



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1765 T.L. Townsend Drive

SUBDIVISION N/A - Prop ID 10233

LOT Tract 1 BLOCK N/A

GENERAL LOCATION NE Corner of Townsend Drive and Highway 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE Vacant

PROPOSED ZONING LI - SUP

PROPOSED USE Heavy Auto Repair

ACREAGE .9

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Max Realty Holdings, LLC

☐ APPLICANT Greenlight Studio, LLC

CONTACT PERSON Michael Grose

CONTACT PERSON Tyler Adams

ADDRESS 229 Pioneer Court

ADDRESS 100 N. Cottonwood Drive

Suite 104

CITY, STATE & ZIP Royce City, Texas 75189

CITY, STATE & ZIP Richardson, Texas 75080

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

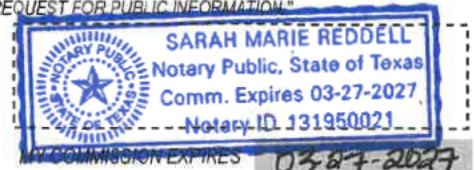
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Grose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

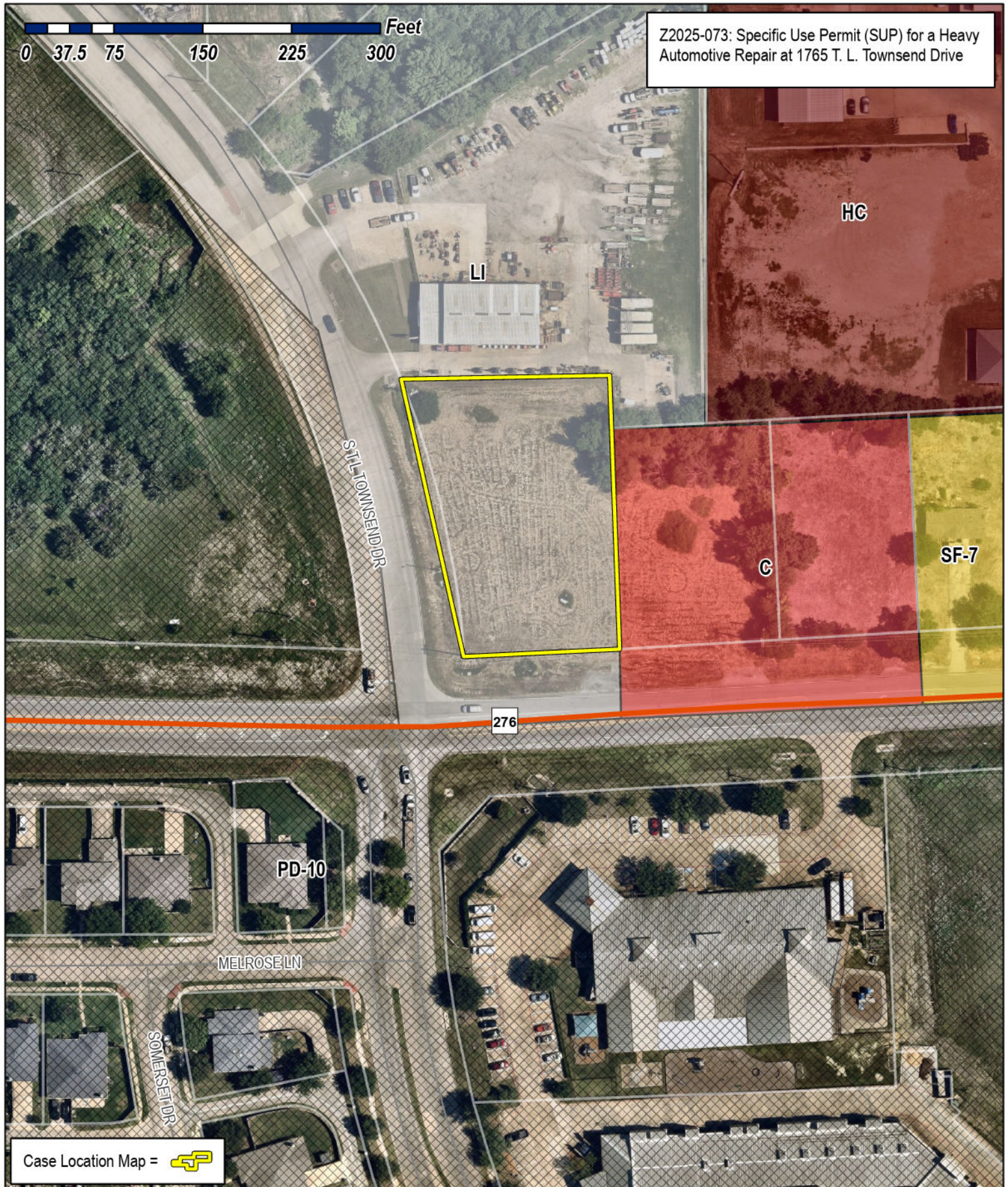
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF October, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

