



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NWC CAPITAL BOULEVARD & DATA DRIVE

SUBDIVISION

LOT 9 BLOCK B

GENERAL LOCATION NWC CAPITAL BOULEVARD & DATA DRIVE

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LIGHT INDUSTRIAL

CURRENT USE VACANT

PROPOSED ZONING LIGHT INDUSTRIAL

PROPOSED USE WAREHOUSE

ACREAGE 4.07

LOTS [CURRENT] 1

LOTS [PROPOSED] 2

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MACA DEVELOPMENT LLC

APPLICANT TRIANGLE ENGINEERING

CONTACT PERSON MOHIB MASANI

CONTACT PERSON KEVIN PATEL

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MOHIB MASANI [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

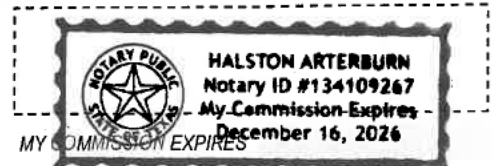
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1081.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF May, 20 26 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF May, 20 26

OWNER'S SIGNATURE

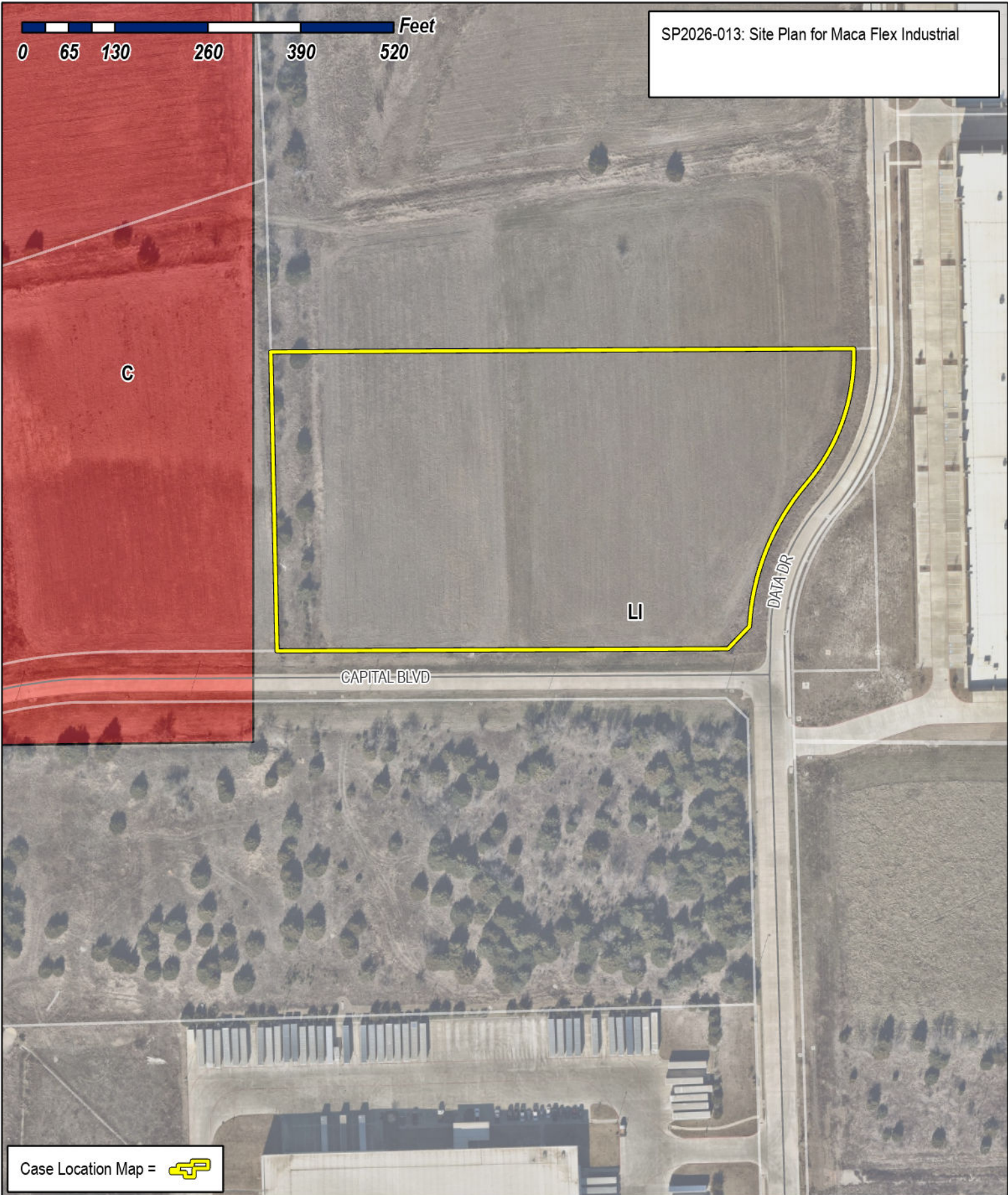
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Halston Arterburn*



0 65 130 260 390 520 Feet

SP2026-013: Site Plan for Maca Flex Industrial



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**EASEMENT/SETBACK LEGEND**

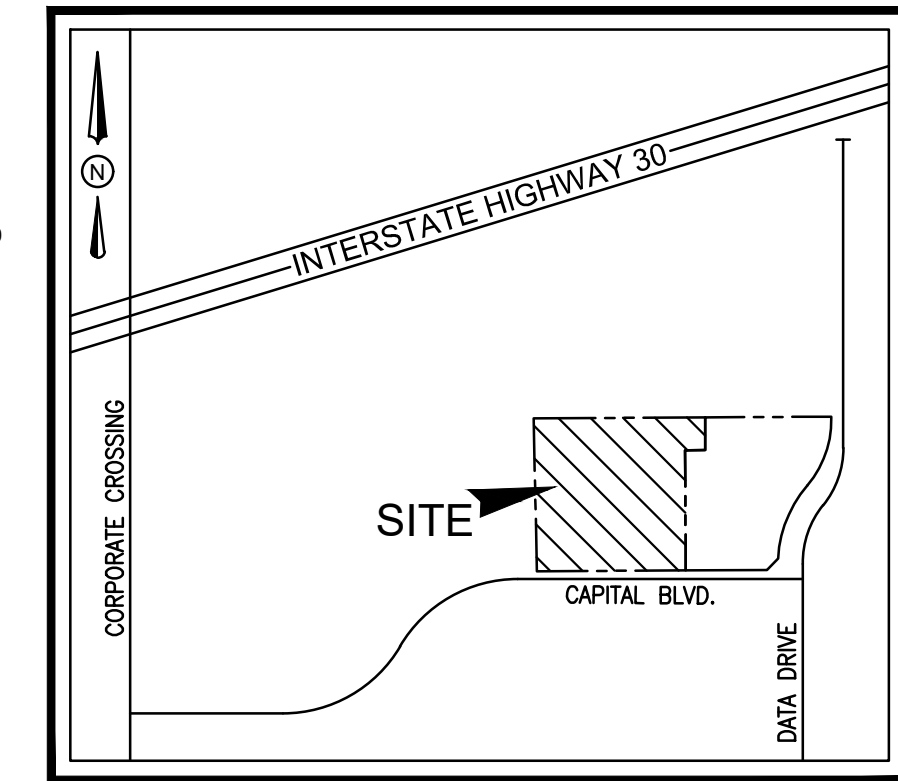
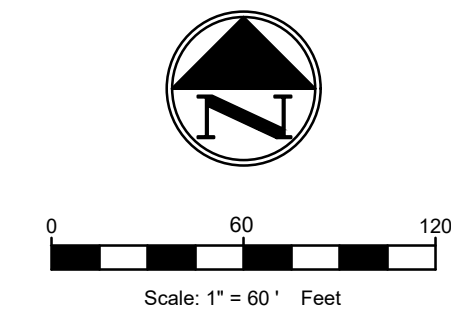
BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

**DETENTION NOTE:**

NO ON-SITE DETENTION IS PROVIDED FOR THE PROJECT SITE. POST-DEVELOPMENT RUNOFF FROM THE PROJECT SITE SHALL BE ACCOMMODATED BY UPGRADES TO DETENTION POND-3. THE DETENTION FACILITY SHALL BE MODIFIED AS PART OF THIS DEVELOPMENT TO ACCOUNT FOR THE INCREASED RUNOFF GENERATED BY THE PROPOSED DEVELOPMENT.

**SITE GENERAL NOTES**

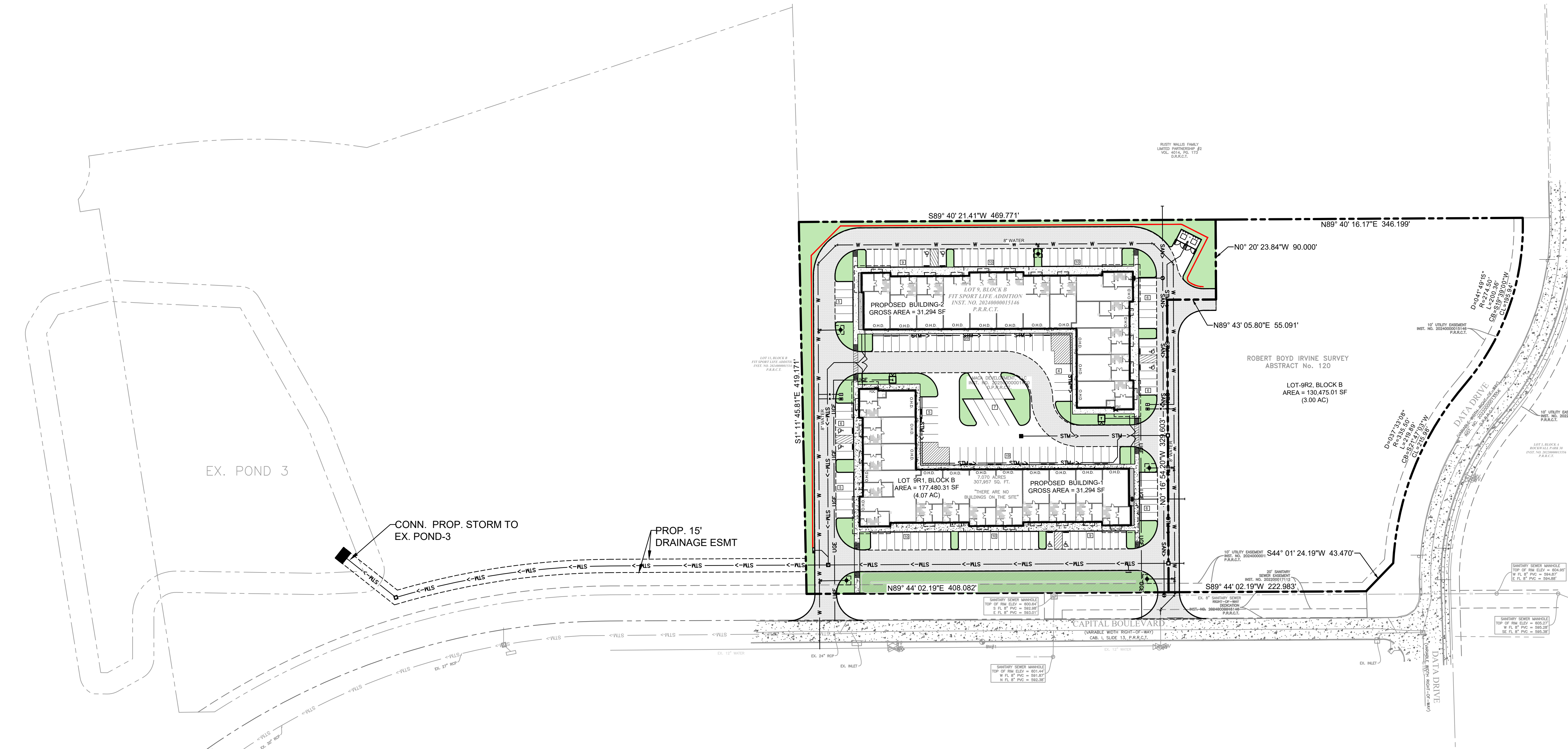
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
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- ALL CURB RADIUS TO BE 10' OR 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- AREA UNDER CANOPY AND DUMPSTER AREA DRAINS TO PROPOSED OIL WATER SEPARATOR.



