



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Townsend Dr

SUBDIVISION J Cadle Survey, Tract 2, Abs 0065

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION NW corner of TL Townsend and SH 276

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-10

CURRENT USE Vacant

PROPOSED ZONING No change

PROPOSED USE Office/Warehouse

ACREAGE X

LOTS [CURRENT] \_\_\_\_\_

X

LOTS [PROPOSED] \_\_\_\_\_

X

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MGD 276 Business Park

APPLICANT Cumulus Design

CONTACT PERSON Sam Mota

CONTACT PERSON Paul Cragun

ADDRESS \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

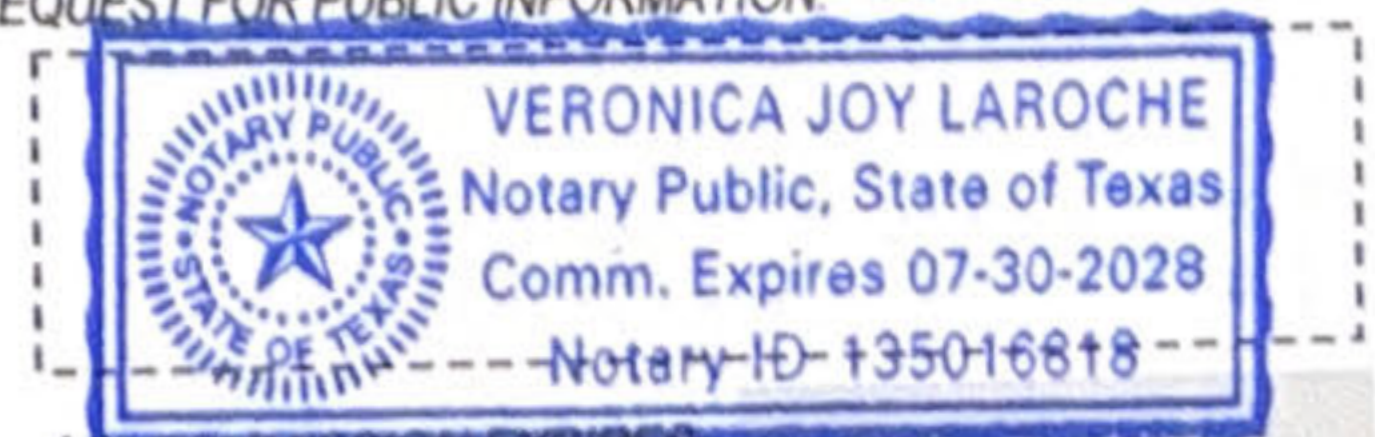
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Samuel A. Mota [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18<sup>th</sup> DAY OF January, 2026

OWNER'S SIGNATURE Samuel A. Mota

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Veronica J. Laroché




MY COMMISSION EXPIRES \_\_\_\_\_

0 62.5 125 250 375 500 Feet

SP2026-012: Site Plan for 276 Business Park



Case Location Map = 

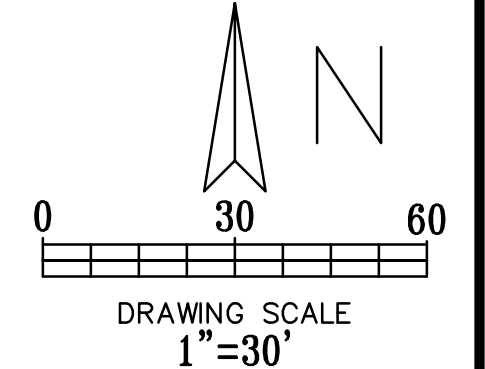


# City of Rockwall

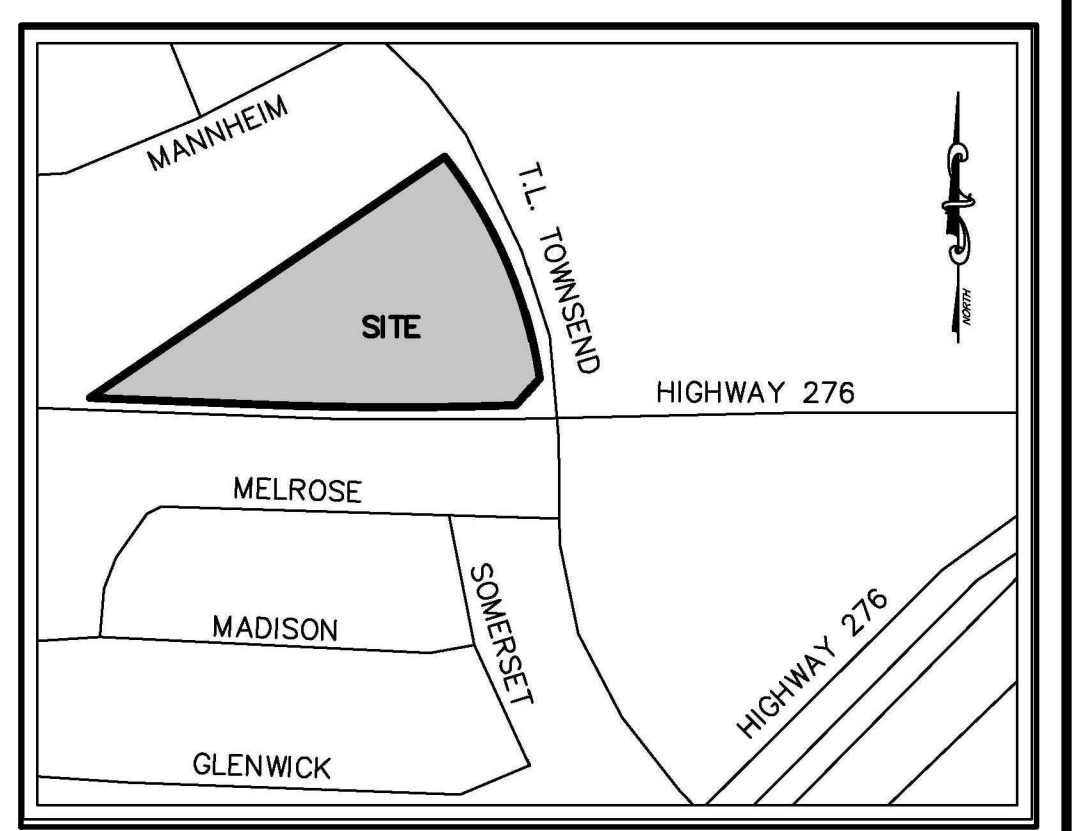
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

