
ROCKWALL, TX 75087

LOFTUS GERALDINE J
302 E MARGARET ST
ROCKWALL, TX 75087

JOHNSON AMANDA DAWN
302 ELM DRIVE
ROCKWALL, TX 75087

WARREN PEGGY E
302 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
302 N FANNIN ST
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH
302 N GOLIAD ST
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH
302 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
302 N SAN JACINTO
ROCKWALL, TX 75087

CRANE KATHERINE LYNN
302 W KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
303 WILLIAMS ST
ROCKWALL, TX 75087

SMITH WENDY
303 DERICK DR
FATE, TX 75189

RESIDENT
303 E RUSK
ROCKWALL, TX 75087

WILLIAMS PATRICIA M
303 ELM DR
ROCKWALL, TX 75087

WHITE SANDRA JEAN
303 HIGHLAND DR
ROCKWALL, TX 75087

LEAL CAROL RHEA
303 N Alamo Rd
Rockwall, TX 75087

ANGLE GLENDA ANNE
303 WILDWOOD LN
ROCKWALL, TX 75087

CRAWFORD STEVE
3033 NECHES
CORPUS CHRISTI, TX 78414

RESIDENT
304 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
304 WILLIAMS ST
ROCKWALL, TX 75087

GLASS KATHLEEN J
304 ELM DR
ROCKWALL, TX 75087

BLANCK SETH AND LACY
304 N Clark St
Rockwall, TX 75087

RESIDENT
304 N SAN JACINTO
ROCKWALL, TX 75087

STEFANKIEWICZ STEPHANIE MARIE & JASON
DUANE
304 W Kaufman St
Rockwall, TX 75087

RESIDENT
305 WILDWOOD LN
ROCKWALL, TX 75087

KRONTZ CHRISTIAN MICHAEL & JILLIAN ABIGAIL
WRIGHT
305 E KAUFMAN ST
ROCKWALL, TX 75087

WHITE RUNELLE
305 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
305 N FANNIN ST
ROCKWALL, TX 75087

DEWAYNE CAIN CHILD'S TRUST, DEWAYNE
CAIN-TRUSTEE, AMY DAWN CAIN 2012 L
PAT BEAIRD-TRUSTEE, CHRISTOPHER PAUL CAIN
2012 LONG TERM TRU
305 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

RESIDENT
306 WILLIAMS ST
ROCKWALL, TX 75087

ROWAN KENNETH W & MELONY A
306 ELM DR
ROCKWALL, TX 75087

STANLEY PAUL & SHERI
306 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
306 N FANNIN ST
ROCKWALL, TX 75087

SHIPMAN CLAYTON AUSTIN
306 Williams St
Rockwall, TX 75087

WILLESS JAMES L
307 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
307 N FANNIN ST
ROCKWALL, TX 75087

WATCHMEN REAL ESTATE LLC
3077 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
308 FANNIN
ROCKWALL, TX 75087

SCHWEIKERT FERN ELLEN
308 ELM DR
ROCKWALL, TX 75087

PATRICIA A MAY LIVING TRUST
PATRICIA A MAY - TRUSTEES
308 Williams St
Rockwall, TX 75087

RESIDENT
310 WILLIAMS ST
ROCKWALL, TX 75087

FORTI CRYSTAL NICOLE & MICHAEL
310 Elm Dr
Rockwall, TX 75087

RESIDENT
312 ELM DR
ROCKWALL, TX 75087

UNION BANK & TRUST CO
SUCCESSOR TRUSTEE EMILY SUE WHITEHEAD
REV TRUST
312 Central Ave SE Ste 200
Minneapolis, MN 55414

HARKLAU CAROLINE
312 DARTBROOK
ROCKWALL, TX 75087

SOUTHERN ROOTS LLC
312 DARTBROOK
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M
317 COOPER STREET
ROCKWALL, TX 75087

WEAST BRIAN J AND
CYNTHIA C BROWN
318 ARCADIA WAY
ROCKWALL, TX 75087

WEBER MARY JANE
318 COOPER CT
ROCKWALL, TX 75087

BOLER RICKY D JR AND
NANCY L GUTIERREZ
334 COOPER COURT
ROCKWALL, TX 75087

HEALDAN GROUP INC
3460 Marron Rd Ste 103-144
Oceanside, CA 92056

RESIDENT
348 COOPER CT
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC
400 CHIPPENDALE DRIVE
HEATH, TX 75032

TURNER KYLE RADEY
4002 BROWNSTONE CT
DALLAS, TX 75204

KMA LLC
401 COUNTRY RIDGE RD
ROCKWALL, TX 75087

GODINEZ RAUL K AND
MAGDALENA M GALVAN-DIAZ
401 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
401 N ALAMO
ROCKWALL, TX 75087

RESIDENT
401 N FANNIN ST
ROCKWALL, TX 75087

MORENO ANTONIO AND SUZANNE T
402 WILDWOOD LANE
ROCKWALL, TX 75087

RESIDENT
404 N GOLIAD
ROCKWALL, TX 75087

REED CHARLES & LISHA
404 WILDWOOD LN
ROCKWALL, TX 75087

RESIDENT
405 N ALAMO
ROCKWALL, TX 75087

NICHOLSON JACQUELYN SUE AND PAUL
EDWARD
405 N FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
405 N GOLIAD
ROCKWALL, TX 75087

JONES GERWYN AND JANE
406 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
406 N GOLIAD
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES LLC
407 CASTLE PINES DRIVE
HEATH, TX 75032

HOWELL RONALD & MICHELE
434 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CM FANNIN I LP
4514 Travis St Ste 326
Dallas, TX 75205

RICKY JOHN SMITH AND DEBORAH KAY SMITH
LIVING TRUST - 09/27/2008
AND AS AMENDED AND RESTATED ON
08/22/2016
4602 Candlestick Dr
Garland, TX 75043

105 N ALAMO LLC
4793 Secret Cv
Rockwall, TX 75032

ADAT ESTATE LLC
482 ARCADIA WAY
ROCKWALL, TX 75087

EVOLVE ESTATES LLC
489 MONTEREY DRIVE
ROCKWALL, TX 75087

TREVINO BERTHA & LOUIS
4917 SAINT JAMES CT
MESQUITE, TX 75150

BAF ASSETS 5 LLC
5001 Plaza on the Lk Ste 200
Austin, TX 78746

RESIDENT
501 KERNODLE
ROCKWALL, TX 75087

HISTORIC OUR HOUSE-ROCKWALL LLC
501 Camp Creek Rd
Rockwall, TX 75087

RESIDENT
501 N ALAMO
ROCKWALL, TX 75087

RESIDENT
501 N GOLIAD
ROCKWALL, TX 75087

HERNANDEZ BLAS MEJIA AND ANA K
502 KERNODLE STREET
ROCKWALL, TX 75087

RESIDENT
502 N ALAMO
ROCKWALL, TX 75087

RESIDENT
502 N GOLIAD
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

WOODARD CARL E ET UX
502 WILDWOOD TER
ROCKWALL, TX 75087

STRINGFELLOW HOLDINGS, LLC
5023 PARKVIEW PLACE
ADDISON, TX 75001

RESIDENT
503 N ALAMO
ROCKWALL, TX 75087

SEREGOW JAMES AND KATHLEEN
503 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
503 N GOLIAD ST
ROCKWALL, TX 75087

CONFIDENTIAL OWNER
504 N Alamo Rd
Rockwall, TX 75087

RESIDENT
504 N GOLIAD
ROCKWALL, TX 75087

NASH M CALVIN ETUX
504 WILDWOOD TER
ROCKWALL, TX 75087

RESIDENT
505 WILDWOOD TERRACE
ROCKWALL, TX 75087

TUCKER PAMELA
505 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
505 N GOLIAD
ROCKWALL, TX 75087

