



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

1011 S Goliad

SUBDIVISION

Canup's

LOT

10311

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C Commercial

CURRENT USE

Vacant

PROPOSED ZONING

Sup

PROPOSED USE

Drive-Thru coffee structure

ACREAGE

15,159 SF

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Rogers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

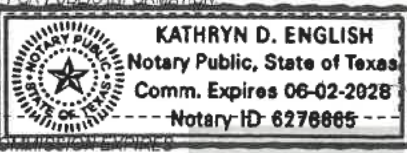
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF November 2025

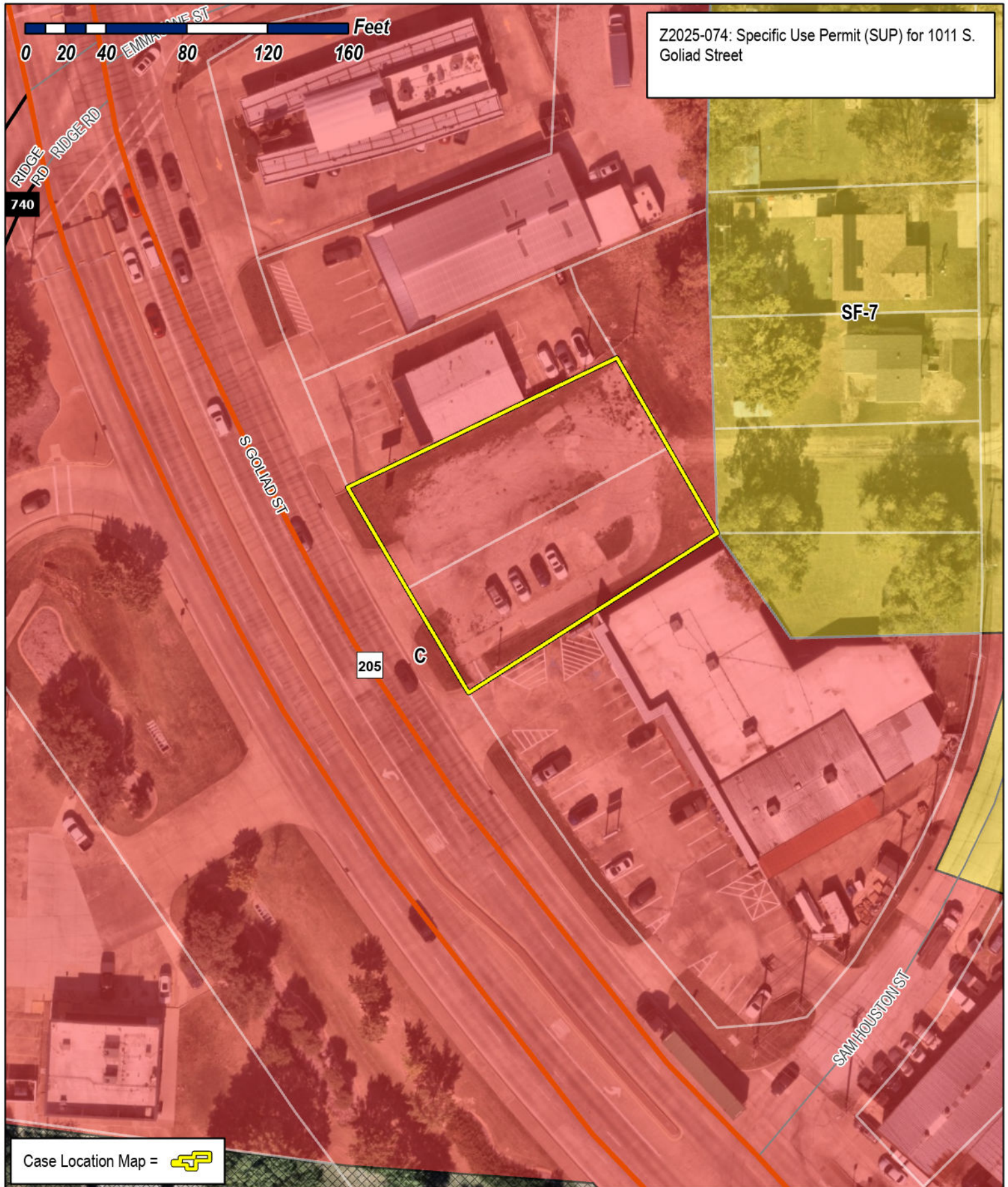
OWNER'S SIGNATURE

Mike Rogers

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Kathryn D. English





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

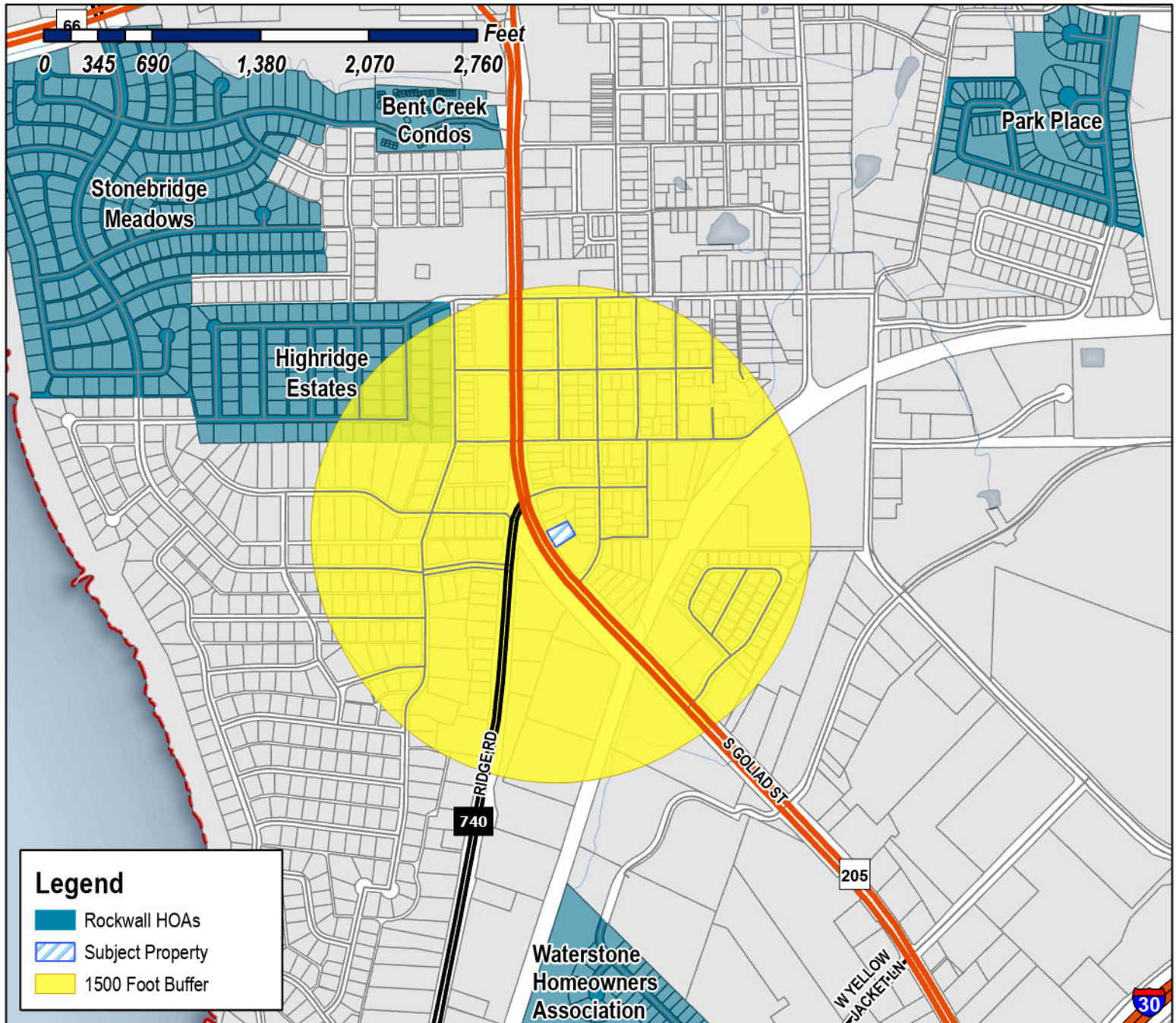




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Case Number: Z2025-074
Case Name: Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1011 S. Goliad Street

Date Saved: 12/15/2025

For Questions on this Case Call (972) 771-7745

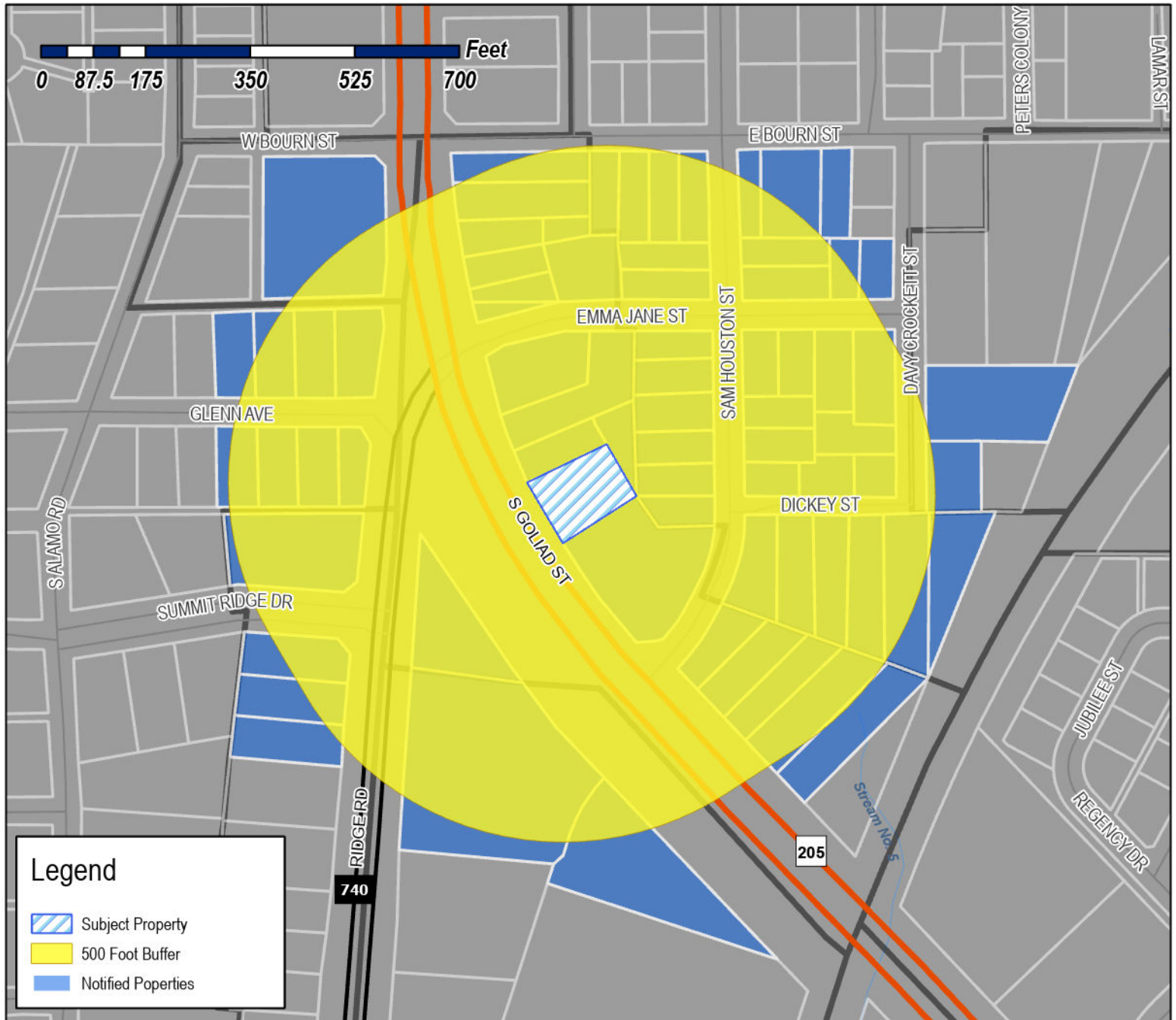




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RESIDENT
1001 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1002 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1006 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1006 RIDGE RD
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
1007 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1008 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1008 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
101 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

PREGNANCY RESOURCE CENTER OF LAKE RAY
HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1013 S GOLIAD
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

RESIDENT
104 GLENN AVE
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
105 COYOTE BRUSH
IRVINE, CA 92618

FEAZELL SARA DEANNE & RICKEY
105 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
106 GLENN AVE
ROCKWALL, TX 75087

RIDGE ROAD PARTNERS LP
106 E Rusk St Ste 200
Rockwall, TX 75087

FOWLKES BRETT
107 Glenn Ave
Rockwall, TX 75087

RESIDENT
108 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
1101 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1101 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1105 S GOLIAD
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W Wall St Ste 101
Grapevine, TX 76051

RESIDENT
1201 RIDGE RD
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

RB CAPITAL LTD
1602 Shadywood Ln
Mt Pleasant, TX 75455

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

RERV ACQUISITIONS LLC
1748 BAY WATCH DR
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

KIM RENEE TIMPA MARITAL TRUST NO 1
202 N San Jacinto St
Rockwall, TX 75087

RESIDENT
204 BOURN
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
206-207 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
208 EMMA JANE ST
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
302 EMMA JANE
ROCKWALL, TX 75087