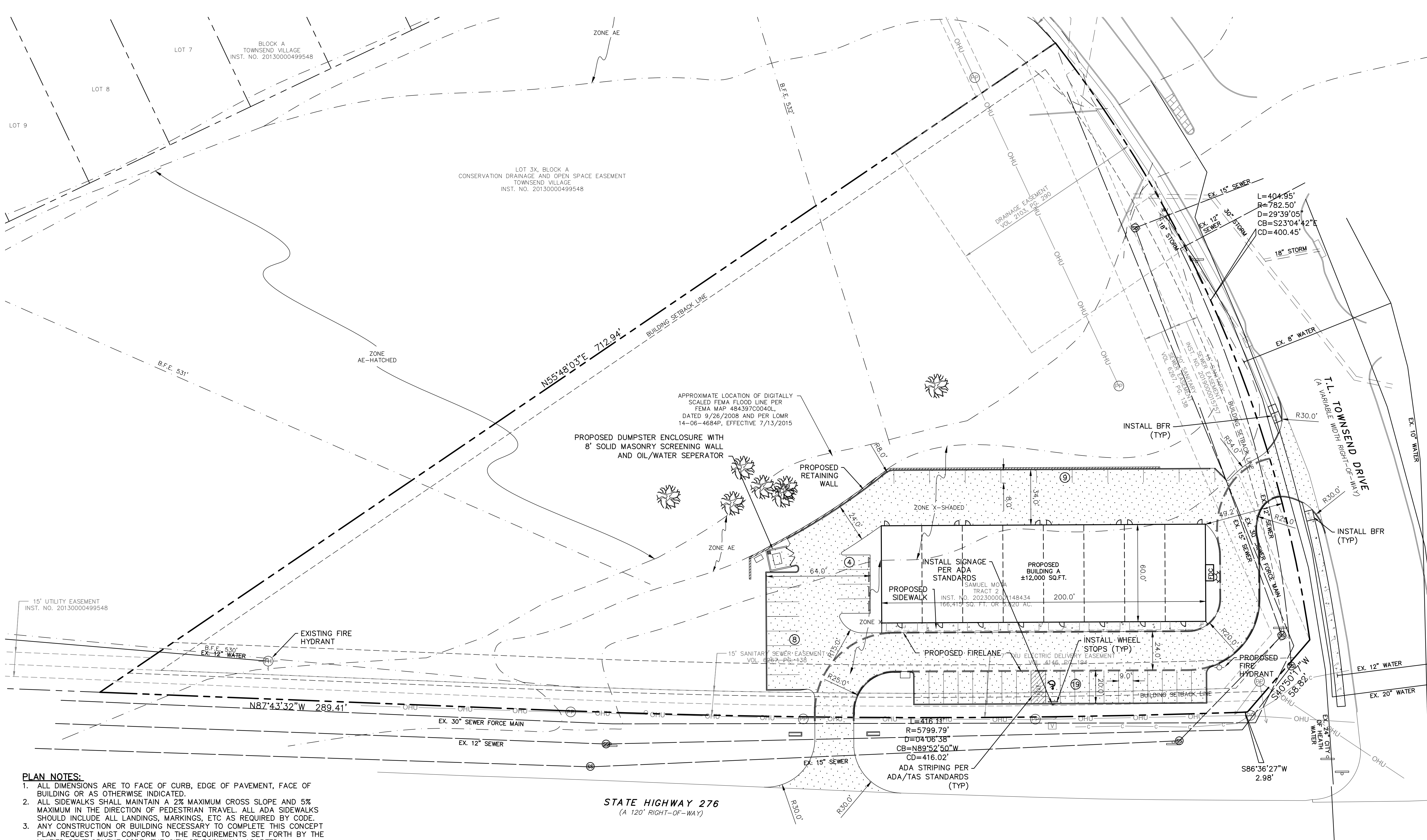




- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPERTY LINE
  - 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
  - 6" PROPOSED PAVEMENT 3,600 PSI REINFORCED CONCRETE PAVEMENT WITH #4 BARS AT 24" CENTERS ON 6" FLEX BASE ON 6" COMPACTED SUBGRADE SOILS. FIRELANES SHALL BE PER CITY STANDARDS (MINIMUM 6.5 SACK MIX)
  - PROPOSED ADA SPACE PER CURRENT ADA/TAS STANDARDS WITH WHEELSTOP AND ADA SIGNAGE



VICINITY MAP  
N.T.S.



- PLAN NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
  2. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  3. ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
  4. THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
  5. A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 20' DEEP.
  6. THE PROPERTY IS CURRENTLY UNPLATTED BUT WILL BE PLATTED AS PART OF DEVELOPMENT.
  7. DETENTION AREA LOCATIONS HAVE BEEN CALLED OUT ON THIS PLAN. DETENTION OUTFALL MUST BE AT SHEET FLOW CONDITIONS WHEN STORM WATER CROSSES THE PROPERTY LINE. MANNING'S C-VALUE SHALL BE PER ZONING TYPE. DUMPSTER AREAS TO DRAIN TO OIL/WATER SEPARATOR AND THEN TO THE STORM LINES.

**III CAUTION III**  
**UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SITE DATA TABLE	
CURRENT ZONING:	PD-10 (SH276 OVERLAY)
LAND USE:	OFFICE/RETAIL BUILDINGS
SITE ACREAGE:	3.82 ACRES (166,415 SQ FT)
TOTAL BUILDING AREA:	12,000 SQUARE FEET
OPEN SPACE:	127,528/166,415 : 76.6%
PAVED SURFACE AREA:	38,887/166,415 : 23.4%
BUILDING HEIGHT:	1 STORY
PARKING REQUIRED:	
PD-10 OFFICE	40 PARKING SPACES
TOTAL (1 SPACE/300 S.F.):	40 PARKING SPACES
PARKING PROVIDED:	40 PARKING SPACES
ACCESSIBLE PARKING PROVIDED:	1 PARKING SPACES

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

OWNER/DEVELOPER:  
MGD 276 BUSINESS PARK, LLC  
1557 TROWBRIDGE CIR.  
ROCKWALL, TEXAS 75032  
CONTACT: SAMUEL MOTA  
PH: (972) 771-1607

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/16/26.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

CASE: SP  
**Cumulus Design Firm #14810**  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

**SITE PLAN**  
276 BUSINESS PARK  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
J CADLE SURVEY, ABS 0065, TRACT 2-5

