



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **SEC Hwy 276 and Hwy205 Bypass (S John King Blvd)**

SUBDIVISION **Rockwall Neighborhood Shops**

LOT **1-6** BLOCK **1**

GENERAL LOCATION **SEC Hwy 276 and Hwy205 Bypass (S John King Blvd)**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-045**

CURRENT USE **Vacant**

PROPOSED ZONING **N/A**

PROPOSED USE **Commercial (Retail/Rest.)**

ACREAGE **11.836**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **5**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Providence Village Neighborhood Shops on 380 by Slate, LLC & SV Rockwall LLC**

APPLICANT **Cross Engineering Consultants, Inc.**

CONTACT PERSON **Kris Ramji**

CONTACT PERSON **Mitchell Mulholland**

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kris Ramji [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

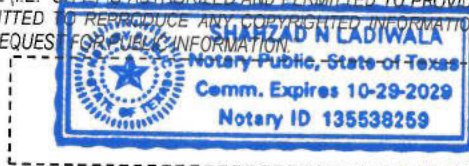
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 436.72 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13<sup>th</sup> DAY OF May, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF May, 2026.

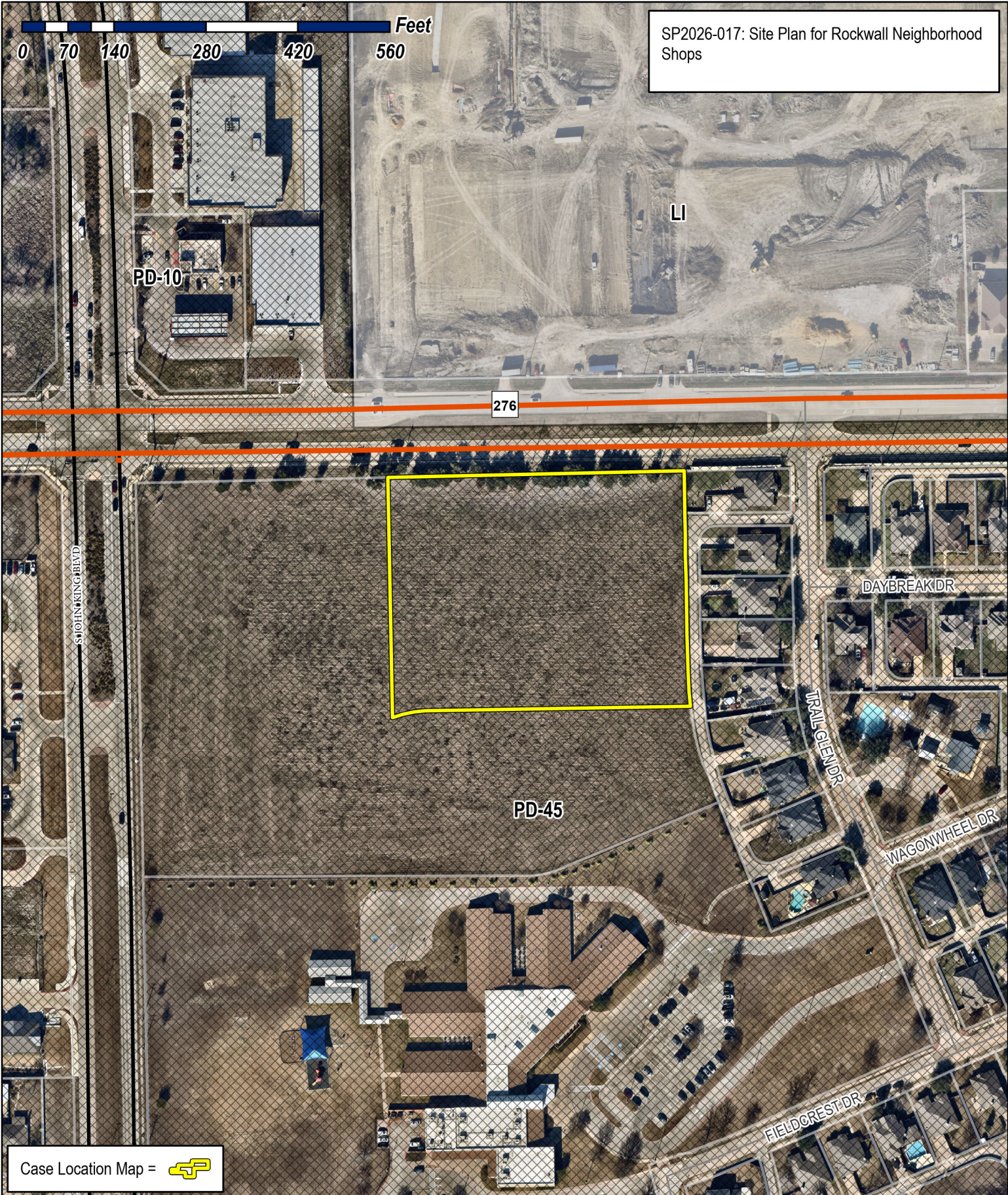
OWNER'S SIGNATURE

*Kris Ramji*


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10-29-29



SP2026-017: Site Plan for Rockwall Neighborhood Shops

Case Location Map = 

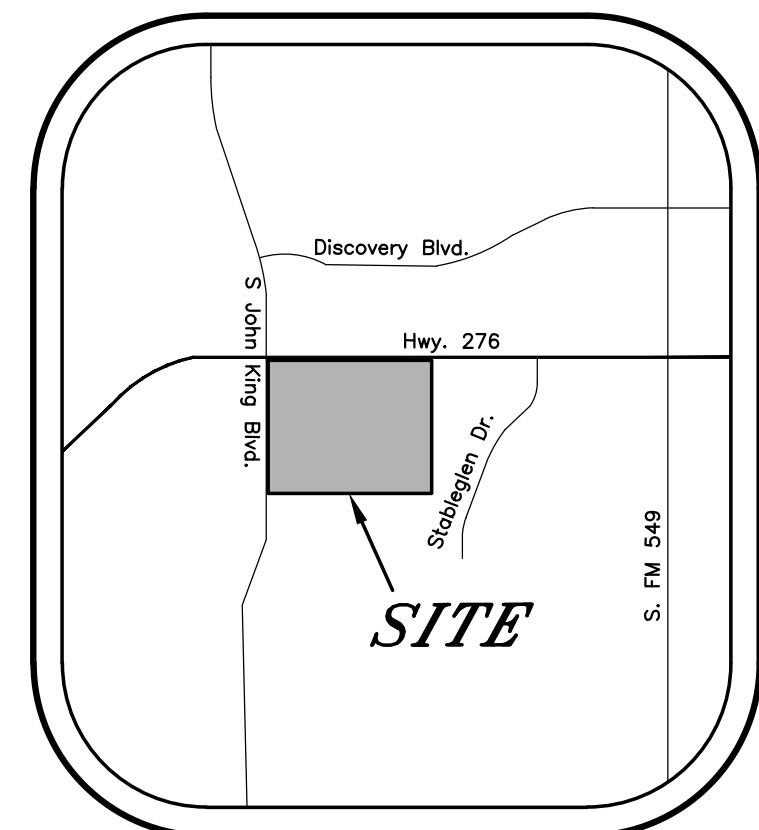
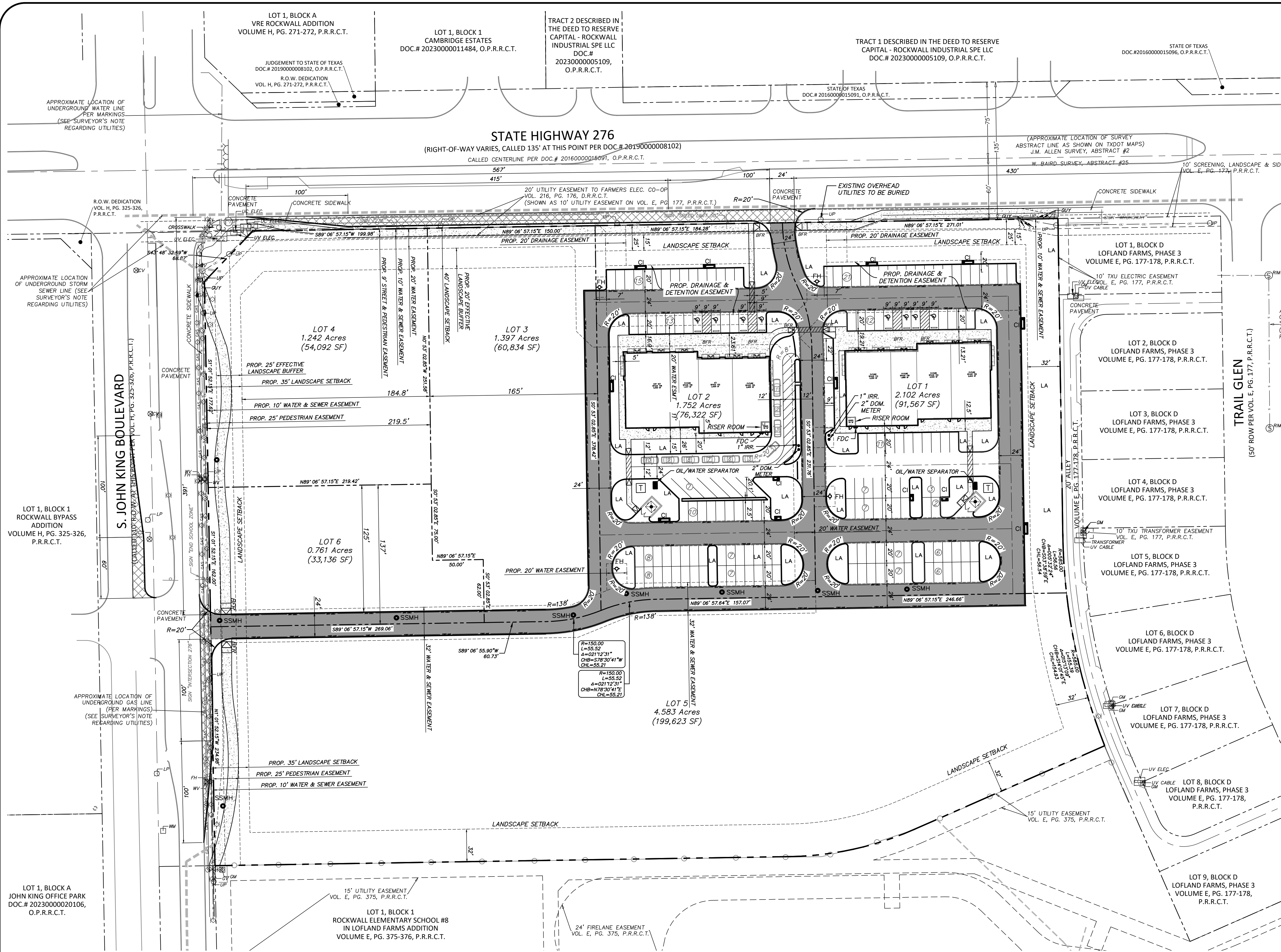


# City of Rockwall

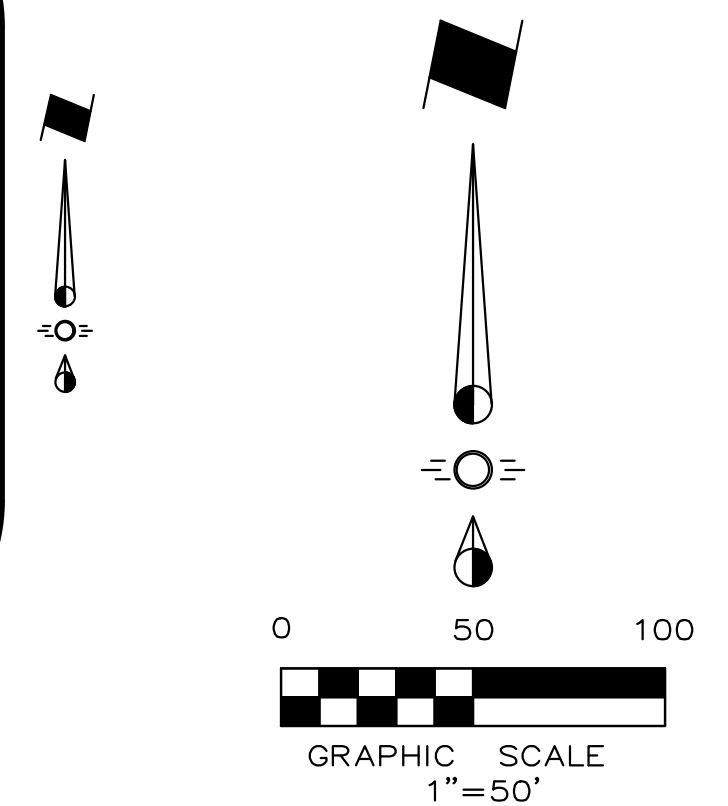
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP  
NTS



**LEGEND**


**SITE DATA TABLE**

LOT SIZE	LOT 1	LOT 2
		2.102 ACRES 91,567 SF
USE / BUILDING AREA		
RETAIL	2,500 SF - 23.4%	4,000 SF - 37.5%
RESTAURANT (FS)	8,171 SF - 76.6%	4,175 SF - 39.1%
MEDICAL OFFICE	- SF - 0%	2,500 SF - 23.4%
TOTAL	10,671 SF	10,675 SF
REQUIRED PARKING		
RETAIL (1 PER 250 S.F.)	10 SPACES	16 SPACES
RESTAURANT (FS) (1 PER 100 S.F.)	82 SPACES	42 SPACES
MEDICAL OFFICE (1 PER 200 S.F.)	0 SPACES	13 SPACES
TOTAL	92 SPACES	71 SPACES
PARKING PROVIDED	93 SPACES	75 SPACES
HANDICAP REQUIRED	4 SPACES	4 SPACES
HANDICAP PROVIDED	4 SPACES	4 SPACES
LANDSCAPE COVERAGE	29,842 SF - 32.6%	15,300 SF - 20%

\* PARKING PROVIDED TOTAL INCLUDES HC PARKING

**OWNER:**  
PROVIDENCE VILLAGE NEIGHBORHOOD SHOPS ON 380 BY SLATE LLC.  
AND SV ROCKWALL LLC.  
5729 LEBANON RD., STE. 144589  
FRISCO, TEXAS 75034

**STOP!**  
CALL BEFORE YOU DIG



(@ least 72 hours prior to digging)

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.  
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

**Note:**  
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.

Issue Date	Description
1 05/15/2026	Site Plan Submittal
2	
3	
4	
5	
6	

1720 W. Virginia Street • McKinney, Texas 75069  
972.562-4409 • Texas P.E. Firm No. F-935

CONCEPTUAL SITE PLAN	Sheet No.
ROCKWALL NEIGHBORHOOD SHOPS	
SLATE LAND & DEVELOPMENT CO.	
CITY OF ROCKWALL, TEXAS	Project No. 25086

05/15/2026

ROCKWALL NEIGHBORHOOD SHOPS

**GENERAL NOTES**

CONTRACTORS, SUBCONTRACTORS, SUPPLIERS, AND ALL INVOLVED IN THE WORK SHALL INSPECT THE SITE BEFORE BIDDING THE WORK IN ORDER TO DETERMINE THE EXTENT OF EXISTING WORK TO REMAIN, EXISTING WORK TO BE DEMOLISHED, CLEARANCES, ACCESSIBILITY AND ANY OTHER ITEMS THAT MIGHT AFFECT THEIR BID AND WORK. PERFORM WORK, PROVIDE EQUIPMENT, PROVIDE MATERIALS, ETC. AS REQUIRED FOR PROPER COMPLETION OF THE PROJECT. THE DRAWINGS MAY NOT SHOW ALL ITEMS OR CONDITIONS. THE CONTRACTOR SHALL NOT RECEIVE EXTRA PAYMENT FOR REQUIREMENTS WHICH CAN BE INFERRED THROUGH OBSERVATION OF EXISTING CONDITIONS AT THE SITE. IN THE EVENT CONCEALED CONDITIONS ARE ENCOUNTERED WHICH VARY SIGNIFICANTLY FROM THOSE INDICATED ON THE DRAWINGS, NOTIFY THE OWNER AND ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND ALL OTHERS INVOLVED IN THE WORK SHALL REVIEW THE COMPLETE CONTRACT DOCUMENTS AND HAVE KNOWLEDGE OF ALL THE WORK TO BE PERFORMED BY ALL TRADES, ETC. AND SHALL COORDINATE THEIR WORK FULL WITH SAID TRADES.

THE G.C SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS AND VERIFY/COORDINATE ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO BEGINNING ANY WORK, THE G.C SHALL REPORT ANY INCONSISTENCIES TO THE OWNER AND ARCHITECT IMMEDIATELY FOR RESOLUTIONS BEFORE BEGINNING EACH PORTION OF THE WORK.

IF THE G.C DOCUMENTS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE G.C MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. G.C SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ADDENDA AND CHANGE ORDERS.

THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.

THE TERM "G.C" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.

THE G.C SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS.

THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.

THE G.C SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, G.C SHALL NOTIFY OWNER AND ARCHITECT.

THE G.C SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OR WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES REQUIRED UPON COMPLETION OF CONSTRUCTION. ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.

**LIST OF CONTACTS**

ARCHITECT:  
JAW ARCHITECTS, INC. - JEREMY WILLIAMS  
817-705-3387  
JERAMY@JAW-ARCH.COM

STRUCTURAL:  
RUBIX CONSULTANTS LLC  
CONTACT ARCHITECT

MEP:  
MEP ENGINEERING & DESIGN CONSULTANTS, ROBERT ANDERSON  
CONTACT ARCHITECT

CIVIL:  
CROSS ENGINEERING  
CONTACT ARCHITECT

OWNER:  
SLATE COMMERCIAL  
CONTACT ARCHITECT

**DRAWING SHEET INDEX**

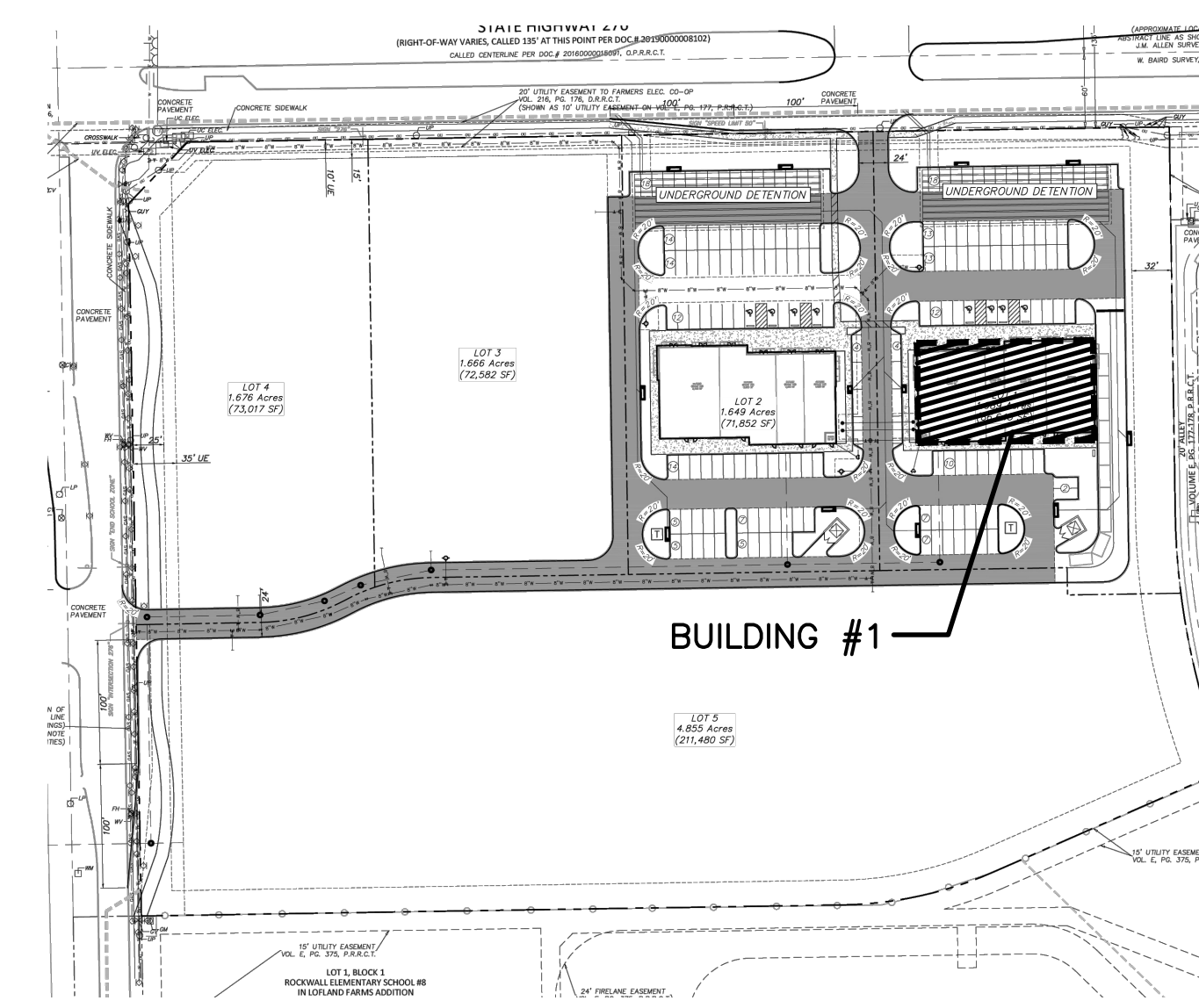
SHEET NAME		PERMIT	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6
<b>ARCHITECTURAL SHEETS</b>								
T1.0	TITLE SHEET	X						
A1.0	DIMENSIONED PLAN	X						
A1.1	NOTED PLAN	X						
A1.2	REFLECTED CEILING PLAN	X						
A1.3	ROOF PLAN	X						
A2.0	EXTERIOR ELEVATIONS	X						
A2.1	EXTERIOR ELEVATIONS	X						
A2.2	COLORLED EXTERIOR ELEVATIONS	X						
A2.3	COLORLED EXTERIOR ELEVATIONS	X						
A4.0	EXTERIOR WALL SECTIONS	X						
A4.1	EXTERIOR WALL SECTIONS	X						
A4.2	EXTERIOR WALL SECTIONS	X						
A5.0	SECTION DETAILS	X						
A5.1	SECTION DETAILS	X						
A6.0	DOOR & WINDOW SCHEDULES	X						
A7.0	DUMPSTER ENCLOSURE PLAN & DETAILS	X						
<b>MEP SHEETS</b>								
E1.0	SITE LIGHTING AND POWER PLAN	X						
E2.0	SHELL POWER & LIGHTING PLAN	X						
E3.0	ELECTRICAL SERVICE RISERS & PANELS	X	X	X				
P1.0	SHELL PLUMBING PLAN	X						
P2.0	PLUMBING DETAILS	X						
<b>STRUCTURAL SHEETS</b>								
S1.0	FOUNDATION PLAN	X						
S1.1	ROOF FRAMING PLAN	X						
S2.0	FOUNDATION DETAILS	X						
S2.1	TRASH ENCLOSURE DETAILS	X						
S3.0	FRAMING DETAILS	X						
S3.1	FRAMING DETAILS	X						
S3.2	FRAMING DETAILS	X						
S3.3	FRAMING DETAILS	X						
S3.4	FRAMING DETAILS	X						
S4.0	GENERAL NOTES	X						

