



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

709 Forest Trace

SUBDIVISION

High Ridge Estates

LOT

13

BLOCK

A

GENERAL LOCATION

S Goliad & Boydston

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

SF-10

CURRENT USE

VACANT

PROPOSED ZONING

SF-10

PROPOSED USE

New Home Construction

ACREAGE

.248

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON

Manuel Tijerina

CONTACT PERSON

Otilio Posadas

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30th DAY OF JANUARY, 2020 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

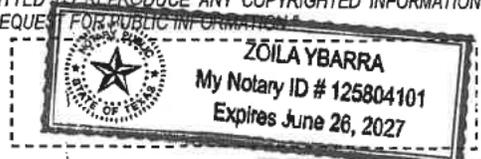
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30 DAY OF January, 2020

OWNER'S SIGNATURE

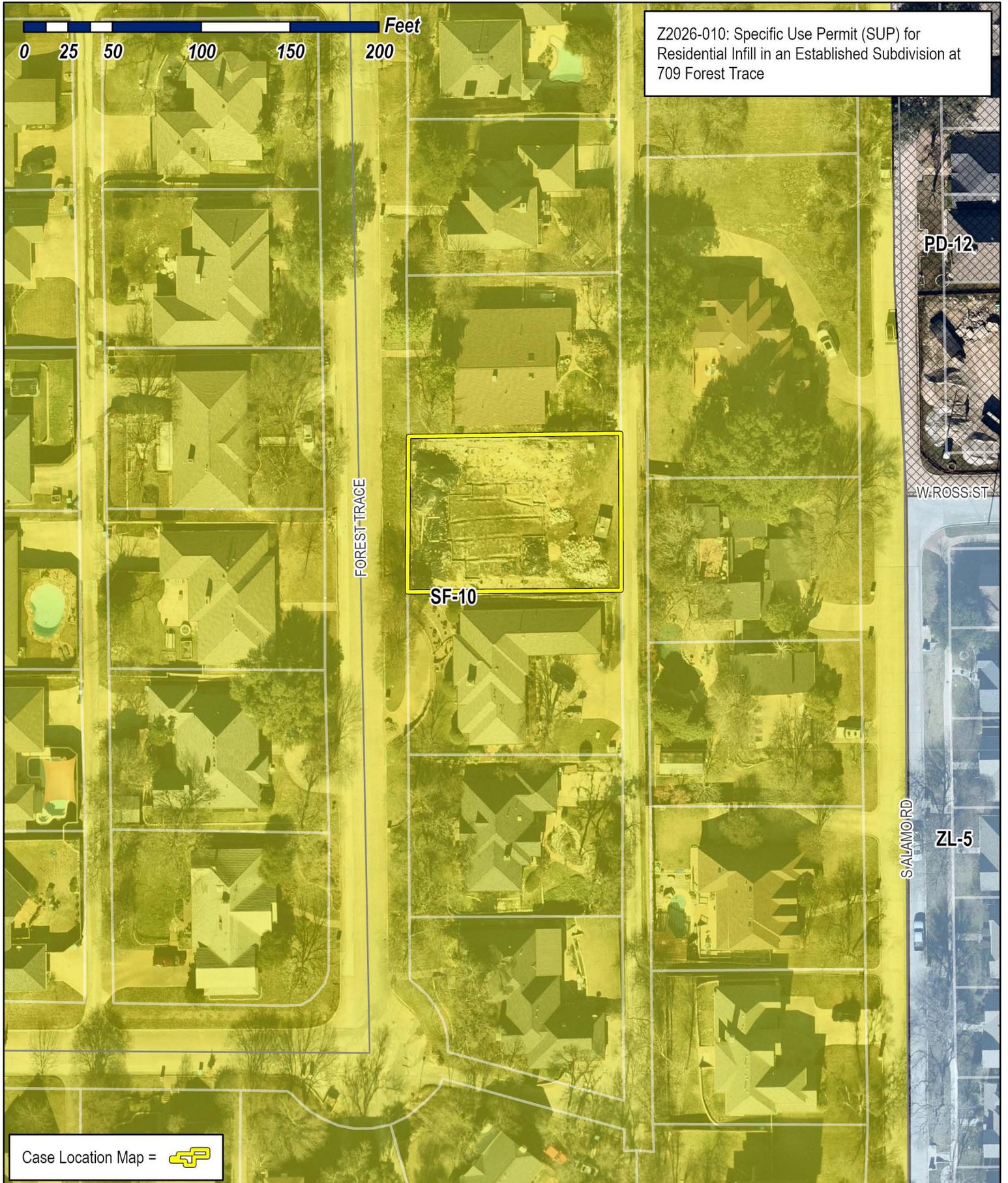
Manuel Tijerina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Zoila Ybarra



MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

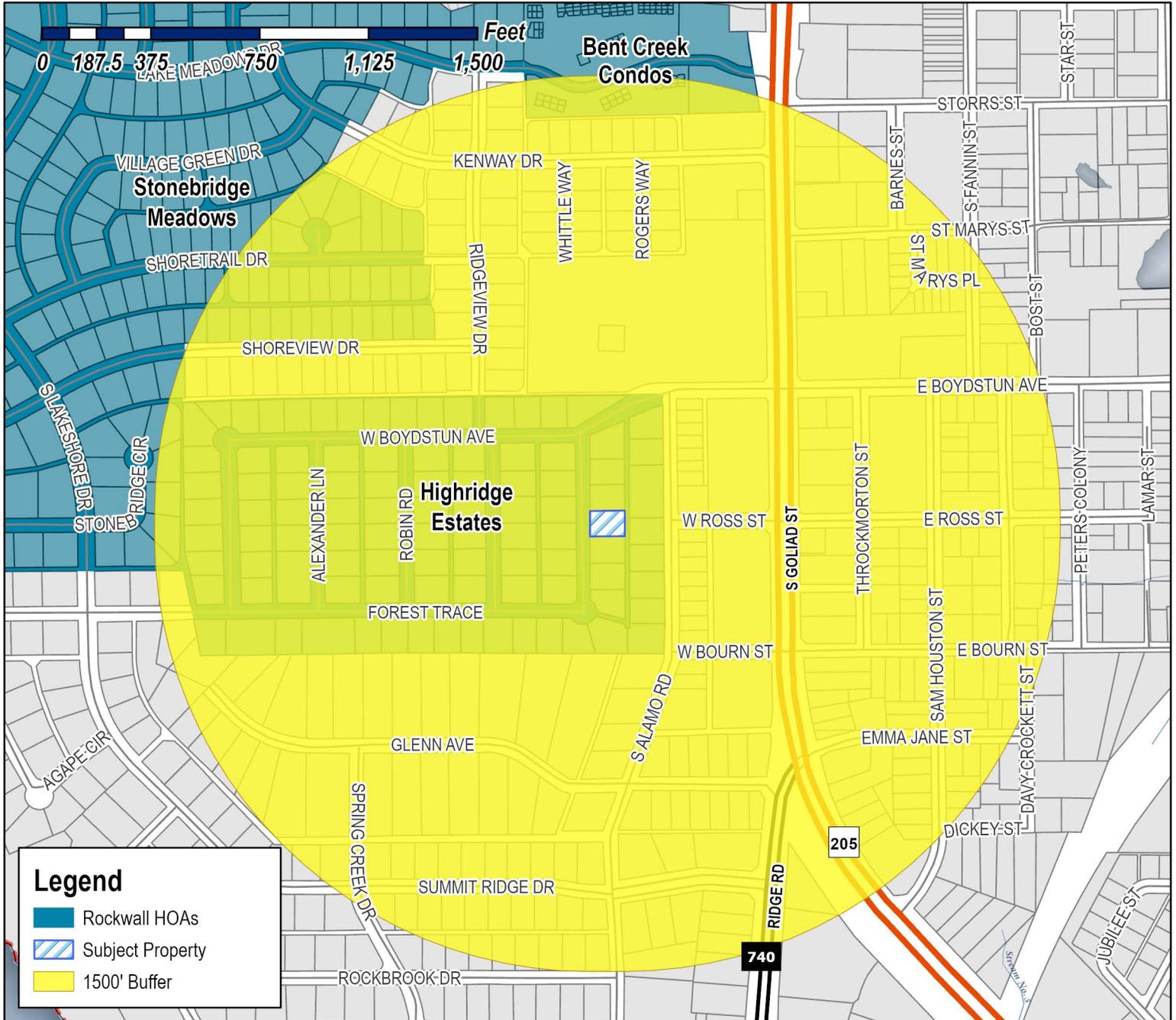




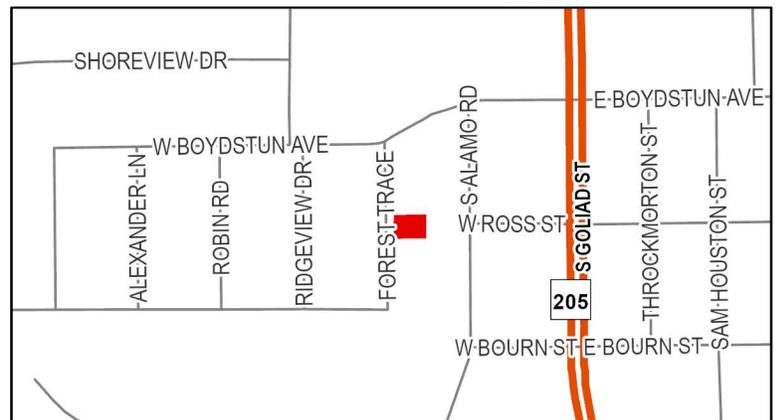
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2026-010
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 709 Forest Trace