DATE	PROJECT NO	DRAWING SCALE	SHEET
4/16/26	CD25020	1" = 30'	SP

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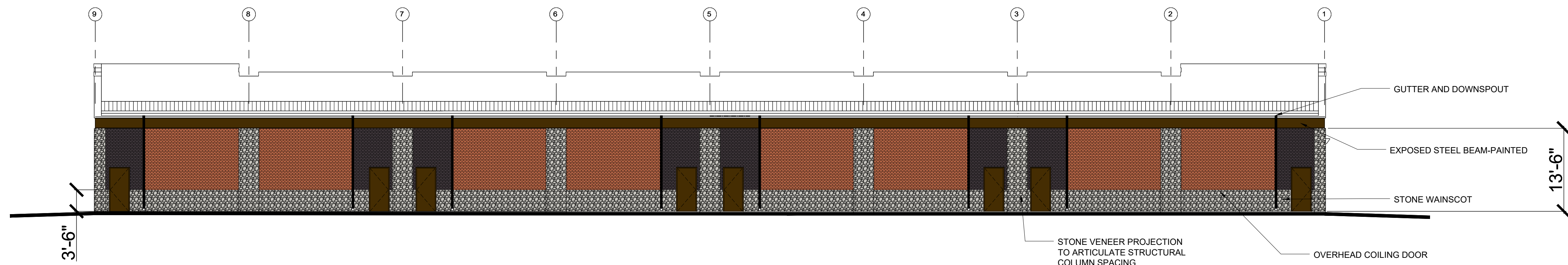
CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.



1 South Elevation - Building 1

SCALE: 3/32" = 1'-0"

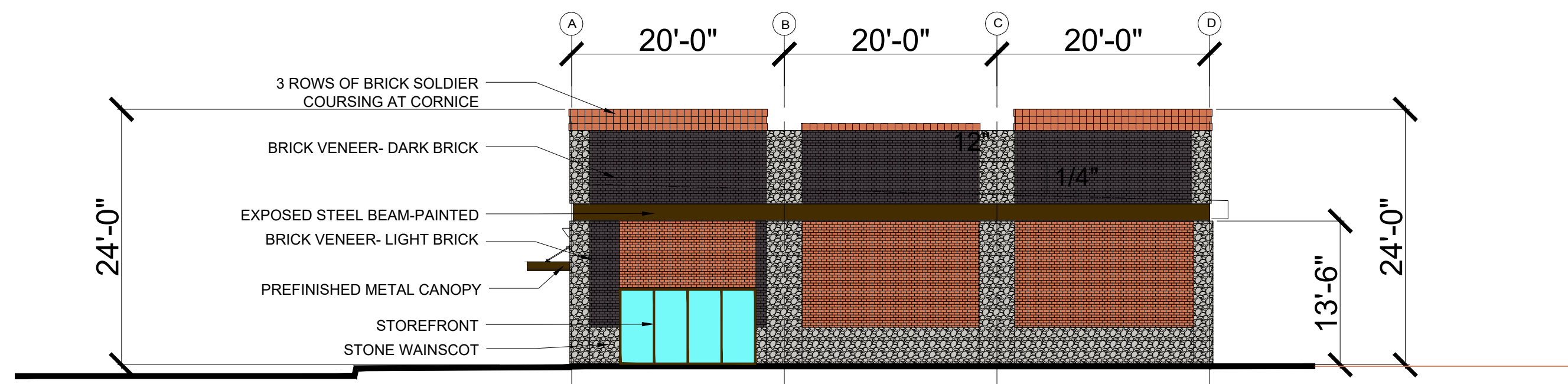
MATERIAL CALCULATIONS:  
 FACADE AREA- 4,588 SF  
 MASONRY AREA- 91%  
 NATURAL STONE AREA- 20%



2 North Elevation - Building 1

SCALE: 3/32" = 1'-0"

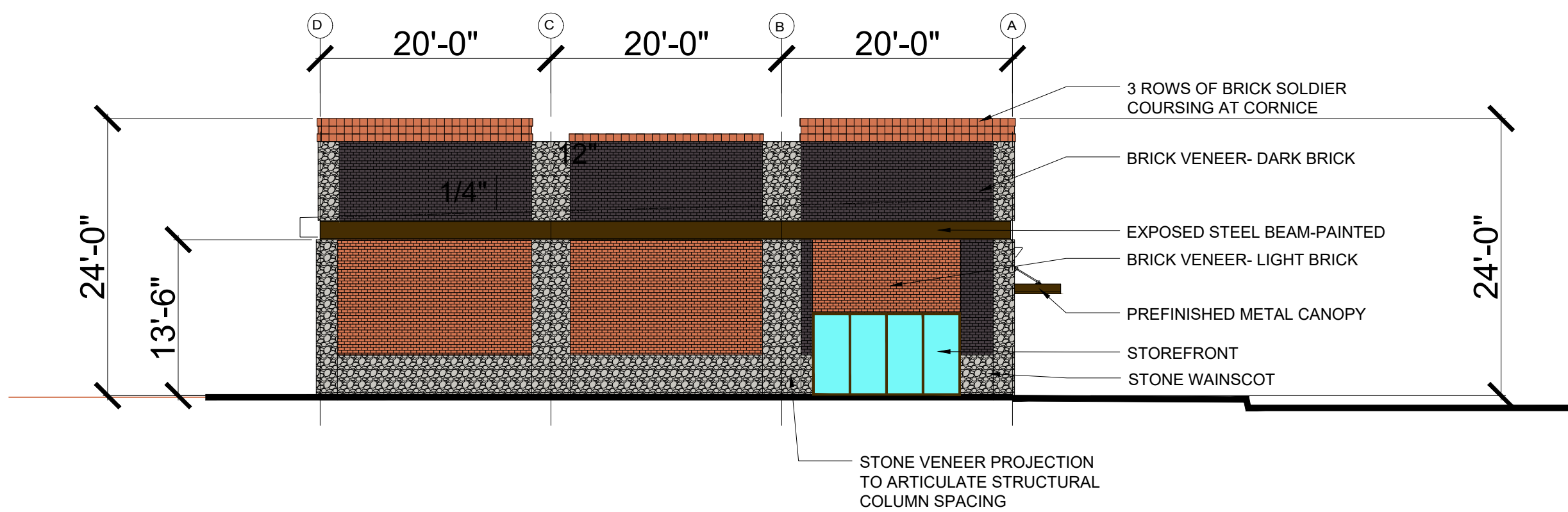
MATERIAL CALCULATIONS:  
 FACADE AREA- 3,290 SF  
 MASONRY AREA- 90%  
 NATURAL STONE AREA- 28%



3 East Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%



4 West Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED ISSUED FOR REVIEW
C	04/17/26	REVISED ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
NOT FOR CONSTRUCTION  
04/17/2026

WILLIAM TATLOCK, RA

2980 GOLFING GREEN CT.  
 BURLESON, TX 76028

OFFICE BUILDING

Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	C
Date	04/17/2026
Scale	

A4.1  
OF SHEETS

EXTERIOR COLOR PALETTE



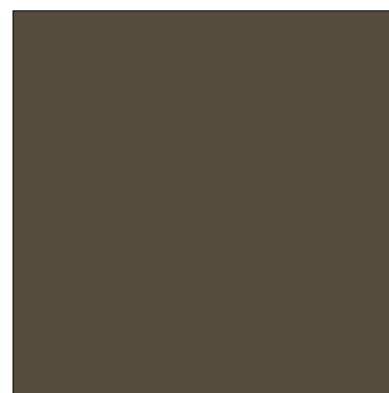
BRICK VENEER-  
"LIGHT" BRICK-  
ACME BRICK  
CLOISTURE MODULAR



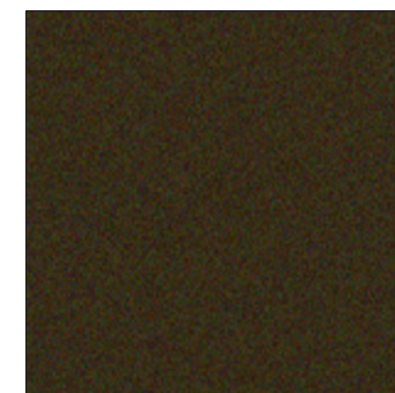
BRICK VENEER-  
"DARK" BRICK-  
ACME BRICK  
DARK INKSPOT MODULAR



STONE VENEER-  
CORONADO STONE-  
FREEDOM BUILDING STONE SERIES  
PATRIOT BLEND



METAL DOORS, CANOPY,  
STEEL BEAMS AND OVERHEAD  
COILING DOORS-  
EXTERIOR PAINT  
SHERWIN WILLIAMS  
SW7055 ENDURING BRONZE



STOREFRONT FRAMING-  
KAWNEER  
MEDIUM BRONZE

OFFICE BUILDING  
HIGHWAY 276 & TOWNSEND RD.  
ROCKWALL, TEXAS  
3/13/2026

ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION  
01/19/2026

WILLIAM TATLOCK, RA

2980 GOLFING GREEN CT.  
BURLESON, TX 76028

OFFICE BUILDING

Highway 276 & Townsend Rockwall, TX

Project 24111  
Revision A  
Date 03/13/2026  
Scale

A4.3

OF SHEETS

REV A DATE 03/13/26 ISSUE ISSUED FOR REVIEW

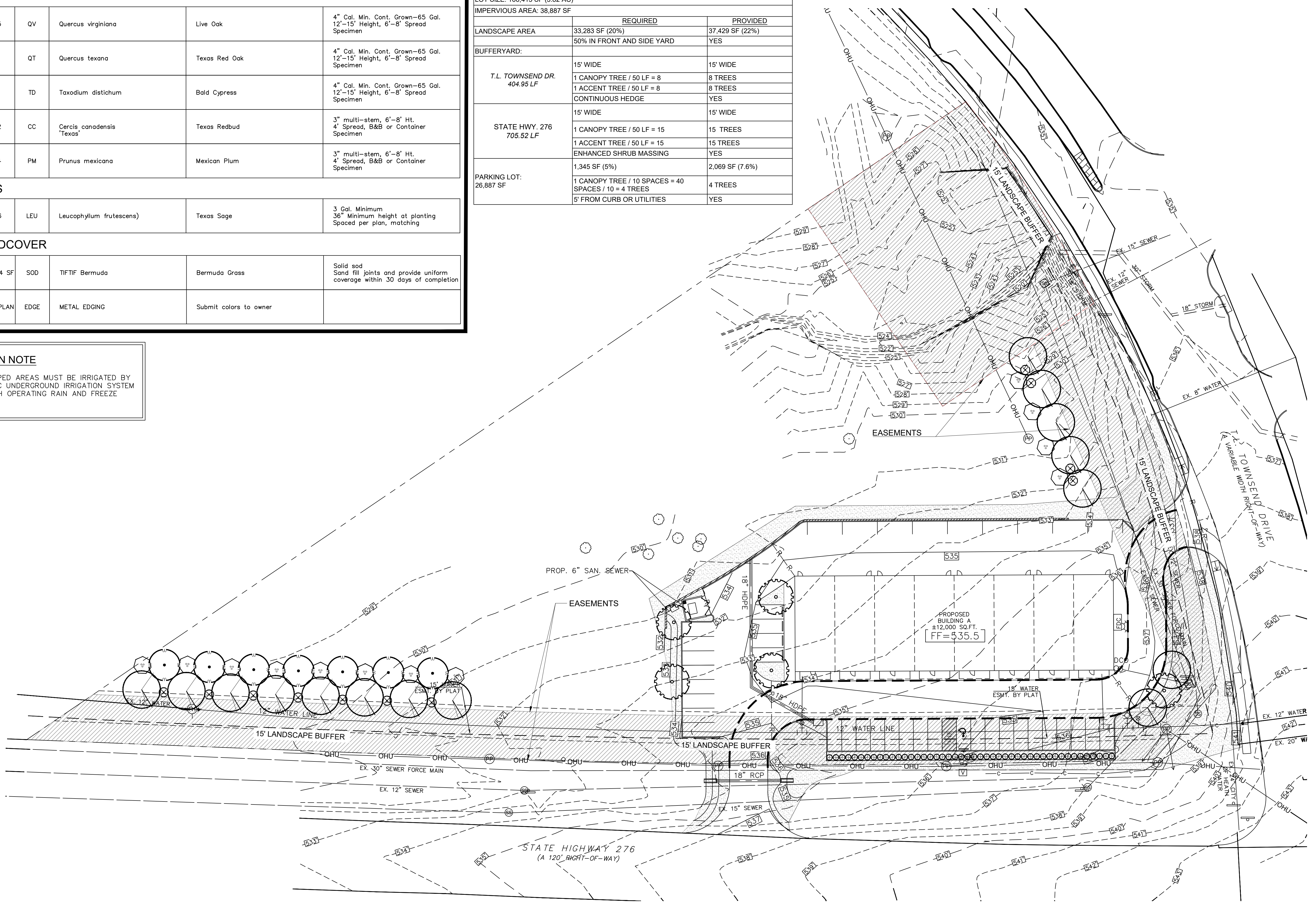
B

**KEY**

TREES					
	15	QV	Quercus virginiana	Live Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	4	QT	Quercus texana	Texas Red Oak	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	7	TD	Taxodium distichum	Bald Cypress	4" Cal. Min. Cont. Grown—65 Gal. 12'-15' Height, 6'-8' Spread Specimen
	12	CC	Cercis canadensis 'Texas'	Texas Redbud	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
	14	PM	Prunus mexicana	Mexican Plum	3" multi-stem, 6'-8' Ht. 4' Spread, B&B or Container Specimen
SHRUBS					
	46	LEU	Leucophyllum frutescens	Texas Sage	3 Gal. Minimum 36" Minimum height at planting Spaced per plan, matching
GROUNDCOVER					
	16,274 SF	SOD	TIFTIF Bermuda	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
	PER PLAN	EDGE	METAL EDGING	Submit colors to owner	