VICINITY MAP  
N.T.S.

**SITE LEGEND**

CONCRETE CURB	---
SAW-CUT LINE	---
FENCE	X
FIRE LANE	---
RETAINING WALL	---
PARKING SPACES	□
MONUMENT/PYLON SIGN	□
WHEEL STOPS	□
HANDICAP LOGO	□
HANDICAP SIGN	□
RAMP	□
BOLLARD	□
TRAFFIC ARROW	→
FIRE HYDRANT	□
DUMPSTER	□
SANITARY SEWER MANHOLE	○
SANITARY SEWER CLEANOUT	○
SANITARY SEWER DOUBLE CLEANOUT	○
SANITARY SEWER SAMPLE PORT	○
GREASE TRAP	□
DOMESTIC WATER METER	□
IRRIGATION METER	□
GAS METER	□
TRANSFORMER	□
LIGHT POLE	□
POWER POLE	□
OVERHEAD DOOR	□



**BENCHMARK**

THE BENCHMARKS AND ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) BY USING GPS OBSERVATIONS IN CONJUNCTION WITH ALL TERRA RTK NETWORK.

BM-1  
AN "X" CUT SET ON TOP OF A CONCRETE BACK OF CURB ALONG THE SOUTH SIDE OF CAPITAL BOULEVARD, SOUTH OF THE SUBJECT PROPERTY AND LOCATED APPROXIMATELY 96 FEET SOUTHWEST FROM A SANITARY SEWER MANHOLE NEAR ELEVATION: 599.80

BM-2  
AN "X" CUT SET ON TOP OF A CONCRETE BACK OF CURB ALONG THE EAST SIDE OF DATA DRIVE, EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY AND LOCATED APPROXIMATELY 35 FEET NORTH FROM A FIRE HYDRANT NEAR SAID NORTHEAST PROPERTY CORNER. ELEVATION: 607.46

**FLOOD PLAIN NOTE**

NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045 L, DATED 09/26/2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

**PROJECT CONTACT LIST**

OWNER/DEVELOPER MACA DEVELOPMENT, LLC ADDRESS: 6904 RAINWOOD DRIVE PLANO, TX 75024 CONTACT: MOHIB MASANI PHONE: 972-836-6442	SURVEYOR TRAVERSE LAND SURVEYING 395 LAKE PARK ROAD, SUITE 102 LEWISVILLE, TEXAS 75057 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. MCDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. PHONE: (469) 213-1707 TX, P.E. FIRM #11525	ARCHITECT KILLIAN ARCHITECT 3400 N CENTRAL EXPY SUITE 110-307 RICHARDSON, TX 75080 CONTACT: KENNETH R. KILLIAN PHONE: 214-561-6042



APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	05/14/26	1ST SITE PLAN SUBMITTAL	KP
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**OVERALL SITE PLAN**  
**MACAFLEX AT CAPITAL & DATA**  
**NWC CAPITAL BOULEVARD & DATA DRIVE**  
**LOT 9, BLOCK B**  
**FIT SPORT LIFE ADDITION**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS 75032**

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	05/14/26	SCALE BAR	129-25	OSP

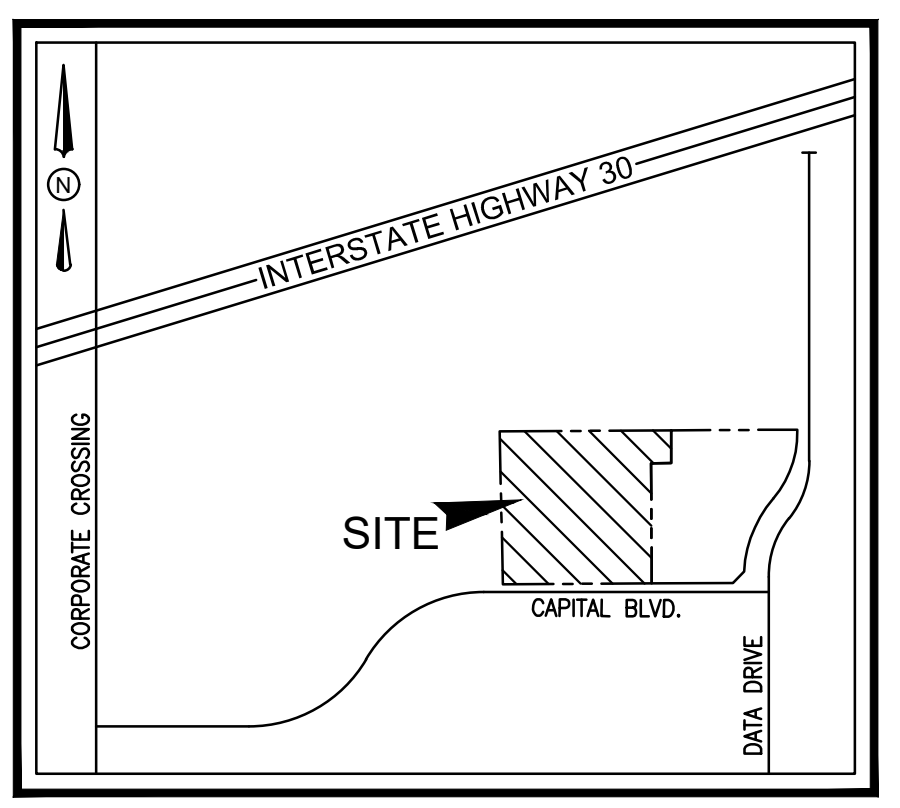
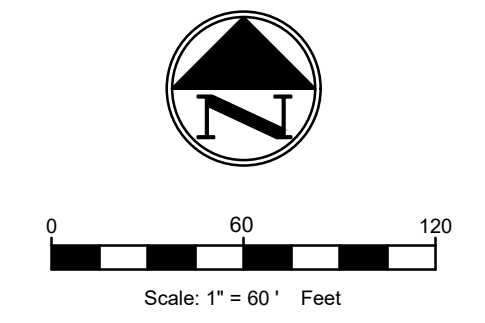
TX, P.E. FIRM #11525

CASE NO:

EASEMENT/SETBACK LEGEND	
BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
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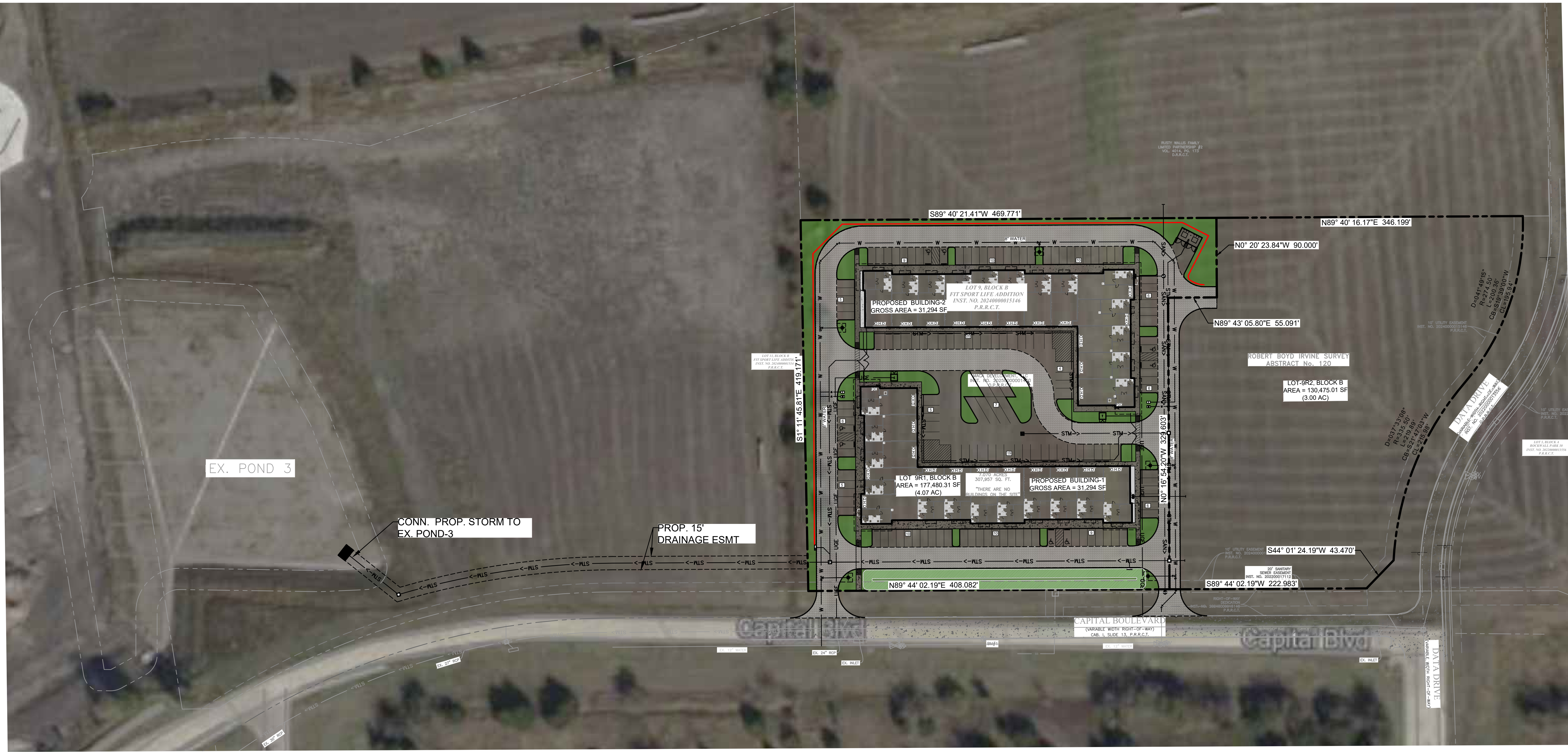
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VICINITY MAP  
N.T.S.