**MULT-TENANT SHELL BUILDING #1  
SE CORNER OF HWY 276 & S JOHN  
KING BLVD.  
ROCKWALL TX, 75032**

**VICINITY MAP**



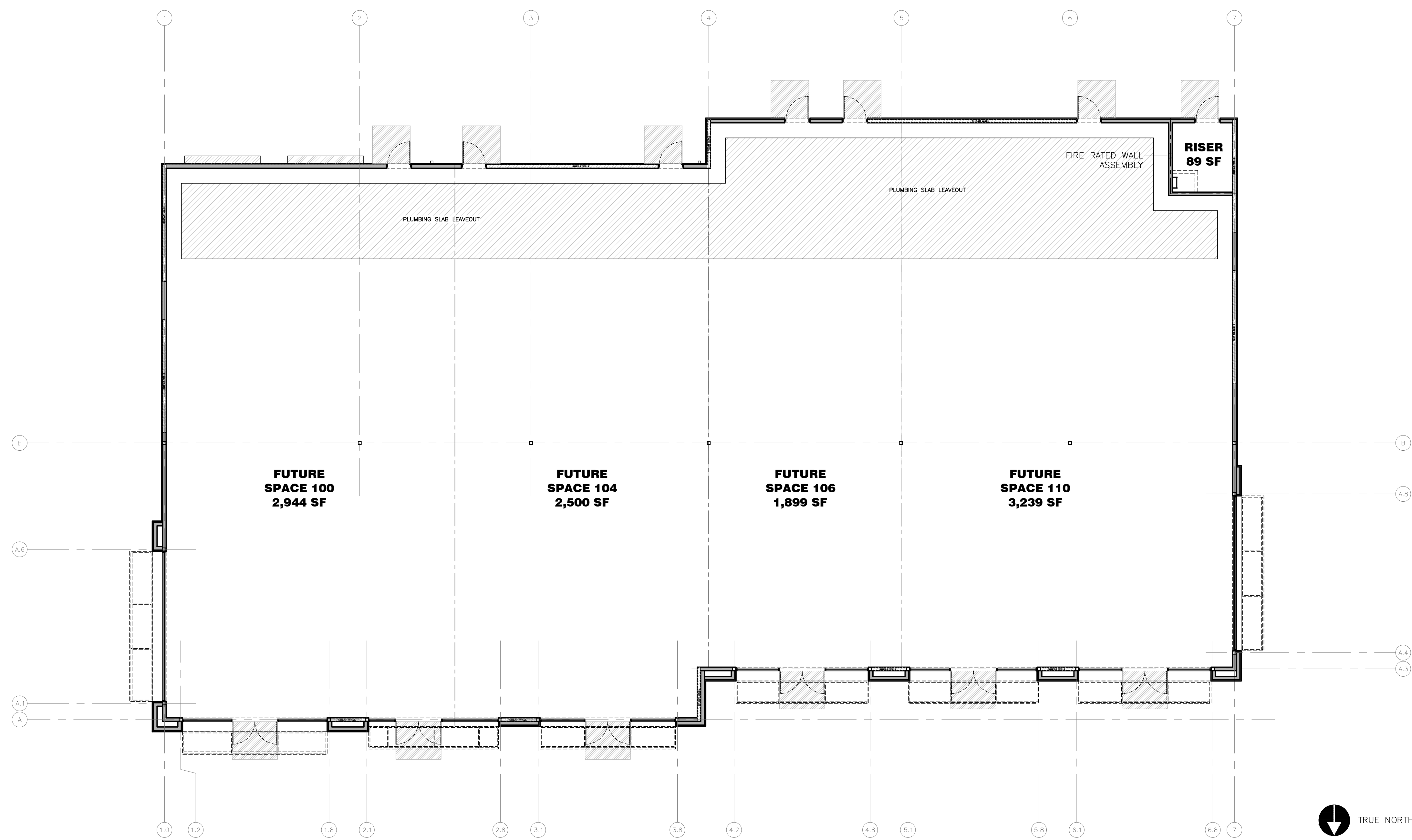
**BUILDING LOCATION DIAGRAM**



**BUILDING LEASING CALCULATIONS**

LEASE SPACE PLAN DATED 05/15/2026				
LEASE SPACE	SIZE SF	% OF WHOLE	% OF RISER SF	TOTAL SF W/RISER
Space 100-Available	2,944	27.82%	24.76	2,969
Space 104-Available	2,500	23.63%	21.03	2,521
Space 106-Available	1,899	17.95%	15.97	1,915
Space 110-Available	3,239	30.61%	27.24	3,266
<b>TOTAL</b>	<b>10,582</b>	<b>100.00%</b>	<b>89.00</b>	<b>10,671</b>
<b>GRAND TOTAL</b>	<b>10,671</b>			

**BUILDING LEASING PLAN**



**BUILDING CODE INFORMATION**

**BUILDING ADDRESS:**  
PROJECT ADDRESS: SE CORNER OF HWY 276 & S JOHN KING BLVD.  
BUILDING: #1  
CITY: ROCKWALL  
COUNTY: ROCKWALL  
STATE: TEXAS

**BUILDING STRUCTURE:**  
STEEL INTERIOR COLUMNS WITH WOOD ROOF TRUSS  
WOOD STUD EXTERIOR WALL FRAMING

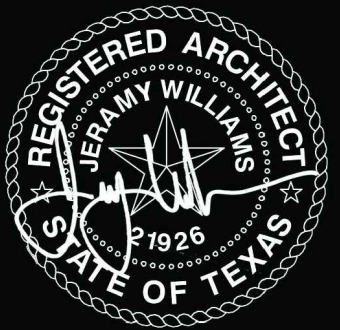
**BUILDING UTILITIES:**  
UNDERGROUND ELECTRICAL SERVICE TO THE BACK OF THE BUILDING  
6" SANITARY SEWER LINES TO THE BACK OF BUILDING W/SLAB LEAVE-OUT  
UNDERGROUND COMMUNICATION SERVICE TO THE BACK OF THE BUILDING  
GAS SERVICE TO THE BACK OF THE BUILDING

**BUILDING CODES:**  
INTERNATIONAL BUILDING CODE 2021  
INTERNATIONAL FIRE CODE 2021  
INTERNATIONAL MECHANICAL CODE 2021  
NATIONAL ELECTRICAL CODE 2020  
INTERNATIONAL PLUMBING CODE 2021  
INTERNATIONAL ENERGY CONSERVATION CODE 2021  
TEXAS ACCESSIBILITY STANDARDS 2012

**BUILDING DATA:**  
OCCUPANCY: MIXED USED (A2, A3, B, M)  
CONSTRUCTION TYPE: 5B  
NUMBER OF STORIES: 1  
BUILDING HEIGHT: 27'-8" TOP OF ROOF  
TOTAL BUILDING AREA: 10,671 SF

**BUILDING OCCUPANCY:**  
10,671 GROSS S.F./100 GROSS 107 OCCUPANTS (ESTIMATED)

**LIFE SAFETY SYSTEMS:**  
EMERGENCY LIGHTING: YES  
EXIT SIGNS: YES  
FIRE ALARM: YES  
DUCT SMOKE DETECTORS WITH AUDIBLE/VISIBLE DEVICE: BY FUTURE TENANTS  
FIRE SPRINKLERS: YES  
SPRINKLER FLOW/TAMPER SWITCH WITH AUDIBLE/VISIBLE DEVICE: YES  
PANIC HARDWARE: YES



ARCHITECT

**SLATE**  
LAND & DEVELOPMENT CO

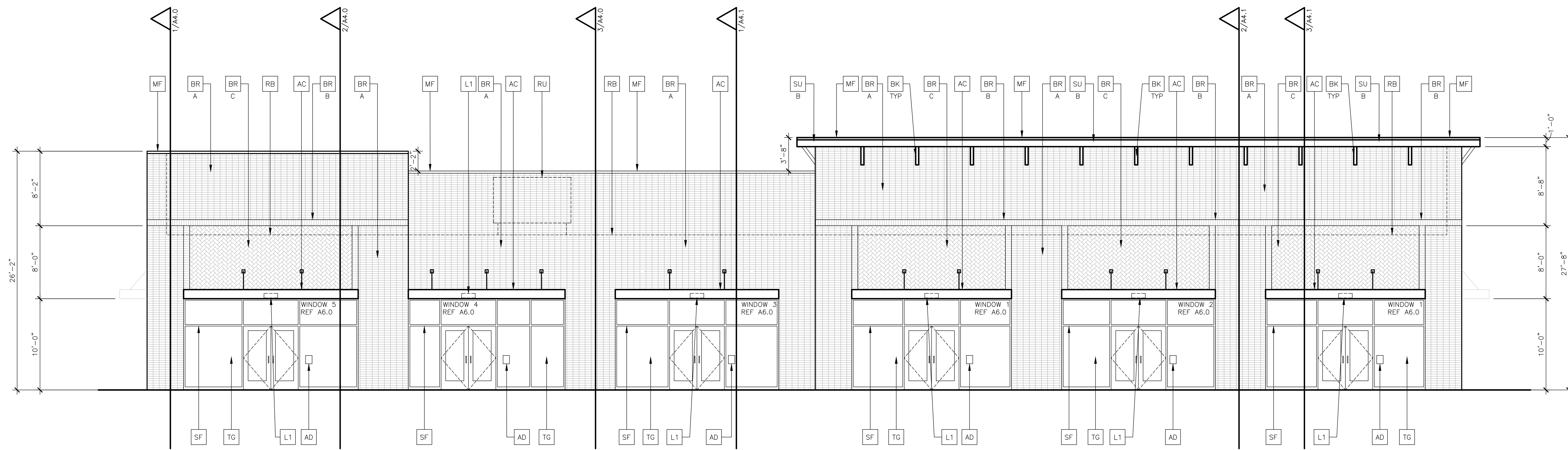
DRAWING ISSUE & REVISION LOG

NO.	DATE	DESCRIPTION
1	02/27/2026	PERMIT SET-AMENDS
2	04/24/2026	CLIENT COMMENTS
3	05/08/2026	COORDINATION WITH CIVIL

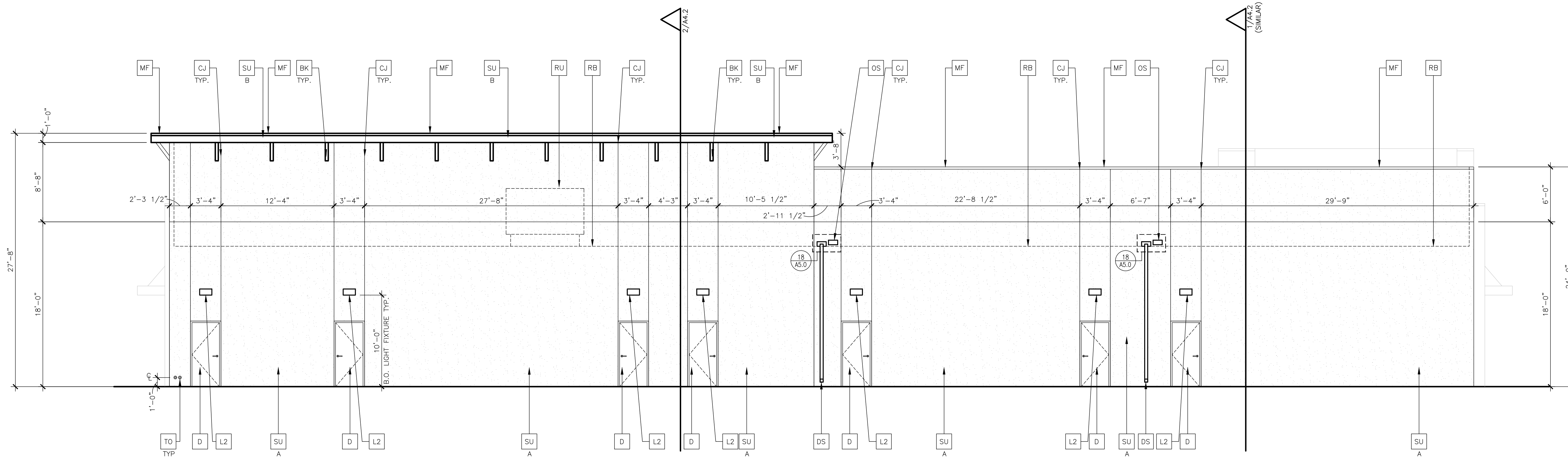
PROJECT NAME: MT SHELL BUILDING 1  
PROJECT NUMBER: JAW-25-001  
PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)  
PROJECT ADDRESS: SE CORNER OF HWY 276 & S JOHN KING BLVD., ROCKWALL, TX, 75082

CIVIL DRAWINGS PROVIDED BY OTHERS

**T1.0**



1 - NORTH ELEVATION SCALE 3/16"=1'-0"



2 - SOUTH ELEVATION SCALE 3/16"=1'-0"

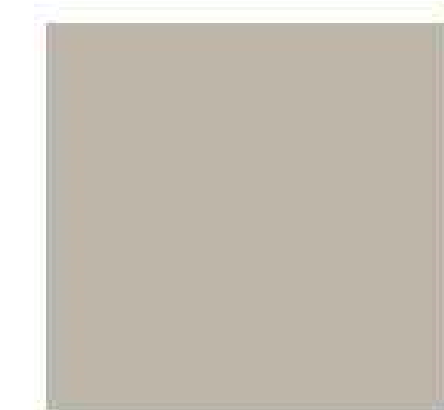
KEYED NOTES

- BR** MODULAR THIN BRICK BY ACME OR EQUAL, PAINT SW7030 "ANEW GRAY"  
A: STACKED  
B: SOLDIER COURSE  
C: HARRINGBONE
- CJ** MASONRY/STUCCO EXPANSION/CONTROL JOINT
- AC** ALUMINUM CANOPY SYSTEM PAINTED SW6258 "TRICORN BLACK"
- L1** LANDLORD PROVIDED EXTERIOR SCONCES IN CANOPY SYSTEM, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.
- L2** LANDLORD PROVIDED EXTERIOR WALL SCONCES, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.
- TG** INSULATED & TEMPERED GLASS AS INDICATED ON SHEET A6.0 (WINDOW TYPES & SCHEDULES)
- RB** ROOFTOP LINE BEYOND PARAPET
- RU** ROOFTOP UNIT BEYOND, SIZE AND LOCATION DETERMINED BY FUTURE TENANTS
- MF** METAL FASCIA BY METAL ERA OR EQUAL COLOR TO MATCH SW6258 "TRICORN BLACK"
- DS** 4 INCH DOWN SPOUT FROM SCUPPER & COLLECTOR, COLOR TO MATCH SW6258 "TRICORN BLACK"
- OS** OVERFLOW SCUPPER, REFERENCE DETAIL 18/A5.0, TO BE 2" HIGHER THAN ROOF SURFACE
- SU** THREE COAT STUCCO SYSTEM, SEE WALL SECTIONS COLOR  
A: SW7030 "ANEW GRAY"  
B: SW6258 "TRICORN BLACK"
- D** HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR SW6258 "TRICORN BLACK"
- SF** "BLACK" ANODIZED ALUMINUM STOREFRONT SYSTEM BY YKK AP INDUSTRIES OR EQUAL
- AD** ADA DOOR SIGNAGE REFERENCE DETAILS ON SHEET A5.0
- BK** DECORATIVE BRACKET PAINTED SW6258 "TRICORN BLACK"
- TO** PRIMARY & SECONDARY INTERNAL ROOF DRAIN, REFERENCE PLUMBING SHEETS

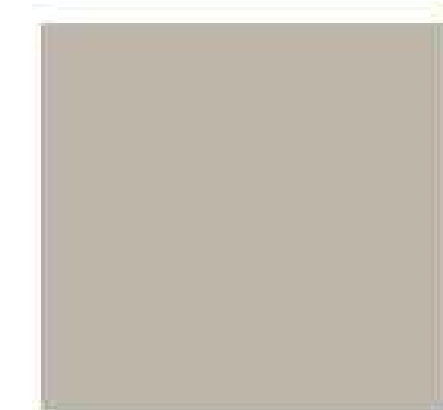
MATERIAL BOARD



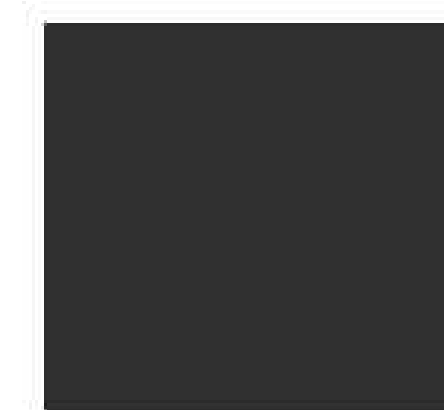
MODULAR THIN BRICK BY ACME "DICKENS CREEK"



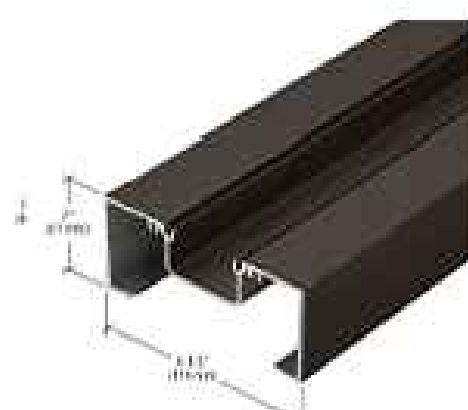
BRICK TO BE PAINTED COLOR: SW 7030 "ANEW GRAY"



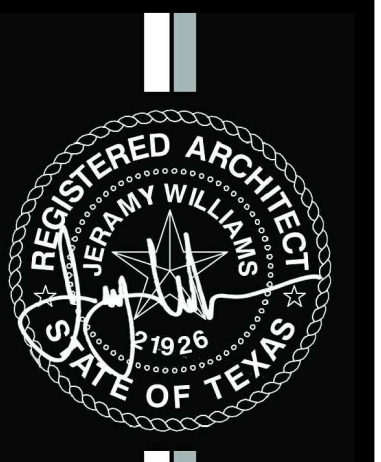
STUCCO SYSTEM SMOOTH COLOR: SW 7030 "ANEW GRAY"



METAL FASCIA/CANOPIES/LIGHTS COLOR: SW 6258 "TRICORN BLACK"



BLACK ANODIZED STOREFRONT

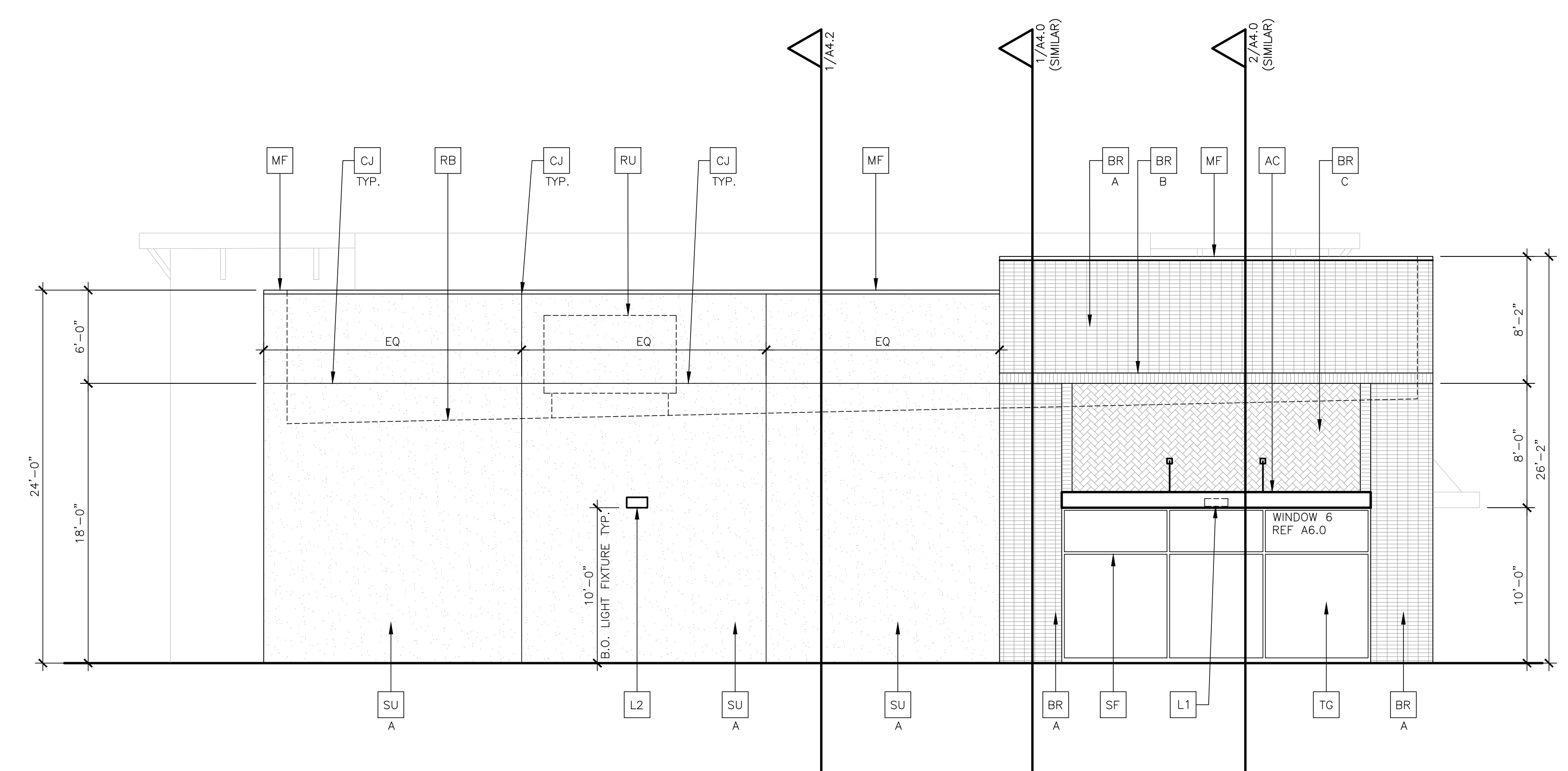
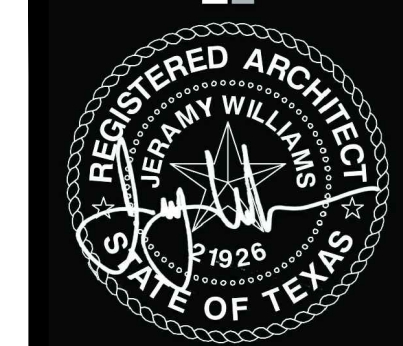


REGISTERED ARCHITECT  
JEREMY WILLIAMS  
STATE OF TEXAS

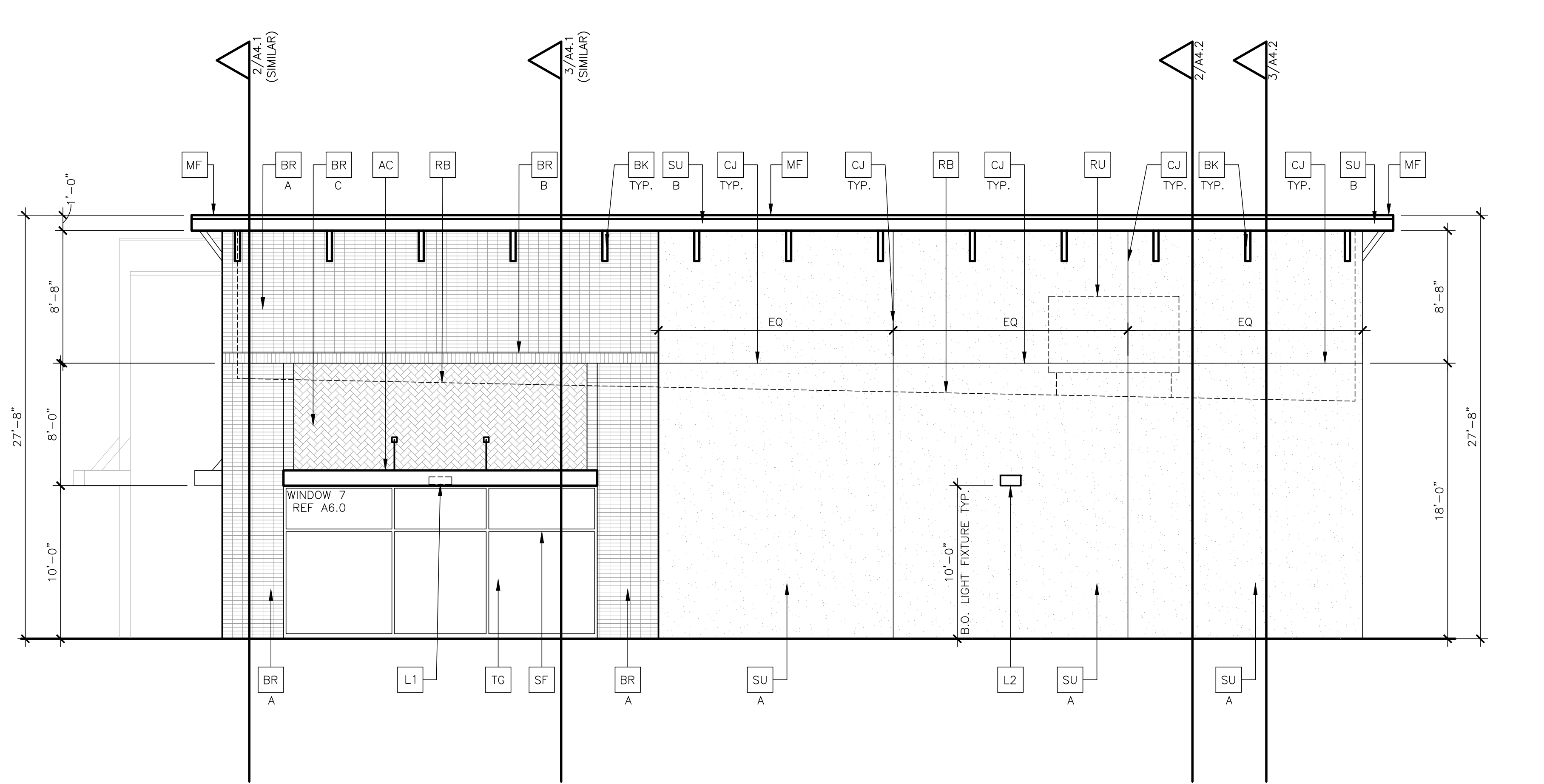
SLATE  
LAND & DEVELOPMENT CO

DRAWING NUMBER	02/27/2026
PROJECT NAME	MF SHELL BUILDING 1
PROJECT NUMBER	JAWA 25-031
DRAWING ISSUE & REVISION LOG	
PROJECT DESCRIPTION	MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)
PROJECT ADDRESS	SE CORNER OF HWY 276 & S JOHN KING BLVD.
	ROCKWALL, TX 75087

A2.0



1 - EAST ELEVATION SCALE 3/16"=1'-0"