Date Saved: 2/13/2026

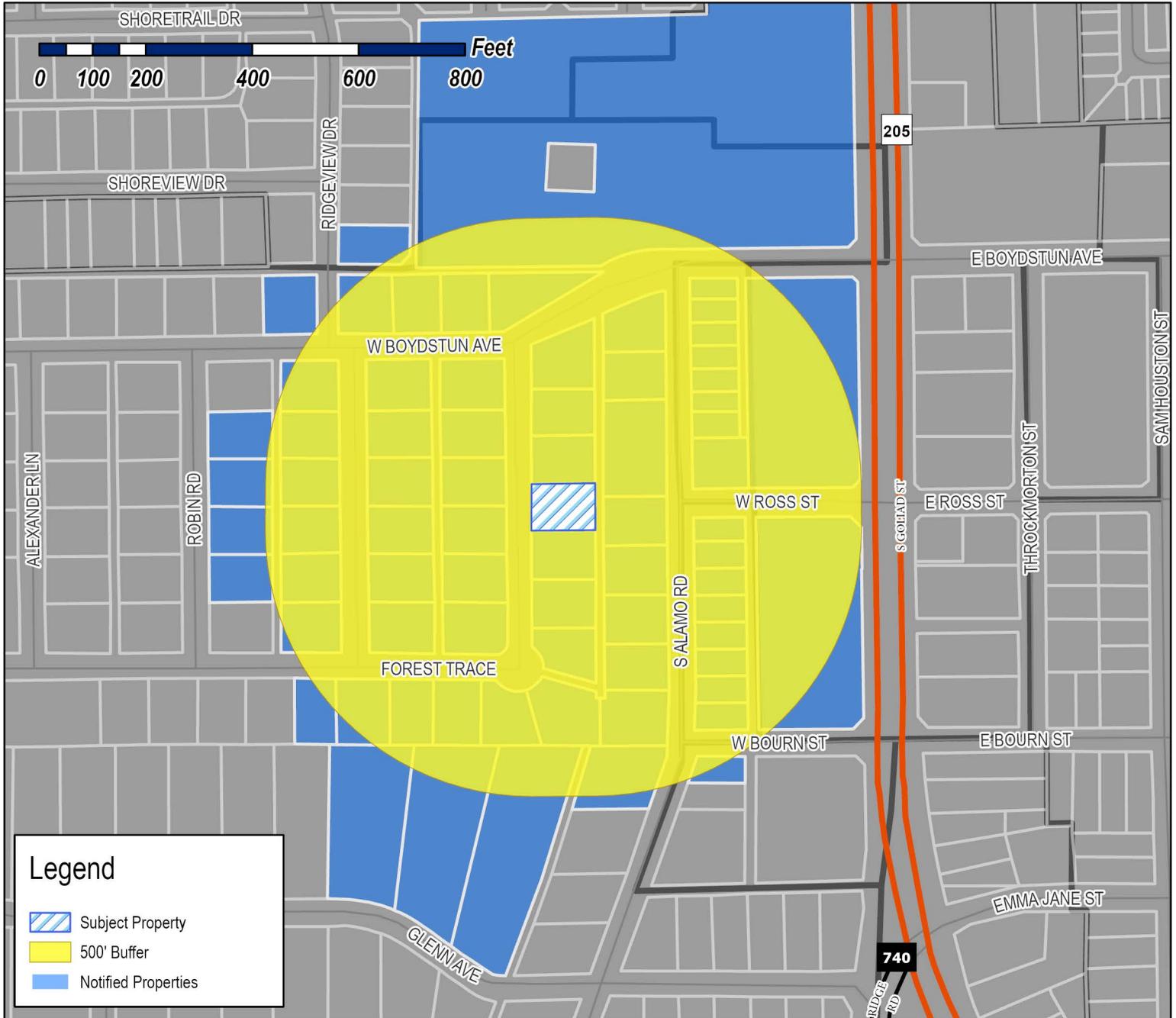
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2026-010
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 709 Forest Trace

Date Saved: 2/13/2026

For Questions on this Case Call: (972) 771-7745



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

FIRST BAPTIST CHURCH OF ROCKWALL
108 W ROSS ST
ROCKWALL, TX 75087

FLEMING LINDA
1116 SQUAW VALLEY
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

MERU INVESTMENTS LLC
1228 WOODSEY CT
SOUTHLAKE, TX 76092

OTTO IRIS
1502 S 1st St Ste 3
Garland, TX 75040

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

RICE JAKIE & KATY DESPAIN
201 FOREST TRCE
ROCKWALL, TX 75087

BARTON BRETT & HILLARY
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

RESIDENT
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

VEST JEREMY DEREK
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND
AARON KRISTOPHER
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA
302 W Boydston Ave
Rockwall, TX 75087

CONFIDENTIAL
303 FOREST TRACE
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 Sorita Cir
Heath, TX 75032

2025 D REED REVOCABLE TRUST
DARLENE PIERSON REED - TRUSTEE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO RD
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO RD
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

SMITH JERRET R & ALICIA N
704 S ALAMO RD
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS
705 ROBIN RD
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO RD
ROCKWALL, TX 75087

KIM LYNN & TODD J MOUNCE
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

FLOWERS DONALD
707 ROBIN DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO RD
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 ROBIN RD
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
710 RIDGEVIEW DR
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE
711 ROBIN DR
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

JAMES EDWIN GRAY REVOCABLE TRUST
JAMES EDWIN GRAY & TERESA ANN HABECKER -
CO-TRUSTEES
712 FOREST TRCE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

RESIDENT
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

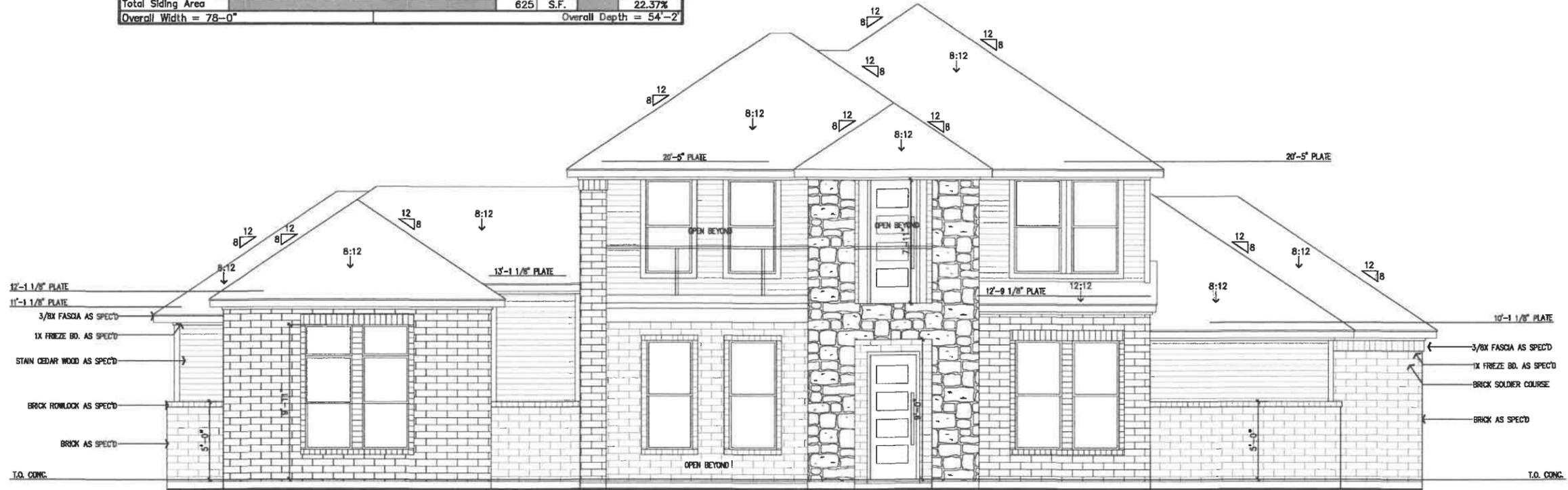
RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

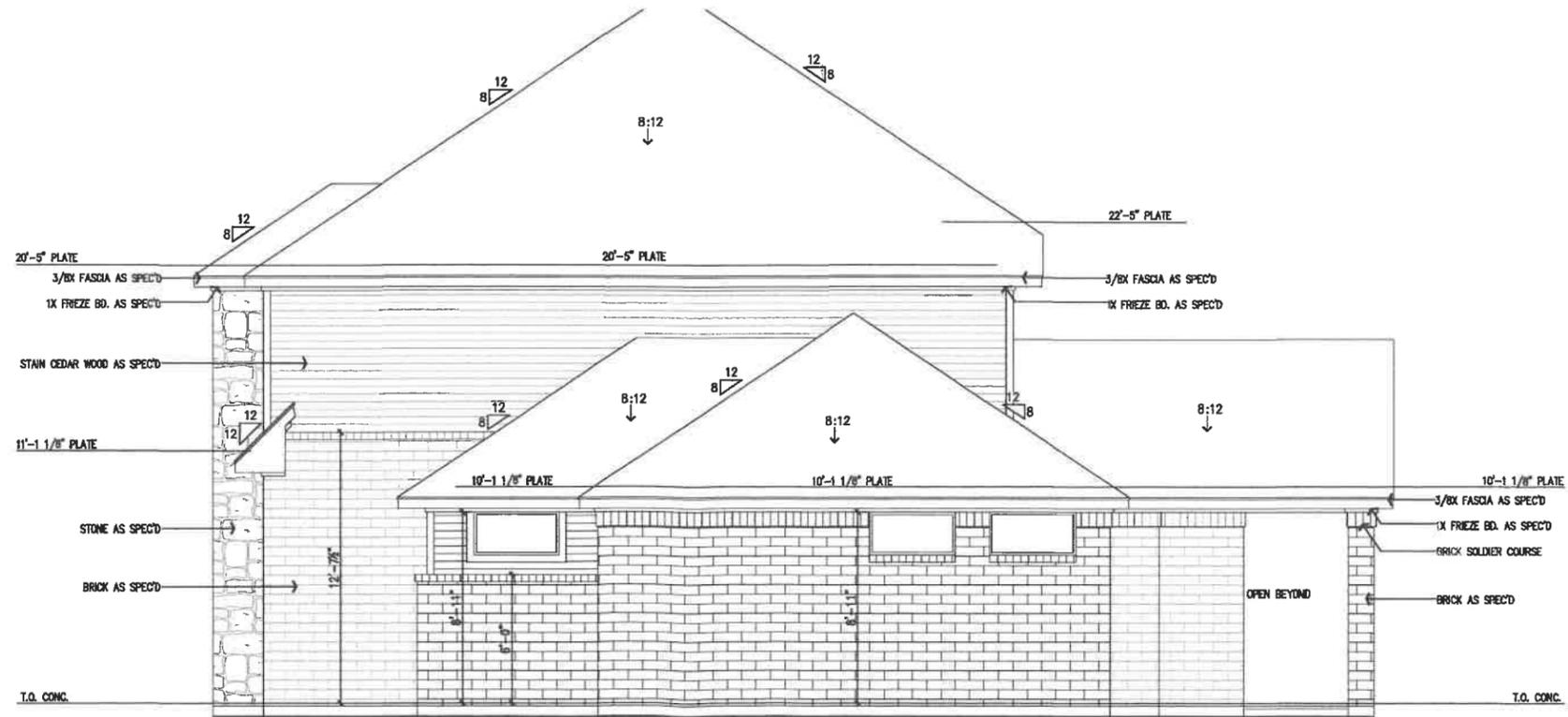
BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