LANDSCAPE CALCULATIONS		
LOT SIZE: 166,415 SF (3.82 AC)		
IMPERVIOUS AREA: 38,887 SF		
LANDSCAPE AREA	33,283 SF (20%)	37,429 SF (22%)
60% IN FRONT AND SIDE YARD		
BUFFERYARD:		
T.L. TOWNSEND DR. 404.95 LF	15' WIDE	15' WIDE
	1 CANOPY TREE / 50 LF = 8	8 TREES
	1 ACCENT TREE / 50 LF = 8	8 TREES
CONTINUOUS HEDGE		
YES		
STATE HWY. 276 705.52 LF	15' WIDE	15' WIDE
	1 CANOPY TREE / 50 LF = 15	15 TREES
	1 ACCENT TREE / 50 LF = 15	15 TREES
	ENHANCED SHRUB MASSING	YES
1,345 SF (5%)		
2,069 SF (7.6%)		
PARKING LOT: 26,887 SF	1 CANOPY TREE / 10 SPACES = 40	4 TREES
	SPACES / 10 = 4 TREES	
	5' FROM CURB OR UTILITIES	YES

**IRRIGATION NOTE**  
 ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



OLD SH 276  
 COMMERCIAL OFFICES  
 Rockwall, Texas



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE PLAN**

SHEET NO:  
**L1.00**



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26


REV.	DATE	DESCRIP.	BY

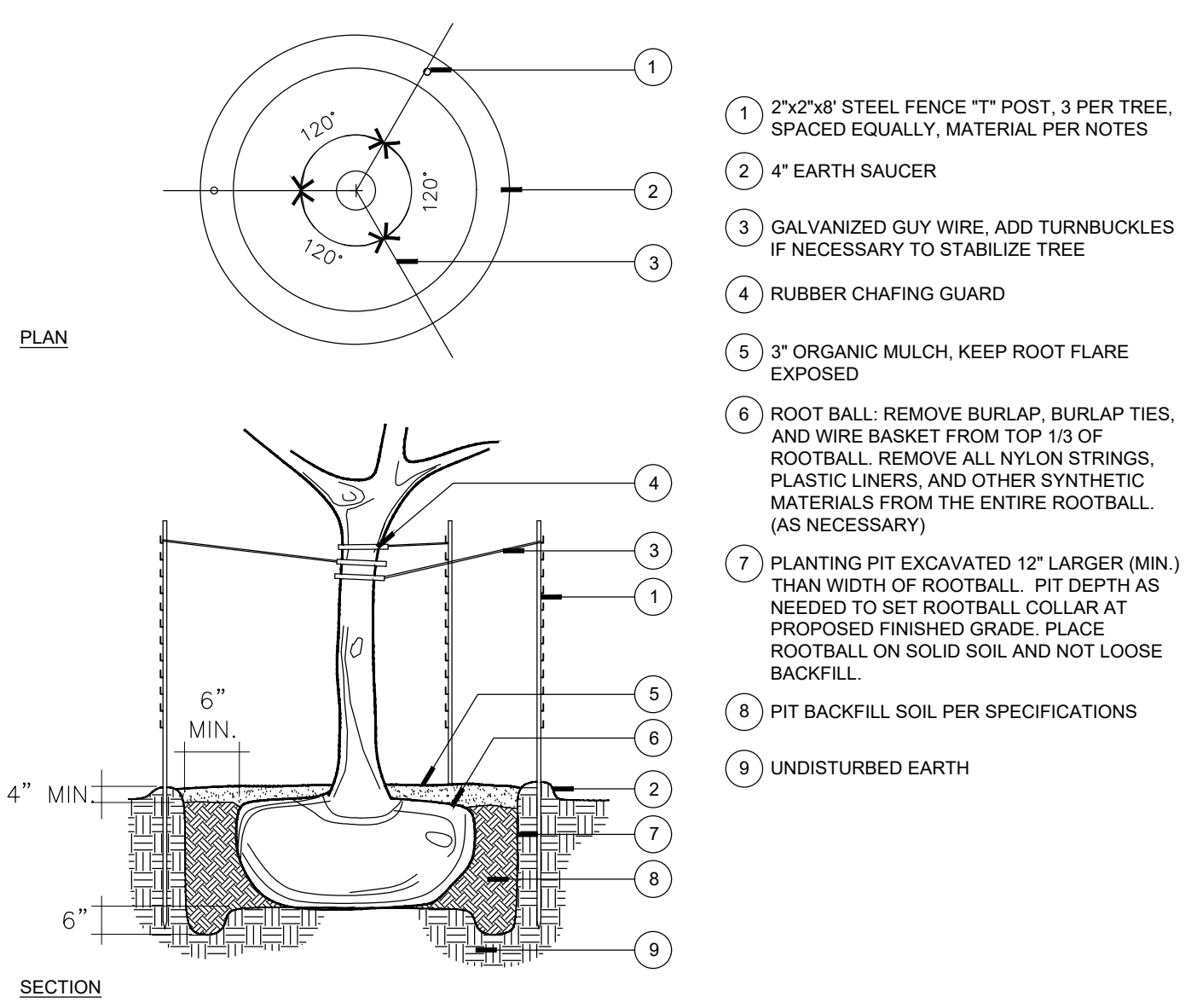
SHEET CONTENT:  
**LANDSCAPE  
 DETAILS**