SOUTHERN ROOTS LLC
505 N GOLIAD STREET
ROCKWALL, TX 75087

SMITH ALAN E & JUDY ROPER SMITH
506 KERNODLE ST
ROCKWALL, TX 75087

LAYTON ERIC A AND APRIL L
506 N ALAMO
ROCKWALL, TX 75087

RESIDENT
506 N GOLIAD
ROCKWALL, TX 75087

HICKERSON JON D
506 WILDWOOD TER
ROCKWALL, TX 75087

RESIDENT
507 N GOLIAD
ROCKWALL, TX 75087

FLEMING HALLIE B
508 N ALAMO RD
ROCKWALL, TX 75087

ALTA VISTA BNB, LLC
519 E I30 PMB 422
ROCKWALL, TX 75087

RNDI COMPANIES INC
519 E INTERSTATE 30 # 157
ROCKWALL, TX 75087

GRAY PEGGY JO
521 KATHY DR
MESQUITE, TX 75149

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

SIDDALL RYAN AND
TAYLOR GILSTRAP
5469 JEFFERSON DR
SACHSE, TX 75048

FRENCH MELISSA AND JACOB AARON
5582 YARBOROUGH DR
FORNEY, TX 75126

THE PRESERVE HOMEOWNERS ASSOCIATION
INC
5763 STATE HIGHWAY 205 SUITE 102-B
ROCKWALL, TX 75032

STAR 2022 SFR3 BORROWER LP
591 WEST PUTNAM AVE
GREENWICH, CT 6830

GEN 39:2-6 LLC
599 BORDEAUX DRIVE
ROCKWALL, TX 75087

BROWN JONATHAN R & CHRISTY A
601 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
601 N ALAMO
ROCKWALL, TX 75087

ODOM JAY L AND ALISON N
601 N Fannin St
Rockwall, TX 75087

RESIDENT
602 WILDWOOD LN
ROCKWALL, TX 75087

GASKIN STEVE AND
MICHAEL FLANARY
602 KERNODLE STREET
ROCKWALL, TX 75087

CARDENAS CECILIO & CARMEN
602 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
602 N GOLIAD
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

HANSARD STANLEY E ETUX DALE
602 WILDWOOD LN
ROCKWALL, TX 75087

HAMILTON JOANN
603 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
603 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
604 GOLIAD
ROCKWALL, TX 75087

FUNK TED FREDRICK AND REBECCA LYNN
604 KERNODLE
ROCKWALL, TX 75087

DOMINGUEZ, JOSE AND JOHANNA
604 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
604 N GOLIAD
ROCKWALL, TX 75087

KENDALL JESSICA
604 WILDWOOD LANE
ROCKWALL, TX 75087

RESIDENT
605 N ALAMO
ROCKWALL, TX 75087

POINTER PRICE
605 NAKOMA DR
ROCKWALL, TX 75087

MILLS WENDY K & MARC A
606 KERNODLE ST
ROCKWALL, TX 75087

WIGGINS BRIAN C
606 WILDWOOD LN
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
607 KERNODLE ST
ROCKWALL, TX 75087

JORDAN LARK & CAMERAN
608 Wildwood Ln
Rockwall, TX 75087

PEOPLES BILLY W JR
614 COVEY TRL
ROCKWALL, TX 75087

ROY LAWRENCE HANCE JR TRUST
ROY LAWRENCE HANCE JR- TRUSTEE
6946 SPERRY STREET
DALLAS, TX 75214

CASTRO MICHAEL AND RENE
700 WINDSONG LN
ROCKWALL, TX 75087

CTC TEXAN PROPERTIES LLC
7005 Chase Oaks Blvd Ste 180
Plano, TX 75025

SMITH G DAVID
702 N GOLIAD ST
ROCKWALL, TX 75087

DEBORAH C WINES FAMILY TRUST
DEBORAH C WINES - TRUSTEE
7025 Spanish Oaks Dr
North Richland Hills, TX 76182

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
703 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
703 N ALAMO RD
ROCKWALL, TX 75087

REYNOLDS RACHEL AND WAYNE MARK
703 NORTH GOLIAD STREET
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
704 N GOLIAD
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
704 N GOLIAD
ROCKWALL, TX 75087

2021 B L GRAVES REVOCABLE TRUST
BRYAN JOSEPH GRAVES & LAUREN CHRISTINE
GRAVES - TRUSTEES
705 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
705 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
705 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
706 N ALAMO
ROCKWALL, TX 75087

CALABRESE CORINNA RAE
707 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
708 N ALAMO
ROCKWALL, TX 75087

RESIDENT
710 N ALAMO
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL
DAWN
718 WILDWOOD LANE
ROCKWALL, TX 75087

PHILIPS SHIBU & LEJI
734 Wildwood Ln
Rockwall, TX 75087

HENDRICKSON PAUL A AND PATRICIA A
747 WILDWOOD LANE
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES
750 Justin Rd
Rockwall, TX 75087

MCDONALD JR EDWARD & KAYLA
752 WILDWOOD LN
ROCKWALL, TX 75087

BRUCE LIVING TRUST
DANA GLENN BRUCE & JEANNE L BRUCE-
TRUSTEES
757 AVALON DR
HEATH, TX 75032

CRAWFORD HAROLD E JR
763 WILDWOOD LANE
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD
768 WILDWOOD LN
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P
779 WILDWOOD LANE
ROCKWALL, TX 75087

CHRISTENSEN VALERIE
801 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
802 N ALAMO
ROCKWALL, TX 75087

GUEVARA CARLOS & MONICA A
802 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
802 N GOLIAD
ROCKWALL, TX 75087

MASON MARK S & TAMARA M
802 POTOMAC DRIVE
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

KUCERA TIMOTHY M
803 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
803 N GOLIAD ST
ROCKWALL, TX 75087

CONSELMAN EQUITIES LLC
804 N GOLIAD STREET
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

NAVARRO FRANCISCO OCHOA AND
MELISSA ANN REDD
805 N ALAMO RD
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
806 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
807 N ALAMO RD
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
807 N GOLIAD
ROCKWALL, TX 75087

LEMMON LANDON &
CAITLIN WALKER
808 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
808 N GOLIAD
ROCKWALL, TX 75087

GARY DENNIS AND DIANNE
809 COUNTY CLUB DRIVE
HEATH, TX 75032

MARTINEZ RAQUEL P
809 N GOLIAD ST
ROCKWALL, TX 75087

SWIERCINSKY LEXUS M
810 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
810 N GOLIAD
ROCKWALL, TX 75087