COLLINS LARRY SCOTT
902 S Alamo Rd
Rockwall, TX 75087

MATERIAL AREA TABULATIONS		709 FOREST TRACE									
	BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL				
Front Elevation	487	S.F.	53.22%	256	S.F.	27.98%	172	S.F.	18.80%	915	S.F.
Right Side Elevation	413	S.F.	67.48%	44	S.F.	7.19%	155	S.F.	25.33%	612	S.F.
Rear Elevation	458	S.F.	71.23%	0	S.F.	0.00%	185	S.F.	28.77%	643	S.F.
Left Side Elevation	489	S.F.	78.37%	22	S.F.	3.53%	113	S.F.	18.11%	624	S.F.
Total Area	1,847	S.F.		322	S.F.		625	S.F.		2,794	S.F.
Total Brick Area							1,847	S.F.		66.11%	
Total Stone Area							322	S.F.		11.52%	
Total Siding Area							625	S.F.		22.37%	
Overall Width = 78'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

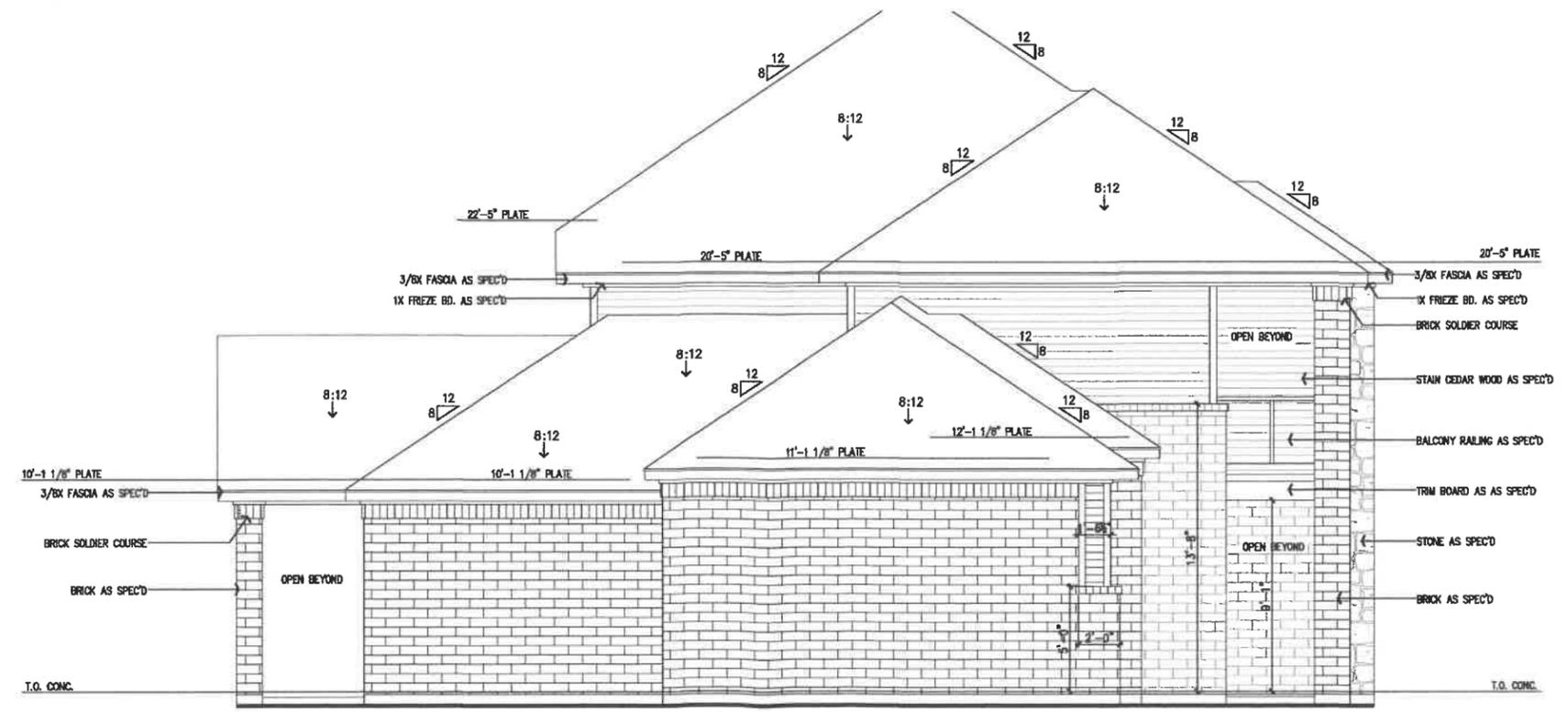
DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A3
OF
13



1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

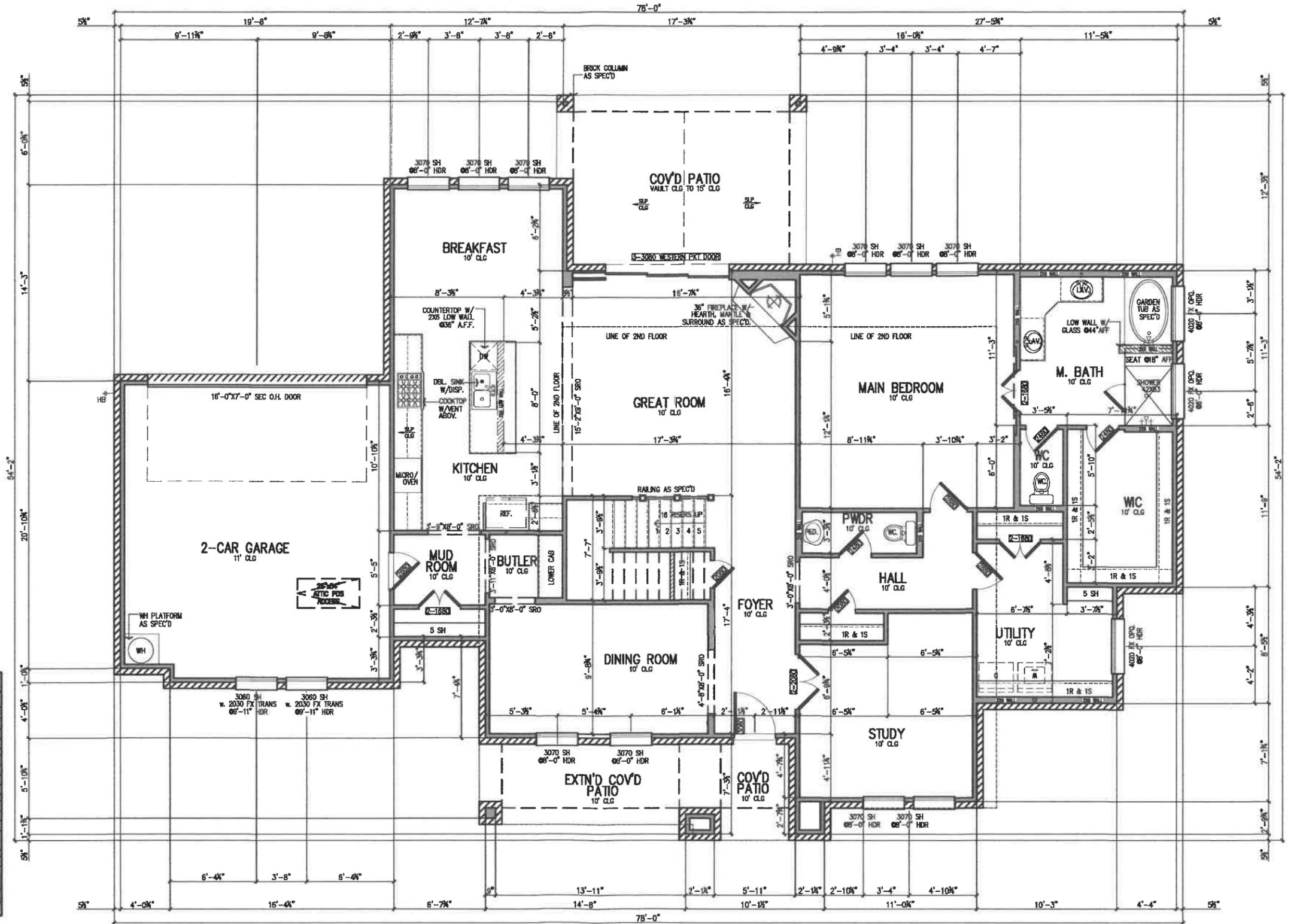
ISSUED ON
06-28-2023

SHEET NO.
A4
OF
13

AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911	SQ. FT.	1,970	SQ. FT.	2,055
Second Floor	981	SQ. FT.	1,046	SQ. FT.	1,052
Total	2,892	SQ. FT.	3,016	SQ. FT.	3,107
Total Living Area					3,107
1-Car Garage	0	SQ. FT.	0	SQ. FT.	0
2-Car Garage	411	SQ. FT.	429	SQ. FT.	458
3-Car Garage	0	SQ. FT.	0	SQ. FT.	0
Total Garage Area	411	SQ. FT.	429	SQ. FT.	458
Covered Porch	0	SQ. FT.	147	SQ. FT.	149
Covered Patio	0	SQ. FT.	211	SQ. FT.	217
Covered Balcony	0	SQ. FT.	151	SQ. FT.	167
Total Covered Porch/Patio Area	0	SQ. FT.	509	SQ. FT.	533
Total Slab Area					2,879
Total Under Roof					4,098
Total Interior Frame	3,303	SQ. FT.			
Total Exterior Frame			3,954	SQ. FT.	
Overall Width = 78'-0"			Overall Depth = 54'-2"		