SHEET NO:  
 L1.01  
 COPYRIGHT © LONDON LANDSCAPES, LLC

**LANDSCAPE NOTES**

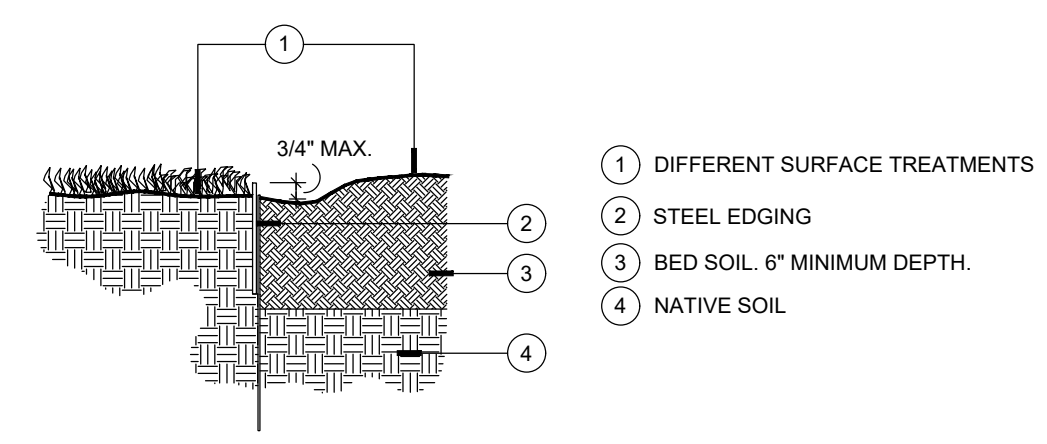
- Plant material shall comply with all sizing and grading standards of the latest edition of "American Standard for Nursery Stock."
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- Commercial Soil Mix: All planting beds shall be excavated to twelve (12") inches below finished grade by Landscape Contractor, and all debris, stone, rubbish, weeds, and topsoil shall be removed from the site. The subgrade shall then be tilled to a depth of twelve (12") inches and the planting bed shall be backfilled with soil compost mix as available from Living Earth Resources, Inc., Dallas, Texas, or approved equal. Upon replacement of topsoil with mix and after watering in, the bed should be at the specified level.
- Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- All plant beds shall be top dressed with a minimum 4" of shredded hardwood mulch.
- Provide beveled edge between all plant beds and lawn areas unless indicated differently on plans.
- Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 4" of mulch on top of root ball.
- Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/or replanting trees which are not held upright during the warranty period.
- Trees shall be planted at least 3 feet from any utility line, curb, walk or fire hydrant, and outside all utility easements.
- Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- Trees overhanging public street pavement, drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet from finish surface of street pavement.
- Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- A visibility triangle must be provided at all intersections. All landscaping within visibility triangles and parking lot islands, must be maintained so that lower tree limbs are a minimum of 7' from the ground and that shrubs and ground cover are a maximum of 24" high.
- No shrubs shall be permitted within areas less than three (3) feet in width. All such areas shall be grass or other permanent fixed material such as paving.
- During the warranty period The contractor shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- Landscape areas shall be kept free of trash, litter and weeds.
- All signage and fencing shall be contingent upon building inspection department approval.
- An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Drip indicators shall be installed on all drip irrigation zones.

FOR PRIVATE PROPERTY USE ONLY- THESE DETAILS SHALL NOT BE USED IN THE R.O.W. OR EASEMENT AREAS.



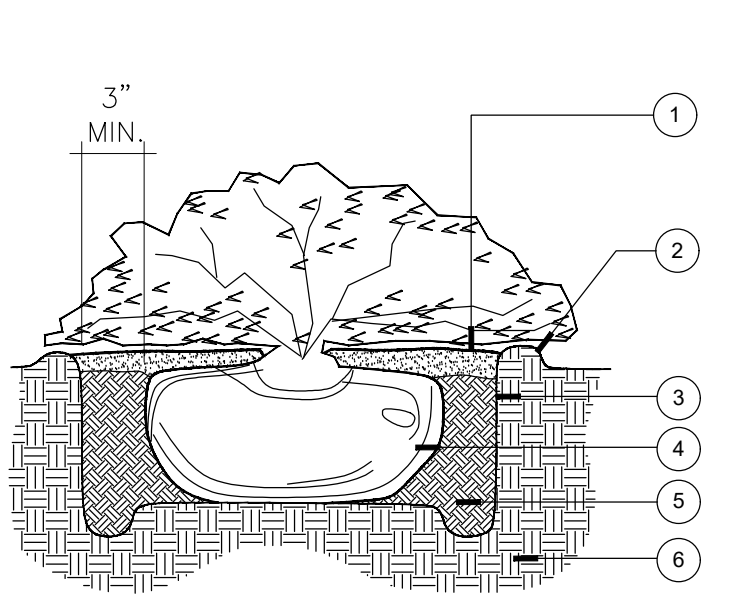
**A TREE PLANTING**  
 N.T.S.

- 2"x2"x8" STEEL FENCE 1" POST, 3 PER TREE, SPACED EQUALLY, MATERIAL PER NOTES
- 4" EARTH SAUCER
- GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
- RUBBER CHAFING GUARD
- 3" ORGANIC MULCH, KEEP ROOT FLARE EXPOSED
- ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL. (AS NECESSARY)
- PLANTING PIT EXCAVATED 12" LARGER (MIN.) THAN WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- PIT BACKFILL SOIL PER SPECIFICATIONS
- UNDISTURBED EARTH



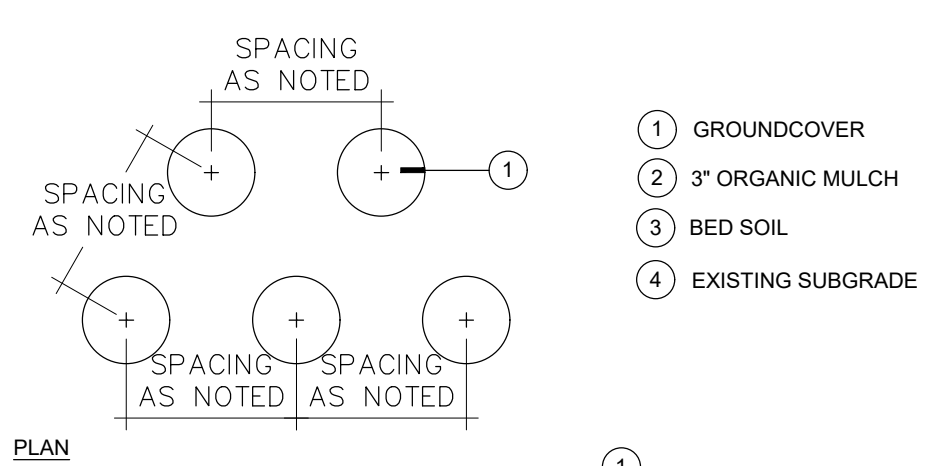
**D STEEL EDGING**  
 N.T.S.

- DIFFERENT SURFACE TREATMENTS
- STEEL EDGING
- BED SOIL, 6" MINIMUM DEPTH.
- NATIVE SOIL



**B SHRUB PLANTING**  
 N.T.S.



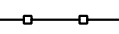
- 3" ORGANIC MULCH LAYER
- 3" HIGH EARTH SAUCER
- PLANTING PIT: EXCAVATE 6" LARGER (MIN.) THAN WIDTH OF ROOTBALL. W/ PIT DEPTH AS NEEDED TO SET ROOTBALL @ PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL. SCARIFY SIDES OF PIT, PROVIDE CONTINUOUS PIT FOR MASS BED PLANTINGS.
- ROOT BALL: REMOVE FROM CONTAINER. GENTLY SCARIFY GIRDLED ROOTS AS NEEDED. REMOVE ALL TAGS & TWINE.
- PIT BACKFILL W/ PREPARED SOIL BED MIX PER SPECIFICATIONS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.
- UNDISTURBED EARTH



**C GROUNDCOVER PLANTING**  
 N.T.S.

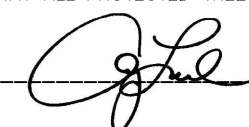
- GROUNDCOVER
- 3" ORGANIC MULCH
- BED SOIL
- EXISTING SUBGRADE

**LEGEND**

-  TREES TO BE REMOVED (NONE)
-  TREES TO BE PRESERVED (ALL)
-  TREE PROTECTION FENCING

**LANDSCAPE ARCHITECT/ARBORIST STATEMENT**

"I, AMY LONDON, BEING A LANDSCAPE ARCHITECT OR ARBORIST ATTEST THAT THE IDENTIFICATION AND SIZE OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL PROTECTED TREES HAVE BEEN SHOWN."

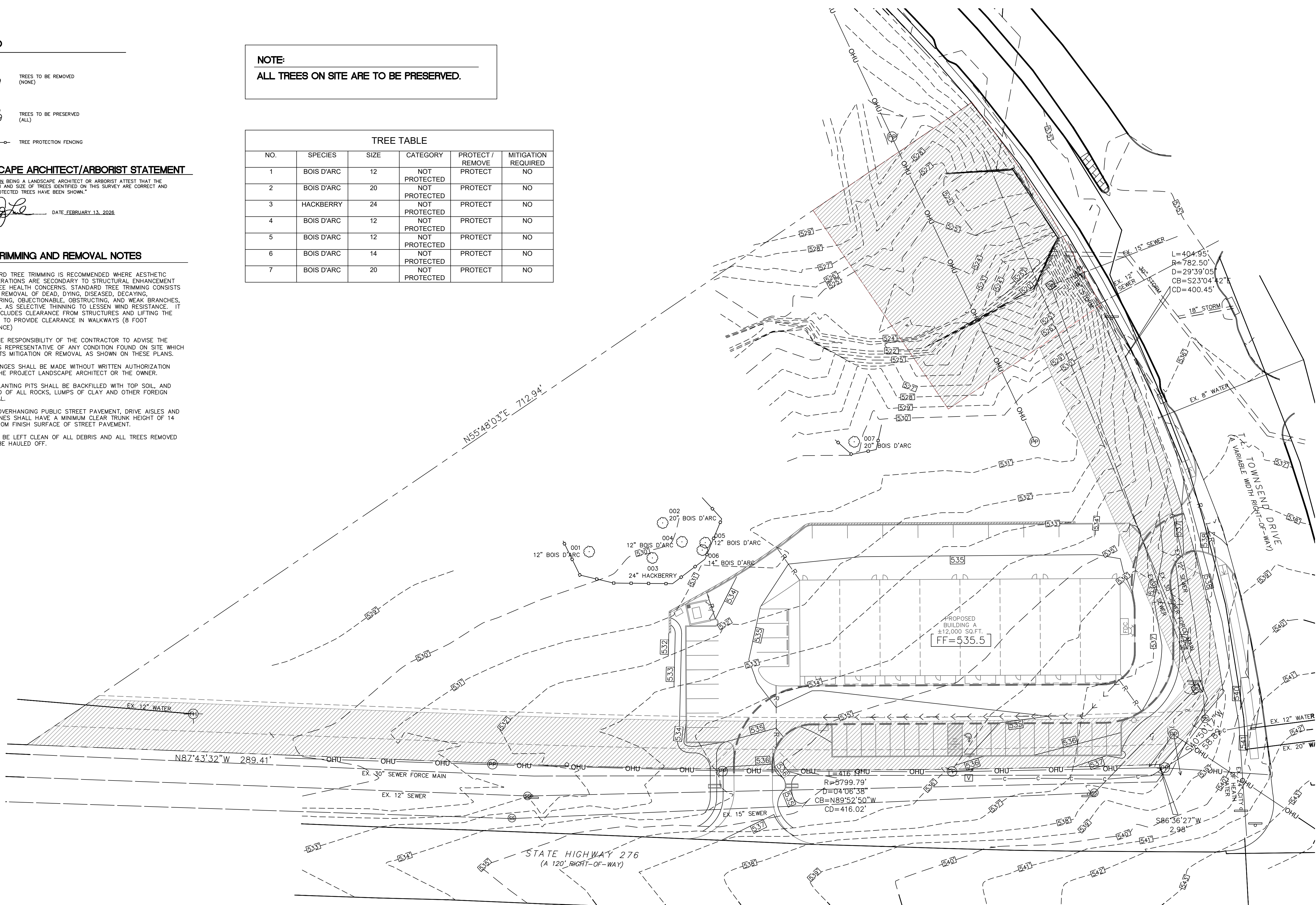
 DATE: FEBRUARY 13, 2026

**TREE TRIMMING AND REMOVAL NOTES**

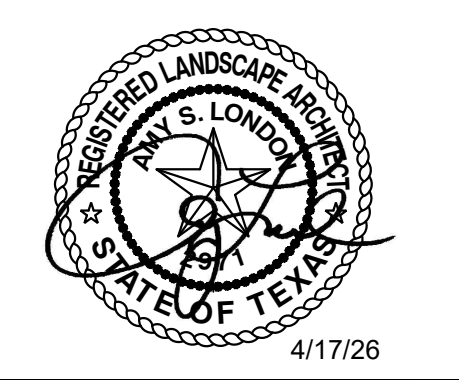
1. STANDARD TREE TRIMMING IS RECOMMENDED WHERE AESTHETIC CONSIDERATIONS ARE SECONDARY TO STRUCTURAL ENHANCEMENT AND TREE HEALTH CONCERNS. STANDARD TREE TRIMMING CONSISTS OF THE REMOVAL OF DEAD, DYING, DISEASED, DECAYING, INTERFERING, OBJECTIONABLE, OBSTRUCTING, AND WEAK BRANCHES, AS WELL AS SELECTIVE THINNING TO LESSEN WIND RESISTANCE. IT ALSO INCLUDES CLEARANCE FROM STRUCTURES AND LIFTING THE CANOPY TO PROVIDE CLEARANCE IN WALKWAYS (8 FOOT CLEARANCE)
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS MITIGATION OR REMOVAL AS SHOWN ON THESE PLANS.
3. NO CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT LANDSCAPE ARCHITECT OR THE OWNER.
4. TREE PLANTING PITS SHALL BE BACKFILLED WITH TOP SOIL, AND CLEARED OF ALL ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL.
5. TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET FROM FINISH SURFACE OF STREET PAVEMENT.
6. SITE TO BE LEFT CLEAN OF ALL DEBRIS AND ALL TREES REMOVED SHALL BE HAULED OFF.