SITE LEGEND	
CONCRETE CURB	---
SAW-CUT LINE	---
FENCE	X
FIRE LANE	---
RETAINING WALL	---
PARKING SPACES	[Symbol]
MONUMENT/PYLON SIGN	[Symbol]
WHEEL STOPS	[Symbol]
HANDICAP LOGO	[Symbol]
HANDICAP SIGN	[Symbol]
RAMP	[Symbol]
BOLLARD	[Symbol]
TRAFFIC ARROW	[Symbol]
FIRE HYDRANT	[Symbol]
DUMPSTER	[Symbol]
SANITARY SEWER MANHOLE	[Symbol]
SANITARY SEWER CLEANOUT	[Symbol]
SANITARY SEWER DOUBLE CLEANOUT	[Symbol]
SANITARY SEWER SAMPLE PORT	[Symbol]
GREASE TRAP	[Symbol]
DOMESTIC WATER METER	[Symbol]
IRRIGATION METER	[Symbol]
GAS METER	[Symbol]
TRANSFORMER	[Symbol]
LIGHT POLE	[Symbol]
POWER POLE	[Symbol]
OVERHEAD DOOR	[Symbol]



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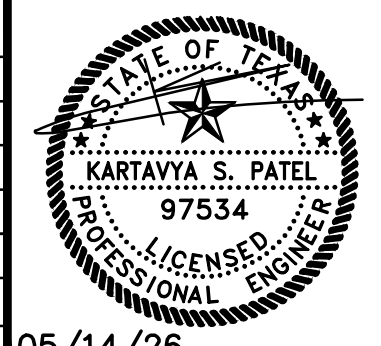


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PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	05/14/26	1ST SITE PLAN SUBMITTAL	KP
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**OVERALL SITE PLAN- AERIAL**  
**MACAFLEX AT CAPITAL & DATA**  
 NWC CAPITAL BOULEVARD & DATA DRIVE  
 LOT 9, BLOCK B  
 FIT SPORT LIFE ADDITION  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS 75032

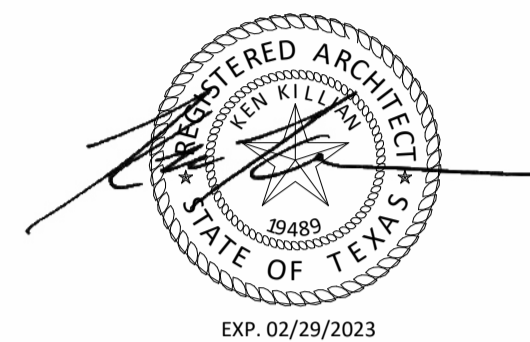
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TX, P.E. FIRM #11525

CASE NO:



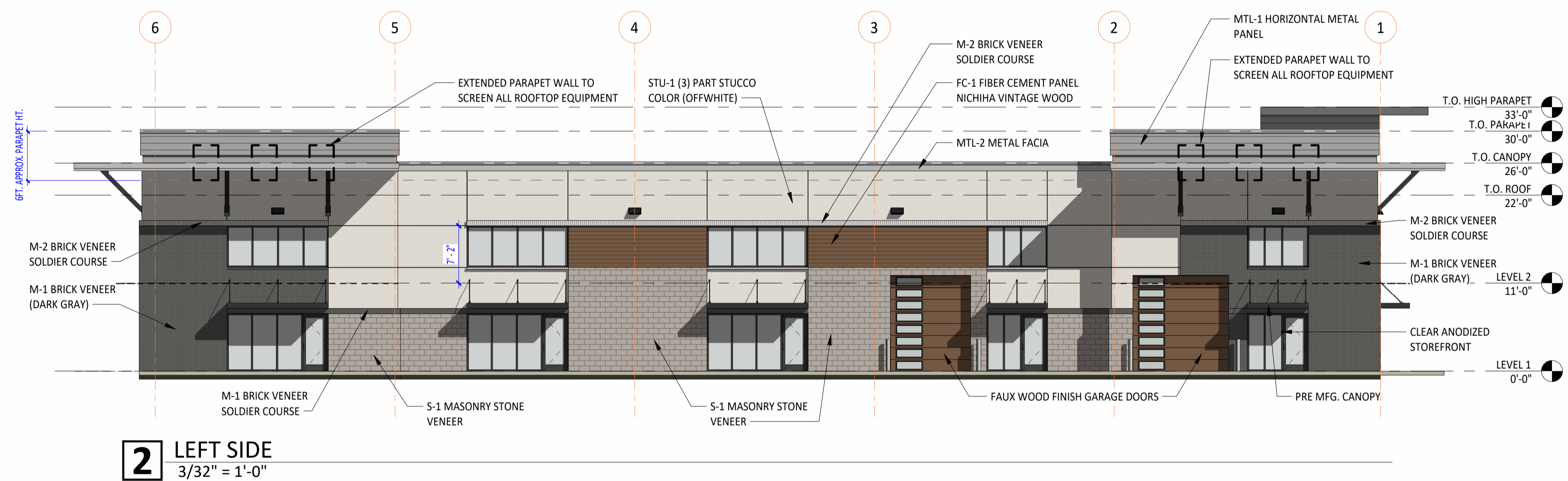


FC-1 FIBER CEMENT PANEL NICHIIHA VINTAGEWOOD

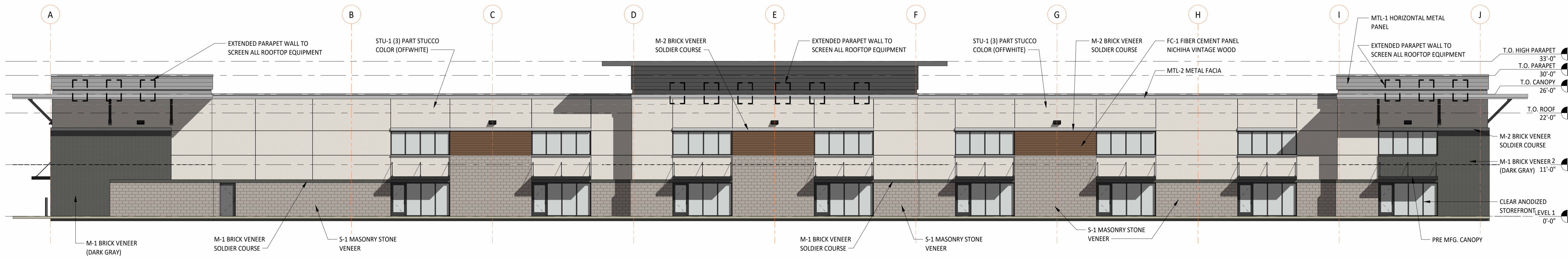
KEYNOTE LEGEND	
05.50	MAPES ARCHITECTURAL CANOPY (DARK BRONZE) - SUPER LUMIDECK CANOPY W/ 1" HANGER PIPE, FLAT SOFFIT DECKING, 8" FACIA, FACIA DRAIN W/ SCUPPERS. - COLOR TO MATCH DARK BRONZE - PROVIDE CUTSHEETS, ENGINEERING AND EMBED ATTACHMENTS AND BACKING AS REQUIRED BY MFG. - CONTRACTOR TO PROVIDE SHOP DRAWINGS AND ENGINEERING FOR REVIEW AND APPROVAL.
05.75	STEEL BOLLARD W/ STAINLESS STEEL COVER (#316 BRUSHED #4 BY POST GUARD OR SIMILAR) - FILL STEEL BOLLARD WITH CONCRETE - COORDINATE BOLLARDS WITH ARCHITECT / CIVIL ENGINEER PRIOR TO CONSTRUCTION.
05.82	DOWNSPOUT 6X6 W/ SCUPPER BOX 24"W X 8"H - AND ADJACENT OVERFLOW SCUPPER 24"W X 8"H - SURFACE DRAIN
26.30	WALL MOUNTED EXTERIOR LIGHT FIXTURE REFER MEP DRAWINGS

EXTERIOR MATERIAL CALCULATIONS		
	SF EA.	% AREA
<b>FRONT</b>		
TOTAL	8,714	100%
STUCCO	3,701	42%
CEMENT FIBER	271	3%
METAL	1,074	12%
MASONRY	3,668	42%
<b>LEFT</b>		
TOTAL	4,388	100%
STUCCO	1,345	31%
CEMENT FIBER	208	5%
METAL	502	11%
MASONRY	2,333	53%
<b>BACK</b>		
TOTAL	8,127	100%
STUCCO	4,373	54%
METAL	465	6%
MASONRY	3,289	40%
<b>RIGHT</b>		
TOTAL	4,265	100%
STUCCO	2,215	52%
METAL	380	9%
MASONRY	1,670	39%

MATERIALS	
MTL-1	HORIZONTAL METAL PANEL - PAC-CLAD - ANODIC CLEAR
MTL-2	METAL FACIA - PAC-CLAD - ANODIC CLEAR
FC-1	FIBER CEMENT PANEL - NICHIIHA VINTAGEWOOD
STU-1	(3) PART STUCCO - WHITE - SW 6098 SHERWIN WILLIAMS PACER WHITE
M-1	MASONRY BRICK VENEER (DARK GRAY) BLACKSON BRICK - MIDNIGHT IS (VELOUR)
M-2	MASONRY BRICK VENEER (WHITE) - BLACKSON BRICK - WHITESTONE
S-1	MASONRY STONE VENEER (TAN) - BLACKSON BRICK - COTTONWOOD HONED
GL-1	GLAZING (GLASS) - LOW-E CLEAR
FR-1	STOREFRONT FRAMES - DARK BRONZE ALUMINUM



2 LEFT SIDE  
 3/32" = 1'-0"



1 FRONT  
 3/32" = 1'-0"

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2026.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2026.  
 Planning & Zoning Commission, Chairman \_\_\_\_\_ Director of Planning and Zoning \_\_\_\_\_