CONFIA HOMES LLC
302 BOURN
ROCKWALL, TX 75087

RESIDENT
304 EMMA JANE
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-
HERNANDEZ
304 E Bourn St
Rockwall, TX 75087

RESIDENT
306 BOURN AVE
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
310 EMMA JANE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

BROBOANA BIANCA SINGEORZAN
3948 SUNLEAF AVE
MEDFORD, OR 97504

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

MATHIS DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ MARIA
507 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
508 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

SALGADO HAROLD G
510 DICKIE ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

TIMPA KIM
633 MORaine WAY
HEATH, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

8661 S HAMPTON LLC
805 Green Pond Dr
Garland, TX 75040

RUSZKOWSKI SKYLER E
8127 E COLUMBUS AVE
SCOTTSDALE, AZ 85251

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

RESIDENT
903 DAVY CROCKETT
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING LLC
KEVIN W. VICE
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

G O A T GENERAL CONTRACTING, LLC
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
903 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
905 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

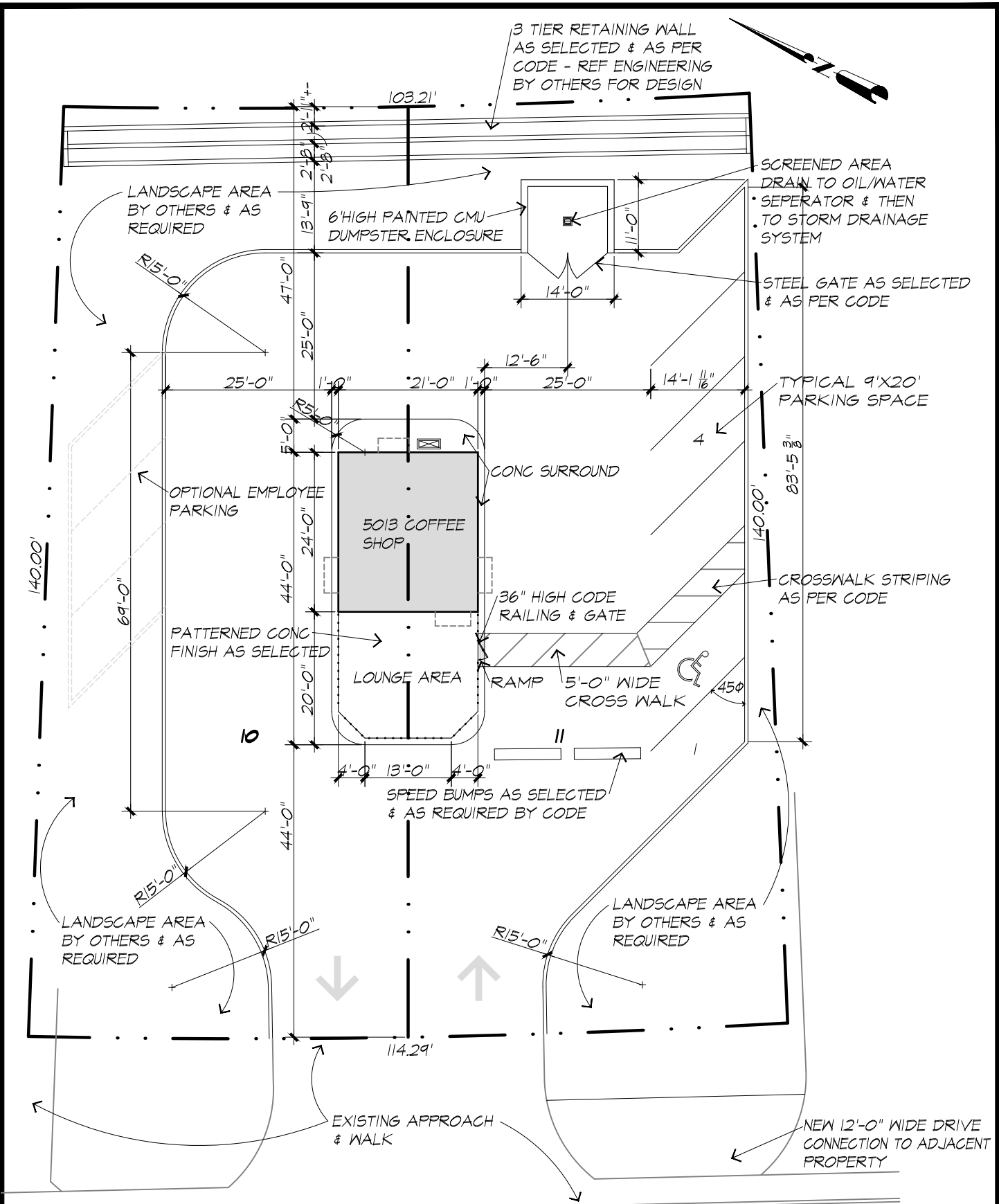
RESIDENT
907 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 S GOLIAD
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
9922 Donegal Dr
Dallas, TX 75218