**NOTE:**  
ALL TREES ON SITE ARE TO BE PRESERVED.

TREE TABLE					
NO.	SPECIES	SIZE	CATEGORY	PROTECT / REMOVE	MITIGATION REQUIRED
1	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
2	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO
3	HACKBERRY	24	NOT PROTECTED	PROTECT	NO
4	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
5	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
6	BOIS D'ARC	14	NOT PROTECTED	PROTECT	NO
7	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO



OLD SH 276  
COMMERCIAL OFFICES  
Rockwall, Texas



PROJECT NUMBER:  
PROJECT MANAGER:  
DRAWN BY: A. LONDON  
CHECKED BY: A. LONDON  
ISSUE DATE: 4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

**TREESCAPE PLAN**

SHEET NO: TR1.00

## EXTERIOR LIGHTING FIXTURE SCHEDULE

FIXTURE	FIXTURE DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP TYPE & COLOR TEMP	FIXTURE VOLTS	FIXTURE WATTS	FIXTURE QUANTITY	FIXTURE NOTES:
S1	NEW DECORATIVE SCONCE	LITHONIA WMCL6-P1-SWW2-A45-MVOLT-PE-E4WC-DDBXD-M4	LED 4000K	120V	31 W	16	PROVIDE TIMER IN FIRE RISER ROOM.
W1	NEW WALL PACK	LITHONIA TWH-LED-40K-T3M-MVOLT-PE BRONZE, PHOTOCELL	LED 4000K	120V	78 W	9	PROVIDE PHOTOCELL FIXED TO FIXTURE

### GENERAL NOTES

- PHOTOMETRIC PLANS.

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED FOR REVIEW
C	03/13/26	REVISED FOR REVIEW
D	04/16/26	ISSUED FOR PERMIT

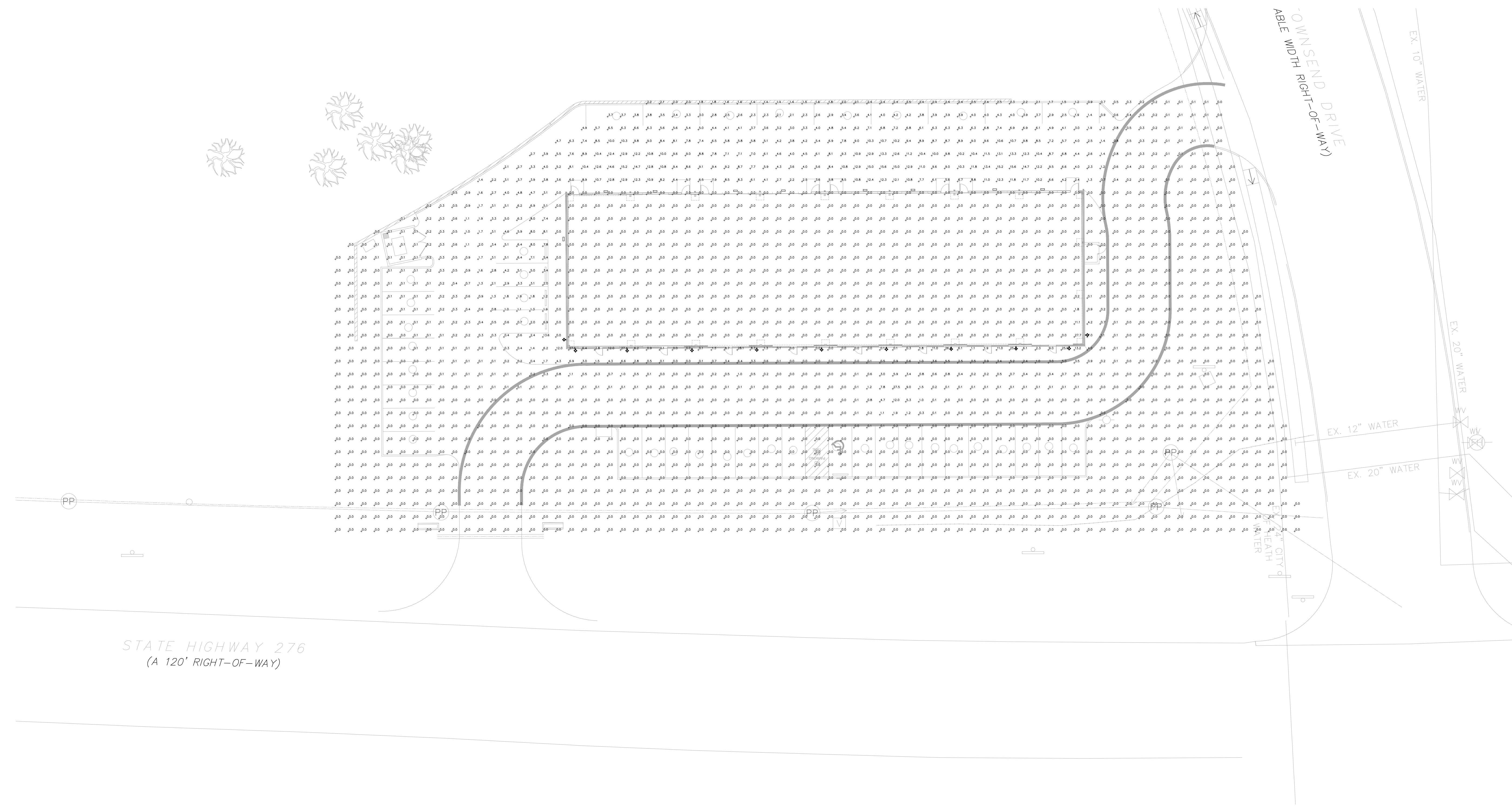
ISSUED FOR PERMIT  
AND CONSTRUCTION  
04/16/2026

HEC GROUP  
15749 SEAROLT P.L.C.  
ADDISON, TX 75001



OFFICE BUILDING  
ELECTRICAL PHOTOMETRICS  
HIGHWAY 276 & TOWNSEND  
ROCKWALL, TX 75082

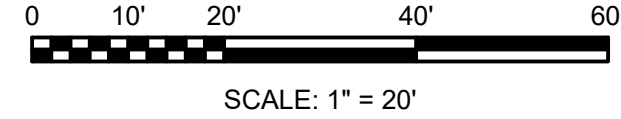
Project	26104
Revision	D
Date	04/16/2026
Scale	N.T.S.
E0.4	
OF	SHEETS



1

 ELECTRICAL PHOTOMETRICS PLAN

SCALE: 1" = 20'



SCALE: 1" = 20'