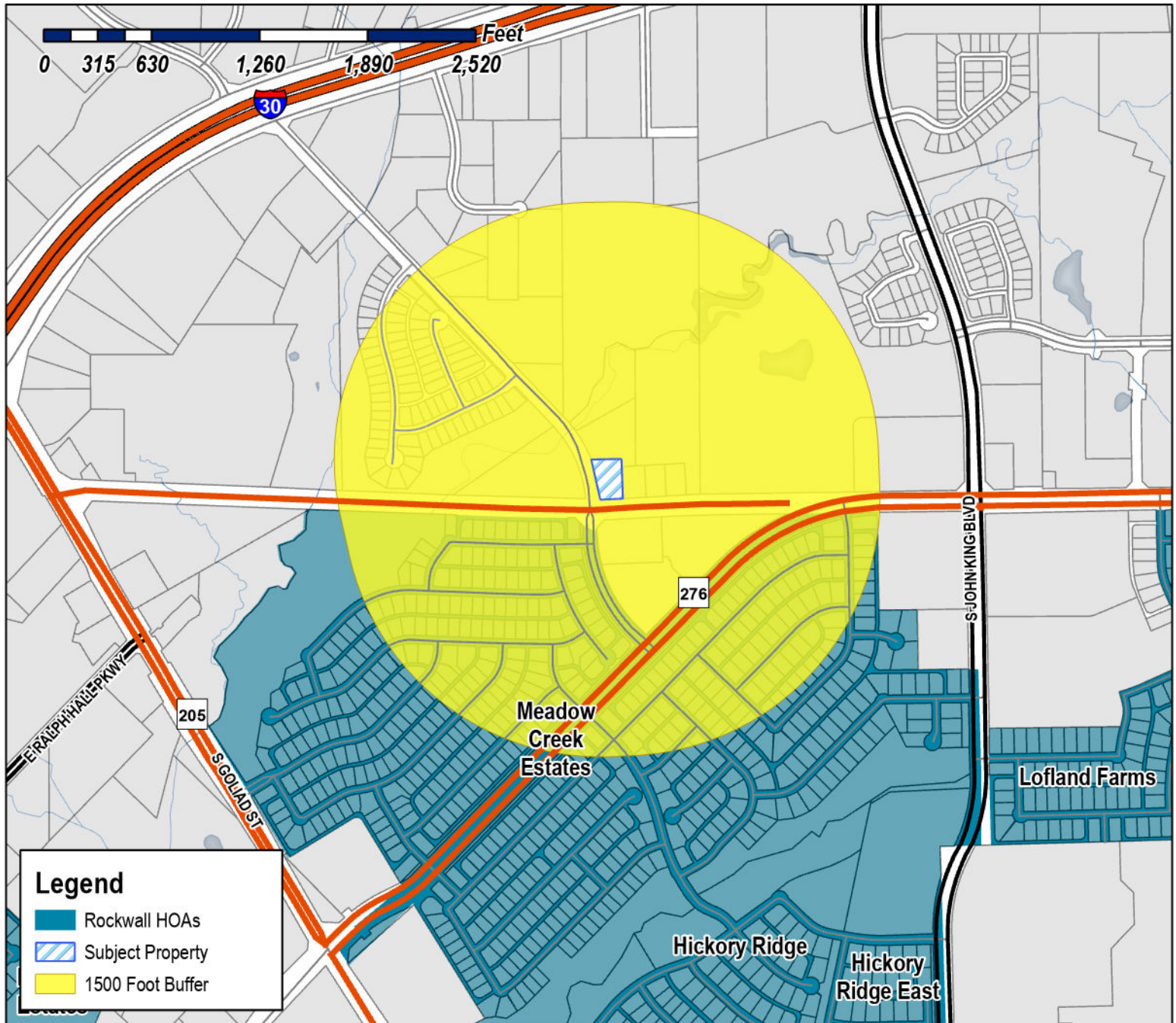




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Case Number: Z2025-073
Case Name: SUP for a Heavy Automotive Repair
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1765 T.L Townsend Drive

