



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 451 Cornelius Rd, Rockwall 75087

SUBDIVISION Peoples Tract Addition

LOT 5

BLOCK

GENERAL LOCATION Between Terraces Phase 2 and Cornelius R

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING SF-1.5

CURRENT USE Vacant Land

PROPOSED ZONING SF- 1.5

PROPOSED USE Single Family Home

ACREAGE 1.59 Lot

LOTS [CURRENT] Lot 5

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Ankit P. Vats

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ankit Parmar (Applicant) [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

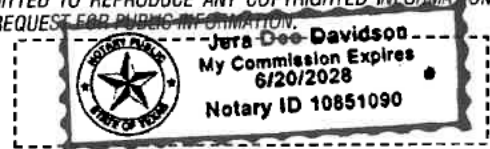
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF April, 2026

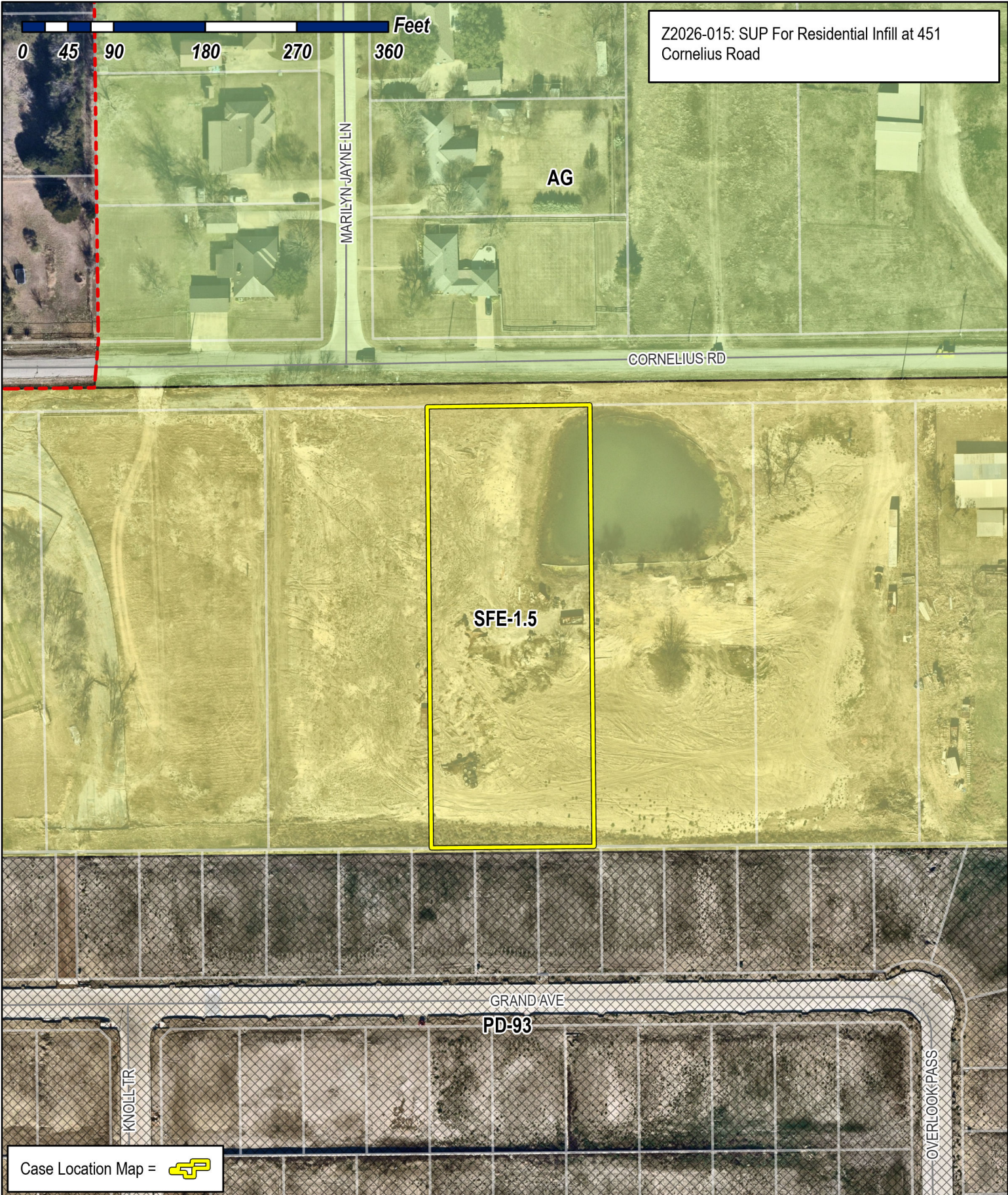
OWNER'S SIGNATURE

Ankit Parmar
Jera Davidson


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 6-20-2028



Z2026-015: SUP For Residential Infill at 451 Cornelius Road

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

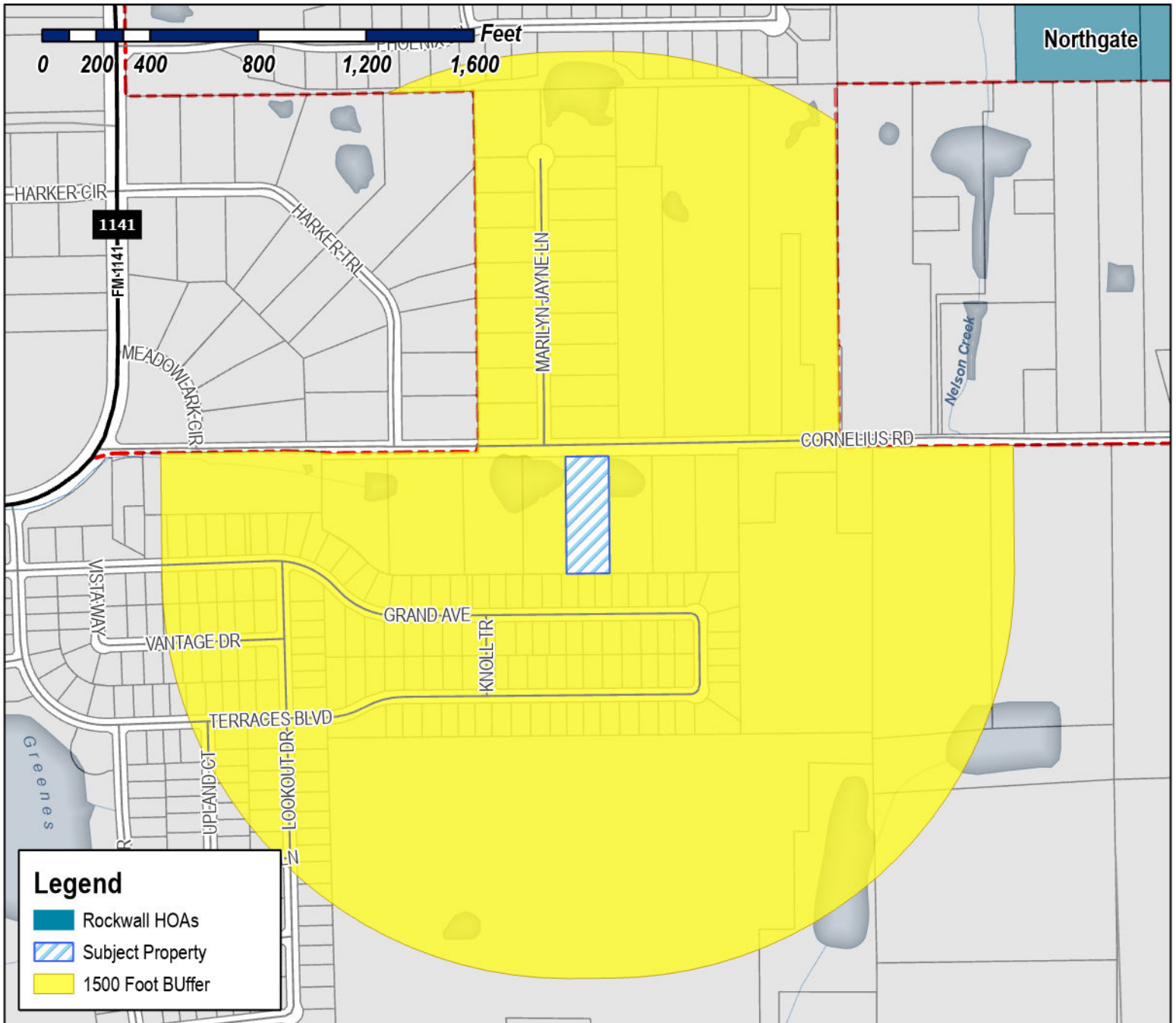




City of Rockwall

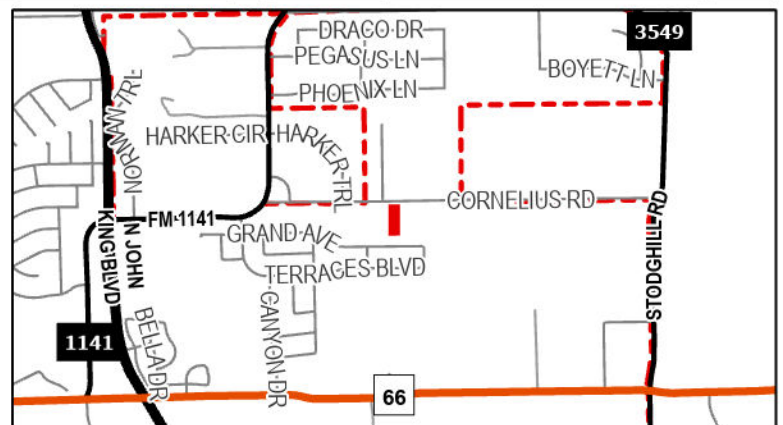
Planning & Zoning Department
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Case Number: Z2026-015
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family Estate 1.5 (SFE 1.5)
 District
Case Address: 451 Cornelius