AOUN PIERRE E
811 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
812 N ALAMO
ROCKWALL, TX 75087

RESIDENT
812 N GOLIAD
ROCKWALL, TX 75087

CAIN JAMES O
815 N ALAMO RD
ROCKWALL, TX 75087

CAIN JAMES O
815 N ALAMO RD
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN
818 POTOMAC DR
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID
834 POTOMAC DR
ROCKWALL, TX 75087

MCCULLEY LIVING TRUST
DARREN WAYNE MCCULLEY & MICHELE JUNE
MCCULLEY - CO-TRUSTEES
837 POTOMAC DR
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU
852 POTOMAC DRIVE
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD
853 POTOMAC DRIVE
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L
868 POTOMAC DRIVE
ROCKWALL, TX 75087

WARDELL JAKE P AND MEREDITH K
880 SHORES BLVD
ROCKWALL, TX 75087

DE LOS SANTOS JENNIFER MENCHACA &
ARMANDO GUADALUPE
901 N ALAMO RD
ROCKWALL, TX 75087

CROWDER GERALDINE
901 N FANNIN ST
ROCKWALL, TX 75087

ASHMOREX2 LLC
902 N GOLIAD ST
ROCKWALL, TX 75087

EAGLE SEIKI SALES LTD
C/O ELIZABETH BURKS
902 PALO PINTO ST
WEATHERFORD, TX 76086

MOMSEN KIMBERLY
903 N ALAMO ROAD
ROCKWALL, TX 75087

HEMPHILL REBECCA AND TODD
903 NORTH FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
904 N GOLIAD ST
ROCKWALL, TX 75087

HAM JOSHUA L
905 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
905 N WEST ST
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

TCB CONSTRUCTION GROUP LLC
MANNY LOZANO
906 N GOLIAD ST
ROCKWALL, TX 75087

BRIONES RONALD AND THERESA
906 N WEST
ROCKWALL, TX 75087

RESIDENT
907 N GOLIAD ST
ROCKWALL, TX 75087

JC GAERLAN LLC
907 NORTH ALAMO ROAD
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID
908 N Alamo Rd
Rockwall, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC
908 N GOLIAD ST
ROCKWALL, TX 75087

MARTINKUS NICOLE
908 N WEST ST
ROCKWALL, TX 75087

MOLINA JOE C II
909 N ALAMO
ROCKWALL, TX 75087

RESIDENT
909 N GOLIAD
ROCKWALL, TX 75087

MCFADIN SARA TERESA
909 N WEST STREET
ROCKWALL, TX 75087

ZAVALA VICTOR V
910 N ALAMO RD
ROCKWALL, TX 75087

PERRY RUBY DELL
910 N WEST ST
ROCKWALL, TX 75087

WHITE TIMOTHY E
9104 PRIVATE ROAD 2325
TERRELL, TX 75160

LEWIS BEN
911 N ALAMO
ROCKWALL, TX 75087

RESIDENT
911 N GOLIAD
ROCKWALL, TX 75087

JONES PAMELA J
912 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
912 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
913 N ALAMO RD
ROCKWALL, TX 75087

ROGERS JOSHUA WAYNE & EMELIA &
DAVIS JOHN DANIEL & EMELIA SUZANNE
915 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
915 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
917 N ALAMO
ROCKWALL, TX 75087

RESIDENT
917 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
918 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N GOLIAD
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS
921 N Alamo Rd
Rockwall, TX 75087

BARRY BARBARA
922 N ALAMO RD
ROCKWALL, TX 75087

HUDSON SHELI O
923 N ALAMO
ROCKWALL, TX 75087

CHAVEZ ENRIQUE
923 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
924 N ALAMO
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND
MICHAEL CRAWFORD
925 N ALAMO
ROCKWALL, TX 75087