1 FIRST FLOOR PLAN
 A1 SCALE: 1/8" = 1'-0"



ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A1
 OF
 13

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A LOT 13/HIGH RIDGE STATE

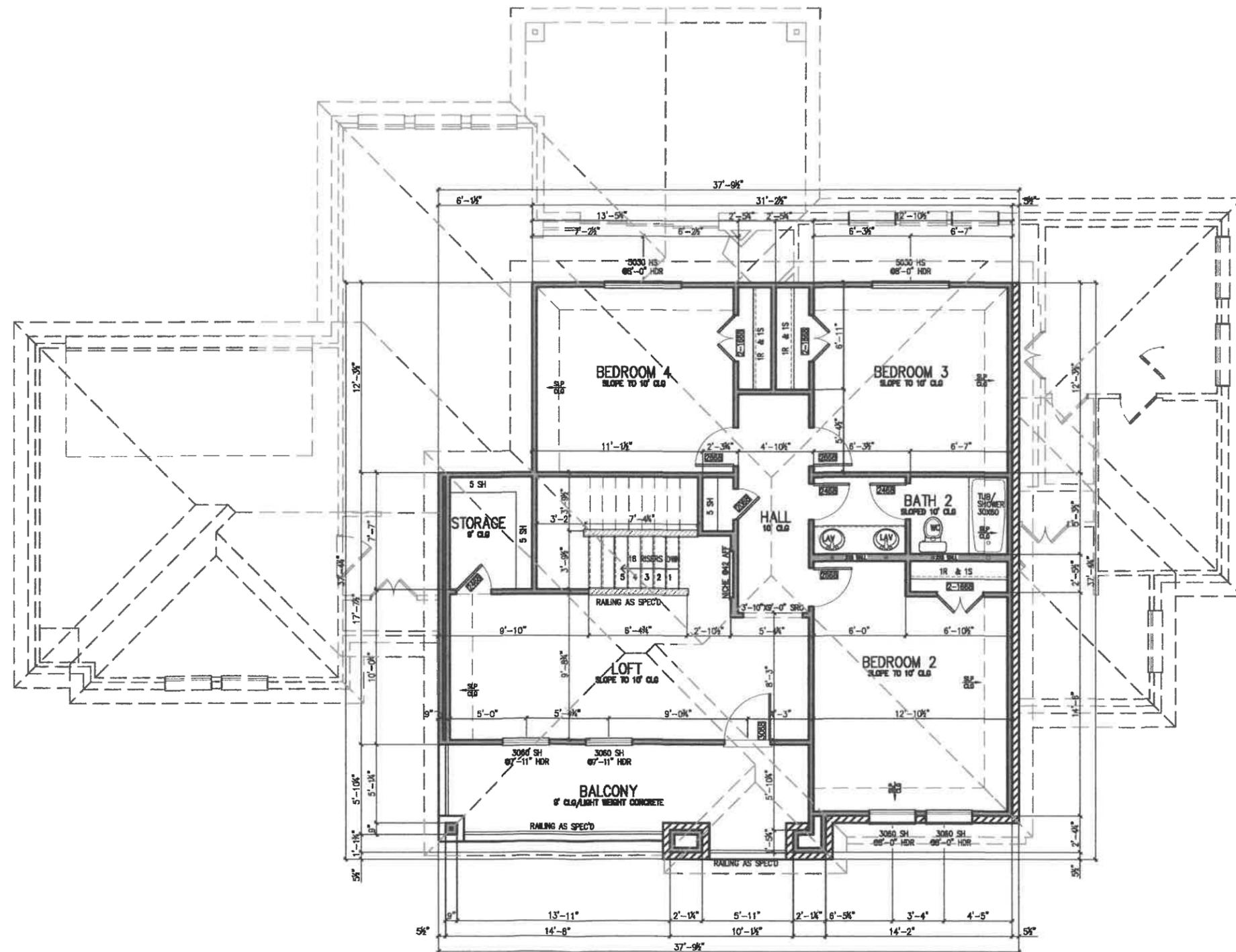
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A1.1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911 SQ. FT.	1,970 SQ. FT.	2,055 SQ. FT.		
Second Floor	981 SQ. FT.	1,046 SQ. FT.	1,052 SQ. FT.		
Total	2,892 SQ. FT.	3,016 SQ. FT.	3,107 SQ. FT.		
Total Living Area			3,107 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	147 SQ. FT.	149 SQ. FT.		
Covered Patio	0 SQ. FT.	211 SQ. FT.	217 SQ. FT.		
Covered Balcony	0 SQ. FT.	151 SQ. FT.	167 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	509 SQ. FT.	533 SQ. FT.		
Total Slab Area			2,879 SQ. FT.		
Total Under Roof			4,098 SQ. FT.		
Total Interior Frame	3,303 SQ. FT.				
Total Exterior Frame		3,954 SQ. FT.			
Overall Width = 78'-0"		Overall Depth = 54'-2"			

1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

GENERAL SLAB FORM & PLUMBING NOTES:

COORDINATE AND VERIFY LOCATIONS OF ALL PLUMBING & REQUIRED ELECTRICAL WITH FLOOR PLAN.

ALL DIMENSIONS ARE TO FACE OF FOUNDATION, UNLESS NOTED OTHERWISE. NOTIFY THE ARCHITECTURAL DEPARTMENT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

ALL PLUMBING DIMENSIONS ARE DIAGRAMMATIC TO SPECIFIED PLUMBING FIXTURE. CONTRACTOR/TRADE ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLAN AND SPECIFICATION.

WHEN NOTED/REQUIRED SHOWER SLAB MUST BE DROP TO 3/4" AND SLOPE TO DRAINAGE, UNLESS NOTED OTHERWISE.

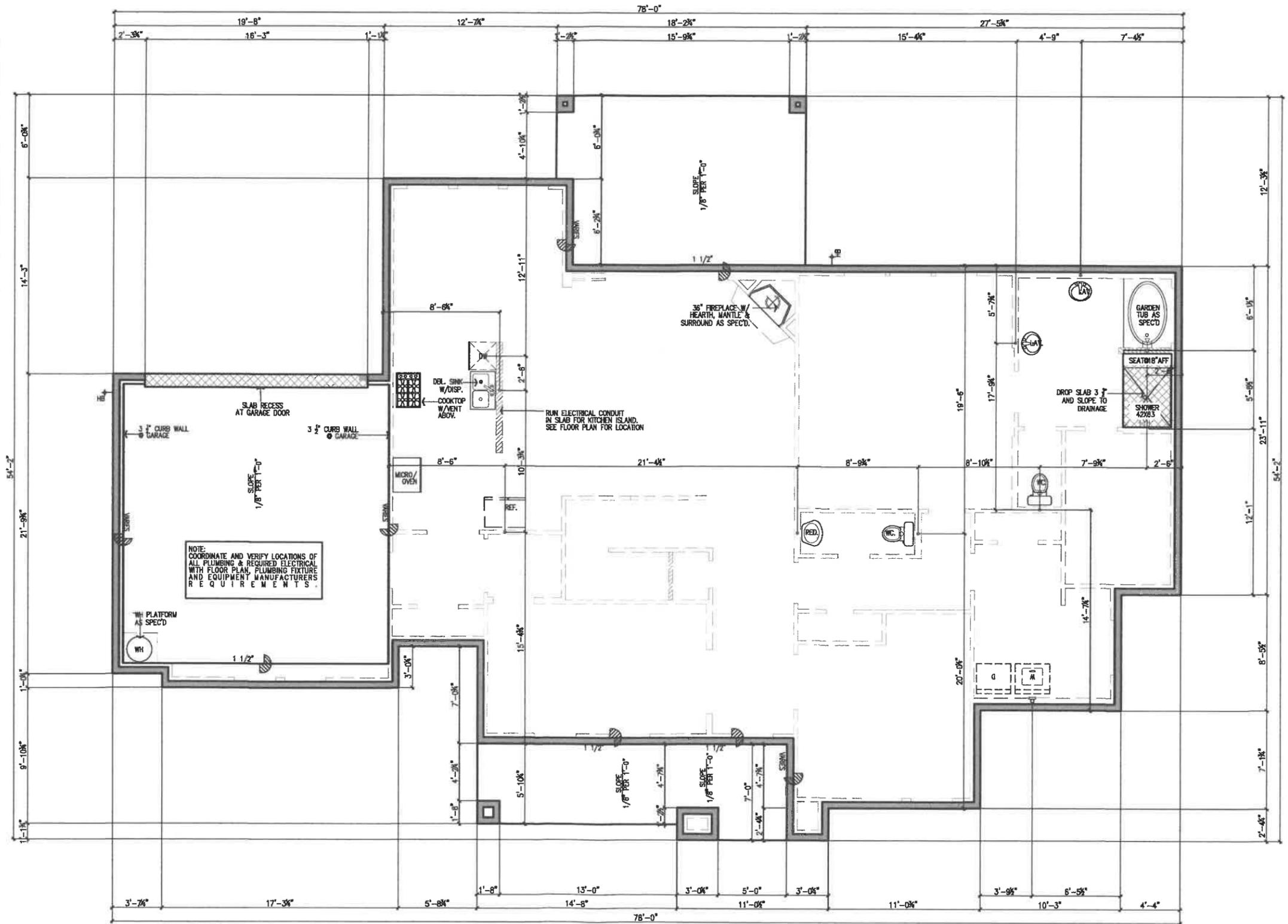
SHOWER SEAT MUST BE INCLUDED IN SHOWER DROP.

GARAGE CURB WALL MUST BE 3/4", TYP.

GARAGE SLAB MUST BE RECESS AT GARAGE DOOR.

PROVIDE BRICK LEDGE AT EXTERIOR WALLS AT 1/2" X 5/8", TYP.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS



**FIRST FLOOR PLAN
SLAB FORM & PLUMBING PLAN**
SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

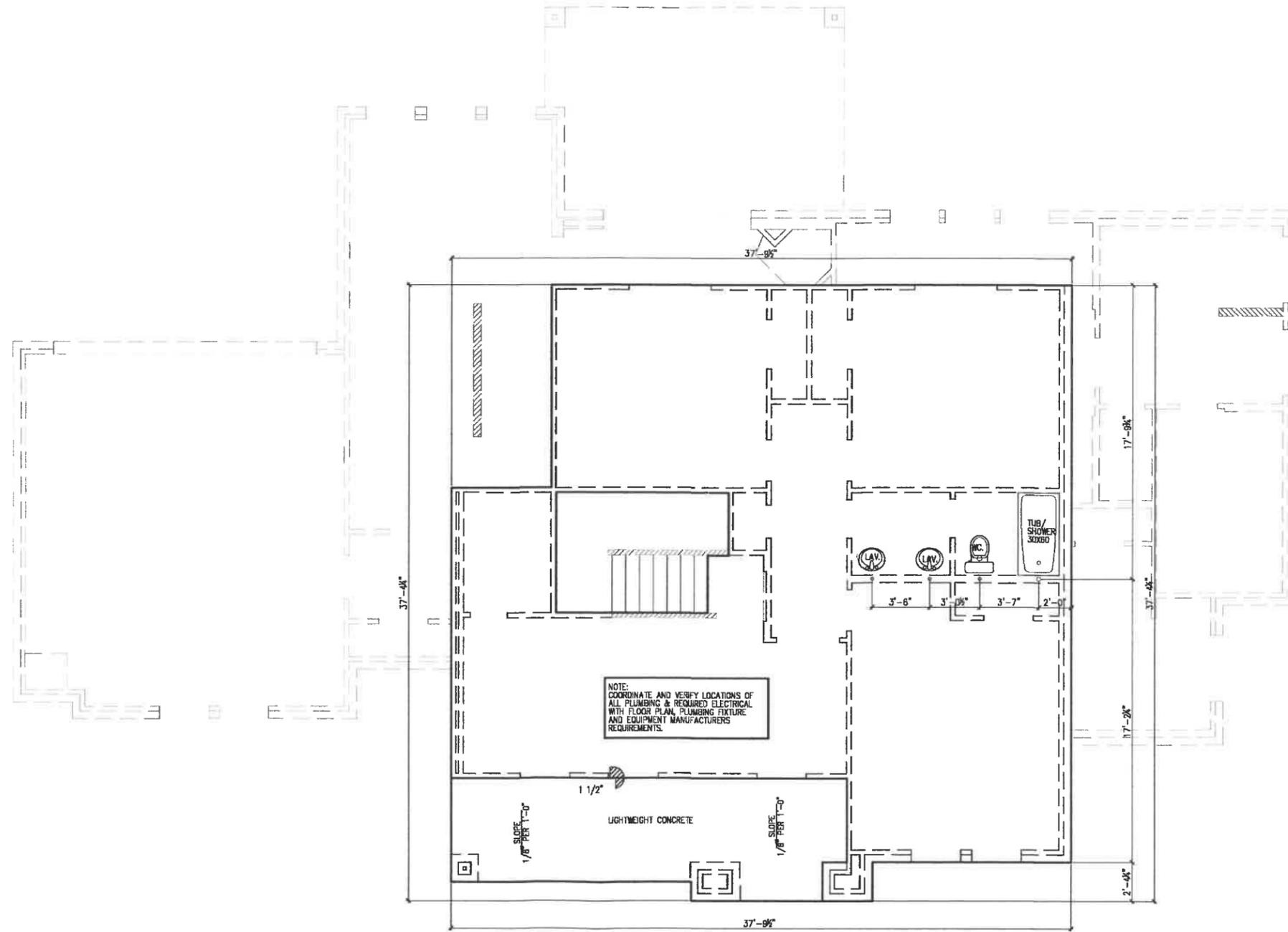
DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
S1
OF
13

1 SECOND FLOOR
PLUMBING PLAN
S1.1 SCALE: 1/8" = 1'-0"



ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

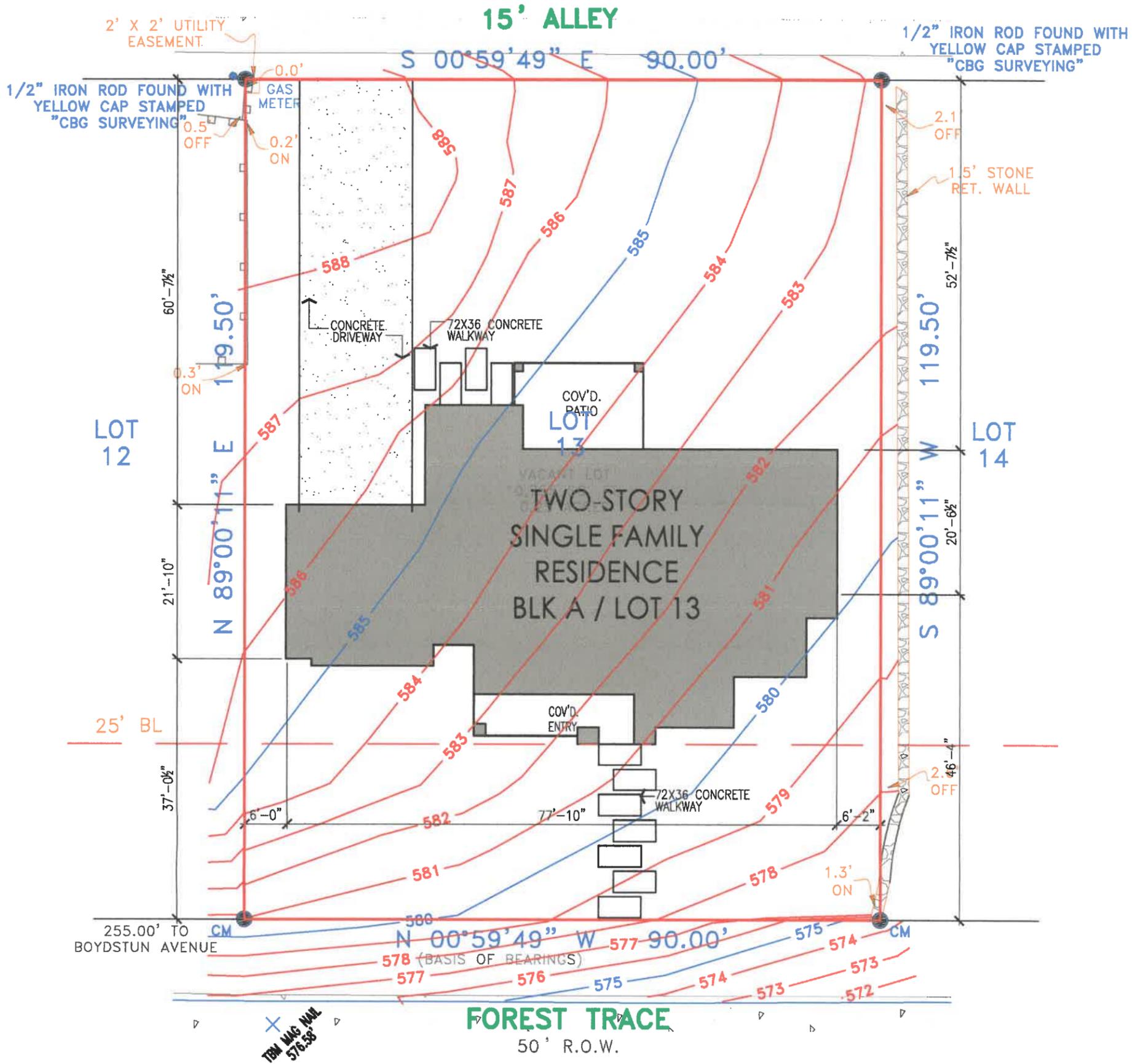
NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
S1.1
OF
13



TBM MAG NAIL
576.58

LEGEND:

← DRAINAGE ARROW

▨ REAR PATIO AREA

NOTE: CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.

NOTE: BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

709 FOREST TRACE
BLK A/LOT 13/HIGH RIDGE STATE
ROCKWALL, ROCKWALL COUNTY, TX



FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	870	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	888	S.F.
LOT COVERAGE			
LOT AREA	APPROX.	10765	S.F.
MAIN BUILDING AREA	APPROX.	2882	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
SP1 SCALE: 1/16" = 1'-0"

SHEET NO.
SP1
OF
13

DRAWN BY:
LRN

ISSUED FOR REVIEW
06-28-2023

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

NEW RESIDENCE FOR:
MANUEL TIJERILLA

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

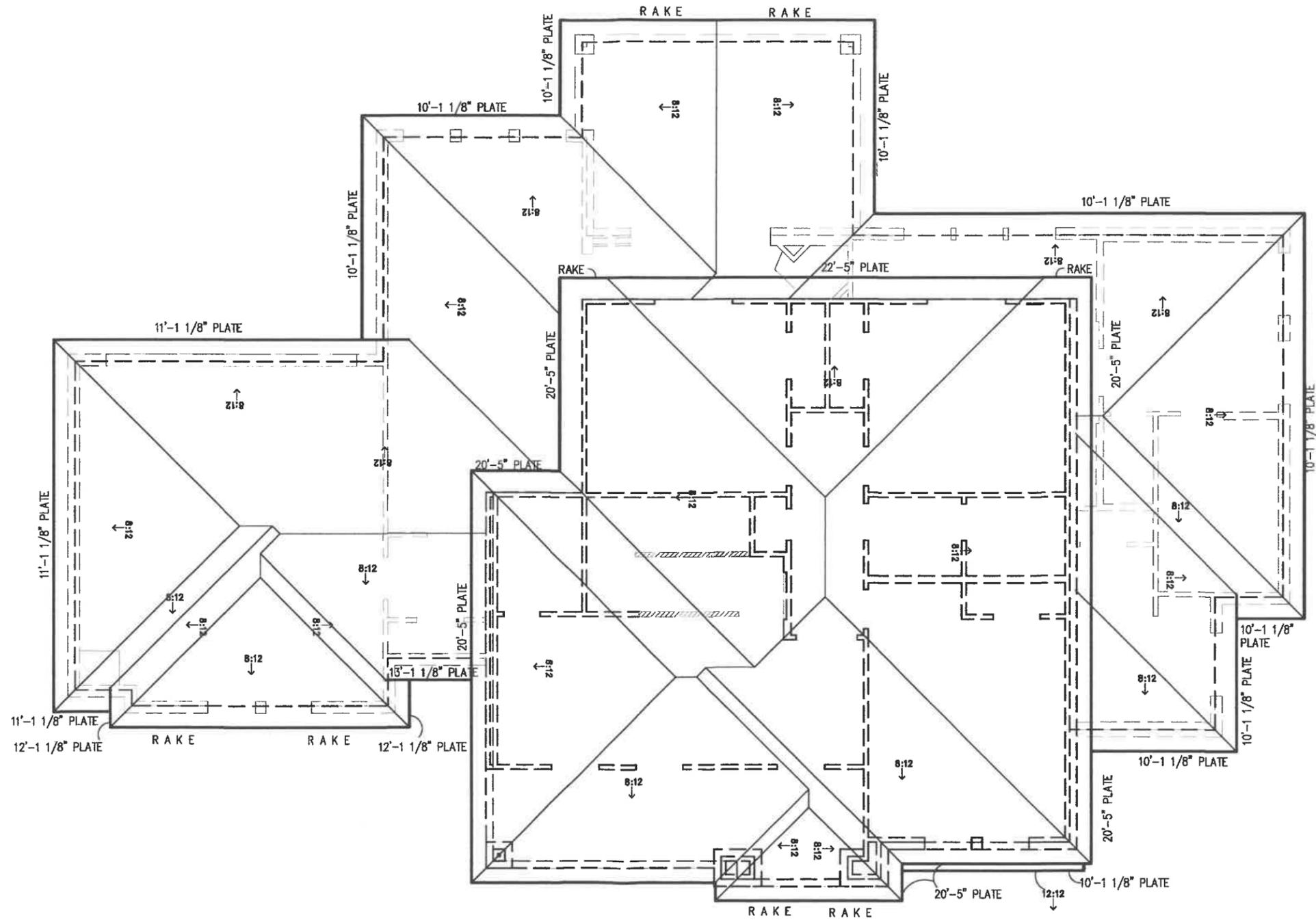
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A5
OF
13



ERIC L. DAVIS ENGINEERING, INC.
 F-3987
 401 Pineson Road
 Forney, Texas 75126
 972/564-0592 Fax 972/564-6523
 E-Mail eric.davis@edengineering.com

SHEAR WALL NOTES
 ENGINEERED FOR:

MANUEL TIJERINA

PLANE: CUSTOM
 ELD JOB NO: DIF23-0523
 DRAWN BY: AG
 CHECKED BY:

BUILDER: MANUEL TIJERINA
 ADDITION: 708 FOREST TRACE
 ROCKWALL, TX
 ADDRESS: 708 FOREST TRACE
 LOT: 14
 BLOCK: A
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