Date Saved: 10/18/2025

For Questions on this Case Call (972) 771-7745

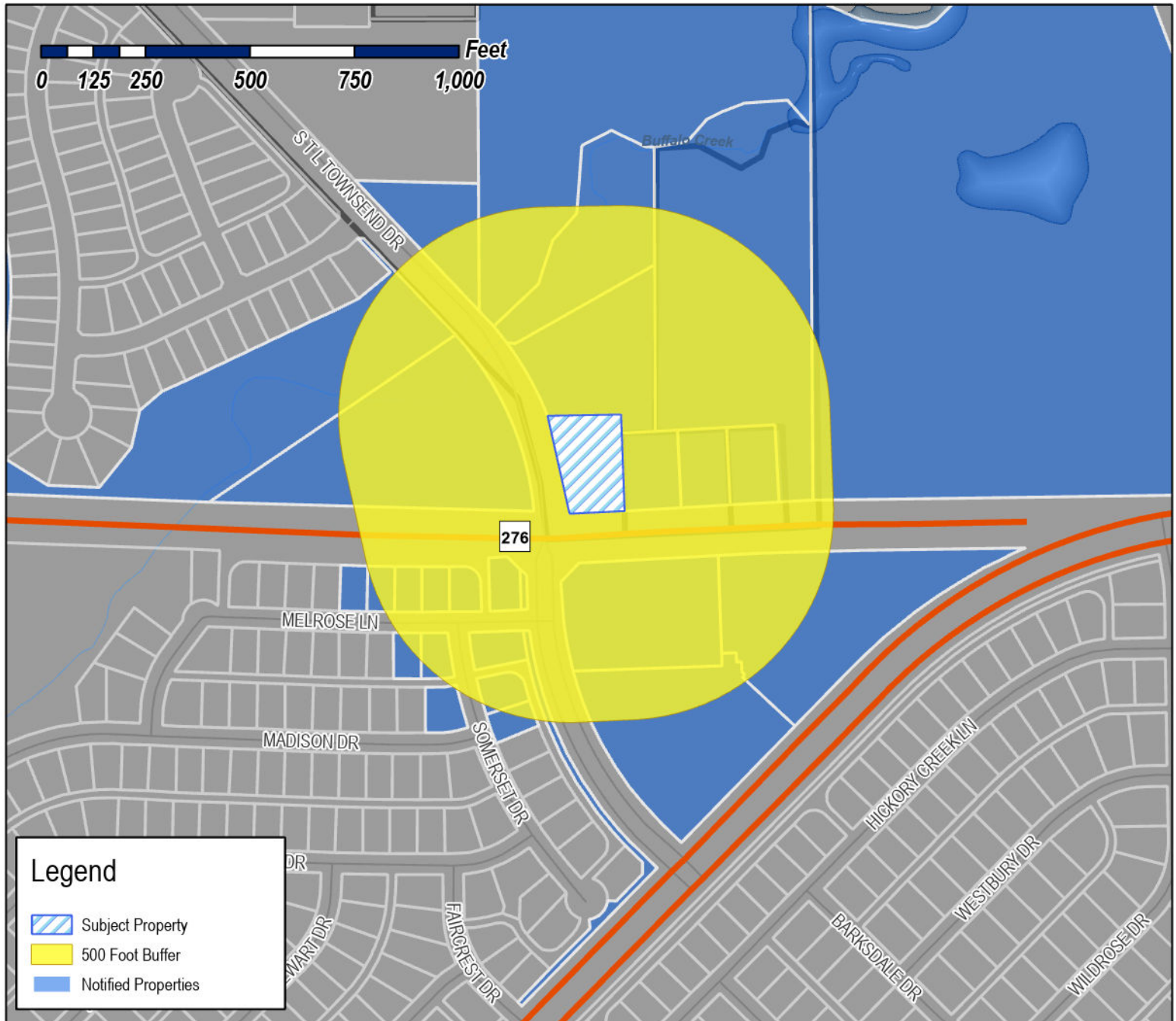




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HOYOS JOEL
11214 GARLAND RD
DALLAS, TX 75218

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DALLAS, TX 75218

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

VALK TRUST THE
JAMES VALK SR AND CAROLYN C TRUSTEES
1158 CHISHOLM RIDGE DR
ROCKWALL, TX 75032

RESIDENT
1415 HWY276
ROCKWALL, TX 75032

RESIDENT
1425 HWY276
ROCKWALL, TX 75032

327 HOLDINGS LTD
1500 COUNTY ROAD 303
TERRELL, TX 75160

HAILE TADESSE T &
TSEGU T HAKIM
1524 MELROSE LN
ROCKWALL, TX 75032

JENKINS PHILLIP & PEARLIE M
1530 MELROSE LN
ROCKWALL, TX 75032

LOYD AMANDA &
SUSAN LOYD & PAUL LOYD
1536 MELROSE LN
ROCKWALL, TX 75032

RESIDENT
1542 MELROSE LN
ROCKWALL, TX 75032

SCOTT MONTE K & APRIL E
1542 MADISON DR
ROCKWALL, TX 75032

BYRD BLAIR S & GAYLA D
1543 MELROSE LN
ROCKWALL, TX 75032

CORTEZ LIDIA G
1548 Melrose Ln
Rockwall, TX 75032

WAKO GIZAW L & TSIYON E
1549 MELROSE LN
ROCKWALL, TX 75032

ZAREMBA MICHAEL J
1554 MELROSE LN
ROCKWALL, TX 75032

MOTA SAMUEL
1557 Trowbridge Cir
Rockwall, TX 75032

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Rockwall, TX 75032

CURRIN CONSTRUCTION GROUP LLC
1604 VISTA COURT
MCCLENDON CHISHOLM, TX 75032

RESIDENT
1611 HWY276
ROCKWALL, TX 75032

RESIDENT
1615 T L TOWNSEND DR
ROCKWALL, TX 75032

RESIDENT
1650 S JOHN KING
ROCKWALL, TX 75032

RESIDENT
1725 T L TOWNSEND
ROCKWALL, TX 75032

MEADOWCREEK ESTATES HOMEOWNERS ASSOC
INC
1800 Preston Park Blvd Ste 101
Plano, TX 75093

MEADOWCREEK ESTATES HOMEOWNERS ASSOC
INC
1800 Preston Park Blvd Ste 101
Plano, TX 75093