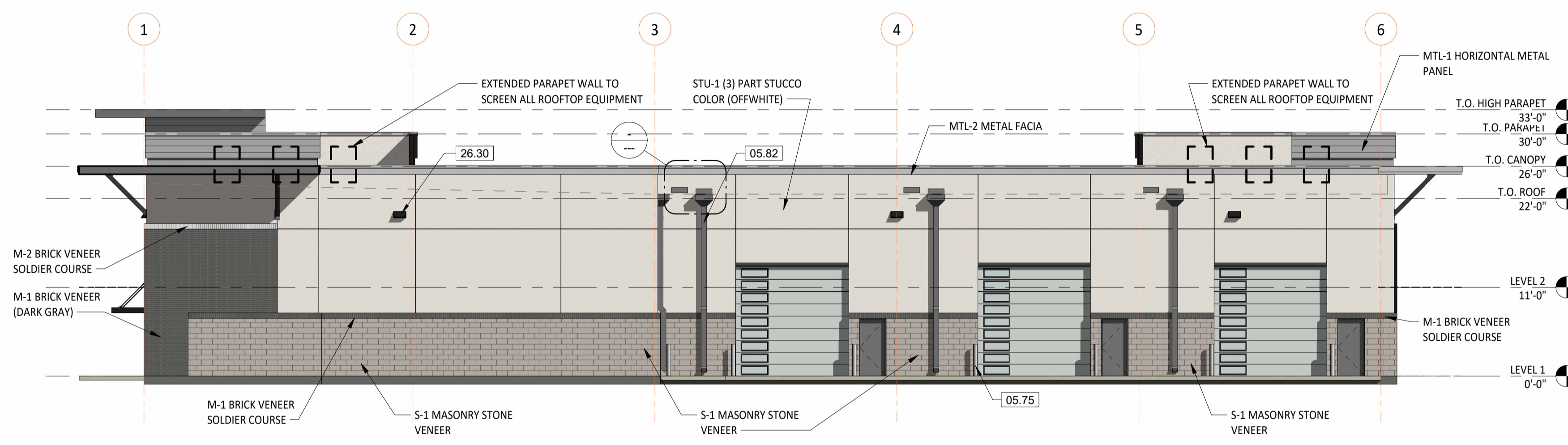


REV.	DATE	ISSUE

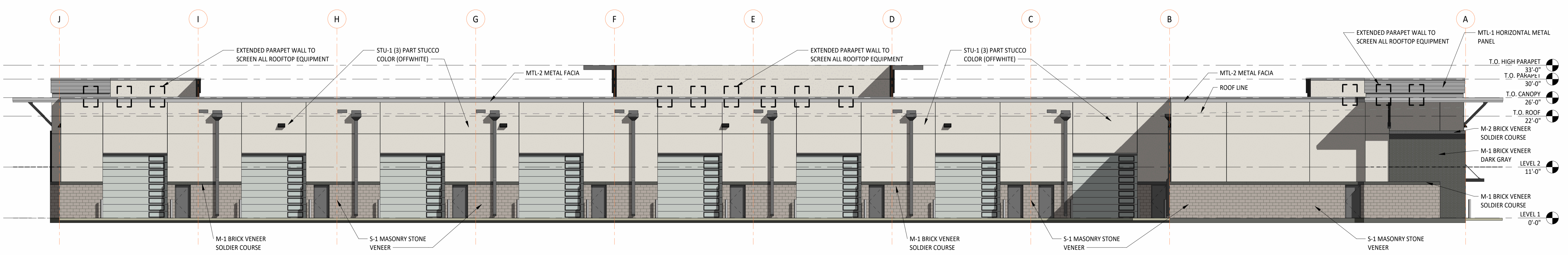
KEYNOTE LEGEND	
05.50	MAPES ARCHITECTURAL CANOPY (DARK BRONZE) - SUPER LUMIDECK CANOPY W/ 1" HANGER PIPE, FLAT SOFFIT DECKING, 8" FACIA, FACIA DRAIN W/ SCUPPERS. - COLOR TO MATCH DARK BRONZE - PROVIDE CUTSHEETS, ENGINEERING AND EMBED ATTACHMENTS AND BACKING AS REQUIRED BY MFG. - CONTRACTOR TO PROVIDE SHOP DRAWINGS AND ENGINEERING FOR REVIEW AND APPROVAL
05.75	STEEL BOLLARD W/ STAINLESS STEEL COVER (#316 BRUSHED #4 BY POST GUARD OR SIMILAR) - FILL STEEL BOLLARD WITH CONCRETE - COORDINATE BOLLARDS WITH ARCHITECT / CIVIL ENGINEER PRIOR TO CONSTRUCTION.
05.82	DOWNSPOUT 6X6 W/ SCUPPER BOX 24"W X 8"H - AND ADJACENT OVERFLOW SCUPPER 24"W X 8"H - SURFACE DRAIN
26.30	WALL MOUNTED EXTERIOR LIGHT FIXTURE REFER MEP DRAWINGS

MATERIALS	
MTL-1	HORIZONTAL METAL PANEL - PAC-CLAD - ANODIC CLEAR
MTL-2	METAL FACIA - PAC-CLAD - ANODIC CLEAR
FC-1	FIBER CEMENT PANEL - NICHHA VINTAGEWOOD
STU-1	(3) PART STUCCO - WHITE - SW 6098 SHERWIN WILLIAMS PACER WHITE
M-1	MASONRY BRICK VENEER (DARK GRAY) BLACKSON BRICK - MIDNIGHT IS (VELOUR)
M-2	MASONRY BRICK VENEER (WHITE) - BLACKSON BRICK - WHITESTONE
S-1	MASONRY STONE VENEER (TAN) - BLACKSON BRICK - COTTONWOOD HONED
GL-1	GLAZING (GLASS) - LOW-E CLEAR
FR-1	STOREFRONT FRAMES - DARK BRONZE ALUMINUM

EXTERIOR MATERIAL CALCULATIONS		
	SF EA.	% AREA
<b>FRONT</b>		
TOTAL	8,714	100%
STUCCO	3,701	42%
CEMENT FIBER	271	3%
METAL	1,074	12%
MASONRY	3,668	42%
<b>LEFT</b>		
TOTAL	4,388	100%
STUCCO	1,345	31%
CEMENT FIBER	208	5%
METAL	502	11%
MASONRY	2,333	53%
<b>BACK</b>		
TOTAL	8,127	100%
STUCCO	4,373	54%
METAL	465	6%
MASONRY	3,289	40%
<b>RIGHT</b>		
TOTAL	4,265	100%
STUCCO	2,215	52%
METAL	380	9%
MASONRY	1,670	39%



**2** RIGHT  
 3/32" = 1'-0"



**1** BACK  
 3/32" = 1'-0"

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\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

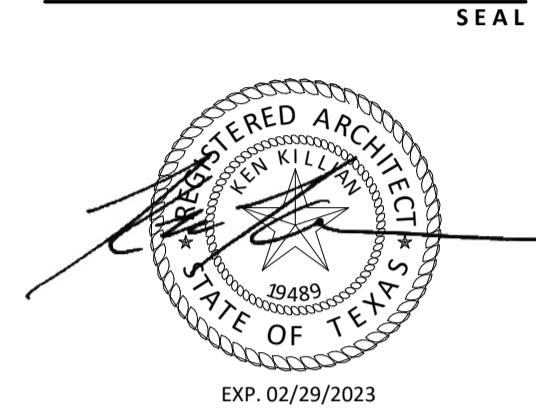


ARCHITECT  
**KILLIAN**  
 STUDIO OF ARCHITECTURE  
 PLANNING | ARCHITECTURE | INTERIORS  
 WWW.KILLIAN.COM  
 KILLIAN DESIGN, LLC

3400 N CENTRAL EXPY | SUITE 110-307  
 RICHARDSON, TEXAS 75080  
 214.561.6042

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

KENNETH R. KILLIAN, AIA  
 TX REG. NO. 19489



DEVELOPER  
 MACA DEVELOPMENT, LLC  
 6904 RAINWOOD DRIVE  
 PLANO, TX 75024  
 (972) 836-6442

CONTACT: MOHIB MASANI  
 CONTRACTOR

STRUCTURAL ENGINEER  
 SEDG, LLC  
 8850 HUFFMEISTER, SUITE 200  
 HOUSTON, TX 77095  
 (281) 583-7088

CONTACT: JARROD HAMILTON  
 MEP ENGINEER  
 V3 CONSULTING ENGINEERS  
 9125 LOMA VISTA DRIVE  
 DALLAS, TX 75243  
 (972) 643-8814

CONTACT: STRIDER STEELE  
 CIVIL ENGINEER  
 TRIANGLE ENGINEERING, LLC  
 1782 MCDERMOTT DR.  
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 (214) 609-9271

CONTACT: KEVIN PATEL, P.E.  
 LANDSCAPE  
 TRIANGLE ENGINEERING, LLC  
 1782 MCDERMOTT DR.  
 ALLEN, TX 75013  
 (214) 609-9271

CONTACT: KEVIN PATEL, P.E.  
 PROJECT

**MACA FLEX WAREHOUSE**  
 ADDRESS  
 ROCKWALL, TEXAS

REV.	DATE	ISSUE

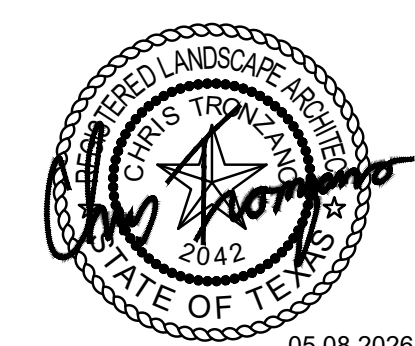
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PERSPECTIVES

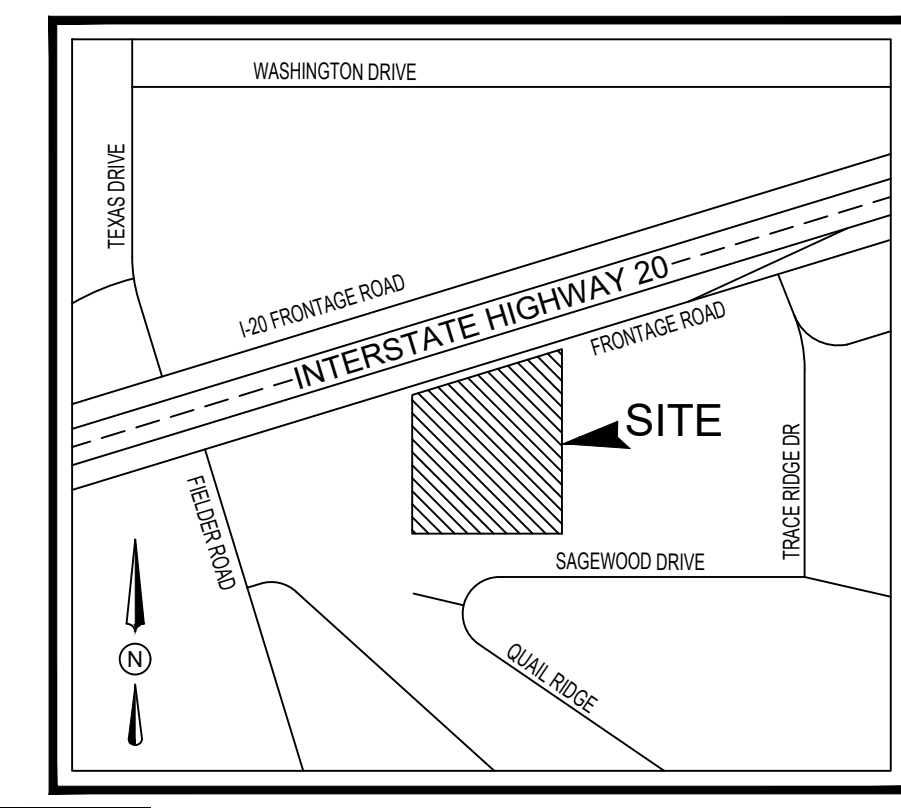
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 SHEET NUMBER



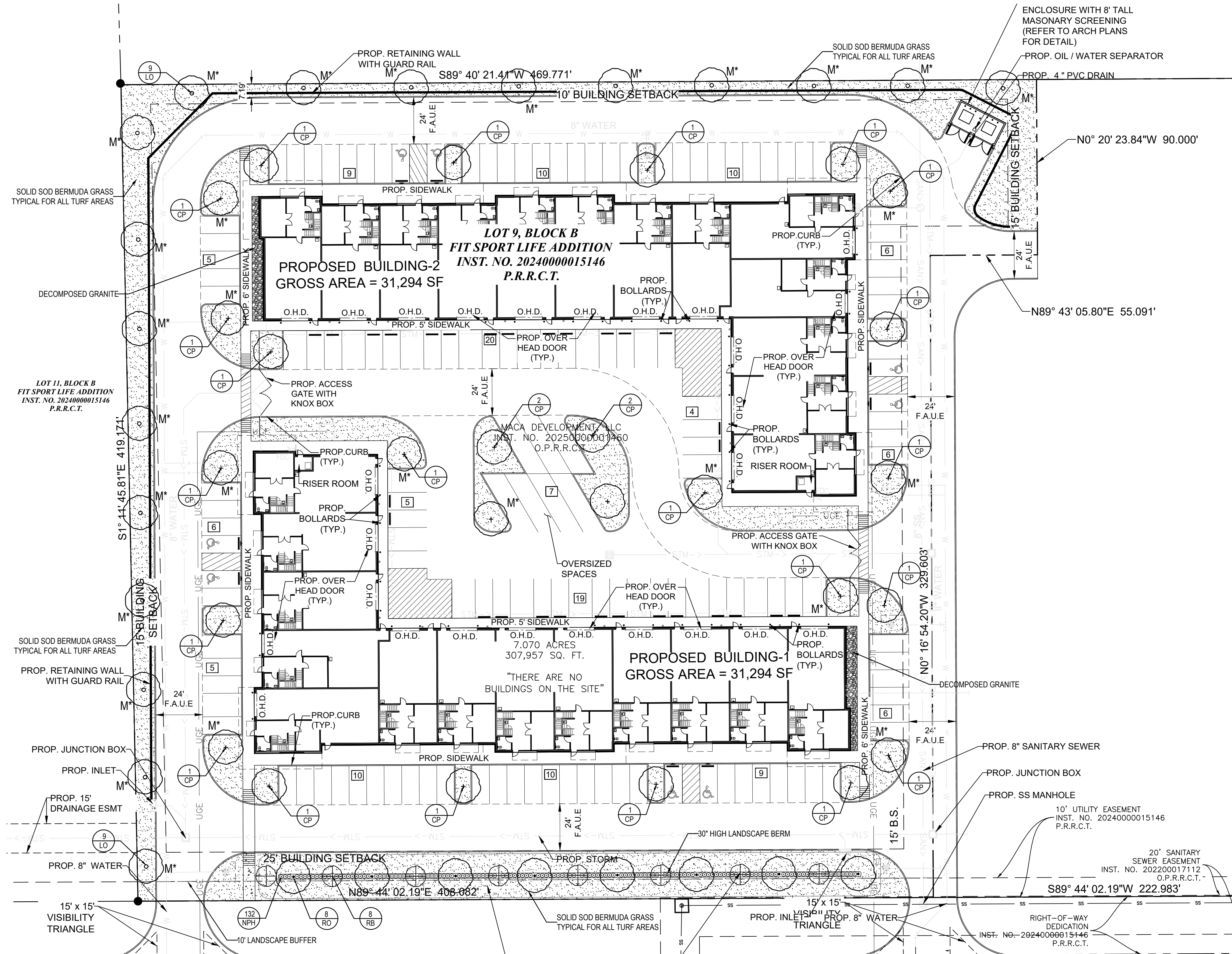
LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
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05.08.2026