RESIDENT
925 N GOLIAD
ROCKWALL, TX 75087

TAILLAC JEAN ANTHONY
944 CHAD WAY
ROCKWALL, TX 75087

RICE JOSHUA M
947 CHAD WAY
ROCKWALL, TX 75087

PRINGLE PHYLLIS M
948 CHAD WAY
ROCKWALL, TX 75087

CORENO FRANCISCO R
951 CHAD WAY
ROCKWALL, TX 75087

BRUMIT COURTNEY M AND DARREN D
952 CHAD WAY
ROCKWALL, TX 75087

MCCROSKEY DEE DEE RAYE
955 CHAD WAY
ROCKWALL, TX 75087

ALLEN MARK C AND
DONNA K BOYD
956 CHAD WAY
ROCKWALL, TX 75087

LETEROV MARTIN AND
JESSICA LADD
960 CHAD WAY
ROCKWALL, TX 75087

TO TUAN QUOC
964 CHAD WAY
ROCKWALL, TX 75087

JENSEN MIKEL K & MICHELLE
968 CHAD WAY
ROCKWALL, TX 75087

WILCOX GORDON RICHARD AND GINGER R
974 CHAD WAY
ROCKWALL, TX 75087

RESIDENT
975 N ALAMO
ROCKWALL, TX 75087

LOWRY BRENDA
978 CHAD WAY
ROCKWALL, TX 75087

CLARK RYAN W & AMY B
982 CHAD WAY
ROCKWALL, TX 75087

GIBSON MONTE ROY & BELINDA K
986 CHAD WAY
ROCKWALL, TX 75087

SCHMIDT STEVEN R AND CORINNA A
990 CHAD WAY
ROCKWALL, TX 75087

RESIDENT
993 HOLLI LN
ROCKWALL, TX 75087

GAFFNEY BRIAN & HOPE
994 CHAD WAY
ROCKWALL, TX 75087

INGLE RHONDA NELL DOOLEY
995 HOLLI LN
ROCKWALL, TX 75087

RAWLINS DAN AND MERRIANNE
997 HOLLI LN
ROCKWALL, TX 75087

GAFFNEY RICHARD BENNETT AND MARY ANNE
998 CHAD WAY
ROCKWALL, TX 75087

MESSENGER BARNARD A & BONNIE
998 HOLLI LN
ROCKWALL, TX 75087

NELSON MICHAEL D
999 HOLLI LN
ROCKWALL, TX 75087

COUNTY OF ROCKWALL
COURTHOUSE
ROCKWALL, TX 75087

BOWEN JAMES A
P.O. BOX 385
CADDO MILLS, TX 75135

K'S ADVERTISING DALLAS INC THE
PO BOX 1238
ROCKWALL, TX 75087

BUTCHER MELVIN R
PO BOX 147
QUINLAN, TX 75474

CFPC INVESTMENTS LLC
PO BOX 1731
MARBLE FALLS, TX 78654

CONSELMAN EQUITIES LLC
PO BOX 2284
ROCKWALL, TX 75087

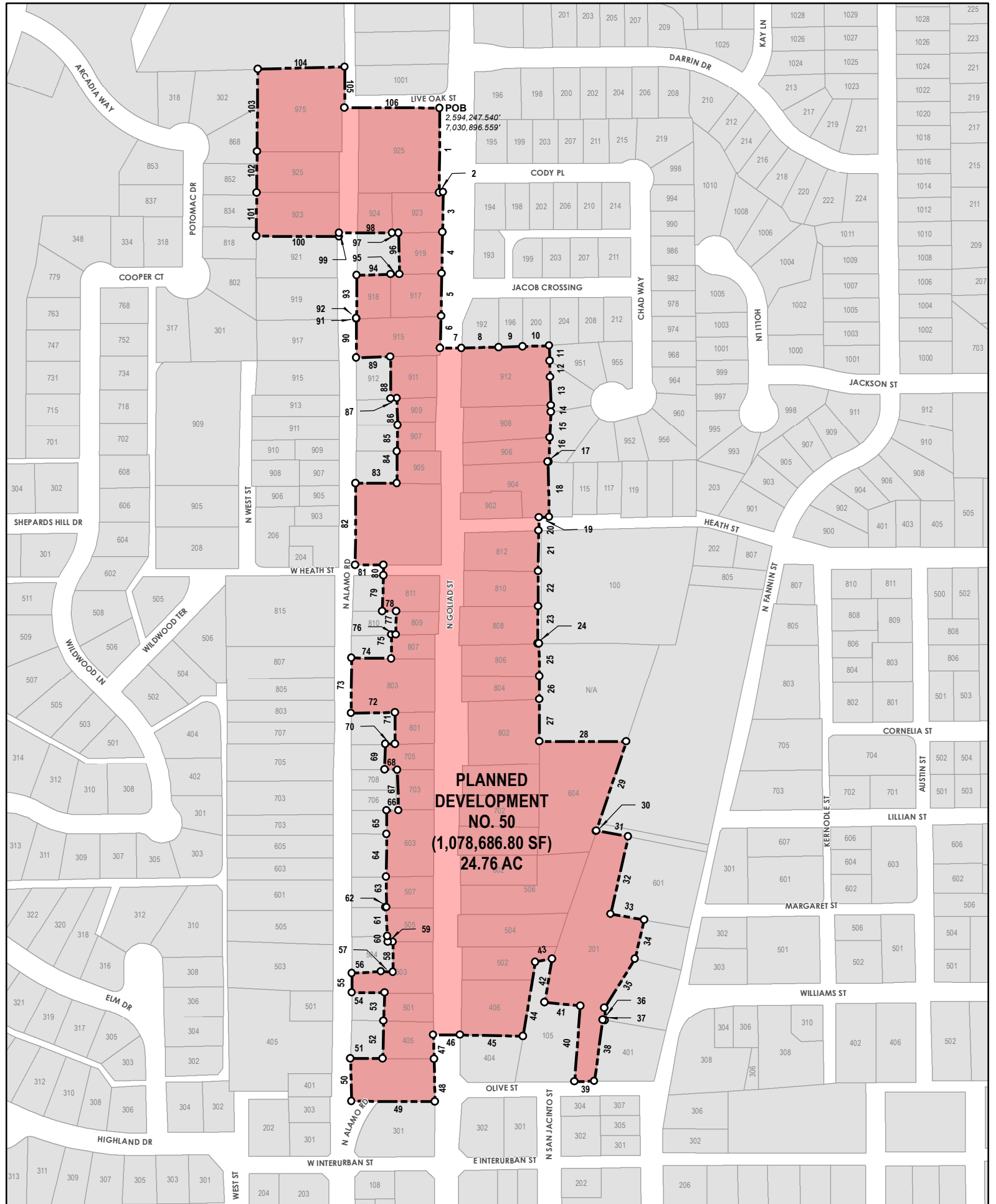
ROCK N' ROLL REALTY LLC
PO BOX 2571
ROCKWALL, TX 75087

WOMEN IN NEED INC
PO BOX 349
GREENVILLE, TX 75403

MILE HIGH BORROW 1 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

LAND HEADQUARTERS COMPANY INC
C/O FAIR ROAD PROPERTIES INC
PO BOX 69
KEY BISCAYNE, FL 33149

RUTH DOWER LIVING TRUST DATED JUNE 3,
2014
RUTH DOWER TRUSTEE
PO BOX 871239
MESQUITE, TX 75187



**PLANNED
DEVELOPMENT
NO. 50**
(1,078,686.80 SF)
24.76 AC



**City of
Rockwall**



0 200 Feet

Date: 6/11/2025

1 inch = 300 feet

PLANNED DEVELOPMENT NO. 50

Planned Development No. 50

BEING 24.76 acres of land situated in Abstract 146, S.S. McCurry Survey and Abstract 14, B.F. Boydston Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point in the northeast corner of Block A, Lot 1 of the Isaac Pena Addition (925 N. Goliad St.), or Texas State Plane Coordinates E 2,594,247.540', N 7,030,896.557' (Grid);