CORRIGANCOWAN LLC
PO BOX 2256
ROCKWALL, TX 75087

OWENS RICHARD DUANE
905 SAM HOUSTON
ROCKWALL, TX 75087



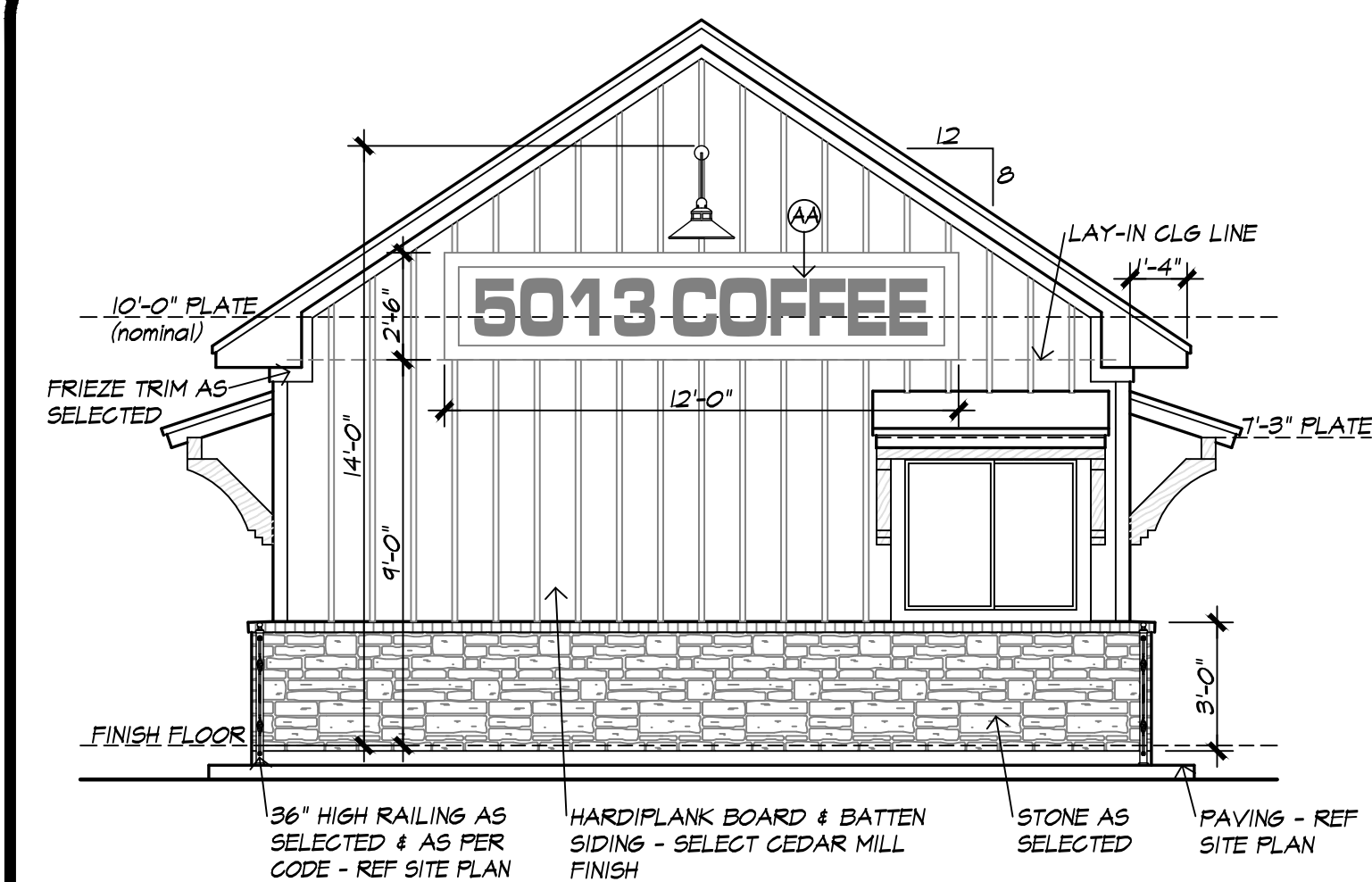
1011 S. GOLIAD STREET

GENERAL NOTES
* REF CIVIL ENGINEERING BY OTHERS FOR ALL FINISH GRADES & REQUIRED DRAINAGE
* REF LANDSCAPE DESIGN DRAWINGS BY OTHERS FOR ALL REQUIRED LANDSCAPING
* SEE OWNER FOR SIGNAGE OPTIONS & DESIGN
* TOTAL STANDARD 9'X20' PARKING = 5 SPACES
* TOTAL ADA ACCESSIBLE PARKING = 1 SPACES
* TOTAL PARKING = 6 SPACES
TOTAL PAVING AS SHOWN = 8280.52 SF

PLAN #C-5013-CS
DATE: 12/x/2025

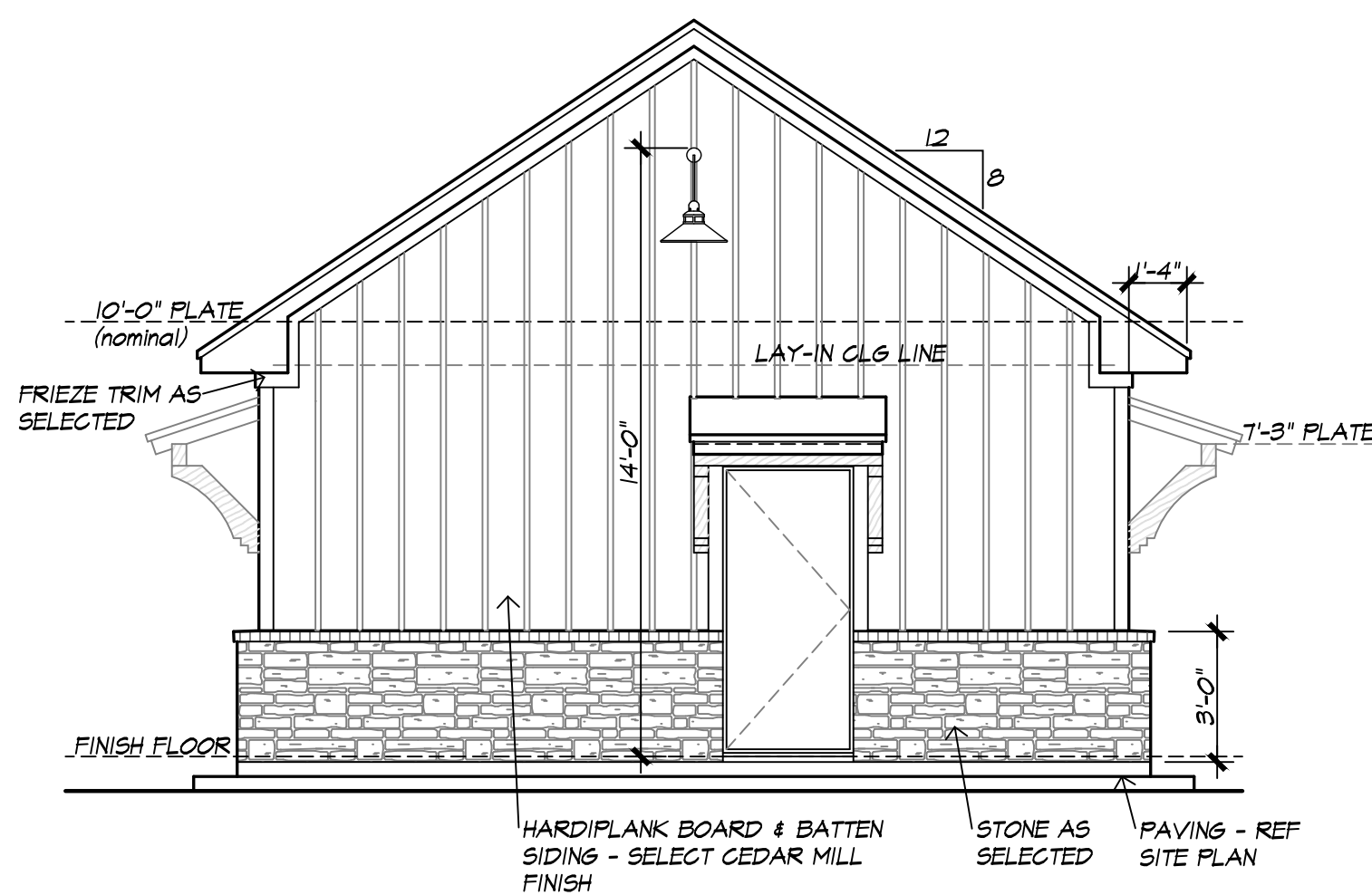
SITE PLAN	SCALE: 1" = 20'-0"	M. Rouse Designs
LOT 10 & 11		2307 HIGHRIDGE
CANUP'S SUBDIVISION		SACHSE, TEXAS 75048
ROCKWALL, TEXAS		(214) 801-9944
		mrousedesigns.com
		"WHERE DESIGN EXCELLENCE BEGINS"
		COPYRIGHT 2025 - M. Rouse Designs - ALL RIGHTS RESERVED