VICINITY MAP  
N.T.S.  
MAPSCO ~ 59 X



SITE DATA SUMMARY TABLE		SITE PLAN	
<b>GENERAL SITE DATA</b>		Light Industrial (LI)	
CURRENT ZONING (FROM ZONING MAP)		Light Industrial (LI)	
PROPOSED ZONING		Light Industrial (LI)	
LAND USE		Warehouse	
LOT AREA	177,485 SF	AC	4,075
<b>BUILDING-1</b>		Warehouse	
BUILDING FOOTPRINT AREA	31,294 SF	BUILDING HEIGHT	2 STORY
MAX. BUILDING HEIGHT (DISTANCE TO TALLEST BUILDING ELEMENT)	33 FT		
<b>BUILDING-2</b>		Warehouse	
BUILDING FOOTPRINT AREA	31,294 SF	BUILDING HEIGHT	2 STORY
MAX. BUILDING HEIGHT (DISTANCE TO TALLEST BUILDING ELEMENT)	33 FT		
LOT COVERAGE	35.26 %		
FLOOR AREA RATIO (RATIO X.XX:1)	0.35 : 1		
<b>PARKING</b>			
REQUIRED PARKING RATIO (WAREHOUSE)	1 SPACES PER EVERY 1,000 SF		
REQUIRED PARKING RATIO (OFFICE)	1 SPACES PER EVERY 300 SF		
<b>BUILDING-1</b>			
REQUIRED PARKING (PER CITY)	68 SPACES		
PROVIDED ON-SITE PARKING (INCLUDING ADA SPACES)	74 SPACES		
ACCESSIBLE PARKING REQUIRED	3 SPACES		
ACCESSIBLE PARKING PROVIDED	4 SPACES		
<b>BUILDING-2</b>			
REQUIRED PARKING (PER CITY)	68 SPACES		
PROVIDED ON-SITE PARKING (INCLUDING ADA SPACES)	75 SPACES		
ACCESSIBLE PARKING REQUIRED	3 SPACES		
ACCESSIBLE PARKING PROVIDED	4 SPACES		
<b>LANDSCAPE/PERVIOUS AREA</b>			
LANDSCAPE AREA REQUIRED	N/A SF		
LANDSCAPE AREA PROVIDED	30,821 SF		
<b>TOTAL LANDSCAPE/PERVIOUS AREA PROVIDED</b>	<b>30,821 SF</b>		
<b>TOTAL LANDSCAPE/PERVIOUS AREA PROVIDED</b>	<b>17%</b>		
<b>IMPERVIOUS AREA</b>			
BUILDING FOOTPRINT AREA (SQUARE FEET)	62,588 SF		
AREA OF SIDEWALKS, PAVEMENT & OTHER IMPERVIOUS FLATWORK	84,076 SF		
<b>TOTAL IMPERVIOUS AREA (SQ.FT)</b>	<b>146,664 SF</b>		
<b>TOTAL IMPERVIOUS %</b>	<b>83%</b>		

- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
  - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
  - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
  - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
  - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
  - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
  - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
  - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
  - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
  - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
  - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
  - CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
  - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
  - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
  - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
  - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
  - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
  - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
  - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
  - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
  - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**LANDSCAPE TABULATIONS:**

**SITE REQUIREMENTS (Total Site Area 177,485 S.F.)**  
Requirements: A minimum 15% of the site area to be landscaped.

Required	26,623 S.F. (15%)	Provided	30,030 S.F. (17%)
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**FRONT YARD REQUIREMENTS**  
Requirements: A minimum 100% of required landscape must be located in front yard and side yards.

Required	26,622 S.F. (100%)	Provided	26,851 S.F. (100%)
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**STREET REQUIREMENTS**  
Requirements: A minimum (1) canopy tree (4" cal) and (1) accent tree (4" ht.) per 50 L.F. of frontage.

CAPITAL PKWY. (408 L.F.)

Required	(8) Canopy trees	Provided	(8) Proposed Canopy Tree
	(8) Accent trees		(8) Proposed Accent Trees

**PARKING LOT REQUIREMENTS (147 Spaces)**  
Requirements: A minimum (1) canopy tree (4" cal.) per 10 parking spaces. All spaces within 80' of a canopy tree.

Required	(15) Canopy Trees	Provided	(26) Proposed Canopy Trees
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ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL, TX.

**PLANT MATERIAL SCHEDULE**

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES	CP	26	Chinese Pistache	<i>Pistacia chinensis</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
	RO	8	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
	LO	18	Live Oak	<i>Quercus virginiana</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
	RB	8	Redbud	<i>Cercis canadensis</i>	6" ht.	container, 6' ht., 4' spread, single straight trunk
SHRUBS	DBH	132	Dwarf Burford Holly	<i>Ilex cornuta</i>	5 gal.	container, 24" ht., 20" spread
GROUNDCOVERS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
			'Tif Turf' Bermudagrass	<i>Cynodon dactylon</i> 'Tif Turf'		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



**PROJECT CONTACT LIST**

OWNER/DEVELOPER MACA DEVELOPMENT, LLC ADDRESS: 6904 RAINWOOD DRIVE PLANO, TX 75024 CONTACT: MOHIB MASANI PHONE: 972-836-6442	SURVEYOR TRAVERSE LAND SURVEYING 395 LAKE PARK ROAD, SUITE 102 LEWISVILLE, TEXAS 75057 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. PHONE: (469)-213-1707 TX. P.E. FIRM #11525	ARCHITECT KILLIAN ARCHITECT 3400 N CENTRAL EXPY SUITE 110-307 RICHARDSON, TX 75080 CONTACT: KENNETH R. KILLIAN PHONE: 214-561-6042

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WITNESS OUR HANDS, THIS \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**MACA FLEX INDUSTRIAL**  
CAPITAL PARKWAY  
CITY OF ROCKWALL, TEXAS 75032

**ISSUE:**  
FOR APPROVAL: 05.08.2026

DATE:  
05.08.2026

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:  
L.2



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. MODERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



05.08.2026

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60 1) - plant material.
- B. American Joint Committee on Horticultural Nomenclature. 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Horis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation. General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
  - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
  - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
  - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
  - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
  - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
    - Plants used for replacement shall be of the same size and kind as those originally planted and shall be considered as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including runs in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
    - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
    - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
  - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
  - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
  - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
  - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
  - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
  - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
  - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
  - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
  - Physical properties as follows:
    - Clay - between 7-27 percent
    - Silt - between 15-25 percent
    - Sand - less than 52 percent
  - Organic matter shall be 3%-10% of total dry weight.
  - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
  - Post: Studded T-Post, #1 Armo with anchor plate; 6'-0" length; paint green.
  - Wire: 12 gauge, single strand, galvanized wire.
  - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
  - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
  - All planting areas shall receive a two (2") inch layer of specified mulch.
  - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
  - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gapped open, then watered thoroughly.
  - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

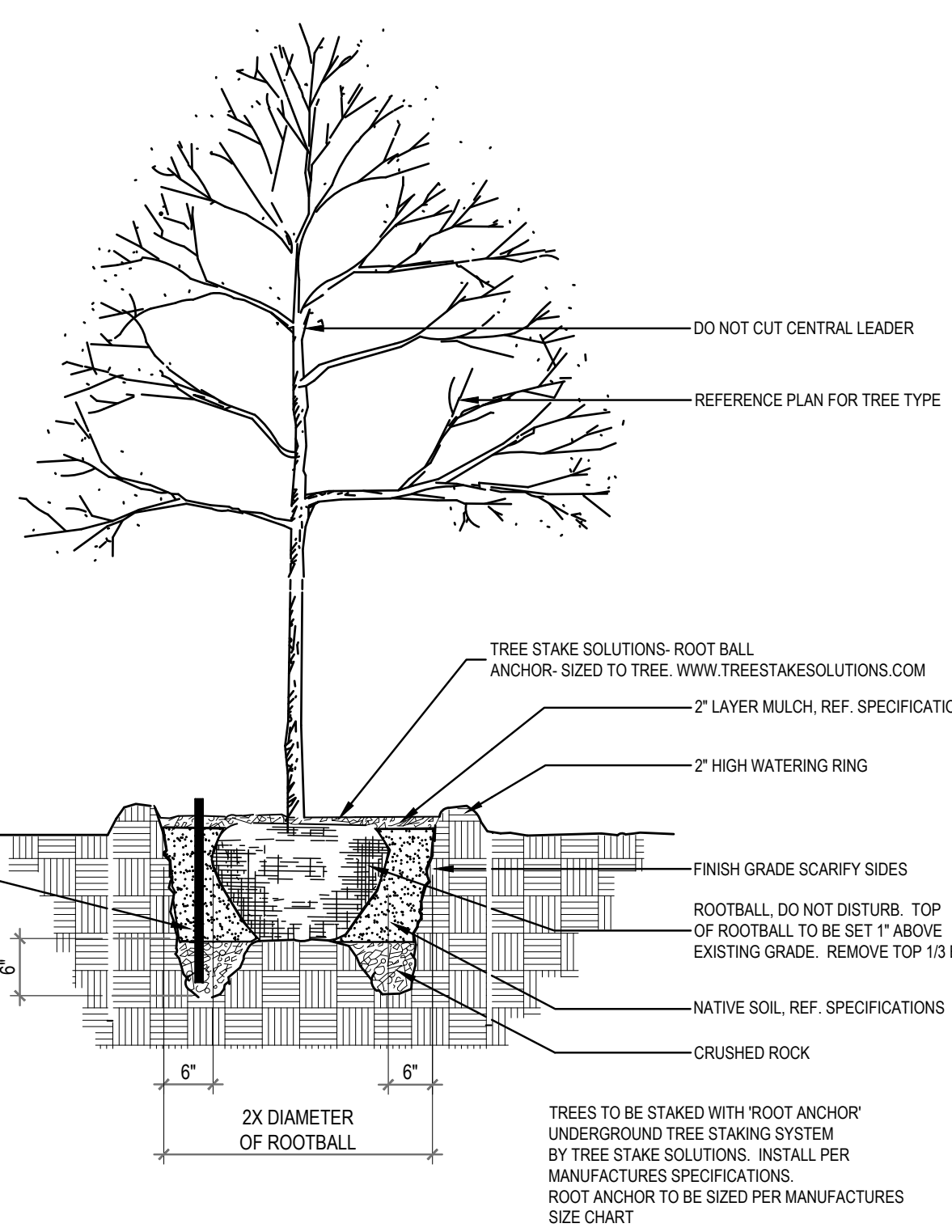
3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