RESIDENT
1835 T L TOWNSEND DR
ROCKWALL, TX 75032

RESIDENT
1855 TL TOWNSEND DR
ROCKWALL, TX 75032

GALAXY RANCH SHOPPING CENTER LP
2101 FIREWHEEL PKWY
GARLAND, TX 75040

GALAXY RANCH SHOPPING CENTER LP
2101 FIREWHEEL PKWY
GARLAND, TX 75040

GALAXY RANCH SCHOOL LP
2101 FIREWHEEL PKWY
GARLAND, TX 75040

MAX REALTY HOLDINGS LLC
229 PIONEER CT
ROCKWALL, TX 75189

RESIDENT
2362 SOMERSET DR
ROCKWALL, TX 75032

MAYSON MERCY
2362 SOMERSET DR
ROCKWALL, TX 75032

RESIDENT
2368 SOMERSET DR
ROCKWALL, TX 75032

RESIDENT
2374 SOMERSET DR
ROCKWALL, TX 75032

CHERUKURU NANDGOPAL
909 SUNNYVALE DR
ROCKWALL, TX 75087

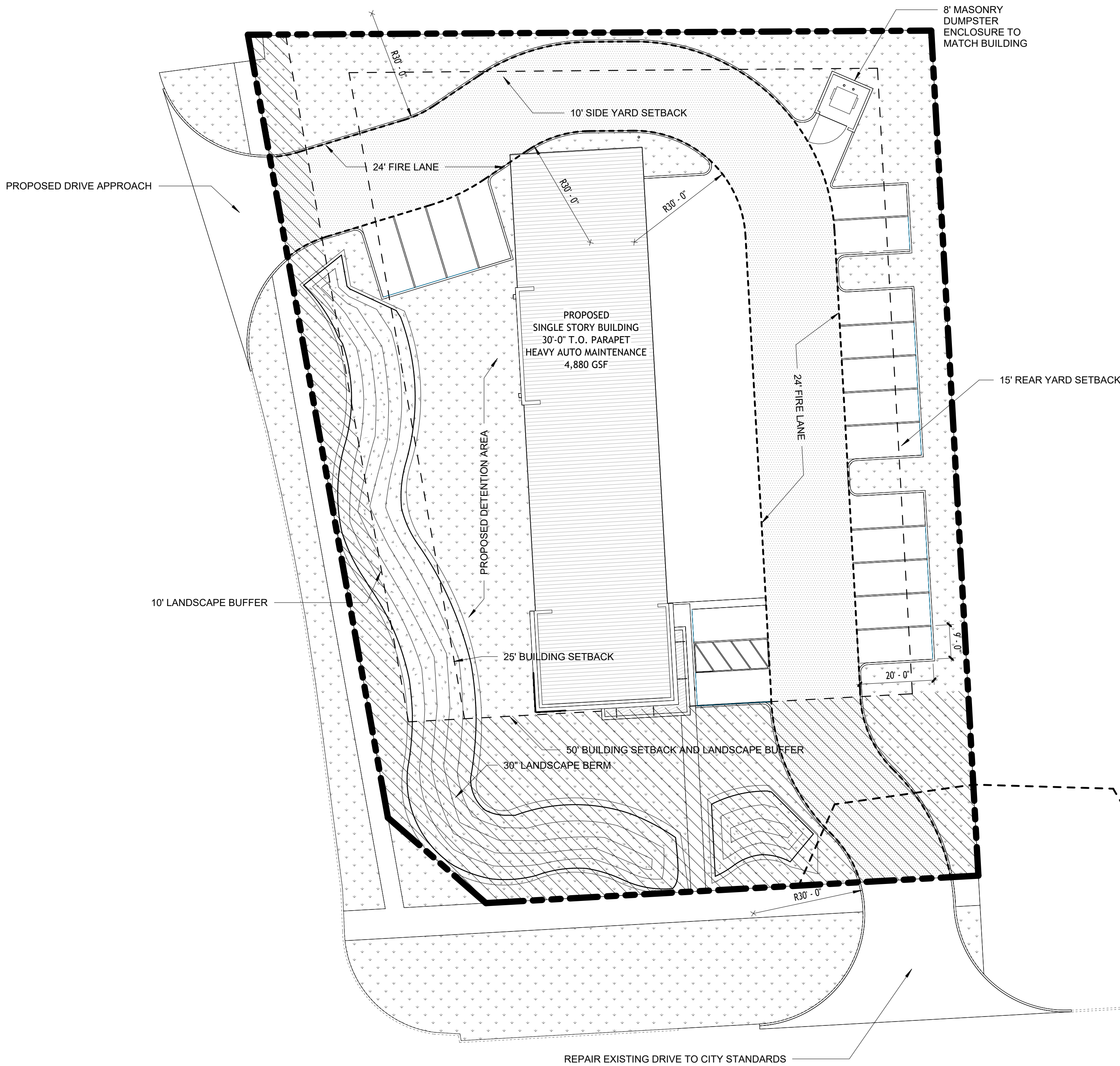
1540 EAST IH 30 ROCKWALL LLC
M/R

RDMS PROPERTIES LLC- SERIES L (RS)
A SERIES OF RDMS PROPERTIES
PO BOX 1569
ROCKWALL, TX 75087

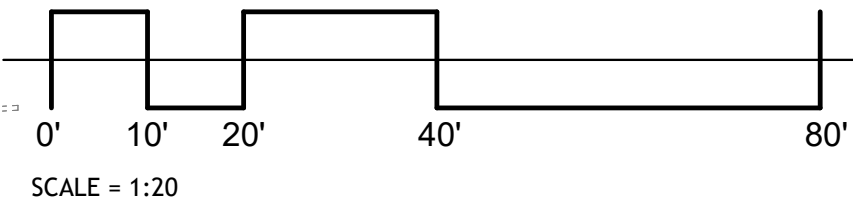
KAMY REAL PROPERTY TRUST
PO BOX 50593
DENTON, TX 76206

STAR HUBBARD LLC
C/O STEADFAST COMPANIES
PO BOX 530292
BIRMINGHAM, AL 35253

COLIN-G PROPERTIES LTD
A TEXAS LIMITED PARTNERSHIP
PO BOX 847
ROCKWALL, TX 75087



- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.
 - NO ABOVE GROUND STORAGE TANKS OR OUTSIDE STORAGE PERMITTED.
- DRAINAGE NOTES**
- AS-BUILT/EXISTING FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.
- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.