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



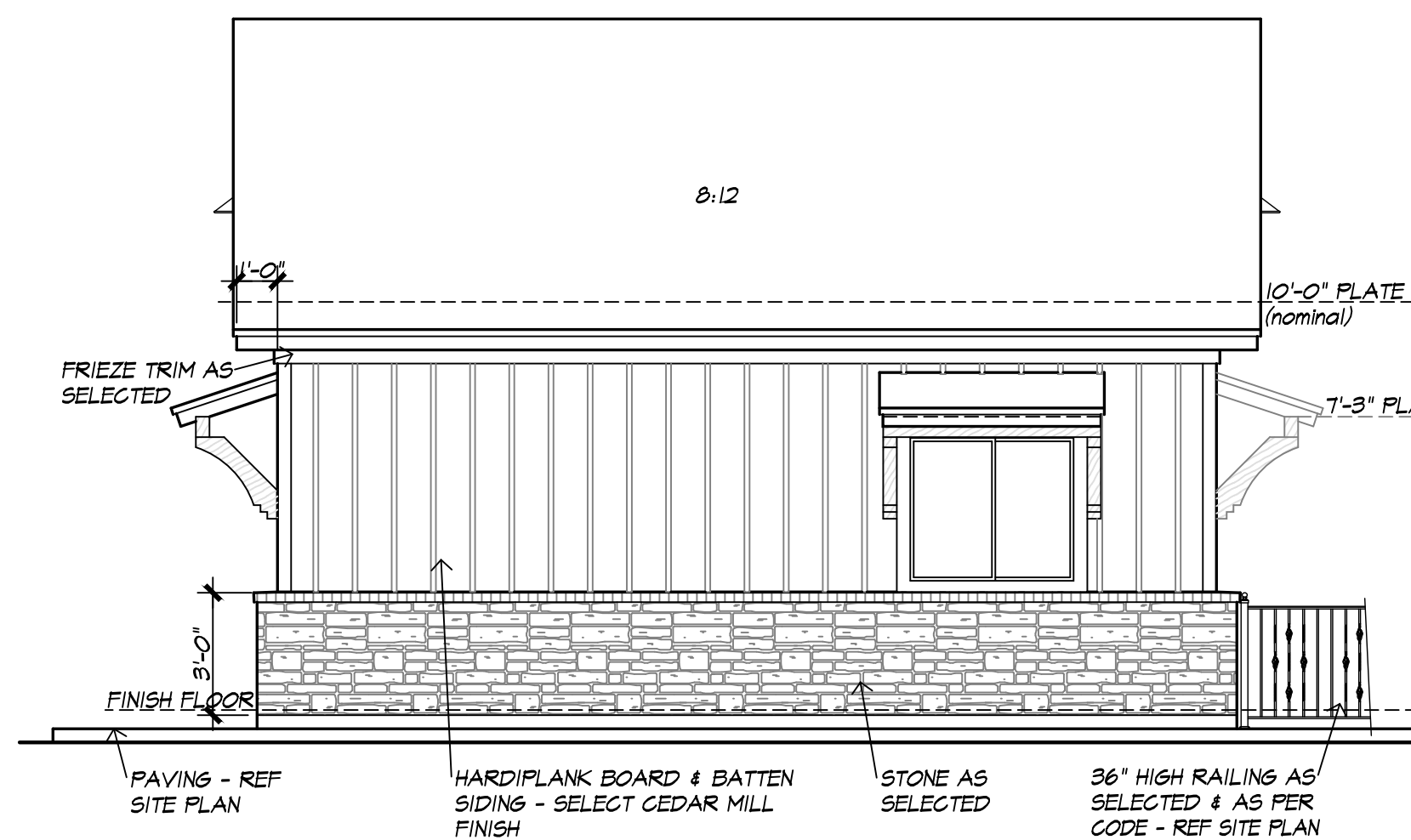
FRONT ELEVATION

SCALE 1/4"=1'-0"
25.14% STONE



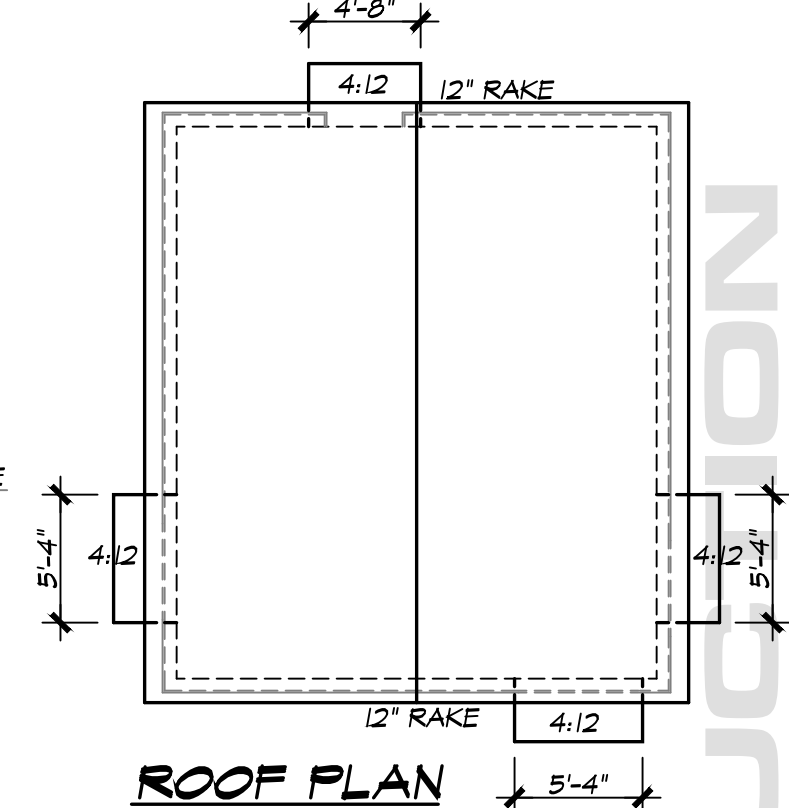
REAR ELEVATION

SCALE 1/4"=1'-0"
22.12% STONE



LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"
36.3% STONE

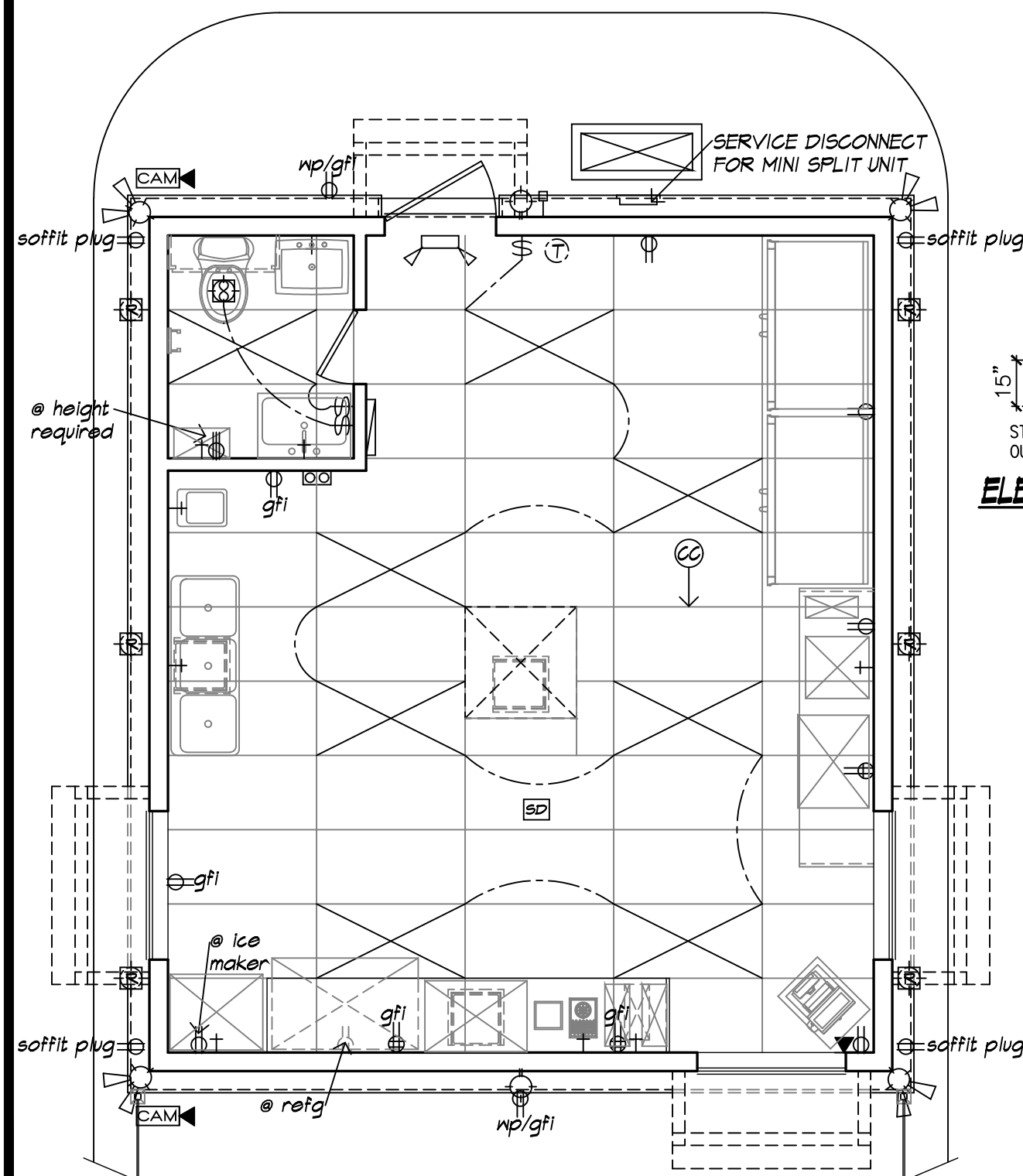


ROOF PLAN

SCALE 1/8"=1'-0"

- * ROOF AS SPECIFIED @ 8:12 UNLESS NOTED
- * SCREENED CORNICE VENTS AS PER CODE
- * ATTIC VENTILATION AS PER CODE & AS SELECTED
- * GUTTERS & DOWNSPOUTS STYLE & LOCATIONS, IF ANY, TO BE AS SELECTED
- * 10'-0" PLATE (NOMINAL)
- * RAFTER & RIDGE FRAMING MEMBER SIZING TO BE AS PER CURRENT GOVERNING CODES

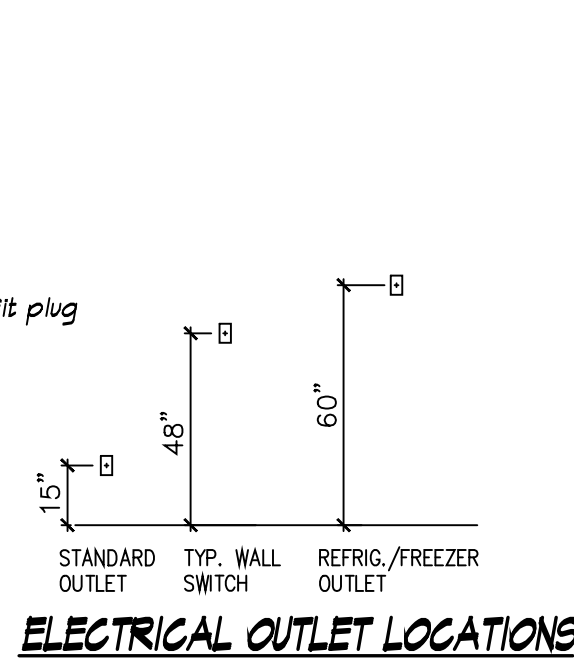
LIGHTING/ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	NO.	NOTES:
	ELECTRIC PANEL	1	AS REQUIRED BY CODE
	4" RECESSED SOFFIT LIGHT	6	AS SELECTED & ON TIMER
	DOUBLE FLOOD LIGHT	4	AS SELECTED & ON MOTION SENSOR
	WALL MOUNT BARN LIGHT	2	AS SELECTED & ON TIMER/REF ELEVATIONS