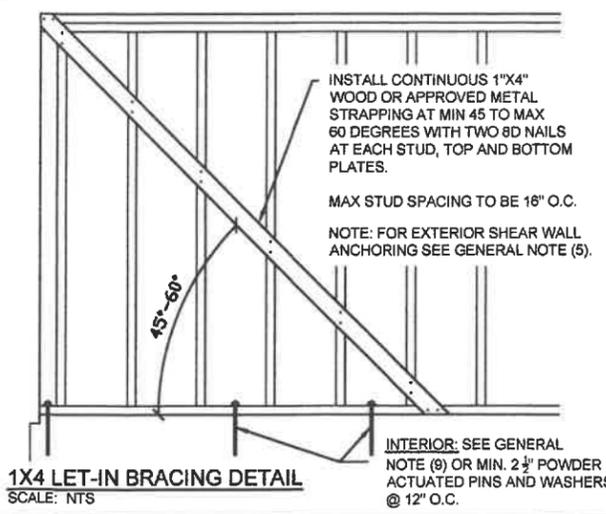
SW-03

GENERAL NOTES

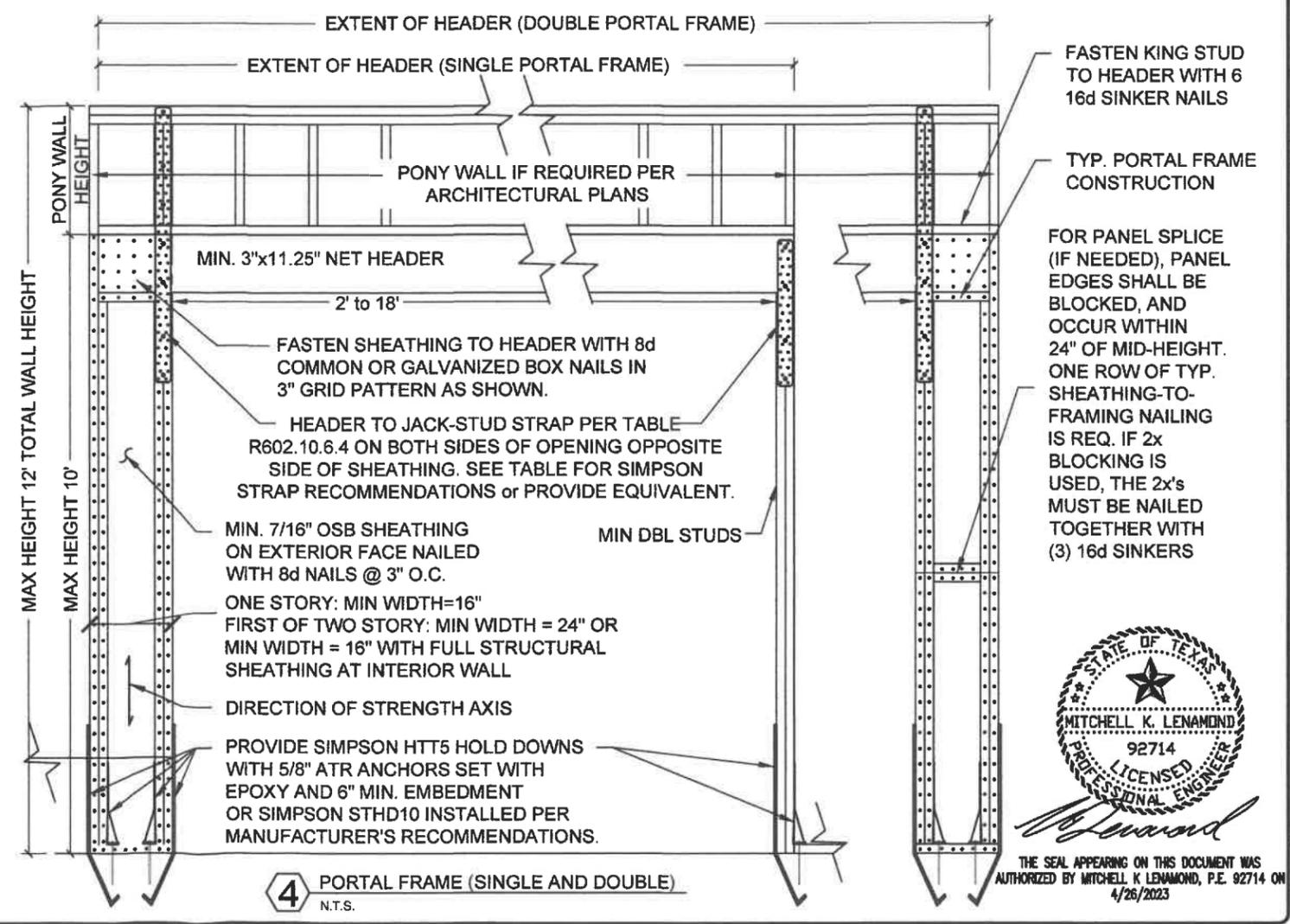
- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SHEARWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDDSILL THROUGH THE DOUBLE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
- MUDDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 8'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDDSILL ANCHORS @ 6'-0" O.C.
- WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
- ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2018 IRC.
- LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS16 X-BRACING.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
- INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
- MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°

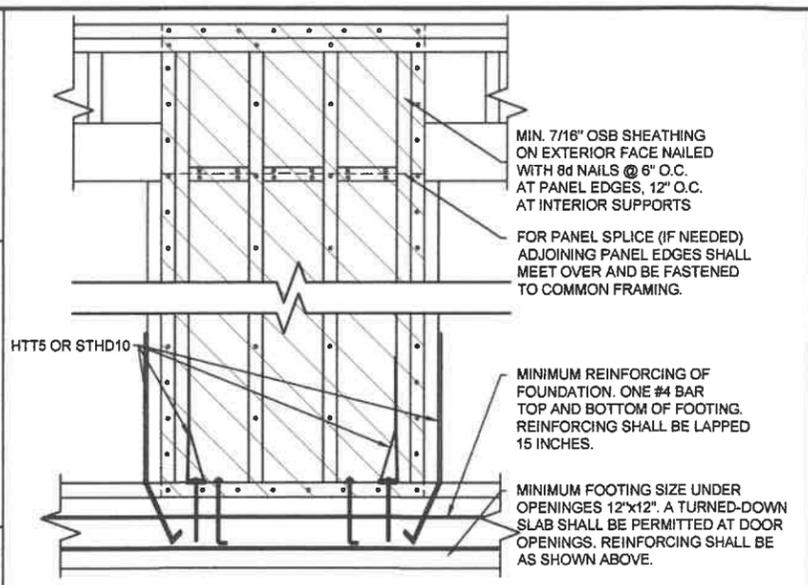
NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



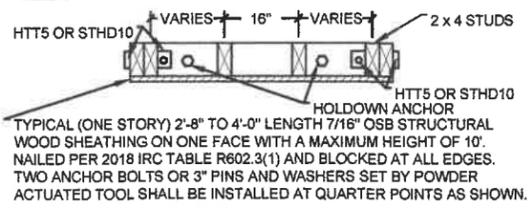
STRUCTURAL SHEATHING
 IS CONSIDERED ONE OF THE FOLLOWING:
 • MIN 7/16" OSB
 • RED THERMOPLY
 • BLUE THERMOPLY
 • ZIP SYSTEM R-SHEATHING TYPE 3



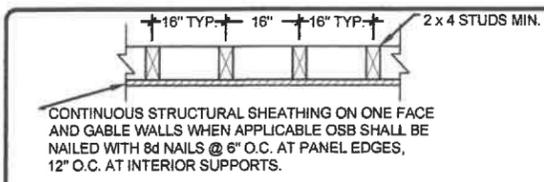
4 PORTAL FRAME (SINGLE AND DOUBLE)
 N.T.S.



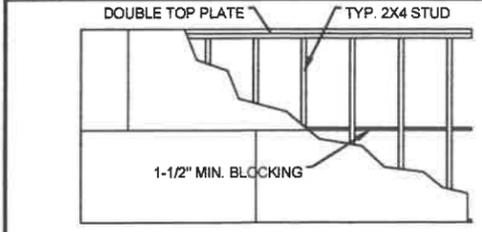
2 SECTION DETAIL (EXTERIOR ELEVATION)
 N.T.S.



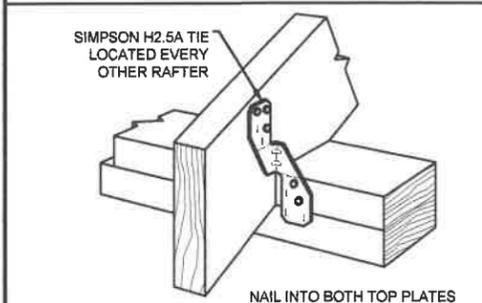
2 SECTION DETAIL (PLAN VIEW)
 N.T.S.



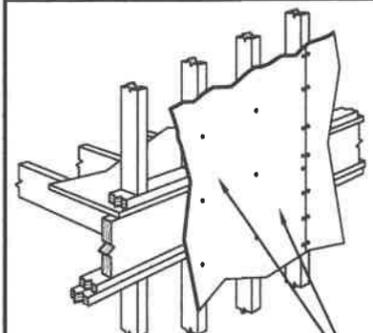
1 SECTION DETAIL
 N.T.S.



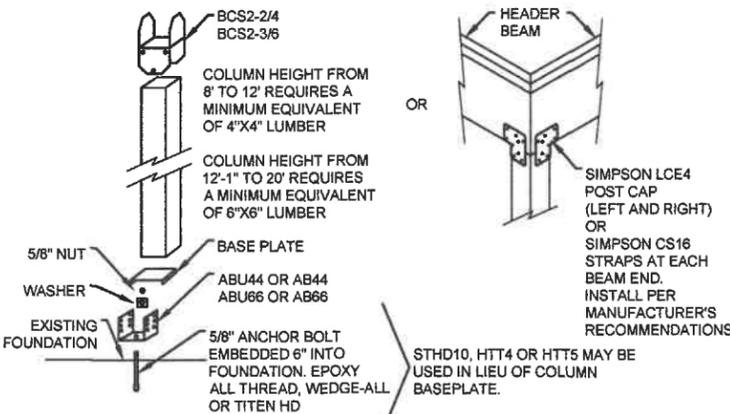
PANEL BLOCKING DETAIL
 SCALE: N.T.S.



RAFTER TO TOP PLATE DETAIL
 SCALE: N.T.S.



PANEL CONNECTION DETAIL AT FIRST & SECOND FLOORS
 SCALE: N.T.S.



STANDARD COLUMN DETAIL
 SCALE: N.T.S.

TABLE R602.10.6.4					
MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (FEET)	MAXIMUM TOTAL WALL HEIGHT (FEET)	MAXIMUM OPENING WIDTH (FEET)	TENSION STRAP CAPACITY REQUIRED (POUNDS) ^a V ₁₁₅ mph EXPOSURE B	RECOMMENDED OR APPROVED EQUAL SIMPSON STRAP MODEL No. ^b
2x4 No. 2 Grade	0	10	18	1900	(1) CS16
			9	1090	
			16	1025	
			18	1275	
			9	1000	
			18	2175	
	2	10	18	2500	(2) CS16
			9	1500	
			16	3375	
			18	3975	
			9	2750	
			18	3775	
2x6 Stud Grade	2	12	18	1500	(1) CS16
			9	3375	
			16	3375	
			18	3975	
			9	2750	
			18	3775	
	4	12	18	1000	(1) CS16
			9	2150	
			16	2590	
			18	2590	
			9	1750	
			18	2400	
2x6 Stud Grade	4	12	18	3800	MSTC52 w/44-16d SINKERS
			9	1750	
			16	2400	
			18	2400	
			9	1750	
			18	3800	

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
 a. STRAPS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 b. STRAP MODEL MAY BE SUBSTITUTED W/ APPROVED EQUAL.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 4/26/2023

GENERAL ELECTRICAL NOTES:

ALL ELECTRICAL ITEMS SHOWN ON THIS PLAN (INCLUDING, BUT NOT LIMITED TO, LIGHTS, FANS, PLUGS, AND FIXTURES) MAY INCLUDE UPGRADES ITEMS AND ARE SHOWN FOR PRESENTATION PURPOSES ONLY.

THE FINAL ELECTRICAL PLAN WILL BE DESIGNED AND INSTALLED TO MEET THE SPECIFIC ELECTRICAL CODE REQUIREMENTS OF THE JURISDICTION WHERE THE HOME IS BUILT.

ALL LIGHTING FIXTURES SHALL BE LED (LIGHT-EMITTING DIODE)

ALL ELECTRICAL FIXTURES SHALL BE AS PER NATIONAL ELECTRICAL CODE (NEC).

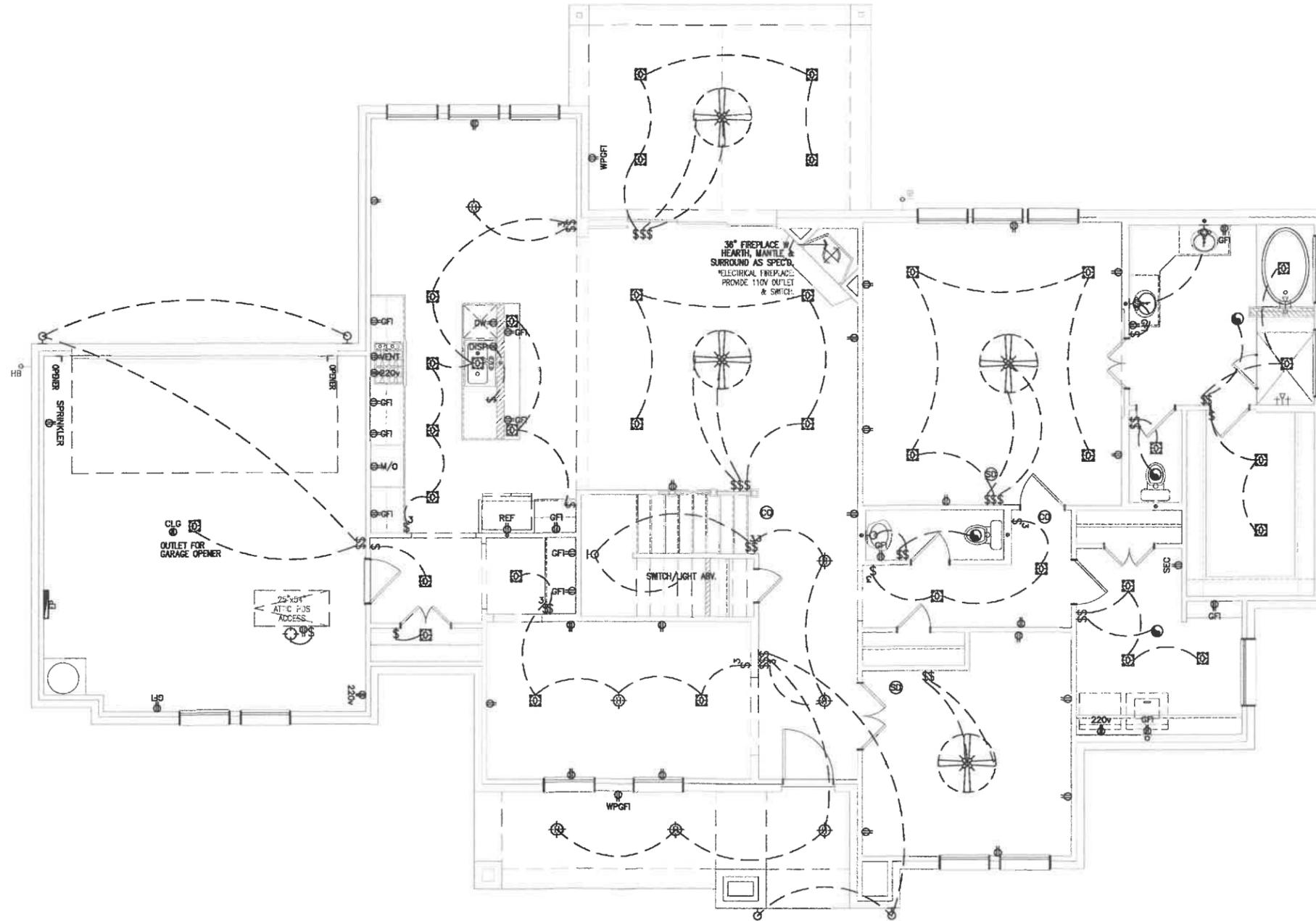
COORDINATE AND VERIFY LOCATIONS OF ALL ELECTRICAL FIXTURE WITH FLOOR PLAN.

ALL FIXTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.

ALL ELECTRICAL ITEM SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS

ELECTRICAL LEGEND

→ HB	HOSE BIBB	⊠	FLUSH LED LIGHT DISK
→ GAS	GAS LINE	⊙	EXTERIOR COACH LIGHT
EP	ELECTRICAL PANEL	⊙	WALL MOUNTED LIGHT
\$	SWITCH	⊙	CEILING MOUNTED LIGHT
\$3	3-WAY SWITCH	⊙	HANGING LIGHT
\$4	4-WAY SWITCH	⊙	FLOOD LIGHT
\$D	DIMMER SWITCH	⊙	WALL SCONCE
⊕	DUPLEX OUTLET	⊕	FLUORESCENT LIGHT w/1 BULB
SEC	SECURITY OUTLET	⊕	UP LIGHT
SPRINKLER	SPRINKLER OUTLET	⊕	EXHAUST FAN
FLOOR	FLOOR OUTLET	⊕	COMBO SMOKE AND CARBON MONOXIDE DETECTOR
GFI	GFI OUTLET	⊕	SMOKE DETECTOR
WPGFI	WATER PROOF GFI OUTLET	⊕	DOOR BELL BUTTON
DESP	DESPAL OUTLET	⊕	DOOR CHIMES
DW	DISHWASHER OUTLET	⊕	CABLE TV OUTLET
CLG	CEILING MOUNTED OUTLET	⊕	ATTIC ACCES
220V	220V OUTLET	⊕	GARAGE OPENER
⊕	CEILING FAN	⊕	CEILING FAN w/ LIGHT



1 ELECTRICAL PLAN
FIRST FLOOR
A6 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A6
OF
13

GENERAL ELECTRICAL NOTES:

ALL ELECTRICAL ITEMS SHOWN ON THIS PLAN (INCLUDING, BUT NOT LIMITED TO, LIGHTS, FANS, PLUGS, AND FIXTURES) MAY INCLUDE UPGRADES ITEMS AND ARE SHOWN FOR PRESENTATION PURPOSES ONLY.

THE FINAL ELECTRICAL PLAN WILL BE DESIGNED AND INSTALLED TO MEET THE SPECIFIC ELECTRICAL CODE REQUIREMENTS OF THE JURISDICTION WHERE THE HOME IS BUILT.

ALL LIGHTING FIXTURES SHALL BE LED (LIGHT-EMITTING DIODE)

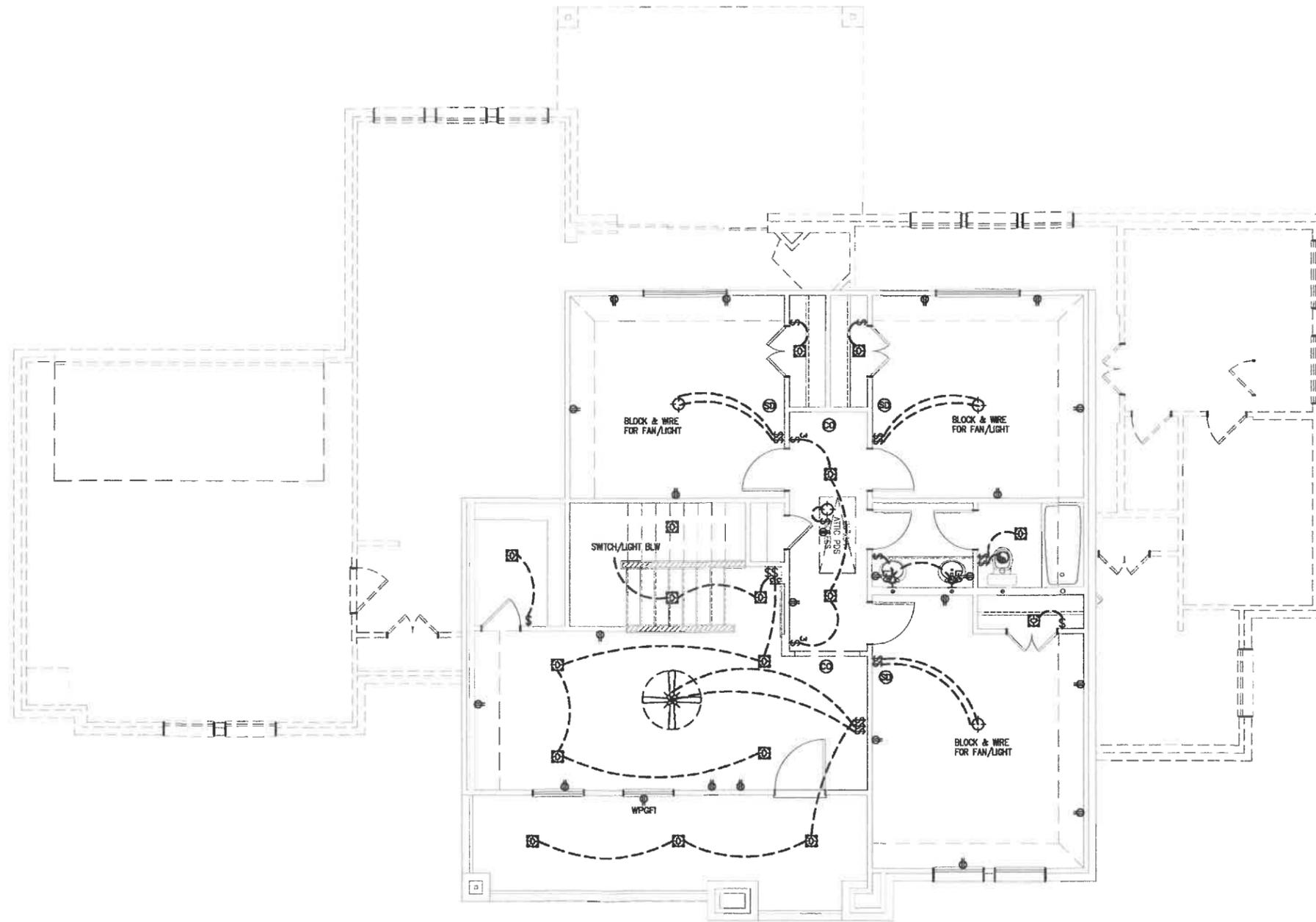
ALL ELECTRICAL FIXTURES SHALL BE AS PER NATIONAL ELECTRICAL CODE (NEC).