- 1 **THENCE** South 00°-15'-13" West, along the West Right of Way of North Goliad Street, a distance of 212.01 feet for a corner;
- 2 **THENCE** North 89°-29'-21" East, continuing along the West Right of Way of North Goliad Street, a distance of 9.348 feet for a corner;
- 3 **THENCE** South 00°-42'-57" West, a distance of 100.01 feet for a point;
- 4 **THENCE** South 01°-05'-44" West, a distance of 103.776 feet for a point;
- 5 **THENCE** South 00°-53'-50" West, a distance of 106.804 feet for a point;
- 6 **THENCE** South 01°-53'-06" West, a distance of 80.307 feet for a corner;
- 7 **THENCE** North 89°-29'-23" East, crossing North Goliad Street to the Southwestern corner of the North Towne Addition, a distance of 54.443 feet for a point;
- 8 **THENCE** North 88°-39'-12" East, along the North property line of Lot 3 of the Austin Addition, distance of 92.607 feet for a point;
- 9 **THENCE** North 88°-26'-16" East, a distance of 59.875 feet for a point;
- 10 **THENCE** North 88°-40'-43" East, a distance of 67.521 feet for a corner;
- 11 **THENCE** South 00°-44'-24" East, along the East property line of Lot 3 of the Austin Addition, a distance of 37.417 feet for a point;
- 12 **THENCE** South 01°-50'-12" East, a distance of 41.682 feet for a point;
- 13 **THENCE** South 01°-42'-25" East, a distance of 70.308 feet for a point;
- 14 **THENCE** South 01°-25'-05" West, a distance of 16.294 feet for a point;
- 15 **THENCE** South 02°-24'-05" West, a distance of 64.26 feet for a point;
- 16 **THENCE** South 01°-55'-17" West, a distance of 61.135 feet for a point;
- 17 **THENCE** North 86°-53'-45" West, a distance of 2.769 feet for a point;
- 18 **THENCE** South 01°-28'-03" East, a distance of 139.26 feet for a corner;
- 19 **THENCE** South 88°-34'-56" West, a distance of 26.08 feet for a corner;
- 20 **THENCE** South 00°-34'-11" West, crossing Heath Street, a distance of 32.761 feet for a point;
- 21 **THENCE** South 00°-43'-05" West, a distance of 101.948 feet for a point;
- 22 **THENCE** South 00°-23'-39" West, a distance of 88.33 feet for a point;
- 23 **THENCE** South 00°-20'-35" West, a distance of 92.791 feet for a point;
- 24 **THENCE** North 89°-28'-33" East, a distance of 3.192 feet for a point;
- 25 **THENCE** South 00°-27'-32" East, a distance of 82.208 feet for a point;
- 26 **THENCE** South 00°-20'-15" West, a distance of 57.808 feet for a point;
- 27 **THENCE** South 00°-18'-02" East, a distance of 106.852 feet for a corner;
- 28 **THENCE** North 89°-54'-16" East, along the North property line of Block 123, Lot F of the BF Boydston Addition, a distance of 218.38 feet for a corner;
- 29 **THENCE** South 18°-44'-34" West, along the East property line of Block 123, Lot F of the BF Boydston Addition, a distance of 237.657 feet for a corner;
- 30 **THENCE** North 38°-55'-51" East, a distance of 1.766 feet for a point;
- 31 **THENCE** South 79°-50'-00" East, a distance of 81.423 feet for a corner;
- 32 **THENCE** South 12°-54'-58" West, a distance of 200.01 feet for a corner;
- 33 **THENCE** South 80°-26'-27" East, a distance of 85.162 feet for a corner;
- 34 **THENCE** South 12°-49'-45" West, a distance of 100.827 feet for a point;
- 35 **THENCE** South 31°-59'-28" West, a distance of 144.954 feet for a point;
- 36 **THENCE** South 03°-33'-21" East, a distance of 30.835 feet for a point;
- 37 **THENCE** North 80°-23'-28" West, a distance of 6.6 feet for a corner;
- 38 **THENCE** South 07°-38'-23" West, a distance of 155.583 feet for a corner;
- 39 **THENCE** South 89°-15'-33" West, along the North Right of Way of Olive Street, a distance of 49.727 feet for a corner;
- 40 **THENCE** North 04°-15'-36" East, a distance of 190.176 feet for a corner;
- 41 **THENCE** North 84°-16'-51" West, a distance of 89.8 feet for a corner;
- 42 **THENCE** North 09°-43'-09" East, a distance of 111 feet for a corner;
- 43 **THENCE** South 79°-25'-20" West, a distance of 42.84 feet for a corner;
- 44 **THENCE** South 09°-15'-34" West, a distance of 188.846 feet for a corner;
- 45 **THENCE** North 88°-58'-49" West, a distance of 159.029 feet for a point;
- 46 **THENCE** North 89°-54'-24" West, crossing North Goliad Street, a distance of 66.081 feet for a corner;
- 47 **THENCE** South 01°-22'-36" East, along the West Right of Way of North Goliad Street, a distance of 60.108 feet for a point;
- 48 **THENCE** South 01°-09'-56" East, a distance of 107.267 feet for a corner;

49 **THENCE** North 89°-38'-32" West, along the North property line of Block A, Lot1 of the Dirkse Addition, a distance of 208.802 feet
for a corner;

50 **THENCE** North 01°-34'-14" West, along the East Right of Way of North Alamo Road, a distance of 107.015 feet for a corner;

51 **THENCE** South 89°-48'-28" East, a distance of 81.111 feet for a corner;

52 **THENCE** North 01°-01'-35" East, a distance of 94.583 feet for a point;

53 **THENCE** North 02°-11'-56" East, a distance of 70.566 feet for a corner;

54 **THENCE** North 89°-29'-36" West, a distance of 82.39 feet for a corner;

55 **THENCE** North 00°-20'-39" East, a distance of 48.38 feet for a corner;

56 **THENCE** North 86°-48'-58" East, a distance of 73.1 feet for a point;

57 **THENCE** South 88°-56'-56" East, a distance of 30.19 feet for a corner;

58 **THENCE** North 00°-05'-56" West, following along property lines, a distance of 75.328 feet for a corner;

59 **THENCE** South 89°-41'-11" West, a distance of 13.306 feet for a corner;

60 **THENCE** North 01°-43'-14" West, a distance of 14.259 feet for a point;

61 **THENCE** North 03°-42'-44" West, a distance of 72.701 feet for a corner;

62 **THENCE** South 88°-32'-39" East, a distance of 2.44 feet for a corner;

63 **THENCE** North 00°-38'-31" West, a distance of 77.321 feet for a point;

64 **THENCE** North 00°-44'-24" East, a distance of 106.811 feet for a point;

65 **THENCE** North 00°-04'-02" West, a distance of 58.427 feet for a corner;

66 **THENCE** North 88°-36'-34" East, a distance of 29.61 feet for a corner;

67 **THENCE** North 01°-35'-35" West, a distance of 102.087 feet for a corner;

68 **THENCE** North 89°-07'-40" West, a distance of 31.895 feet for a corner;

69 **THENCE** North 01°-15'-26" East, a distance of 64.198 feet for a corner;

70 **THENCE** North 89°-16'-05" East, a distance of 24.602 feet for a corner;

71 **THENCE** North 00°-08'-40" East, a distance of 78.548 feet for a corner;

72 **THENCE** South 89°-15'-57" West, a distance of 110.141 feet for a corner;

73 **THENCE** North 00°-14'-19" East, a distance of 138.192 feet for a corner;

74 **THENCE** South 89°-14'-11" East, a distance of 100.056 feet for a corner;

75 **THENCE** North 00°-28'-22" East, a distance of 59.629 feet for a corner;

76 **THENCE** North 88°-47'-25" East, a distance of 10.941 feet for a corner;

77 **THENCE** North 00°-27'-45" East, a distance of 58.522 feet for a corner;

78 **THENCE** North 89°-31'-38" West, a distance of 34.39 feet for a corner;

79 **THENCE** North 01°-37'-43" East, a distance of 90.437 feet for a point;

80 **THENCE** North 00°-05'-15" West, a distance of 25.776 feet for a corner;

81 **THENCE** South 89°-58'-13" West, a distance of 70.505 feet for a corner;

82 **THENCE** North 00°-15'-03" East, a distance of 205.322 feet for a corner;

83 **THENCE** South 89°-37'-04" East, a distance of 103.923 feet for a corner;

84 **THENCE** North 00°-06'-55" East, a distance of 80.142 feet for a point;

85 **THENCE** North 01°-05'-13" East, a distance of 66.682 feet for a point;

86 **THENCE** North 01°-43'-52" West, a distance of 66.37 feet for a corner;

87 **THENCE** South 88°-08'-14" West, a distance of 15.221 feet for a corner;

88 **THENCE** North 00°-33'-05" West, a distance of 104.855 feet for a corner;

89 **THENCE** South 88°-38'-25" West, along the South property line of Block 29 of the Garner Addition, a distance of 85.688 feet for a
corner;

90 **THENCE** North 00°-20'-01" East, along the East Right of Way of North Alamo Road, a distance of 98.019 feet for a point;

91 **THENCE** North 88°-10'-39" East, a distance of 0.97 feet for a point;

92 **THENCE** North 63°-02'-46" West, a distance of 1.081 feet for a point;

93 **THENCE** North 00°-35'-17" East, a distance of 108.322 feet for a corner;

94 **THENCE** North 88°-52'-14" East, a distance of 84.238 feet for a point;

95 **THENCE** North 88°-29'-31" East, a distance of 22.662 feet for a corner;

96 **THENCE** North 01°-14'-44" West, a distance of 104.349 feet for a corner;

97 **THENCE** South 89°-40'-23" West, a distance of 16.16 feet for a corner;

98 **THENCE** South 89°-52'-21" West, a distance of 133.009 feet for a corner;

99 **THENCE** South 00°-03'-55" West, a distance of 9.2 feet for a corner;

100 **THENCE** North 89°-46'-36" West, a distance of 208.213 feet for a corner;

101 **THENCE** North 00°-35'-23" East, a distance of 109.389 feet for a corner;

102 **THENCE** North 00°-31'-30" East, a distance of 103.492 feet for a corner;

103 **THENCE** North 00°-31'-24" East, a distance of 206.701 feet for a corner;

104 **THENCE** North 88°-41'-01" East, a distance of 218.752 feet for a corner;

105 **THENCE** South 00°-34'-03" West, a distance of 102.403 feet for a corner;

106 **THENCE** South 89°-54'-55" East, along said boundary and the South Right of Way of Live Oak Street, a distance of 238.849 feet
to the **POINT OF BEGINNING** containing approximately **24.76 acres** (1,078,686.80 sf) of land more or less.

CITY OF ROCKWALL

ORDINANCE NO. 25-19

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 50 (PD-50) [ORDINANCE NO. 25-07] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 50 (PD-50) TO INCORPORATE AN ADDITIONAL 1.65-ACRE PARCEL OF LAND INTO THE DISTRICT BEING A 22.19-ACRE TRACT OF LAND SITUATED WITHIN THE S. S. McCURRY SURVEY, ABSTRACT NO. 146 AND B. F. BOYDSTON SURVEY, ABSTRACT NO. 14, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Price Pointer of TCB Construction, on behalf of Jay Odom, requesting the approval of an amendment to Planned Development District 50 (PD-50) [Ordinance No. 25-07] for the purpose of incorporating an additional 1.65-acre parcel of land into the district being a 22.19-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 50 (PD-50) [Ordinance No. 25-07] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 25-07*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That the *Subject Property* shall be developed and/or used only in the manner and for the purposes described in *Exhibit 'C'* of this ordinance, and unless specifically modified within this ordinance the *Subject Property* shall adhere to all development standards stipulated by the Residential Office (RO) District as specified in Subsection 04.02, *Residential-Office (RO) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future;

SECTION 4. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

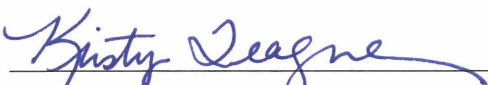
SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF APRIL, 2025.

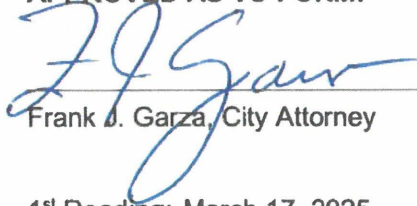

Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: March 17, 2025

2nd Reading: April 7, 2025

EXHIBIT 'A':
Legal Description

BEING 22.19 acres of land situated in Abstract 146, S.S. McCurry Survey and Abstract 14, B.F. Boydston Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point in the northeast corner of Block A, Lot 1 of the Isaac Pena Addition (925 N. Goliad St.), or Texas State Plane Coordinates E 2,594,247.540', N 7,030,896.557' (Grid);

- 1 **THENCE** South 00°-15'-13" West, along the West Right of Way of North Goliad Street, a distance of 212.01 feet for a corner;
- 2 **THENCE** North 89°-29'-21" East, continuing along the West Right of Way of North Goliad Street, a distance of 9.348 feet for a corner;
- 3 **THENCE** South 00°-42'-57" West, a distance of 100.01 feet for a point;
- 4 **THENCE** South 01°-05'-44" West, a distance of 103.776 feet for a point;
- 5 **THENCE** South 00°-53'-50" West, a distance of 106.804 feet for a point;
- 6 **THENCE** South 01°-53'-06" West, a distance of 80.307 feet for a corner;
- 7 **THENCE** North 89°-29'-23" East, crossing North Goliad Street to the Southwestern corner of the North Towne Addition, a distance of 54.443 feet for a point;
- 8 **THENCE** North 88°-39'-12" East, along the North property line of Lot 3 of the Austin Addition, distance of 92.607 feet for a point;
- 9 **THENCE** North 88°-26'-16" East, a distance of 59.875 feet for a point;
- 10 **THENCE** North 88°-40'-43" East, a distance of 67.521 feet for a corner;
- 11 **THENCE** South 00°-44'-24" East, along the East property line of Lot 3 of the Austin Addition, a distance of 37.417 feet for a point;
- 12 **THENCE** South 01°-50'-12" East, a distance of 41.682 feet for a point;
- 13 **THENCE** South 01°-42'-25" East, a distance of 70.308 feet for a point;
- 14 **THENCE** South 01°-25'-05" West, a distance of 16.294 feet for a point;
- 15 **THENCE** South 02°-24'-05" West, a distance of 64.26 feet for a point;
- 16 **THENCE** South 01°-55'-17" West, a distance of 61.135 feet for a point;
- 17 **THENCE** North 86°-53'-45" West, a distance of 2.769 feet for a point;
- 18 **THENCE** South 01°-28'-03" East, a distance of 139.26 feet for a corner;
- 19 **THENCE** South 88°-34'-56" West, a distance of 26.08 feet for a corner;
- 20 **THENCE** South 00°-34'-11" West, crossing Heath Street, a distance of 32.761 feet for a point;
- 21 **THENCE** South 00°-43'-05" West, a distance of 101.948 feet for a point;
- 22 **THENCE** South 00°-23'-39" West, a distance of 88.33 feet for a point;
- 23 **THENCE** South 00°-20'-35" West, a distance of 92.791 feet for a point;
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- 26 **THENCE** South 00°-20'-15" West, a distance of 57.808 feet for a point;
- 27 **THENCE** South 00°-18'-02" East, a distance of 106.852 feet for a corner;
- 28 **THENCE** North 89°-54'-16" East, along the North property line of Block 123, Lot F of the BF Boydston Addition, a distance of 218.38 feet for a corner;
- 29 **THENCE** South 18°-44'-34" West, along the East property line of Block 123, Lot F of the BF Boydston Addition, a distance of 237.657 feet for a corner;
- 30 **THENCE** North 38°-55'-51" East, a distance of 1.766 feet for a point;
- 31 **THENCE** South 79°-50'-00" East, a distance of 81.423 feet for a corner;
- 32 **THENCE** South 12°-54'-58" West, a distance of 200.01 feet for a corner;
- 33 **THENCE** South 80°-26'-27" East, a distance of 85.162 feet for a corner;
- 34 **THENCE** South 12°-49'-45" West, a distance of 100.827 feet for a point;
- 35 **THENCE** South 31°-59'-28" West, a distance of 144.954 feet for a point;
- 36 **THENCE** South 03°-33'-21" East, a distance of 30.835 feet for a point;
- 37 **THENCE** North 80°-23'-28" West, a distance of 6.6 feet for a corner;
- 38 **THENCE** South 07°-38'-23" West, a distance of 155.583 feet for a corner;
- 39 **THENCE** South 89°-15'-33" West, along the North Right of Way of Olive Street, a distance of 49.727 feet for a corner;
- 40 **THENCE** North 04°-15'-36" East, a distance of 190.176 feet for a corner;
- 41 **THENCE** North 84°-16'-51" West, a distance of 89.8 feet for a corner;

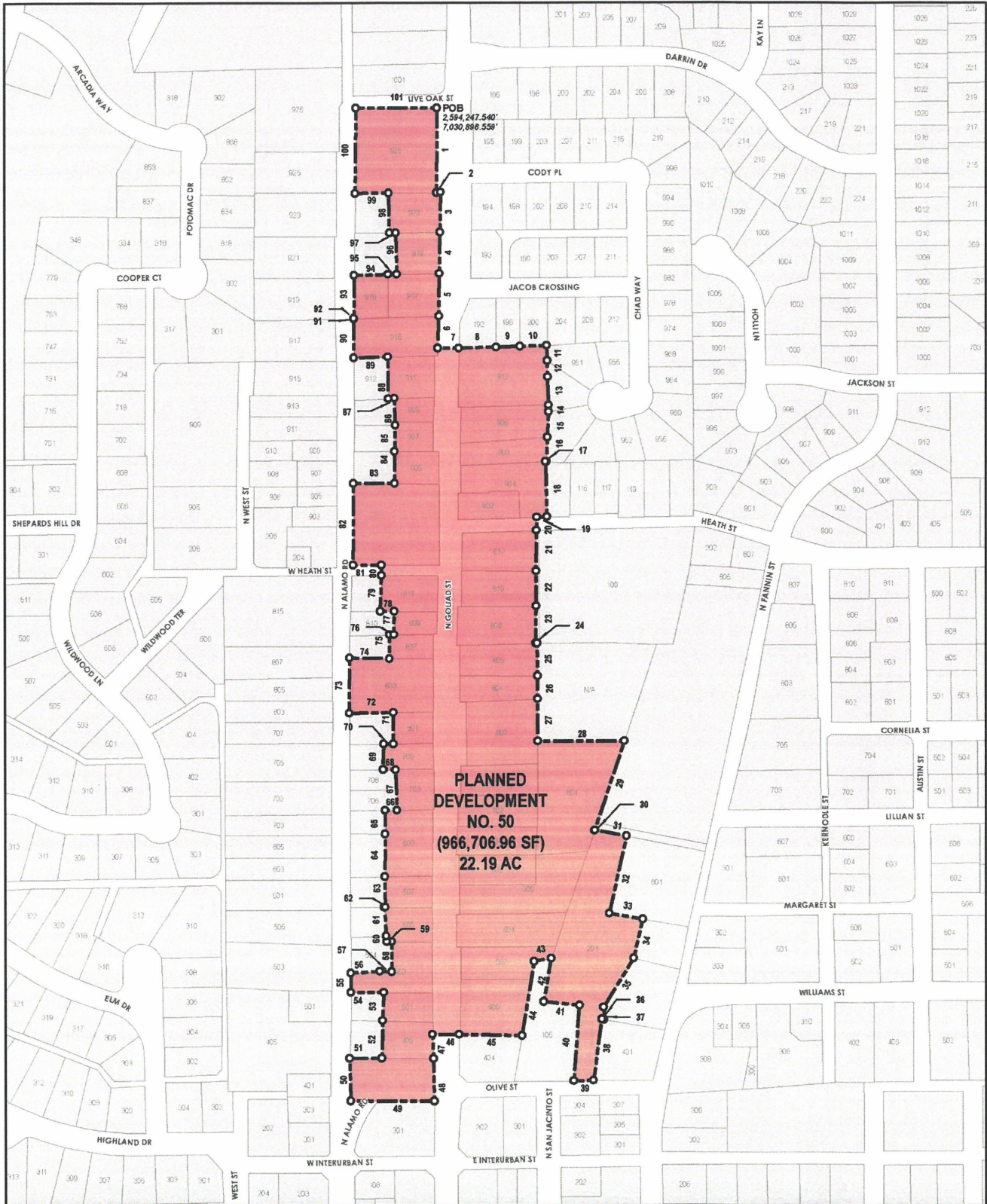
EXHIBIT 'A':
Legal Description

- 42 **THENCE** North 09°-43'-09" East, a distance of 111 feet for a corner;
- 43 **THENCE** South 79°-25'-20" West, a distance of 42.84 feet for a corner;
- 44 **THENCE** South 09°-15'-34" West, a distance of 188.846 feet for a corner;
- 45 **THENCE** North 88°-58'-49" West, a distance of 159.029 feet for a point;
- 46 **THENCE** North 89°-54'-24" West, crossing North Goliad Street, a distance of 66.081 feet for a corner;
- 47 **THENCE** South 01°-22'-36" East, along the West Right of Way of North Goliad Street, a distance of 60.108 feet for a point;
- 48 **THENCE** South 01°-09'-56" East, a distance of 107.267 feet for a corner;
- 49 **THENCE** North 89°-38'-32" West, along the North property line of Block A, Lot1 of the Dirkse Addition, a distance of 208.802 feet for a corner;
- 50 **THENCE** North 01°-34'-14" West, along the East Right of Way of North Alamo Road, a distance of 107.015 feet for a corner;
- 51 **THENCE** South 89°-48'-28" East, a distance of 81.111 feet for a corner;
- 52 **THENCE** North 01°-01'-35" East, a distance of 94.583 feet for a point;
- 53 **THENCE** North 02°-11'-56" East, a distance of 70.566 feet for a corner;
- 54 **THENCE** North 89°-29'-36" West, a distance of 82.39 feet for a corner;
- 55 **THENCE** North 00°-20'-39" East, a distance of 48.38 feet for a corner;
- 56 **THENCE** North 86°-48'-58" East, a distance of 73.1 feet for a point;
- 57 **THENCE** South 88°-56'-56" East, a distance of 30.19 feet for a corner;
- 58 **THENCE** North 00°-05'-56" West, following along property lines, a distance of 75.328 feet for a corner;
- 59 **THENCE** South 89°-41'-11" West, a distance of 13.306 feet for a corner;
- 60 **THENCE** North 01°-43'-14" West, a distance of 14.259 feet for a point;
- 61 **THENCE** North 03°-42'-44" West, a distance of 72.701 feet for a corner;
- 62 **THENCE** South 88°-32'-39" East, a distance of 2.44 feet for a corner;
- 63 **THENCE** North 00°-38'-31" West, a distance of 77.321 feet for a point;
- 64 **THENCE** North 00°-44'-24" East, a distance of 106.811 feet for a point;
- 65 **THENCE** North 00°-04'-02" West, a distance of 58.427 feet for a corner;
- 66 **THENCE** North 88°-36'-34" East, a distance of 29.61 feet for a corner;
- 67 **THENCE** North 01°-35'-35" West, a distance of 102.087 feet for a corner;
- 68 **THENCE** North 89°-07'-40" West, a distance of 31.895 feet for a corner;
- 69 **THENCE** North 01°-15'-26" East, a distance of 64.198 feet for a corner;
- 70 **THENCE** North 89°-16'-05" East, a distance of 24.602 feet for a corner;
- 71 **THENCE** North 00°-08'-40" East, a distance of 78.548 feet for a corner;
- 72 **THENCE** South 89°-15'-57" West, a distance of 110.141 feet for a corner;
- 73 **THENCE** North 00°-14'-19" East, a distance of 138.192 feet for a corner;
- 74 **THENCE** South 89°-14'-11" East, a distance of 100.056 feet for a corner;
- 75 **THENCE** North 00°-28'-22" East, a distance of 59.629 feet for a corner;
- 76 **THENCE** North 88°-47'-25" East, a distance of 10.941 feet for a corner;
- 77 **THENCE** North 00°-27'-45" East, a distance of 58.522 feet for a corner;
- 78 **THENCE** North 89°-31'-38" West, a distance of 34.39 feet for a corner;
- 79 **THENCE** North 01°-37'-43" East, a distance of 90.437 feet for a point;
- 80 **THENCE** North 00°-05'-15" West, a distance of 25.776 feet for a corner;
- 81 **THENCE** South 89°-58'-13" West, a distance of 70.505 feet for a corner;
- 82 **THENCE** North 00°-15'-03" East, a distance of 205.322 feet for a corner;
- 83 **THENCE** South 89°-37'-04" East, a distance of 103.923 feet for a corner;
- 84 **THENCE** North 00°-06'-55" East, a distance of 80.142 feet for a point;
- 85 **THENCE** North 01°-05'-13" East, a distance of 66.682 feet for a point;
- 86 **THENCE** North 01°-43'-52" West, a distance of 66.37 feet for a corner;
- 87 **THENCE** South 88°-08'-14" West, a distance of 15.221 feet for a corner;
- 88 **THENCE** North 00°-33'-05" West, a distance of 104.855 feet for a corner;
- 89 **THENCE** South 88°-38'-25" West, along the South property line of Block 29 of the Garner Addition, a distance of 85.688 feet for a corner;
- 90 **THENCE** North 00°-20'-01" East, along the East Right of Way of North Alamo Road, a distance of 98.019 feet for a point;
- 91 **THENCE** North 88°-10'-39" East, a distance of 0.97 feet for a point;

EXHIBIT 'A':
Legal Description

- 92 **THENCE** North 63°-02'-46" West, a distance of 1.081 feet for a point;
93 **THENCE** North 00°-35'-17" East, a distance of 108.322 feet for a corner;
94 **THENCE** North 88°-52'-14" East, a distance of 84.238 feet for a point;
95 **THENCE** North 88°-29'-31" East, a distance of 22.662 feet for a corner;
96 **THENCE** North 01°-14'-44" West, a distance of 104.349 feet for a corner;
97 **THENCE** South 89°-40'-23" West, a distance of 16.16 feet for a corner;
98 **THENCE** North 01°-12'-30" West, a distance of 99.892 feet for a corner;
99 **THENCE** South 89°-23'-38" West, a distance of 83.627 feet for a corner;
100 **THENCE** North 00°-31'-24" East, along the boundary of the Isaac Pena Addition, a distance of 214.21 feet for a corner;
101 **THENCE** South 89°-59'-26" East, along said boundary and the South Right of Way of Live Oak Street, a distance of 203.05 feet to the **POINT OF BEGINNING** containing approximately **22.19 acres** (966,706.96 sf) of land more or less.

EXHIBIT 'B':
Location Map



City of
Rockwall



0 200 Feet

Date: 2/18/2025

1 inch = 300 feet

PLANNED DEVELOPMENT NO. 50

EXHIBIT 'C':
District Development Standards

Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Residential Office (RO) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02], are allowed on the *Subject Property*; however, the following additions and conditions shall apply:
- (a) Antique/Collectable Sales. The retail sales of antiques and collectables shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions:
- (1) Antique Sales is defined as the sale of an object having value because of its age, especially a domestic item or piece of furniture or handicraft esteemed for its artistry, beauty, craftsmanship, or period of origin.
- (2) Collectable Sales is defined as the sale of an object that can be collected, or is suitable or desirable for collecting by hobbyist, or any of a class of old things (*but not antiques*) that people collect as a hobby.
- (3) The sale of new or used clothing and appliances shall be prohibited.
- (4) The maximum floor area permitted for *Antique/Collectable Sales* be limited to 2,000 square feet.
- (5) That individual lease areas within the *Antique/Collectable Sales* use be prohibited.
- (b) Banquet Facility (Event Venue). A banquet facility or event venue shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions:
- (1) Banquet Facility or Event Venue is defined as a commercial facility that can be rented out for the purpose of hosting private events (*e.g. birthday parties, wedding receptions, meetings, etc.*). These events shall not be open to the general public.
- (c) Animal Clinic for Small Animals. An animal clinic for small animals shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions.
- (1) An Animal Clinic for Small Animals is defined as a place where animals or pets are given medical or surgical treatments and care.
- (2) The accessory use as a kennel shall be limited to short-term boarding and shall be only incidental to the *Animal Clinic for Small Animals* use.
- (3) No outdoor pens or kennels shall be permitted.
- (d) General Personal Service. A general personal service shall be as defined in Article 13, *Definitions*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and be

EXHIBIT 'C':
District Development Standards

permitted through the approval of a Specific Use Permit (SUP) on a case-by-case basis by the City Council.

- (e) *Church/House of Worship*. A church/house of worship shall be as defined in Article 13, *Definitions*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and be permitted through the approval of a Specific Use Permit (SUP) on a case-by-case basis by the City Council.
- (2) *Cross Access Easements*. Joint or shared access shall be required on all adjoining lots if any property is used for office development or any other non-residential use permitted by this ordinance.
- (3) *Parking*. That all non-residential land uses shall adhere to the following parking requirements:
 - (a) All parking shall be located behind the front façade of the primary structure and parking within the front yard of any property shall be prohibited.
 - (b) The parking requirements for all uses shall be subject to the requirements stipulated by Article VI, *Parking and Loading*, of the Unified Development Code [Ordinance No. 04-38] with the exception of *Professional Offices (excluding medical offices)* and *Banquet Facilities*. *Professional Offices* shall be subject to one (1) parking space per 500 SF of floor area and *Banquet Facilities* shall be subject to one (1) parking space per 100 SF of floor area.
 - (c) All drive aisles and parking areas required for the conversion and/or redevelopment of existing structures within the Planned Development District shall be paved in concrete. An exception for asphalt may be approved by the City Engineer.
- (4) *Site Plan*. All properties within the Planned Development District shall be subject to site plan review prior to changing the use from single-family residential.
- (5) *Variances*. In the event that unique or extraordinary conditions exist on the property such that the applicant cannot comply with the strict interpretation of this ordinance a variance can be requested from the City Council.