	C.C. CAMERA	2	AS SELECTED
	2'x4" RECESSED FLUORESCENT FIXTURE, 3-T8 LAMPS, 32 WATTS - SAFETY WIRES REQUIRED ON DIAGONALLY OPPOSING CORNERS OF 2'x4" LAY-IN FIXTURES. WIRES MUST BE INDEPENDENT OF CEILING GRID	7	
	STANDARD TELE/DATA OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
	STD QUADRUPLUX OUTLET	3	AS SELECTED & AS REQUIRED BY CODE
	STD 220/240 OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
	STANDARD WEATHERPROOF/GFI DUPLEX OUTLET	2	AS SELECTED & AS REQUIRED BY CODE
	STD DUPLEX OUTLET	10	AS SELECTED & AS REQUIRED BY CODE
	STANDARD GFI DUPLEX OUTLET	2	AS SELECTED & AS REQUIRED BY CODE
	STANDARD SWITCH	2	AS SELECTED & AS REQUIRED BY CODE
	RECESSED EXHAUST FAN	1	AS SELECTED & AS REQUIRED BY CODE
	THERMOSTAT	1	AS SELECTED & AS REQUIRED BY CODE
	SMOKE DETECTOR	1	AS SELECTED & AS REQUIRED BY CODE
	EMERGENCY LIGHTING/EXIT	1	EXTERIOR EXIT LIGHTS SHALL HAVE A MINIMUM 90 MINUTE BATTERY BACK-UP POWER FOR EMERGENCY USE