Date Saved: 4/21/2026
 For Questions on this Case Call (972) 771-7745

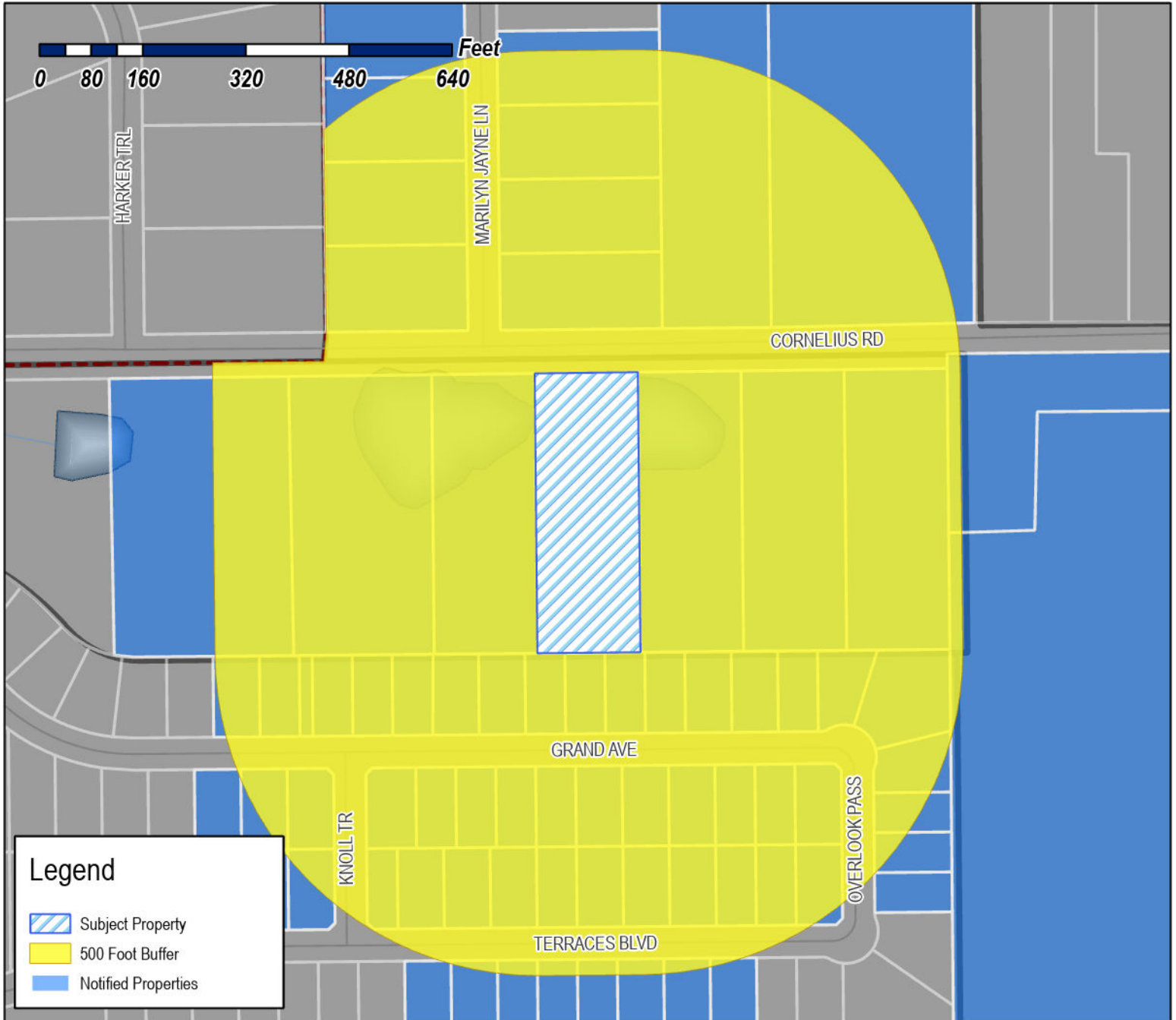




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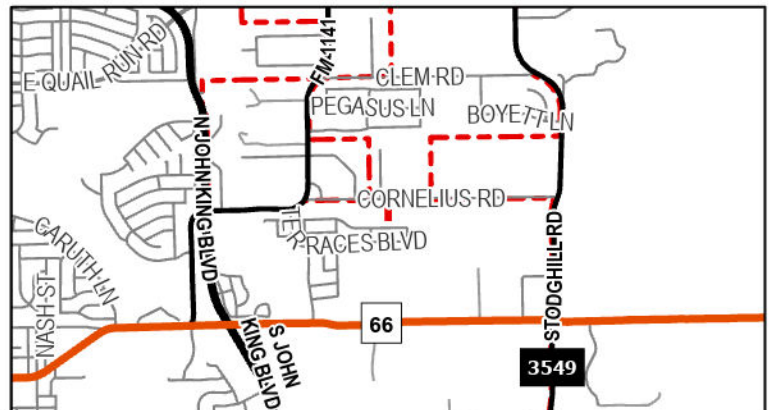
Legend

-  Subject Property
-  500 Foot Buffer
-  Notified Properties

Case Number: Z2026-015
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Single-Family Estate 1.5 (SFE 1.5)
 District
Case Address: 451 Cornelius

Date Saved: 4/21/2026

For Questions on this Case Call: (972) 771-7745



RESIDENT
1110 OVERLOOK PASS
ROCKWALL, TX 75087

RESIDENT
1116 OVERLOOK PASS
ROCKWALL, TX 75087

RESIDENT
1122 OVERLOOK PASS
ROCKWALL, TX 75087

RESIDENT
1128 OVERLOOK PASS
ROCKWALL, TX 75087

THOMAS STEPHEN R & SHARON C
1200 MARILYN JAYNE DR
ROCKWALL, TX 75087

RANDY AND KAY WILSON REVOCABLE TRUST
RANDY SCOTT WILSON AND KAY MARIE
WILSON- CO TRUSTEES
1201 MARILYN JAYNE
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY
1202 MARILYN JAYNE DR
ROCKWALL, TX 75087

SMITH DANIEL T
1203 MARILYN JAYNE DR
ROCKWALL, TX 75087

WALKER GRACIE & LEON
1204 MARILYN JAYNE DR
ROCKWALL, TX 75087

JAMES DAVID L
1205 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COOK ROBERT M ETUX
1206 MARILYN JAYNE DR
ROCKWALL, TX 75087

CANTRELL CARL DEAN
1207 MARILYN JAYNE DR
ROCKWALL, TX 75087

HARGROVE TODD & TONDA
1381 LEEWARD DR
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET
151 STEVENSON DR
FATE, TX 75087

RESIDENT
2049 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2050 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2055 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2056 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2056 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2061 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2062 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2064 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2068 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2104 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2105 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2106 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2110 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2111 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2112 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2115 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2116 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2117 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2118 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2121 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2122 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2123 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2124 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2127 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2128 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2129 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2130 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2133 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2134 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2135 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2136 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2139 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2140 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2200 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2201 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2202 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2203 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2206 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2207 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2208 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2209 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2212 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2213 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2214 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2215 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2218 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2219 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2220 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2224 TERRACES BLVD
ROCKWALL, TX 75087

RESIDENT
2225 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2226 GRAND AVE
ROCKWALL, TX 75087

RESIDENT
2232 GRAND AVE
ROCKWALL, TX 75087

POLK BAILEY & BROOKE
333 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
375 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
401 CORNELIUS RD
ROCKWALL, TX 75087

TM TERRACES LLC
ANDREA DANLEY - INDEPENDENT EXECUTOR
4416 W. LOVERS LN SUITE 200
DALLAS, TX 75209

TM TERRACES LLC
4416 W. LOVERS LN SUITE 200
DALLAS, TX 75209

TM TERRACES LLC
ANDREA DANLEY - INDEPENDENT EXECUTOR
4416 W. LOVERS LN SUITE 200
DALLAS, TX 75209

TM TERRACES LLC
4416 W. LOVERS LN SUITE 200
DALLAS, TX 75209

RESIDENT
451 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
487 CORNELIUS RD
ROCKWALL, TX 75087

FLEMING HALLIE B
508 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
520 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
525 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
555 CORNELIUS RD
ROCKWALL, TX 75087

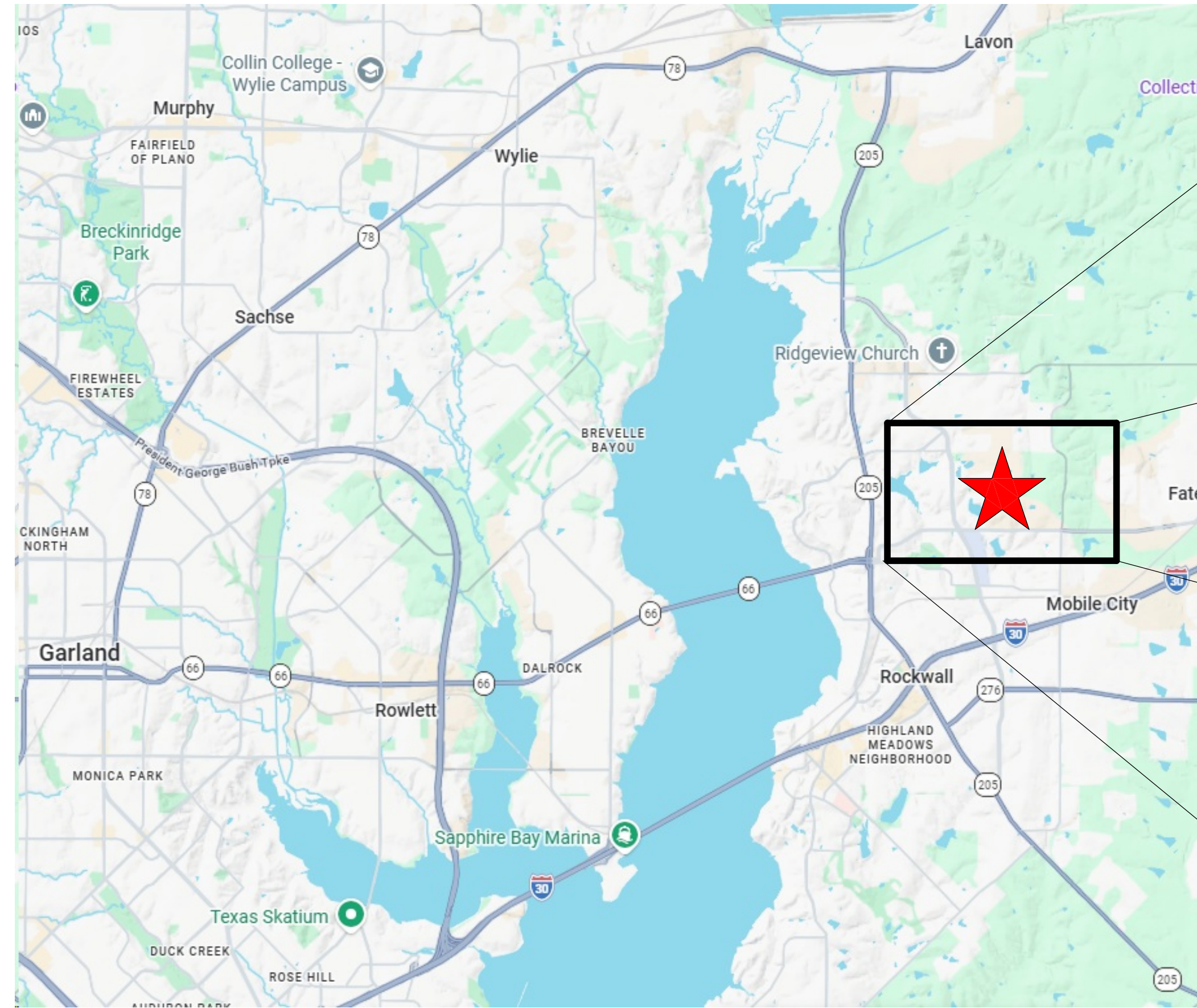
RESIDENT
588 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

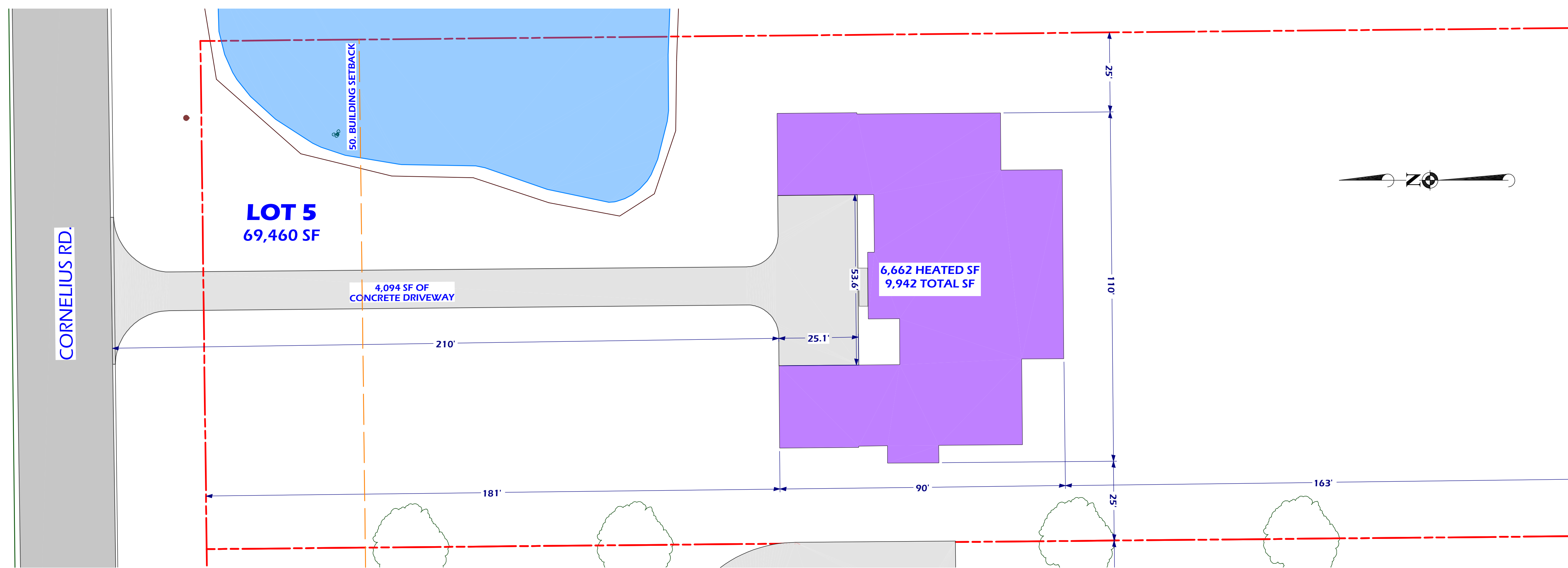
RESIDENT
657 CORNELIUS RD
ROCKWALL, TX 75087

ESTATE OF MICHAEL L PEOPLES SR
ANDREA DANLEY - INDEPENDENT EXECUTOR
PO Box 154
Fate, TX 75132



NEW HOME FOR THE VOTS FAMILY

451 Cornelius Rd, Rockwall, TX 75087



1 SITE PLAN
SCALE: 1" = 20'-0"

SHEET NUMBER
A-13
REVISION #: F

NEW HOME FOR THE VOTS FAMILY
451 Cornelius Rd, Rockwall, TX 75087
DRAWN BY: J. Scott Phillips PROJECT #: 26030508 DRAWN BY: 04/15/2026

LOT #5 SITE PLAN
451 Cornelius Rd., Rockwall, TX 75087

MEMBER
A I B D
ARCHITECTS & BUILDING DESIGN

7300 State Hwy 121, Suite 300
McKinney, TX 75070
(969) 413-8086
scott@phillipsplans.com
PHILLIPS DESIGN SERVICES INC.
PHILLIPSPLANS.COM



NOT FOR CONSTRUCTION



SHEET NUMBER
A.03
REVISION #. A

NEW HOME FOR THE PARMAR FAMILY
401 Cornelius Rd, Rockwall, TX 75087
DRAWN BY: J. Scott Phillips PROJECT #: 26030507 DRAWN BY: 03/10/2026

EXTERIOR ELEVATIONS
FRONT AND LEFT SIDE VIEWS

MEMBER
A I
B D
ARCHITECTS
BUILDING DESIGN

7300 State Hwy 121, Suite 300
McKinney, TX 75070
(969) 413-5096
Scott@PhillipsPlans.com
PHILLIPS
DESIGN SERVICES INC.
PHILLIPSPLANS.COM



E3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



E4 RIGHT SIDE VIEW
SCALE: 1/4" = 1'-0"

SHEET NUMBER

A.04

REVISION #. A

NEW HOME FOR THE PARMAR FAMILY

401 Cornelius Rd, Rockwall, TX 75087

DRAWN BY: J. Scott Phillips PROJECT #: 26030507 DRAWN BY: 03/10/2026

EXTERIOR ELEVATIONS

REAR AND RIGHT SIDE VIEW

MEMBER
A I B D
AMERICAN INSTITUTE OF
BUILDING DESIGN

7300 State Hwy 121, Suite 300
McKinney, TX 75070
(969) 413-8986
scott@phillipsplans.com
PHILLIPSPLANS.COM

PHILLIPS
DESIGN SERVICES INC.



E1 FRONT 3D RENDERING
SCALE: NOT TO SCALE



E2 RIGHT SIDE 3D RENDERING
SCALE: NOT TO SCALE



E3 REAR 3D RENDERING
SCALE: NOT TO SCALE



E4 RIGHT SIDE 3D RENDERING
SCALE: NOT TO SCALE

SHEET NUMBER
A-12

REVISION #: F

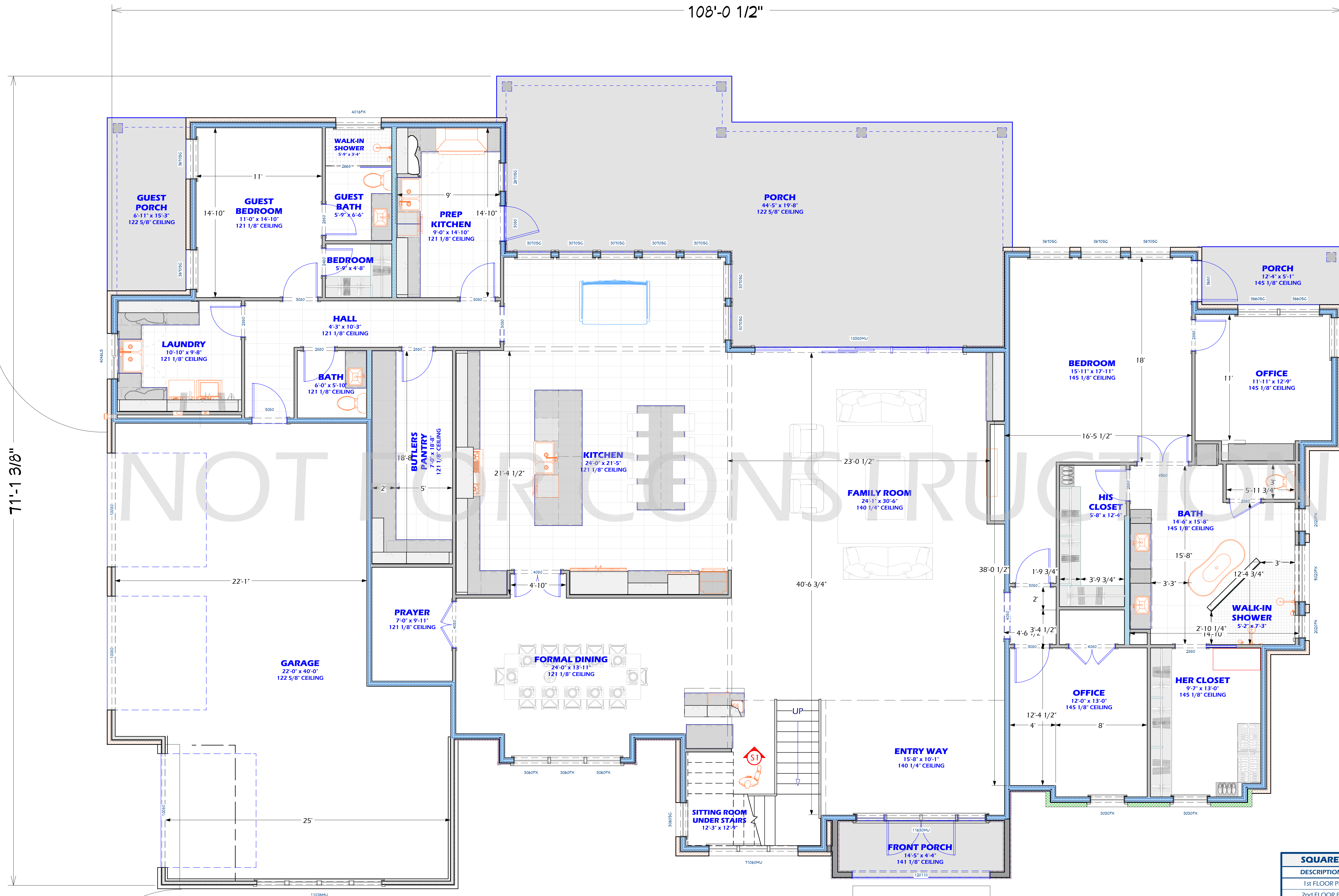
NEW HOME FOR THE VOTS FAMILY
451 Cornelius Rd, Rockwall, TX 75087
DRAWN BY: *J. Scott Phillips* PROJECT #: 26030507 DRAWN BY: 04/15/2026

LOT #5 SITE PLAN
451 Cornelius Rd., Rockwall, TX 75087

MEMBER
A I B D
AMERICAN INSTITUTE OF
BUILDING DESIGN

7300 State Hwy 121, Suite 300
McKinney, TX 75070
(905) 413-5086
Scott@PhillipsPlans.com
PHILLIPSPLANS.COM

PHILLIPS
DESIGN SERVICES INC.



71'-1 3/8"

108'-0 1/2"

1 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
DESCRIPTION	SQ. FEET
1st FLOOR PLAN	4,341
2nd FLOOR PLAN	2,136
TOTAL HEATED	6,477
FRONT PORCH ENTRY	80
LARGE BACK PORCH	793
OWNERS PORCH	62
2nd FLOOR PORCH	484
3 CAR GARAGE	1,016
TOTAL	9,017

SHEET NUMBER
A-01
REVISION #. A

NEW HOME FOR THE PARMAR FAMILY
401 Cornelius Rd, Rockwall, TX 75087
DRAWN BY: J. Scott Phillips PROJECT #: 26030507 DRAWN BY: 03/10/2026

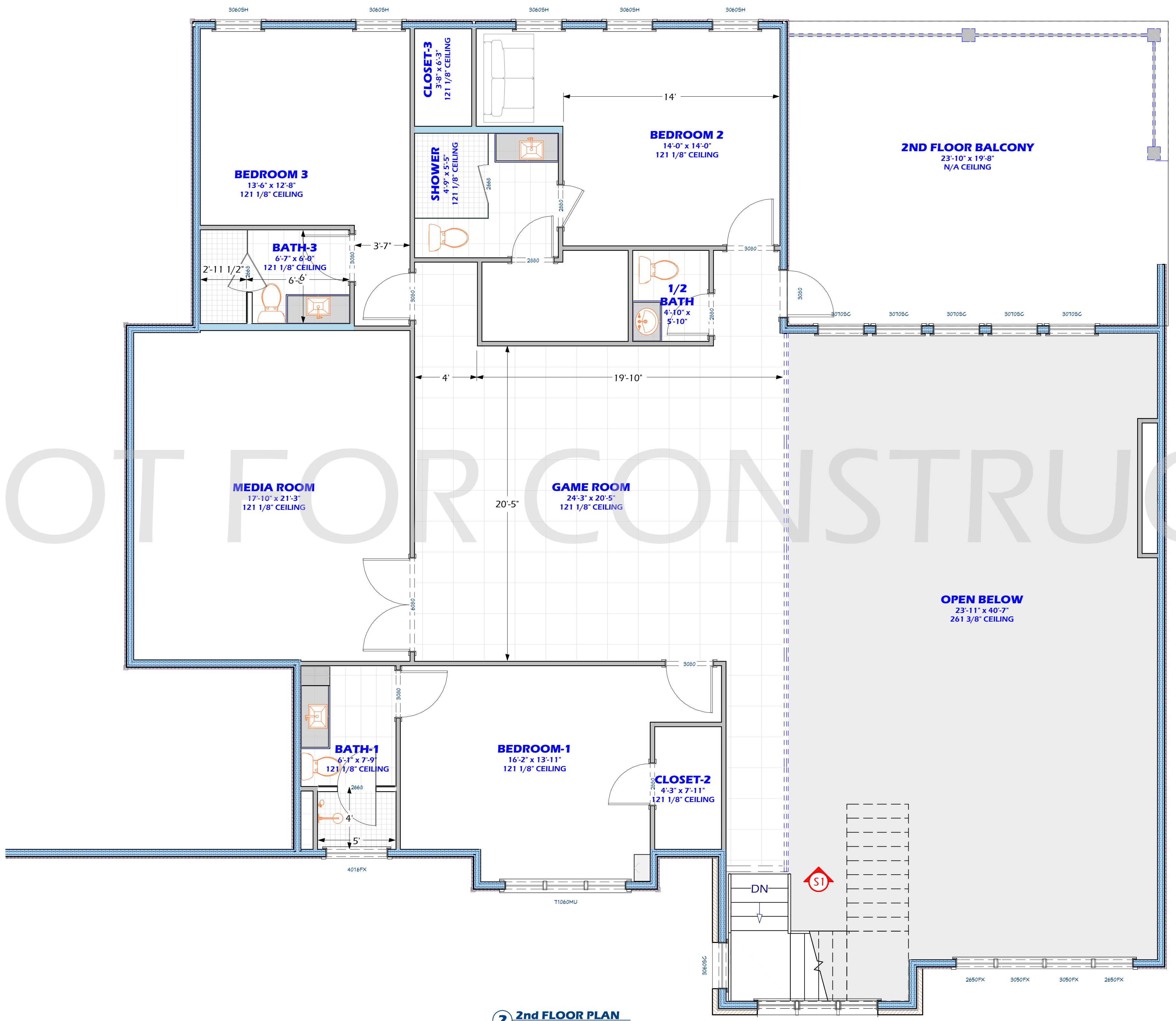
1st FLOOR PLAN

MEMBER
A I B D
AMERICAN INSTITUTE OF
BUILDING DESIGN

7300 State Hwy 121, Suite 300
McKinney, TX 75070
(969) 413-5096
scott@phillipsplans.com
PHILLIPSPLANS.COM

PHILLIPS
DESIGN SERVICES INC.

NOT FOR CONSTRUCTION



2 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET NUMBER
A-02
REVISION # A

NEW HOME FOR THE PARMAR FAMILY
401 Cornelius Rd, Rockwall, TX 75087
DRAWN BY: J. Scott Phillips PROJECT #: 26030507 DRAWN BY: 03/10/2026

2nd FLOOR PLAN

MEMBER
A I B D
ARCHITECTS & BUILDING DESIGN

7300 State Hwy 121, Suite 300
McKinney, TX 75070
(969) 413-5696
Scott@PhillipsPlans.com
PHILLIPSPLANS.COM

PHILLIPS
DESIGN SERVICES INC.

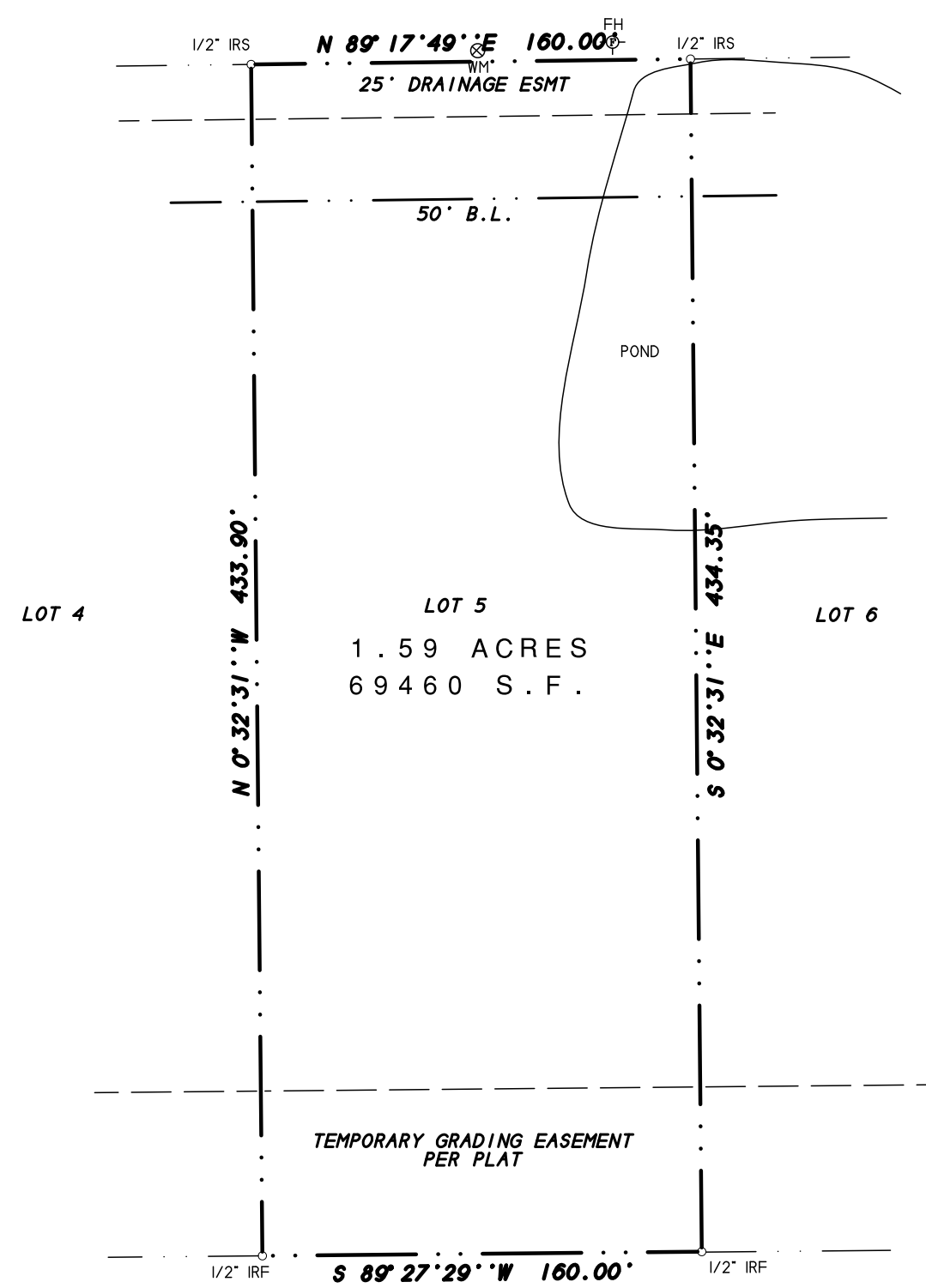
PLAT OF SURVEY

CORNELIUS ROAD
VARIABLE WIDTH R.O.W. PER PLAT

SURVEY ACCEPTED BY:

DATE _____

DATE _____



DESCRIPTION

Lot 5, Block A, Peoples Tract Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Final Plat thereof recorded in under Clerk's File No. 202400015144, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0035 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company and Akhil Vats at 451 Cornelius Road, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 19th day of March, 2026.


Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT
POWER POLE	ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WATER METER
LIGHT POLE	1/2" IRF IRON ROD FOUND (CORNER)	A/C UNIT	PROPANE TANK
FENCE	EASEMENT LINE	PROPERTY LINES	

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900

SURVEY DATE MARCH 19, 2026
SCALE 1" = 60' FILE # 20260050
CLIENT VATS GF # 3016402600136