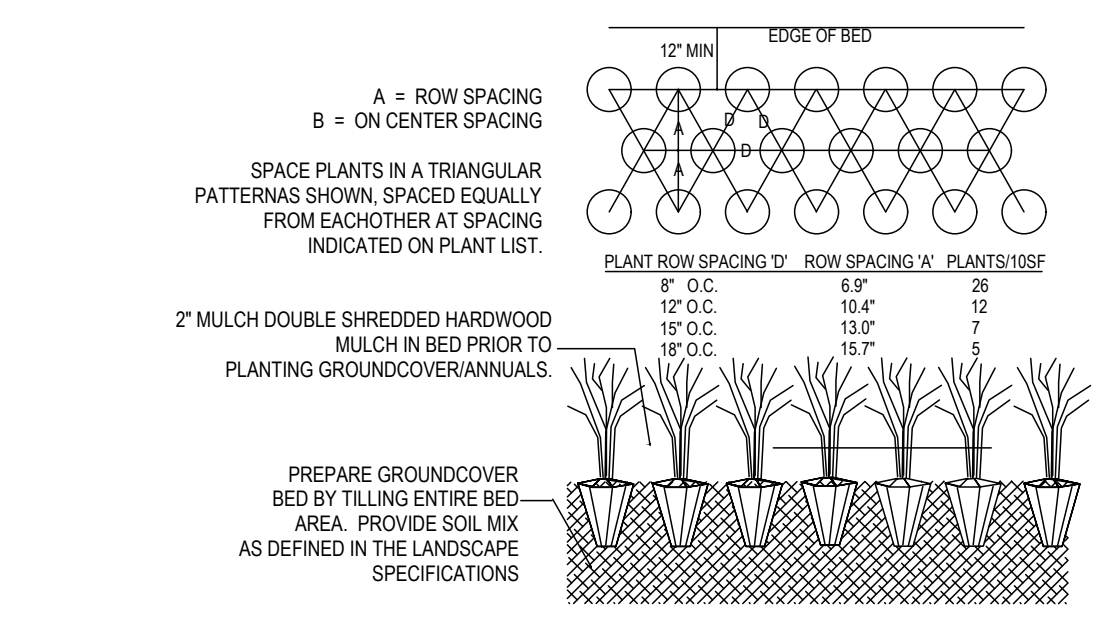
3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

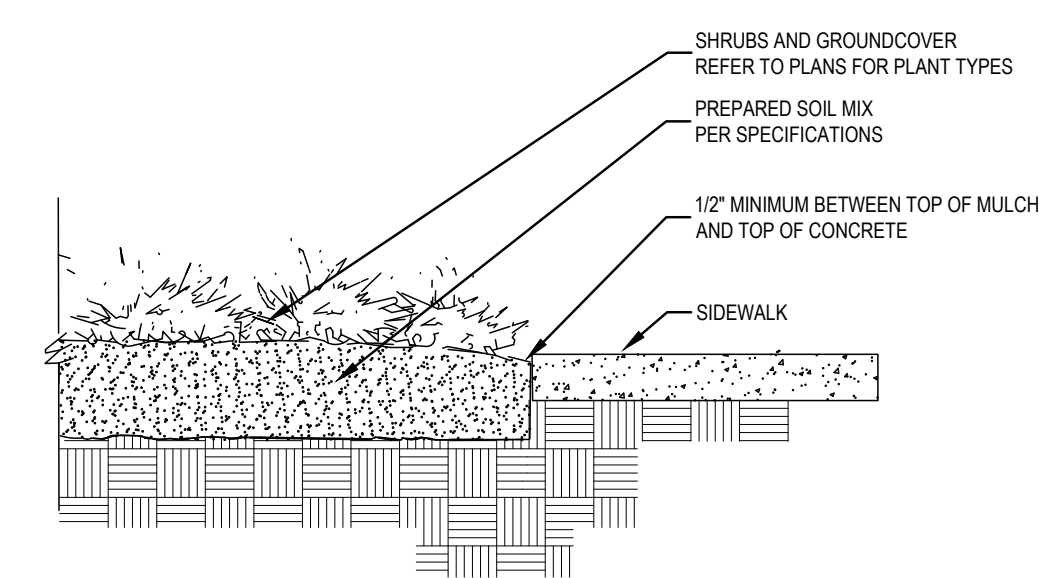
END OF SECTION



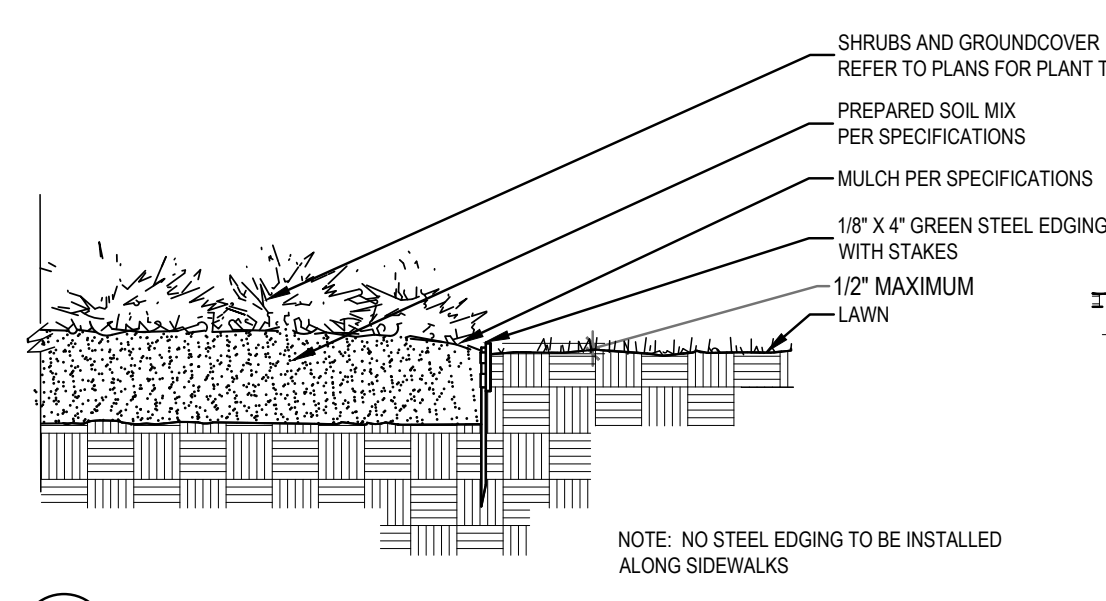
01 TREE PLANTING DETAIL NOT TO SCALE



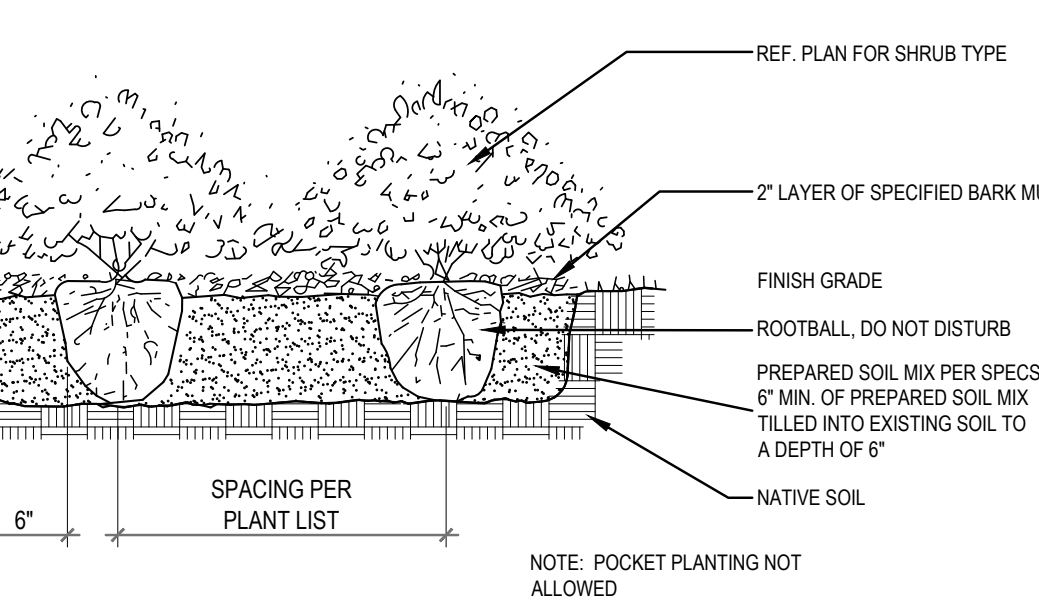
02 GROUND COVER PLANTING DETAIL NOT TO SCALE



03 SIDEWALK / MULCH DETAIL NOT TO SCALE



04 STEEL EDGING DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE

PROJECT CONTACT LIST	
OWNER/DEVELOPER MACA DEVELOPMENT, LLC ADDRESS: 6904 RAINWOOD DRIVE PLANO, TX 75024 CONTACT: MOHIB MASANI PHONE: 972-836-6442	SURVEYOR TRAVERSE LAND SURVEYING 395 LAKE PARK ROAD, SUITE 102 LEWISVILLE, TEXAS 75057 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. MODERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. PHONE: (469)-213-1707 TX, P.E. FIRM #11525	ARCHITECT KILLIAN ARCHITECT 3400 N CENTRAL EXPY SUITE 110-307 RICHARDSON, TX 75080 CONTACT: KENNETH R. KILLIAN PHONE: 214-561-6042