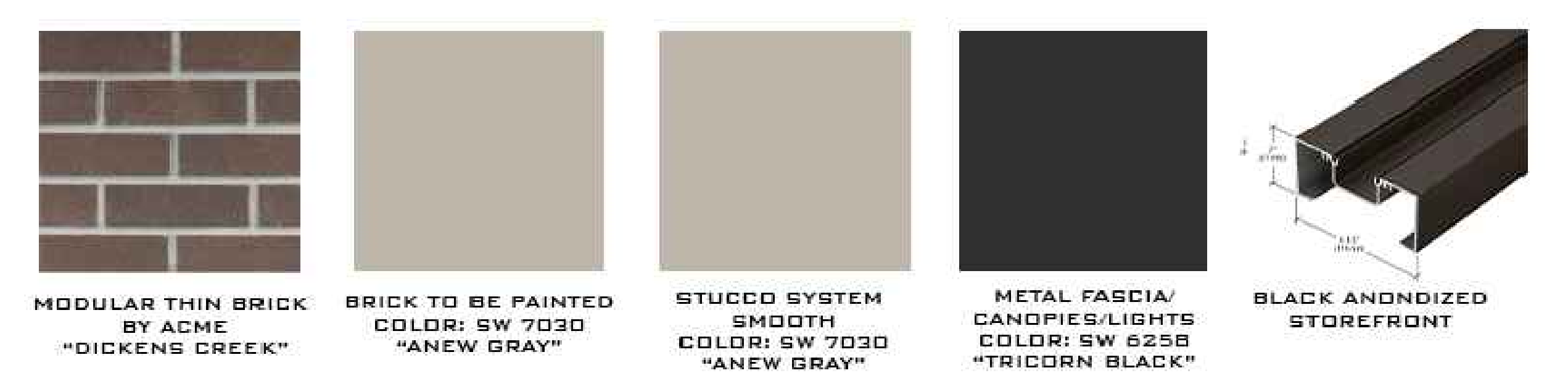


2 - WEST ELEVATION SCALE 3/16"=1'-0"

KEYED NOTES

- BR** MODULAR THIN BRICK BY ACME OR EQUAL, PAINT SW7030 "ANEW GRAY"  
A: STACKED  
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- TG** INSULATED & TEMPERED GLASS AS INDICATED ON SHEET A6.0 (WINDOW TYPES & SCHEDULES)
- RB** ROOFTOP LINE BEYOND PARAPET
- RU** ROOFTOP UNIT BEYOND, SIZE AND LOCATION DETERMINED BY FUTURE TENANTS
- MF** METAL FASCIA BY METAL ERA OR EQUAL COLOR TO MATCH SW6258 "TRICORN BLACK"
- DS** 4 INCH DOWN SPOUT FROM SCUPPER & COLLECTOR, COLOR TO MATCH SW6258 "TRICORN BLACK"
- OS** OVERFLOW SCUPPER, REFERENCE DETAIL 18/A5.0, TO BE 2" HIGHER THAN ROOF SURFACE
- SU** THREE COAT STUCCO SYSTEM, SEE WALL SECTIONS COLOR  
A: SW7030 "ANEW GRAY"  
B: SW6258 "TRICORN BLACK"
- D** HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR SW6258 "TRICORN BLACK"
- SF** "BLACK" ANODIZED ALUMINUM STOREFRONT SYSTEM BY YKK AP INDUSTRIES OR EQUAL
- AD** ADA DOOR SIGNAGE REFERENCE DETAILS ON SHEET A5.0
- BK** DECORATIVE BRACKET PAINTED SW6258 "TRICORN BLACK"
- TD** PRIMARY & SECONDARY INTERNAL ROOF DRAIN, REFERENCE PLUMBING SHEETS

MATERIAL BOARD



DRAWING ISSUE & REVISION LOG

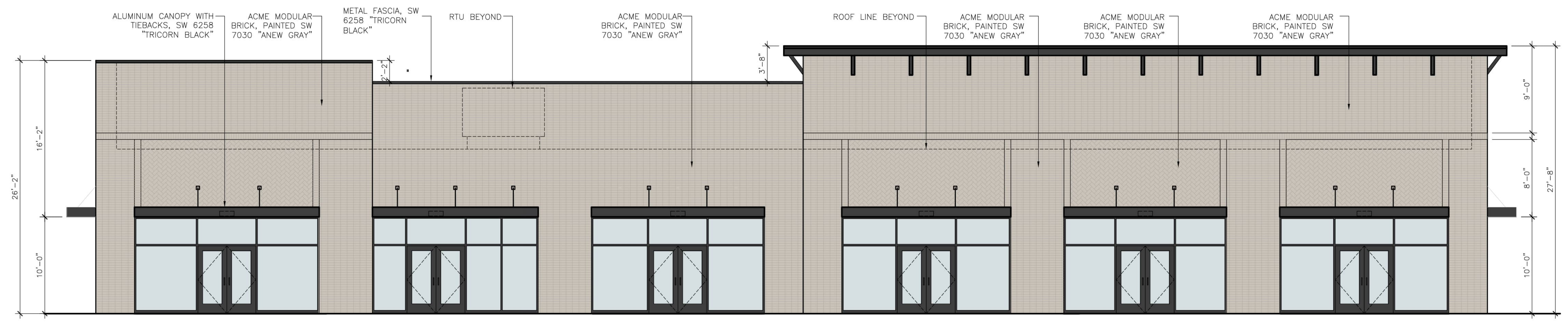
NO.	DATE	DESCRIPTION
1	02/27/2026	PERMIT SET-ANEP5
2		
3		
4		
5		

PROJECT NAME: MT SHELL BUILDING 1  
 PROJECT NUMBER: JAW 25-001  
 PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)  
 PROJECT ADDRESS: SE CORNER OF HWY 276 & S JOHN KING BLVD, ROSWELL, TX 75087

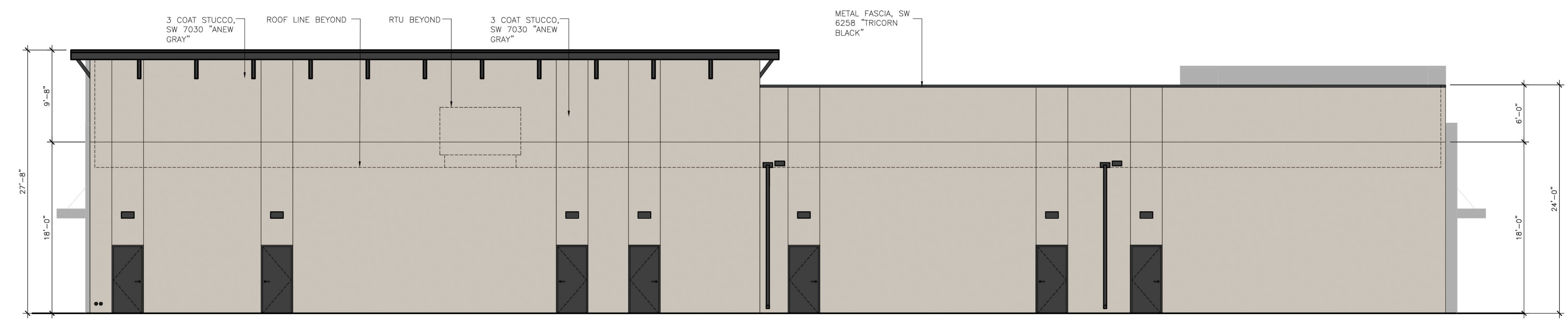


JAW ARCHITECTS

**SLATE**  
LAND & DEVELOPMENT CO



1 - NORTH ELEVATION SCALE 3/16"=1'-0"

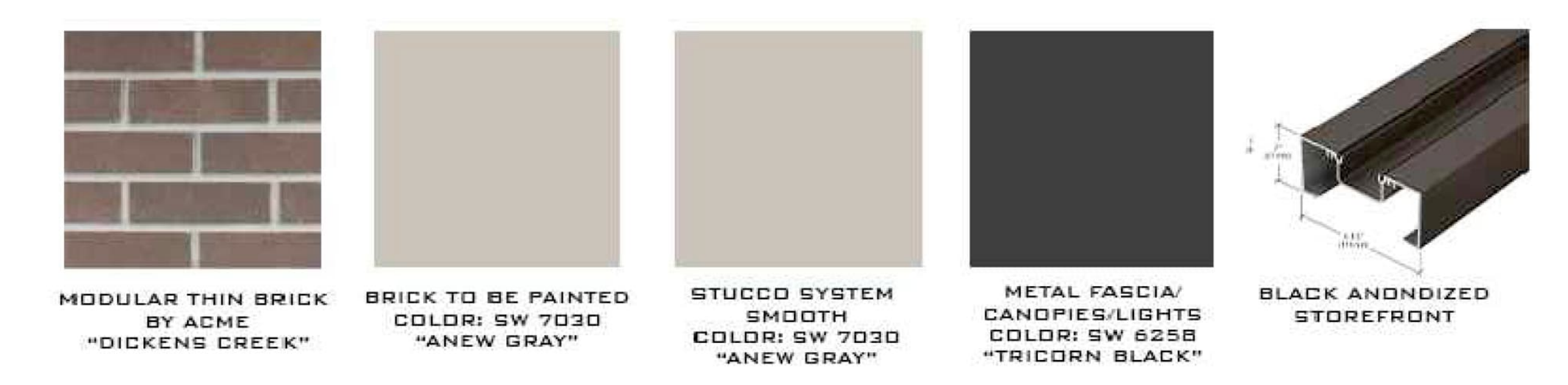


2 - SOUTH ELEVATION SCALE 3/16"=1'-0"

**KEYED NOTES**

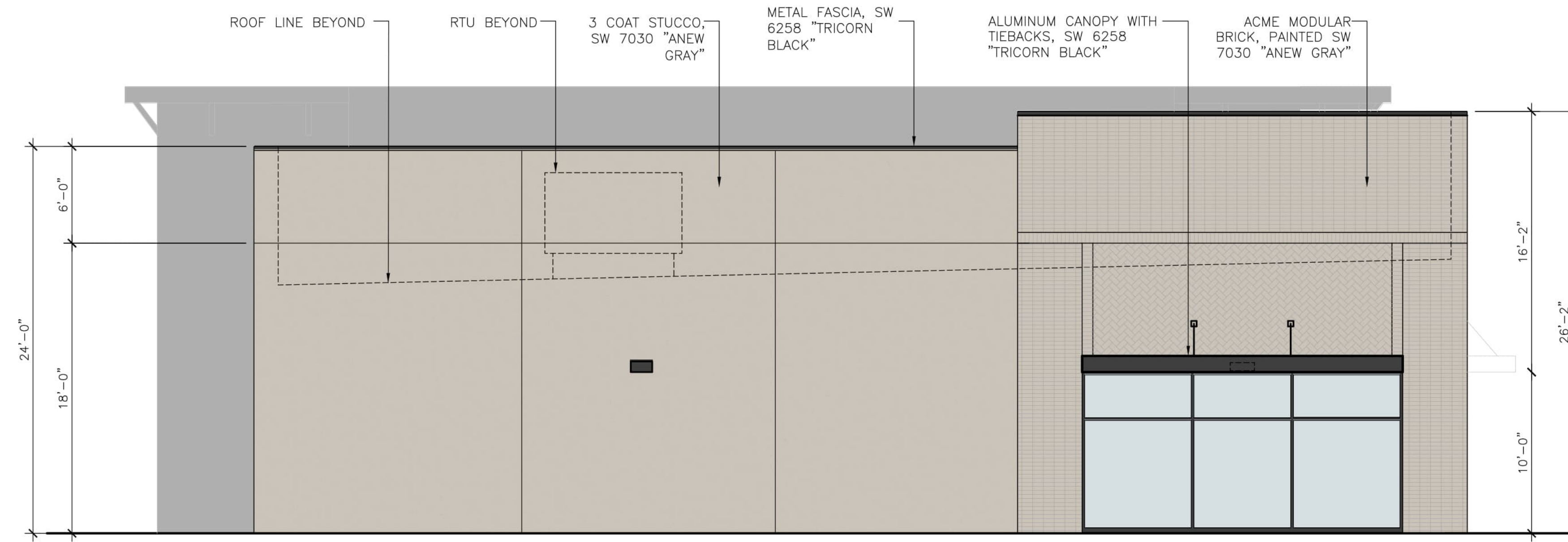
- BR** MODULAR THIN BRICK BY ACME OR EQUAL, PAINT SW7030 "ANEW GRAY"  
A: STACKED  
B: SOLDIER COURSE  
C: HARRINGBONE
- CJ** MASONRY/STUCCO EXPANSION/CONTROL JOINT
- AC** ALUMINUM CANOPY SYSTEM PAINTED SW6258 "TRICORN BLACK"
- L1** LANDLORD PROVIDED EXTERIOR SCUNCES IN CANOPY SYSTEM, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.
- L2** LANDLORD PROVIDED EXTERIOR WALL SCUNCES, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.
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- BK** DECORATIVE BRACKET PAINTED SW6258 "TRICORN BLACK"
- TO** PRIMARY & SECONDARY INTERNAL ROOF DRAIN, REFERENCE PLUMBING SHEETS

**MATERIAL BOARD**

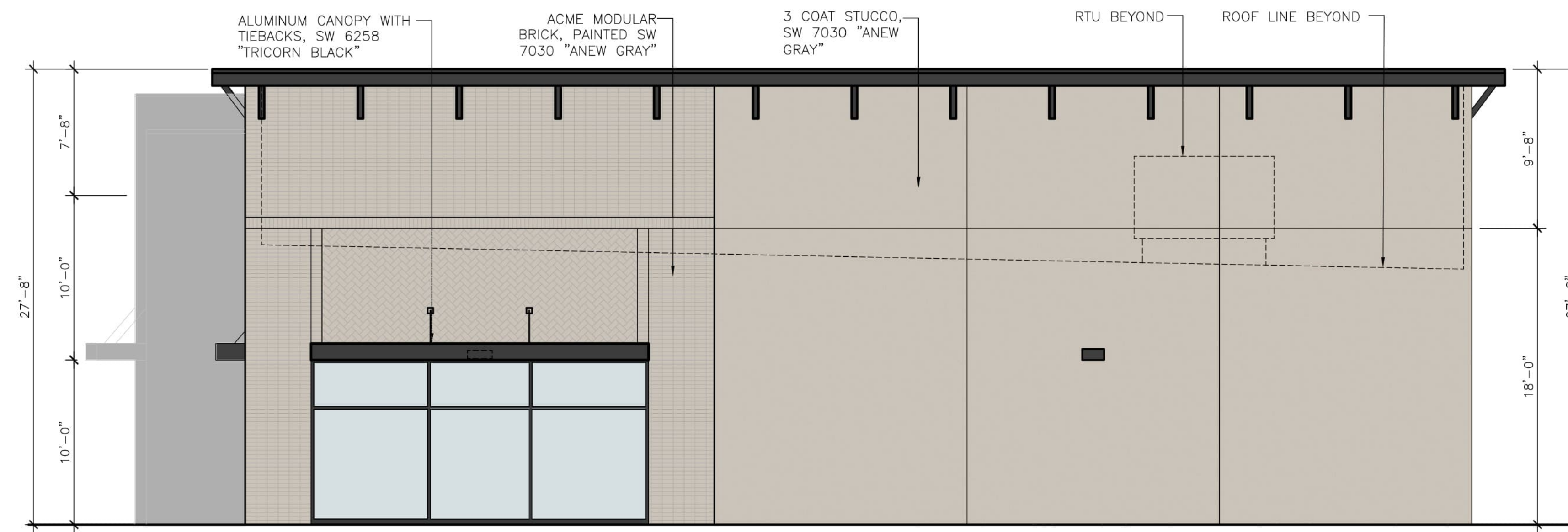


DRAWING ISSUE & REVISION LOG

PROJECT NAME	PROJECT NUMBER	PERMIT SET-NEPS	PERMIT	PERMIT	PERMIT
47 SHELL BUILDING 1	JAW 25-001		02/27/2026		
PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)					
PROJECT ADDRESS: SE CORNER OF HWY 276 & S JOHN KING BLVD. ROCKWELL, TX 75087					



1 - EAST ELEVATION SCALE 3/16"=1'-0"

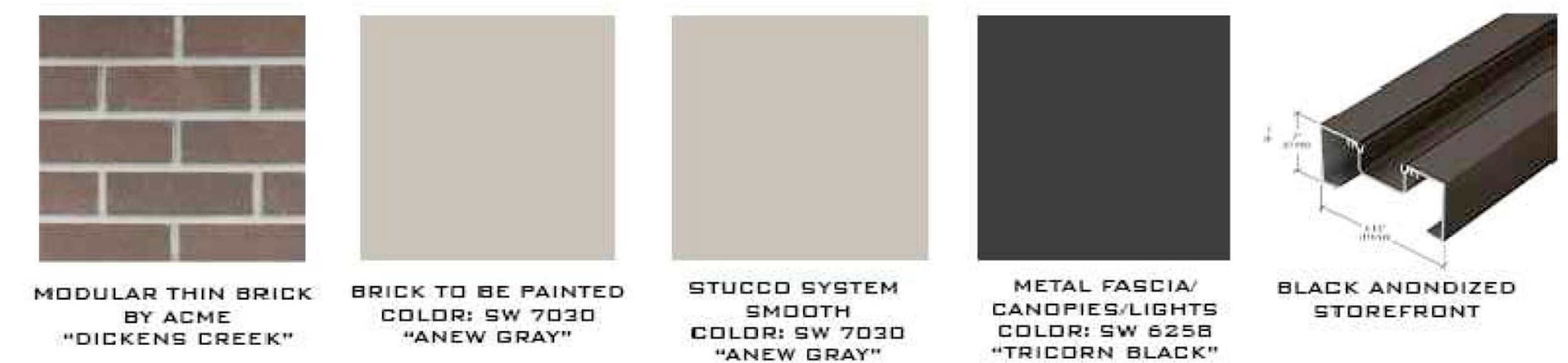


2 - WEST ELEVATION SCALE 3/16"=1'-0"

KEYED NOTES

- BR** MODULAR THIN BRICK BY ACME OR EQUAL, PAINT SW7030 "ANEW GRAY"  
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B: SOLDER COURSE  
C: HARRINGBONE
- CJ** MASONRY/STUCCO EXPANSION/CONTROL JOINT
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MATERIAL BOARD



JAW ARCHITECTS

SLATE LAND & DEVELOPMENT CO

DRAWING ISSUE & REVISION LOG

NO.	DATE	DESCRIPTION

PROJECT NAME: M1 SHELL BUILDING 1  
 PROJECT NUMBER: JAW-25-0031  
 PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)  
 PROJECT ADDRESS: SE CORNER OF HWY 276 & S. JOHN KINN BLVD., ROCKWELL, TX, 75087

**GENERAL NOTES**

CONTRACTORS, SUBCONTRACTORS, SUPPLIERS, AND ALL INVOLVED IN THE WORK SHALL INSPECT THE SITE BEFORE BIDDING THE WORK IN ORDER TO DETERMINE THE EXTENT OF EXISTING WORK TO REMAIN, EXISTING WORK TO BE DEMOLISHED, CLEARANCES, ACCESSIBILITY AND ANY OTHER ITEMS THAT MIGHT AFFECT THEIR BID AND WORK. PERFORM WORK, PROVIDE EQUIPMENT, PROVIDE MATERIALS, ETC. AS REQUIRED FOR PROPER COMPLETION OF THE PROJECT. THE DRAWINGS MAY NOT SHOW ALL ITEMS OR CONDITIONS. THE CONTRACTOR SHALL NOT RECEIVE EXTRA PAYMENT FOR REQUIREMENTS WHICH CAN BE INFERRED THROUGH OBSERVATION OF EXISTING CONDITIONS AT THE SITE. IN THE EVENT CONCEALED CONDITIONS ARE ENCOUNTERED WHICH VARY SIGNIFICANTLY FROM THOSE INDICATED ON THE DRAWINGS, NOTIFY THE OWNER AND ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND ALL OTHERS INVOLVED IN THE WORK SHALL REVIEW THE COMPLETE CONTRACT DOCUMENTS AND HAVE KNOWLEDGE OF ALL THE WORK TO BE PERFORMED BY ALL TRADES, ETC. AND SHALL COORDINATE THEIR WORK FULL WITH SAID TRADES.

THE G.C. SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS AND VERIFY/COORDINATE ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO BEGINNING ANY WORK. THE G.C. SHALL REPORT ANY INCONSISTENCIES TO THE OWNER AND ARCHITECT IMMEDIATELY FOR RESOLUTIONS BEFORE BEGINNING EACH PORTION OF THE WORK.

IF THE G.C. DOCUMENTS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE G.C. MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. G.C. SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ADDENDA AND CHANGE ORDERS.

THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.

THE TERM "G.C." AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.

THE G.C. SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS.

THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.

THE G.C. SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, G.C. SHALL NOTIFY OWNER AND ARCHITECT.

THE G.C. SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OR WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES REQUIRED UPON COMPLETION OF CONSTRUCTION. ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.

**LIST OF CONTACTS**

ARCHITECT:  
JAW ARCHITECTS, INC. -- JEREMY WILLIAMS  
817-705-3387  
JEREMY@JAW-ARCH.COM

STRUCTURAL:  
RUBIX CONSULTANTS LLC  
CONTACT ARCHITECT

MEP:  
MEP ENGINEERING & DESIGN CONSULTANTS, ROBERT ANDERSON  
CONTACT ARCHITECT

CIVIL:  
CROSS ENGINEERING  
CONTACT ARCHITECT

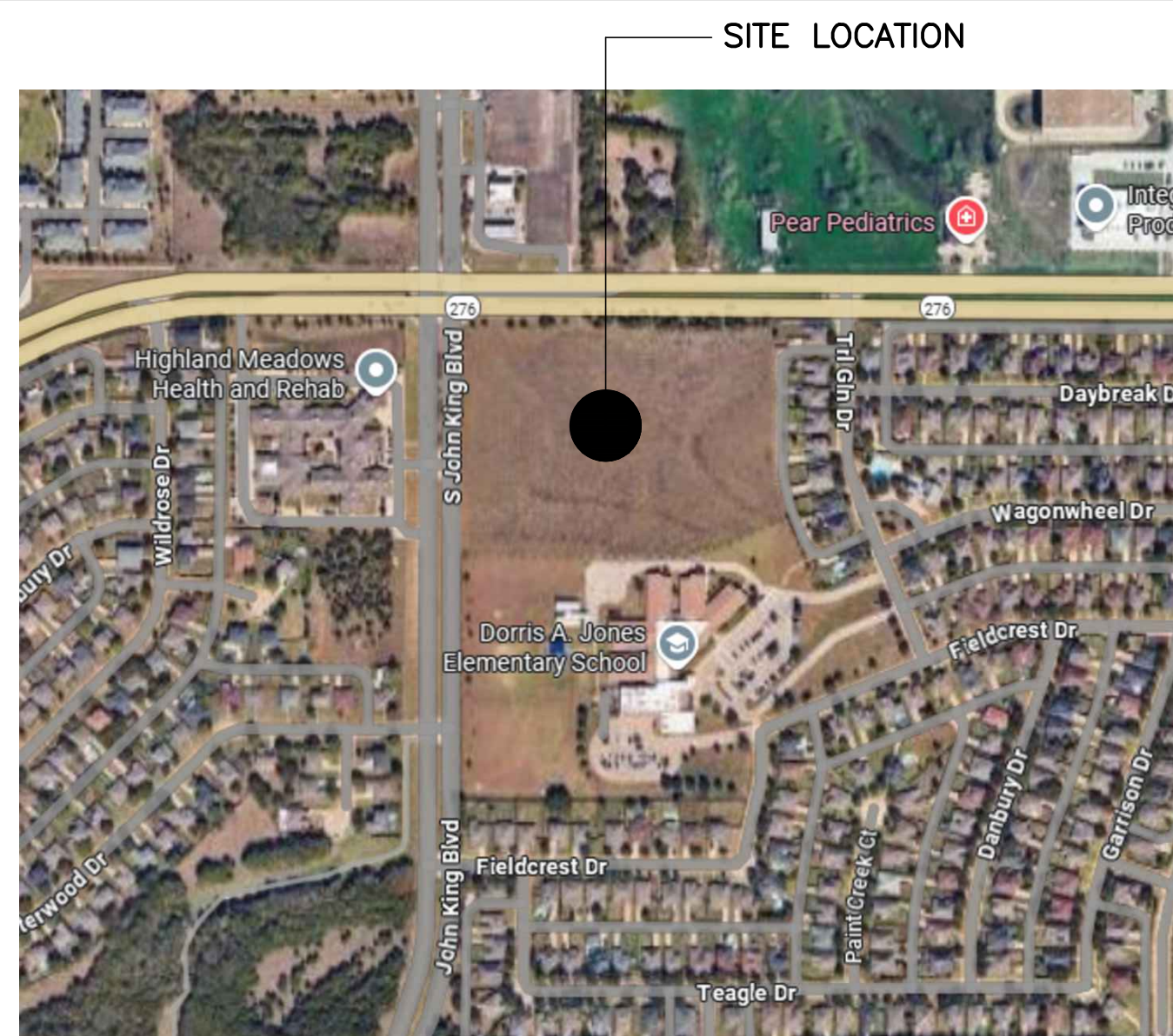
OWNER:  
SLATE COMMERCIAL  
CONTACT ARCHITECT