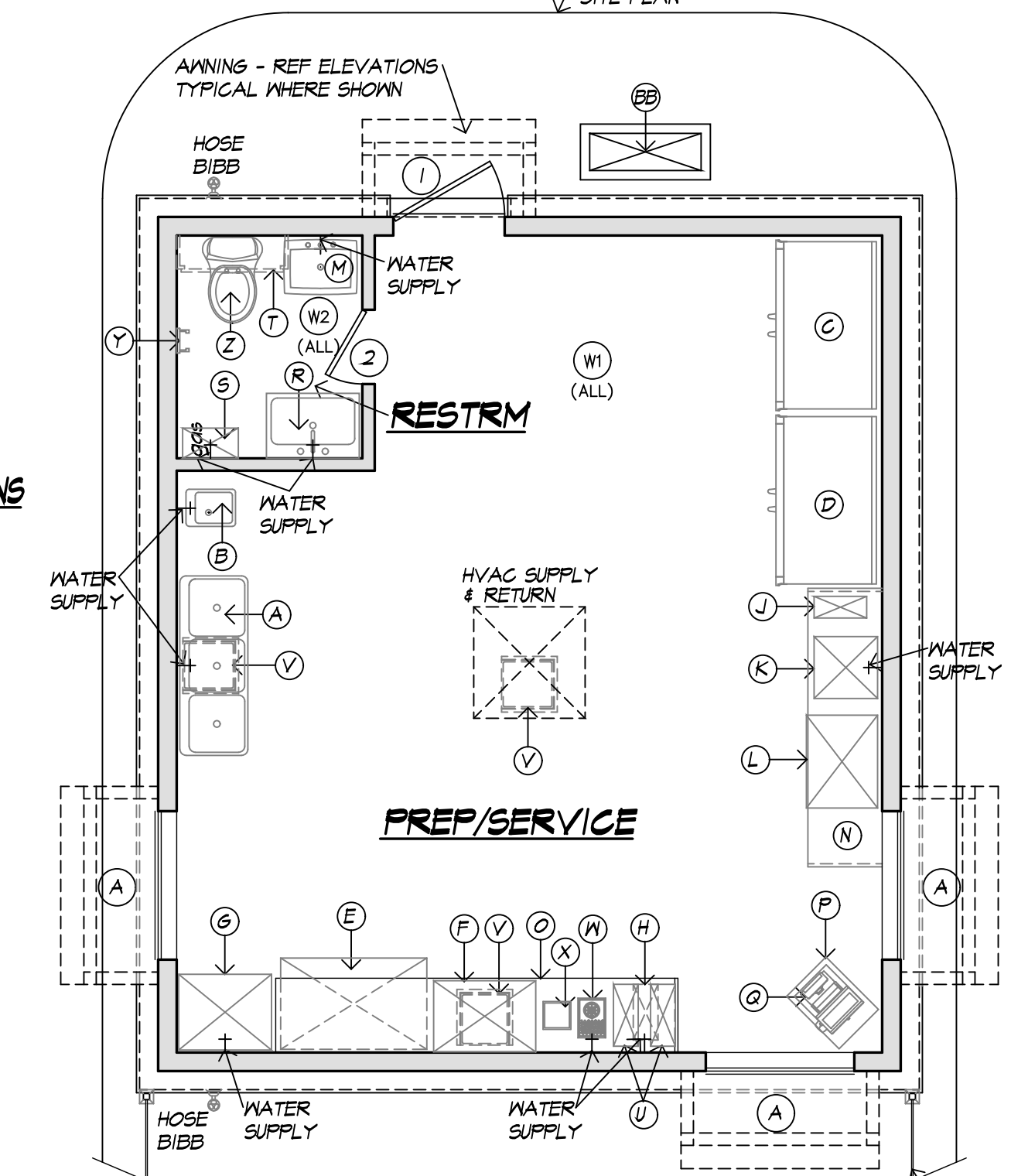
REFLECTIVE CLG/LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"

NOTE:
FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR
LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT



ELECTRICAL OUTLET LOCATIONS



NOTATION/FIXTURE PLAN

SCALE 1/4"=1'-0"

504 SF

DOOR SCHEDULE			
	TYPE	SIZE	DESCRIPTION
1	STEEL EXTERIOR	3'-0" X 6'-8"	NON FIRE RATED
2	SOLID CORE	2'-0" X 6'-8"	INTERIOR AS SELECTED

* - W/CLOSER, PUSH BAR EXIT DEVISE & DEAD BOLT LOCK SET
** - PAINT GRADE W/PRIVACY LOCK

WINDOW SCHEDULE			
	TYPE	SIZE	DESCRIPTION
A	HORIZ SL'DR	4'-0" X 3'-6"	@ 6'-8" HDR

ROOM FINISH SCHEDULE					
ROOM NAME	FLOORS	BASE	WALLS		CEILING
			WALL 1/ALL	WALL 2/ALL	
PREP/SERVICE	1	STAINED CONC.	RUBBER	GYP BD F.R.P. BOARD	MAT'L FIN.
RESTROOM	1	STAINED CONC.	RUBBER	GYP BD/PAINT	LAY-IN/2X4 GRID 9'-0"