GREENLIGHT

STUDIO, LLC

www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
P: 214.610.4535

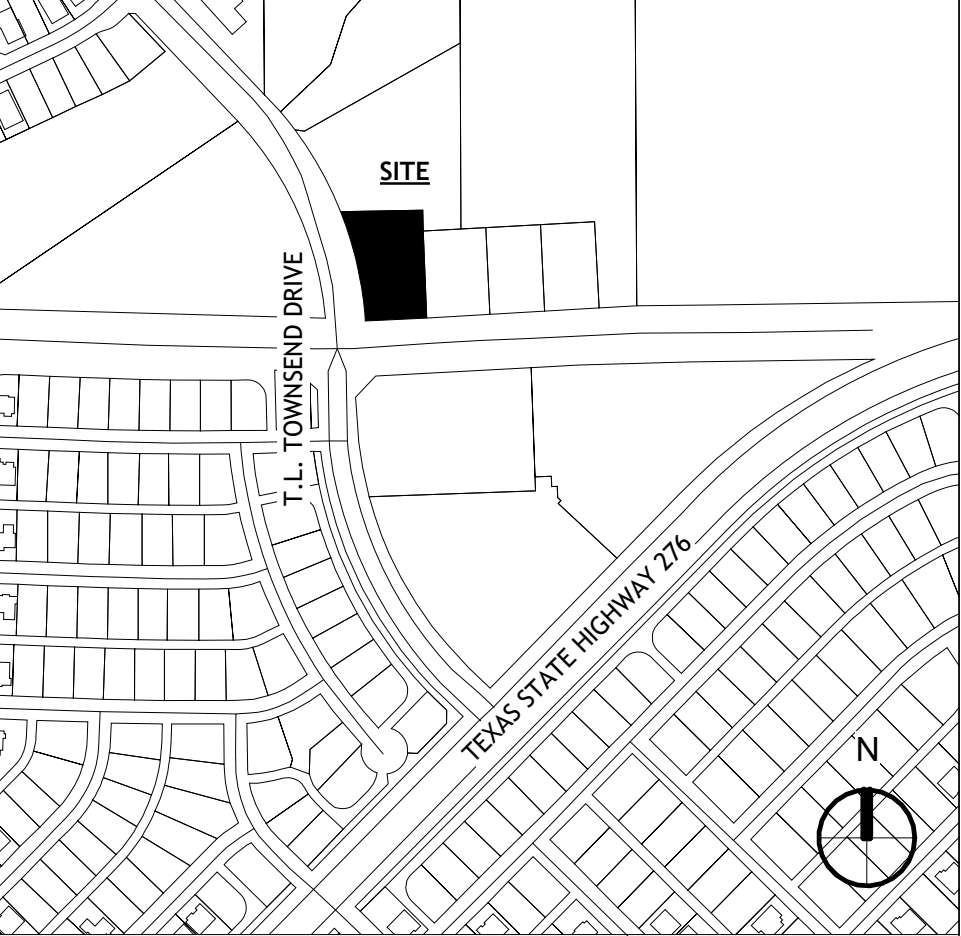


Owner:
Max Realty Holdings LLC
229 Pioneer Court
Royce City, Texas 75189

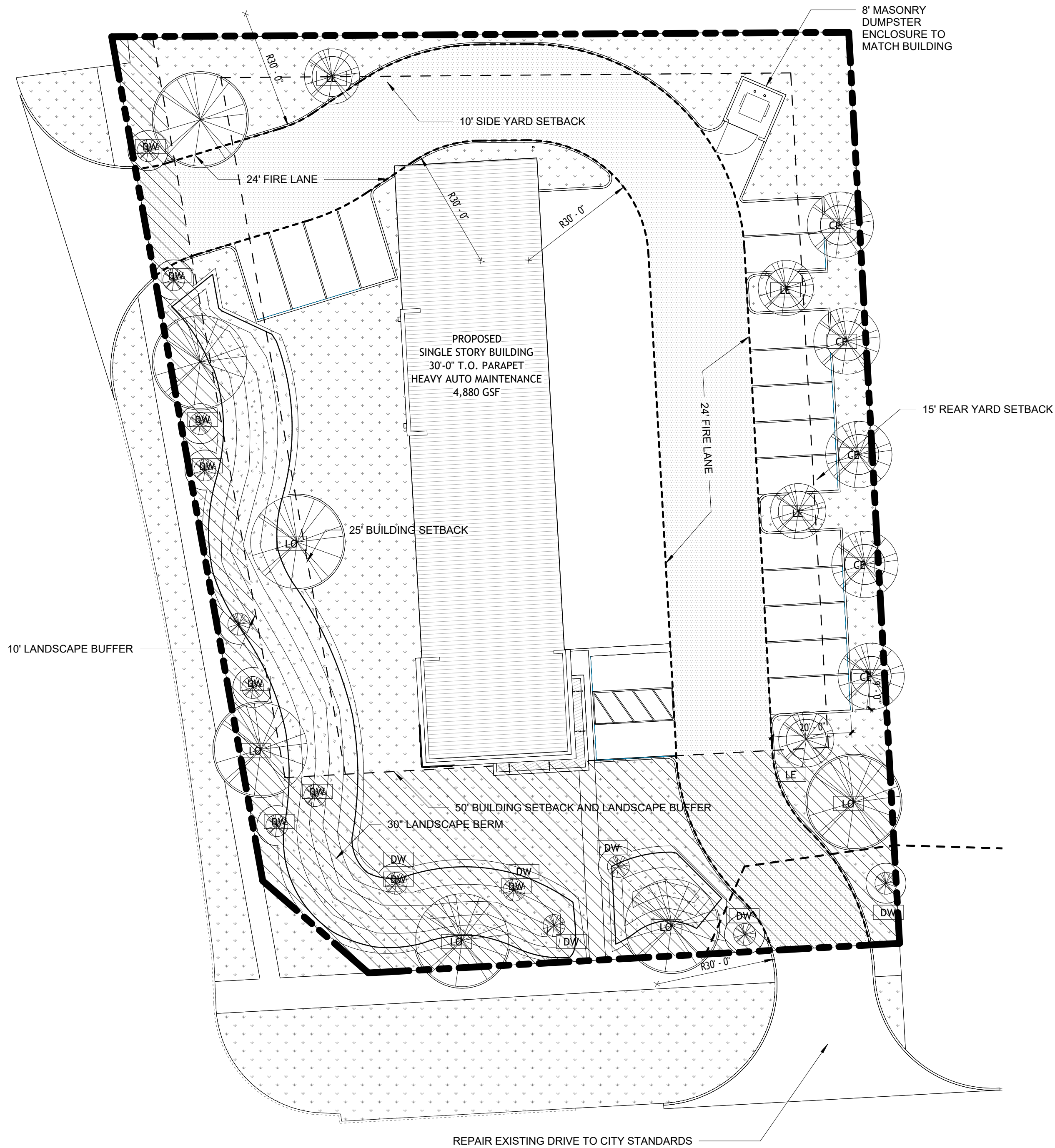
Site Data Summary Table	
General Site Data	
Zoning	LI
Proposed Land Use	Auto Repair, Heavy (SUP)
Lot Area	39,005
Lot Area	0.90
Building Footprint Area (Approximate)	4,880
Area Covered by Canopy	150
Maximum Building Height (# Stories)	1
Maximum Building Height (Feet)	35'
Lot Coverage	13%
Floor Area Ratio	1/8

Parking	
Parking Required 2 per Bay	16
Standard Parking Provided	16
Accessible Parking Required	1
Accessible Parking Provided	1
Total Parking Provided	17

Landscaping Area	
Landscape Buffer Area	9490
Street Yard Landscape Provided	7810
Internal LS Provided	10,609
Total LS Area Provided:	18,419
Other Planting Area	0
Permeable Areas	
Permeable Pavement	0
Other Permeable Area	0
Total permeable Area	18,419
Impervious Area	
Building Area	4,880
Sidewalks, Pavement, and other Impervious Flatwork	15,527
Other Impervious Area (curbs)	179
Total Impervious Area	20,586
Total Landscape Area, Impervious Area, Permeable Area	39,005
Total Area for Outdoor Storage	None