COORDINATE AND VERIFY LOCATIONS OF ALL ELECTRICAL FIXTURE WITH FLOOR PLAN.

ALL FIXTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.

ALL ELECTRICAL ITEM SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS

ELECTRICAL LEGEND			
—+ HB	HOSE BIBB		FLUSH LED LIGHT DISK
—+ GAS	GAS LINE		EXTERIOR COACH LIGHT
EP	ELECTRICAL PANEL		WALL MOUNTED LIGHT
\$	SWITCH		CEILING MOUNTED LIGHT
\$	3-WAY SWITCH		HANGING LIGHT
\$	4-WAY SWITCH		FLOOD LIGHT
\$	DIMMER SWITCH		WALL SCONCE
	DUPLEX OUTLET		FLUORESCENT LIGHT w/1 BULB
SEC	SECURITY OUTLET		UP LIGHT
SPRINKLER	SPRINKLER OUTLET		EXHAUST FAN
FLOOR	FLOOR OUTLET		COMBO SMOKE AND CARBON MONOXIDE DETECTOR
GFI	GFI OUTLET		SMOKE DETECTOR
WPGFI	WATER PROOF GFI OUTLET		DOOR BELL BUTTON
DISP	DISPOSAL OUTLET		DOOR CHIMES
DW	DISHWASHER OUTLET		CABLE TV OUTLET
CLG	CEILING MOUNTED OUTLET		ATTIC ACES
220v	220V OUTLET		GARAGE OPENER
	CEILING FAN		CEILING FAN w/ LIGHT



1 ELECTRICAL PLAN
 A6.1 SECOND FLOOR
 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

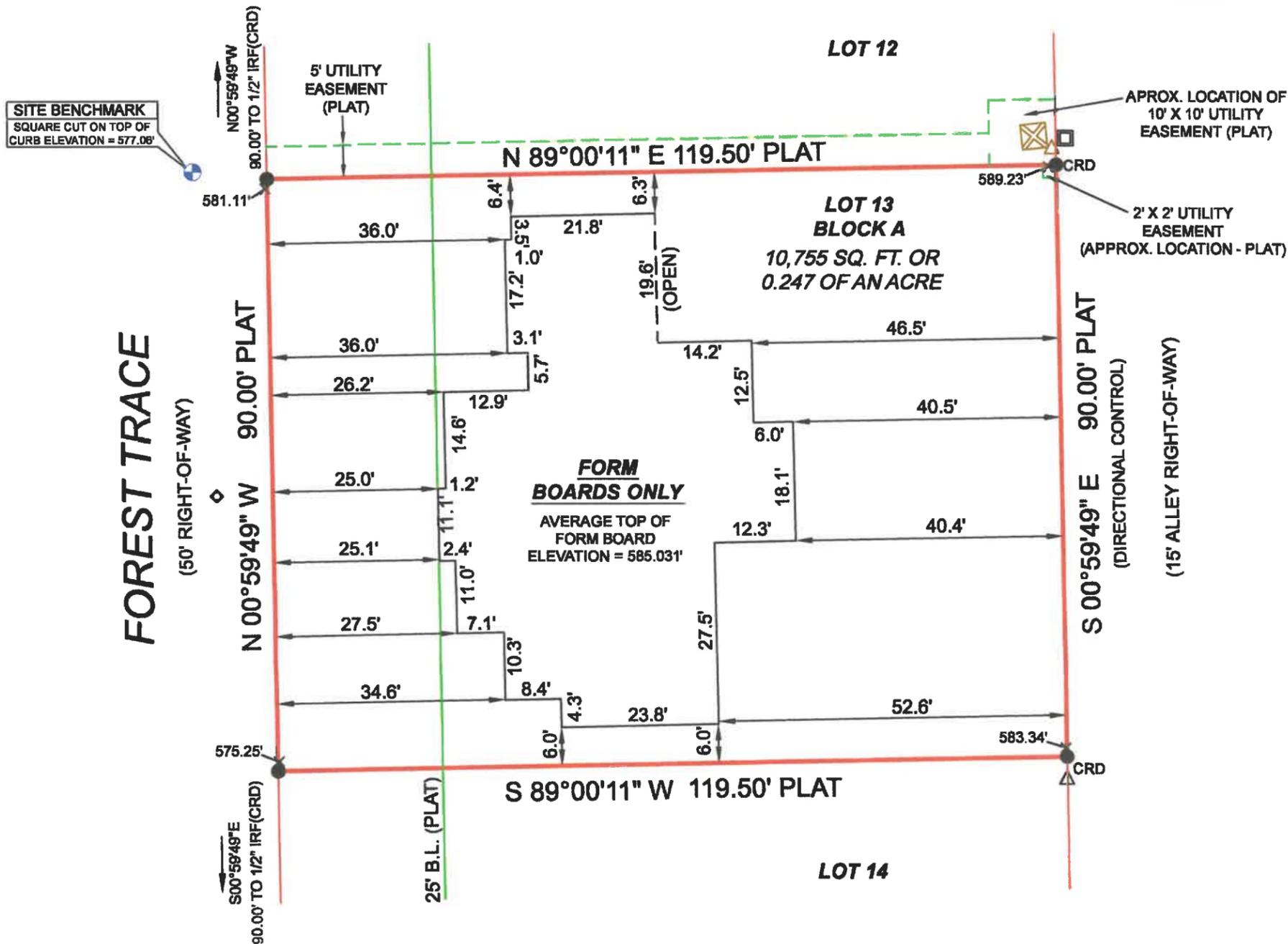
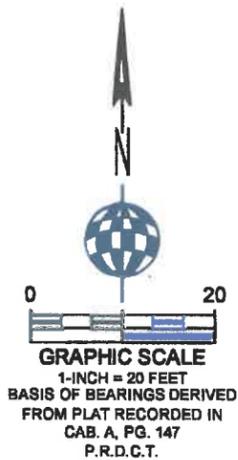
DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A6.1
 OF
 13

FORM BOARD SURVEY: 709 FOREST TRACE

Being Lot 13, Block A, of HIGH RIDGE ESTATES, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof, recorded in Cabinet A, Slide 147, Plat Records, Dallas County, Texas.



NOTE: All 1/2 IRS are 1/2-inch iron rods with yellow plastic caps stamped "RPLS 5310".
CRD = Corner of Record Dignity

NOTES

1) This survey was performed without the benefit of an abstractor, therefore, no search of record easements was performed on subject property.
2) The purpose of this survey is to locate the existing forms. Other improvements not shown.

LEGEND

● 1/2" IR FOUND	⊙ X-FOUND	☐ TELE. BOX	⊙ BOLLARD POST	⊙ UTILITY POLE	—OHU— OVERHEAD UTILITY LINE	▭ COVERED AREA	▭ CONCRETE	▭ BUILDING LINE
○ 1/2" IR SET	⊙ X-SET	☐ CABLE BOX	⊙ SEPTIC COVER	⊙ WATER METER	—GWA— GUY WIRE ANCHOR	▭ ASPHALT	▭ GRAVEL	▭ EASEMENT
● 5/8" IR FOUND	● 1" IR FOUND	⊙ ELECTRIC BOX	⊙ SAN. SEW. MH.	⊙ GAS METER	—X— BARBED WIRE FENCE	▭ FIRE LANE STRIPE	▭ BRICK	▭ BOUNDARY
● 3/8" IR FOUND	● 1" IP FOUND	☐ BRICK COLUMN	⊙ IRRIGATION VALVE	⊙ A.C. PAD	—O— IRON FENCE	▭ BRICK RET. WALL	▭ STONE	▭ HIGH BANK LINE
● 50-D NAIL FOUND	⊙ POINT FOR CORNER	☐ STONE COLUMN	⊙ WATER VALVE	⊙ TRANS. BOX	—C— CHAINLINK FENCE	▭ STONE RET. WALL	▭ WOOD DECK	▭ FEMA FLOOD LINE
● PK NAIL SET	⊙ CON. MONUMENT	⊙ STORM DRAIN MH.	⊙ FIRE HYDRANT	⊙ POOL EQUIP.	—W— WOOD FENCE	▭ CON. RET. WALL	▭ BUILDING WALL	♿ HANDICAP SPACE
● 1/2" IP FOUND	● 3/4" IP FOUND	⊙ SAN. SEW. CO.	⊙ LIGHT POLE		—P— PIPE RAIL FENCE	▭ STUC. RET. WALL	▭ TILE	

I, John S. Turner, Registered Professional Land Surveyor of the State of Texas, do certify that this Survey Plat is a true, correct and accurate representation of the property shown hereon as determined by survey on the ground under my supervision. The lines and dimensions of said property being indicated by the plat. The improvements are within the boundaries of the property lines at the distances indicated and there are no visible and apparent easements, encroachments, conflicts or protrusions, except as shown. This survey meets or exceeds the minimum standards required by the Texas Board of Professional Engineers and Land Surveyors.

This survey was performed exclusively for the parties shown hereon and is licensed for a single use. This survey remains the property of the Surveyor. Unauthorized reuse is not permitted without the expressed written permission of the Surveyor. This survey is an original work protected by United States Copyright law and international treaties. All rights reserved. Do not make illegal copies.

John S. Turner
JOHN S. TURNER RPLS 5310



A&W SURVEYORS, INC.
Professional Land Surveyors

TEXAS REGISTRATION NO. 100174-DD
P.O. BOX 870029, MESQUITE, TX. 75187
PHONE: (972) 881-4975 FAX: (972) 881-4954
WWW.AWSURVEY.COM

JOB# 24-0411FB
DATE 02-05-2025

DRAWN BY: BCO CERTIFY
TO: DEMD Construction

"A professional company operating in your best interest"