**DRAWING SHEET INDEX**

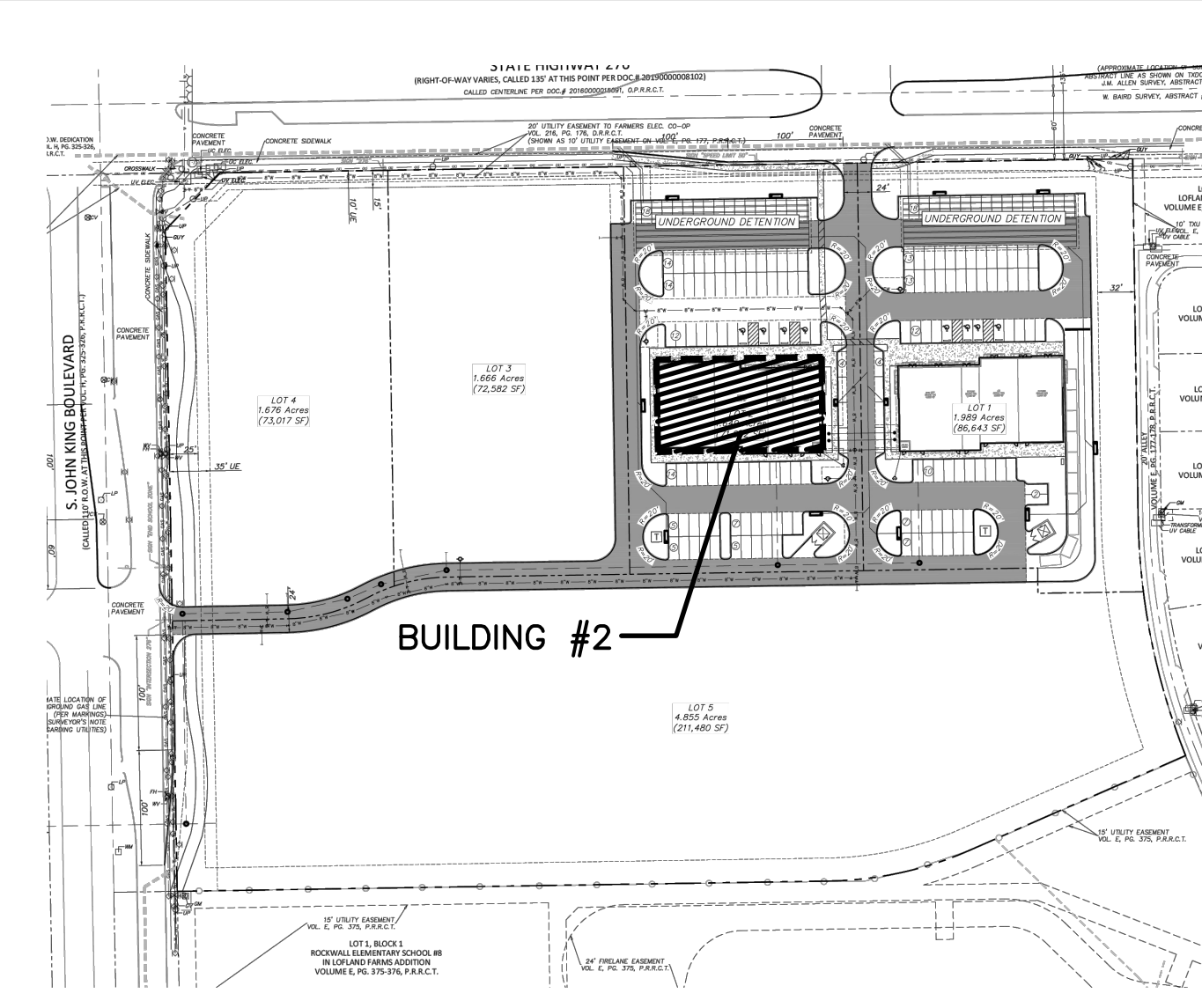
SHEET NAME		PERMIT	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6
<b>ARCHITECTURAL SHEETS</b>								
T1.0	TITLE SHEET	X	X					
A1.0	DIMENSIONED PLAN	X	X					
A1.1	NOTED PLAN	X	X					
A1.2	REFLECTED CEILING PLAN	X	X					
A1.3	ROOF PLAN	X	X					
A2.0	EXTERIOR ELEVATIONS	X						
A2.1	EXTERIOR ELEVATIONS	X	X					
A2.2	COLORLED EXTERIOR ELEVATIONS	X						
A2.3	COLORLED EXTERIOR ELEVATIONS	X	X					
A4.0	EXTERIOR WALL SECTIONS	X						
A4.1	EXTERIOR WALL SECTIONS	X						
A4.2	EXTERIOR WALL SECTIONS	X						
A4.3	EXTERIOR WALL SECTIONS	X						
A5.0	SECTION DETAILS	X						
A5.1	SECTION DETAILS	X	X					
A6.0	DOOR & WINDOW SCHEDULES	X	X					
A7.0	DUMPSTER ENCLOSURE PLAN & DETAILS	X						
<b>MEP SHEETS</b>								
E1.0	SITE LIGHTING AND POWER PLAN	X	X					
E2.0	SHELL POWER & LIGHTING PLAN	X						
E3.0	ELECTRICAL SERVICE RISERS & PANELS	X	X					
P1.0	SHELL PLUMBING PLAN	X	X					
P2.0	PLUMBING DETAILS	X						
<b>STRUCTURAL SHEETS</b>								
S1.0	FOUNDATION PLAN	X	X					
S1.1	ROOF FRAMING PLAN	X	X					
S2.0	FOUNDATION DETAILS	X						
S2.1	TRASH ENCLOSURE DETAILS	X						
S3.0	FRAMING DETAILS	X						
S3.1	FRAMING DETAILS	X						
S3.2	FRAMING DETAILS	X						
S3.3	FRAMING DETAILS	X	X					
S3.4	FRAMING DETAILS	X	X					
S4.0	GENERAL NOTES	X						

**MULT-TENANT SHELL BUILDING #2**  
SE CORNER OF HWY 276 & S JOHN  
KING BLVD.  
ROCKWALL TX, 75032

**VICINITY MAP**



**BUILDING LOCATION DIAGRAM**

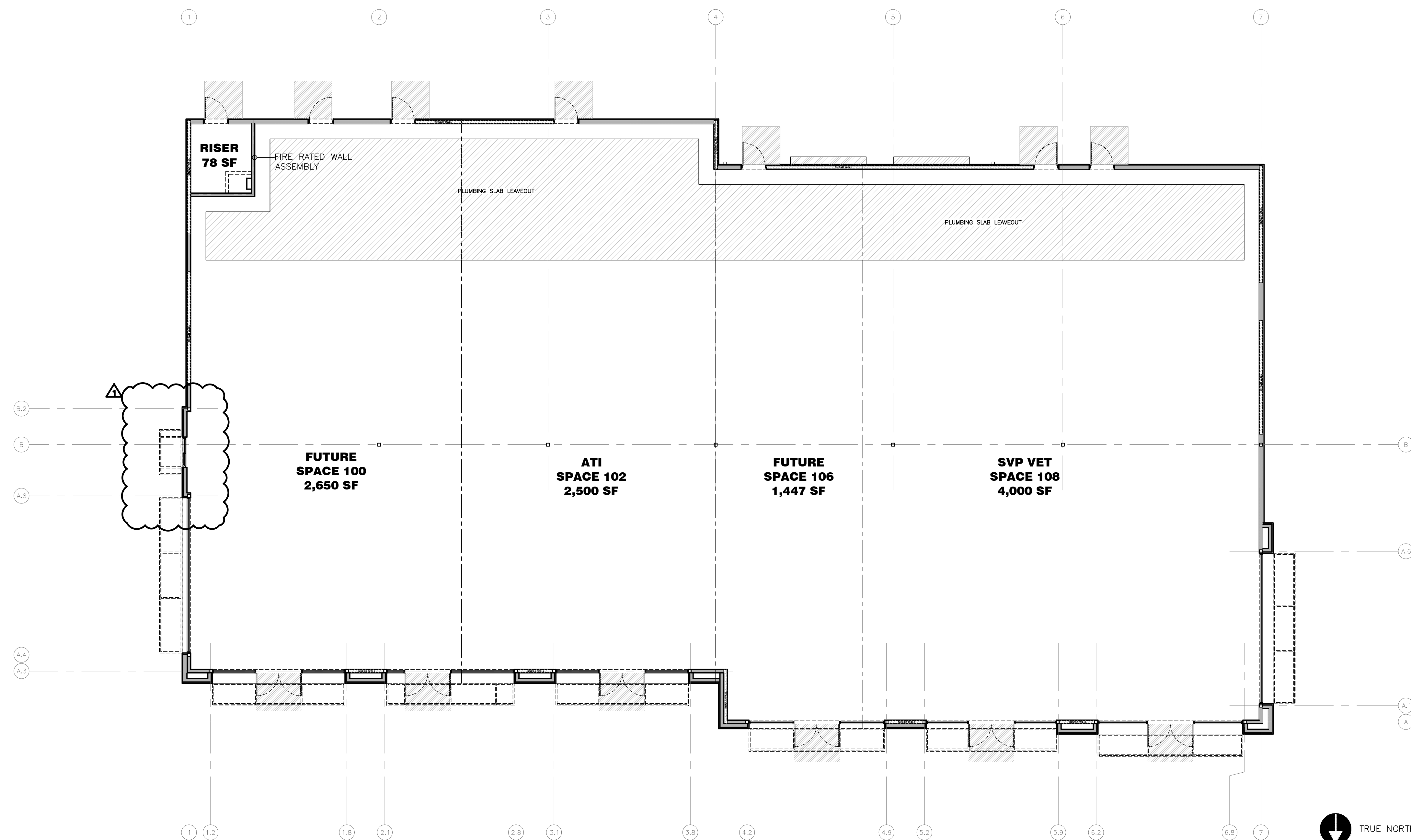


**BUILDING LEASING CALCULATIONS**

LEASE SPACE PLAN DATED 04/15/2026

LEASE SPACE	SIZE SF	% OF WHOLE	% OF RISER SF	TOTAL SF W/RISER
Space 100-Available	2,650	25.01%	22.26	2,672
Space 102-ATI	2,500	23.59%	21.00	2,521
Space 104-Available	1,447	13.65%	12.15	1,459
Space 106-SVP VET	4,000	37.75%	33.59	4,034
<b>TOTAL</b>	<b>10,597</b>	<b>100.00%</b>	<b>78.00</b>	<b>10,686</b>
<b>GRAND TOTAL</b>	<b>10,675</b>			

**BUILDING LEASING PLAN**



**BUILDING CODE INFORMATION**

**BUILDING ADDRESS:**  
PROJECT ADDRESS: SE CORNER OF HWY 276 & S JOHN KING BLVD.  
BUILDING: #2  
CITY: ROCKWALL  
COUNTY: ROCKWALL  
STATE: TEXAS

**BUILDING STRUCTURE:**  
STEEL INTERIOR COLUMNS WITH WOOD ROOF TRUSS  
WOOD STUD EXTERIOR WALL FRAMING

**BUILDING UTILITIES:**  
UNDERGROUND ELECTRICAL SERVICE TO THE BACK OF THE BUILDING  
6" SANITARY SEWER LINES TO THE BACK OF BUILDING W/SLAB LEAVE-OUT  
UNDERGROUND COMMUNICATION SERVICE TO THE BACK OF THE BUILDING  
GAS SERVICE TO THE BACK OF THE BUILDING

**BUILDING CODES:**  
INTERNATIONAL BUILDING CODE 2021  
INTERNATIONAL FIRE CODE 2021  
INTERNATIONAL MECHANICAL CODE 2021  
NATIONAL ELECTRICAL CODE 2020  
INTERNATIONAL PLUMBING CODE 2021  
INTERNATIONAL ENERGY CONSERVATION CODE 2021  
TEXAS ACCESSIBILITY STANDARDS 2012

**BUILDING DATA:**  
OCCUPANCY: MIXED USED (A2, A3, B, M)  
CONSTRUCTION TYPE: 5B  
NUMBER OF STORIES: 1  
BUILDING HEIGHT: 27'-8" TOP OF ROOF  
TOTAL BUILDING AREA: 10,675 SF

**BUILDING OCCUPANCY:**  
10,675 GROSS S.F./100 GROSS 107 OCCUPANTS (ESTIMATED)

**LIFE SAFETY SYSTEMS:**  
EMERGENCY LIGHTING: YES  
EXIT SIGNS: YES  
FIRE ALARM: YES  
DUCT SMOKE DETECTORS WITH AUDIBLE/VISIBLE DEVICE: BY FUTURE  
TENANTS  
FIRE SPRINKLERS: YES  
SPRINKLER FLOW/TAMPER SWITCH WITH AUDIBLE/VISIBLE DEVICE: YES  
PANIC HARDWARE: YES



REGISTERED ARCHITECT  
JAW  
ARCHITECTS, INC.

**SLATE**  
LAND & DEVELOPMENT CO

PROJECT NAME:	PROJECT NUMBER:	DRAWING ISSUE & REVISION LOG
MT SHELL BUILDING #2	JAW-25-032	
PROJECT DESCRIPTION:		
MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)		
PROJECT ADDRESS:		
SE CORNER OF HWY 276 & S JOHN KING BLVD.		
ROCKWALL, TX, 75082		
PERMIT:	02/27/2026	PERMIT SET-AMENDS
REV 01:	04/24/2026	CLIENT COMMENTS
REV 02:	05/08/2026	COORDINATION WITH CIVIL

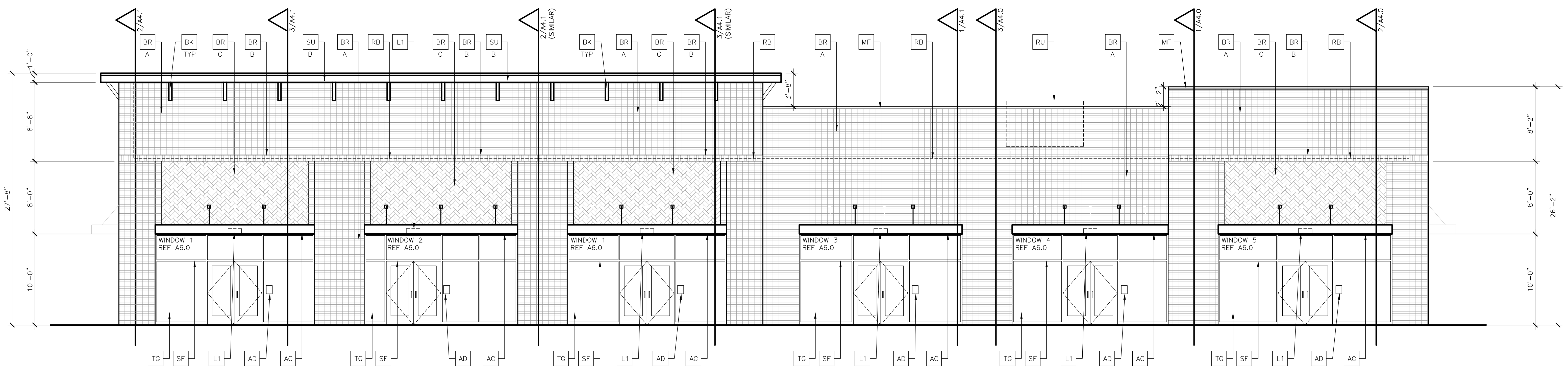
CIVIL DRAWINGS PROVIDED BY OTHERS

**T1.0**

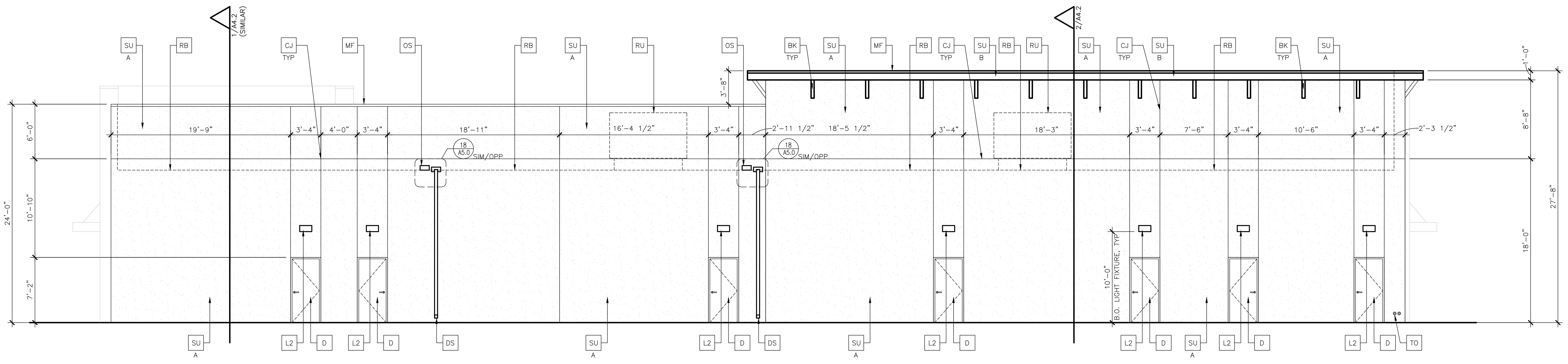


**JAW**  
 ARCHITECTS  
 REGISTERED ARCHITECT  
 STATE OF TEXAS

**SLATE**  
 LAND & DEVELOPMENT CO



1 - NORTH ELEVATION SCALE 3/16"=1'-0"



2 - SOUTH ELEVATION SCALE 3/16"=1'-0"

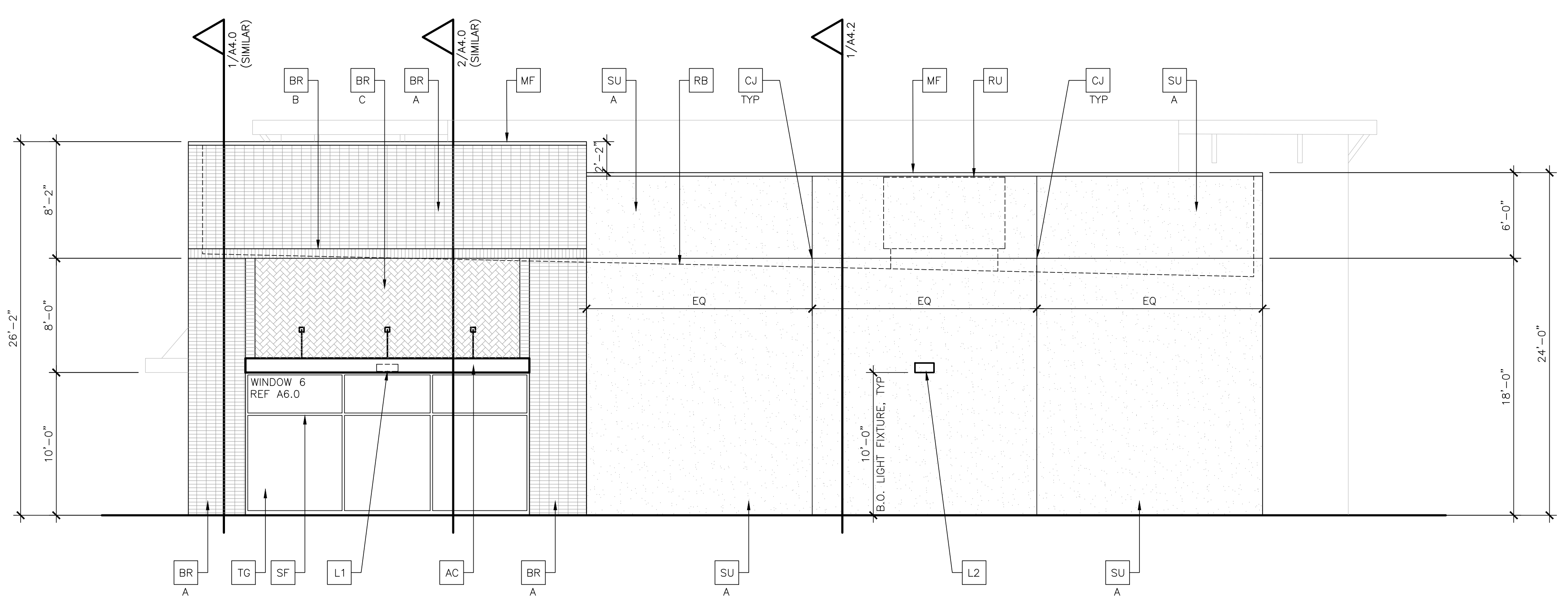
**KEYED NOTES**

- |  |   |
|--|---|
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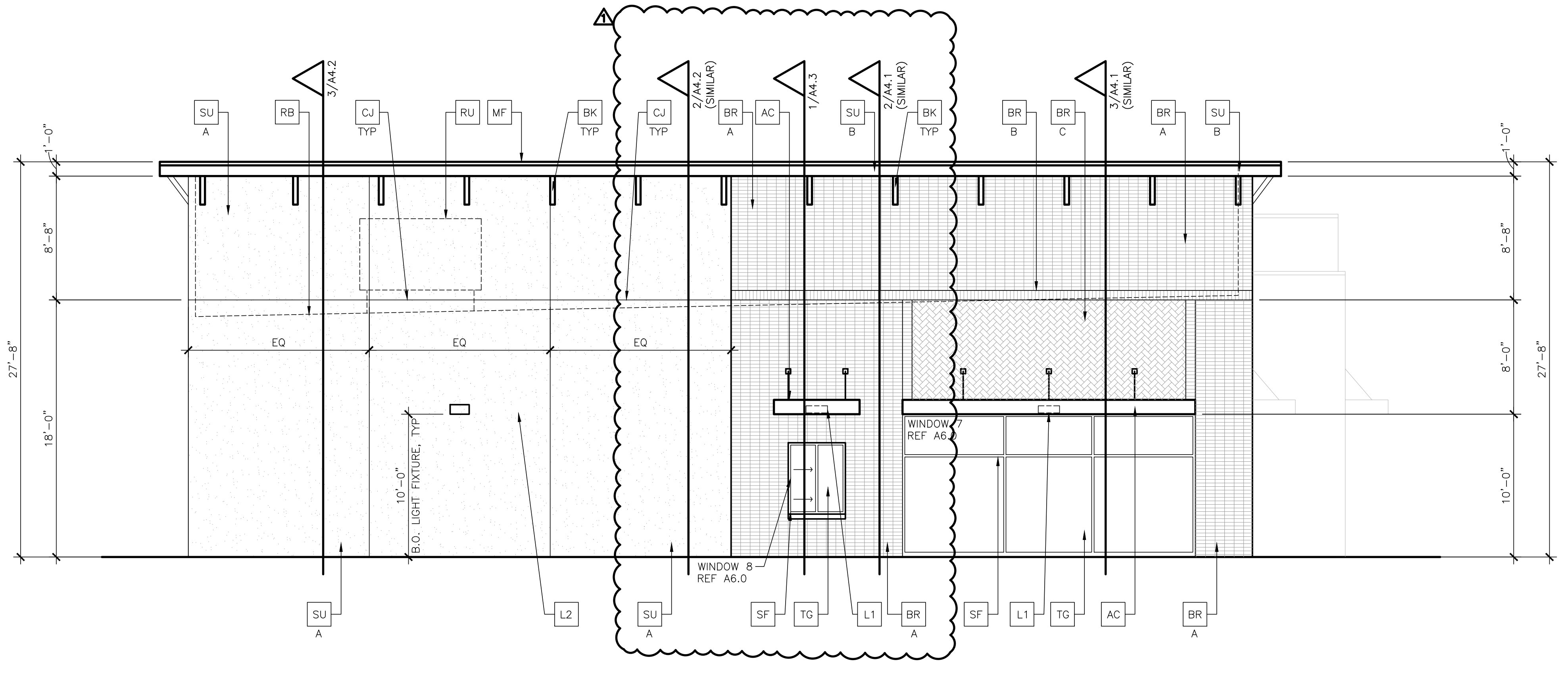
**MATERIAL BOARD**

 <b>MODULAR THIN BRICK</b> BY ACME "DICKENS CREEK"	 <b>BRICK TO BE PAINTED</b> COLOR: SW 7030 "ANEW GRAY"	 <b>STUCCO SYSTEM</b> SMOOTH COLOR: SW 7030 "ANEW GRAY"	 <b>METAL FASCIA/ CANOPIES/LIGHTS</b> COLOR: SW 6258 "TRICORN BLACK"	 <b>BLACK ANODIZED STOREFRONT</b>
--	--	--	--	---

DRAWING ISSUE & REVISION LOG  
 PROJECT NAME: MT SHELL BUILDING 2  
 PROJECT NUMBER: JAW-25-032  
 PERMIT: 02/27/2026 PERMIT SET-ANEP5  
 PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)  
 PROJECT ADDRESS: SE CORNER OF HWY 276 & S. JOHN KING BLVD., ROSWELL, TX 75087



1 - WEST ELEVATION SCALE 3/16"=1'-0"



2 - EAST ELEVATION SCALE 3/16"=1'-0"

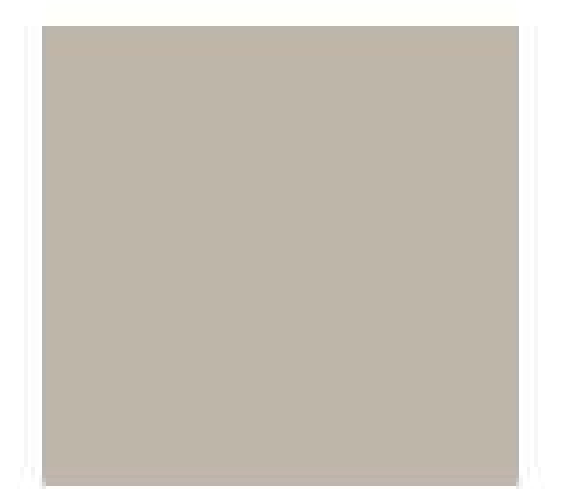
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**MATERIAL BOARD**



MODULAR THIN BRICK BY ACME "DICKENS CREEK"



BRICK TO BE PAINTED COLOR: SW 7030 "ANEW GRAY"



STUCCO SYSTEM SMOOTH COLOR: SW 7030 "ANEW GRAY"



METAL FASCIA/CANOPIES/LIGHTS COLOR: SW 6258 "TRICORN BLACK"



BLACK ANODIZED STOREFRONT

DRAWING ISSUE & REVISION LOG

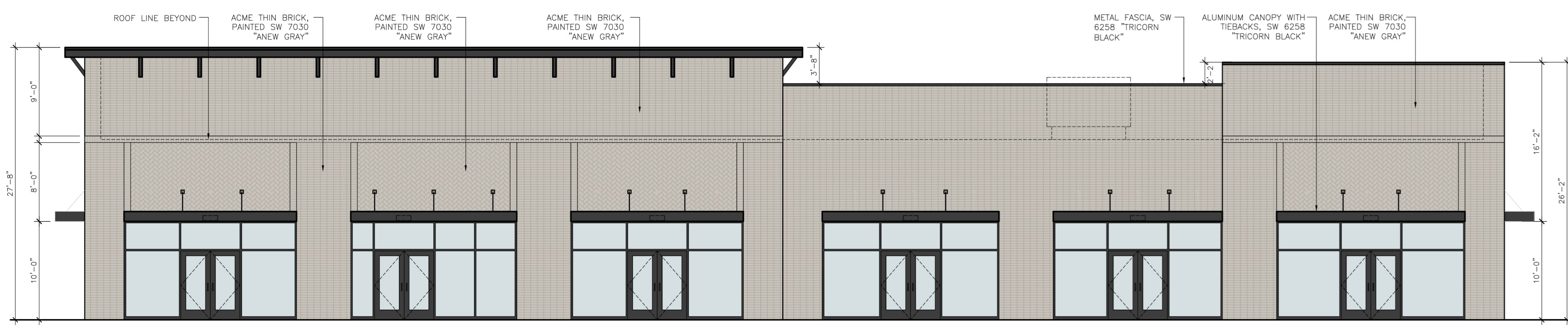
NO.	DATE	DESCRIPTION
1	02/27/2026	PERMIT SET-ANEP'S
2	04/24/2026	CLIENT COMMENTS

PROJECT NAME: MT SHELL BUILDING 2  
PROJECT NUMBER: JUNE 25-0024  
PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)  
PROJECT ADDRESS: SE CORNER OF HWY 276 & S. JOHN KING BLVD. ROSWELL, TX 75087

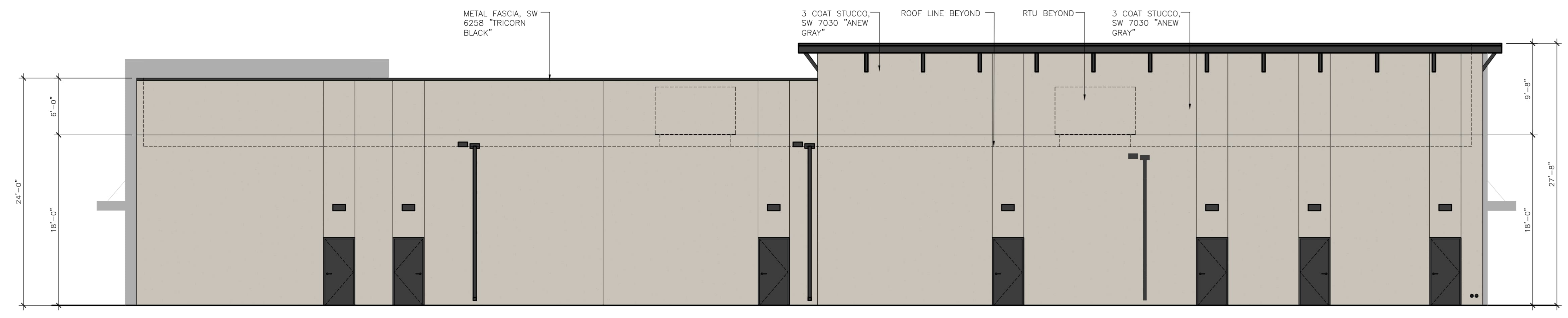


REGISTERED ARCHITECT  
STATE OF TEXAS  
1924  
**JAW**  
ARCHITECTS

**SLATE**  
LAND & DEVELOPMENT CO



1 - NORTH ELEVATION SCALE 3/16"=1'-0"

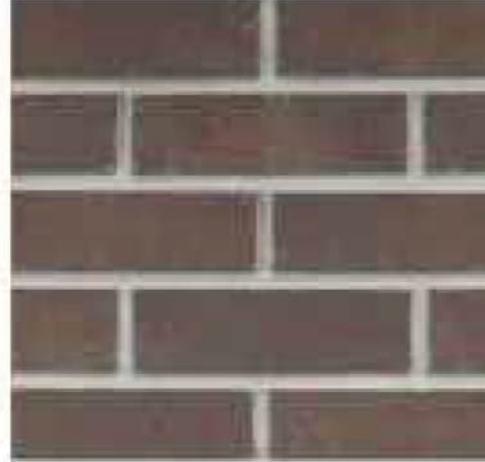



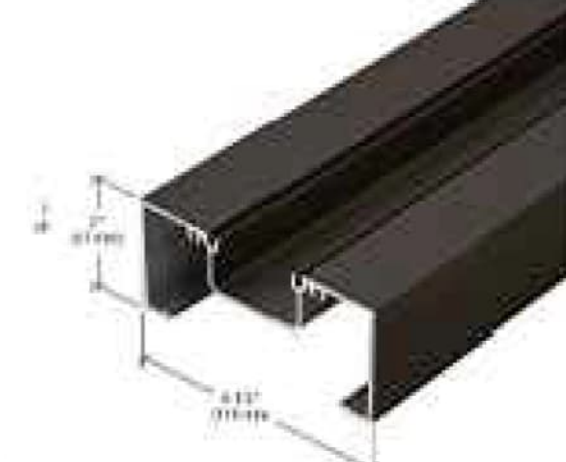


2 - SOUTH ELEVATION SCALE 3/16"=1'-0"

**KEYED NOTES**

- |   |  |
|---|--|
| <p><b>BR</b> MODULAR THIN BRICK BY ACME OR EQUAL, PAINT SW7030 "ANEW GRAY"<br/>A: STACKED<br/>B: SOLDIER COURSE<br/>C: HARRINGBONE</p> <p><b>CJ</b> MASONRY/STUCCO EXPANSION/CONTROL JOINT</p> <p><b>AC</b> ALUMINUM CANOPY SYSTEM PAINTED SW6258 "TRICORN BLACK"</p> <p><b>L1</b> LANDLORD PROVIDED EXTERIOR SCUNCES IN CANOPY SYSTEM, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.</p> <p><b>L2</b> LANDLORD PROVIDED EXTERIOR WALL SCUNCES, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.</p> <p><b>TG</b> INSULATED &amp; TEMPERED GLASS AS INDICATED ON SHEET A6.0 (WINDOW TYPES &amp; SCHEDULES)</p> <p><b>RB</b> ROOFTOP LINE BEYOND PARAPET</p> <p><b>RU</b> ROOFTOP UNIT BEYOND, SIZE AND LOCATION DETERMINED BY FUTURE TENANTS</p> <p><b>MF</b> METAL FASCIA BY METAL ERA OR EQUAL COLOR TO MATCH SW6258 "TRICORN BLACK"</p> | <p><b>DS</b> 4 INCH DOWN SPOUT FROM SCUPPER &amp; COLLECTOR, COLOR TO MATCH SW6258 "TRICORN BLACK"</p> <p><b>OS</b> OVERFLOW SCUPPER, REFERENCE DETAIL 18/A5.0, TO BE 2" HIGHER THAN ROOF SURFACE</p> <p><b>SU</b> THREE COAT STUCCO SYSTEM, SEE WALL SECTIONS COLOR<br/>A: SW7030 "ANEW GRAY"<br/>B: SW6258 "TRICORN BLACK"</p> <p><b>D</b> HOLLOW METAL DOOR &amp; FRAME - PAINT TO MATCH COLOR SW6258 "TRICORN BLACK"</p> <p><b>SF</b> "BLACK" ANODIZED ALUMINUM STOREFRONT SYSTEM BY YKK AP INDUSTRIES OR EQUAL</p> <p><b>AD</b> ADA DOOR SIGNAGE REFERENCE DETAILS ON SHEET A5.0</p> <p><b>BK</b> DECORATIVE BRACKET PAINTED SW6258 "TRICORN BLACK"</p> <p><b>TO</b> PRIMARY &amp; SECONDARY INTERNAL ROOF DRAIN, REFERENCE PLUMBING SHEETS</p> |
|---|--|

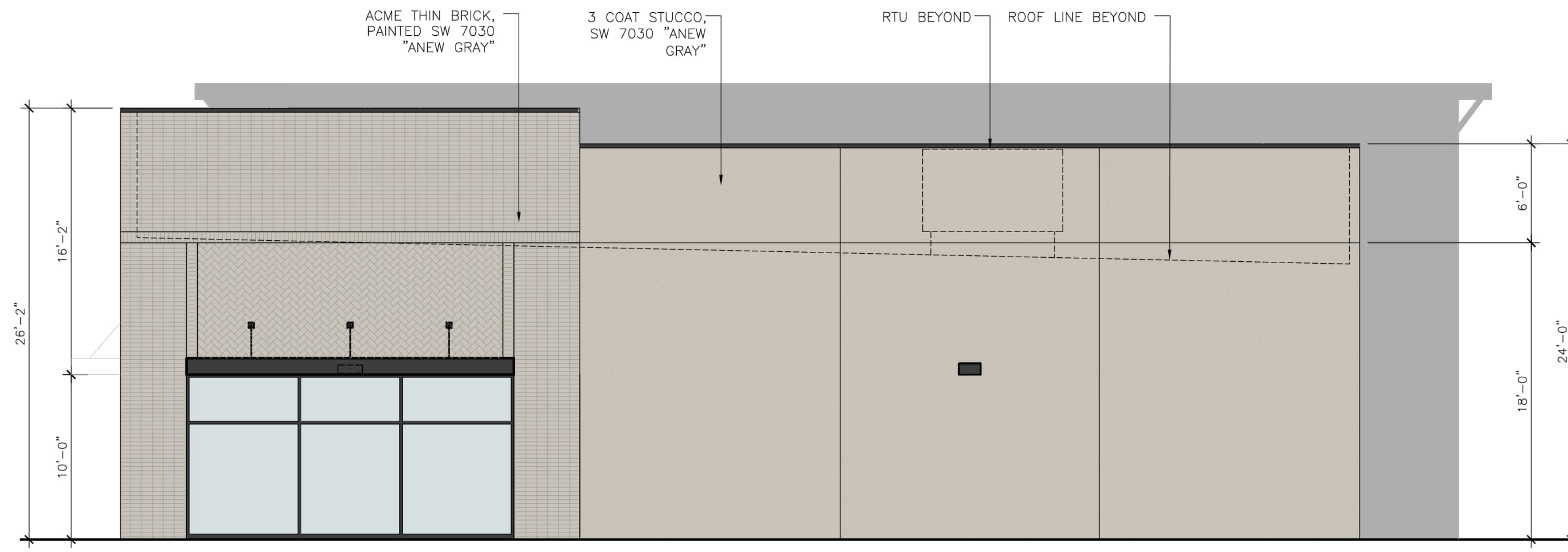
**MATERIAL BOARD**

 <b>MODULAR THIN BRICK BY ACME "DICKENS CREEK"</b>	 <b>BRICK TO BE PAINTED COLOR: SW 7030 "ANEW GRAY"</b>	 <b>STUCCO SYSTEM SMOOTH COLOR: SW 7030 "ANEW GRAY"</b>	 <b>METAL FASCIA/CANOPIES/LIGHTS COLOR: SW 6258 "TRICORN BLACK"</b>	 <b>BLACK ANODIZED STOREFRONT</b>
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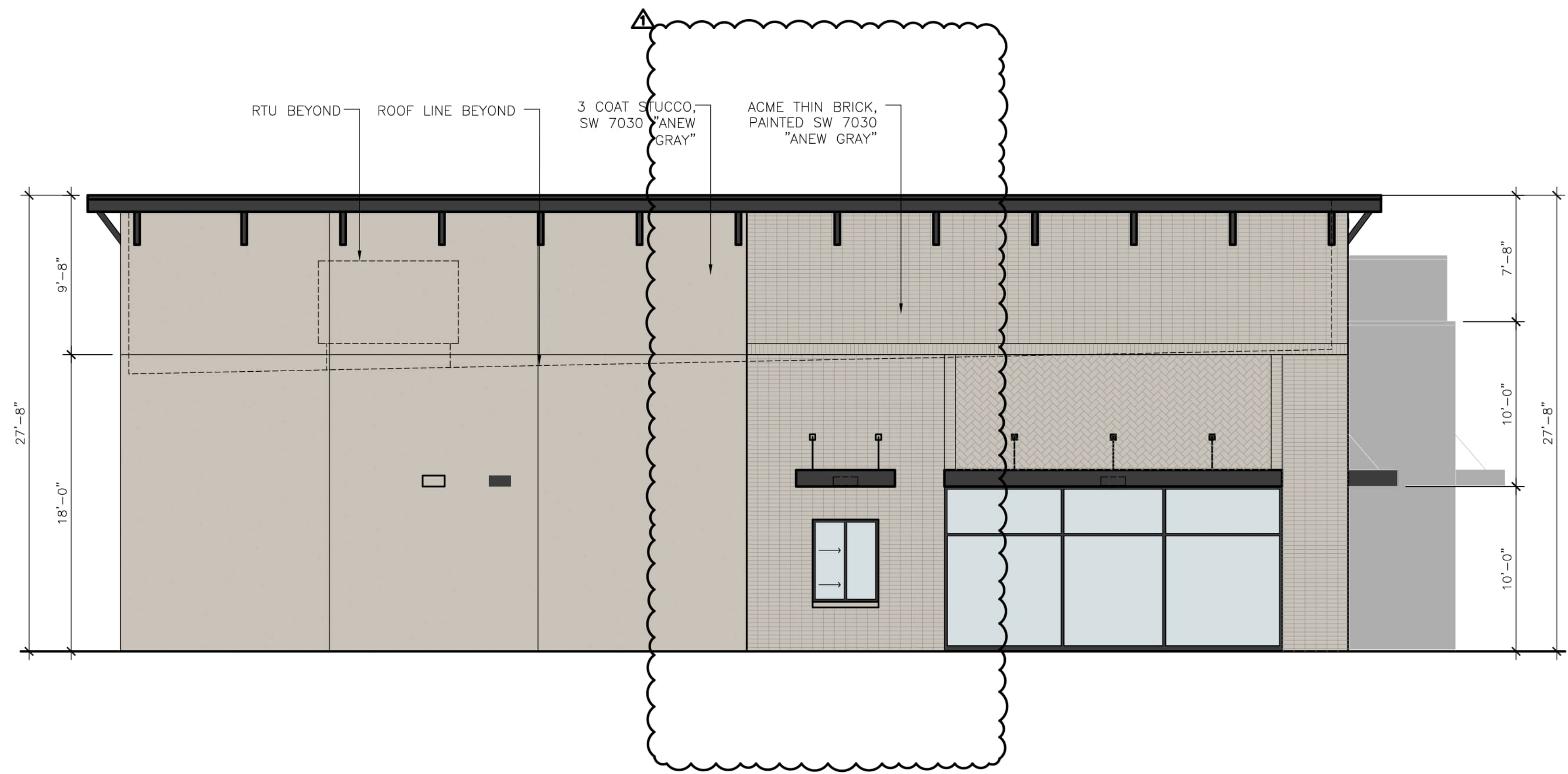
DRAWING ISSUE & REVISION LOG

NO.	DATE	DESCRIPTION
1	02/27/2026	PERMIT SET-AMEPS

PROJECT NAME: 47 SHELL BUILDING 2  
PROJECT NUMBER: JAW 25-032  
PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)  
PROJECT ADDRESS: SE CORNER OF HWY 276 & S JOHN KING BLVD. FORTWORTH, TX 76102



1 - WEST ELEVATION SCALE 3/16"=1'-0"

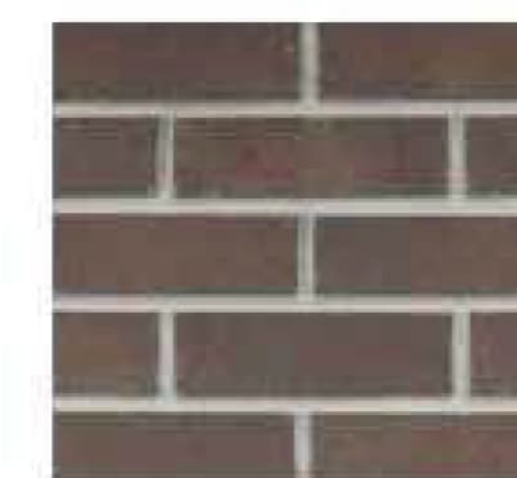


2 - EAST ELEVATION SCALE 3/16"=1'-0"

KEYED NOTES

- BR** MODULAR THIN BRICK BY ACME OR EQUAL, PAINT SW7030 "ANEW GRAY"  
A: STACKED  
B: SOLDIER COURSE  
C: HARRINGBONE
- CJ** MASONRY/STUCCO EXPANSION/CONTROL JOINT
- AC** ALUMINUM CANOPY SYSTEM PAINTED SW6258 "TRICORN BLACK"
- L1** LANDLORD PROVIDED EXTERIOR SCUNCES IN CANOPY SYSTEM, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.
- L2** LANDLORD PROVIDED EXTERIOR WALL SCUNCES, REFERENCE ELECTRICAL SHEETS, CENTER OVER DOOR U.N.O.
- TG** INSULATED & TEMPERED GLASS AS INDICATED ON SHEET A6.0 (WINDOW TYPES & SCHEDULES)
- RB** ROOFTOP LINE BEYOND PARAPET
- RU** ROOFTOP UNIT BEYOND, SIZE AND LOCATION DETERMINED BY FUTURE TENANTS
- MF** METAL FASCIA BY METAL ERA OR EQUAL COLOR TO MATCH SW6258 "TRICORN BLACK"
- DS** 4 INCH DOWN SPOUT FROM SCUPPER & COLLECTOR, COLOR TO MATCH SW6258 "TRICORN BLACK"
- OS** OVERFLOW SCUPPER, REFERENCE DETAIL 18/A5.0, TO BE 2" HIGHER THAN ROOF SURFACE
- SU** THREE COAT STUCCO SYSTEM, SEE WALL SECTIONS COLOR  
A: SW7030 "ANEW GRAY"  
B: SW6258 "TRICORN BLACK"
- D** HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR SW6258 "TRICORN BLACK"
- SF** "BLACK" ANODIZED ALUMINUM STOREFRONT SYSTEM BY YKK AP INDUSTRIES OR EQUAL
- AD** ADA DOOR SIGNAGE REFERENCE DETAILS ON SHEET A5.0
- BK** DECORATIVE BRACKET PAINTED SW6258 "TRICORN BLACK"
- TO** PRIMARY & SECONDARY INTERNAL ROOF DRAIN, REFERENCE PLUMBING SHEETS

MATERIAL BOARD



MODULAR THIN BRICK BY ACME "DICKENS CREEK"



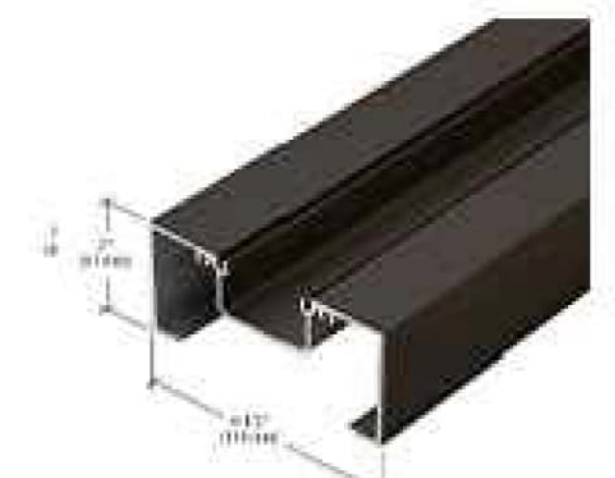
BRICK TO BE PAINTED COLOR: SW 7030 "ANEW GRAY"



STUCCO SYSTEM SMOOTH COLOR: SW 7030 "ANEW GRAY"



METAL FASCIA/CANOPIES/LIGHTS COLOR: SW 6258 "TRICORN BLACK"



BLACK ANODIZED STOREFRONT



JEFFREY WILKINS  
REGISTERED ARCHITECT  
STATE OF TEXAS

SLATE  
LAND & DEVELOPMENT CO

DRAWING ISSUE & REVISION LOG

PERMIT SET-ANEP'S	02/27/2016	PERMIT
CLIENT COMMENTS	04/24/2016	REV 01

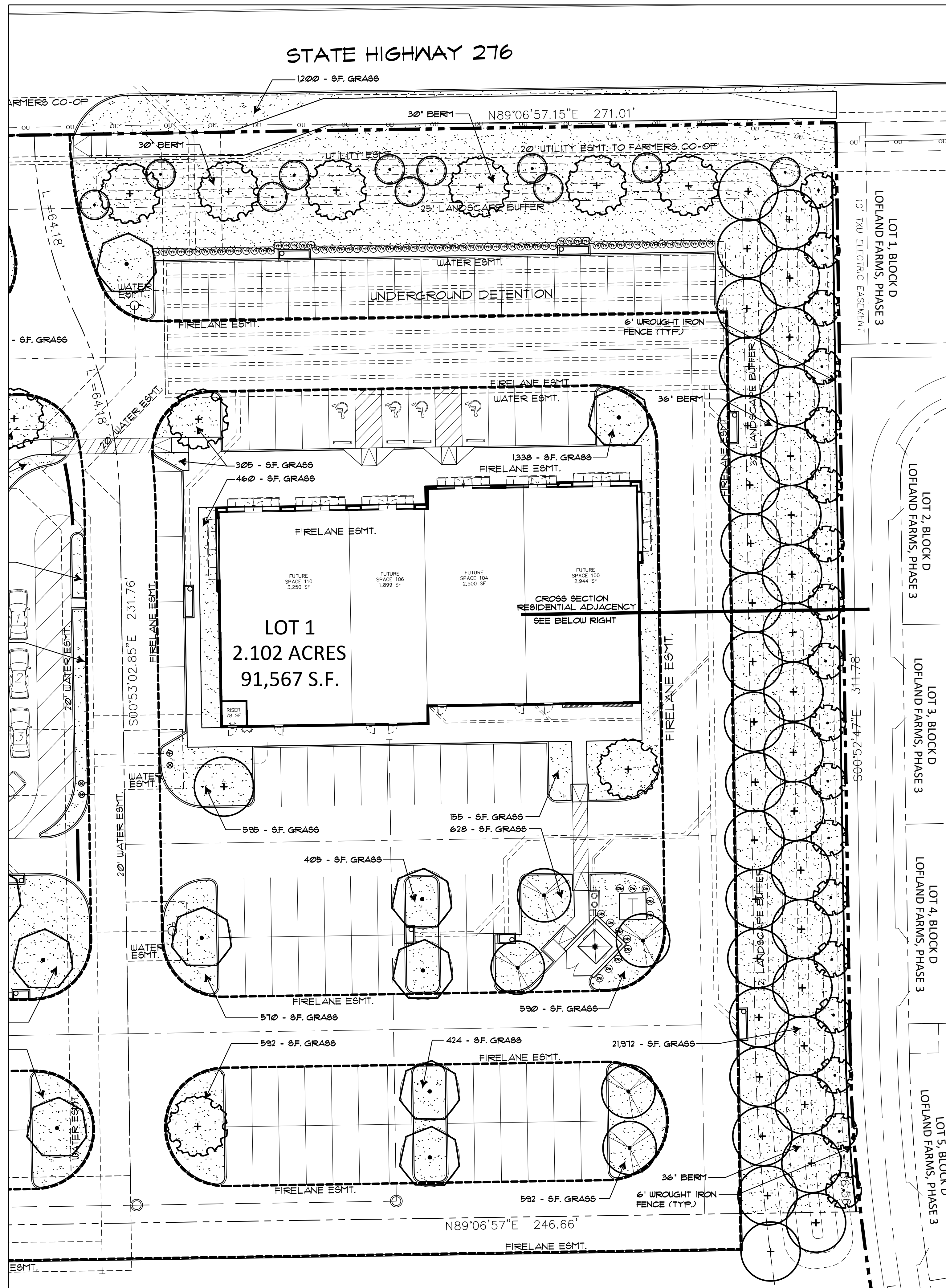
PROJECT NAME: 47 SHELL BUILDING 2  
 PROJECT NUMBER: JMW 25-032  
 PROJECT DESCRIPTION: MIXED USE SITE DEVELOPMENT (RETAIL/RESTAURANT)  
 PROJECT ADDRESS: SE CORNER OF HWY 276 & S JOHN KING BLVD. HOUSTON, TX 77052

LARGE CANOPY TREES					
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION	
1		CEDAR ELM	<i>Ulmus crassifolia</i>	4' caliper, 15'-17' Ht./ 6'-11' spread, B4B, straight trunk. CENTRAL LEADER SHALL BE INTACT	
38		LIVE OAK	<i>Quercus virginiana</i>	4' caliper, 15'-17' Ht./ 6'-11' spread, B4B, straight trunk. CENTRAL LEADER SHALL BE INTACT	
5		CHINESE PISTACHE	<i>Pistacia chinensis</i>	4' caliper, 15'-17' Ht./ 6'-11' spread, B4B, straight trunk. CENTRAL LEADER SHALL BE INTACT	
9		RED OAK	<i>Quercus buckleyi</i>	4' caliper, 15'-17' Ht./ 6'-11' spread, B4B, straight trunk. CENTRAL LEADER SHALL BE INTACT	

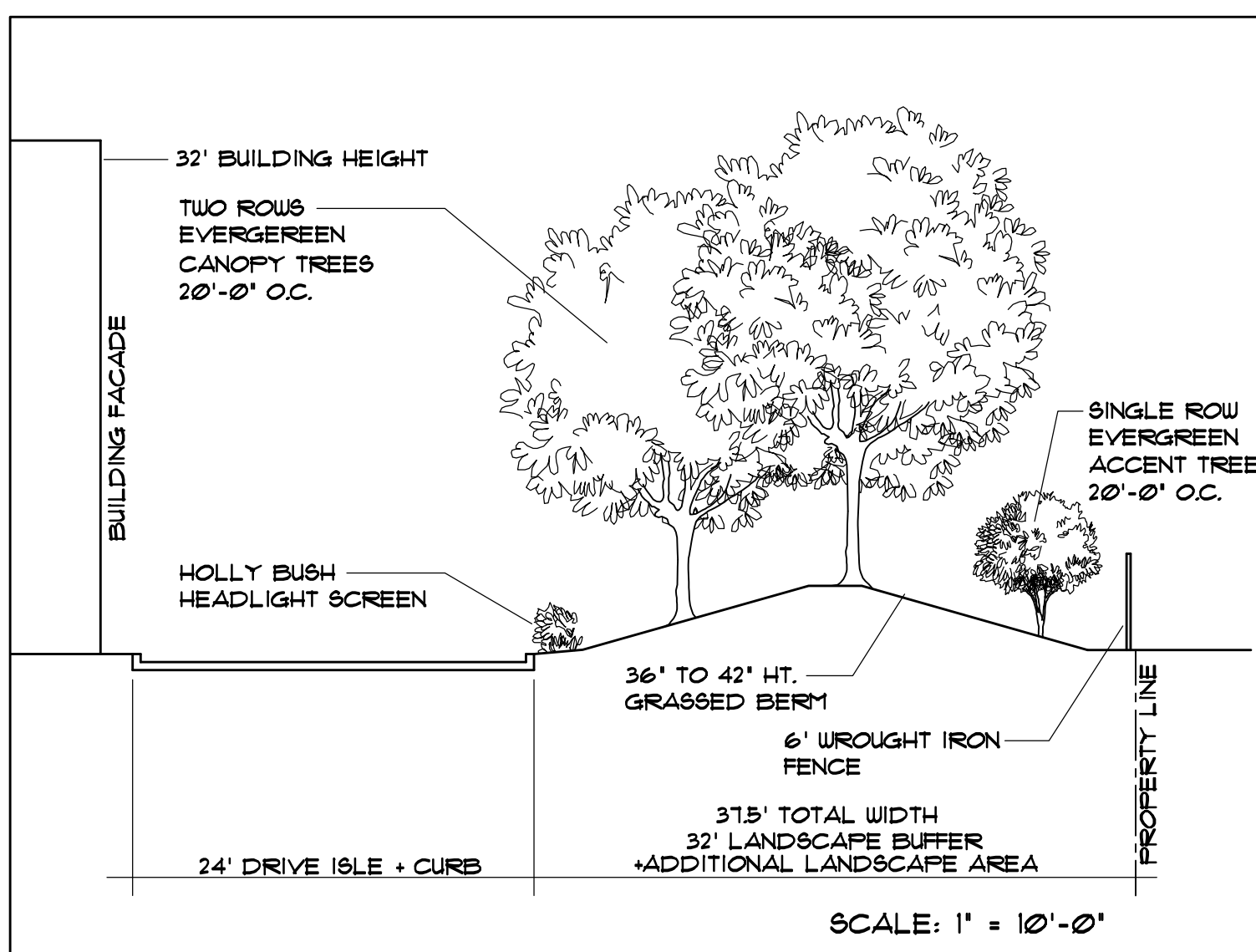
ACCENT TREES					
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION	
11		TEXAS RED BUD	<i>Cercis canadensis Texensis</i>	2' Caliper, 6' Ht./ 3 spread min, 30 gallon, Single Trunk Min, full, bushy tree formed, specimen.	
18		YAUPON HOLLY	<i>Ilex vomitoria</i>	2' Caliper, 6' Ht./ 3 spread min, 30 gallon, Multi Trunk, full, bushy tree formed, specimen.	

SHRUBS					
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION	
69		DWARF YAUPON HOLLY	<i>Ilex vomitoria Nana</i>	3 gallon, 10"-12" Ht./ 10"-12" spread, bushy, full to ground	
13		DWARF BURFORD HOLLY	<i>Ilex cornuta Burfordii Nana</i>	5 gallon, 20"-24" Ht./ 6"-18" spread, bushy, full to ground	

TURF GRASS					
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION	
29,234 SF.		SF. GRASS BERMUDA GRASS	<i>Cynodon dactylon</i>	Bald sod	



Cross Section Residential Adjacency



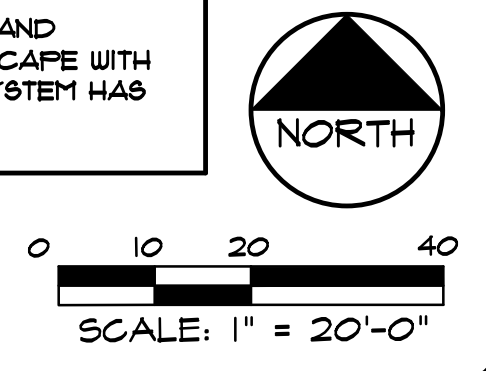
LOT 1 LANDSCAPE TABULATIONS		
<b>STREET BUFFER TREES</b>		
TWO CANOPY TREES AND FOUR ACCENT TREES PER 1000 L.F. STREET FRONTAGE		
STATE HIGHWAY 276 FRONTAGE L.F.	2710 L.F.	
REQUIRED CANOPY BUFFER TREES (211 / 100 x 2 = 5.42)	6 TREES	
STREET CANOPY BUFFER TREES PROVIDED	6 TREES	
REQUIRED ACCENT BUFFER TREES (211 / 100 x 4 = 10.84)	11 TREES	
STREET ACCENT BUFFER TREES PROVIDED	11 TREES	
<b>RESIDENTIAL BUFFER TREES</b>		
3 TIERED LANDSCAPE SCREEN - ALTERNATIVE		
2 STAGGERED ROWS OF EVERGREEN CANOPY TREES AT 20' O.C. AND 1 ROW OF EVERGREEN ACCENT TREES.		
RESIDENTIAL ADJACENCY L.F.	36800 L.F.	
PROVIDED EVERGREEN CANOPY BUFFER TREES (368 / 20 = 18.4 x 2 = 36.8)	31 TREES	
PROVIDED EVERGREEN ACCENT TREES	18 TREES	
<b>OVERALL LANDSCAPE AREA</b>		
REQUIRED 20% LANDSCAPING WITHIN COMMERCIAL ZONING	91567 SF.	
OVERALL SITE 2.102 ACRES	91567 SF.	
REQUIRED SITE LANDSCAPE AREA ( 91567 x 20% )	18314 SF.	
SITE LANDSCAPE AREA PROVIDED	29842 SF.	
<b>PARKING LOT LANDSCAPE AREA</b>		
REQUIRED 5% LANDSCAPE WITHIN PARKING LOTS.	30500 SF.	
OVERALL PARKING AND DRIVE ISLES	1525 SF.	
REQUIRED PARKING LANDSCAPE AREA ( 30500 x 5% )	1525 SF.	
PARKING LANDSCAPE AREA PROVIDED	4500 SF.	
PARKING SPACES PROVIDED	95	
REQUIRED CANOPY PARKING TREES ( 95 / 10 = 9.5 )	10 TREES	
PARKING CANOPY TREES PROVIDED	15 TREES	
<b>MITIGATION TREES</b>		
11 CEDAR TREES REMOVED FROM ENTIRE DEVELOPMENT	11 TREES	
REQUIRED MITIGATION CANOPY TREES	11 TREES	
MITIGATION CANOPY TREES PROVIDED LOT 1	59 TREES	
MITIGATION CANOPY TREES PROVIDED LOT 2	18 TREES	
TOTAL MITIGATION CANOPY TREES PROVIDED	77 TREES	
<b>TOTAL MITIGATION REQUIRED</b>	<b>11 - 4' TREES</b>	

SITE DATA TABLE		
LOT SIZE	LOT 1	LOT 2
	2.102 ACRES 91,567 SF	1.752 ACRES 76,322 SF
USE / BUILDING AREA		
RETAIL	2,170 SF - 20.3%	6,500 SF - 60.9%
RESTAURANT (FS)	8,501 SF - 79.7%	4,171 SF - 39.1%
MEDICAL OFFICE	SF - 0%	SF - 0%
TOTAL	10,671 SF	10,671 SF
REQUIRED PARKING		
RETAIL (1 PER 250 S.F.)	9 SPACES	26 SPACES
RESTAURANT (FS) (1 PER 100 S.F.)	86 SPACES	42 SPACES
MEDICAL OFFICE (1 PER 200 S.F.)	0 SPACES	0 SPACES
TOTAL	95 SPACES	68 SPACES
PARKING PROVIDED	95 SPACES	75 SPACES
HANDICAP REQUIRED	4 SPACES	4 SPACES
HANDICAP PROVIDED	4 SPACES	4 SPACES
LANDSCAPE COVERAGE	29,842 SF - 32.6%	15,261 SF - 20%

\* PARKING PROVIDED TOTAL INCLUDES HC PARKING

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

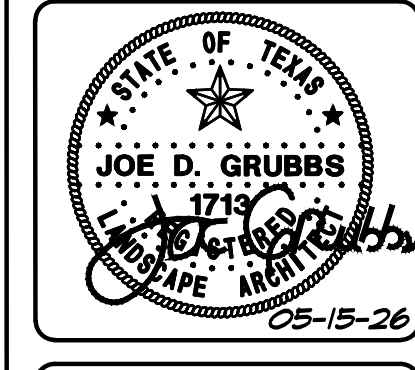
**IRRIGATION NOTE**  
EXISTING IRRIGATION SYSTEM SHALL BE MODIFIED AND EXPANDED AS REQUIRED TO PROVIDE ALL LANDSCAPE WITH COMPLETE COVERAGE. CONTRACTOR TO INSURE SYSTEM HAS PROPER OPERATING RAIN AND FREEZE SENSORS.



Date:	
Revisions:	
#	

Issued For:  
**CONSTRUCTION**  
Job No.  
**26105**  
Scale  
**1" = 20'-0"**  
Drawn By:  
**JDG**  
Date  
**05-15-2026**

**Rockwall Neighborhood Shops**  
Slate Land & Development  
Rockwall Texas



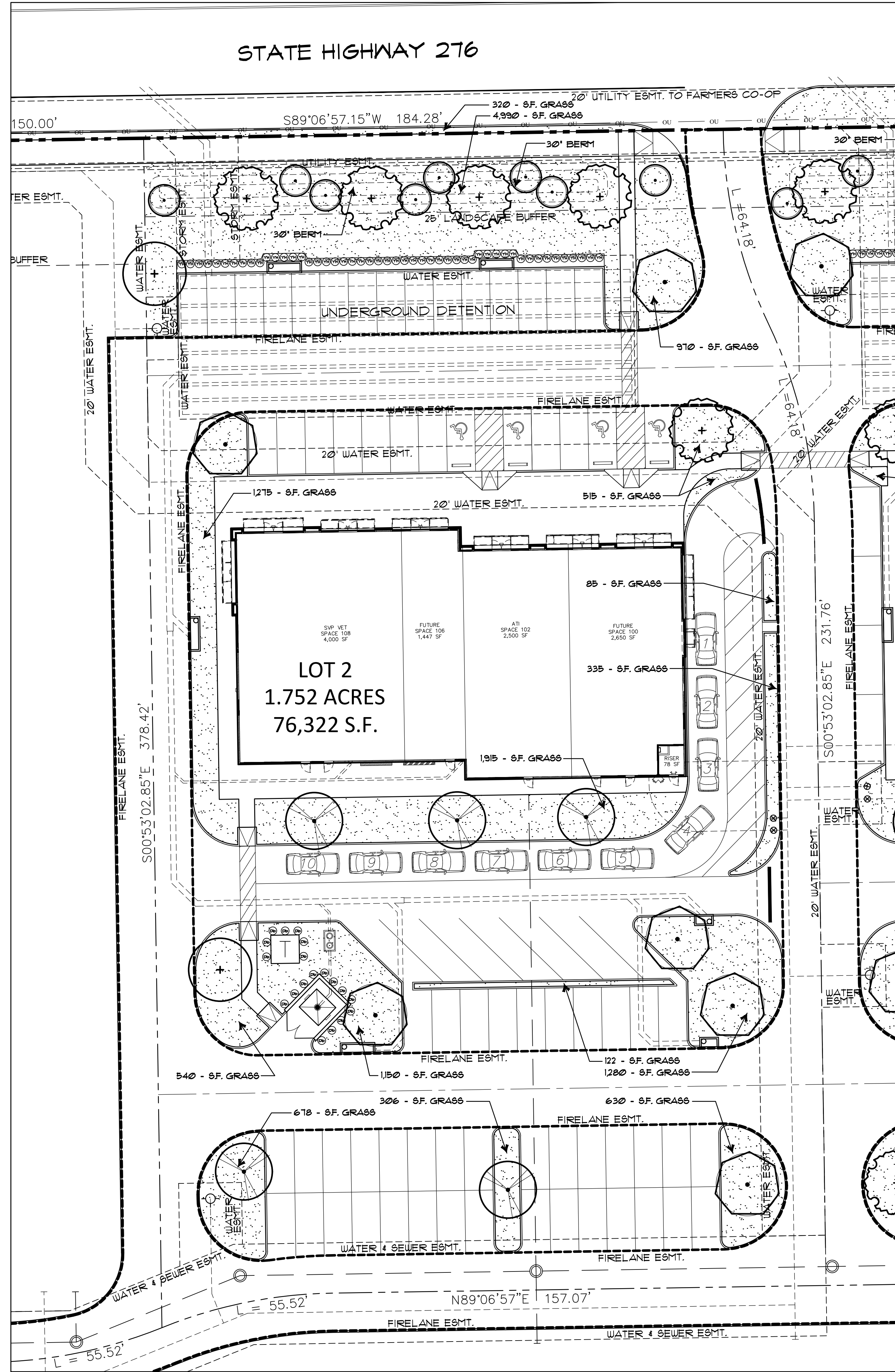
Sheet Title:  
**Lot 1 Landscape Plan**  
Sheet Number:  
**L1**  
of L3 Sheets

LARGE CANOPY TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
6		CEDAR ELM	<i>Ulmus crassifolia</i>	4" caliper, 10'-12" HL / 6'-11" spread, B/B, straight trunk, CENTRAL LEADER SHALL BE INTACT
2		LIVE OAK	<i>Quercus virginiana</i>	4" caliper, 10'-12" HL / 6'-11" spread, B/B, straight trunk, CENTRAL LEADER SHALL BE INTACT
5		CHINESE PISTACHE	<i>Pistacia chinensis</i>	4" caliper, 10'-12" HL / 6'-11" spread, B/B, straight trunk, CENTRAL LEADER SHALL BE INTACT
5		RED OAK	<i>Quercus buckleyi</i>	4" caliper, 10'-12" HL / 6'-11" spread, B/B, straight trunk, CENTRAL LEADER SHALL BE INTACT

ACCENT TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
8		TEXAS RED BUD	<i>Cercis canadensis Texensis</i>	2" Caliper, 6" HL/3" spread min, 30 Gallon, Single Trunk Min, full, bushy tree formed, specimen.

SHRUBS				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
50		DWARF YAUPON HOLLY	<i>Ilex vomitoria Nana</i>	3 gallon, 10"-12" HL/10"-12" spread, bushy, full to ground
19		DWARF BURFORD HOLLY	<i>Ilex cornuta 'Burfordii Nana'</i>	3 gallon, 30"-24" HL/16"-18" spread, bushy, full to ground

TURF GRASS				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
15,111 SF.		BERMUDA GRASS	<i>Cynodon dactylon</i>	bolled sod



LOT 2 LANDSCAPE TABULATIONS	
<b>STREET BUFFER TREES</b>	
TWO CANOPY TREES AND FOUR ACCENT TREES PER 1000 L.F. STREET FRONTAGE	
STATE HIGHWAY 276 FRONTAGE L.F.	184.28 L.F.
REQUIRED CANOPY BUFFER TREES (185 / 100 x 2 = 3.70)	4 TREES
STREET CANOPY BUFFER TREES PROVIDED	4 TREES
REQUIRED ACCENT BUFFER TREES (185 / 100 x 4 = 7.40)	8 TREES
STREET ACCENT BUFFER TREES PROVIDED	8 TREES
<b>OVERALL LANDSCAPE AREA</b>	
REQUIRED 20% LANDSCAPING WITHIN COMMERCIAL ZONING	
OVERALL SITE 15.88 ACRES	76,322 SF.
REQUIRED SITE LANDSCAPE AREA ( 76,322 x 20% )	15,265 SF.
SITE LANDSCAPE AREA PROVIDED	15,261 SF.
<b>PARKING LOT LANDSCAPE AREA</b>	
REQUIRED 5% LANDSCAPE WITHIN PARKING LOTS.	
OVERALL PARKING AND DRIVE ISLES	25,850 SF.
REQUIRED PARKING LANDSCAPE AREA ( 25,850 x 5% )	1,293 SF.
PARKING LANDSCAPE AREA PROVIDED	16,010 SF.
PARKING SPACES PROVIDED	
REQUIRED CANOPY PARKING TREES 68 / 10 = 6.8	7 TREES
PARKING CANOPY TREES PROVIDED	14 TREES
<b>MITIGATION TREES</b>	
11 CEDAR TREES REMOVED FROM ENTIRE DEVELOPMENT	
REQUIRED MITIGATION CANOPY TREES	11 TREES
MITIGATION CANOPY TREES PROVIDED LOT 1	59 TREES
MITIGATION CANOPY TREES PROVIDED LOT 2	18 TREES
TOTAL MITIGATION CANOPY TREES PROVIDED	77 TREES
<b>TOTAL MITIGATION REQUIRED</b>	<b>77 - 4" TREES</b>

SITE DATA TABLE		
	LOT 1	LOT 2
LOT SIZE	2,102 ACRES	1,752 ACRES
	91,567 SF	76,322 SF
USE / BUILDING AREA		
RETAIL	2,170 SF - 20.3%	6,500 SF - 60.9%
RESTAURANT (FS)	8,501 SF - 79.7%	4,171 SF - 39.1%
MEDICAL OFFICE	SF - 0%	SF - 0%
TOTAL	10,671 SF	10,671 SF
REQUIRED PARKING		
RETAIL (1 PER 250 S.F.)	9 SPACES	26 SPACES
RESTAURANT (FS) (1 PER 100 S.F.)	86 SPACES	42 SPACES
MEDICAL OFFICE (1 PER 200 S.F.)	0 SPACES	0 SPACES
TOTAL	95 SPACES	68 SPACES
PARKING PROVIDED	95 SPACES	75 SPACES
HANDICAP REQUIRED	4 SPACES	4 SPACES
HANDICAP PROVIDED	4 SPACES	4 SPACES
LANDSCAPE COVERAGE	29,842 SF - 32.6%	15,261 SF - 20%

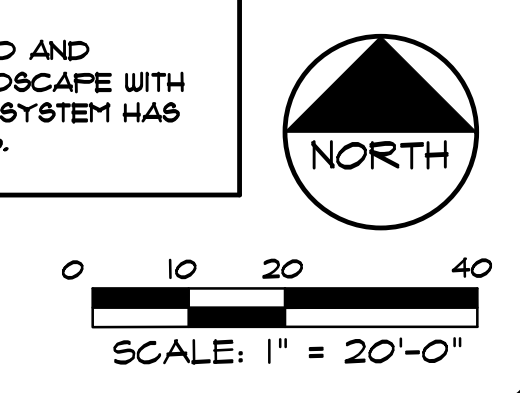
\* PARKING PROVIDED TOTAL INCLUDES HC PARKING

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**IRRIGATION NOTE**  
EXISTING IRRIGATION SYSTEM SHALL BE MODIFIED AND EXPANDED AS REQUIRED TO PROVIDE ALL LANDSCAPE WITH COMPLETE COVERAGE. CONTRACTOR TO INSURE SYSTEM HAS PROPER OPERATING RAIN AND FREEZE SENSORS.



Date:	
Revisions:	
#	

Issued For:  
**CONSTRUCTION**

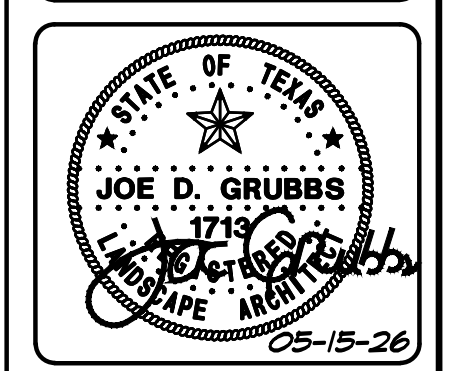
Job No.  
**26105**

Scale  
**1" = 20'-0"**

Drawn By:  
**JDG**

Date  
**05-15-2026**

**Rockwall Neighborhood Shops**  
Slate Land & Development  
Rockwall Texas



Sheet Title:  
**Lot 2 Landscape Plan**

Sheet Number:  
**L2**  
of L3 Sheets

LANDSCAPING

PART 1 - GENERAL

- 1.1 SCOPE: Provide all labor, materials and equipment for complete installation of landscaping, as indicated on the drawings and specified herein.
1.2 RELATED WORK SPECIFIED ELSEWHERE:
A. Irrigation System
B. Lawns
C. Earthwork
D. General Requirements
1.3 QUALITY ASSURANCE:
A. Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing site.
B. Plants are subject to inspection and approval by the Landscape Architect. Plants required for the work may be inspected and tagged at the growing site before being dug.
C. Observation at growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site may be rejected.
D. Employ only qualified personnel familiar with required work.
E. Off-site topsoil and topsoil on-site testing (paid by Landscape Contractor):
1. Provide source of off-site soil (if Required For Job) to the Owners representative for the purpose of soil investigation.
2. Take random representative soil samples from areas to be planted.
3. Test soil samples from both sources for pH, alkalinity, total soluble salts, porosity, sodium content and organic matter.
F. File Certificate of inspection of plant material by State and Federal authorities with Landscape Architect, if required by State.
1.4 REFERENCED STANDARDS:
A. American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc. - Plant materials.
B. Hortus Third, 1976 - Cornell University - Plant nomenclature.
C. ASTM - American Standard Testing Material - Sharp sand.
1.5 PRODUCT DELIVERY, STORAGE AND HANDLING:
A. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on job site. Storage of materials and equipment at the job site will be at the risk of the landscape contractor. The owner will not be held responsible for theft or damage.
3. If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
4. Protect during delivery to prevent damage to root ball or desiccation of leaves.
5. Notify Landscape Architect of delivery schedule 48 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
1.6 JOB CONDITIONS:
A. Planting Restrictions: Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice. In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
B. Utilities:
1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities.
2. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
3. Coordinate work with irrigation contractor to prevent damage to underground sprinkler system.
1.7 WARRANTY:
A. Warranty for plants and trees shall be for one year after final acceptance. Replace dead material and materials not in vigorous, thriving condition as soon as weather permits and on notification by Owner's Rep. Replace plants, including trees, which in opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
B. Replace plants and trees with same kind and size as originally planted, at no cost to the Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
C. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects or diseases.
D. At the end of the warranty period, staking and guying materials if required shall be removed from the site.
1.8 MAINTENANCE:
A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
B. Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, cleaning and replacing as necessary to keep landscaping in a vigorous, healthy condition and rake bed areas as required.
C. A written notice requesting final inspection and acceptance should be submitted to Landscape Architect or owners representative within seven (7) days prior to completion. At that time owner and Landscape Architect will prepare a final punch list to be reviewed with the landscape contractor.
D. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

PART 2 - PRODUCTS

- 2.1 PLANTS:
A. Quantities: The drawings and specifications are complementary; anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
B. Plants shall be equal to well formed No. 1 grade of better; symmetrical, heavily branched with an even branch distribution, densely foliated and/or luscious and strong straight, distinct leader where this is characteristic of species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form, either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
C. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.
D. Plants shall have a well-developed fibrous root system.
E. Plants shall be free of physical damage such as scapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
F. Pruning of all trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the Owner.
G. Plants shall meet the sizes indicated on the Plant List. Where a size or caliper range is stated, at least 50% of the material shall be closer in size to the top of the range stated.
H. Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be less than 10" inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.
I. Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to hold the planting medium when taken from the container, but not long enough to become root bound.

- 2.2 SOIL PREPARATION MATERIALS:
A. Peat Moss: Commercial sphagnum moss or hynum peat.
B. Pre mixed soils can be used as long as samples are submitted with submitted with manufacturer's data and laboratory test reports.
C. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign matter.
2. Physical properties as follows:
Clay - between 7-21 percent
Silt - between 20-50 percent
Sand - less than 52 percent
D. Sharp Sand: Clean, washed sand, (fine aggregate) ASTM C-95.
2.3 COMMERCIAL FERTILIZER:
A. Fertilizer shall be delivered in manufacturer's standard container printed with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
B. Commercial Fertilizer for Planting Beds: Complete fertilizer 5-10-5 element ratio with minimum 8% sulfur and 4% iron plus micro-nutrients.
C. Controlled-Release fertilizer planting tablets for tree planting pits, shall be equal to Agriform 20-10-15 planting tablets as manufactured by Sierra Chemical Co., Milpitas, California 45095 or approved equal.
2.4 MULCH: Bark mulch shall be hardwood mulch chips, ranging in size from 1/4-inch to 1-inch in size, medium fine texture, shredded.

PART 3 - EXECUTION

- 3.1 CONDITION OF SURFACES:
A. New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade.
B. Examine subgrade upon which work is to be performed. Notify the Landscape Architect or owners representative of unsatisfactory conditions.
3.2 SHRUB PLANTING:
A. All shrubs to be pocket planted. Excavate planting hole 3" larger than the width and height of the root ball. Backfill with 1/3 (soil mix and/or peatmoss), 1/3 native soil and 1/3 sand.
B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
C. Water each plant thoroughly with hoses to eliminate air pockets.
D. Carefully prune plants to remove dead or broken branches, various tags, and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.
3.3 GROUND COVER PLANTING:
A. Till 2 inches minimum of thoroughly mixed prepared soil or equal in all planting bed areas as follows:
1. 1 part sandy loam
1 part peat moss
1 part sharp sand
Add 4 pounds commercial fertilizer per 100 SF of bed area and mix thoroughly.
B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
C. Water each plant thoroughly with hoses to eliminate air pockets.
D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.
3.4 TREE PLANTING:
A. Stake tree locations for Owners Representative approval prior to digging.
B. Plant ornamental trees in pits 12-inches larger than the root ball. Plant shade trees in pits two feet greater in diameter than root ball and equal to depth of root ball.
C. After excavation of tree pits, review water penetration. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint PVC stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
D. In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
E. Prepare soil for planting by thoroughly mixing two parts sandy loam and one part peatmoss or other approved organic matter. If planting soil does not fall within the pH range of 5.5 to 7.0 add limestone or aluminum sulphate to bring soil into the specified pH range.
F. Backfill tree pits with a mixture of 1/2 prepared soil and 1/2 existing site soil. Lightly tamp every 6-inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer planting tablets per manufacturer's recommendations. Complete backfilling and form a saucer around the tree.
G. Completely fill each tree saucer with mulch to a depth of two inches.
H. Contractor shall keep trees plumb until established. Guying and/or staking to maintain that plumb condition shall be at the Contractor's discretion. However, if trees are not plumb, the contractor will be required to guy and/or stake those trees in a method acceptable to the Landscape Architect at no additional cost to the Owner.
I. Pruning: Prune trees to preserve the natural character of the plant in a manner appropriate to its particular requirements in the landscape design as directed by the Landscape Architect. In general, remove at least one-third of wood by thinning and pruning. DO NOT cut back terminal branches. Thin native grown plants heavier than nursery grown plants. Remove sucker growth and broken or badly bruised branches.
3.5 SEASONAL COLOR PLANTING:
A. Beds shall be excavated to a depth of 2 inches. Soil shall be replaced with 100% Living Earth Technology Complete Mix or equal.
B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
C. Water each plant thoroughly with hoses to eliminate air pockets.
D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces and mulch bed areas 1 inch deep.
3.6 CLEANUP: During work, keep premises neat and orderly including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from planting areas, preparing beds, or planting plants from site daily as work progresses. Keep walk and driveway areas clean by sweeping or hosing.

END OF LANDSCAPING SECTION

LAWNS

PART 1 - GENERAL

- 1.1 SCOPE: Furnish all labor, tools, transportation, materials, equipment, supervision, etc., required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications.
Rake any part of the area failing to show uniform cover until a dense lawn is established. The cost of miscellaneous labor and materials for topsoil, weeding, tilling, pest control, fertilizing, etc., are not separate pay items and shall be included in the bid price for grassing.
1.2 RELATED WORK SPECIFIED ELSEWHERE:
A. Irrigation System
B. Landscaping
1.3 MAINTENANCE OF GRASS: The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivation, fertilizing, watering, disease and insect control, top dressing low spots, plus any procedures consistent with horticultural practice necessary to insure normal, vigorous, and healthy grass.
1.4 JOB CONDITIONS:
A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
B. Lawn areas will be left within 1/10 of a foot of finish grade by other trades. Fine grading, raking and smoothing will be the responsibility of the contractor.
1.5 SCHEDULE:
A. Seeding/hydromulching - Bermudagrass: Complete only between May 1 to August 31 under favorable conditions. (warm season)
B. Seeding/hydromulching - Perennial Ryegrass: Complete only between September 1 to April 30, except at front of project, as determined by owner, under favorable climatic conditions.
C. Sodding: Sod bermuda between March 15 and September 30. Between October 1 and March 14 overseed sod with Perennial ryegrass under favorable conditions. (Use nursery overseeded sod, in lieu of seeding after installation, if available.)
Qualifications: Due to unseasonable weather, the above dates may vary; however, do not proceed with grassing operations beyond these dates without assuming full responsibility for a stand of grass.
1.6 ACCEPTANCE: The work will be accepted when a completed, undamaged stand of grass is achieved, as approved by the Owner's Representative.

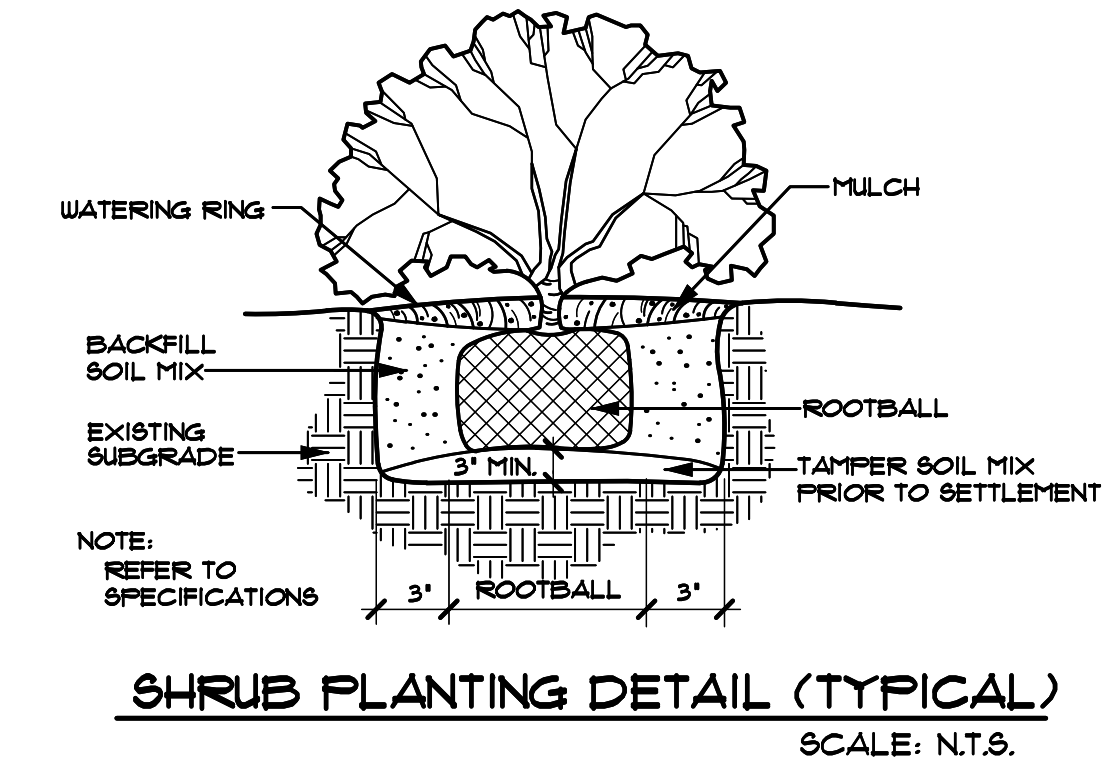
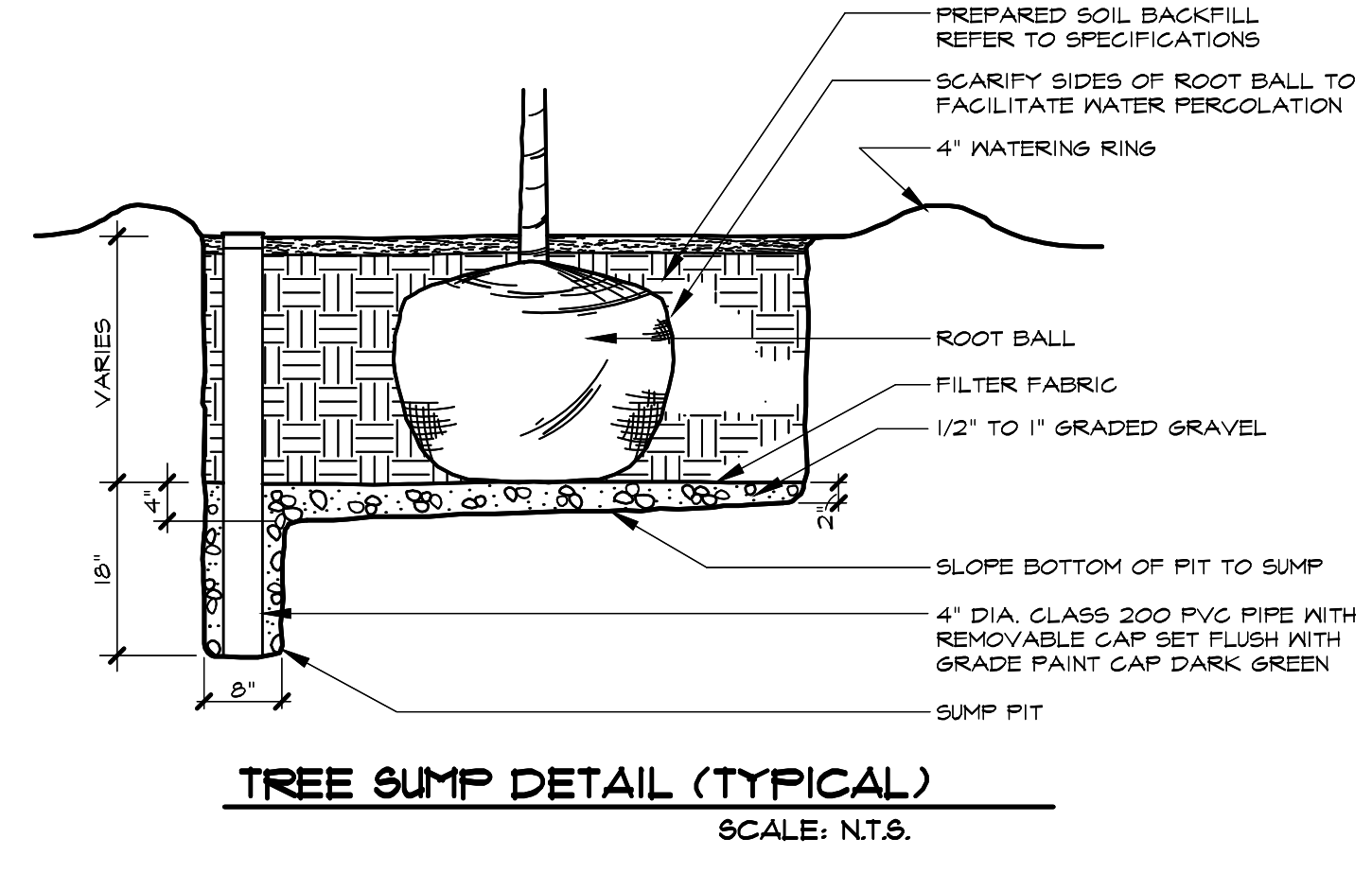
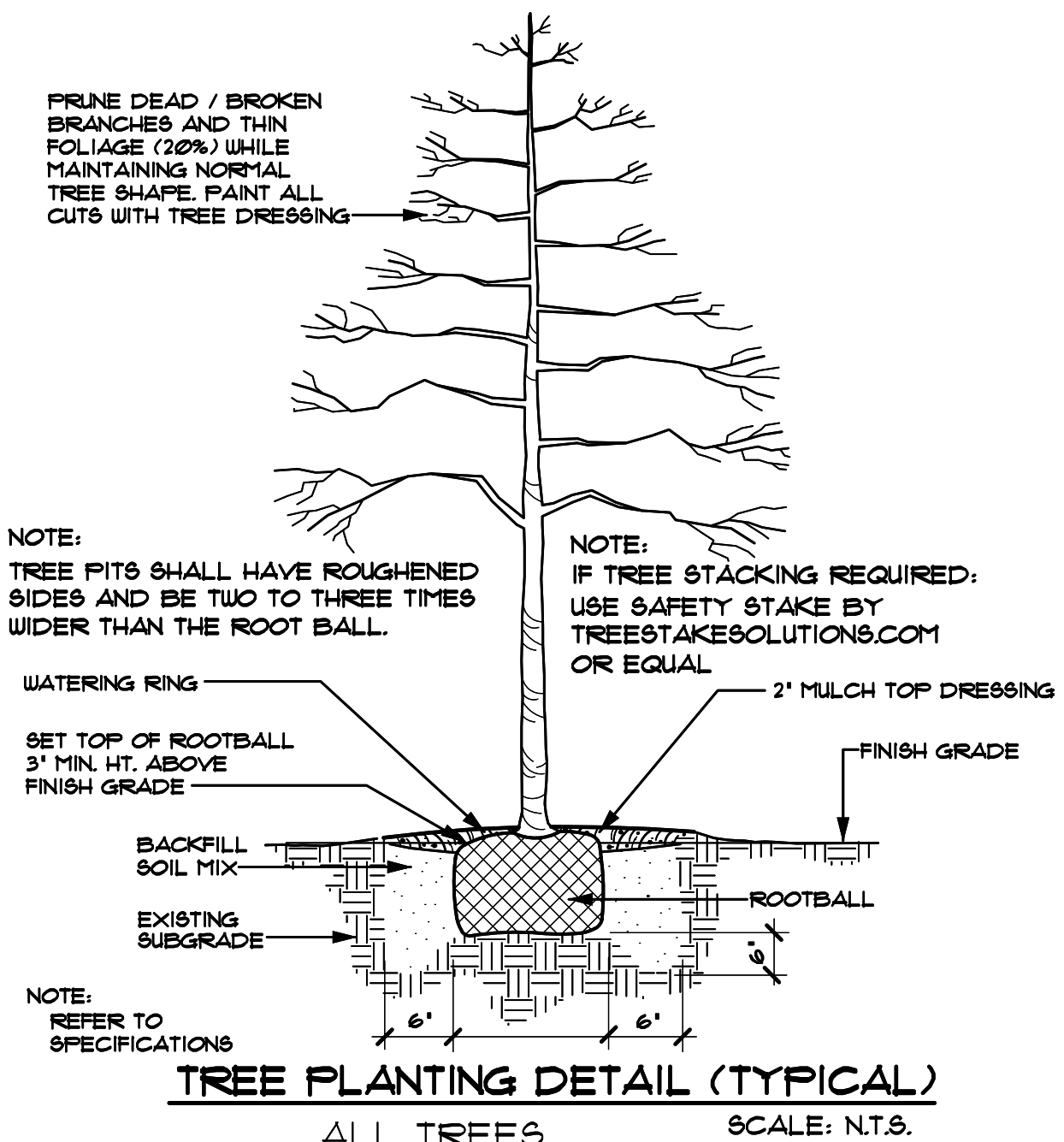
PART 2 - MATERIALS

- 2.1 TOPSOIL:
A. (If specified on the plans as a requirement) Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Topsoil containing dallisgrass or nutgrass shall be rejected.
B. Physical properties as follows:
Clay - between 7-21 percent
Silt - between 20-50 percent
Sand - less than 52 percent
2.2 GRASS:
A. Bermuda Grass: Extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 40 percent.
B. "Rough" St. Augustine Grass: Solid Sod, live, rich, dark green in color, free of foreign grasses, weeds, nutgrass, cut with a full 3/4 inch of heavy clay covering roots. Deliver to site in 12 inch squares or 12 inch wide rolls. Do not stack for more than 24 hours between time of cutting and time of delivery.
C. Annual Ryegrass: Extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 40 percent.
2.3 FERTILIZER: Fertilizer shall be organic base, uniform in composition, dry and free flowing. Deliver fertilizer to site in original, unopened containers, each bearing manufacturer's guaranteed statement of analysis.
A. First application: 12-12-12 element percentage with minimum 8% sulfur and 4% iron, plus micro nutrients.
B. Second application: 9-1-2 element ratio. Nitrogen source to be a minimum 50% slow release organic nitrogen (SCU or UF) plus minimum 8% sulfur and 4% iron plus micro nutrients.

PART 3 - EXECUTION

- 3.1 PREPARATION:
A. Scarify lawn areas where excessive compaction is greater than 25% Standard Proctor to a depth of 4-inches by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
B. Leave areas free of weeds and ready for final grading.
C. Provide barricades around scarified areas to prevent compaction by construction vehicles.
3.2 FINAL GRADING:
A. Remove from site and legally dispose of stones 3/4-inch and larger, sticks and other debris exposed during this operation.
B. Provide final grading leaving surface uniform without depressions and undulations, graded approximately 1-inch below paving.
C. Secure approval from the Landscape Architect prior to proceeding with grassing operation.
3.3 HERBICIDE: Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed applicator following the manufacturer's recommendations.
3.4 FERTILIZER:
A. Place first application with hydromulch at rate of 12 pounds per 1,000 square feet.
B. Uniformly distribute second application using a rotary type fertilizer spreader 3-4 weeks after first application at 12 pounds per 1,000 square feet.
3.5 HYDROMULCH/SEEDING:
A. At the time of hydromulch/seeding, soil shall be moist but not muddy and wind velocity shall not exceed ten (10) miles per hour. Add water if required to moisten soil.
B. Hydromulch seed uniformly at the rate of 2 pounds of Bermudagrass seed per 1,000 square feet.
C. Add tackifier to hydromulch mix for slopes 5:1 or greater at the rate of 1 lb. per bag of mulch.
D. Use a 4' x 8' batter board against bed areas.
3.6 MECHANICAL SEEDING: Seed uniformly at a rate of 125 pounds of Bermudagrass seed per acre or 250 pounds of Ryegrass per acre. Use grass drill, brilliant seeder, or viking roller.
3.7 SOLID SOD:
A. Solid Sod: Plant grass by hand, edge to edge with staggered joints. Topdress with sharp sand raked in carefully to fill joints. Roll to eliminate undulations and provide complete soil contact.
B. Fertilizing: Fertilize immediately after grass is planted at rate of 4 lbs per 1,000 square foot. Repeat fertilizing at the same rate 3-4 weeks later.
3.8 ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:
A. Watering:
1. Water lawn areas immediately after grassing operation.
2. Continue watering as required to keep soil uniformly moist to a minimum depth of 4-inches.
3. Be alert to over-watering newly planted grass, particularly in heavy clay soils.
B. Replanting/Erosion Control:
1. Correct any erosion that may occur during the establishment of grass.
2. Reseed (sod) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (sodding) until a stand of grass is achieved.
3. A stand of grass will be defined as a uniform cover of actively growing turf.
C. Mowing/Weed Control:
1. Mow lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches; set mower to cut at 2-inches. A minimum of two mowings is required.
2. Weed lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved, herbicide spot treatments may be used.
3.9 CLEANUP: During work, keep premises neat and orderly, including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

END OF LAWN SECTION

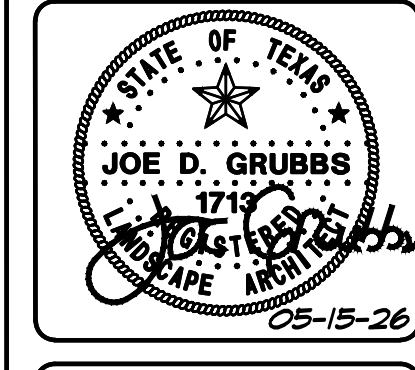


APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2025.
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.
Planning & Zoning Commission, Chairman Director of Planning and Zoning

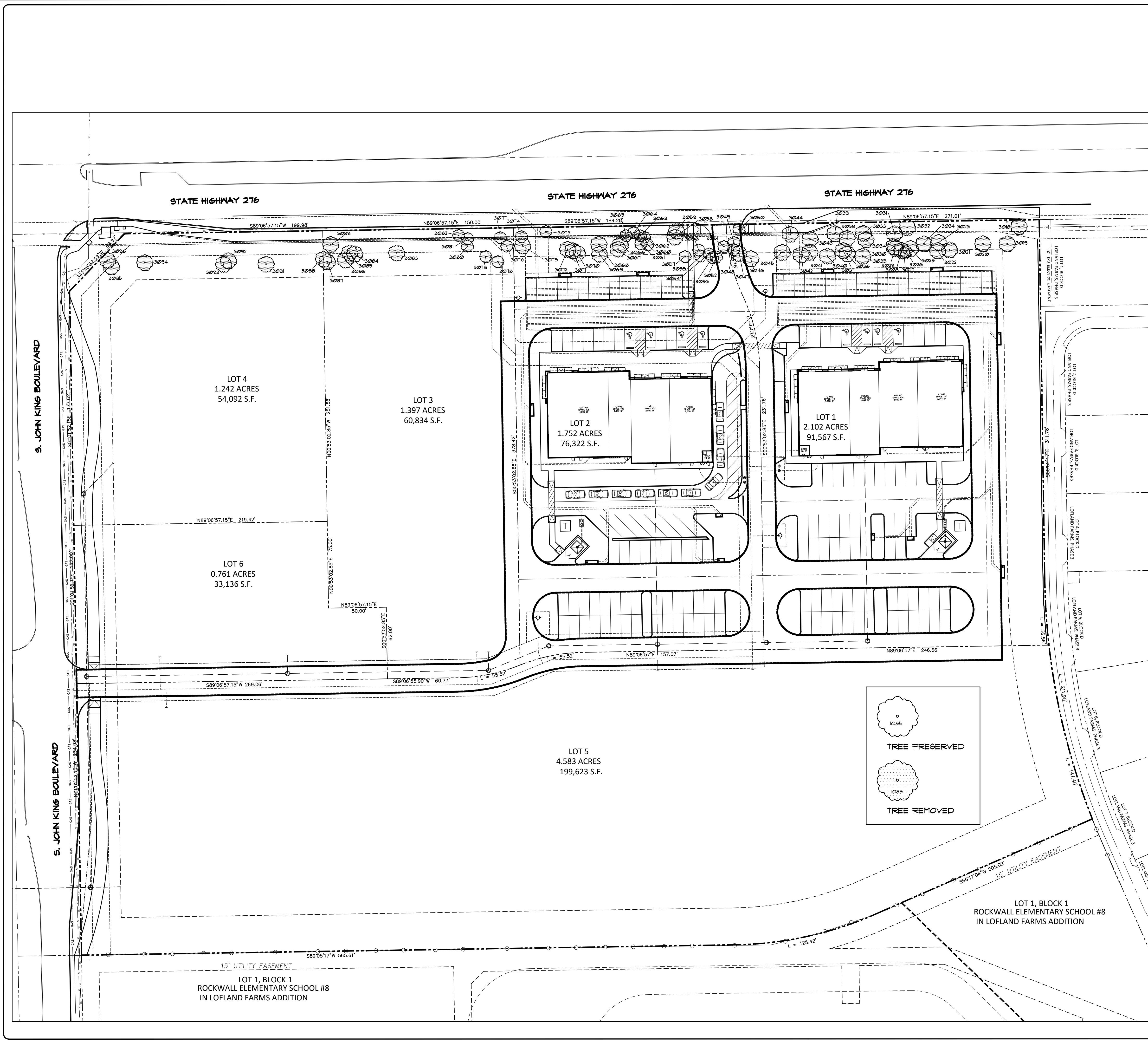
Table with 2 columns: Revisions, Date. Includes a revision log table.

Issued For: CONSTRUCTION
Job No. 26105
Scale N.T.S.
Drawn By: JDG
Date 05-15-2026

Rockwall Neighborhood Shops
Slate Land & Development
Rockwall Texas



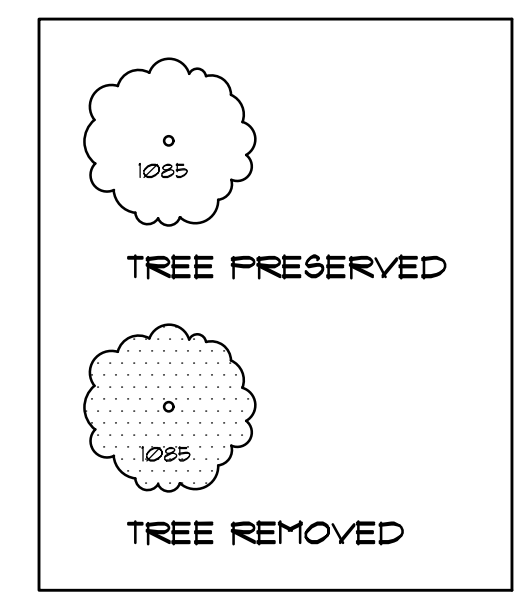
Sheet Title: Landscape Specifications
Sheet Number: L3 of L3 Sheets



SITE DATA TABLE		
	LOT 1	LOT 2
LOT SIZE	2.102 ACRES 91,567 SF	1.752 ACRES 76,322 SF
USE / BUILDING AREA		
RETAIL	2,170 SF - 20.3%	6,500 SF - 60.9%
RESTAURANT (FS)	8,501 SF - 79.7%	4,171 SF - 39.1%
MEDICAL OFFICE	SF - 0%	SF - 0%
TOTAL	10,671 SF	10,671 SF
REQUIRED PARKING		
RETAIL (1 PER 250 S.F.)	9 SPACES	26 SPACES
RESTAURANT (FS) (1 PER 100 S.F.)	86 SPACES	42 SPACES
MEDICAL OFFICE (1 PER 200 S.F.)	0 SPACES	0 SPACES
TOTAL	95 SPACES	68 SPACES
PARKING PROVIDED		
HANDICAP REQUIRED	4 SPACES	4 SPACES
HANDICAP PROVIDED	4 SPACES	4 SPACES
LANDSCAPE COVERAGE	29,842 SF - 32.6%	15,261 SF - 20%

\* PARKING PROVIDED TOTAL INCLUDES HC PARKING

TREE ID NO.	TREE TYPE	TREE SIZE	TREE ID NO.	TREE TYPE	TREE SIZE
3018	CEDAR	14' HT.	3051	CEDAR	12' HT.
3019	CEDAR	14' HT.	3052	CEDAR	14' HT.
3020	CEDAR	18' HT.	3053	CEDAR	14' HT.
3021	CEDAR	12' HT.	3054	CEDAR	12' HT.
3022	CEDAR	12' HT.	3055	CEDAR	12' HT.
3023	CEDAR	14' HT.	3056	CEDAR	12' HT.
3024	CEDAR	14' HT.	3057	CEDAR	14' HT.
3025	CEDAR	18' HT.	3058	CEDAR	14' HT.
3026	CEDAR	12' HT.	3059	CEDAR	14' HT.
3027	CEDAR	12' HT.	3060	CEDAR	14' HT.
3028	CEDAR	14' HT.	3061	CEDAR	18' HT.
3029	CEDAR	12' HT.	3062	CEDAR	16' HT.
3030	CEDAR	12' HT.	3063	CEDAR	16' HT.
3031	CEDAR	14' HT.	3064	CEDAR	12' HT.
3032	CEDAR	14' HT.	3065	CEDAR	14' HT.
3033	CEDAR	12' HT.	3066	CEDAR	14' HT.
3034	CEDAR	12' HT.	3067	CEDAR	18' HT.
3035	CEDAR	14' HT.	3068	CEDAR	16' HT.
3036	CEDAR	14' HT.	3069	CEDAR	14' HT.
3037	CEDAR	12' HT.	3070	CEDAR	18' HT.
3038	CEDAR	12' HT.	3071	CEDAR	16' HT.
3039	CEDAR	12' HT.	3072	CEDAR	16' HT.
3040	CEDAR	12' HT.	3073	CEDAR	16' HT.
3041	CEDAR	20' HT.	3074	CEDAR	12' HT.
3042	CEDAR	18' HT.	3075	CEDAR	16' HT.
3043	CEDAR	12' HT.	3076	CEDAR	14' HT.
3044	CEDAR	12' HT.	3077	CEDAR	12' HT.
3045	CEDAR	12' HT.	3078	CEDAR	14' HT.
3046	CEDAR	14' HT.	3079	CEDAR	12' HT.
3047	CEDAR	14' HT.	3080	CEDAR	14' HT.
3048	CEDAR	12' HT.	3081	CEDAR	16' HT.
3049	CEDAR	12' HT.	3082	CEDAR	12' HT.
3050	HACKBERRY	6	3083	CEDAR	16' HT.
3051	CEDAR	12' HT.	3084	CEDAR	14' HT.
3052	CEDAR	12' HT.	3085	CEDAR	12' HT.
3053	CEDAR	12' HT.	3086	CEDAR	12' HT.
3054	CEDAR	12' HT.	3087	CEDAR	12' HT.
3055	CEDAR	12' HT.	3088	CEDAR	14' HT.
3056	CEDAR	12' HT.	3089	CEDAR	14' HT.

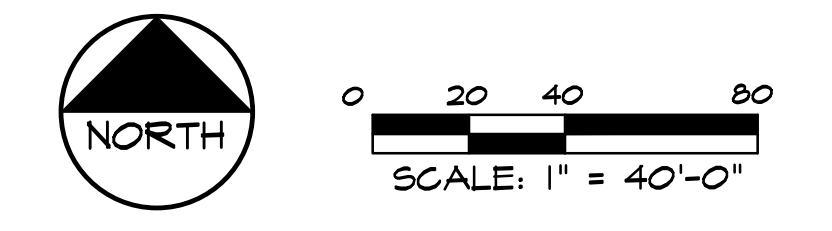


TOTAL MITIGATION REQUIRED 11 - 4' TREES

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2025.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



Date:	
Revisions:	
#	

Issued For:  
**CONSTRUCTION**

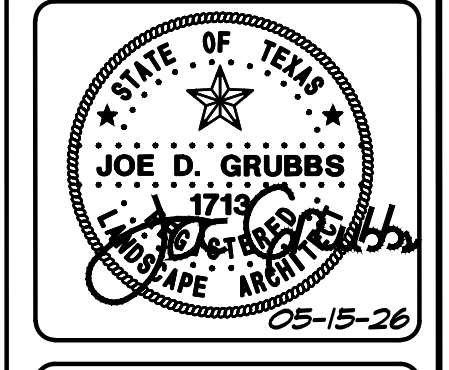
Job No.  
**26105**

Scale  
**1" = 40'-0"**

Drawn By:  
**JDG**

Date  
**05-15-2026**

**Rockwall Neighborhood Shops**  
Slate Land & Development  
Rockwall Texas



Sheet Title:  
**Treescape Plan**

Sheet Number:  
**TS1**  
of TS2 Sheets

Grubbs Design Group, P.L.L.C. - 403 South Tennessee Street - McKinney, Texas 75069 - Phone (972) 548-5020

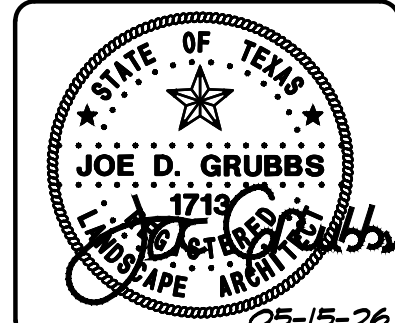
TREE ID NO.	TREE TYPE	TREE CAL. SIZE	PRESERVED OR REMOVED	TREE HEALTH	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
3018	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3019	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3020	CEDAR	18' HT.	REMOVED	4	N	N	N	4
3021	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3022	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3023	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3024	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3025	CEDAR	18' HT.	REMOVED	4	N	N	N	4
3026	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3027	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3028	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3029	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3030	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3031	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3032	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3033	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3034	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3035	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3036	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3037	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3038	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3039	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3040	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3041	CEDAR	20' HT.	REMOVED	4	N	N	N	4
3042	CEDAR	18' HT.	REMOVED	4	N	N	N	4
3043	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3044	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3045	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3046	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3047	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3048	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3049	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3050	HACKBERRY	6	REMOVED	4	N	N	N	0
3051	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3052	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3053	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3054	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3055	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3056	CEDAR	12' HT.	REMOVED	4	N	N	N	4
TOTAL COLUMN MITIGATION REQUIRED								38 - 4' TREES

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	PRESERVED OR REMOVED	TREE HEALTH	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
3057	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3058	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3059	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3060	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3061	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3062	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3063	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3064	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3065	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3066	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3067	CEDAR	18' HT.	REMOVED	4	N	N	N	4
3068	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3069	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3070	CEDAR	18' HT.	REMOVED	4	N	N	N	4
3071	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3072	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3073	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3074	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3075	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3076	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3077	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3078	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3079	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3080	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3081	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3082	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3083	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3084	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3085	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3086	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3087	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3088	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3089	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3091	CEDAR	16' HT.	REMOVED	4	N	N	N	4
3092	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3093	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3094	CEDAR	14' HT.	REMOVED	4	N	N	N	4
3095	CEDAR	12' HT.	REMOVED	4	N	N	N	4
3096	CEDAR	14' HT.	REMOVED	4	N	N	N	4
TOTAL COLUMN MITIGATION REQUIRED								39 - 4' TREES

Date:	
Revisions:	
#	

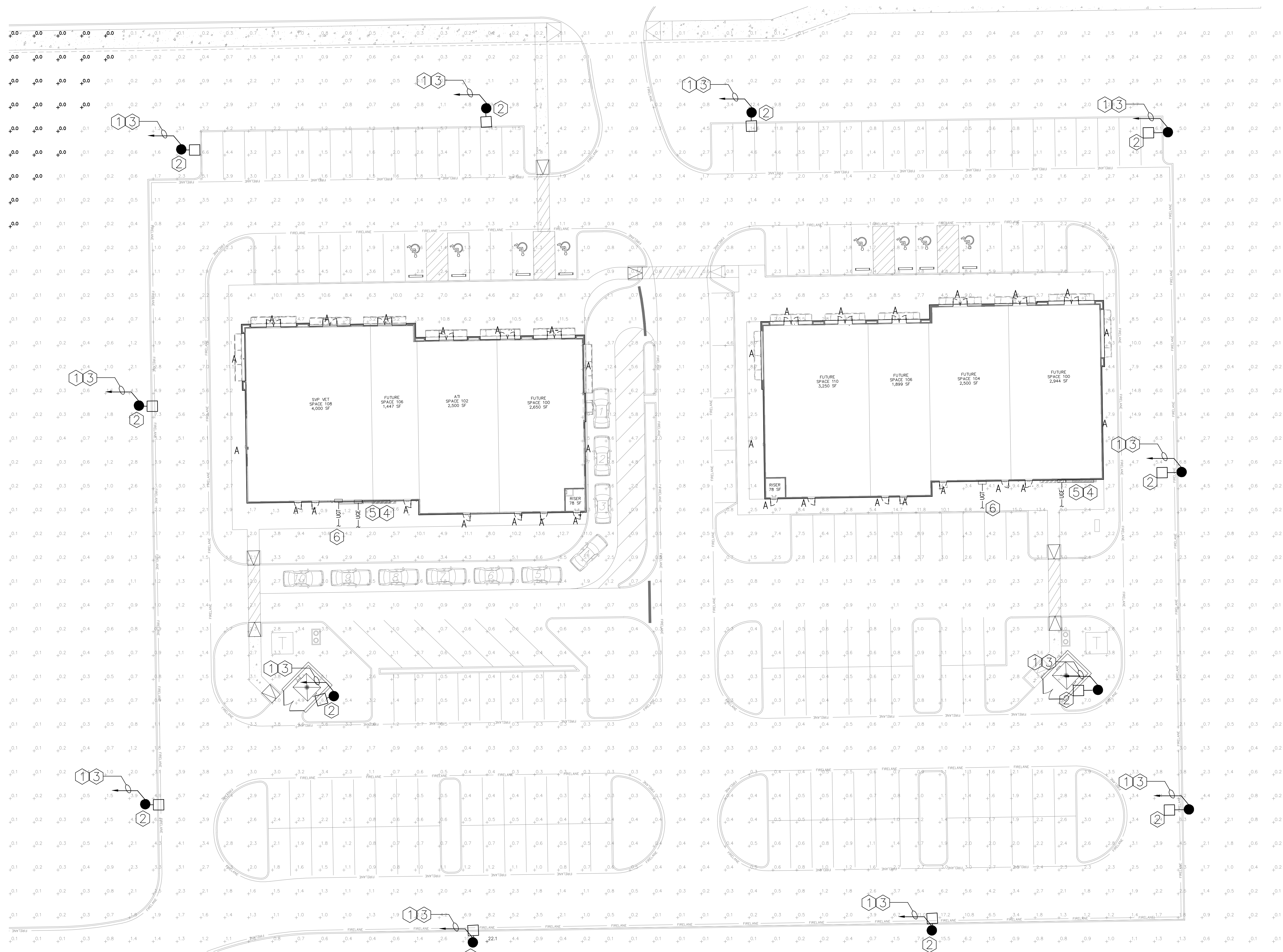
Issued For:  
CONSTRUCTION  
Job No.  
26105  
Scale  
Drawn By:  
JDG  
Date  
05-15-2026

**Rockwall Neighborhood Shops**  
Slate Land & Development  
Rockwall Texas

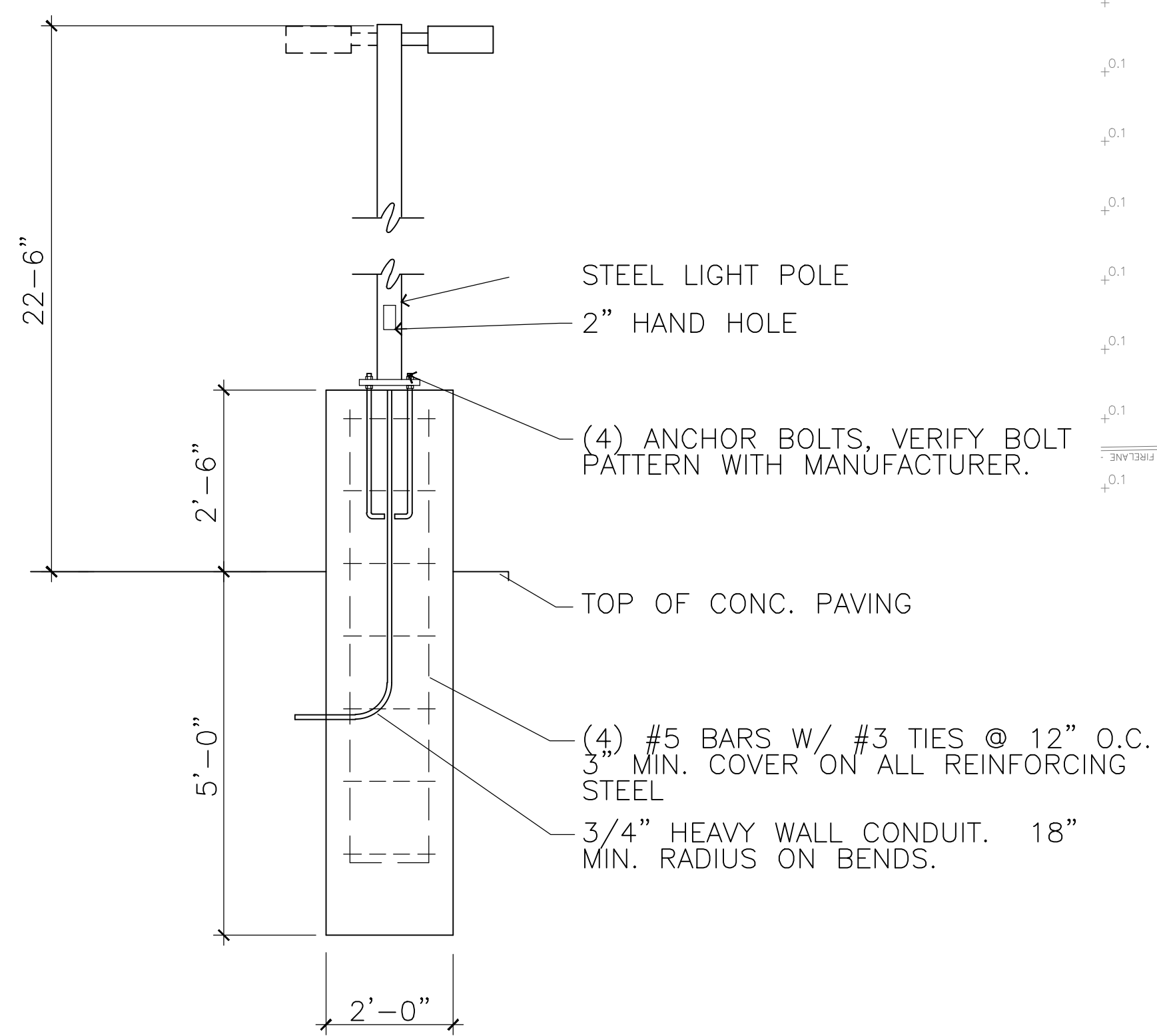


Sheet Title:  
**Treescape Plan**  
Sheet Number:  
**TS2**  
of TS2 Sheets

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2025.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



- NOTES BY SYMBOL**
- ① 1" CONDUIT W/(2) # 10 CU AND (1) # 10 CU GROUND. ( TYP FOR ENTIRE CIRCUIT)
  - ② POLE MOUNTED LED LIGHT FIXTURE - PROVIDE WITH 20 FT. SQUARE STEEL POLE - SEE LIGHT FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION. ALL POLES AND FIXTURES TO BE BLACK.
  - ③ CIRCUIT ALL EXTERIOR LIGHTING AND SIGNS THROUGH PHOTOCELL-TIMECLOCK CONTROL. SEE DETAIL ON SHEET E2.0.
  - ④ ELECTRICAL SERVICE ENTRANCE EQUIPMENT. SEE ELECTRICAL SERVICE RISER FOR ADDITIONAL INFORMATION.
  - ⑤ NEW 120/208V , 3 PHASE ELECTRICAL SERVICE FROM POWER COMPANY TRANSFORMER - SEE CIVIL UTILITY PLAN FOR CONTINUATION. CONTRACTOR MUST VERIFY TRANSFORMER LOCATION. SEE ELECTRICAL SERVICE RISER FOR ADDITIONAL INFORMATION.
  - ⑥ TELEPHONE DEMARK LOCATION . 3" SCHEDULE 40 PVC CONDUIT TO TELEPHONE COMPANY PEDESTAL. CONTRACTOR SHALL PROVIDE PULL STRING . VERIFY LOCATION IN FIELD.



**01 SITE LIGHTING AND POWER PLAN**  
SCALE: 1"=30'-0"

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	21.6 fc	0.0 fc	N/A	N/A

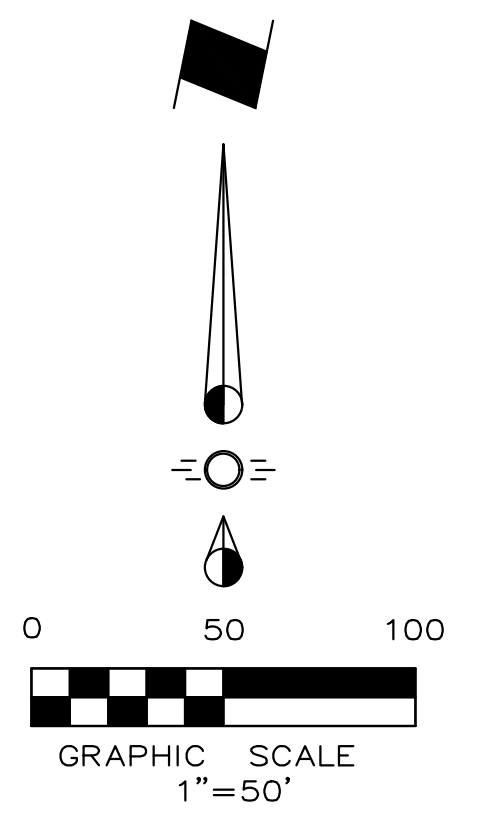
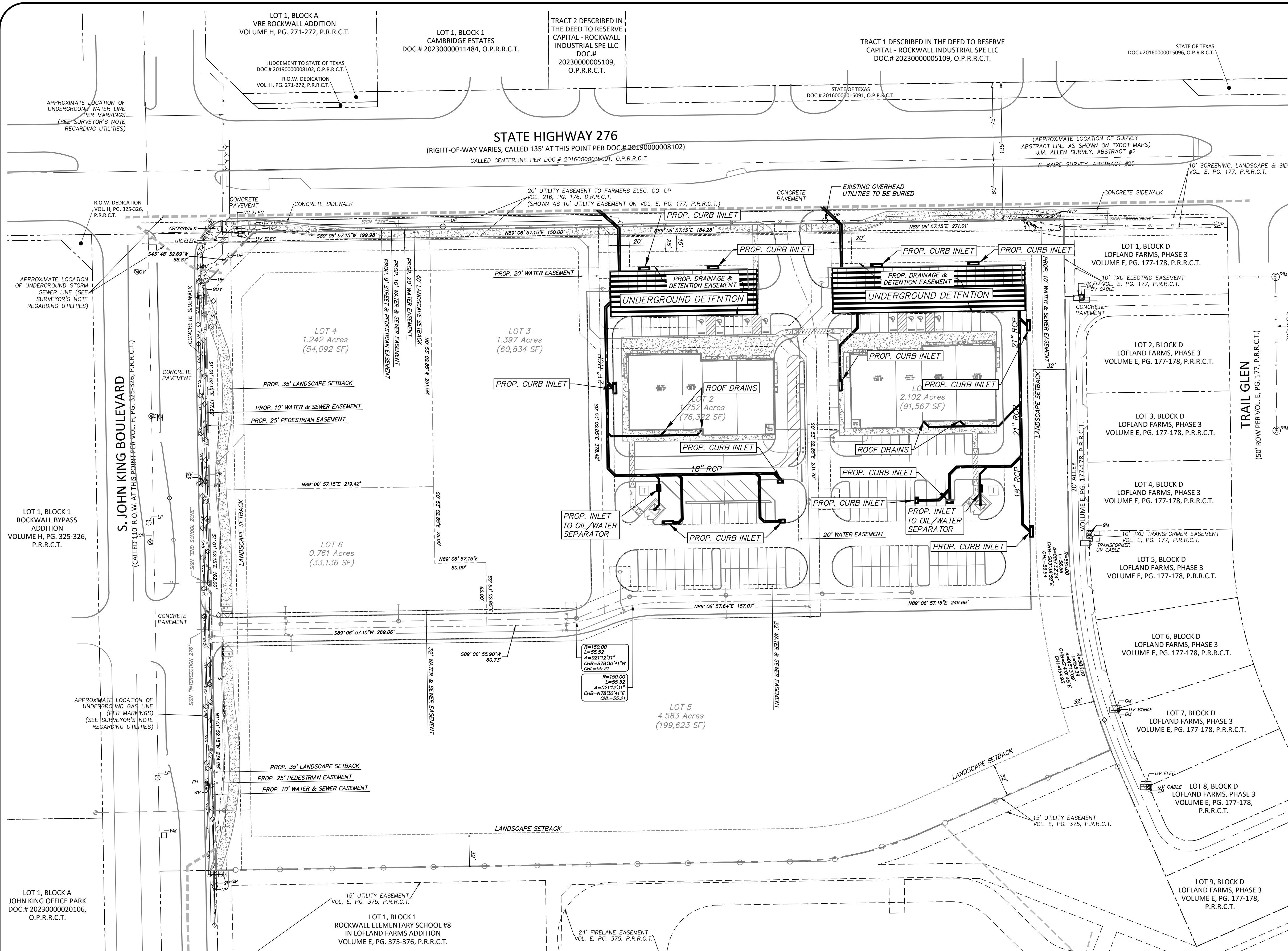
Schedule

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
□	A	34	SEE E1.0	SEE E1.0		1		4124	1	29,4252
□	B	12	DSX2 LED P3 40K 80CRI T3M	D-Series Size 2 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 3 Medium		1	DSX2_LED_P3_40K_80CRI_T3M_HS_EGS_@FRONT.t.ies	26996	1	219.4

**02 POLE BASE DETAIL**  
SCALE: NO SCALE

DRAWING ISSUE & REVISION LOG

PROJECT NAME	PROJECT NUMBER	DATE	DESCRIPTION
MT SHELL BUILDING 1	JAN 25-031		
MIXED USE SITE DEVELOPMENT (RETI/RESTAURANT)			
PROJECT ADDRESS:			
PROJECT DESCRIPTION:			
REV 01 04/24/2026	PERMIT SET-AMPS		
REV 02 05/08/2026	CLIENT COMMENTS		
	COORDINATION WITH CIVIL		



**GENERAL/DRAINAGE NOTES**

1. All materials and construction shall be in accordance with City Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
2. Existing utilities are shown schematically and are for the contractor's guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities.
3. The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
4. All storm sewer pipe 18" and larger shall be Class III RCP unless otherwise noted. All storm sewer pipe 15" and smaller shall be PVC drainage pipe or approved equal, unless otherwise noted (RCP only under fire lanes).
5. Contractor shall be responsible for maintaining trench safety requirements in accordance with the latest standards of O.S.H.A. or any other agency having jurisdiction for excavation and trenching procedures. Contractor shall provide and implement a trench safety plan complying with O.S.H.A.
6. All RCP pipe joints shall have Ram-Neck joint sealer, in the absence of a City Standard for joint sealer.
7. All roof drain laterals shall be 0.50% min. slope.

**Note:**  
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.

**STOP!**  
**CALL BEFORE YOU DIG**



(@ least 72 hours prior to digging)

Issue Date	Description
1 05/15/2026	Site Plan Submittal
2	
3	
4	
5	
6	

**CROSS**  
ENGINEERING CONSULTANTS

1720 W. Virginia Street • McKinney, Texas 75069  
972.562.4409 • Texas P.E. Firm No. F-935

PRELIMINARY STORM PLAN

ROCKWALL NEIGHBORHOOD SHOPS

SLATE LAND & DEVELOPMENT CO.

CITY OF ROCKWALL, TEXAS

Sheet No. \_\_\_\_\_

Project No. 25086

05/15/2026

ROCKWALL NEIGHBORHOOD SHOPS