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

MACA FLEX INDUSTRIAL  
CAPITAL PARKWAY  
CITY OF ROCKWALL, TEXAS 75032

ISSUE:  
FOR APPROVAL: 05.08.2026

DATE:  
05.08.2026

SHEET NAME:  
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

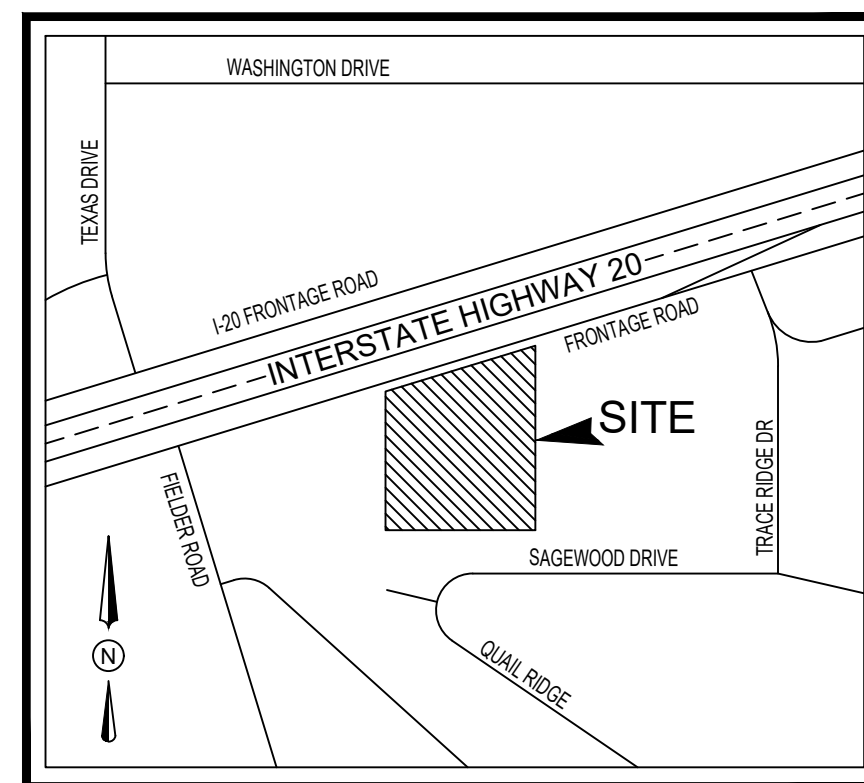
L.3



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOWGREENSPOT.COM



05.08.2026



VICINITY MAP  
N.T.S.  
MAPSCO ~ 59 X

SITE DATA SUMMARY TABLE	
ITEM	SITE PLAN
<b>GENERAL SITE DATA</b>	
CURRENT ZONING (FROM ZONING MAP)	Light Industrial (LI)
PROPOSED ZONING	Light Industrial (LI)
LAND USE	Warehouse
LOT AREA	177,485 SF 4.075 AC
<b>BUILDING-1</b>	
BUILDING FOOTPRINT AREA	31,294 SF
BUILDING HEIGHT	2 STORY
MAX. BUILDING HEIGHT (DISTANCE TO TALLEST BUILDING ELEMENT)	33 FT
<b>BUILDING-2</b>	
BUILDING FOOTPRINT AREA	31,294 SF
BUILDING HEIGHT	2 STORY
MAX. BUILDING HEIGHT (DISTANCE TO TALLEST BUILDING ELEMENT)	33 FT
LOT COVERAGE	35.26 %
FLOOR AREA RATIO (RATIO X.XX:1)	0.35 : 1
<b>PARKING</b>	
REQUIRED PARKING RATIO (WAREHOUSE)	1 SPACES PER EVERY 1,000 SF
REQUIRED PARKING RATIO (OFFICE)	1 SPACES PER EVERY 300 SF
<b>BUILDING-1</b>	
REQUIRED PARKING (PER CITY)	68 SPACES
PROVIDED ON-SITE PARKING (INCLUDING ADA SPACES)	74 SPACES
ACCESSIBLE PARKING REQUIRED	3 SPACES
ACCESSIBLE PARKING PROVIDED	4 SPACES
<b>BUILDING-2</b>	
REQUIRED PARKING (PER CITY)	68 SPACES
PROVIDED ON-SITE PARKING (INCLUDING ADA SPACES)	75 SPACES
ACCESSIBLE PARKING REQUIRED	3 SPACES
ACCESSIBLE PARKING PROVIDED	4 SPACES
<b>LANDSCAPE/PERVIOUS AREA</b>	
LANDSCAPE AREA REQUIRED	N/A SF
LANDSCAPE AREA PROVIDED	30,821 SF
<b>TOTAL LANDSCAPE/PERVIOUS AREA PROVIDED</b>	<b>30,821 SF</b>
<b>TOTAL PERVIOUS %</b>	<b>17%</b>
<b>IMPERVIOUS AREA</b>	
BUILDING FOOTPRINT AREA (SQUARE FEET)	62,588 SF
AREA OF SIDEWALKS, PAVEMENT & OTHER IMPERVIOUS FLATWORK	84,076 SF
<b>TOTAL IMPERVIOUS AREA (SQ.FT)</b>	<b>146,664 SF</b>
<b>TOTAL IMPERVIOUS %</b>	<b>83%</b>

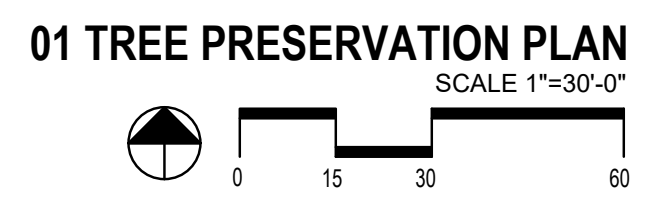
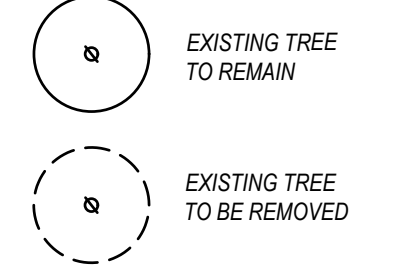
**EXISTING TREE NOTES**

- TREE TRUNKS MUST BE CUT AT GROUND LEVEL WHERE REMOVAL OF A TREE MAY DAMAGE THE ROOT SYSTEM OF AN ADJACENT TREE.
- ALL ROOTS TWO INCHES OR LARGER IN CALIPER, WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION, SHALL BE CUT OFF SQUARE.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIFLINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIFLINE OF ANY TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED, TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIFLINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIFLINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48) INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 72 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIFLINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL(S).
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCIRCLED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAIL(S).
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

TREENUMBER	SIZE (DBH)	COMMON NAME	STATUS	REMAIN/REMOVE	MITIGATION REQUIRED
3491	16	Cedar		REMOVE	16
3492	10	Cedar		REMOVE	10
3493	20	Cedar		REMOVE	20
3494	22	Cedar		REMOVE	22
3495	20	Cedar		REMOVE	20
3496	25	Cedar		REMOVE	25
3497	12	Hackberry		REMOVE	
3498	8	Hackberry		REMOVE	
3499	20	Cedar		REMOVE	20
3500	10	Hackberry		REMOVE	10
<b>TOTAL</b>					<b>143</b>

TREE MITIGATION:  
TOTAL INCHES TO BE MITIGATED- 143 INCHES  
20% OF THE TOTAL INCHES TO BE PAID TO CITY TREE FUND (200\$ PER INCH)- 143 X .20 = 28.6 INCHES  
28.6 X \$200 = \$5,720 TO BE PAID TO THE CITY TREE FUND.  
114.4 INCHES REMAINING TO BE PLANTED BACK ON SITE.  
(29) TREES TO BE PLANTED BACK ON SITE. (LABELED AS M\* ON L2)

**EXISTING TREE LEGEND**



PROJECT CONTACT LIST	
OWNER/DEVELOPER MACA DEVELOPMENT, LLC ADDRESS: 6904 RAINWOOD DRIVE PLANO, TX 75024 CONTACT: MOHIB MASANI PHONE: 972-636-6442	SURVEYOR TRAVERSE LAND SURVEYING 395 LAKE PARK ROAD, SUITE 102 LEWISVILLE, TEXAS 75057 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. PHONE: (469)-213-1707 TX, P.E. FIRM #11525	ARCHITECT KILLIAN ARCHITECT 3400 N CENTRAL EXPY SUITE 110-307 RICHARDSON, TX 75080 CONTACT: KENNETH R. KILLIAN PHONE: 214-561-6042

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_  
WITNESS OUR HANDS, THIS \_\_\_\_\_ day of \_\_\_\_\_  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

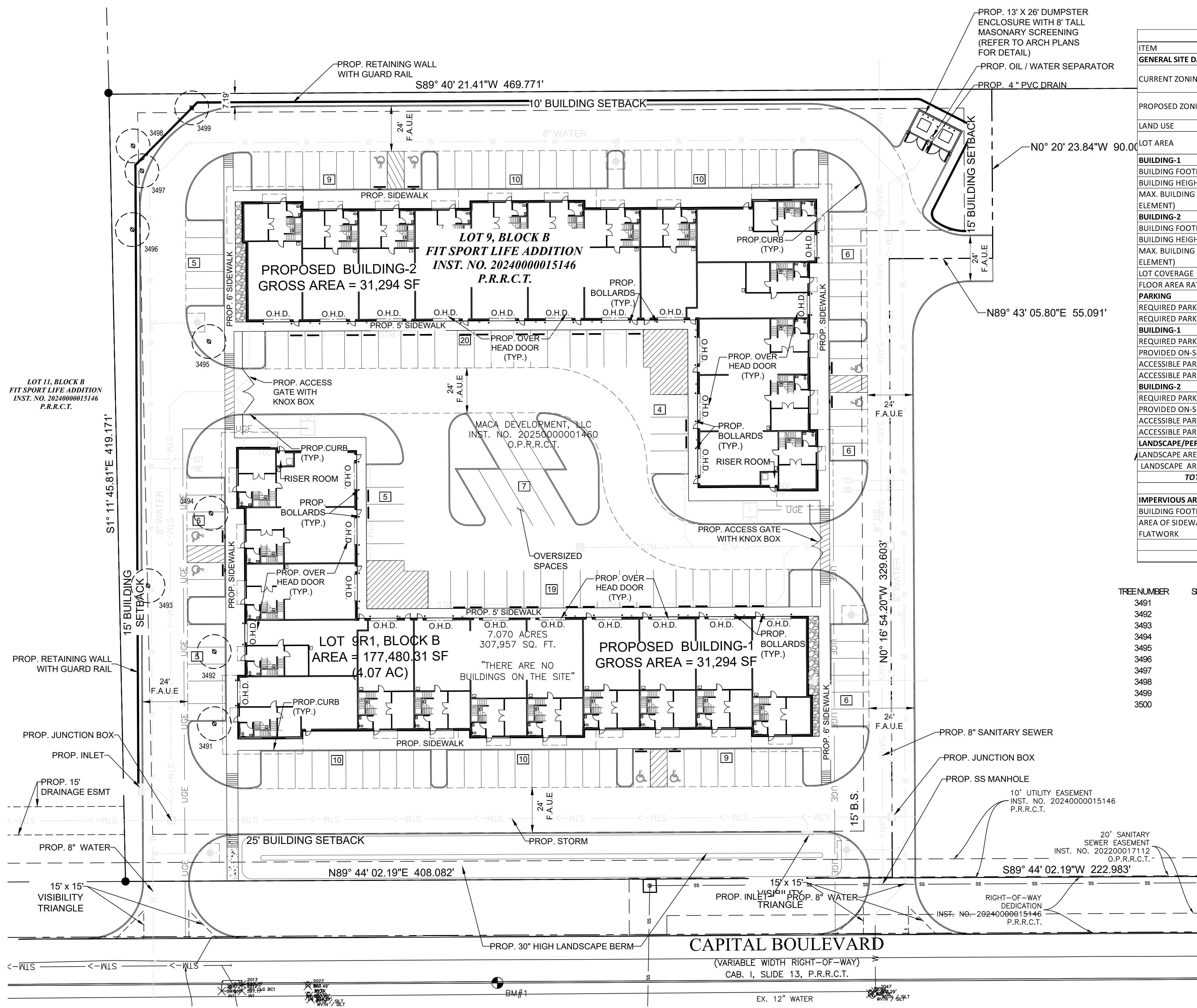
**ISSUE:**  
FOR APPROVAL: 05.08.2026

**DATE:**  
05.08.2026

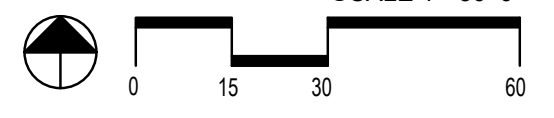
**SHEET NAME:**  
TREE PRESERVATION PLAN