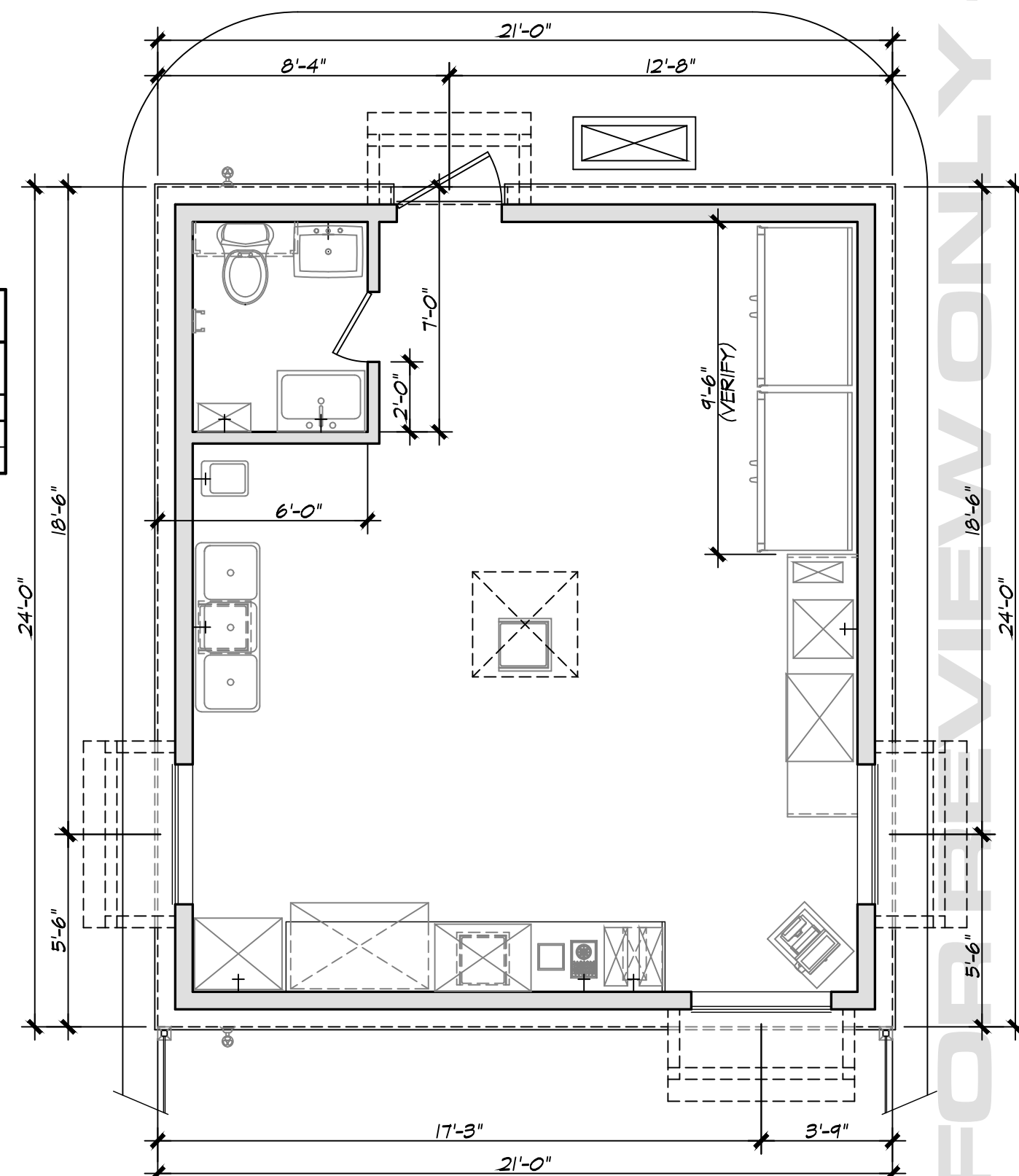
FIXTURE SCHEDULE		
ITEM	QTY	DESCRIPTION
A 3 COMP FREESTANDING SINK	1	STAINLESS STEEL
B FREESTANDING HAND WASH SINK	1	STAINLESS STEEL
C REFRIGERATOR	1	AS SELECTED
D FREEZER	1	AS SELECTED
E UNDER COUNTER REFRIGERATOR	1	AS SELECTED
F 3 GROUP ESPRESSO	1	AS SELECTED
G ICE MAKER	1	AS SELECTED
H REVERSE OSMOSIS WATER FILTER	1	AS SELECTED
I BULK GRINDER	1	AS SELECTED
J DOUBLE BATE BREWER	1	AS SELECTED
K COUNTERTOP 30" MICROWAVE	1	AS SELECTED
L FREESTANDING MOP SINK	1	AS SELECTED
M PRE-FAB COUNTER/TABLE	1	AS SELECTED/90"LX24"WX36"H
N JOB-BUILT COUNTER	1	AS SELECTED/162"L(verify)X24"WX36"H
P CASH REGISTER TABLE	1	AS SELECTED
Q CASH REGISTER	1	AS SELECTED
R WALL MOUNT SINK	1	AS SELECTED
S TANKLESS WATER HEATER	1	AS SELECTED
T WALL MOUNT CABINET	1	SIZE & TYPE AS SELECTED
U COFFEE GRINDER	2	AS SELECTED
V FLOOR SINK	3	AS SELECTED
W CUP/GLASS RINSER	1	AS SELECTED
X COUNTERTOP TRASH DROP	1	AS SELECTED
Y TOILET PAPER HOLDER	1	AS SELECTED
Z TOILET	1	FLOOR MOUNT AS SELECTED
AA PRE-FAB SIGN AS SELECTED	2	NO MORE THAN 60 SF OR 75% OF BUILDING WIDTH
BB MINI SPLIT HVAC UNIT	1	AS REQUIRED/AS SELECTED ON CONC. PAD
CC 24"X48" LAY-IN CEILING	1	AS SELECTED @ 9'-0" AFF

FRAMING NOTES

- * REFER TO STRUCTURAL ENGINEERING DRAWINGS BY OTHERS FOR ALL STATIC & DYNAMIC DESIGN SELECTIONS OF MATERIAL USE & ASSEMBLY OF ALL ELEMENTS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, ROOF FRAMING, WIND BRACING, DRAINAGE & CONNECTIONS
- * FOUNDATION DESIGN BY OTHERS TO RECONIZE ALL LOAD TRANSFERS & TO APPROPRIATELY ACCOMMODATE THEM
- * STANDARD WALLS TO BE 2'x4" (UNLESS NOTED) @ 16" OC, BLOCKED @ MID-SPAN W/5/8" GYRCK @ INTERIOR WALLS

GENERAL NOTES:

- * PLATE LINE TO BE @ 10'-0" NOMINAL
- * LAY-IN FINISH CEILING @ 9'-0" AFF
- * ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- * CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
- * ALL PLATE LINES AS NOTED ON ELEVATIONS
- * ALL WINDOW HEADERS AS NOTED
- * WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE SHOWN OR BEST SUITED
- * ALL INTERIOR FINISHES TO BE AS SELECTED & AS NOTED
- * EXTERIOR WALLS TO BE 2'x6"



DIMENSION PLAN

SCALE 1/4"=1'-0"

5013 COFFEESHOP
1011 S. GOLIAD ST.
ROCKWALL, TX

M Rouse Designs
2307 HIGHRISE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

REVISED DATE
12/1/2025

SHEET
A1

DESIGN NUMBER
C-5013-CS

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall notify the architect of any discrepancies and/or omissions in writing prior to the commencement of construction. The architect's review is intended for general construction purposes only and are not exhaustive detailed nor intended to be a substitute for the contractor's professional judgment. The contractor shall be responsible for the construction and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local codes, and shall be in accordance with the construction documents. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the building. The architect does not warrant, represent, or recommend that these construction documents be reviewed by a qualified professional engineer.