VICINITY MAP - NOT TO SCALE

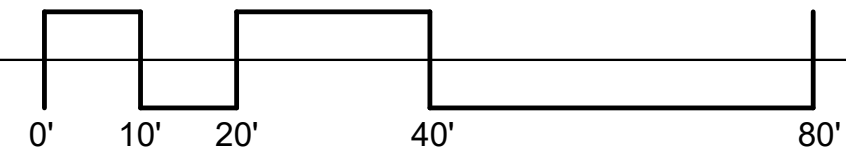


Planting Schedule		
Type Mark	Type Comments	Count
CE	Cedar Elm	5
DW	Desert Willow	14
LE	Lacebark Elm	4
LO	Live Oak	7

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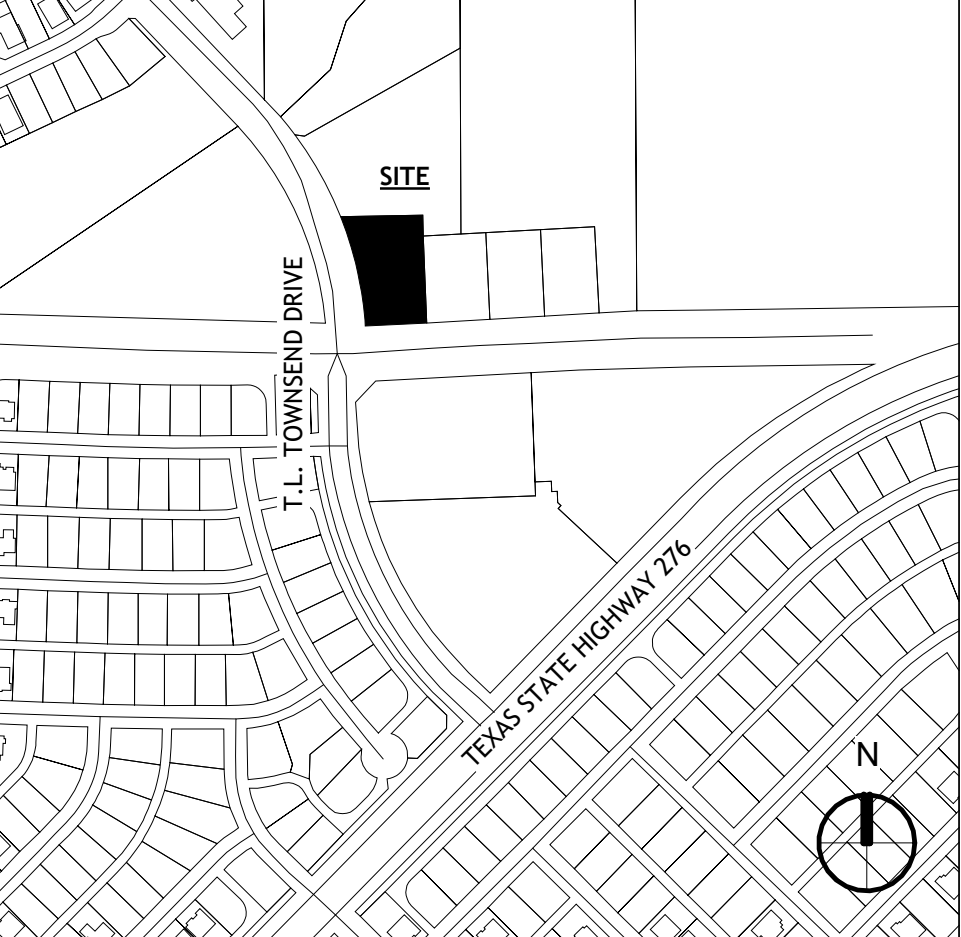
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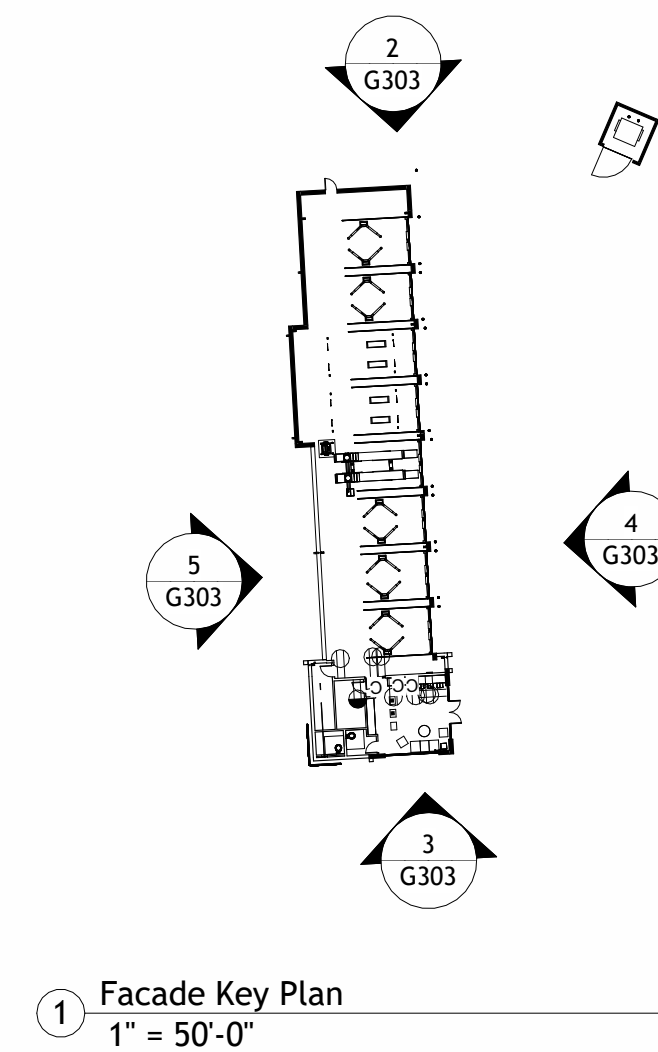
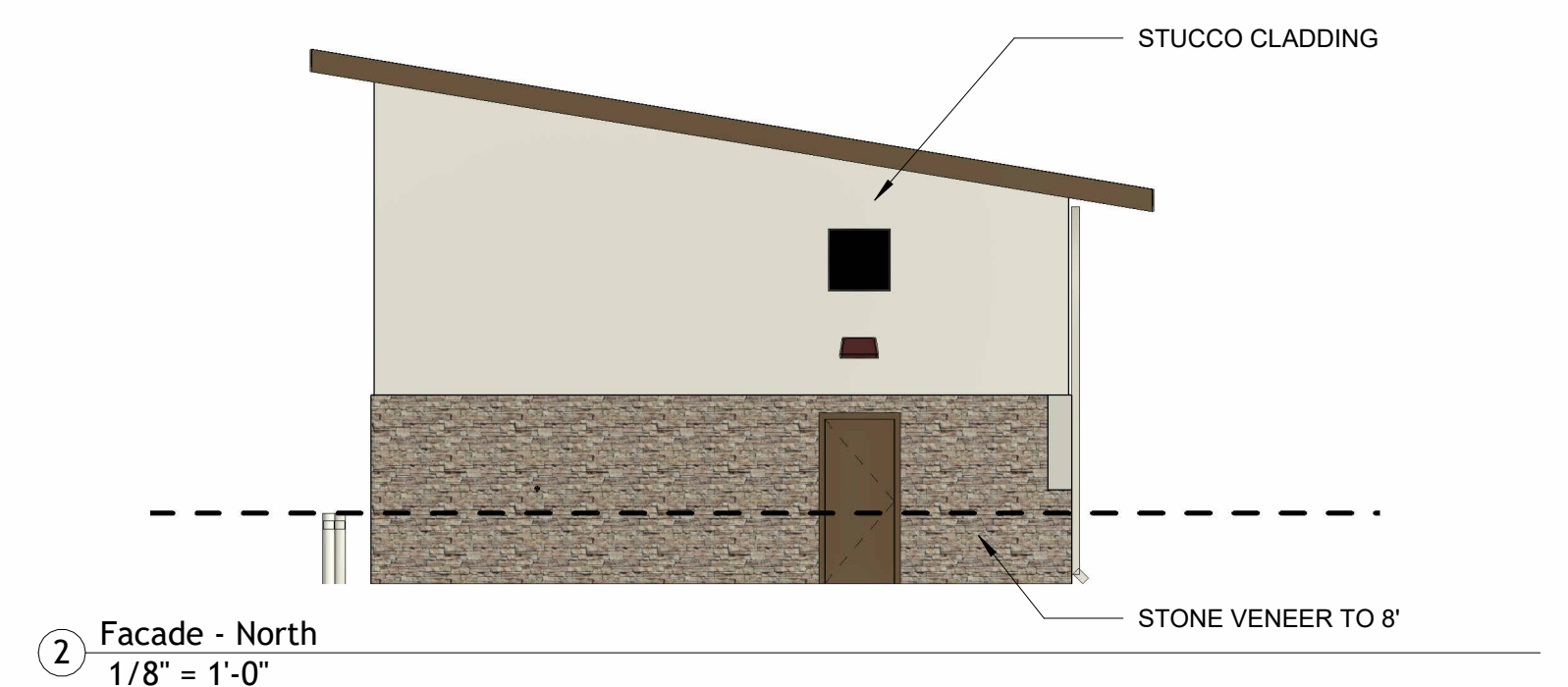
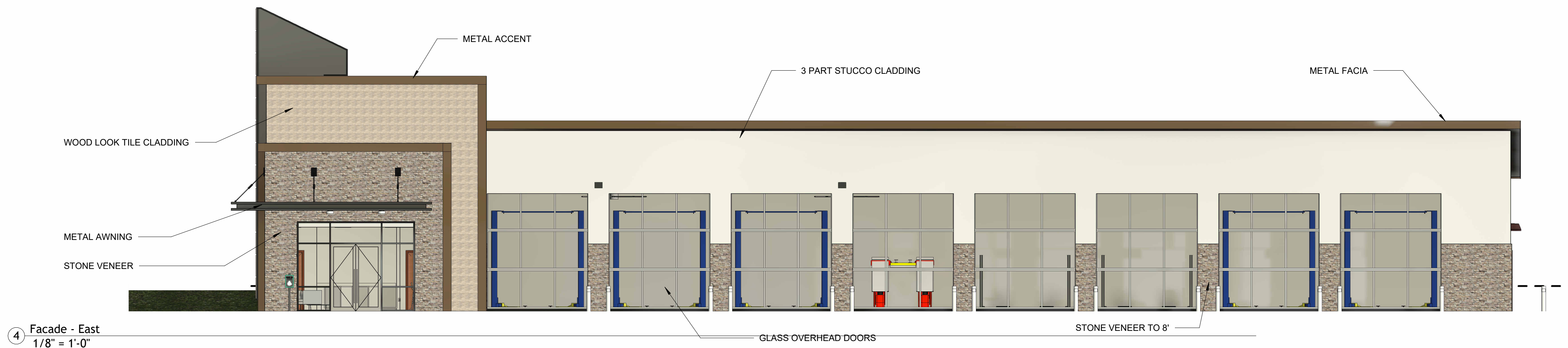
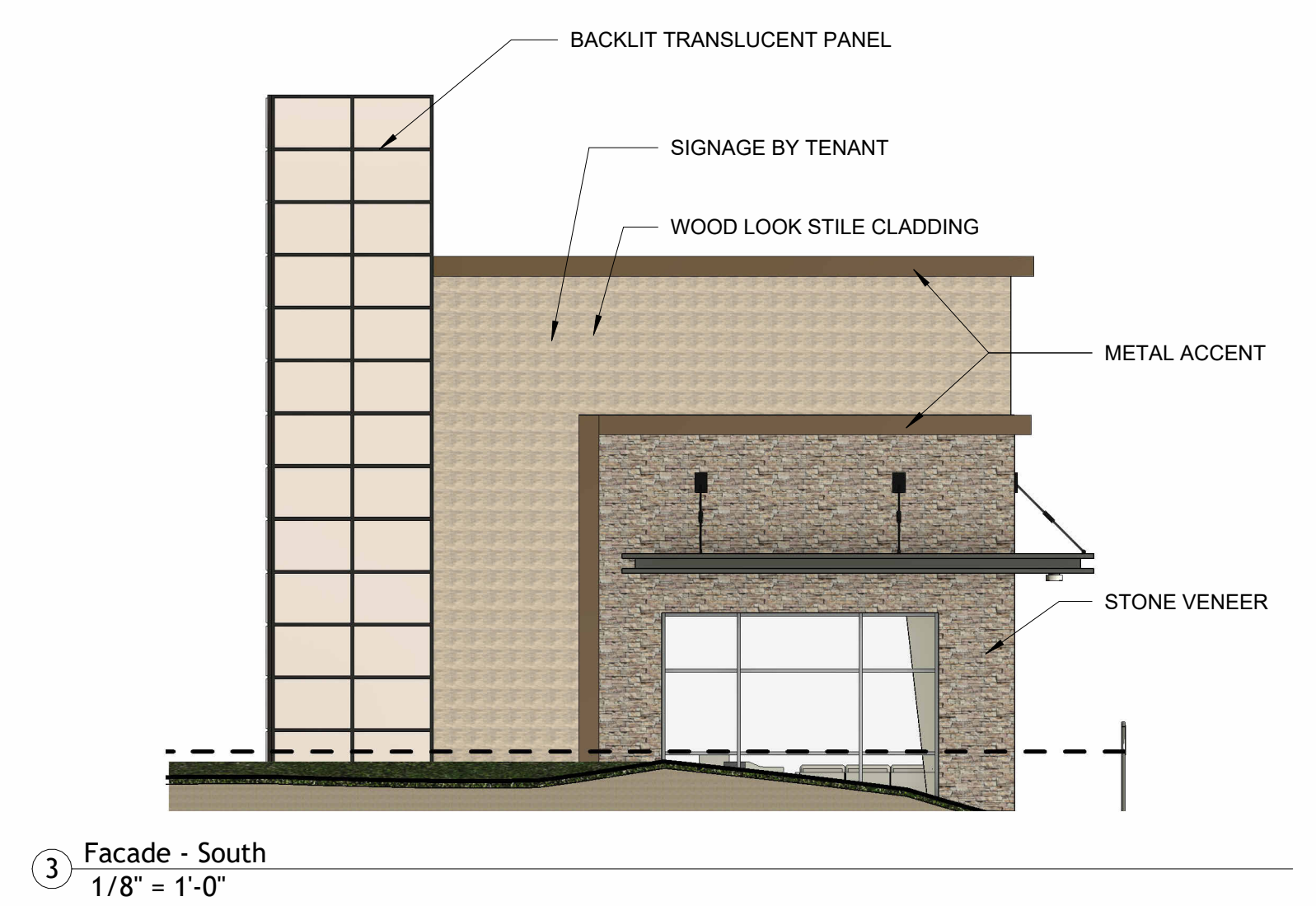
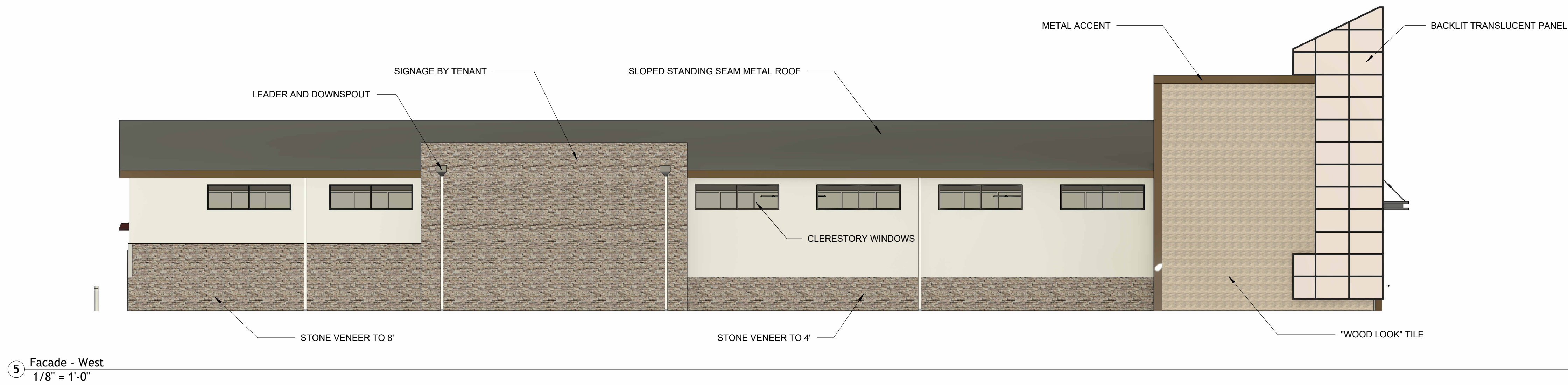
City Project No. _____

Conceptual Landscape Plan

INTEGRITY 1ST ADDITION
(PROPOSED)
BLOCK A, LOT 1

.9ACRES
City of Rockwall, Rockwall County, Texas
N.M. BALLARD SURVEY, Abstract No. A0024

Prepared October 17, 2025



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v: 214.810.4535

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City Project No. _____

Facade Plans

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City Project No. _____

Color Renderings

INTEGRITY 1ST ADDITION (PROPOSED) BLOCK A, LOT 1

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