**SHEET NUMBER:**

**L.1**



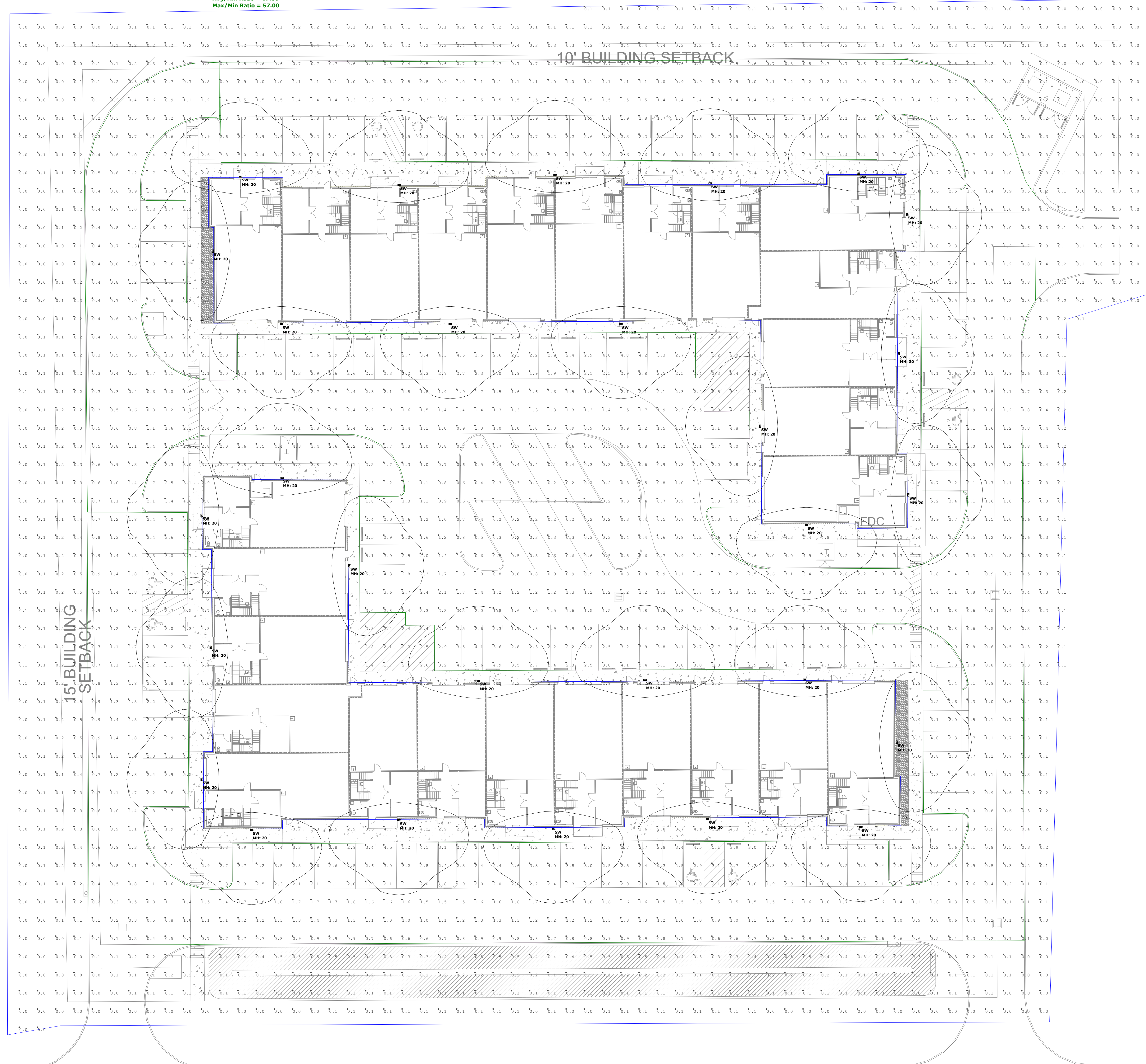
**01 TREE PRESERVATION PLAN**



**MACA FLEX INDUSTRIAL**  
CAPITAL PARKWAY  
CITY OF ROCKWALL, TEXAS 75032

**PARKING AND DRIVEWAY**

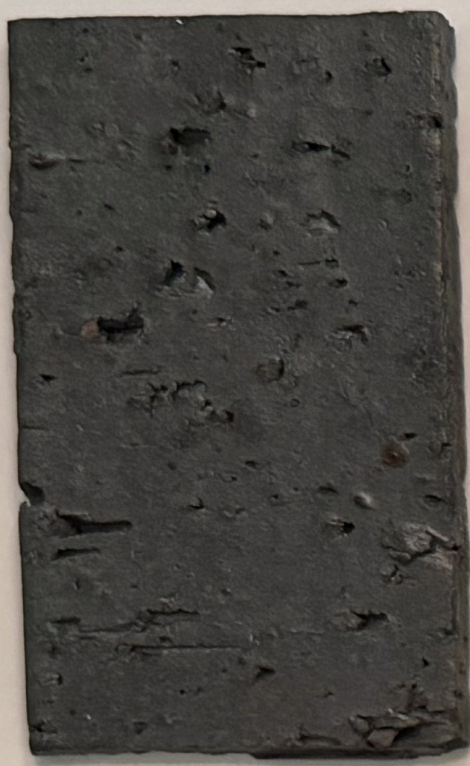
**Illuminance (Fc)**  
 Average = 1.78  
 Maximum = 5.7  
 Minimum = 0.1  
 Avg/Min Ratio = 57.00  
 Max/Min Ratio = 57.00



Luminaire Schedule					Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor
Symbol	Type	Qty	Manufacturer / Catalog Number					
1	SPF	120	LITHONIA WIDEGE LED PL 30K BICR161 5W/2' SRK (FINISH)		11504	87,893	0.850	

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	Max/Min
GRADE PLANE	0	Fc	1.41	5.7	0.0	N/A	
PARKING AND DRIVEWAY	0	Fc	1.78	5.7	0.1	57.00	57.00

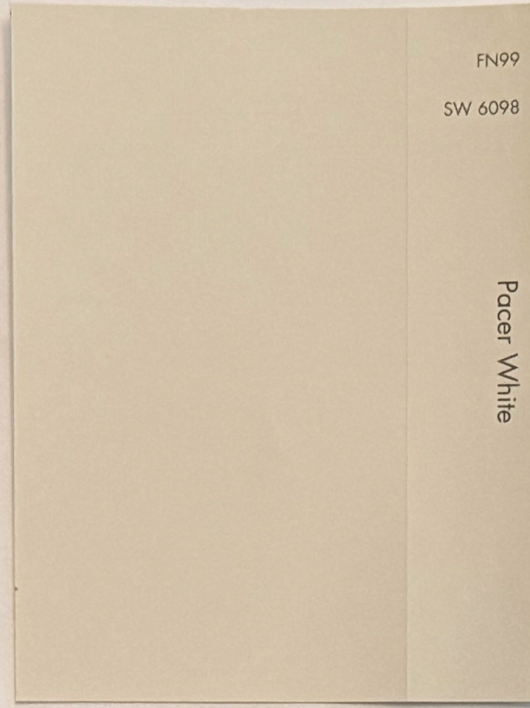
Notes:  
 1. Surface reflectance: Vertical/Horizontal - 50/20  
 2. Calculation views are at height indicated in summary table.  
 3. Mounting heights are designated on drawing with "H".  
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.  
 5. Spreadsheets used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.  
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.  
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



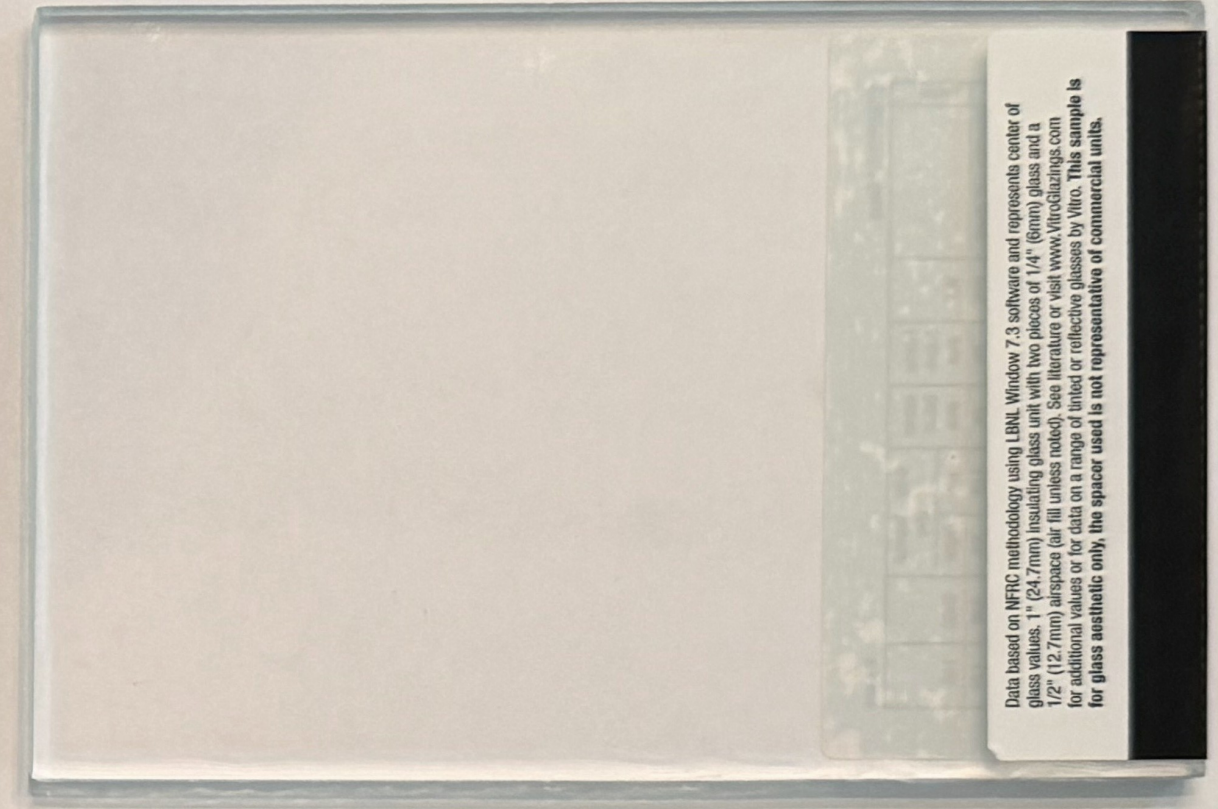
M-1



M-2



STU-1



GL-1

Data based on NFRC methodology using LBM. Window 7.3 software and represents center of glass values. 1" (25.4mm) insulating glass unit with two pieces of 1/4" (6mm) glass and a 1/2" (12.7mm) airspace (air fill unless noted). See literature or visit www.Vitroglazings.com for additional values or for data on a range of tinted or reflective glasses by Vitro. This sample is for glass aesthetic only, the spacer used is not representative of commercial units.



S-1



FC-1



FR-1



MTL-1 & MTL-2

- MTL-1 HORIZONTAL METAL PANEL - PAC-CLAD - ANODIC CLEAR
- MTL-2 METAL FACIA - PAC-CLAD - ANODIC CLEAR
- FC-1 FIBER CEMENT PANEL - NICHIIA VINTAGEWOOD
- STU-1 (3) PART STUCCO - SW PACER WHITE
- M-1 MASONRY BRICK VENEER (DARK GRAY) BLACKSON BRICK - MIDNIGHT IS (VELOUR)
- M-2 MASONRY BRICK VENEER (WHITE) BLACKSON BRICK - WHITESTONE
- S-1 MASONRY STONE VENEER - BLAKCSO BRICK - COTTONWOOD HONED
- GL-1 GLAZING (GLASS) - LOW-E CLEAR
- FR-1 STOREFRONT FRAMES - DARK BRONZE ALUMINUM

**APPLICANT**  
TRIANGLE ENGINEERING  
KEVIN PATEL  
1782 W McDERMOTT DRIVE  
ALLEN, TEXAS 75013  
p\_ (469) 331-8566  
e\_ kpatel@triangle-emg.com

**OWNER**  
MACA DEVELOPMENT LLC  
MOHIB MASANI  
6904 RAINWOOD DRIVE  
PLANO, TEXAS 75024  
p\_ (972) 836-6442  
e\_ mohib31@gmail.com

**MACA FLEX WAREHOUSE**  
CASE #: