



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ FINAL PLAT (\$500.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$500.00 + \$20.00 ACRE) ^{1&3}
- ☐ AMENDING OR MINOR PLAT (\$500.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$200.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$1,000.00 + \$20.00 ACRE) ^{1&2}
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$500.00) ²

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$200.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [RESIDENTIAL] (\$200.00) ²
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS [COMMERCIAL] (\$1,000.00) ²

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$1,000.00 + \$20.00 ACRE) ^{1&3}
- ☐ SPECIFIC USE PERMIT [RESIDENTIAL] (\$200.00 + \$20.00 ACRE) ^{1,2&3}
- ☐ SPECIFIC USE PERMIT [COMMERCIAL] (\$1,000.00 + \$20.00 ACRE) ^{1,2&3}
- ☐ PLANNED DEVELOPMENT DISTRICT (\$1,500.00 + \$20.00 ACRE) ^{1&3}
- ☐ PD DEVELOPMENT PLANS (\$1,500.00 + \$20.00 ACRE) ^{1&3}

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$2,500.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

³ AN ADDITIONAL FEE OF \$150.00 WILL BE REQUIRED FOR THE COST OF NOTIFICATIONS.

GENERAL NOTE: THE CITY OF ROCKWALL PLANNING AND ZONING DEPARTMENT ACCEPTS PAYMENT BY CHECK ONLY, EITHER IN PERSON OR BY MAIL. THE CITY OF ROCKWALL WILL NEVER REQUEST PAYMENT BY WIRE TRANSFER THROUGH EMAIL.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 706 S. Clark Street

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Ethan Kaufmann

☐ APPLICANT

CONTACT PERSON

Ethan Kaufmann

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ethan Kaufmann [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 529.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF July 2020 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

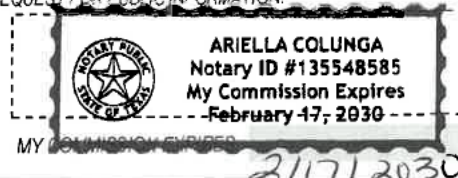
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF July 2020

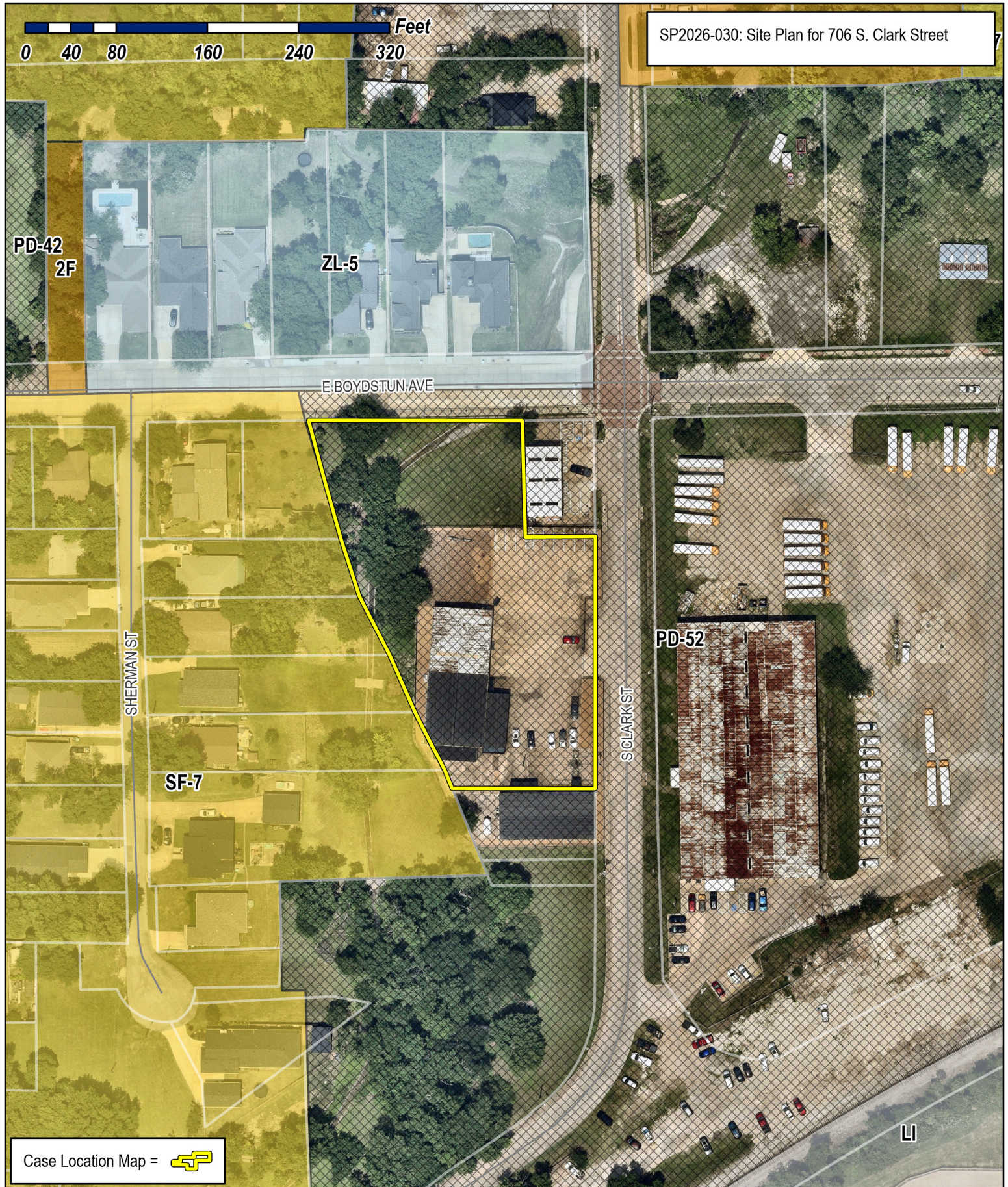
OWNER'S SIGNATURE

Ethan Kaufmann

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Ariella Colunga





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Goldie's Coffee Company

Proposal for the City of Rockwall, Texas

Executive Summary

Goldie's Coffee Company respectfully submits this proposal in support of its site plan application. Goldie's is envisioned as a boutique coffee destination operating from a beautifully restored vintage Airstream trailer, providing premium organic coffee and cold pressed juices, exceptional customer service, and an inviting outdoor gathering space that complements the character of Rockwall.

Business Overview

Goldie's Coffee Company will serve organic coffee, handcrafted espresso beverages, cold brew, teas, pastries, seasonal drinks, and cold-pressed juices from a permanent Airstream installation - on a covered foundation.

Vision

To become one of Rockwall's most recognizable community gathering places by combining exceptional coffee with outstanding hospitality.

Mission

To create a welcoming destination where residents and visitors can enjoy premium beverages in a thoughtfully designed environment that reflects the charm of Rockwall.

Community Benefits

The project will create local jobs, generate sales tax revenue, improve the property, encourage pedestrian activity, support nearby businesses, and participate in community events and charitable partnerships.

Project Description

The development includes a restored Airstream coffee trailer, permanent utilities, ADA-accessible walkways, landscaped outdoor seating, decorative lighting, quality signage, and attractive architectural finishes.

Architectural Character

The design features a polished vintage Airstream with classic illuminated Goldie's signage, black and natural wood accents, string lighting, attractive landscaping, and inviting outdoor seating.

Operations

Goldie's will operate in compliance with all City, County, and State health, food service, fire, and safety requirements while emphasizing efficient customer service and site maintenance.

Commitment to Quality

Daily maintenance, landscaping, cleanliness, lighting upkeep, and property improvements will ensure a high-quality appearance year-round.

Economic Impact

Goldie's represents a long-term private investment that will create employment opportunities, strengthen local commerce, and contribute positively to the Rockwall economy.

Conclusion

Goldie's Coffee Company respectfully requests approval of the accompanying site plan. Our goal is to create a beautiful, community-focused destination that enhances Rockwall while providing residents and visitors with an exceptional local coffee experience.

Respectfully Submitted,

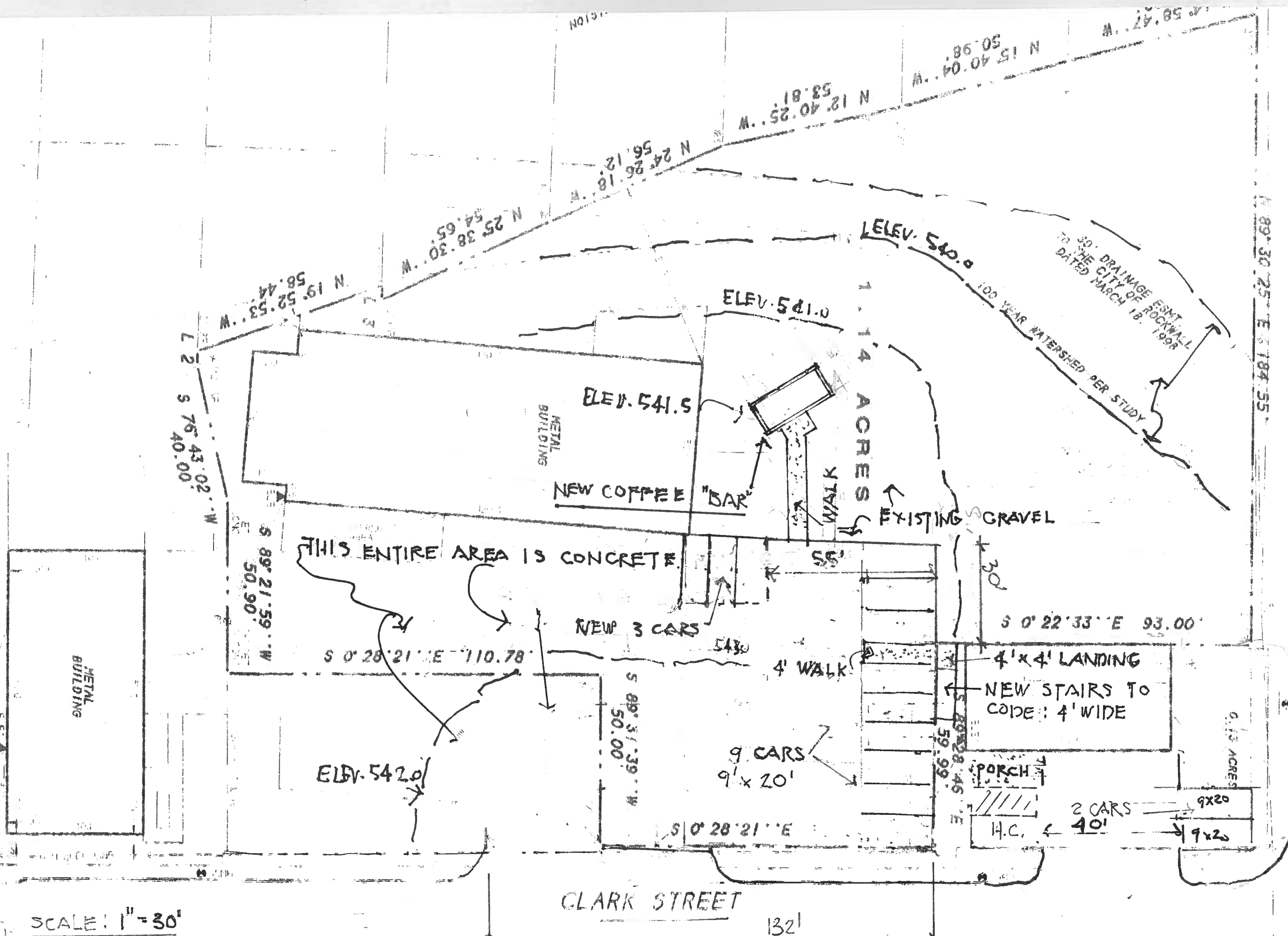
Ethan Kaufmann

Goldie's Coffee Company

BOYDSTON STREET

EXISTING CURB & SIDEWALK

NO ACRES

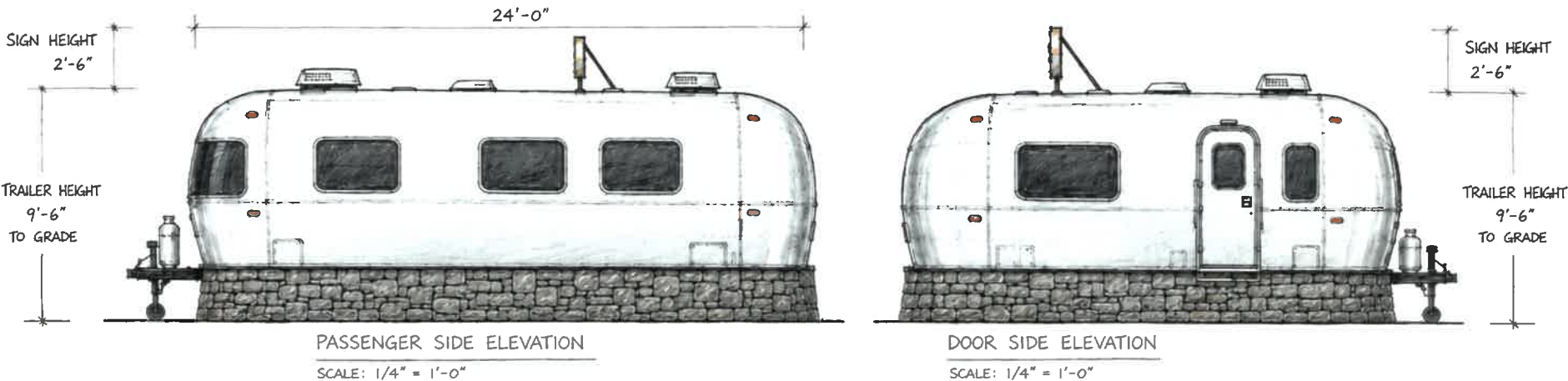


NOTE: ENTIRE PROPERTY IS PAVED IN CONCRETE -

SITE PLAN

7/1/26

PREPARED BY: RAMSAY ARCHITECTURE



MATERIALS / FINISHES  POLISHED ALUMINUM  STONE SKIRT  WOOD ACCENT (SERVICE WINDOW INTERIOR)  BLACK METAL  MARQUEE LIGHTS	NOTES: • AIRSTREAM 24' CLASSIC TRAILER • ROOFTOP SIGN: "GOLDIE'S" WITH MARQUEE LIGHTS • STONE SKIRT TO CONCEAL WHEELS AND UNDERCARRIAGE • SERVICE WINDOW WITH AWNING • EXTERIOR LIGHTING AND SITE AMENITIES NOT SHOWN • ALL DIMENSIONS ARE APPROXIMATE	GOLDIE'S AIRSTREAM COFFEE TRAILER ELEVATION SITE PLAN	DATE: JULY 17TH, 2026 SCALE: 1/4" = 1'-0" DRAWN BY: GOLDIE'S DESIGN
---	--	--	--

A photograph of Goldie's Coffee Co. featuring a large mural on a black wall that reads "welcome to ROCKWALL" with a Texas state outline and an armadillo sculpture. To the right is a silver Airstream trailer with a menu board and a sign that says "Goldie's COFFEE CO.". The outdoor seating area has tables, chairs, and string lights.

ROCKWALL



COFFEE CO

COFFEE

DEAF	1.00
ESPRESSO	2.50
AUSTRALIAN	1.50
LATTE	4.00
CAPPUCCINO	4.50
MOCHA	4.50
CHOCOLATE	4.50
FRUIT LATTE	4.50
CHOCOLATE	4.50
HOT CHOCOLATE	4.50
TEA	2.00
THANK YOU	

COFFEE
MADE
BETTER

