



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☒ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N/A

SUBDIVISION N/A

LOT

N/A

BLOCK

N/A

GENERAL LOCATION NORTHWEST CORNER OF S JOHN KING BLVD AND I-30 FRONTAGE ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI AND C

CURRENT USE UNDEVELOPED

PROPOSED ZONING PD

PROPOSED USE COMMERCIAL

ACREAGE 32.79

LOTS [CURRENT] 6

LOTS [PROPOSED] TBD

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

Temunovic Partnership Ltd

☐ APPLICANT

HUNINGTON PROPERTIES

CONTACT PERSON

Tina Co

CONTACT PERSON

GAGE RABA

ADDRESS

[REDACTED]

ADDRESS

[REDACTED]

CITY, STATE & ZIP

[REDACTED]

[REDACTED]

[REDACTED]

PHONE

[REDACTED]

PHONE

[REDACTED]

E-MAIL

[REDACTED]

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tina Cox [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

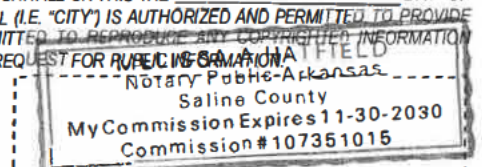
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2025

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Melissa A. Hatfield
Arkansas



MY COMMISSION EXPIRES

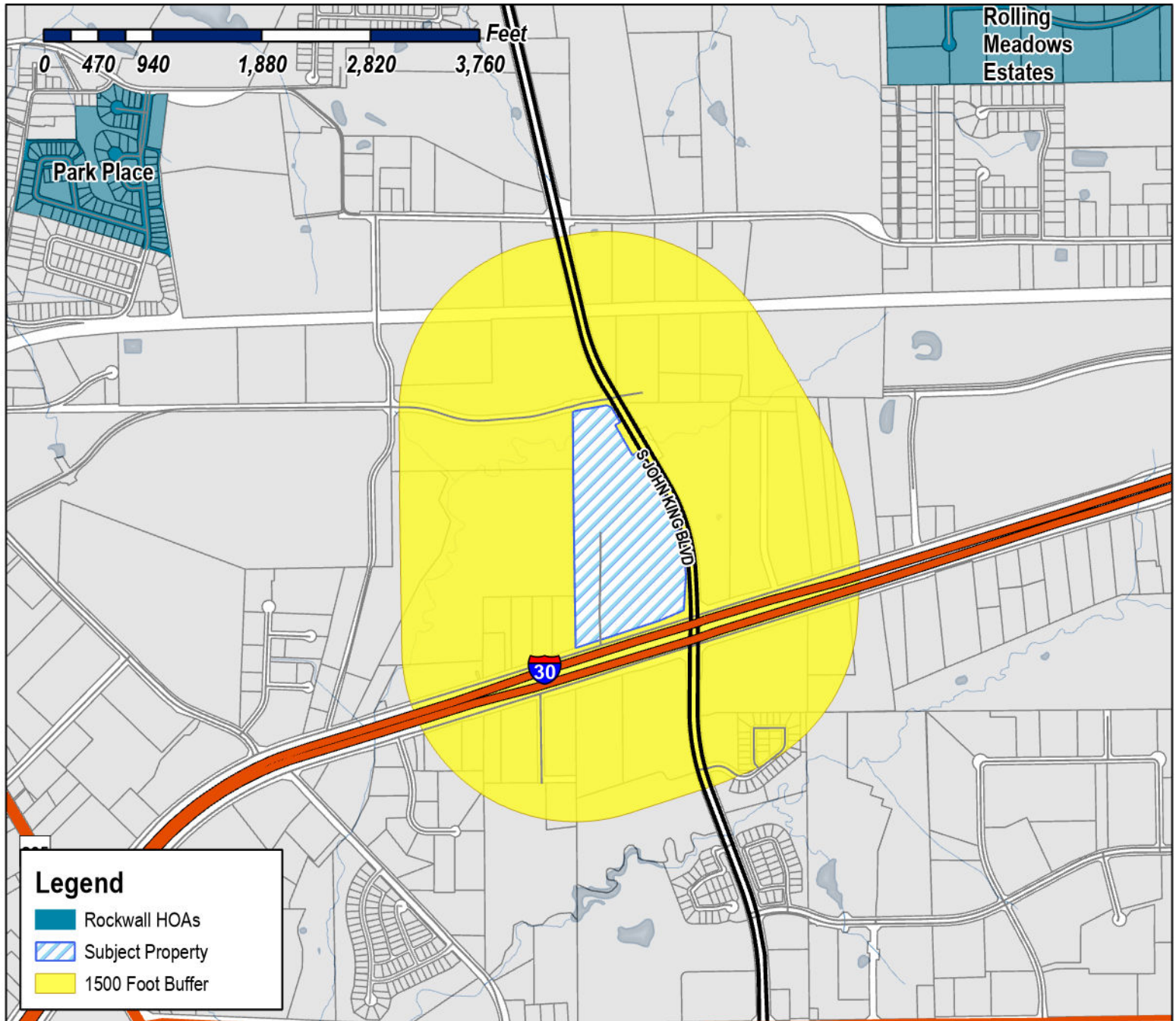
11-30-2030



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-070
Case Name: Zoning Change from C and LI to PD
Case Type: Zoning
Zoning: Commercial (C) District and Light Industrial (LI) District
Case Address: NWC of S. John King and I-30 Frontage

Date Saved: 10/21/2025

For Questions on this Case Call (972) 771-7745

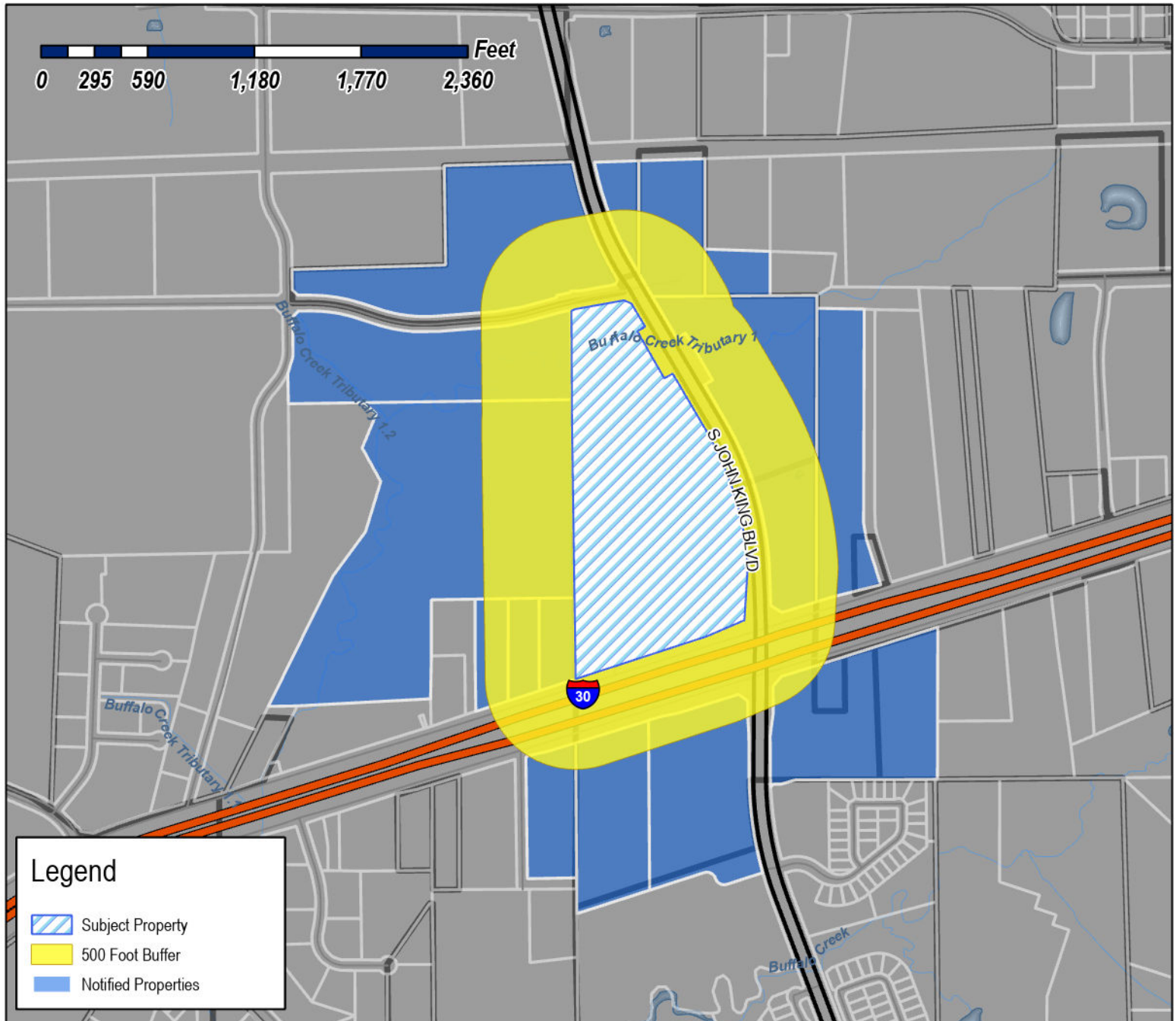




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For Questions on this Case Call: (972) 771-7745



RESIDENT
130 NORTH SERVICE RD
ROCKWALL, TX 75032

RESIDENT
INDUSTRIAL
ROCKWALL, TX 75032

RESIDENT
JUSTIN RD
ROCKWALL, TX 75032

COLUMBIA NORTH TEXAS HEALTHCARE SYSTEM
LP
1100 DR MARTIN L KING JR BLVD STE 500
NASHVILLE, TN 37203

LITHIA REAL ESTATE INC
150 N BARTLETT STREET
MEDFORD, OR 97501

RESIDENT
1535 I30
ROCKWALL, TX 75032

RESIDENT
1540 I30
ROCKWALL, TX 75032

RESIDENT
1545 E INTERSTATE 30
ROCKWALL, TX 75032

RESIDENT
1550 E I30
ROCKWALL, TX 75032

RESIDENT
1551 E I30
ROCKWALL, TX 75032

AM ROCKWALL INVESTMENTS LP
A TEXAS LTD PARTNERSHIP
1551 E Interstate 30 Ste A
Rockwall, TX 75087

RESIDENT
1600 E INTERSTATE 30
ROCKWALL, TX 75032

RESIDENT
1700 JUSTIN RD
ROCKWALL, TX 75032

NMAC REAL ESTATE MANAGEMENT COMPANY
LLC
1700 E I30
ROCKWALL, TX 75087

RESIDENT
1700 E I-30
ROCKWALL, TX 75032

RESIDENT
1820 JUSTIN RD
ROCKWALL, TX 75032

TEMUNOVIC PARTNERSHIP LTD
3021 Ridge Rd Ste A57
Rockwall, TX 75032

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

C2LA, LLC
382 Ranch Trl
Rockwall, TX 75032

H E B LP
646 SOUTH FLORES STREET
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &
CHARLES SMITH
709 W Rusk St Ste B
Rockwall, TX 75087

ZBH/1535 E INTERSTATE 30 LTD
9669 JOURDAN WAY
DALLAS, TX 75230

1540 EAST IH 30 ROCKWALL LLC
M/R

RESIDENT
N/A AIRPORT RD
ROCKWALL, TX 75032

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
P O BOX 9022
TEMECULA, CA 92589

ROCKWALL STEEL CO INC
PO BOX 729
TERRELL, TX 75160

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087



July 18, 2025

Mr. Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

**RE: Proposed Zoning Change at NWC of IH-30 and John King Blvd.
Letter of Explanation
Rockwall, Texas**

Mr. Miller,

At the request of the Owner parcel 11461 per Rockwall CAD, we are requesting a Planned Development District for Commercial (C) District land uses on a 25.7125-acre tract of land situated in the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, currently zoned Light Industrial (LI) and Commercial (C), situated within the IH-30 Overlay (IH-30 OV) and SH-205 Bypass Overlay (SH-205 BY OV) Districts, generally located at the northwest corner of Interstate 30 and John King Blvd., and described and depicted in Exhibit A, attached hereto, which hereinafter shall be referred to as the “**Subject Property**” and incorporated by reference herein.

The Subject Property shall only be used in the manner and for the purposes outlined herein. The development of the Subject Property shall be in accordance with the Site Plan depicted on Exhibit B, attached hereto and incorporated herein by reference. The development of the Subject Property shall be subject to the Development Standards outlined on Exhibit C, attached hereto and incorporated herein.

Sincerely,

Gage A. Raba

Hunington Properties, Inc.

3773 Richmond Ave., Suite 800 • Houston, Texas 77046 • 713-623-6944 • hpiproperties.com



EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

TRACT 1:

Being a 29.52 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being a portion of a called 51.030 acre tract of land conveyed to Temunovic Partnership, LTD by deed of record in Volume 7038, Page 314 of the Official Public Records of Rockwall County, Texas, also being all of a called Tract 3 – 3.31 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of Lot 1 of Eastplex Industrial Park , a subdivision of record in Cabinet A, Page 237 of the Plat Records of Rockwall County, Texas and Lot 2, Block A of Eastplex Industrial Park, a subdivision of record in Cabinet B, Page 50 of said Plat Records as conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with pink plastic cap stamped “TXDOT” found at the intersection of the West right-of-way line of John King Boulevard (a variable width right-of-way) and the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Northeast corner of a called Parcel 65 – 0.0065 acre tract of land conveyed to the State of Texas by deed of record in Document Number 20200000023370 of said Official Public Records, for the most Easterly Southeast corner hereof;

THENCE, S45°32’11”W, along the North right-of-way line of said Interstate Highway 30 and the common Northwest line of said Parcel 65, a distance of 41.38 feet to a 1/2 inch iron rod with pink plastic cap stamped “TXDOT” found in the North line of a called Parcel 18A – 0.0812 acre tract of land conveyed to the State of Texas by deed of record in Volume 6591, Page 246 of said Official Public Records, for the most Southerly Southeast corner hereof;

THENCE, S72°31’15”W, along the North right-of-way line of said Interstate Highway 30 and the common North line of said Parcel 18A, a distance of 216.84 feet to a 5/8 inch iron rod with illegible yellow plastic cap found in the South line of said 51.030 acre tract, being the West corner of said Parcel 18A;

THENCE, S72°55’29”W, continuing along the North right-of-way line of said Interstate Highway 30, being the common South line of said 51.030 acre tract, passing at a distance of 457.61 feet, a 5/8 inch iron rod found, a total distance of 488.79 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the intersection of the North right-of-way line of said Interstate Highway 30 and the East right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the most Southerly Southwest corner of said 51.030 acre tract and hereof;



EXHIBIT A

THENCE, along the East right-of-way line of said Enterprise Drive, being the common irregular South line of said 51.030 acre tract, the following three (3) courses and distances:

1. N01°15'04"W, a distance of 353.14 feet to a 1/2 inch iron rod found;
2. N00°28'22"W, a distance of 588.70 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
3. N00°26'50"W, a distance of 87.93 feet to a 1/2 inch iron rod found at the Northeast corner of said Enterprise Drive, being the most Easterly Southeast corner of said Tract 3;

THENCE, S89°33'43"W, leaving the irregular South line of said 51.030 acre tract, along the North line of said Enterprise Drive, being the common South line of said Tract 3, a distance of 30.06 feet to a 1/2 inch iron rod found at the Northwest corner of said Enterprise Drive, being the Northeast corner of said Lot 2;

THENCE, S00°26'17"E, along the West right-of-way line of said Enterprise Drive, being the common irregular South line of said Tract 3 and the common East lines of said Lot 2 and said Lot 1, a distance of 296.53 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found at the Northeast corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the most Southerly Southeast corner of said Tract 3 and the Southeast corner of said Lot 1;

THENCE, S89°33'43"W, along the North line of said 0.2754 acre tract, being the common South line of said Tract 3 and said Lot 1, a distance of 200.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found in the East line of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northwest corner of said 0.2754 acre tract, also being the Southwest corner of said Tract 3 and said Lot 1;

THENCE, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 3 and the common West lines of in part, said Lot 1 and in part, said Lot 2, a distance of 665.85 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Northwest corner of said Tract 3, being the most Westerly Southwest corner of said 51.030 acre tract;

THENCE, N00°35'23"W, along the West line of said 51.030 acre tract, being the common West lines of in part, said 49.839 acre tract and in part, Lot 1, Block B of Lot 1, Block A and Lot 1, Block B, Channell Subdivision, a subdivision of record in Document Number 20160000005517 of said Plat Records, a distance of 562.87 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the South right-of-way line of Justin Road (a variable width right-of-way), being the Northeast corner of said Lot 1, Block B, also being the Southwest corner of a called Parcel No. 1 – 0.281 acre tract of land conveyed to the City of Rockwall by deed of record



EXHIBIT A

in Document Number 20150000018248 of said Official Public Records, for the Northwest corner hereof;

THENCE, along the South right-of-way line of said Justin Road and the common South line of said Parcel No 1, the following two (2) courses and distances:

1. N79°47'13"E, a distance of 299.17 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the most Northerly Northeast corner hereof;
2. S65°19'58"E, a distance of 49.22 feet to a 1/2 inch iron rod with yellow plastic cap stamped "WIER AND ASSOC" found at the intersection of the South right-of-way line of said Justin Road and the West right-of-way line of said John King Boulevard, being the Southeast corner of said Parcel No. 1, for the most Easterly Southeast corner hereof;

THENCE, along the irregular West right-of-way line of said John King Boulevard, the following eight (8) courses and distances:

1. S30°26'47"E, a distance of 90.52 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N19°00'00"W, a distance of 0.53 feet;
2. S59°33'13"W, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N47°22'43"W, a distance of 0.59 feet;
3. S30°26'47"E, a distance of 300.59 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N53°04'14"W, a distance of 0.79 feet;
4. N59°33'13"E, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N79°38'03"W, a distance of 0.87 feet;
5. S30°26'47"E, a distance of 416.98 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the beginning of a tangent curve to the right, from which a 1/2 inch iron rod found bears N64°24'08"W, a distance of 0.87 feet;
6. Along said tangent curve to the right, having a radius of 1,690.00 feet, a chord bearing of S18°37'03"E, a chord length of 692.86 feet, a delta angle of 23°39'28", an arc length of 697.81 feet to 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve, from which a 1/2 inch iron rod found bears N87°55'20"W, a distance of 1.30 feet;
7. S01°43'57"W, a distance of 190.30 feet to a 1/2 inch iron rod found;



EXHIBIT A

8. S02°19'04"W, a distance of 211.62 feet to the **POINT OF BEGINNING** and containing an area of 29.515 acres (1,285,677 square feet) of land, more or less.

TRACT 2:

Being a 3.27 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being all of a called Tract 1 – 1.10 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of a called Tract 2 – 2.17 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found in the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Southeast corner of a called 2.00 acre tract of land conveyed to AM Rockwall Investments, L.P. by deed of record in Volume 2435, Page 28 of said Official Public Records, also being the Southwest corner of said Tract 1 and hereof;

THENCE, N01°17'47"W, leaving the North right-of-way line of Interstate Highway 30, along the East line of said 2.00 acre tract, being the West line of said Tract 1, a distance of 420.06 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the Southeast corner of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northeast corner of said 2.00 acre tract, also being the Southwest corner of said Tract 2, also being the Northwest corner of said Tract 1;

THENCE, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 2, a distance of 321.77 feet to a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found at the Southwest corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the Northwest corner of said Tract 2 and hereof;

THENCE, N89°33'43"E, along the South line of said 0.2754 acre tract, being the common North line of said Tract 2, a distance of 200.00 feet to a 1/2 inch iron rod in the West right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the Southeast corner of said 0.2754 acre tract, also being the Northeast corner of said Tract 2 and hereof;

THENCE, along the West right-of-way line of said Enterprise Drive, being the common East lines of in part, said Tract 2 and in part, said Tract 1, the following two (2) courses and distances:

1. S00°26'17"E, a distance of 320.07 feet to a 1/2 inch iron rod found;



EXHIBIT A

2. S01°17'47"E, a distance of 362.15 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the intersection of the West right-of-way line of said Enterprise Drive and the North right-of-way line of said Interstate Highway 30, being the Southeast corner of said Tract 1 and hereof;

THENCE, S72°54'00"W, along the North right-of-way line of said Interstate Highway 30, being the common South line of said Tract 1, a distance of 207.86 feet to the **POINT OF BEGINNING** and containing an area of 3.27 acres (142,406 square feet) of land, more or less.



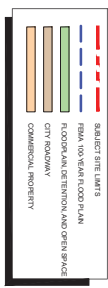
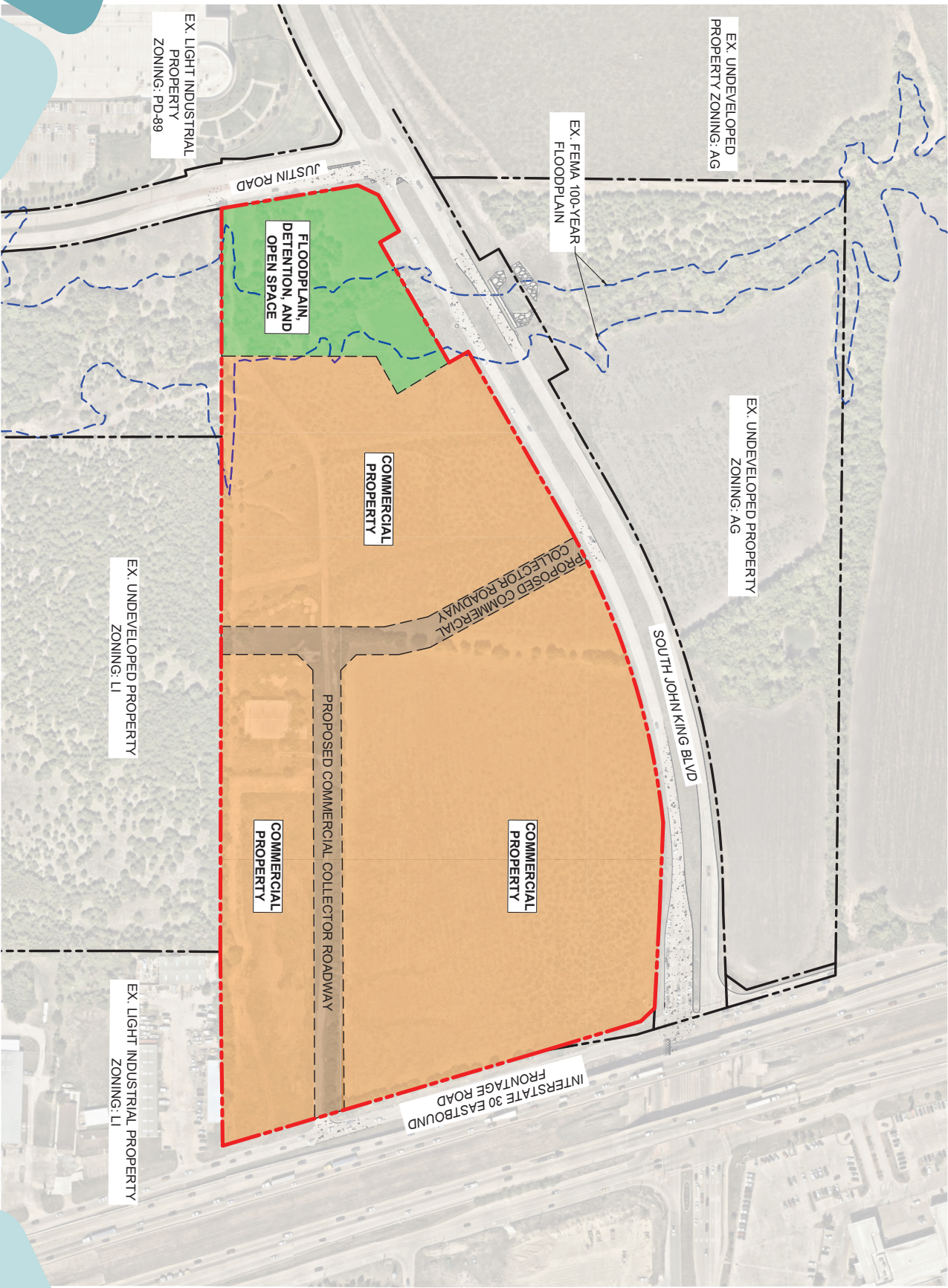
Hunington

EXHIBIT A

[SUBJECT SITE EXHIBIT ATTACHED]

Hunington Properties, Inc.

3773 Richmond Ave., Suite 800 • Houston, Texas 77046 • 713-623-6944 • hpiproperties.com



COMMONS AT ROCKWALL
PLANNED DEVELOPMENT
DISTRICT
SUBJECT SITE EXHIBIT
7/18/2025



2003 W. Main St.
Suite 100
Rockwall, TX 75087
817.271.5500
State of Texas Registration No. F-5928

PROJECT: COMMONS AT ROCKWALL PLANNED DEVELOPMENT DISTRICT SUBJECT SITE EXHIBIT
DATE: 7/18/2025
DRAWN BY: J. HORN
CHECKED BY: J. HORN
APPROVED BY: J. HORN



Hunington

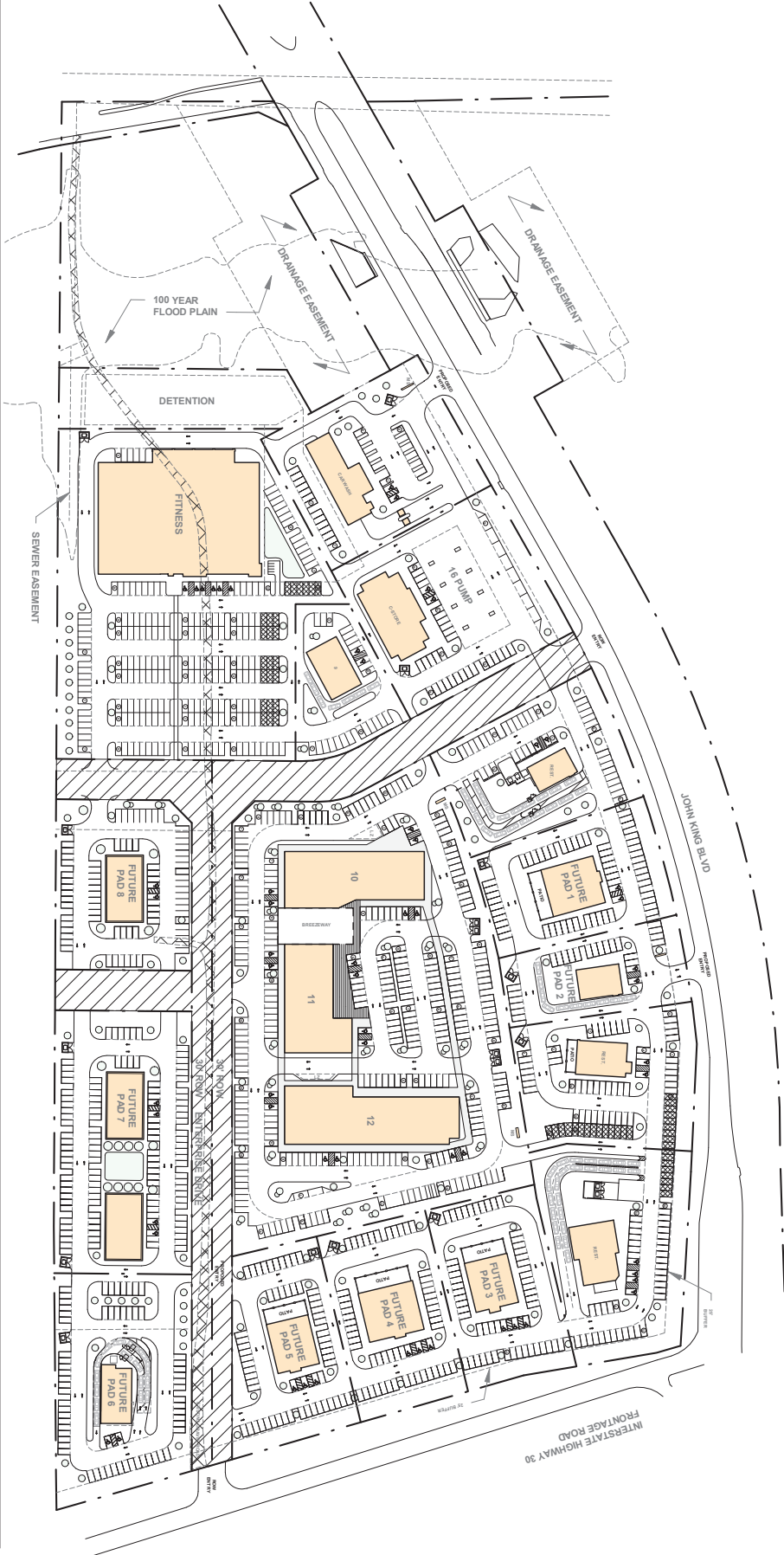
EXHIBIT B

[SITE PLAN ATTACHED]

Hunington Properties, Inc.

3773 Richmond Ave., Suite 800 ♦ Houston, Texas 77046 ♦ 713-623-6944 ♦ hpiproperties.com

LINE AND SYMBOL LEGEND			
	EASEMENT		FIRE LANE
	PROPERTY LINE		ROW
	BUILDING		SHARED PARKING
	GREEN SPACE		



ROCKWALL, TX

SHOPS AT ROCKWALL - STUDY 23

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNERS SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATIONS SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

modus architecture

DATE: 07/18/25

A127





EXHIBIT C

DEVELOPMENT STANDARDS

The Subject Property shall be developed as a comprehensive commercial development as depicted on the Site Plan, which is contained in Exhibit B. The intent is to provide a Regional Mixed-Use Development that incorporates, retail, restaurant, and/or entertainment land uses in conformance with the vision established in the IH-30 Corridor Plan and John King Boulevard Corridor contained in the OURHometown Vision 2040 Comprehensive Plan.

The following general standards shall apply to the Subject Property as depicted on the Subject Site Exhibit:

- (1) Development Standards. Unless otherwise stipulated by this Planned Development District, all property situated within the Subject Property shall be subject to the development standards stipulated by the *General Commercial District Standards*, as outlined in Section 04.01, of Article 5, *Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.
- (2) Landscape Requirements. All landscaping shall be as provided in Article 08, *Landscaping and Fence Standards*, Subsection 05.03 of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:
 - (a) Amount of Landscaping. The percentage of landscaping required on the Subject Property shall be 10%.
 - (b) Landscape Buffer Adjacent to the IH-30 Frontage Road. A minimum of a 20-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway.
 - (c) Landscape Buffer Adjacent to John King Boulevard (SH-205 Bypass). A minimum of a 25-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. In addition, one (1) cedar tree, two (2) canopy trees, and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway.



(3) Permitted Land Uses. Unless specifically provided for by this Planned Development District, the Subject Property shall be subject to the land uses permitted by right within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right, without conditions:

- Animal Boarding/Kennel with Outside Pens
- Animal Clinic for Small Animals without Outdoor Pens
- Animal Hospital, Clinic, or Veterinarian Office
- Limited-Service Hotel
- Full-Service Hotel
- Financial Institution with Drive-Through
- Golf Driving Range
- Alcoholic Beverage Package Sales
- Alcoholic Beverage Store
- Portable Beverage Service Facility
- Craft/Micro Brewery, Distillery, and/or Winery
- Food Trucks/Trailers
- Garden Supply/Plant Nursery
- General Personal Service
- Hair Salon and/or Manicurist
- Laundromat with Dropoff/Pickup Services
- Massager Therapist
- Private Museum or Art Gallery
- Permanent Cosmetics
- Rental Store without Outside Storage and/or Display
- Restaurant with less than 2,000 SF with Drive-Through or Drive-In
- Restaurant with 2,000 SF or more with Drive-Through or Drive-In
- Retail Store with Gasoline Sales that has two or less Dispensers (i.e. a maximum of four vehicles)
- Retail Store with Gasoline Sales that has more than two dispensers
- Feed Store or Ranch Supply
- Furniture Upholstery/Refinishing and Resale
- Medical or Scientific Research Lab
- Minor Automotive Repair Garage
- Full-Service Car Wash and Auto Detail
- Self-Service Car Wash



(b) The following land uses shall be expressly Prohibited:

- Residence Hotel
- Self Service Laundromat
- Tattoo and/or Body Piercing
- Taxidermist Shop
- Gunsmith Repair And Sales
- Heavy Machinery and Equipment Rental, Sales, and Service
- Non-Commercial Parking Lot
- RV Sales and Service
- Service Station
- Towing and Impound Yard
- Towing Service Without Storage
- Truck Rental
- Industrial and Manufacturing Land Uses
- Wholesale, Distribution, and Storage Land Uses

(4) Density and Development Standards. All development on the Subject Property shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	25'
MINIMUM SIDE YARD SETBACK ⁽¹⁾	10'
MINIMUM REAR YARD SETBACK ⁽¹⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽¹⁾	15'
MAXIMUM BUILDING HEIGHT ⁽²⁾	60'
MAXIMUM LOT COVERAGE ⁽³⁾	60%
MINIMUM LANDSCAPING	10%

Lot Dimensional Requirement Notes:

¹: MAY BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.

²: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

³: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.



(5) Parking Requirements. The following parking ratios shall apply on the Subject Property:

- (a) Office: One (1) Parking Space per 300 SF of Building Area.
- (b) Restaurant: One (1) Parking Space per 100 SF of Building Area.
- (c) All others: One (1) Parking Space per 250 SF of Building Area.

(6) Building Materials and Design Standards. All buildings shall adhere to the following:

- (a) Building Materials. The following building materials shall be permitted: stone, brick, glass curtain wall, aluminum and glass storefront, glass block, tile, custom painted tilt-up concrete panel, and custom Concrete Masonry Units (CMU) (*i.e. units that have been sandblasted, burnished, or that have a split face – light weight block or smooth faced block shall be prohibited*). In addition, the use of cementitious materials (*i.e. fiber cement, stucco, cementitious lap siding, tilt-up concrete or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be permitted without limitation for use on the building's exterior façade.
- (b) Articulation Requirements. The articulation requirements stipulated in Section 04.01, *General Commercial District Standards*, and Section 06.02, *General Overlay District Standards*, of the Unified Development Code (UDC) shall not apply to the Subject Property. However, building elevations on the Subject Property shall generally adhere to the Conceptual Building Elevation Plans, depicted on Exhibit D, and all buildings should generally include an articulated entryway that creates some relief in the front façade of the building. This element will be reviewed by the Architectural Review Board (ARB) with the *Site Plan*, and shall adhere to the following standards:
 - i. WALL HEIGHT. The wall height shall be measured from grade to the top of the wall.
 - ii. WALL LENGTH. The maximum wall length shall not exceed three (3) times the wall height (*i.e. 3 x (i) ≥ (ii)*).
 - iii. SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. The minimum length of the secondary entryway or projecting architectural element shall be 25% of the wall length (*i.e. 25% x (ii) ≤ (iii)*).
- (c) Roof Design Standards. All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (*excluding solar panels*) shall not be visible at-grade from the boundaries of the Subject Property. No building, regardless of size, shall be required to have a pitched roof. Bituminous built-up roofs, and/or flat membrane-type roofs that are visible from adjacent properties or public right-of-way shall be prohibited.



(d) Required Architectural Elements. All buildings shall be required to incorporate a minimum of two (2) of the following architectural elements:

- Canopies, Awnings, or Porticos
- Recesses/Projections
- Arcades
- Peaked roof forms
- Arches
- Outdoor patios
- Display windows
- Architectural details (e.g. tile work and moldings) integrated into the building's façade
- Articulated ground floor levels or bases
- Articulated cornice line
- Integrated planters or wing walls that incorporate landscape and sitting areas
- Offsets, reveals, or projecting rib expressing architectural or structural bays
- Varied roof heights

(e) Trash/Recycling/Enclosures. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, dumpster enclosure that utilizes material that is complimentary in color and scale to the primary building and incorporates an opaque, self-latching gate.

(7) Signage. All signage shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, the following shall apply:

(a) Signage Plan. All signage at the entrances of the Subject Property shall generally adhere to the Signage Plan attached hereto as Exhibit E.



Hunington

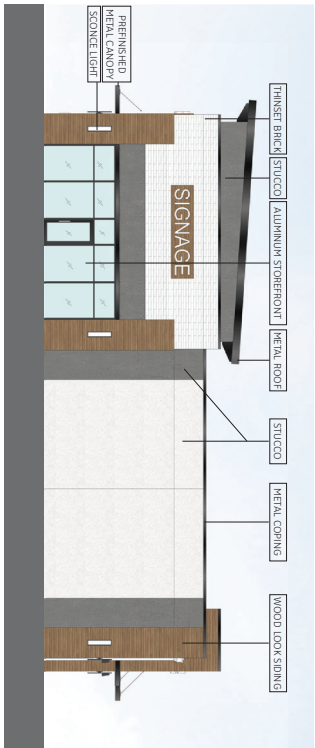
EXHIBIT D

[CONCEPTUAL ROOF ELEVATIONS ATTACHED]

Hunington Properties, Inc.

3773 Richmond Ave., Suite 800 ♦ Houston, Texas 77046 ♦ 713-623-6944 ♦ hpiproperties.com

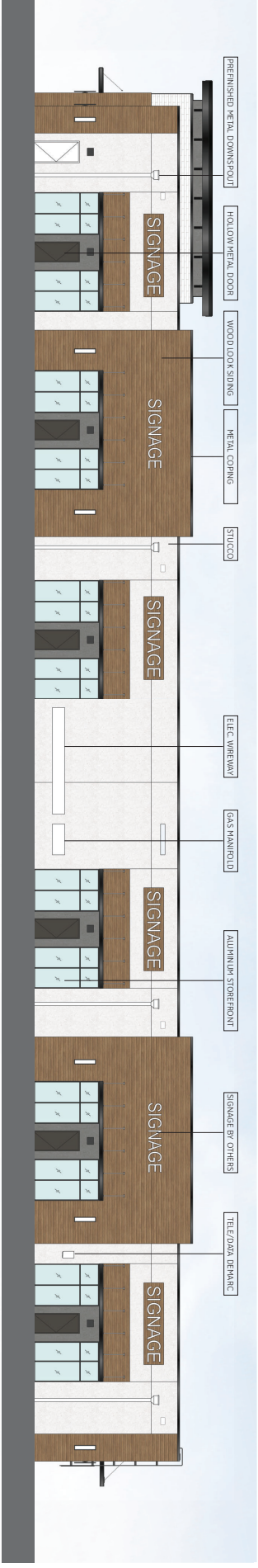
EXTERIOR ELEVATIONS - BUILDING 01



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

HUNNINGTON - SHOPS AT ROCKWALL

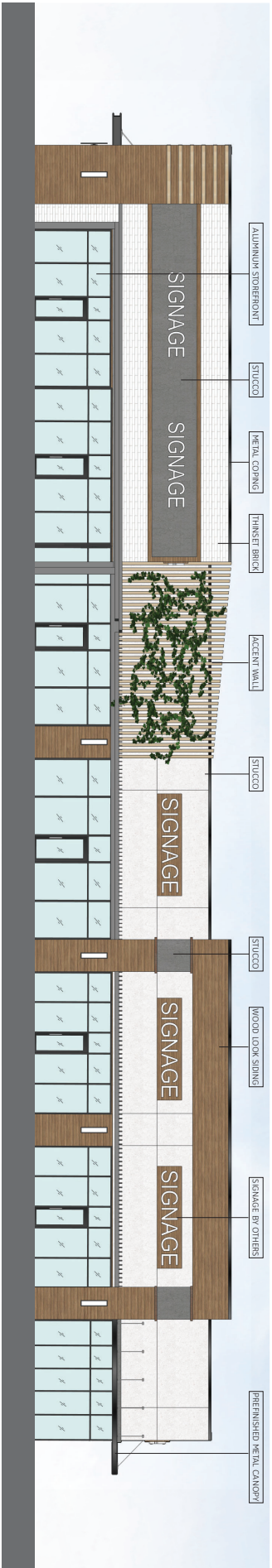
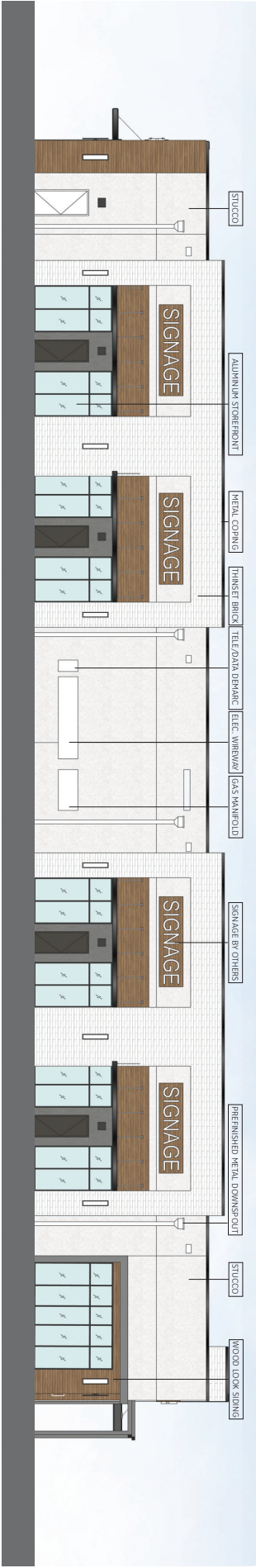
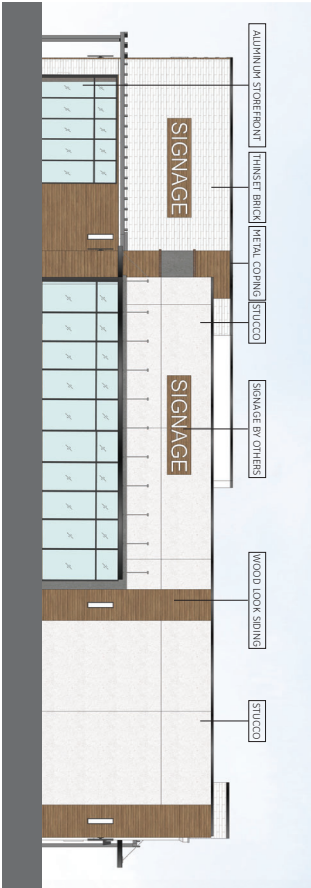
CONCEPTUAL IMAGES

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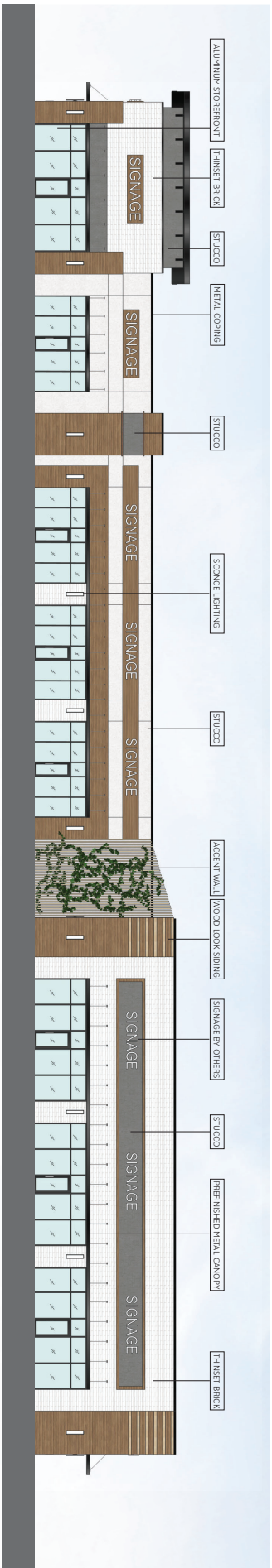
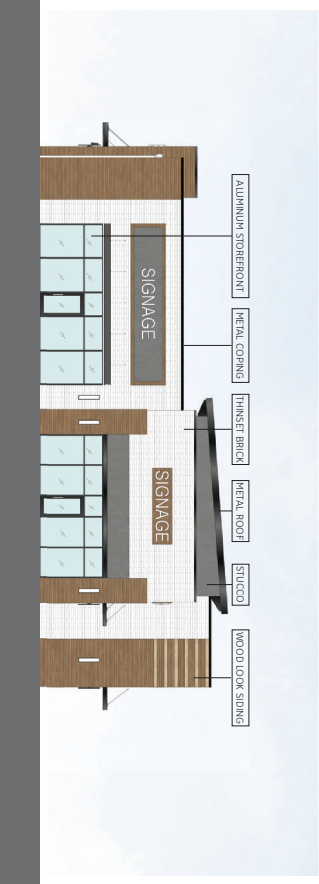
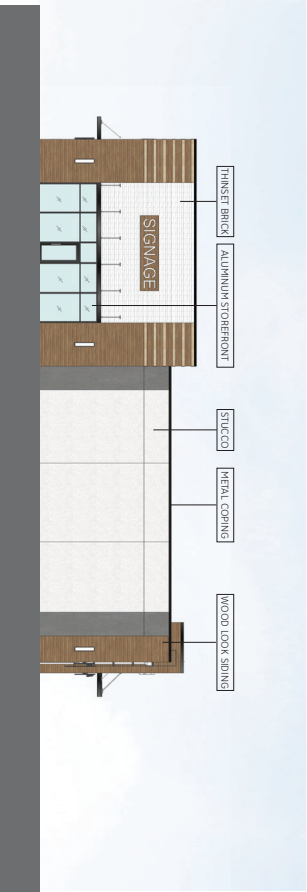
DATE: 07/15/2025

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EXTERIOR ELEVATIONS - BUILDING 02



EXTERIOR ELEVATIONS - BUILDING 03



HUNNINGTON - SHOPS AT ROCKWALL

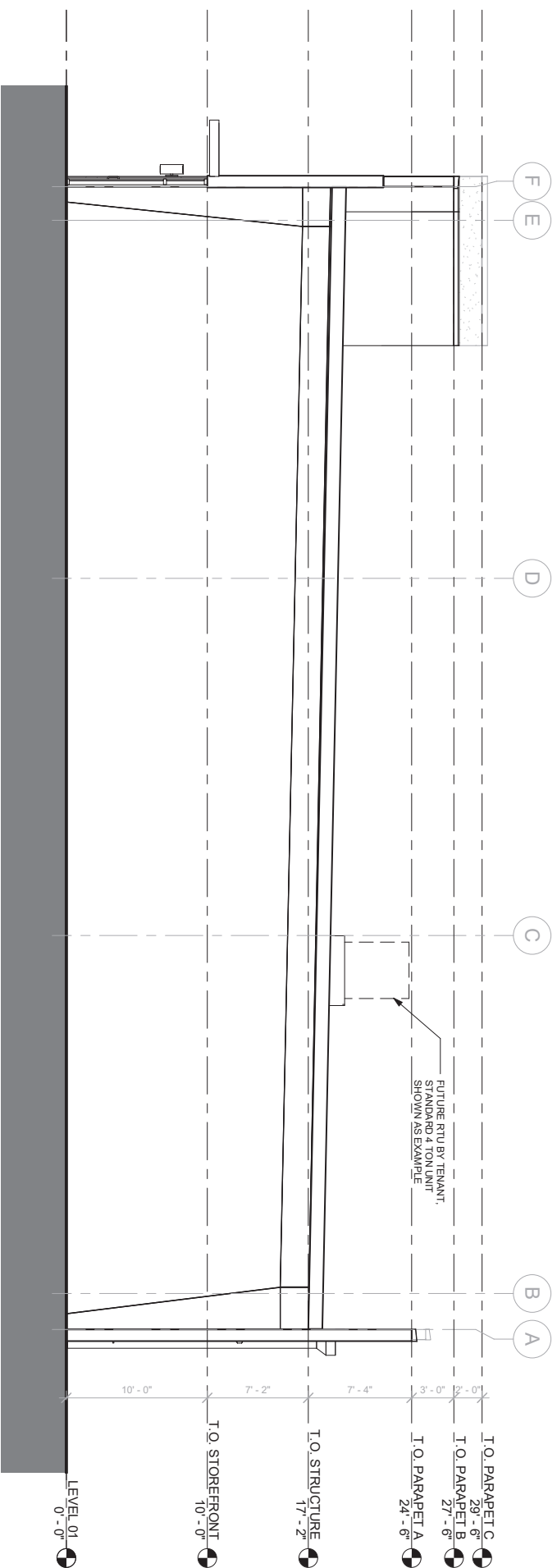
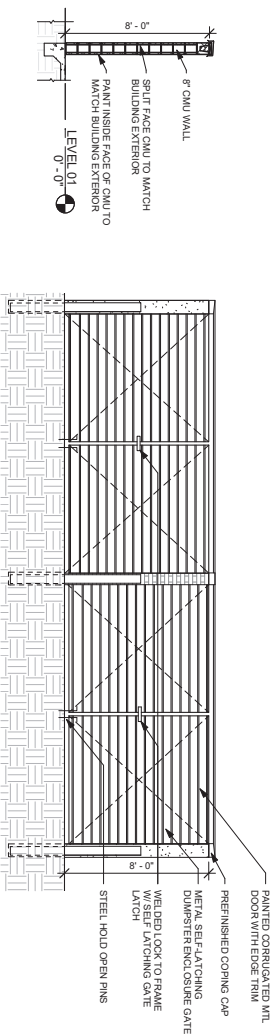
CONCEPTUAL IMAGES

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DATE: 07/15/2025

TYPICAL BUILDING SECTION / DUMPSTER ENCLOSURE DETAILS



HUNNINGTON - SHOPS AT ROCKWALL

CONCEPTUAL IMAGES

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DATE: 07/15/2025



Hunington

EXHIBIT E

[SIGNAGE PLAN ATTACHED]

Hunington Properties, Inc.

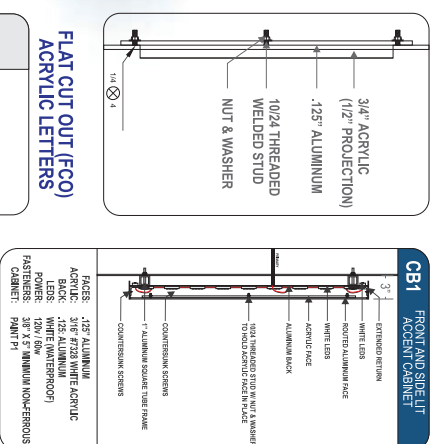
3773 Richmond Ave., Suite 800 ♦ Houston, Texas 77046 ♦ 713-623-6944 ♦ hpiproperties.com

SIGN TYPE

MFG. & INSTALL (1) D/F INTERNALLY
ILLUMINATED MULTI TENANT SIGN.

MATERIAL SPEC

- | | |
|---|---|
|  | A1: 3/16" #328 WHITE ACRYLIC |
|  | A3: 3/4" CLEAR ACRYLIC WITH SECOND SURFACE 3M 3635-70 DIFFUSER AND 3M WHITE 3630-20 VINYL OVERLAY FIRST SURFACE |
|  | A4: 1/2" Pgs BLACK ACRYLIC |
|  | A1: 1/2" ALUMINUM |
|  | A1.2: 125' ALUMINUM TUBE |
|  | A1.2: 125' ALUMINUM TUBE |
|  | W1: WOOD CLADDING TO MATCH SHOPPING CENTER |
|  | B1: BRICK TO MATCH SHOPPING CENTER |
- PAINT SPEC - SATIN FINISH**
- P1: TBD



(N) SPECIFICATION

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND ANY OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

ILLUMINATED

120 or 277 VOLT ELECTRICAL SERVICE:

ELECTRICAL LOAD:

20 AMP CIRCUITS:

CLIENT TO PROVIDE ALL PRIMARY ELECTRICAL SERVICES TO THE SIGN UNLESS OTHERWISE SPECIFIED

PAGE 2 OF 6

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SIGN TYPE

**MFG. & INSTALL (1) D/F INTERNALLY
ILLUMINATED MULTI TENANT SIGN.**

MATERIAL SPEC

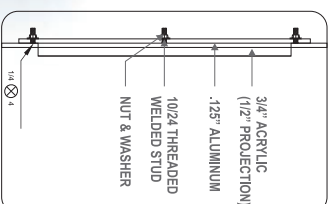
- | | |
|---|--|
|  | A1. 3/16" #328 WHITE ACRYLIC |
|  | A3. 3/4" CLEAR ACRYLIC WITH SECOND SUEDE SURFACE |
|  | DIFFUSER AND 3M 3635-70 |
|  | 3635-20 VINYL OVERLAY FIRST SURFACE |
|  | A4. 1/2" P95 BLACK ACRYLIC |
|  | A1.1. 125" ALUMINUM |
|  | A1.2. 125" ALUMINUM TUBE |
|  | W1. WOOD CLADDING TO MATCH SHOPPING CENTER |
|  | B1. BRICK TO MATCH SHOPPING CENTER |

PAINT SPEC - SATIN FINISH

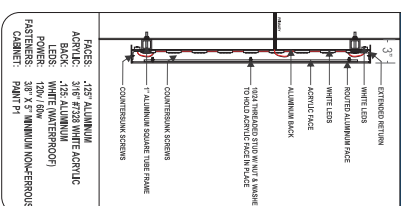
■ P1: TBD



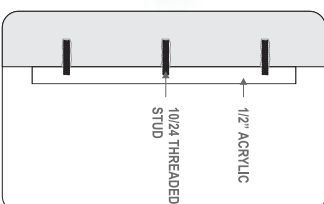
PUSH THRU



CB1
FRONT AND SIDE LIT
ACCENT CABINET



FLAT CUT OUT (FCO) ACRYLIC LETTERS



THIS IS ONLY AN ARTIST RENDERING. FINISHED PROJECT MAY VARY SLIGHTLY IN SIZE AND COLOR

PROJECT

PROJECT INFO

CLIENT: HUNNINGTON PROPERTIES | ROCKWALL
ADDRESS: NWC I-30 & JOHN KING BLVD
CITY, STATE: ROCKWALL, TX 75087
DATE: 06.04.2025
SALES REP: JG
DRAWN BY: SF

DRAWING NUMBER

PRO25-0344

W.O. (E2) NUMBER

#	DATE	REVISIONS	SIGNATURES
1			CLIENT APPROVAL SIGNED: _____ DATE: _____
2			
3			LANDLORD APPROVAL SIGNED: _____ DATE: _____
4			
5			SALES SIGNED: _____ DATE: _____
6			

ESTIMATION

APPROVAL _____

APPROVAL _____

APPROVAL _____

APPROVAL _____

**FOR ACTUAL COLORS OF ITEMS DEPICTED IN THIS DESIGN,
REFER TO SAMPLES AS MONITORS & PRINTERS VARY.**

**CLIENT IS RESPONSIBLE FOR SUPPLYING VECTOR AND/OR
HIGH-RES TYPICAL BRANDING FILES PRIOR TO PRODUCTION
TO AVOID A SET-UP FEE.**

④ SPECIFICATION

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120 or 277 VOLT ELECTRICAL SERVICE

ELECTRICAL LOAD:
20 AMP (CIRCULITS).

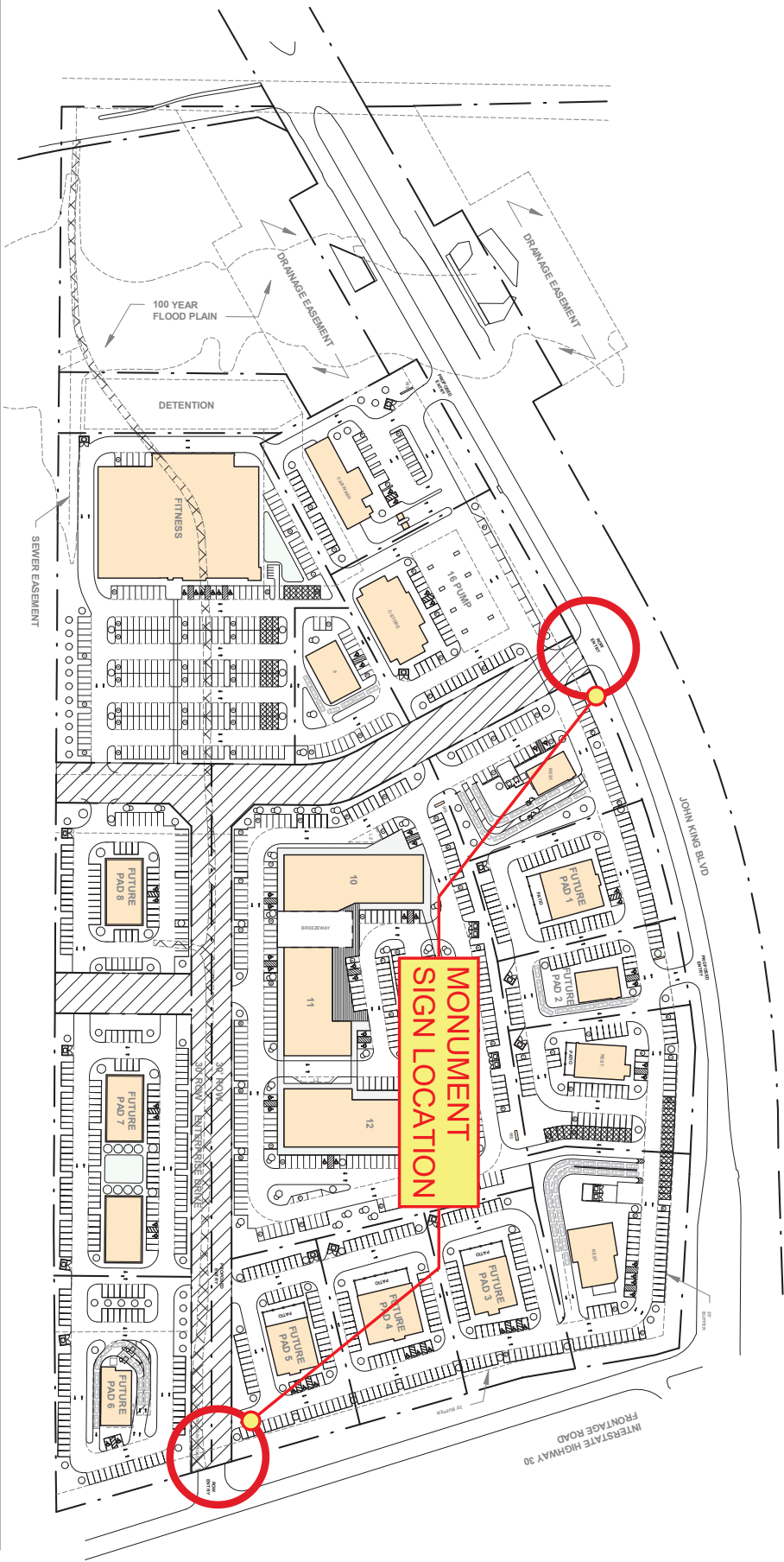
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LINE AND SYMBOL LEGEND			
	EASEMENT		FIRE LANE
	PROPERTY LINE		ROW
	BUILDING		SHARED PARKING
	GREEN SPACE		



ROCKWALL, TX

SHOPS AT ROCKWALL - SIGNAGE PLAN

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DATE: 07/18/25

A127